

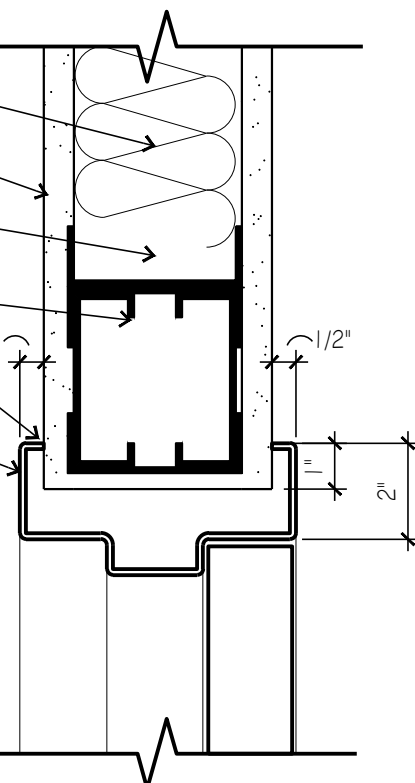
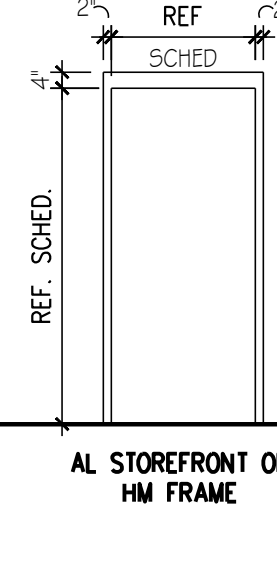
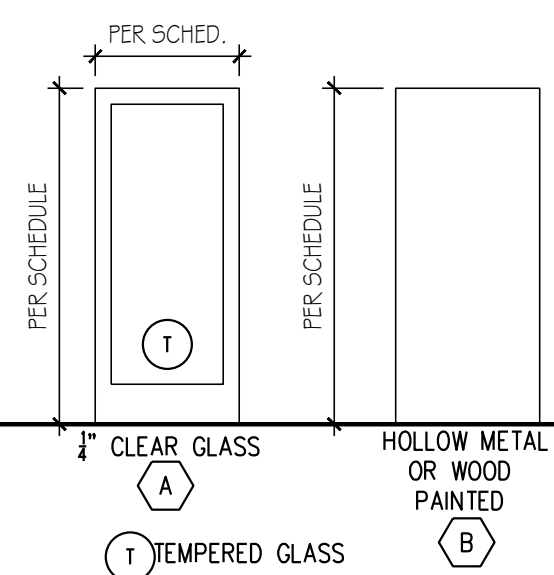
DOOR NO.	DOOR					FRAME				RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	HEAD			
100	3'-0"	7'-0"	1 3/4"	A	AL	ANOD	AL	ANOD	-	-	1	NOTE: 1, 2, 3.
101	3'-0"	7'-0"	1 3/4"	B	HM	PAINT	HM	PAINT	4A1.0	-	2	

NOTE: FIELD VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO FINAL FABRICATION. ALL NEW LOOKS TO BE BEST OR FALCON.

NOTE 1: MEDIUM STYLE ALUM STOREFRONT DOOR W/ 1 TEMPERED GLASS RE: ELEVATIONS AND SECTIONS FOR REMAINERS OF INFORMATION.  
NOTE 2: FOR ALL DOOR THRESHOLDS, SEAL WATER TIGHT FOR NO MOISTURE PENETRATION. SET IN FULL SEALANT BED.  
NOTE 3: ALUMINUM FRAME COLOR: MATCH EXISTING.

SET #1: ALUMINUM STOREFRONT DOOR: CONTINUOUS HINGE (FINISH TO MATCH DOORS). PIVOT DEVICES (PUSH/PULL NOT BAR TYPE) BOTH W/ CYLINDER DOGGING. 1 KEYED TO EXTERIOR FOR ENTRY. 3 CYLINDERS (VERIFY TYPE: 1 @ DOOR- 2 FOR PIVOT DOGGING). 1 SETS 1 1/4" TUBULAR IS FULL SET (HARDWARE REQUIRED) OR EQUAL W/ 9/16" OFFSET PULL (OUTSIDE) & HOLE PULL BAR (INSIDE). 1 CLOSER W/ CAST IRON CYLINDER & STOP (LON 4040 OR EQUAL). 1 DOOR BOTTOM SWEEP. 1/2" MAX THRESHOLD W/ DOOR SEAL. PIVOT 2005SV OR EO WEATHERSTRIPPING ALL AROUND FRAME.

SET #2: INTERIOR DOORS: 3- BUTTS, TA 2714. 1- EXTERIOR LOCK SET PASSAGE FUNCTION. 1- WALL STOP. 3- SILENCER, GILYN-JOHNSON, QJ44.



HEAD DETAIL ④  
SCALE: N.T.S.

## REMODELING NOTES:

MAINTAIN EXISTING EXITS, EXIT ACCESS AND PROVIDE APPROPRIATE FIRE PREVENTION PROCEDURES DURING CONSTRUCTION.

PROTECT EXISTING CONSTRUCTION FROM DAMAGE AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS AT NO COST TO OWNER.

VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS AND MAKE ALL CONNECTIONS REQUIRED. LOCATIONS OF EXISTING UTILITIES INDICATED IN THE DRAWINGS ARE APPROXIMATE, ARE BASED ON INFORMATION PROVIDED. PROVIDE CONNECTIONS AS REQUIRED BY ACTUAL UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION WORK.

ALIGN NEW FINISHES WITH EXISTING FINISHES EXCEPT AS OTHERWISE INDICATED.

PATCH ALL EXISTING WALL PENETRATIONS AND REFINISH TO MATCH ADJACENT SURFACES TYPICALLY.

PHASE CONSTRUCTION AT PARKING AREAS SO THAT ADEQUATE PARKING WILL BE AVAILABLE AT ALL TIMES.

REFER TO OTHER SHEETS IN THIS SET FOR ADDITIONAL DEMOLITION REQUIREMENTS, WHICH SHALL BE BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.

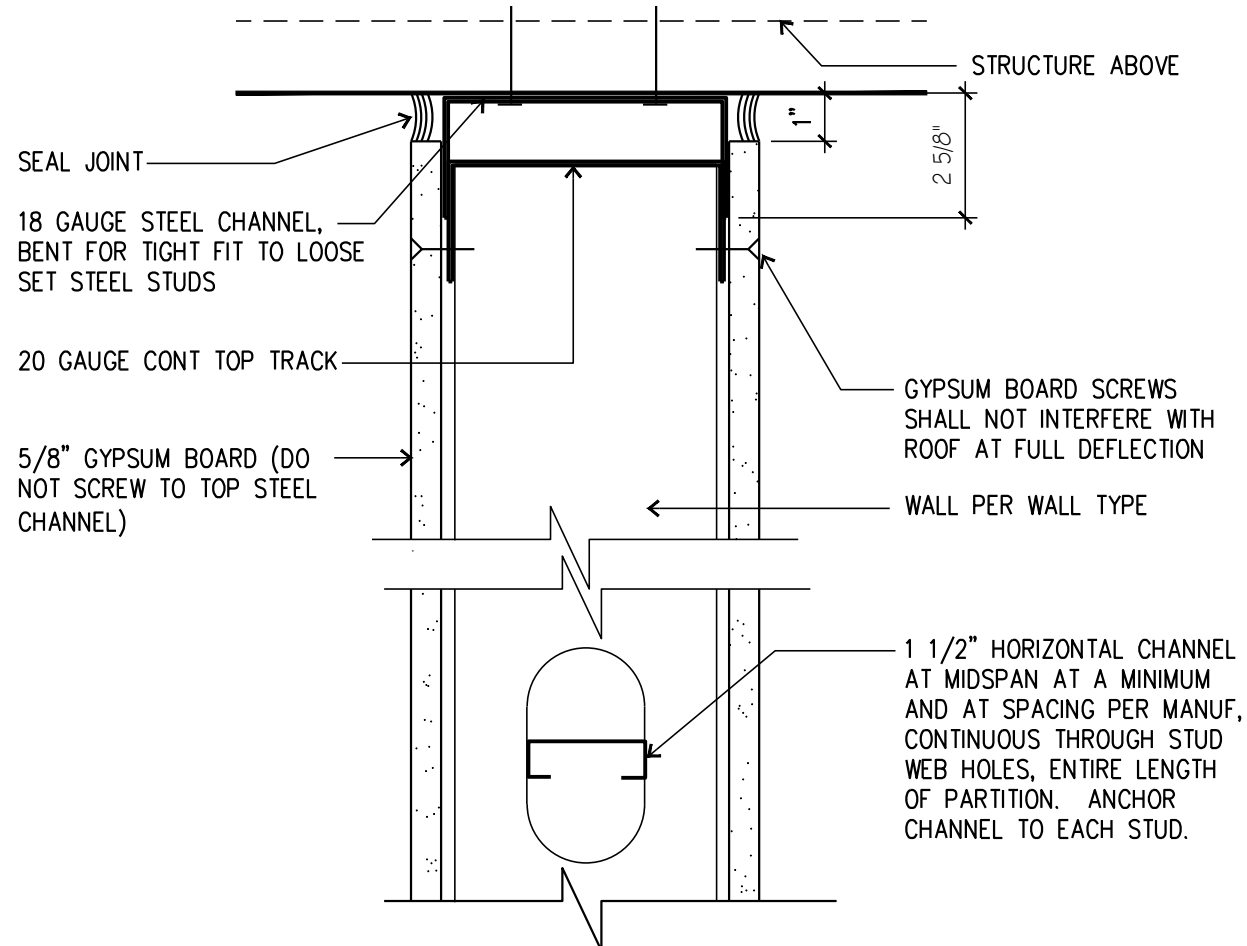
REMOVE UNUSED UTILITIES NOT REUSED, CAPPED BELOW FINAL FINISH SURFACES.

REMOVE ALL EXISTING ELEMENTS WHICH CONFLICT WITH THE NEW WORK, WHETHER OR NOT SHOWN ON THE DRAWINGS.

