

North Bend

Address : 2230 SW Crown Drive, Lee's Summit, MO

Lot : HF 199



General Information

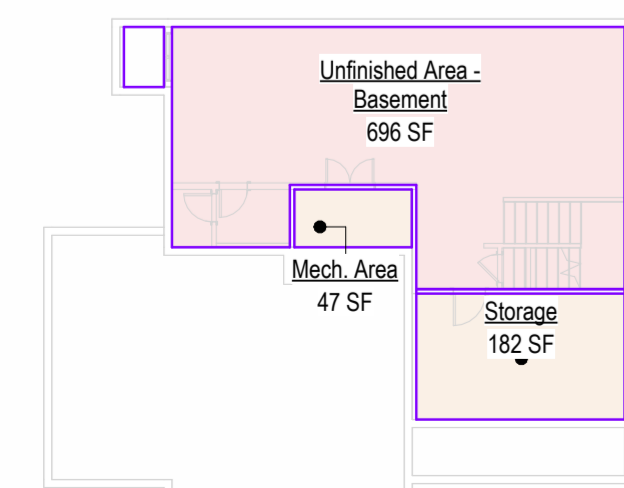
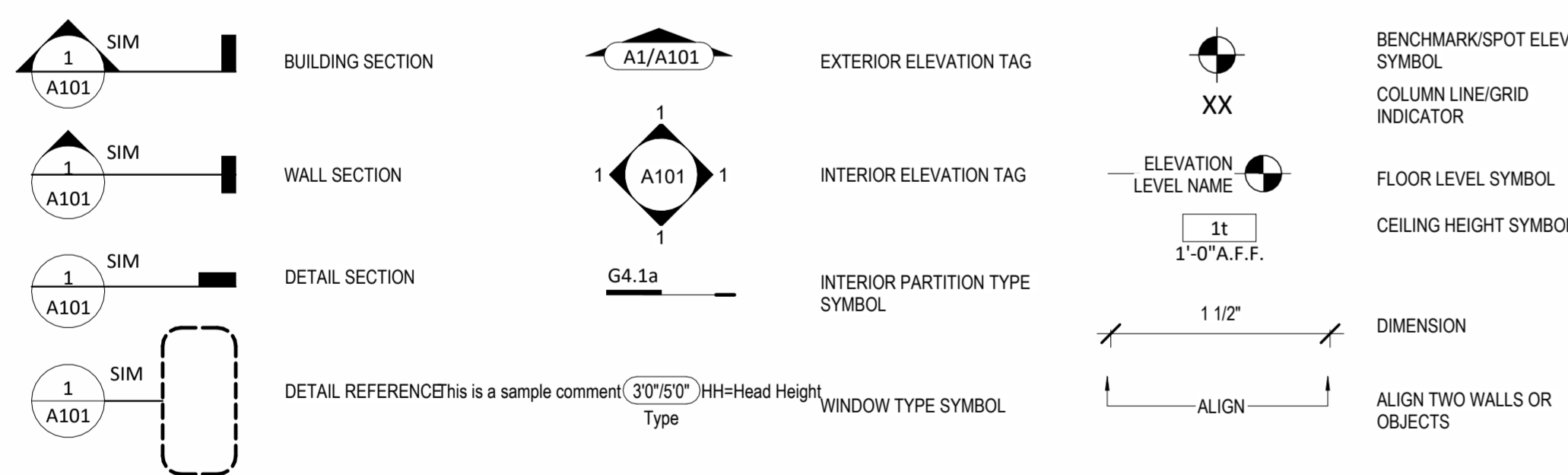


1. Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
2. Carbon monoxide detectors required (R315)
3. Steel columns shall be minimum schedule 40 (R507.2)
4. Deck Ledger attachment to house shall be per Tables 507.9.1.3.
5. New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
6. Programmable thermostat required (N1103.1.1)
7. Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
8. Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
9. Certain hot water pipes shall be insulated (N1103.4)
10. All exhaust fans shall terminate to the building exterior (M1507.2)
11. Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
12. Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
13. An air handling system shall not serve both the living space and the garage (M1601.6)
14. A concrete-Encased grounding electrode (UFER Ground) connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
15. Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
16. DASMA 115 MPH Rated Garage doors
17. Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
18. Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
19. Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

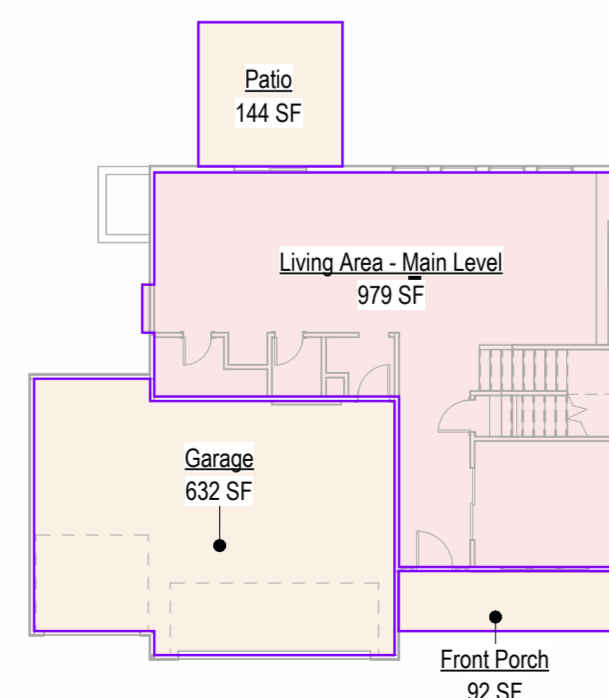
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 Address : 2230 SW Crown Drive, Lee's Summit, MO
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2018 IRC BUILDING CODE COMPLIANCE
 THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL

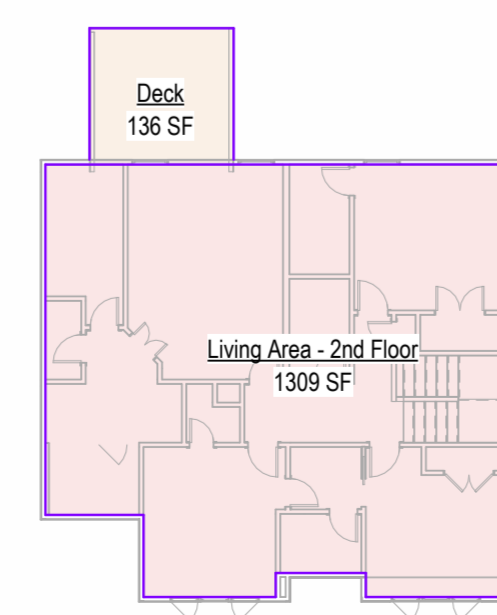
RELEASE FOR CONSTRUCTION
 AS NOTED FOR PLAN REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
09/13/2024



4 Basement Level Area plan
1/16" = 1'-0"



5 Main Level Area plan
1/16" = 1'-0"



6 Second Floor Level Area plan
1/16" = 1'-0"

Areas	
Living Area - Main Level	979 SF
Living Area - 2nd Floor	1309 SF
Total Finished Area	2288 SF
Unfinished Area - Basement	696 SF
Front Porch	92 SF
Patio	144 SF
Mech. Area	47 SF
Garage	632 SF
Storage	182 SF
Deck	136 SF
Total Unfinished Area	1929 SF

Sheet List	
00	Cover
A101	Foundation Plan
A102	Floor Plan - Basement
A103	Floor Plan - Main Level
A104	Floor Plan - Second Floor
A105	Roof Plan
A201	Elevations
A202	Elevations
A203	Floor Plan & Elevations-Full Basement 1
A204	Floor Plan & Elevations-Full Basement 2
A205	Floor Plan & Elevations-Daylight
A501	Details
A502	Details

