



LEE'S SUMMIT MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 463 Plat Title Osage Address: 3715 SW Clayton Place County: Jackson State: Missouri

I, Kyle King, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 7th day of August, 2024.

By:

[Signature] Kyle King Printed or Typed Name

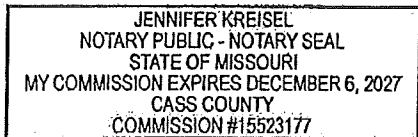
INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI COUNTY OF JACKSON

ON THIS, The 7th day of August, 2024, before me, a Notary Public, personally appeared: Kyle King

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

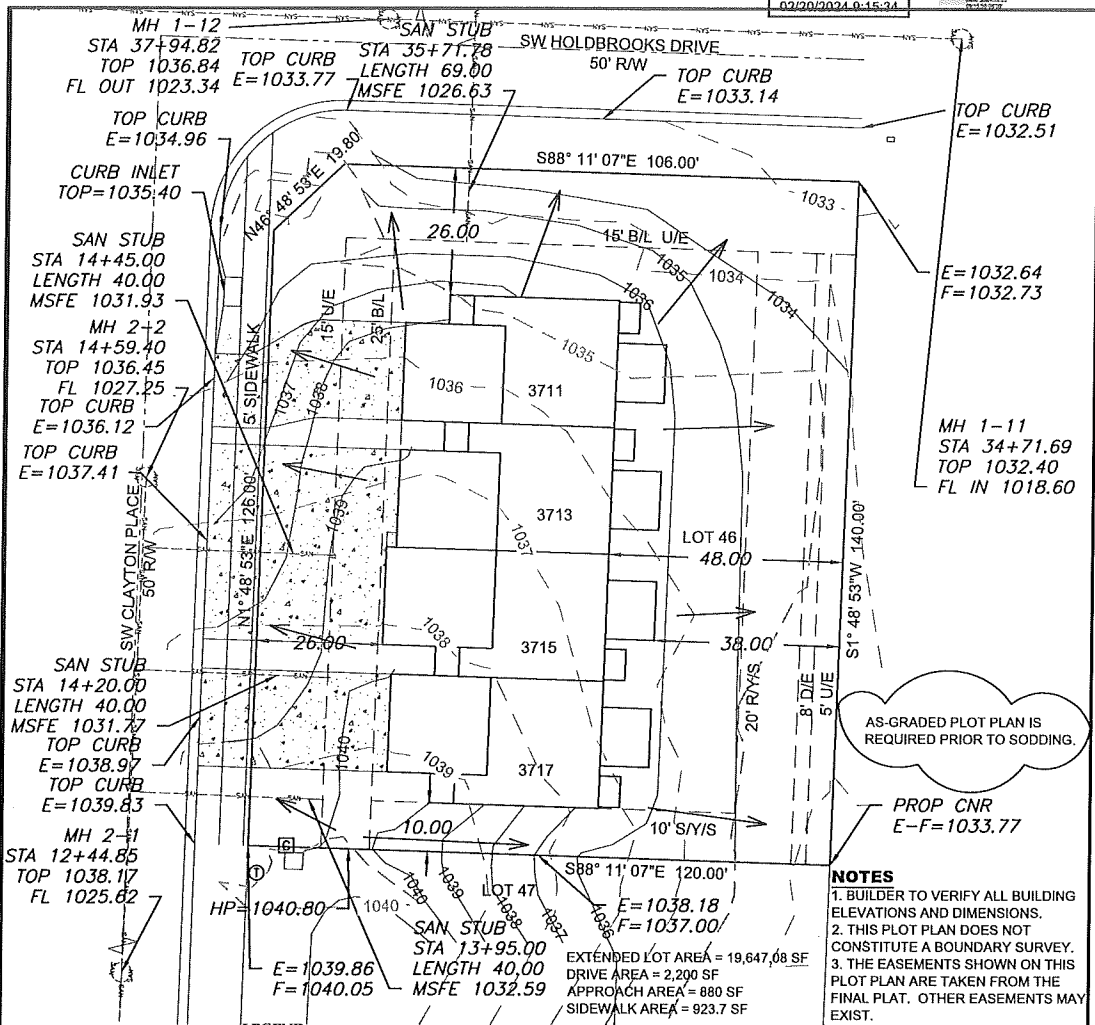


/s/ Jennifer Kreisel Notary Public Signature Jennifer Kreisel Printed or Typed Name

(Seal)

My Commission Expires:

December 6, 2027



AS-GRADED PLOT PLAN IS
 REQUIRED PRIOR TO SODDING.