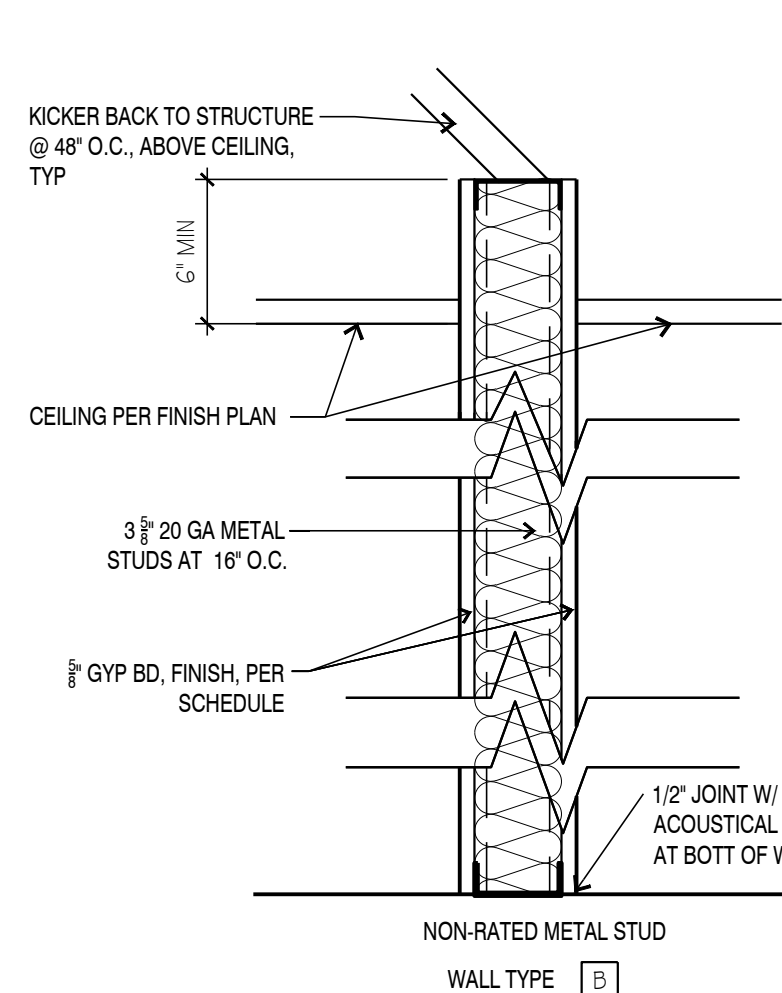
DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK.

WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. EDGES OF WALLS SHOWN TO REMAIN SHALL BE CLEANLY CUT TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.

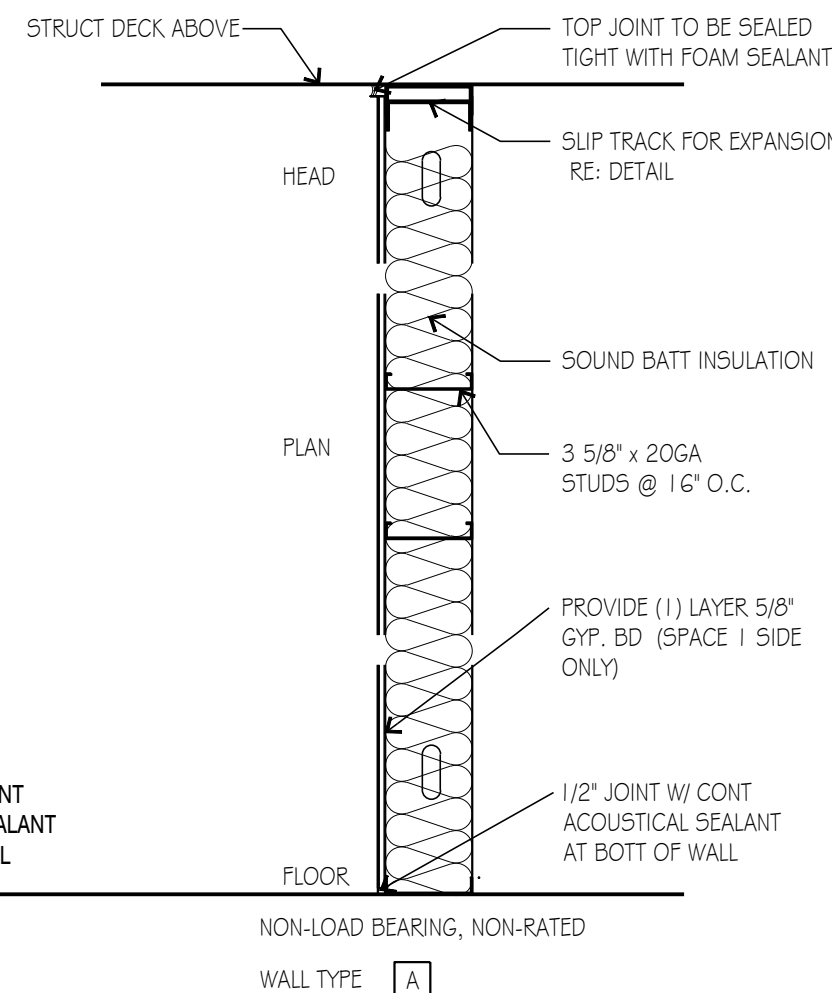
PROVIDE TEMPORARY WEATHER PROTECTION AND SECURITY DEVICES DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.



SLIP TRACK DETAIL ③  
SCALE: N.T.S.



WALL TYPE ②  
SCALE: N.T.S.



## CODE DATA:

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

**BUILDING CODE** 2018 International Building Code  
**ELECTRICAL CODE** 2017 NATIONAL ELECTRICAL CODE  
**MECHANICAL CODE** 2018 INTERNATIONAL MECHANICAL CODE  
**PLUMBING CODE** 2018 INTERNATIONAL PLUMBING CODE  
**FIRE PROTECTION** 2018 INTERNATIONAL FIRE CODE - NFPA 13  
**ACCESSIBILITY** 2010 AMERICANS WITH DISABILITIES ACT - DESIGN GUIDELINES

**OCCUPANCY TYPE:** B - BUSINESS

**CONSTRUCTION TYPE:** TYPE V-B NON-COMBUSTIBLE (SPRINKLED)

**OCCUPANT LOAD:** BUILDING GROSS AREA: EXISTING= 11,204 SF

**OFFICE SPACE 1 OCCUPANT LOAD:** OFFICE SPACE 1 = 1,692 SF/150 = 12 OCC

**OFFICE SPACE 1 EXIT CALCULATION:** OCC. LOAD 12 = 1 REQD. EXIT PROVIDED= 1 EXITS  
EXIT WIDTH: 12 OCCUPANTS X .2 = 2.4 INCHES PROVIDED = 34 INCHES

**PLUMBING FIXTURE CALCS:**

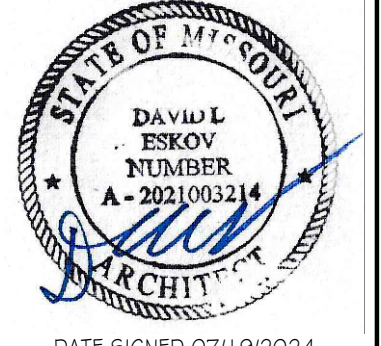
**RESTROOM FIXTURES** (Table 2902.1) Required - 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50.  
Restroom Fixtures Required Provided 12 occ = 1 water closets 1 water closets

Drinking fountain and mop sink are not required for occupant loads under 15

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913-284-3660

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DATE SIGNED 07/19/2024

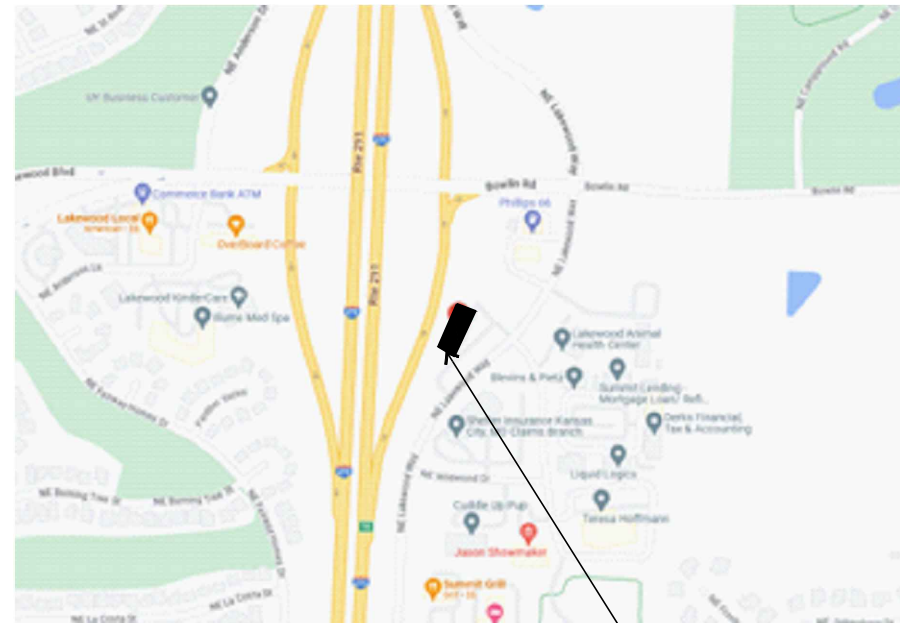
**ADA Compliance Certification**  
To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

David Eskov

**PERMIT**  
JULY 19, 2024

Revisions

VICINITY MAP:



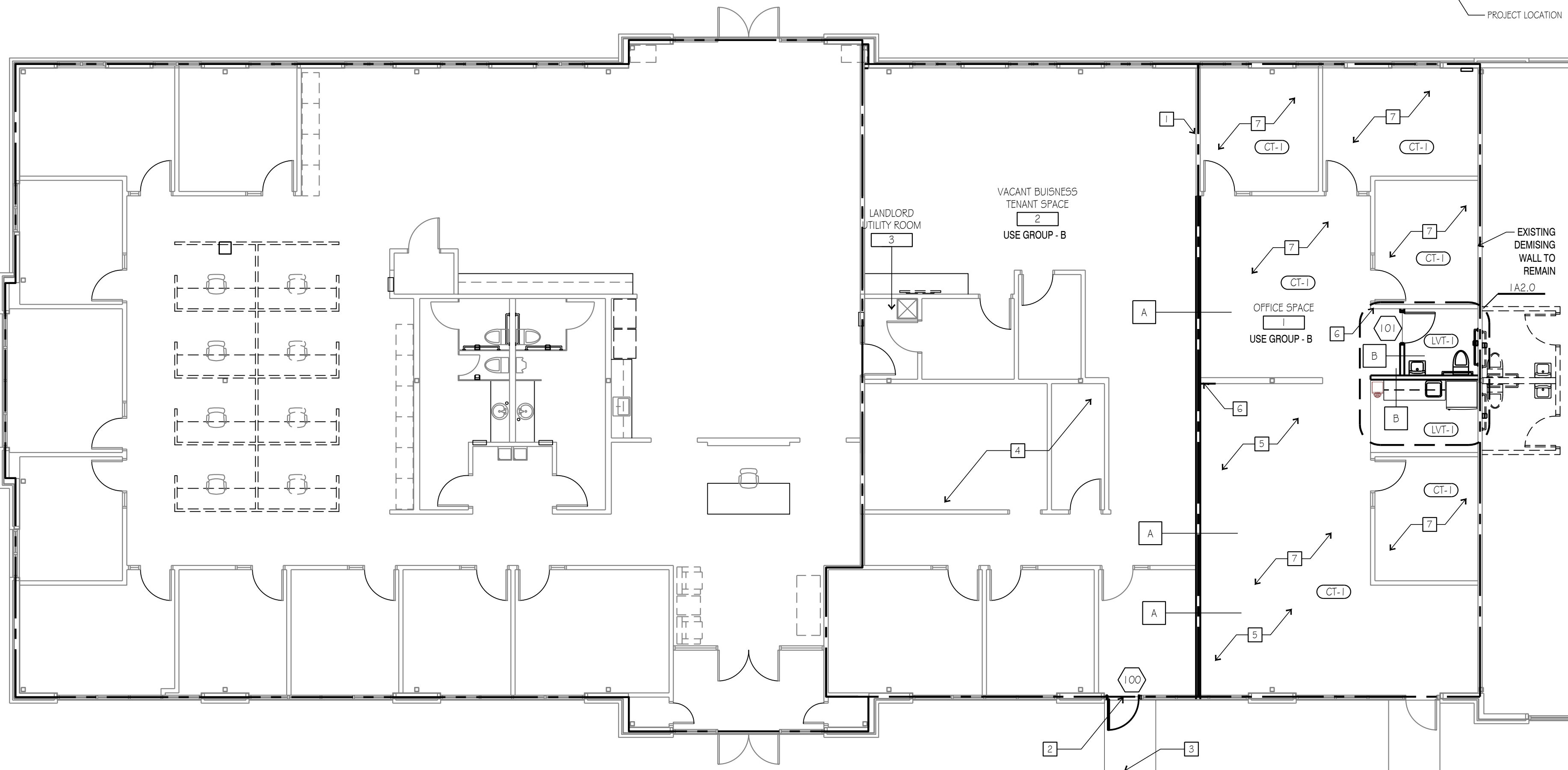
## DRAWING INDEX

### ARCHITECTURAL:

A1.0 FLOOR PLAN, WALL TYPE, AND DOOR SCHEDULE  
A2.0 ENLARGED RESTROOM, RESTROOM RCP, AND INTERIOR ELEVATIONS

### MEP:

MP1.0 MECHANICAL AND PLUMBING FLOOR PLAN  
EP0.0 ELECTRICAL SPECIFICATIONS  
E1.0 ELECTRICAL PLAN



### FLOOR PLAN KEYNOTES

- EXTEND EXISTING WALLS TO DECK PER WALL TYPE
- MODIFY EXISTING STOREFRONT AS REQUIRED TO ACCOMMODATE NEW STOREFRONT DOOR
- NEW 5' WIDE SIDEWALK, 4" CONCRETE OVER 4" DRAINAGE FILL MAX 2% CROSS SLOPE AND SLOPE 5' OUT FROM DOOR. PROVIDE (2) 12" L #4 DOVELS ANCHORED INTO EXISTING FOOTING A MIN OF 5"
- VACANT TENANT SPACE, FINAL BUILD OUT DRAWINGS UNDER SEPARATE PERMIT BY TENANT
- INFILL CEILING AND RELOCATE LIGHTS AS REQUIRED TO MATCH EXISTING CEILING LAYOUT AFTER REMOVAL OF OFFICE WALLS
- PATCH WALL AS REQUIRED TO MATCH EXISTING CONDITIONS, TYP
- INSTALL NEW CARPET, 4" RUBBER BASE, AND PAINT ALL WALLS THIS SPACE ONLY. COORDINATE FINISHES W/ OWNER

NOTE: MODIFY EXISTING CEILING AS REQUIRED TO ACCOMMODATE NEW WALL. REINSTALL CEILING ON TENANT SPACE 1 SIDE.

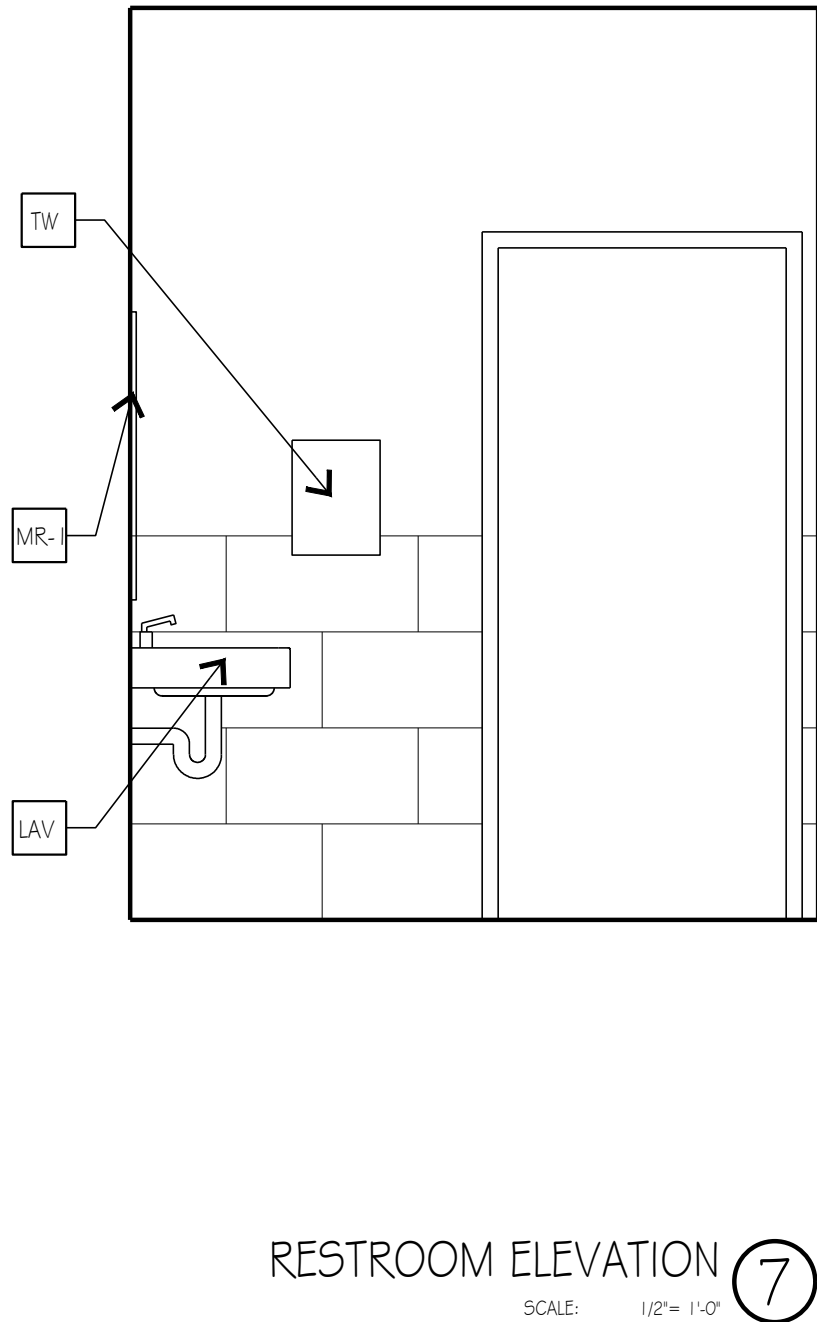
%FLOOR PLAN ①  
SCALE: 1/8" = 1'-0"

TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEE'S SUMMIT, MO

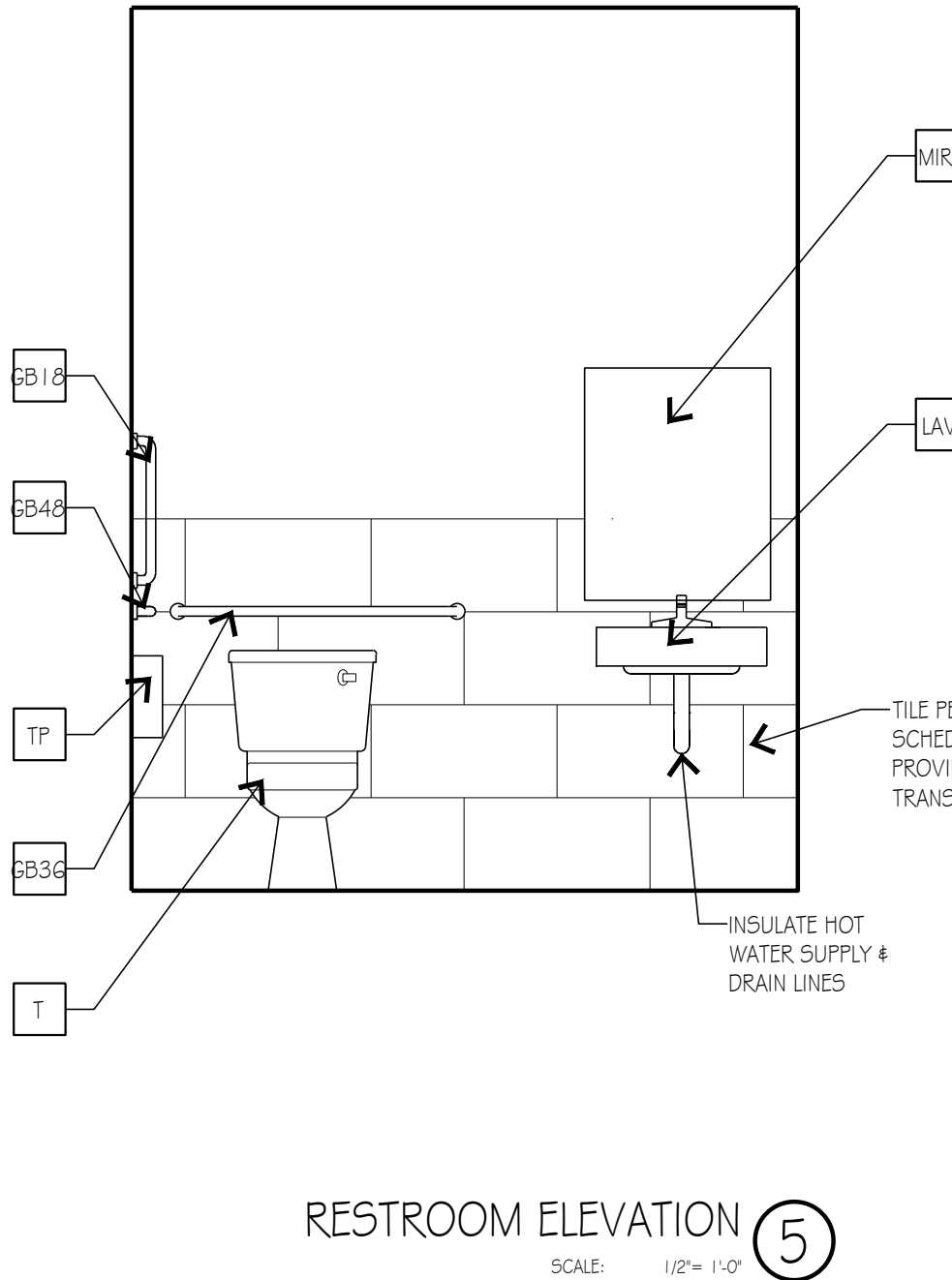
sheet  
A1.0  
FLOOR PLAN, WALL TYPE, AND DOOR SCHEDULE