REVISIONS		
Number	Description	Date

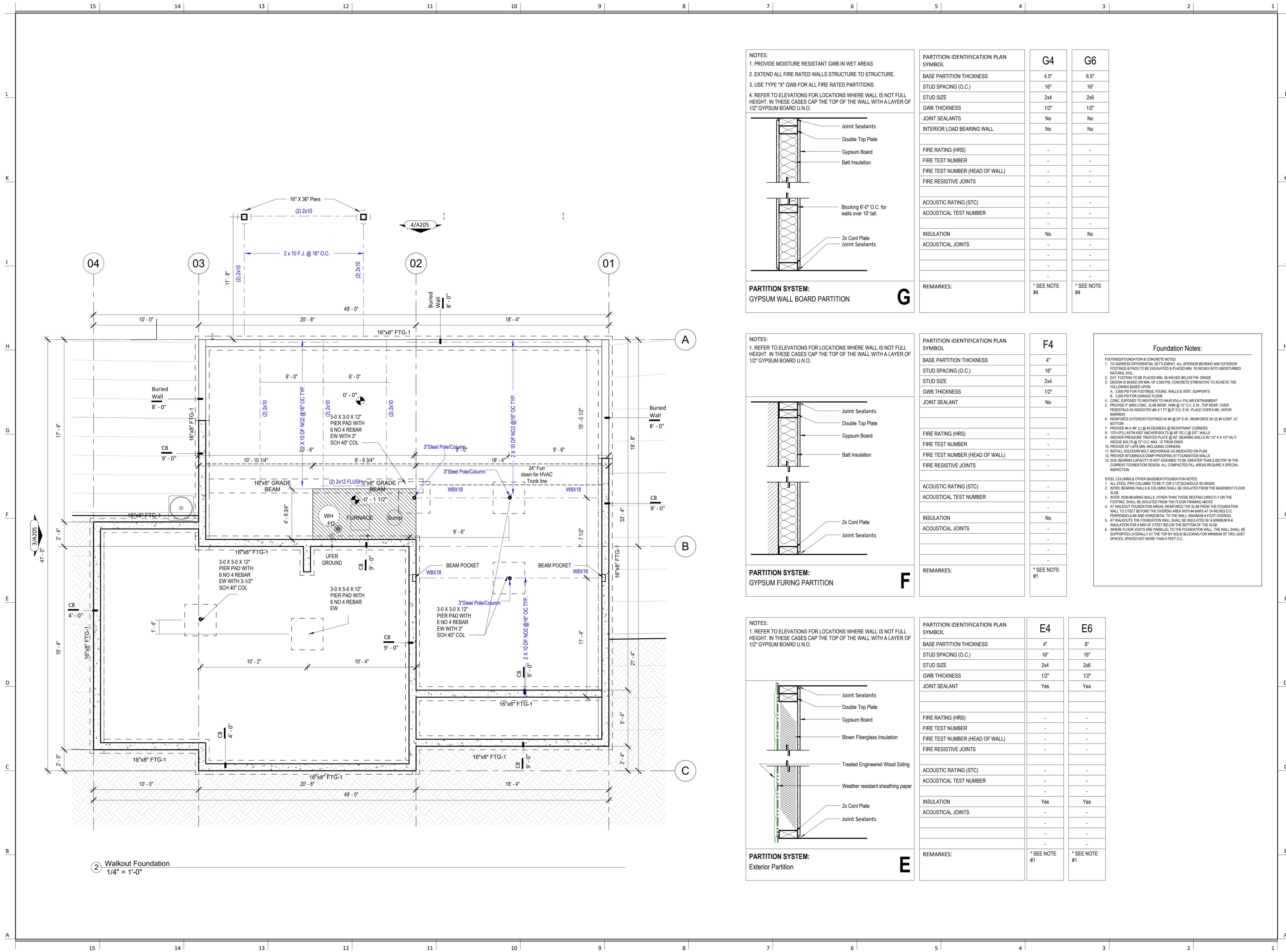


AUGUST 13, 2024

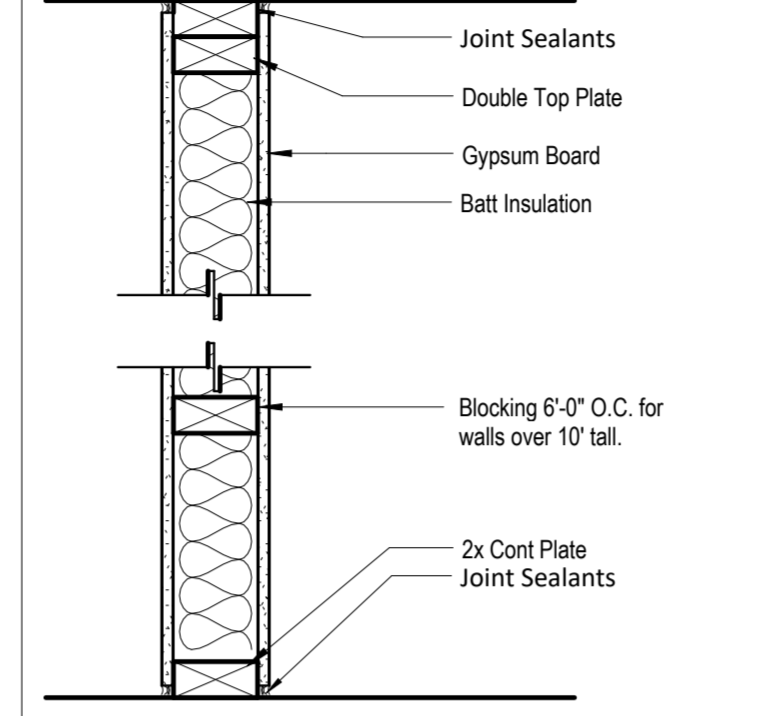
PLAN DESCRIPTION: Cover

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Project No.



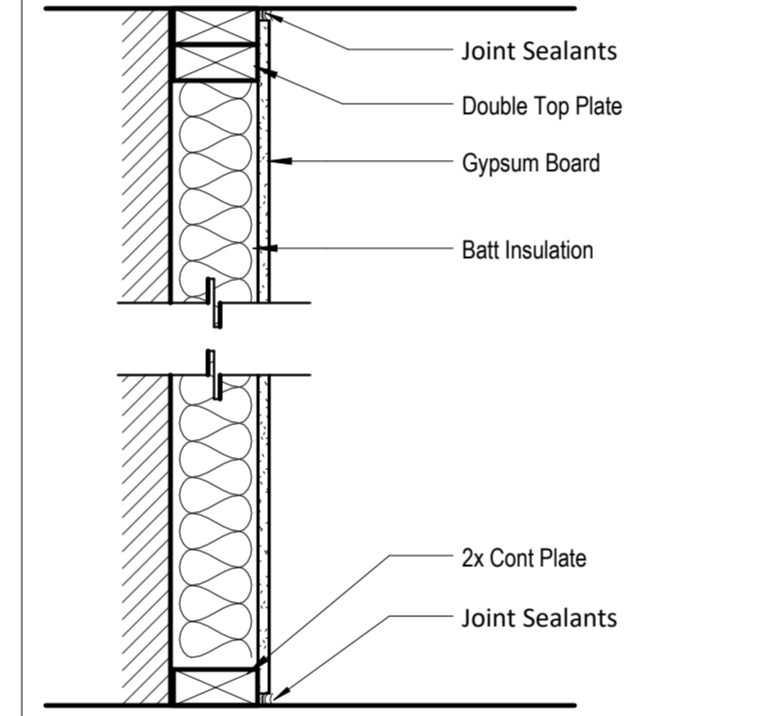
NOTES:
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:
GYPSUM WALL BOARD PARTITION **G**

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G6
BASE PARTITION THICKNESS	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANTS	No	No
INTERIOR LOAD BEARING WALL	No	No
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	No	No
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #4

NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:
GYPSUM FURRING PARTITION **F**

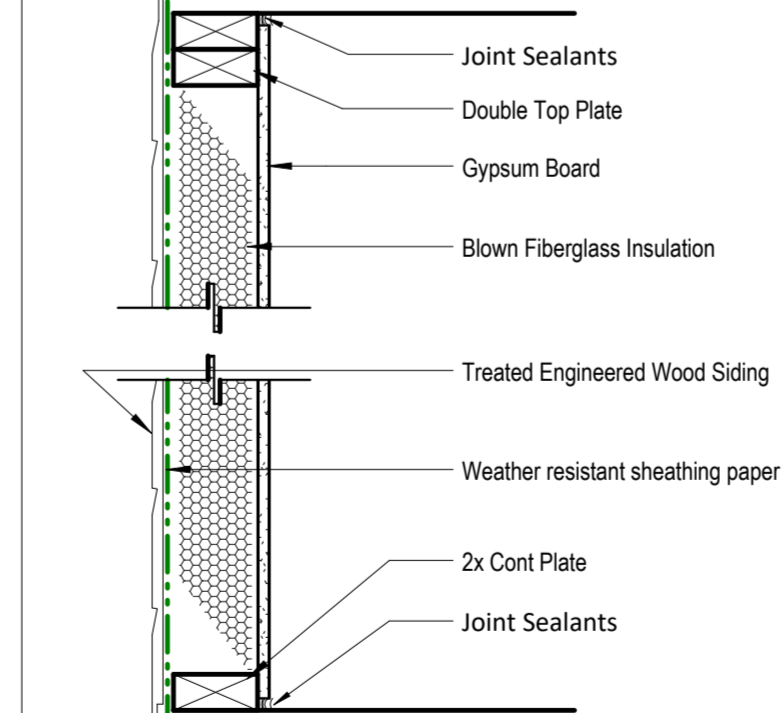
PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

Foundation Notes:

FOOTINGS/FOUNDATION & CONCRETE NOTES:
1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
2. EXT. FOOTING TO BE PLACED MIN. 36 INCHES BELOW FIN. GRADE.
3. BEARING IS BASED ON MIN. OF 2,500 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
A. 3,000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
B. 3,000 PSI FOR GARAGE FLOOR
4. CONC. EXPOSED TO WEATHER TO HAVE 6% (+/-) AIR ENTRAINMENT
5. PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PEDESTALS AS INDICATED (#4 X 7 FT @ 8" O.C. E.W. PLACE OVER 6 MIL VAPOR BARRIER)
6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W.; REINFORCE W/ (2) #4 CONT. AT BOTTOM
7. PROVIDE 4" X 48" (L) @ 45 DEGREES @ REINFRANT CORNERS
8. 1/2" (PL) ASTM A307 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 4-1/2" H/LT
10. WEDGE BOLTS @ 72" O.C. MAX. 12" FROM ENDS
11. PROVIDE 2" LAPS MIN. INCLUDING CORNERS
12. INSTALL HOLD-DOWN BELT ANCHORAGE AS INDICATED ON PLAN
13. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
14. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION

STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES:
1. ALL STEEL PIPE COLUMNS TO BE 3" OR 3 1/2" SCHEDULE 40 GRADE
2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
3. INTER. NON BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
4. AT WALKOUT FOUNDATION AREAS: REINFORCE THE SLAB OVER THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERLAP AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL MAXIMUM #FOOT OVERLAP
5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-6 INSULATION FOR A MIN OF 3 FEET BELOW THE BOTTOM OF THE SLAB
6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

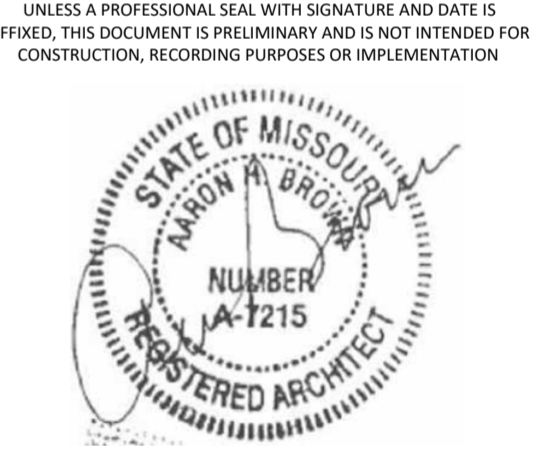


PARTITION SYSTEM:
Exterior Partition **E**

PARTITION IDENTIFICATION PLAN SYMBOL	E4	E6
BASE PARTITION THICKNESS	4"	6"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANT	Yes	Yes
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	Yes	Yes
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #1	* SEE NOTE #1

2 Walkout Foundation
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Foundation Plan

DATE ISSUED
9/12/2024

NORTH
↑

DRAWING NUMBER
A101

General Notes:

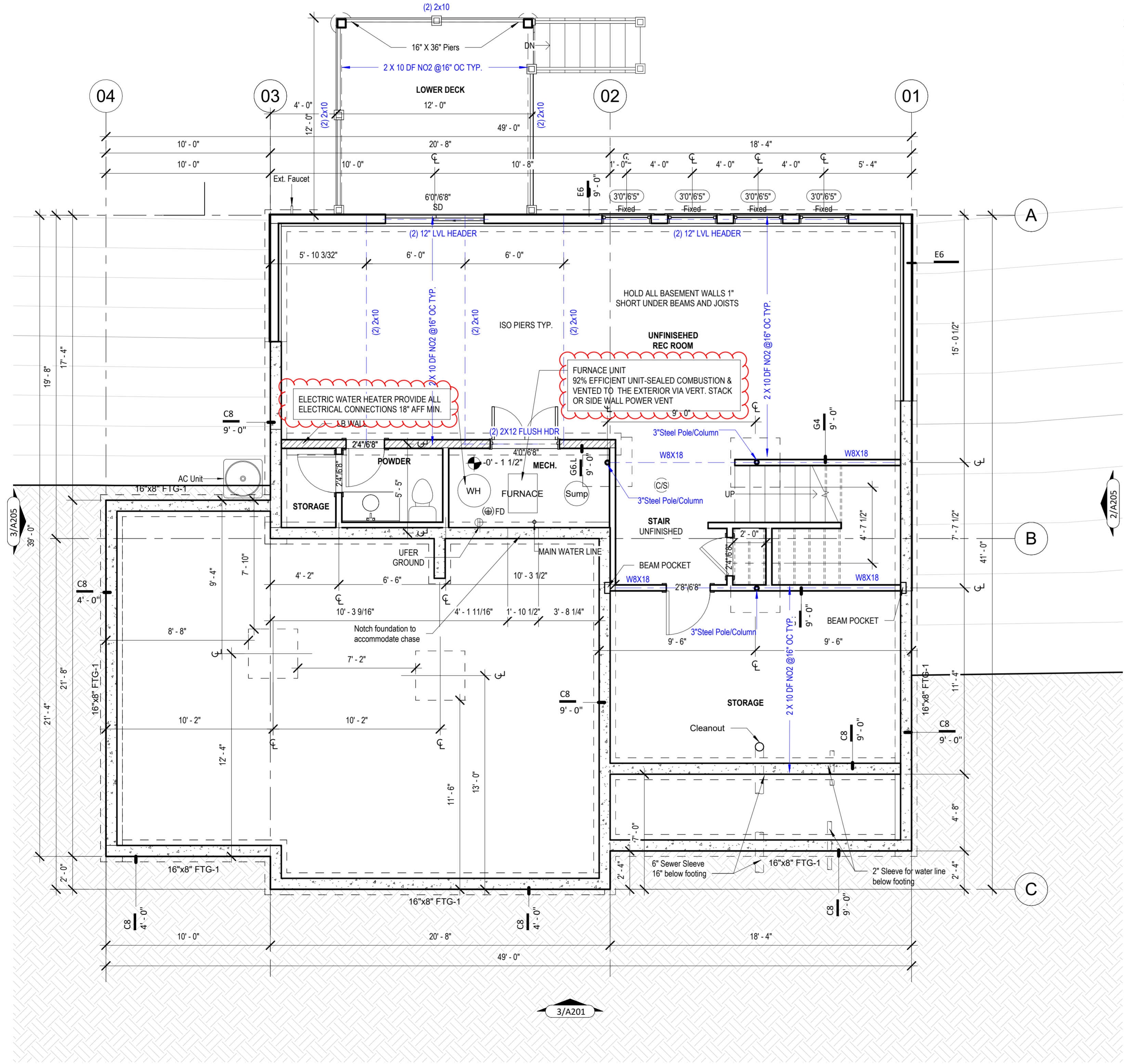
- DOORS AND WINDOW**
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS -0" AND WITH DOORS ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 208 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:**
- GARAGE SEPARATION WALL TO BE 1/4" CONCR. W/ MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED, 1 1/2" S.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 1/4" CONCR. RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:**
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.3.
 - GABLE VENTS & MECH ROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
 - PROVIDE MIN. 16" X 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 6" O.C.
- GYPSUM BOARD:**
- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS:**
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS:**
- PROVIDE UPFRONTS ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - EXCEPT IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (W/IN FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET AP.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
 - EXTERIOR WALL FRAMING:
 - BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BEAR ON MIN. 4 INCHES ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE 48 COMMON @ 16" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING:**
- ALL ROOF EAVES OVERHANGS TO BE 16" LONG.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS:**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH SIP GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOOR/CEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A LOCKER/CLIN.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL:**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL, SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. IF THE INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - SILT FENCE OR STRAW BALE WALL AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A ROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, JOISTS AND ROOF NOTES:**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL, STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILLED W/ 8d @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT INSULATED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILLED W/ 8d @ 16" O.C.
 - HEADERS: PROVIDE 2x4 (SYP OR DFL, 2D OR BETTER) UNDO. CONSTRUCT HEADERS W/ 2x8 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER. JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING NOT < 3 INCHES.
 - I.F.J., C.I. & RAFTERS TO BE SYP OR DFL, GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER R603.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE:**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

BEARING WALL HEADERS					
INTERIOR WALL (1 FLOOR)			EXTERIOR WALL (ROOF ONLY)		
SPAN	SIZE	NO. J.S.	SPAN	SIZE	NO. J.S.
0'-0" - 4'-5"	(2) 2x8	2	0'-0" - 5'-4"	(2) 2x8	2
4'-6" - 5'-5"	(2) 2x10	2	5'-5" - 6'-6"	(2) 2x10	2
5'-6" - 6'-3"	(2) 2x12	2	6'-7" - 7'-6"	(2) 2x12	2
INTERIOR WALL (2 FLOOR)			EXTERIOR WALL (ROOF + FLOOR)		
0'-0" - 3'-2"	(2) 2x8	2	0'-0" - 4'-6"	(2) 2x8	2
3'-3" - 3'-10"	(2) 2x10	3	4'-7" - 5'-6"	(2) 2x10	2
3'-11" - 4'-5"	(2) 2x12	3	5'-7" - 6'-5"	(2) 2x12	2
EXTERIOR WALL (ROOF + 2 FLOORS)					
0'-0" - 3'-9"	(2) 2x8	2			
3'-10" - 4'-7"	(2) 2x10	2			
4'-8" - 5'-3"	(2) 2x12	2			

TYPICAL HEADER

- NOTES:**
- NOT FOR OPEN WEB FLOOR TRUSS SYSTEMS
 - BASED ON A MAXIMUM JOIST SPAN OF 18 FT.
 - HEADERS SUPPORT FLOOR LOADS ONLY. RE: PLANS OR CONTACT ENGINEER IF ROOF LOADS NEED TO BE SUPPORTED
 - FRAMER SHOULD CONSULT IRC TABLE R502.5(1) FOR LOAD BEARING HEADERS USING 30 PSF GROUND SNOW LOAD AND THE MAX. BUILDING WIDTH WITH FRAMER SHALL PROVIDE THE MORE STRINGENT CHOICE BETWEEN IRC TABLE AND THIS DETAIL.
 - FRAMER SHALL CONTACT ENGINEER IF ENGINEERED LUMBER IS TO BE UTILIZED

3 Bearing Wall Header Schedule
1 1/2" = 1'-0"



1 Walkout Basement
1/4" = 1'-0"

Window Schedule - Walkout						
Window Type	Rough Opening		Head Height	Count	Level	
	Width	Height				
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor	
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor	
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor	
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level	
Fixed Window	3'-0"	6'-5"	6'-8"	8	Basement & Main Level	
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor	
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor	
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor	
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor	
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level	

Door Schedule - Walkout				
Door Type	Width	Height	Head Height	Count
Weyerhaeuser 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	15'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	6'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door W/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan - Basement

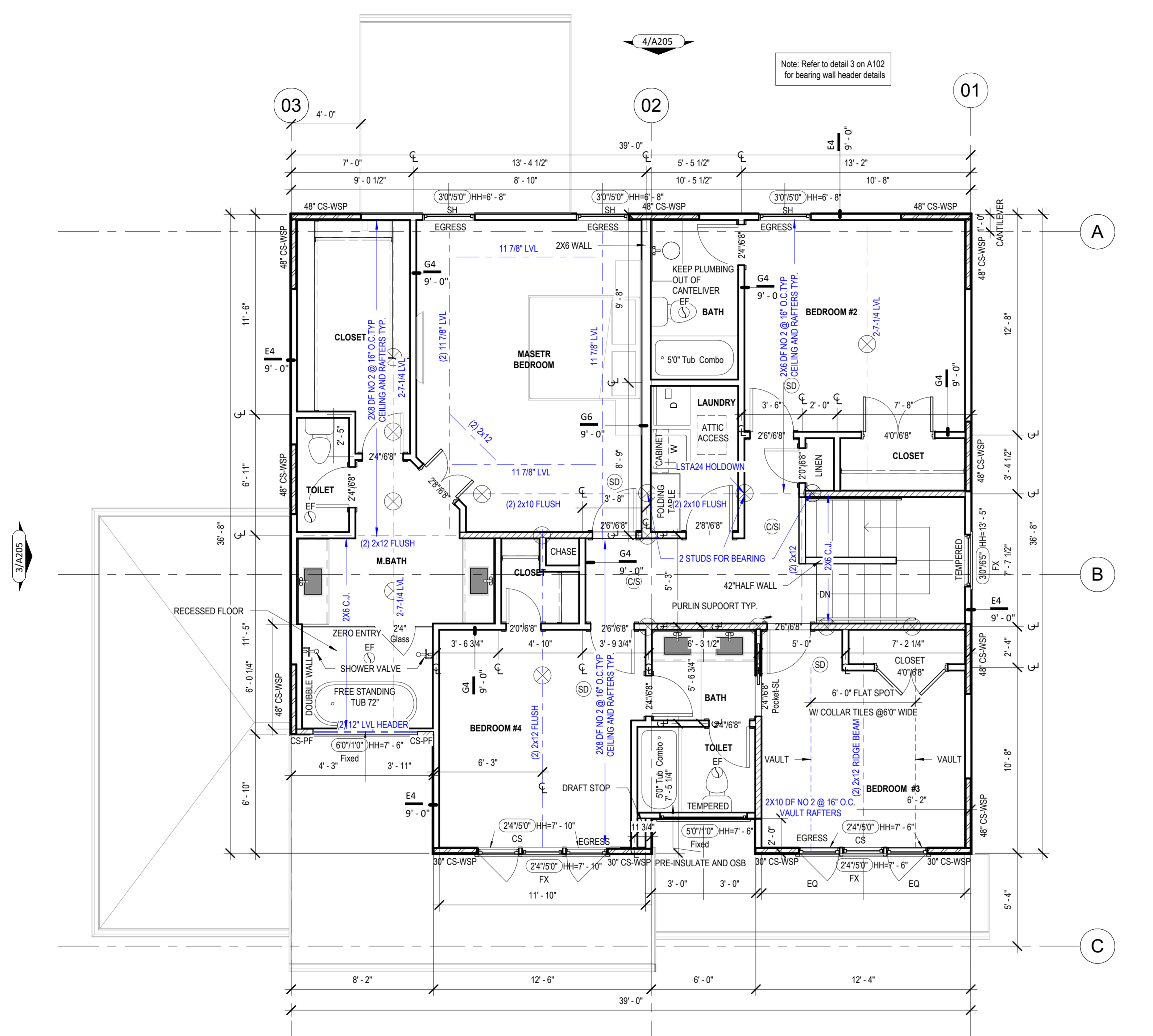
DATE ISSUED
9/12/2024
NORTH
↑

DRAWING NUMBER

A102

General Notes:

- DOORS AND WINDOW**
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 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES**
- GARAGE SEPARATION WALL TO BE 1"R CONST. W/ MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED, 138" C.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 18" & 24" RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LEVING AREAS.
- LIGHT AND VENTILATION**
- PROVIDE STAIRWAY ILLUMINATION PER R303.2.3
 - CABLE VENT & AIRSHROU VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 6" O.C.
- GYP/SUM BOARD**
- GWS APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS**
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS**
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-CIRCUIT INTERRUPTER.
 - INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED: TAMPER-RESISTANT.
 - RECEPTACLES LOCATED MORE THAN 5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BEARSTUDS W/ 6 INCHES ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE AS COMMON @ 16" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING**
- ALL ROOF EAVESOVERHANGS TO BE 16" LONG.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO RAFTER LINE & STAGED @ 16" O.C. W/ LONG DIMENSION PERPENDICULAR TO RAFTER LINE & STAGED @ 16" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ OSB COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWS.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW WATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL, STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8 @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8 @ 16" O.C.
 - HEADERS: PROVIDE 2x4 (SYP OR DFL, 2 OR BETTER) LIND. CONSTRUCT HEADERS W/ 2x8 & 7/16" OSB BETWEEN W/ (2) ROWS OF 18 @ 16" O.C.
 - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING MIN. 2 INCHES.
 - J.F.I., J.C.I. & RAFTERS TO BE SYP OR DFL, GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC R303.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.