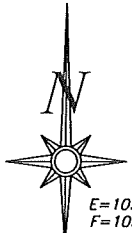
PROP CNR
 E-F=1033.77

- NOTES**
1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
 2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

PROPOSED HOUSE
 TOP FOUNDATION = 1042.00
 GARAGE FLOOR (3711) = 1038.50
 GARAGE FLOOR (3713 & 3715) = 1039.50
 GARAGE FLOOR (3717) = 1041.00
 TOP FOOTING = 1034.00
 BASEMENT FLOOR = 1034.33
 DRIVE AREA = 2,200 SF
 APPROACH AREA = 880 SF
 SIDEWALK AREA = 923.7 SF

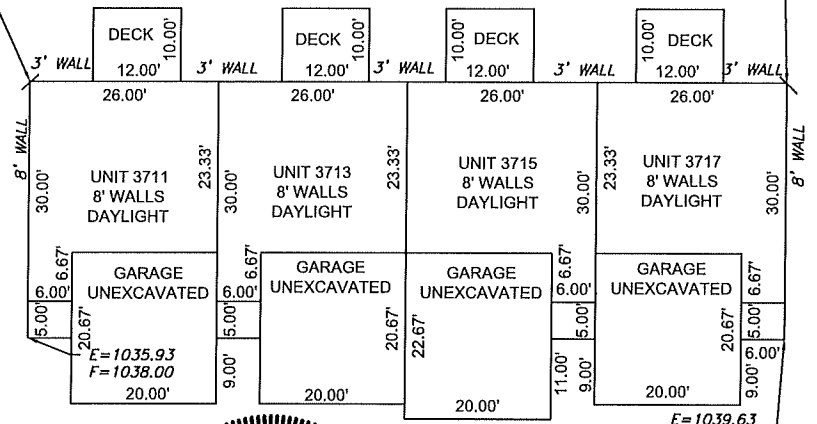
E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS
 U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 S/Y/S = SIDE YARD SETBACK
 R/Y/S = REAR YARD SETBACK
 OS BAR

- LEGEND**
- Gas Meter
 - Telephone or Fiber-Optic Pedestal
 - Cable TV Pedestal
 - Electric Pedestal
 - Light Pole
 - Mailbox
 - Fire Hydrant
 - Water Valve



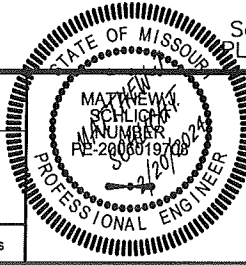
Scale 1"=30'
LOT INFORMATION
 16,702 SQ. FT.
 MBOE (REAR LEFT) = 1033.80
 MBOE (REAR RIGHT) = 1034.73
 MSFE (3711) = 1026.63
 MSFE (3713) = 1031.93
 MSFE (3715) = 1031.77
 MSFE (3717) = 1032.59
 ADDRESS
 3711 SW CLAYTON PLACE
 3713 SW CLAYTON PLACE
 3715 SW CLAYTON PLACE
 3717 SW CLAYTON PLACE

LEGAL DESCRIPTION
 LOT 46, OSAGE SECOND PLAT,
 A SUBDIVISION AS RECORDED
 IN LEE'S SUMMIT, JACKSON
 COUNTY, MISSOURI.



Scale 1"=20'
 PLAN: JUNEAU

ENGINEERING SOLUTIONS
 ENGINEERING & SURVEYING
 50 SE 30TH STREET
 LEE'S SUMMIT, MO 64082
 P: (816) 623-9888 F: (816) 623-9849
 WWW.ENGINEERINGSOLUTIONS.COM



PLOT PLAN - LOT 46
 OSAGE SECOND PLAT
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CLOVER & HIVE
 120 SE 30TH STREET
 LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 46, OSAGE	12/7/23	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.