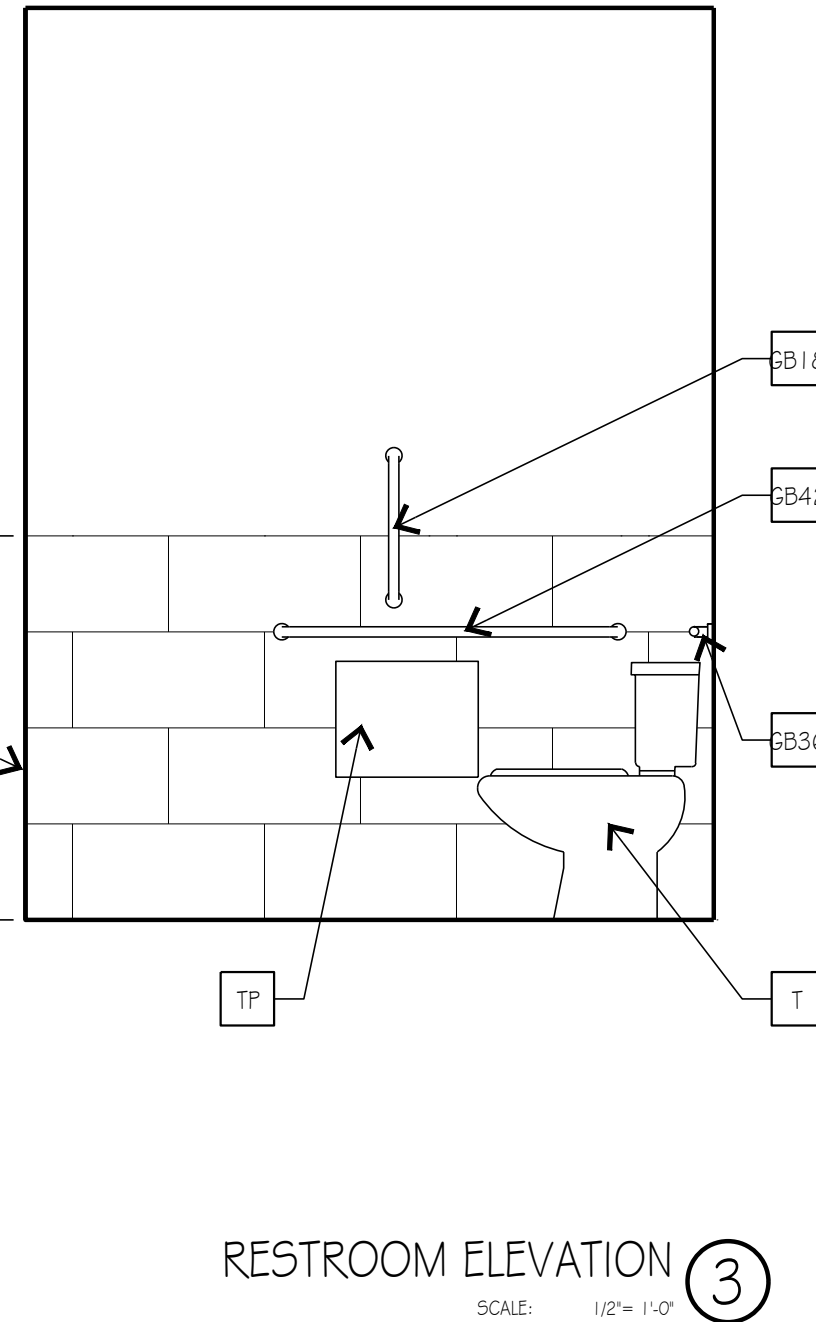
RESTROOM ACCESSORY SCHEDULE	
NO.	DESCRIPTION
GB36	GRAB BAR, 36" LONG, PROVIDE BLOCKING
GB42	GRAB BAR, 42" LONG, PROVIDE BLOCKING
GB18	VERTICAL GRAB BAR, 18" HIGH, PROVIDE BLOCKING
MIR-1	NEW MIRROR - BOBRICK B-2902436 WELDED FRAME MIRROR (24" X 36")
LAV	LAVATORY, RE: MEP COORDINATE MOUNTING SUPPORTS W/ MANUFACTURER
TP	TOILET TISSUE DISPENSER - BOBRICK B-2886 CLASSIC SERIES
TW	TOWEL DISPENSER: BOBRICK B-3699 SURFACE MOUNTED PAPER TOWEL DISPENSER / WASTE RECEPTACLE
NOTES: 1. DIMENSIONS ARE TO FACE OF FINISH 2. INSTALL BLOCKING IN WALLS FOR GRAB BARS, PARTITIONS, ACCESSORIES AS REQUIRED FOR SUPPORT. 3. LAVATORY TO BE INSTALLED PRIOR TO PARTITIONS. 4. REFER TO SHEET A003 FOR CLEAR FLOOR SPACE INFORMATION AND FIXTURE MOUNTING HEIGHTS, E.G. GRAB BARS, TOILET FIXTURES, AND ACCESSORIES. 5. REFER TO AG 1.1 & AG 2.1 FOR WALL AND DOOR TYPES 6. PROVIDE COAT HOOKS ON THE INSIDE OF ALL PARTITION DOORS	



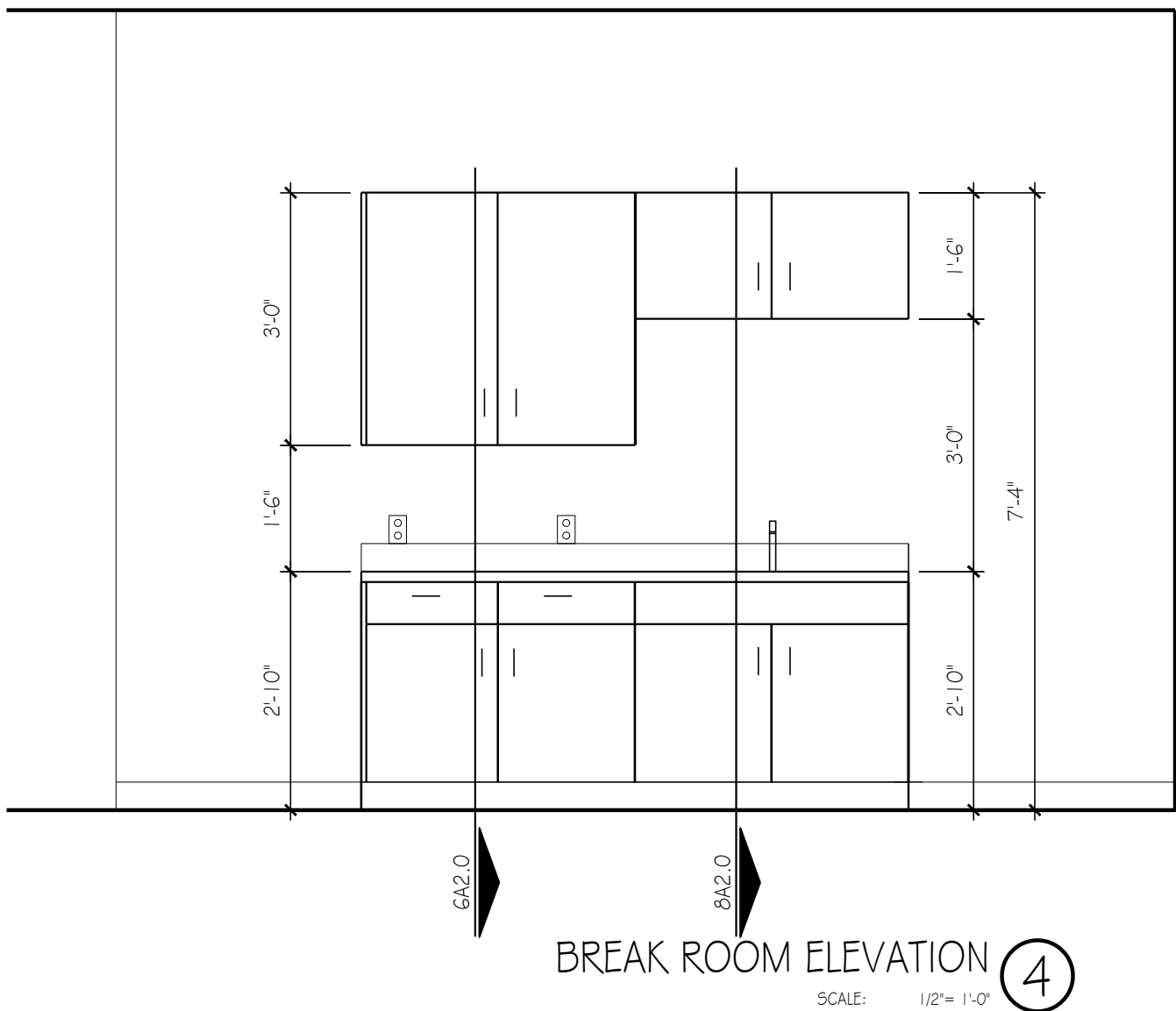
RESTROOM ELEVATION 7  
SCALE: 1/2" = 1'-0"