1 Second Floor Plan
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Langview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan - Second Floor

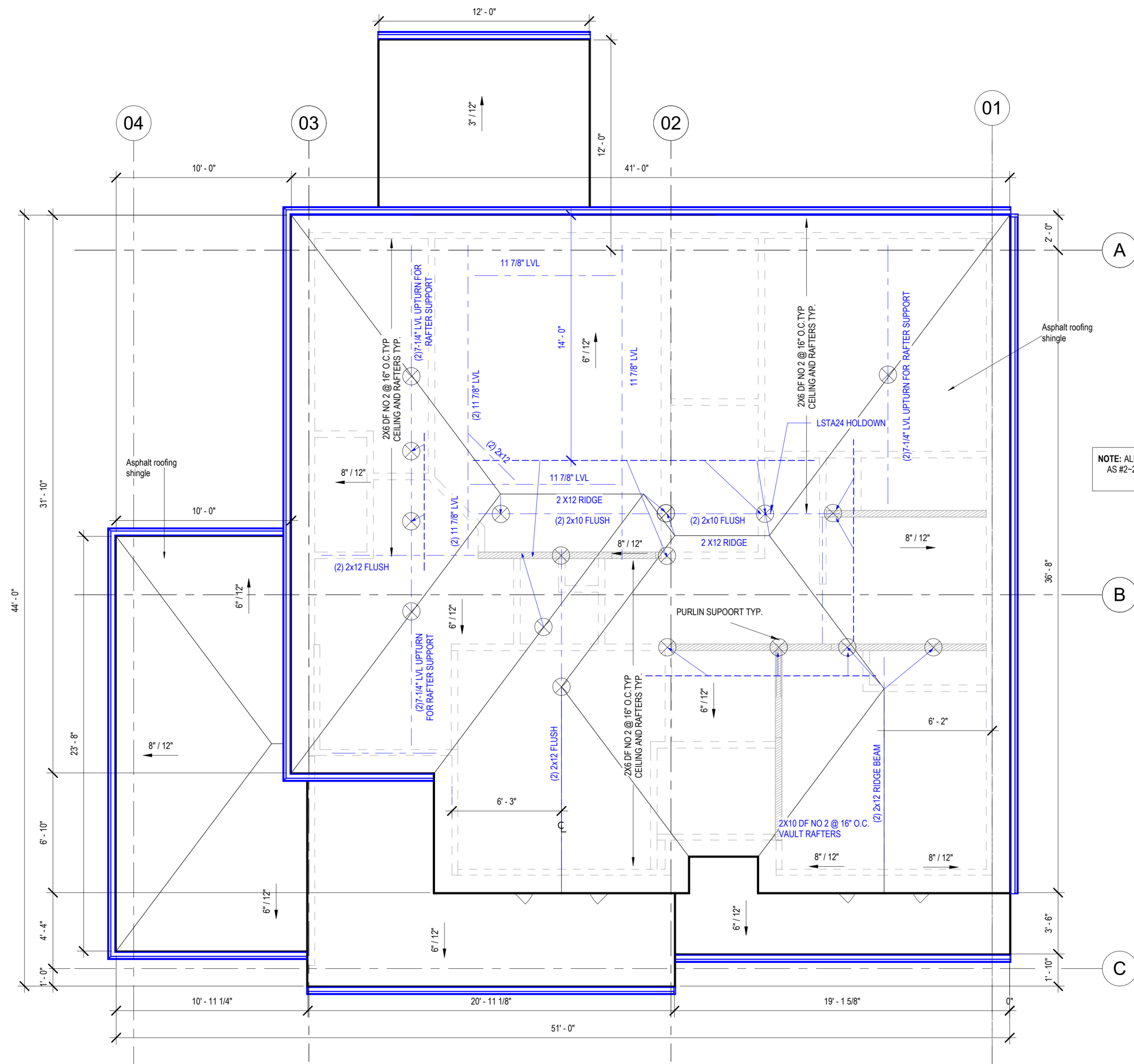
DATE ISSUED
9/12/2024



DRAWING NUMBER

A104

North Bend



NOTE: ALL THE HIP AND VALLEY RAFTERS AS #2-2x6 DFL ALL COMMON RAFTERS TO BE #2-2x6 @ 16" O.C. U.N.O.

1 Roof Plan
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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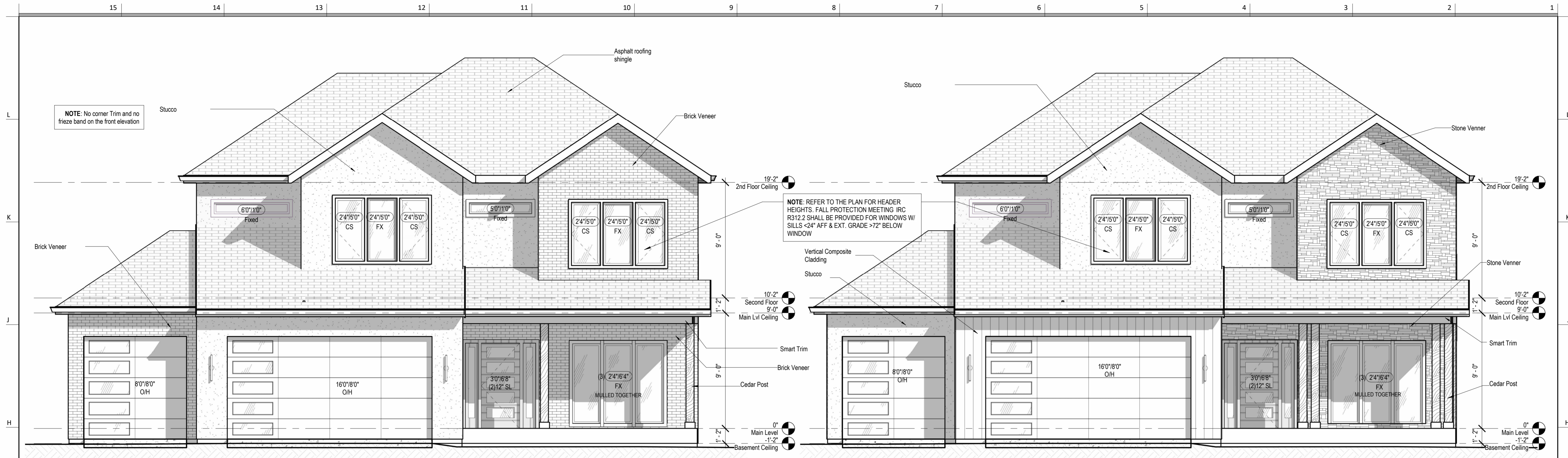
REVISIONS		
Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Roof Plan

DATE ISSUED
9/12/2024

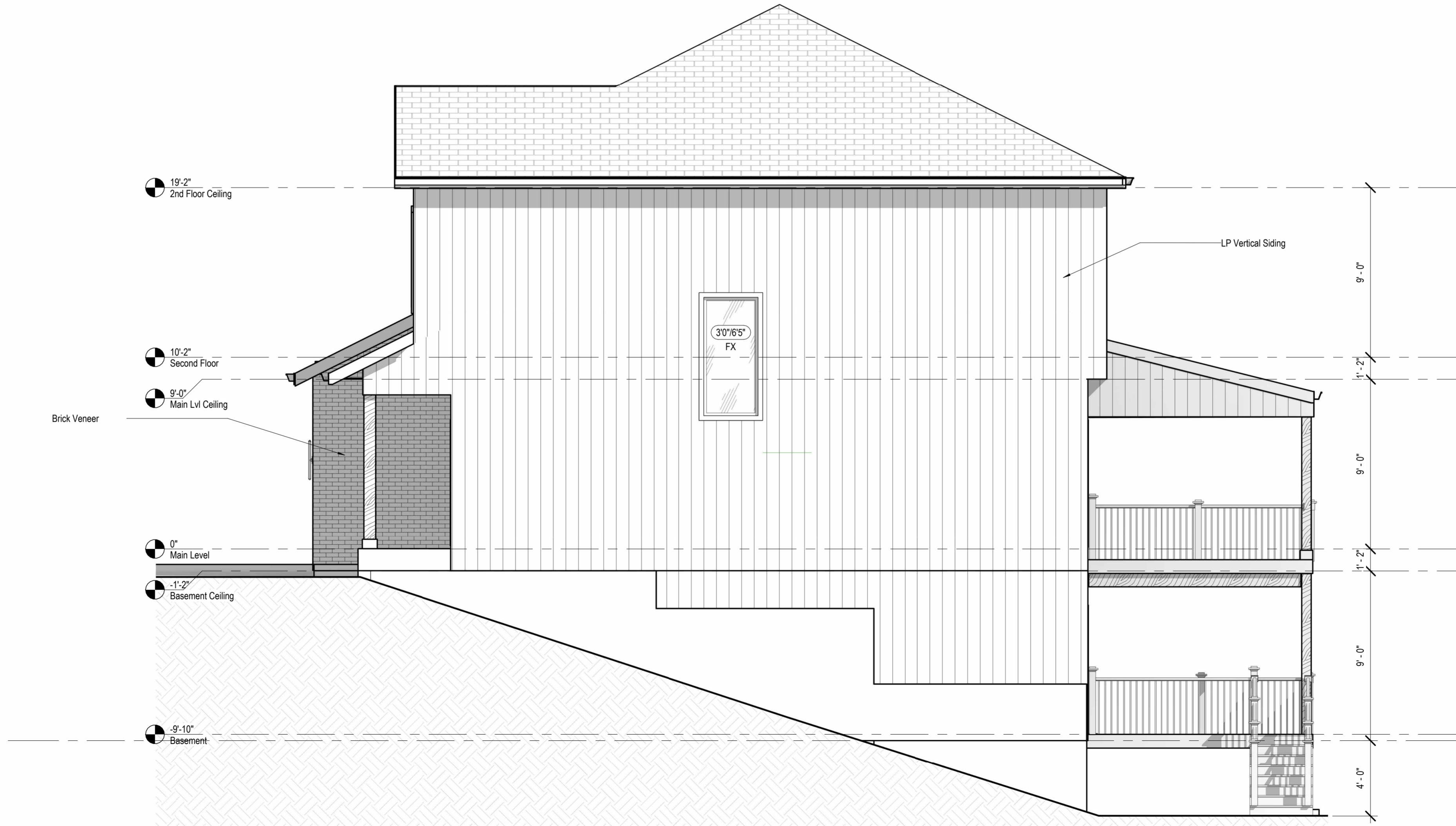
NORTH
↑

DRAWING NUMBER
A105



② Front Elevation-Option A
1/4" = 1'-0"