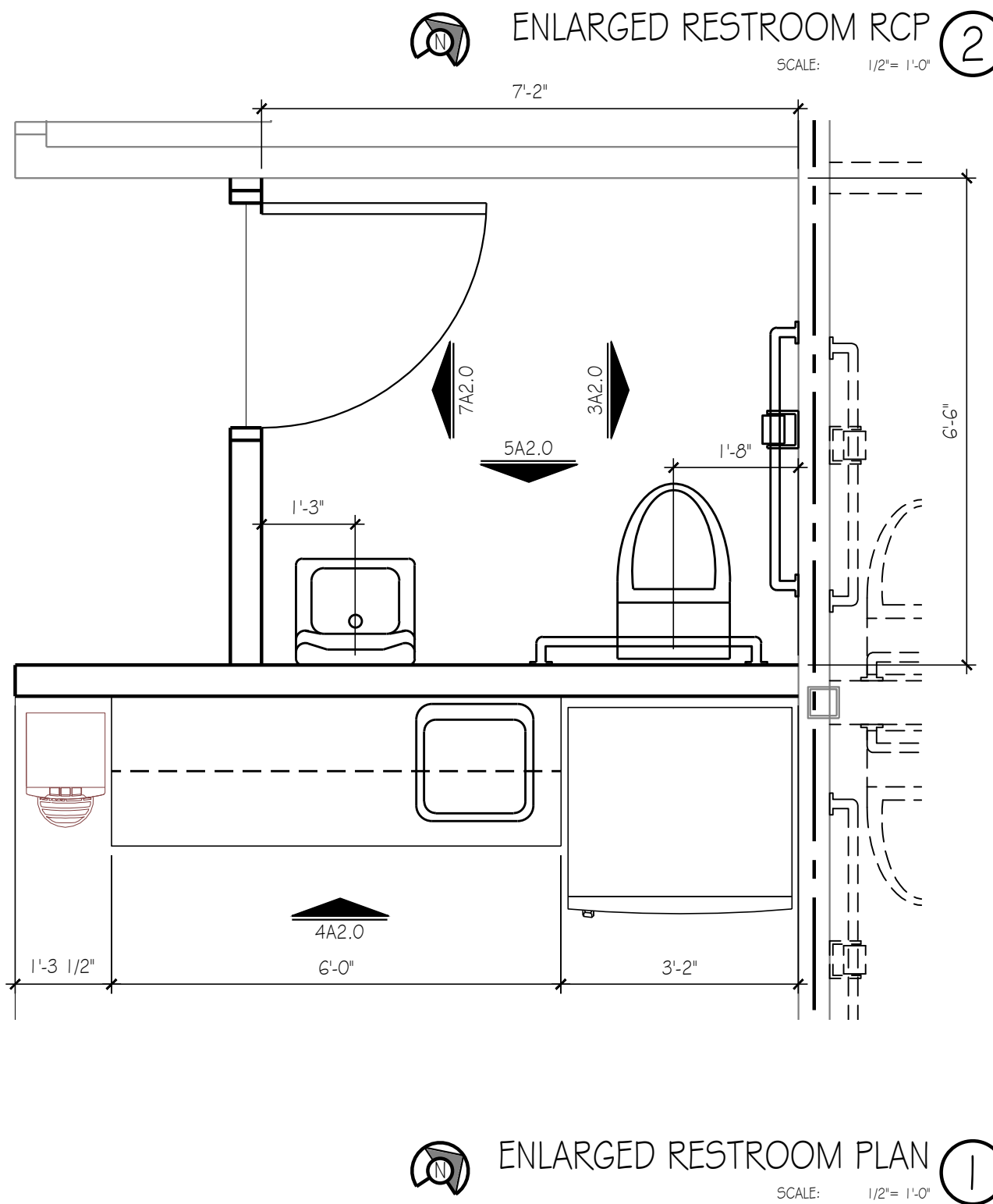
RESTROOM ELEVATION 5  
SCALE: 1/2" = 1'-0"



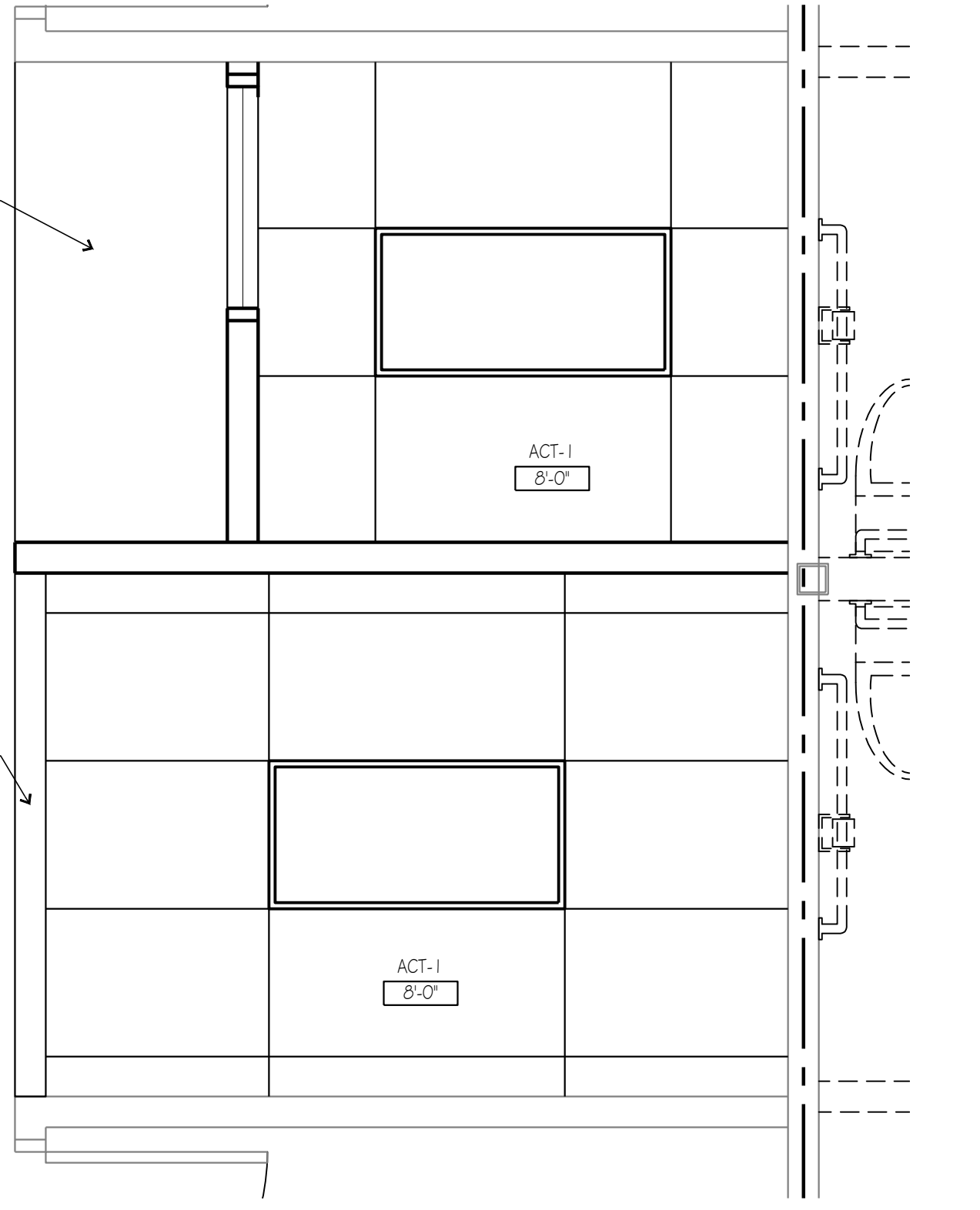
RESTROOM ELEVATION 3  
SCALE: 1/2" = 1'-0"



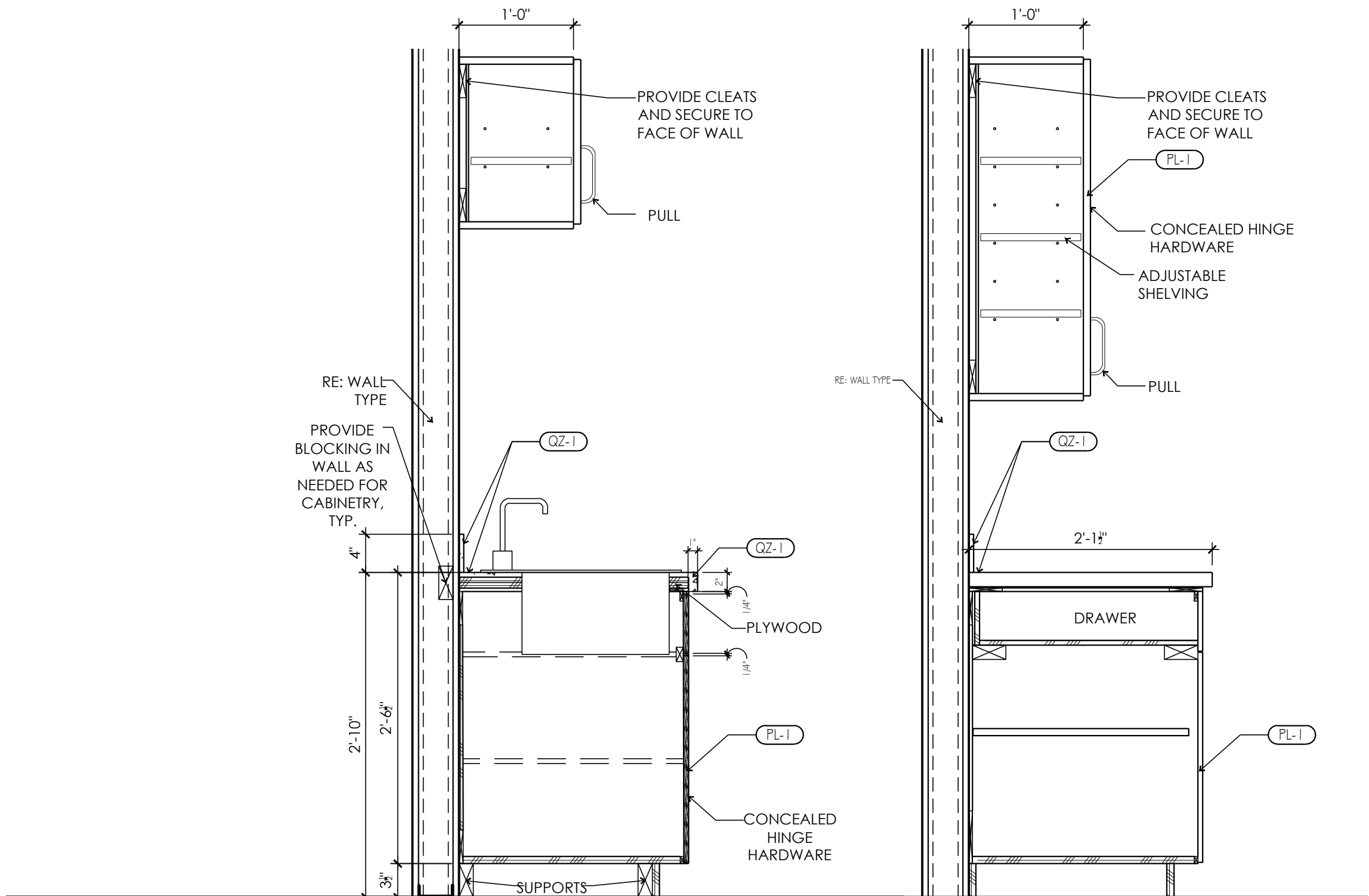
BREAK ROOM ELEVATION 4  
SCALE: 1/2" = 1'-0"