③ Front Elevation-Option B
1/4" = 1'-0"



① Left Elevation
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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REVISIONS		
Number	DESCRIPTION	DATE

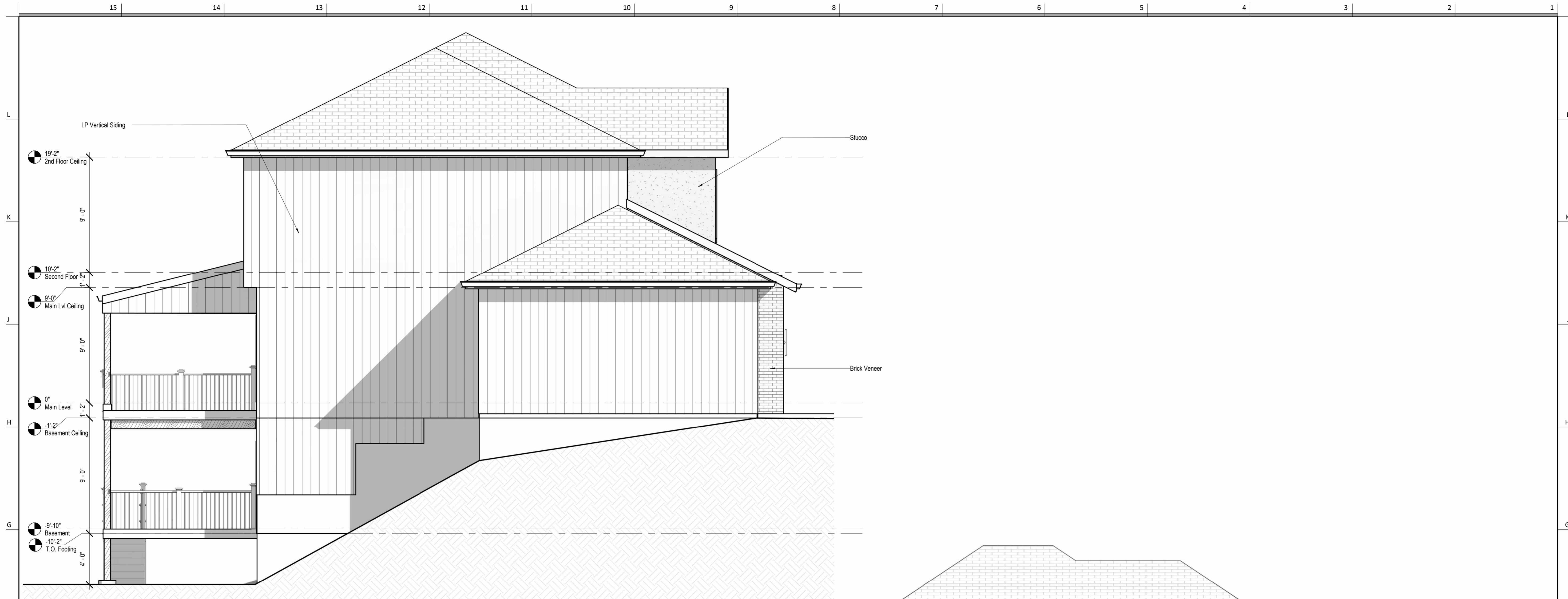
PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Elevations

DATE ISSUED
9/12/2024

DRAWING NUMBER

A201

North Bend



1 Right Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE

PROJECT

Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE

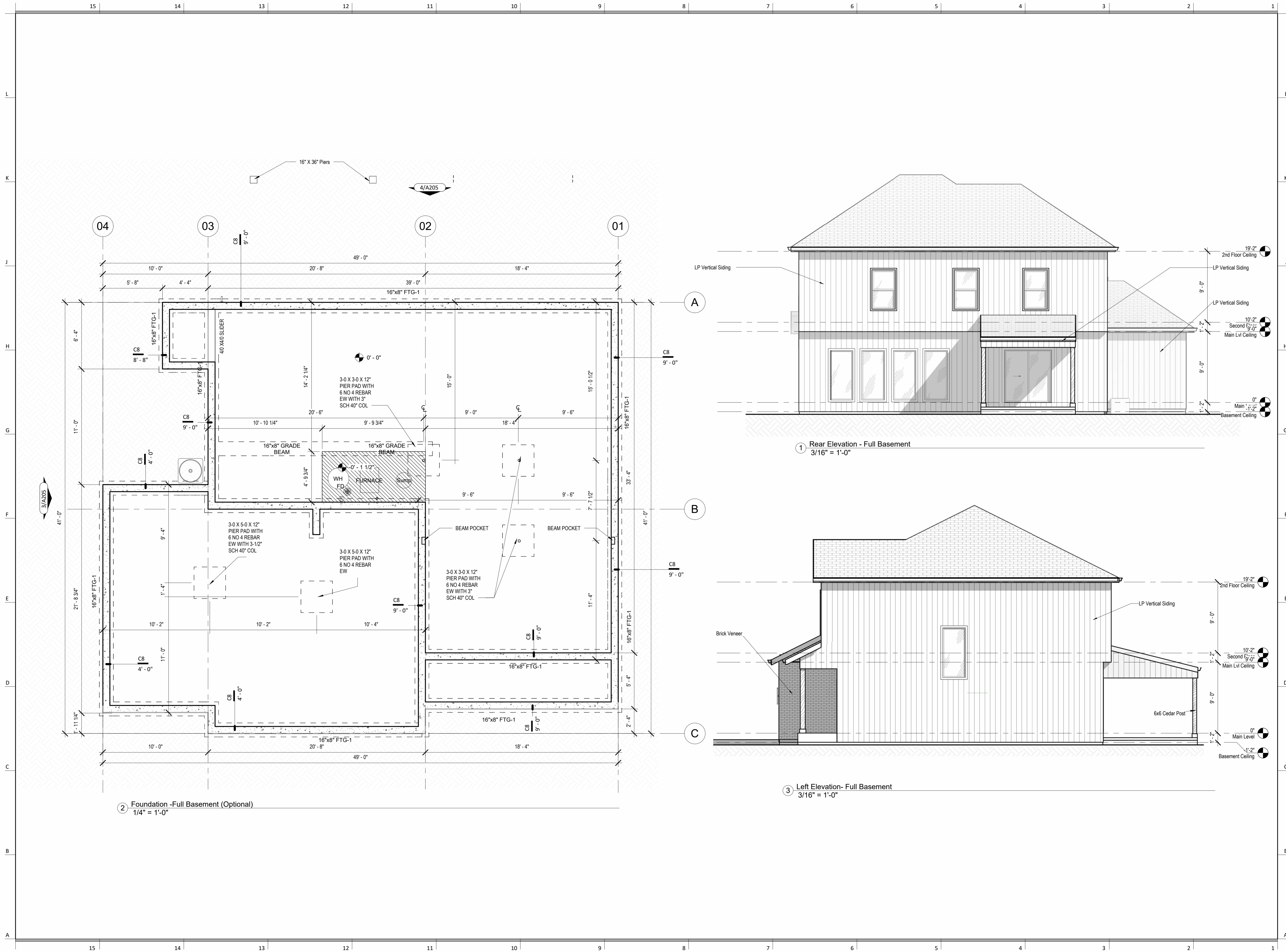
Elevations

DATE ISSUED

9/12/2024

DRAWING NUMBER

A202



② Foundation - Full Basement (Optional)
1/4" = 1'-0"

① Rear Elevation - Full Basement
3/16" = 1'-0"

③ Left Elevation - Full Basement
3/16" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
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REVISIONS

Number	DESCRIPTION	DATE

PROJECT

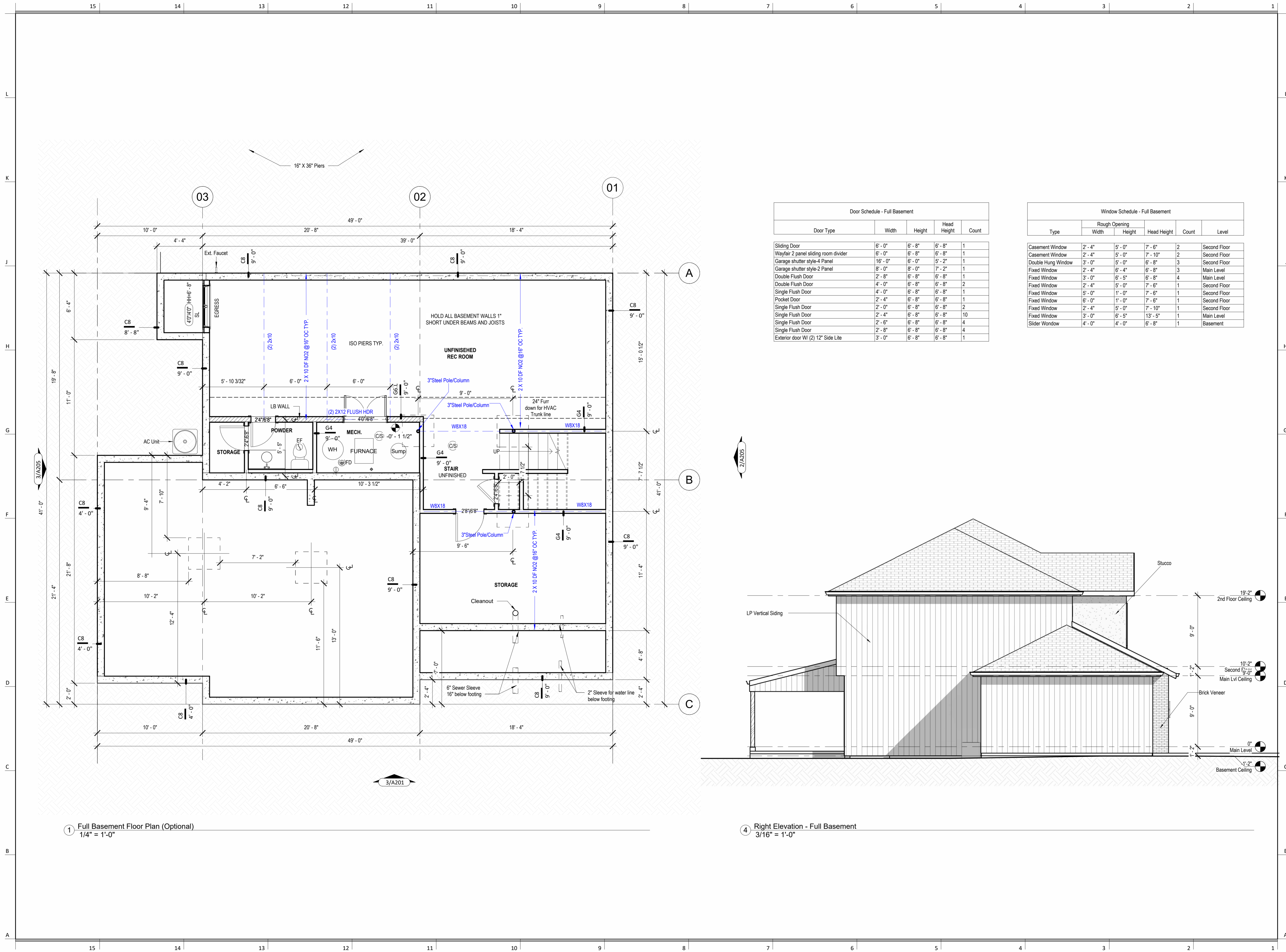
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan & Elevations-Full
Basement 1

DATE ISSUED
9/12/2024

DRAWING NUMBER

A203

AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/13/2024



Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfair 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level
Slider Window	4'-0"	4'-0"	6'-8"	1	Basement

1 Full Basement Floor Plan (Optional)
1/4" = 1'-0"

4 Right Elevation - Full Basement
3/16" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuild.com

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Number	DESCRIPTION	DATE

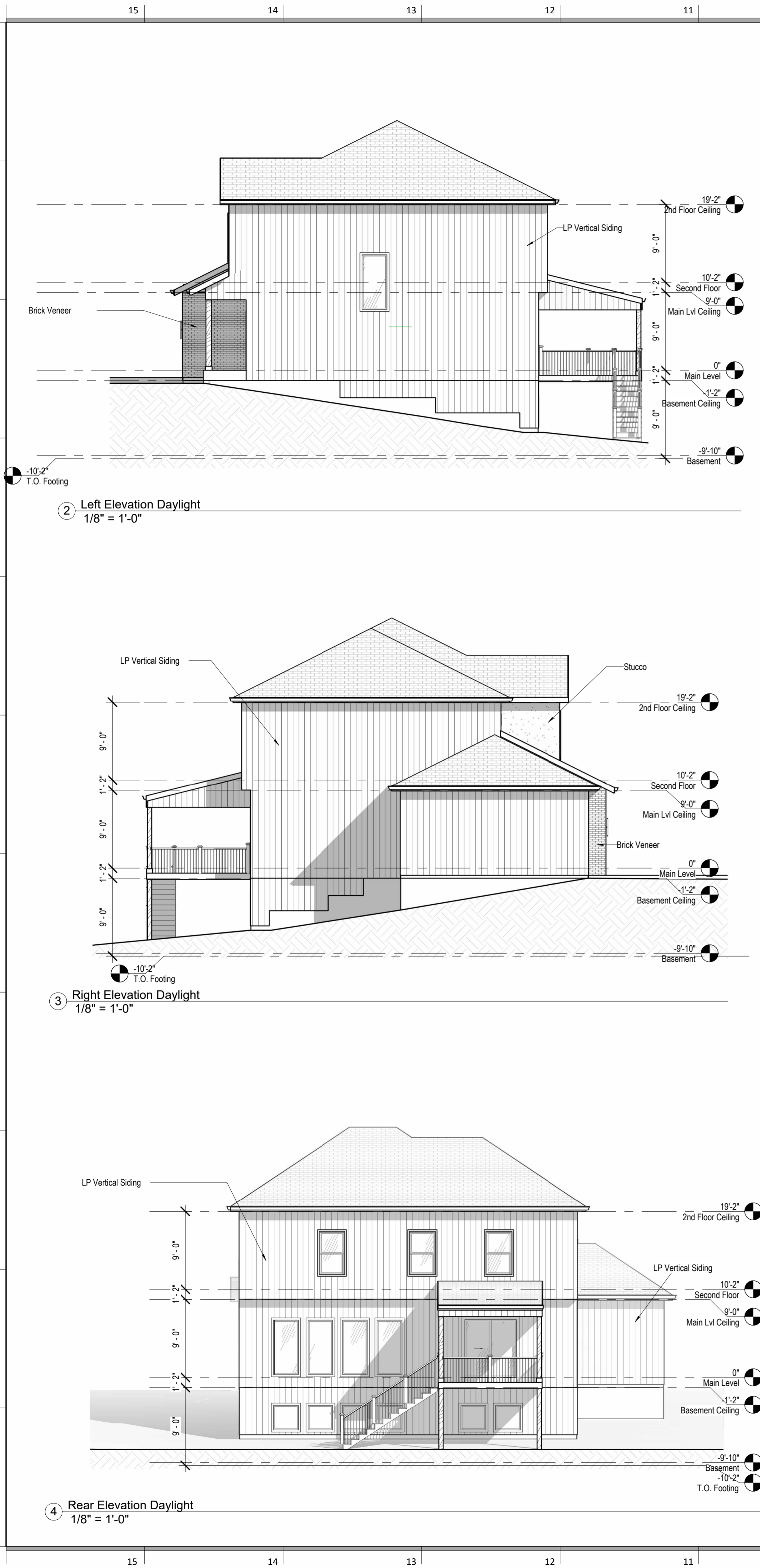
PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan & Elevations-Full
Basement 2

DATE ISSUED
9/12/2024



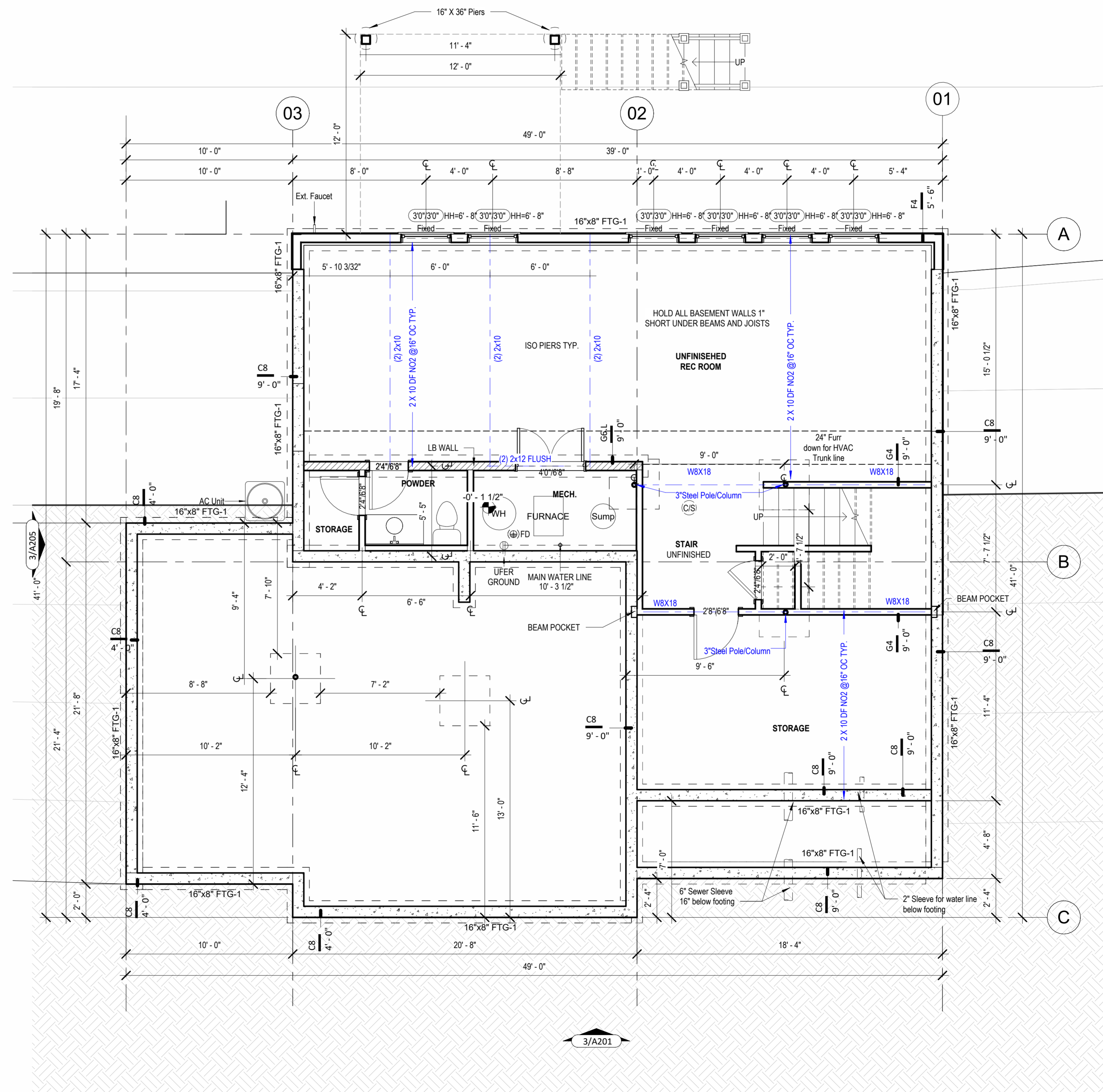
DRAWING NUMBER

A204



Door Schedule - Daylight				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfarer 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Window Schedule - Daylight					
Window Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	3'-0"	6'-8"	6	Basement
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level



architect:
Elevate Design + Build
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816.622.8826 voice
www.elevatedesignbuildkc.com

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AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Floor Plan & Elevations-Daylight