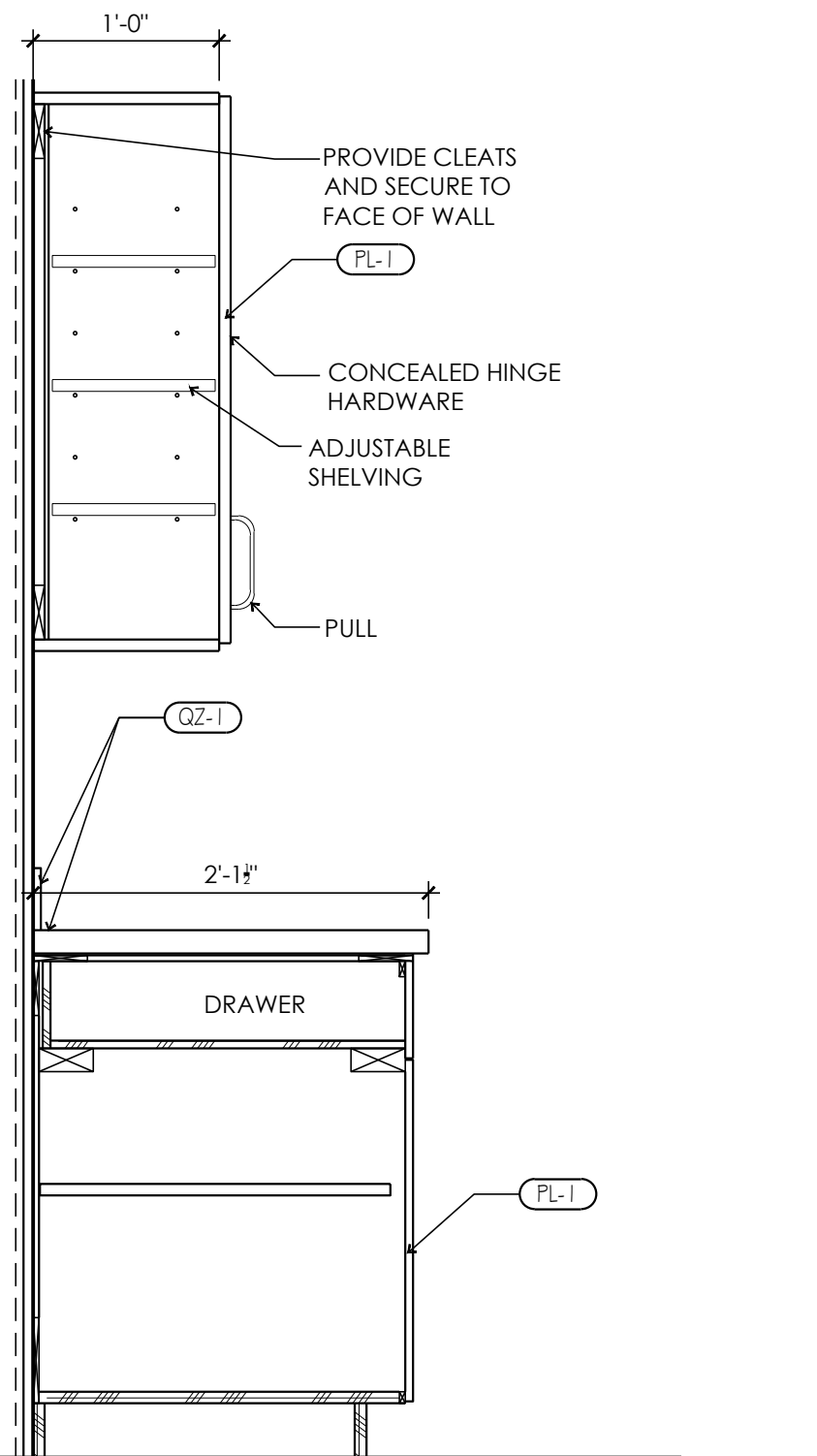
ENLARGED RESTROOM PLAN 1  
SCALE: 1/2" = 1'-0"



ENLARGED RESTROOM RCP 2  
SCALE: 1/2" = 1'-0"



CASEWORK SECTION 8  
SCALE: 1/2" = 1'-0"



CASEWORK SECTION 6  
SCALE: 1/2" = 1'-0"

TAG	MATERIAL	MANUFACTURE	STYLE & COLOR
P-1	PAINT	TBD	TBD
T-1	WALL TILE	TBD	TBD (PROVIDE MATERIAL ALLOWANCE)
PL-1	PLASTIC LAMINATE	TBD	TBD
QZ-1	QUARTZ COUNTER	TBD	TBD (PROVIDE MATERIAL ALLOWANCE)
LVT-1	LUXURY VINYL TILE	TBD	TBD (PROVIDE MATERIAL ALLOWANCE)
CT-1	CARPET TILE	TBD	TBD (PROVIDE MATERIAL ALLOWANCE)
RB-1	4" RUBBER BASE	TBD	TBD
ACT-1	ACOUSTICAL TILE (2x2)	TBD	TBD (PROVIDE MATERIAL ALLOWANCE)

- finish notes:
- All surfaces shall be cleaned and conditioned to receive new finish as required by finish product manufacturer. Surfaces shall be smooth, free from depressions.
  - All patterned flooring shall be centered in both directions and generated from center of room outward toward partitions, unless otherwise noted.
  - All walls shall receive a level 4 finish.
  - Install base at all casework where exposed unless noted otherwise.
  - Paint to be eggshell on walls typ. Use epoxy paint in wet areas (utility rooms, restrooms, etc) semi-gloss enamel at metal doors/frames, flat at exposed ceilings, ductworks, etc.
  - verify existing floor RH prior to purchasing flooring materials and verify meets manufacture required
  - remove adhesive/old finish and prep floor for polished concrete, typ

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best information available to  
Architect. Field verification of  
actual elements, conditions, and  
dimensions is required.

STATE OF MISSOURI  
DAVID L. ESKOV  
NUMBER  
A-2021083214  
ARCHITECT

DATE SIGNED 07/19/2024

ADA Compliance  
Certification  
To best of my professional knowledge,  
the facility as indicated is in compliance  
with the Americans with Disabilities  
Act, including the current ADA Title III  
Design Guidelines.

David Eskov

PERMIT  
JULY 19, 2024

Revisions

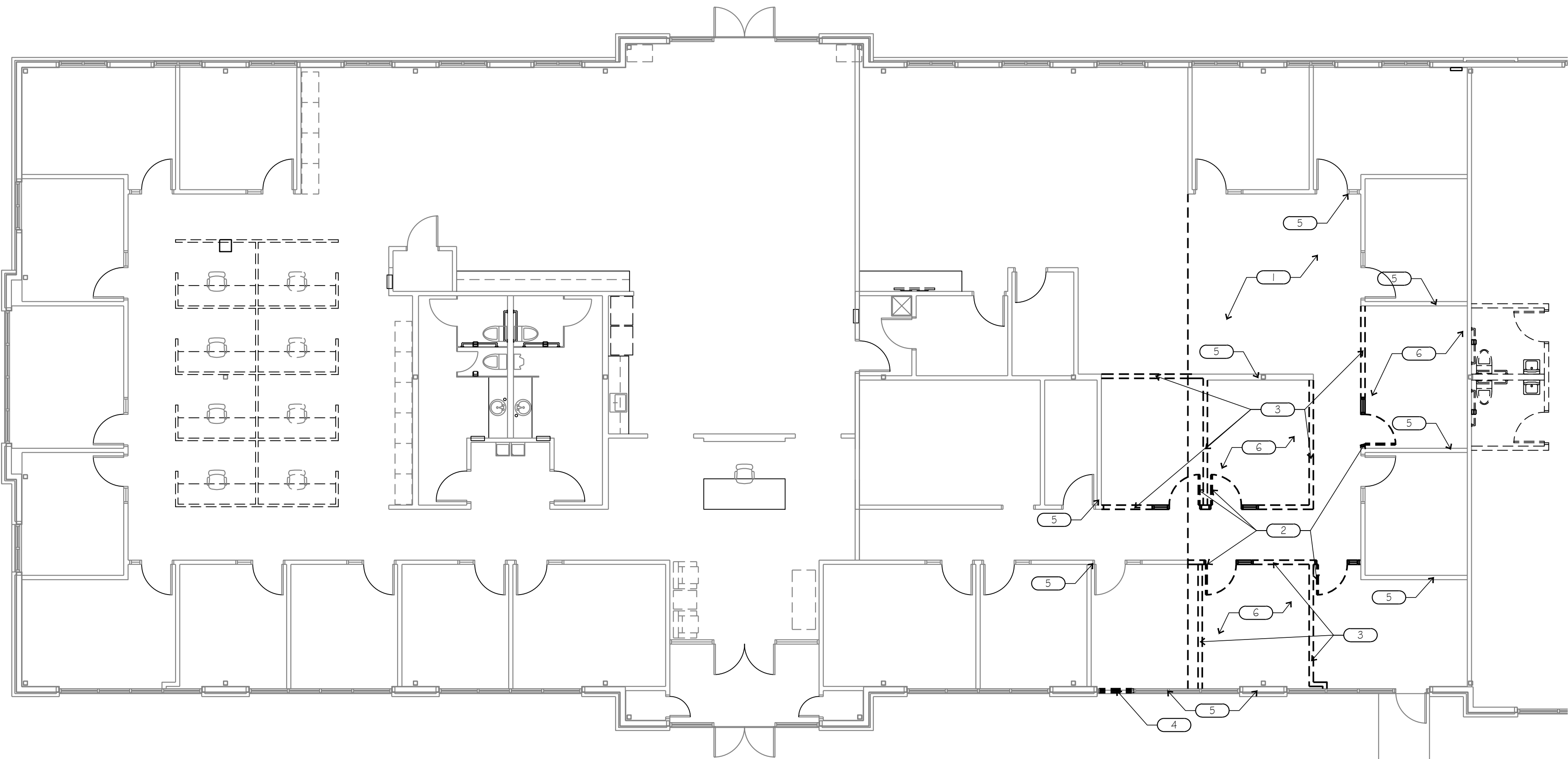
TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet  
A2.0  
ENLARGED RESTROOM,  
& INTERIOR  
ELEVATIONS

GENERAL DEMOLITION NOTES:

1. DO NOT REMOVE STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE.
2. PROTECT ALL ELEMENTS OF EXISTING CONSTRUCTION WHICH ARE TO REMAIN.
3. PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE LANDLORD'S CRITERIA. COORDINATE DEMOLITION WITH LANDLORD'S REPRESENTATIVE AND CONTACT LANDLORD IN ADVANCE OF ANY WORK INVOLVING CONNECTION TO LANDLORD'S BUILDING SYSTEMS OR REQUIRING TEMPORARY SHUT DOWN OF UTILITIES.
4. REMOVE UNUSED UTILITIES NOT REUSED, CAPPED BELOW FINAL FINISH SURFACES.
5. MAINTAIN SAFE EXITING AND FIRE SAFETY DURING ALL DEMOLITION AND CONSTRUCTION OPERATIONS.
6. REMOVE ALL EXISTING EQUIPMENT NOT REUSED. COORDINATE WITH OWNER FOR SALVAGE REQUIREMENTS.
7. WHERE INDICATED REMOVE EXISTING PARTITIONS, CEILINGS, SOFFITS AND ASSOCIATED FRAMING AND BRACING BACK TO STRUCTURE. PROTECT EXISTING STRUCTURAL ELEMENTS NECESSARY FOR THE BUILDING SHELL.
8. REMOVE ALL EXISTING FLOORING TO SUBFLOOR U.N.O., PREPARE TO RECEIVE NEW FINISH
9. DISPOSE OF ALL DEMOLITION DEBRIS LEGALLY.
10. CONTRACTOR SHALL DESIGN AND PROVIDE SHORING TO SAFELY SUPPORT EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION OPERATIONS.
11. SAFETY DURING DEMOLITION OPERATIONS SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.

12. DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK.
13. WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. EDGES OF WALLS SHOWN TO REMAIN SHALL BE SAWCUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.



- X

 DEMO PLAN KEYNOTES
- 1

 REMOVE EXISTING FLOOR FINISH, PREP FOR NEW CARPET, TYP
- 2

 REMOVE EXISTING DOOR & FRAME, SALVAGE AS REQUIRED FOR RELOCATING
- 3

 REMOVE EXISTING WALL AS REQUIRED TO ACCOMMODATE NEW WORK, PATCH WALL TO REMAIN, RELOCATE LIGHT SWITCHES, OUTLETS, POWER, ETC AS REQUIRED
- 4

 REMOVE PORTION OF EXISTING STOREFRONT TO ACCOMMODATE NEW DOOR
- 5

 EXISTING TO REMAIN
- 6

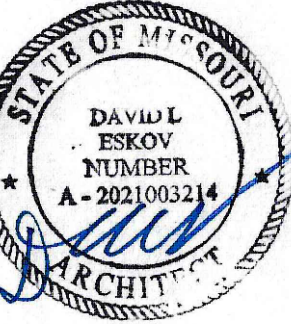
 REMOVE EXISTING CEILING AND LIGHTS, THIS ROOM, SALVAGE AND REUSE IF POSSIBLE.



DEMO PLAN 1  
SCALE: 1/8" = 1'-0"

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913-284-3660

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DATE SIGNED 07/19/2024

ADA Compliance Certification

To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

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PERMIT  
JULY 19, 2024

Revisions

TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet  
D1.0  
DEMOLITION PLAN



### ELECTRICAL SPECIFICATIONS (CONTINUED)

ELECTRICAL GENERAL NOTES:

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## Revisions

## Revisions

# EXECUTIVE LAKES

5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

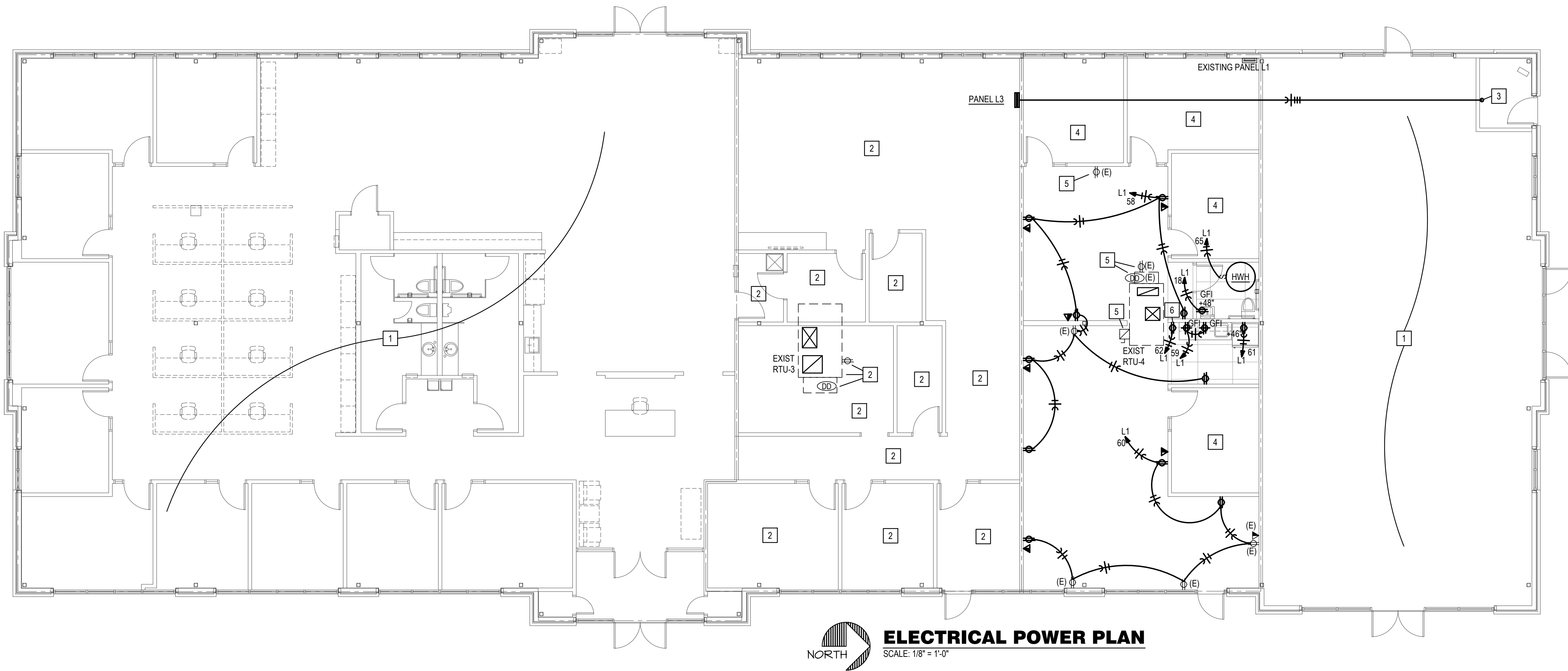
sheet  
E0.0  
ELECTRICAL  
SPECIFICATIONS

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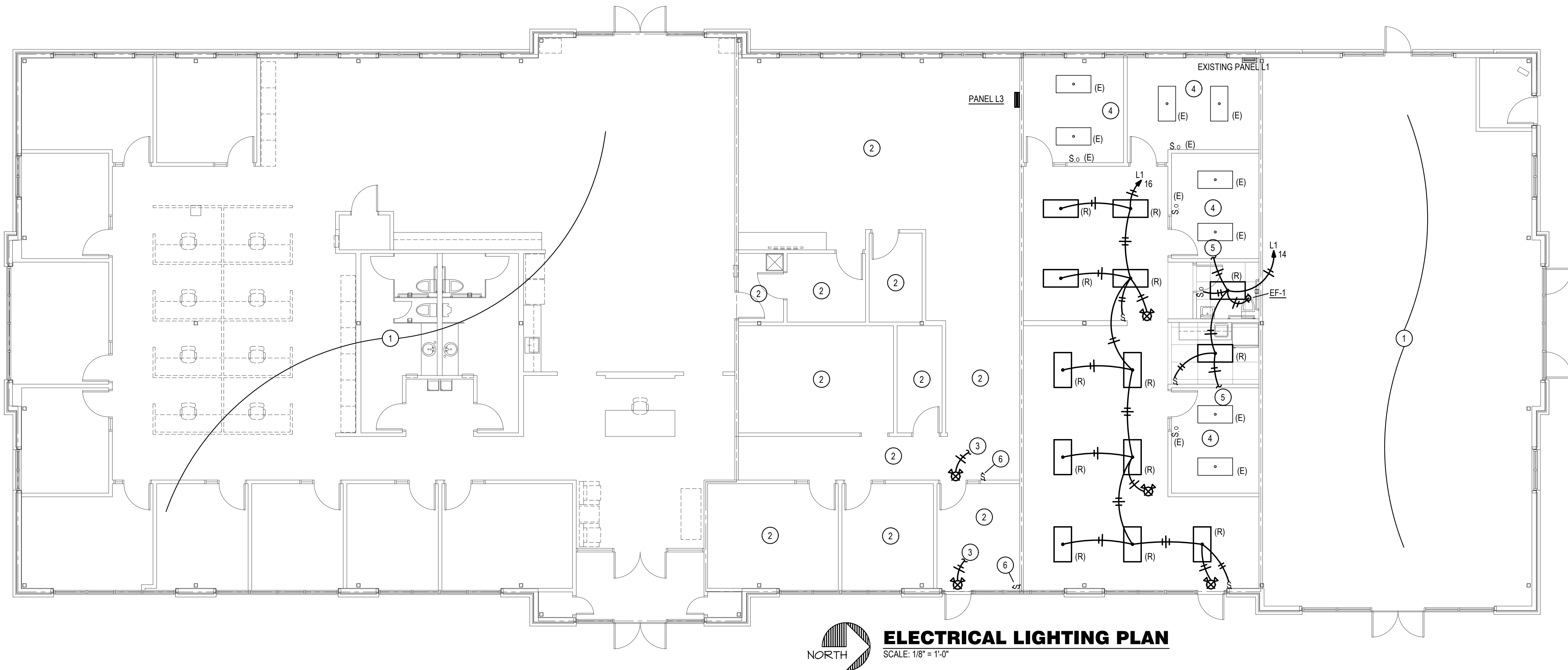
**BC ENGINEERS**  
INCORPORATED

5720 Reeder Shawnee, KS 66203 (913)262-1772





- POWER PLAN NOTES:**
- EXISTING ADJACENT TENANT TO REMAIN.
  - INTERCEPT ALL EXISTING POWER CIRCUITS IN ADJACENT TENANT SPACE AND RE-ROUTE TO MATCHING BREAKERS IN NEW PANEL "L3"
  - INTERCEPT EXISTING 2.5" STUB IN LANDLORD UTILITY ROOM AND EXTEND TO NEW PANEL L3 LOCATION AS REQUIRED.
  - EXISTING RECEPTACLES IN THIS SPACE, ON EXISTING CIRCUIT, TO REMAIN.
  - EXISTING RECEPTACLE, DISCONNECT, OR OTHER DEVICE, ON EXISTING CIRCUIT, TO REMAIN.
  - RECEPTACLE FOR WATER DISPENSER. COORDINATE WITH MANUFACTURER'S REQUIREMENTS.