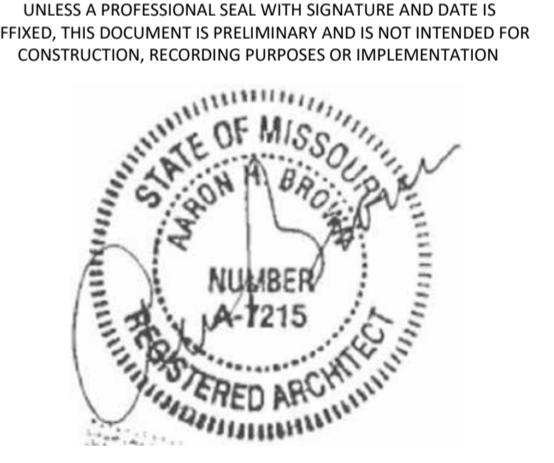
DATE ISSUED
9/12/2024

DRAWING NUMBER

A205

AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/13/2024

architect:
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AUGUST 13, 2024

Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
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Lot : HF 199
DRAWING TITLE

Details

DATE ISSUED
9/12/2024

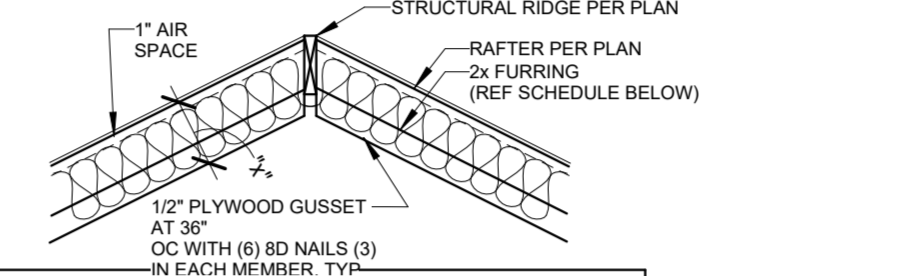
DRAWING NUMBER

A501

1. SMOKE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND COMPLY WITH SECTION R314 COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE IN ACCORDANCE WITH UL 217 & UL 2034
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
a. IN EACH SLEEPING ROOM
b. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
c. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS
3. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITH AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3 THE ALARM DEVICE SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL UNIT.

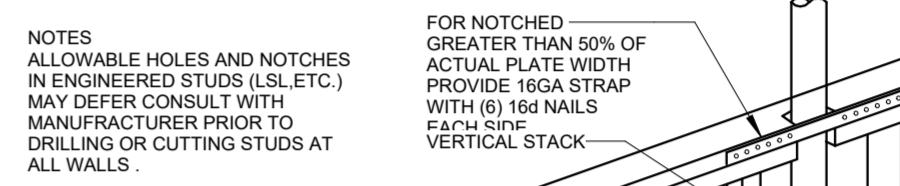
J SMOKE & CARBON MON. DETECTOR REQ'S N.T.S.

K LP/SMARTSIDE NAILING PATTERN N.T.S.

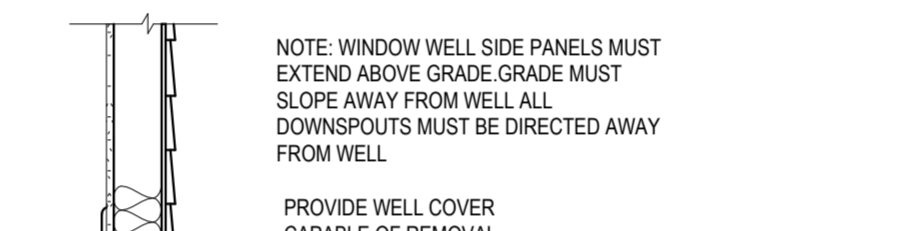


RAFTER SIZE	R-30C INSULATION (X" = 9" 14R-30C INSULATION (X" = 11" 14")
2x6	2x6
2x8	2x8
2x10	NOT REQUIRED
2x12	NOT REQUIRED

H FUR DOWN RAFTER REQUIREMENTS N.T.S.



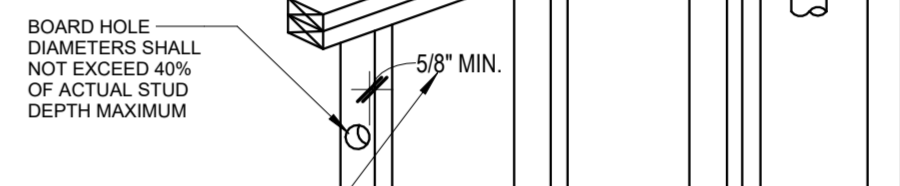
F NOTCHING REQUIREMENTS PER IRC N.T.S.



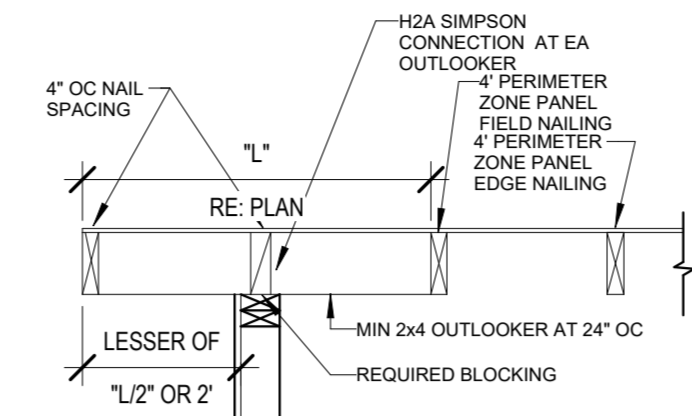
M EGRESS WELL CONSTRUCTION/DETAIL N.T.S.



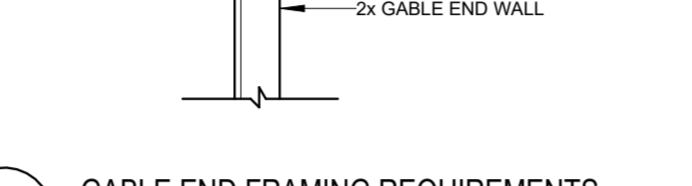
B SILL PLATE LAYOUT/DETAILS N.T.S.



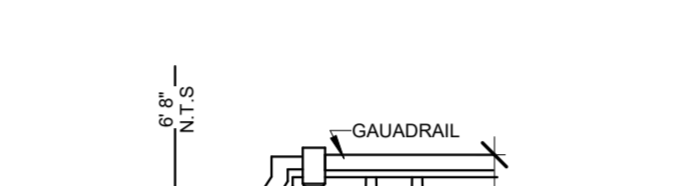
A TYP. WALL FRAMING SECTION N.T.S.



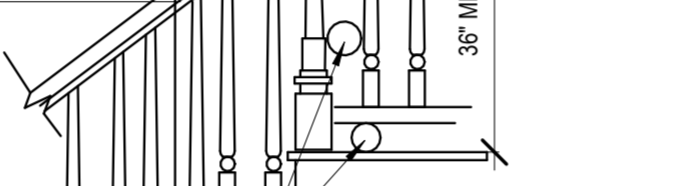
L GABLE END FRAMING REQUIREMENTS N.T.S.



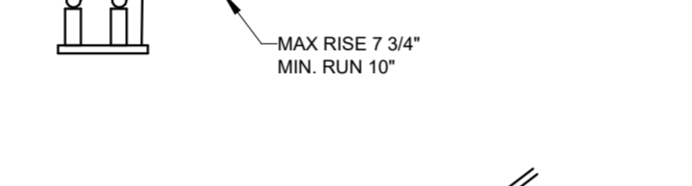
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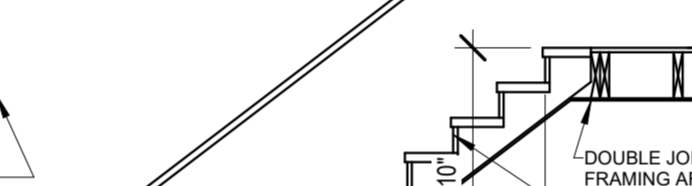
N LATERAL DECK CONNECTION N.T.S.



M TYPICAL RAISED WOOD DECK FRAMING N.T.S.



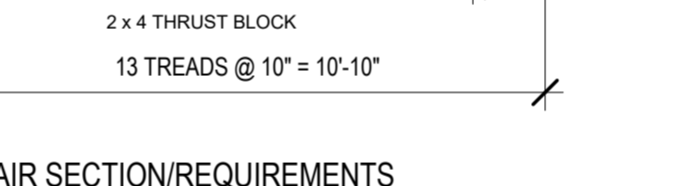
G PIER/POST FOOTING FOR DECK ONLY N.T.S.



E TYP. STAIR SECTION/REQUIREMENTS N.T.S.



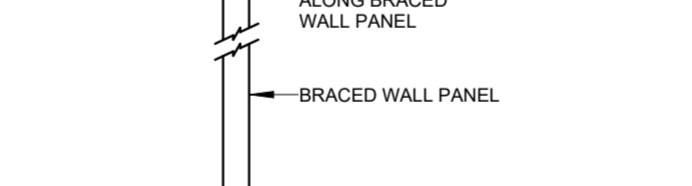
C BRACED WALL SEGMENT ATTACHMENT CEILING/FLOOR N.T.S.



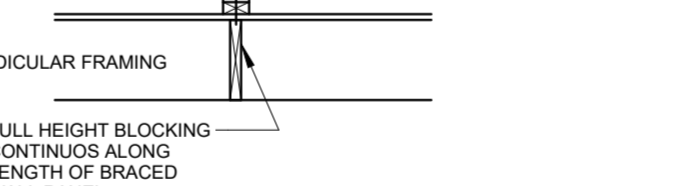
B SILL PLATE LAYOUT/DETAILS N.T.S.



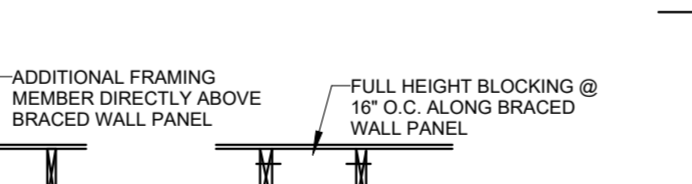
M EGRESS WELL CONSTRUCTION/DETAIL N.T.S.



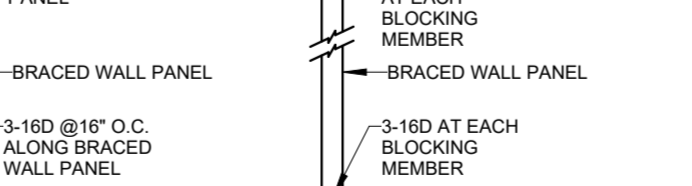
F NOTCHING REQUIREMENTS PER IRC N.T.S.



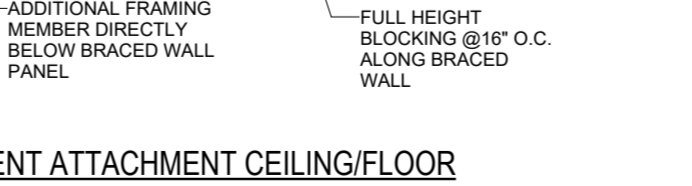
A TYP. WALL FRAMING SECTION N.T.S.



L GABLE END FRAMING REQUIREMENTS N.T.S.



H FUR DOWN RAFTER REQUIREMENTS N.T.S.



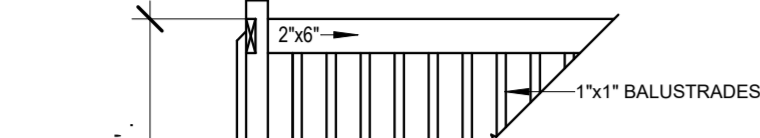
N LATERAL DECK CONNECTION N.T.S.



M TYPICAL RAISED WOOD DECK FRAMING N.T.S.

NOTE
-WHERE ADJACENT GRADE IS 2'-0" OR LESS A GUARD IS NOT REQUIRED.
-DECK DESIGN LOAD IS BASED ON 100 lbs/sq.ft. AS PER NATIONAL BUILDING CODE.
-WHERE JOIST SPAN EXCEEDS 7'-0", PROVIDE BRIDGING @ MID-SPAN (AS SHOWN)

DECK LEDGER ATTACHMENT
1. (2) LAGS REQUIRED AT EA. END 2" FROM ENDS
2. PROVIDE 1 x 4 TREATED SPACED BEHIND EA. LAG
3. PROVIDE LAGS IN EA. JOIST SPACE W/ (2) EVERY OTHER SPACE, 2" FROM EDGES
4. MIN. SIZE LAG IS 1/2" DIA. x 6" LENGTH
5. PROVIDE FLASHING BETWEEN RM. JOIST & LEDGER



OPTIONAL FOOTING
PROVIDE DECK SUPPORT BLOCK @ EACH POST ON 12" THICK GRANULAR BASE EXTENDING A MINIMUM OF 4" AROUND PERIMETER OF CONCRETE BLOCK & TAMPED

NOTE: ALL WOOD USED IN THE CONSTRUCTION OF ALL DECKS & RAILINGS, ETC. TO BE PRESSURE TREATED APPLY BUILDING PAPER BETWEEN DECKING & JOISTS

GENERAL NOTES AND REQUIREMENTS
DOORS AND WINDOWS:
1. ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR ADJACENT TO DOORS <24" AND WITHIN DOORS ABOVE WINDOWS TO BE SAFETY TYPE GLASS AND LABELED SUCH THAT THEY ARE NOT. THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE REINSPECTING FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED.
GARAGES:
1. GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8" TYPE X GWB. EXTEND TO BOTTOM OF DOOR TO BE 2-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSER & LATCH
2. 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
3. TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS
LIGHT AND VENTILATION:
1. PROVIDE SWAYWAY ILLUMINATION PER R303.7.9
2. GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION
3. FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED W/ A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR
4. VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
5. PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.
GYPSONUM BOARD:
1. G.B. APPLIED TO CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD
MATERIAL SYSTEMS:
1. FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IF PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE
2. PROVIDE MIN. 78% AFUE FOR WEATHERIZED GAS HEATING EQUIP.
3. PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
4. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
ELECTRICAL SYSTEMS:
1. PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING IN ACCORDANCE WITH IRC SECTION 3608.1
2. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
3. RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
4. ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE RESIDUAL-CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
5. ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE RATED TAMPER-RESISTANT:
1. RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
2. WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCE TO BE GROUND-FULG
1. BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
2. SILL PLATES SHALL BEAR EXTEND MIN. 6-INCHES ABOVE GRADE
3. ALL EXT. STUD TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-D NAILS (MIN)
4. ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILED W/ 8D @ 6" O.C. ALONG BRACED WALL PANELS
5. ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILED W/ 8D @ 6" O.C. ALONG EDGES & 8d COMMON @ 12" O.C. ALONG EDGES & 8d COMMON @ 12" O.C. @ INTERMEDIATE STUDS
WOOD FRAMING, FLOORS AND ROOF NOTES:
1. EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL) STUD GRADE 2 OR BETTER @ 16" O.C.
2. ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8D @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
3. SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8D @ 6" O.C.
4. HEADERS: PROVIDE (2) 2 x 4 (SYP OR DFL) #2 OR BETTER U.N.O.C. CONSTRUCT HEADERS W/ 2 x 4 7/16" OSB BETWEEN W/ (2) ROWS OF 16D @ 16" O.C.
5. BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2-INCHES. 6. T&F J., C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER
7. EXT. WALL STUDS & LOW BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 602.3
8. STUDS, RAFTERS, JOISTS, MISB, LUMBER, MIN. GRADE #2 D.F. OR S.Y.P.
STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES:
1. ALL STEEL PIPE COLUMNS TO BE 3" OR 3 1/2" SCHEDULE 40 GRADE
2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
4. AT WALKOUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERDIG AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4" FOOT OVERDIG
5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-4 INSULATION FOR A MIN. OF 3 FEET BELOW THE TOP OF THE SLAB
6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.
PHYSICAL SECURITY ORDINANCE:
1. OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

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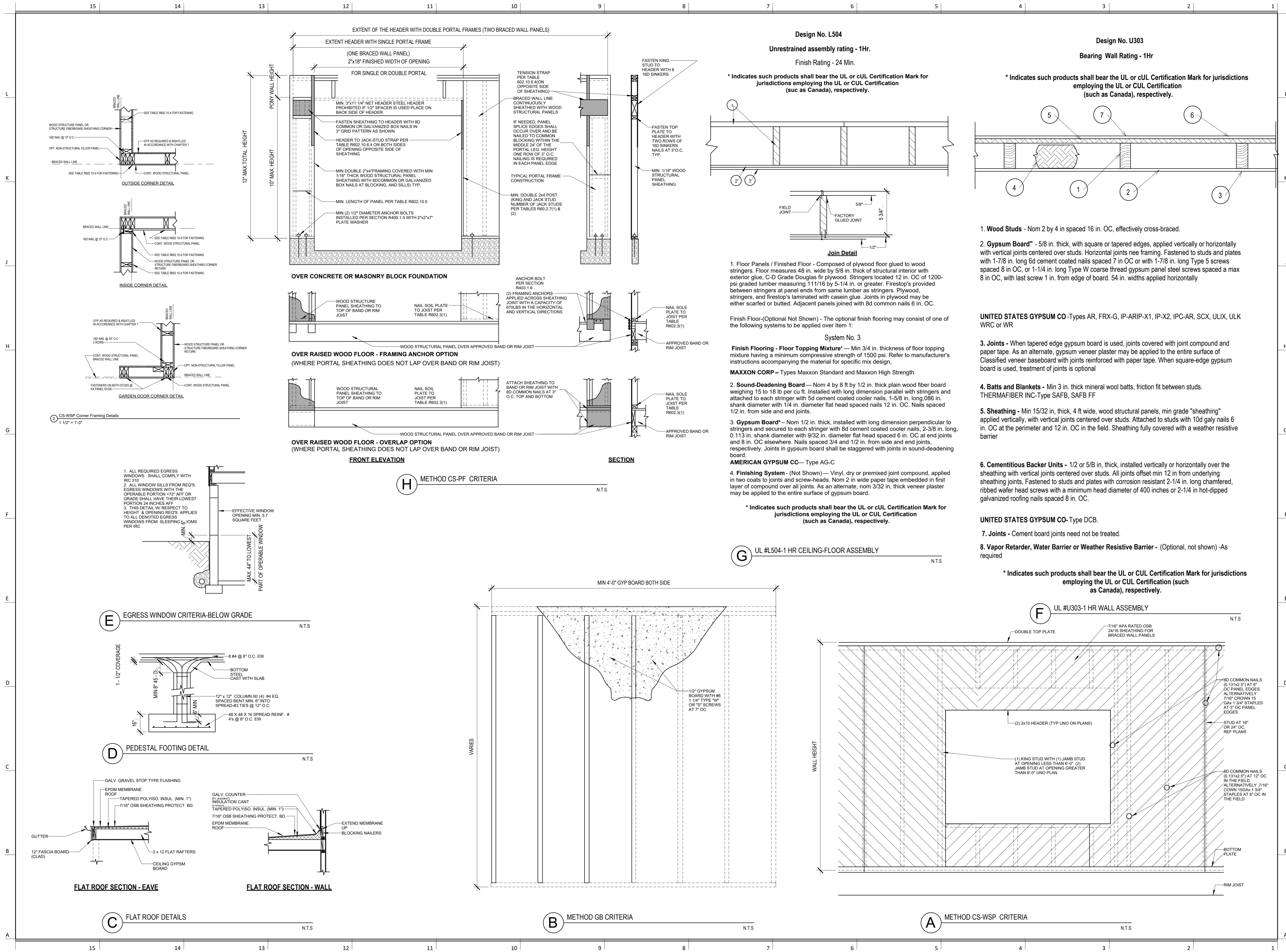
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c. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS
3. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITH AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3 THE



* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (suc as Canada), respectively.

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- Wood Studs** - Nom 2 by 4 in spaced 16 in. OC, effectively cross-braced.
- Gypsum Board** - 5/8 in. thick, with square or tapered edges, applied vertically or horizontally with vertical joints centered over studs. Horizontal joints nee framing. Fastened to studs and plates with 1-7/8 in. long 6d cement coated nails spaced 7 in OC or with 1-7/8 in. long Type 5 screws spaced 8 in OC, or 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in OC, with last screw 1 in. from edge of board. 54 in. widths applied horizontally
- Joints** - When tapered edge gypsum board is used, joints covered with joint compound and paper tape. As an alternate, gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape. When square-edge gypsum board is used, treatment of joints is optional
- Batts and Blankets** - Min 3 in. thick mineral wool batts, friction fit between studs. THERMAFIBER INC-Type SAFB, SAFB FF
- Sheathing** - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically, with vertical joints centered over studs. Attached to studs with 10d galy nails 6 in. OC at the perimeter and 12 in. OC in the field. Sheathing fully covered with a weather resistive barrier
- Cementitious Backer Units** - 1/2 or 5/8 in. thick, installed vertically or horizontally over the sheathing with vertical joints centered over studs. All joints offset min 12 in from underlying sheathing joints. Fastened to studs and plates with corrosion resistant 2-1/4 in. long chamfered, ribbed wafer head screws with a minimum head diameter of 400 inches or 2-1/4 in hot-dipped galvanized roofing nails spaced 8 in. OC.

- Joints** - Cement board joints need not be treated.
- Vapor Retarder, Water Barrier or Weather Resistive Barrier** - (Optional, not shown) -As required

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AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT
Address : 2230 SW Crown Drive,
Lee's Summit, MO
Lot : HF 199
DRAWING TITLE
Details

DATE ISSUED
9/12/2024

DRAWING NUMBER

A502

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