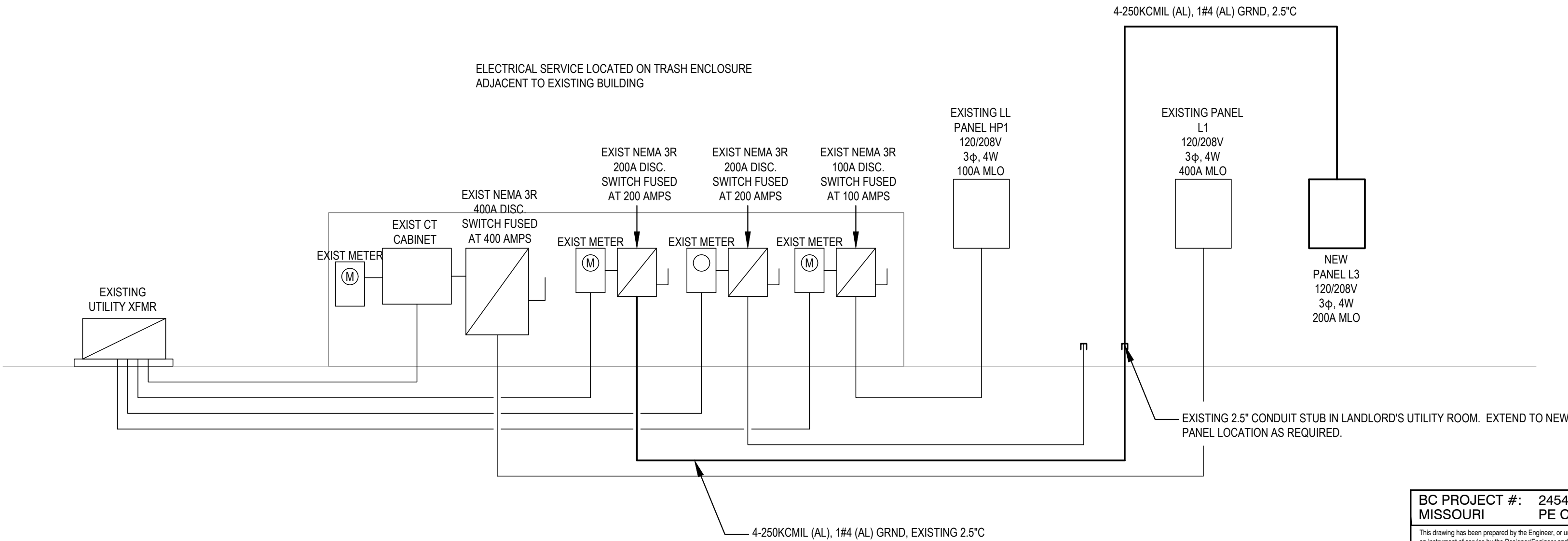


- LIGHTING PLAN NOTES:**
- EXISTING ADJACENT TENANT TO REMAIN.
  - INTERCEPT ALL EXISTING LIGHTING CIRCUITS IN ADJACENT TENANT SPACE AND RE-ROUTE TO MATCHING BREAKERS IN NEW PANEL "L3"
  - CONNECT TO LIGHTING CIRCUIT SERVING THIS ROOM. PROVIDE UNSWITCHED "HOT" CONDUCTOR ROUTED AHEAD OF LIGHTING CONTROLS.
  - EXISTING LIGHTS AND CONTROLS IN THIS SPACE, ON EXISTING CIRCUIT, TO REMAIN.
  - CONNECT RESTROOM AND KITCHENETTE LIGHTS TO EXISTING CIRCUIT SERVING ADJACENT OFFICES.
  - PROVIDE NEW LIGHT SWITCH FOR CONTROL OF LIGHTS IN THIS AREA.

EXIST PANEL: L1				VOLTS: 120/208V			PH: 3Ø		WIRE: 4W		LOCATION: OFFICE			MOUNTING: SURFACE			
BUS: 400A				MAIN: 400A MLO									FEEDER: SEE RISER DIAGRAM				
CKT	DESCRIPTION	AMPS	POLE	WIRE	ØA	ØB	ØC	ØA	ØB	ØC	WIRE	POLE	AMPS	DESCRIPTION	CKT NO		
1	SPARE	50	3										3	50	SPARE	2	
3																4	
5																6	
7									3,360							8	
9	SPARE	50	3							3,360		8	3	35	EXIST RTU-4	10	
11										3,360						12	
13								990									12
15	SPARE	20	1							1,056		12	1	20	LIGHTING	16	
17	SPARE	20	1								180	12	1	20	REC - RESTROOM	18	
19	SPARE	20	1										1	20	SPARE	20	
21	SPARE	20	1										1	20	SPARE	22	
23	SPARE	20	1										1	20	SPARE	24	
25	SPARE	20	1										1	20	SPARE	26	
27	SPARE	20	1										1	20	SPARE	28	
29	SPARE	20	1										1	20	SPARE	30	
31	SPARE	20	1										1	20	SPARE	32	
33	SPARE	20	1										1	20	SPARE	34	
35	SPARE	20	1										1	20	SPARE	36	
37	SPARE	20	1										1	20	SPARE	38	
39	SPARE	20	1										1	20	SPARE	40	
41	SPARE	20	1										1	20	SPARE	42	
SECTION 2																	
43	SPARE	20	1										1	20	SPARE	44	
45	SPARE	20	1										1	20	SPARE	46	
47	SPARE	20	1										1	20	SPARE	48	
49	SPARE	20	1										1	20	SPARE	50	
51	SPARE	20	1										1	20	SPARE	52	
53	SPARE	20	1										1	20	SPARE	54	
55	EXIST OFFICE RECEPTACLES	20	1	12	720					540			12	1	20	EXIST OFFICE RECEPTACLES	56
57	EXIST OFFICE RECEPTACLES	20	1	12		1,080					1,440		12	1	20	OFFICE RECEPTACLES	58
59	RECEPTS - KITCHENETTE	20	1	12			360					1,080	12	1	20	OFFICE RECEPTACLES	60
61	REFRIGERATOR (GF)	20	1	12	1,200					180			12	1	20	RECEPT - WATER DISPENSER (GF)	62
63	EXIST RTU RECEPTACLE	20	1	12		360							2	35		SPARE	64
65	WATER HEATER HWH	30	1	10			2,500										66
67	SPARE	20	1										1	20	SPARE	68	
69	SPARE	20	1										1	20	SPARE	70	
71	SPARE	20	1										1	20	SPARE	72	
73	SPARE	20	1										1	20	SPARE	74	
75	SPARE	20	1										1	20	SPARE	76	
77	SPARE	20	1										1	20	SPARE	78	
79	SPARE	20	1										1	20	SPARE	80	
81	SPARE	20	1										1	20	SPARE	82	
83	SPARE	20	1										1	20	SPARE	84	
NOTES:					1,920	1,440	2,860	5,070	5,856	4,620							
(GF) GFCI BRKR 5mA					6,990		7,296		7,480		TOTAL CONNECTED LOAD: 21,766 VA						
											NEC DEMAND LOAD: 22,903 VA						
											DEMAND AMPS @ 208 VOLT / 3Ø: 63.57 VA						

PANEL: L3		VOLTS: 120/208V			PH: 3Ø		WIRE: 4W		LOCATION:			TENANT OPEN OFFICE			MOUNTING: SURFACE			
BUS: 225A		MAIN: 200A MLO			IC: 10,000			RMS SYM AMPS						FEEDER: SEE RISER DIAGRAM				
CKT	DESCRIPTION	AMPS	POLE	WIRE	ØA	ØB	ØC	ØA	ØB	ØC	WIRE	POLE	AMPS	DESCRIPTION	CKT NO			
1	RTU 3	50	3	6	4,800			2,250				8	2	35	WATER HEATER	2		
3						4,800			2,250							4		
5							4,800						1	20	SPARE	6		
7					LIGHTING	20	1	12	192							1	20	SPARE
9	LIGHTING	20	1	12		288				768		12	1	20	LIGHTING	10		
11	LIGHTING	20	1	12			1,104				576	12	1	20	LIGHTING	12		
13	COVE LIGHTING	20	1	12	146							1	20	SPARE	14			
15	SPARE	20	1							180		12	1	20	TV RECEPTACLES	16		
17	FLOOR BOX	20	1	12			1,000				1,000	12	1	20	FLOOR BOX	18		
19	SPARE	20	1					720				12	1	20	IT ROOM	20		
21	SPARE	20	1							720		12	1	20	IT ROOM	22		
23	OFFICE RECEPTACLES	20	1	12			720				180	12	1	20	CUBE RECEPTACLE	24		
25	SPARE	20	1									1	20	SPARE	26			
27	SPARE	20	1							180		12	1	20	OFFICE RECEPTACLE	28		
29	SPARE	20	1									1	20	SPARE	30			
31	OFFICE RECEPTACLES	20	1	12	900			540				12	1	20	OFFICE RECEPTACLES	32		
33	RTU RECEPTACLE	20	1	12		180						1	20	SPARE	34			
35	SPARE	20	1									1	20	SPARE	36			
37	SPARE	20	1									1	20	SPARE	38			
39	SPARE	20	1									1	20	SPARE	40			
41	SPARE	20	1									1	20	SPARE	42			
NOTES:					6,038	5,268	7,624	3,510	4,098	1,756								
					9,548		9,366		9,380							TOTAL CONNECTED LOAD:		28,294 VA
															NEC DEMAND LOAD:		30,188 VA	
															DEMAND AMPS @ 208 VOLT / 3Ø:		63.79 A	

LIGHT FIXTURE SCHEDULE					
MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LIGHT SOURCE	DESCRIPTION	EQUIVALENT MANUFACTURERS
18	DUAL-LITE EVC-U-R-W	120 3	INCL	COMBINATION EMERGENCY/EXIT LIGHT WITH LED LAMPS, RED LETTERS ON WHITE BACKGROUND, TWIN LED EMERGENCY LIGHT HEADS, UNIVERSAL MOUNT, BATTERY BACKUP	SURE-LITES LITHONIA OR EQUAL



ELECTRICAL RISER DIAGRAM  
SCALE: NONE

BC PROJECT #: 24543  
MISSOURI PE COA #2009003629

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7/23/2024

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JULY 24, 2024

Revisions

TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet  
E2.0  
ELECTRICAL PANEL  
SCHEDULES





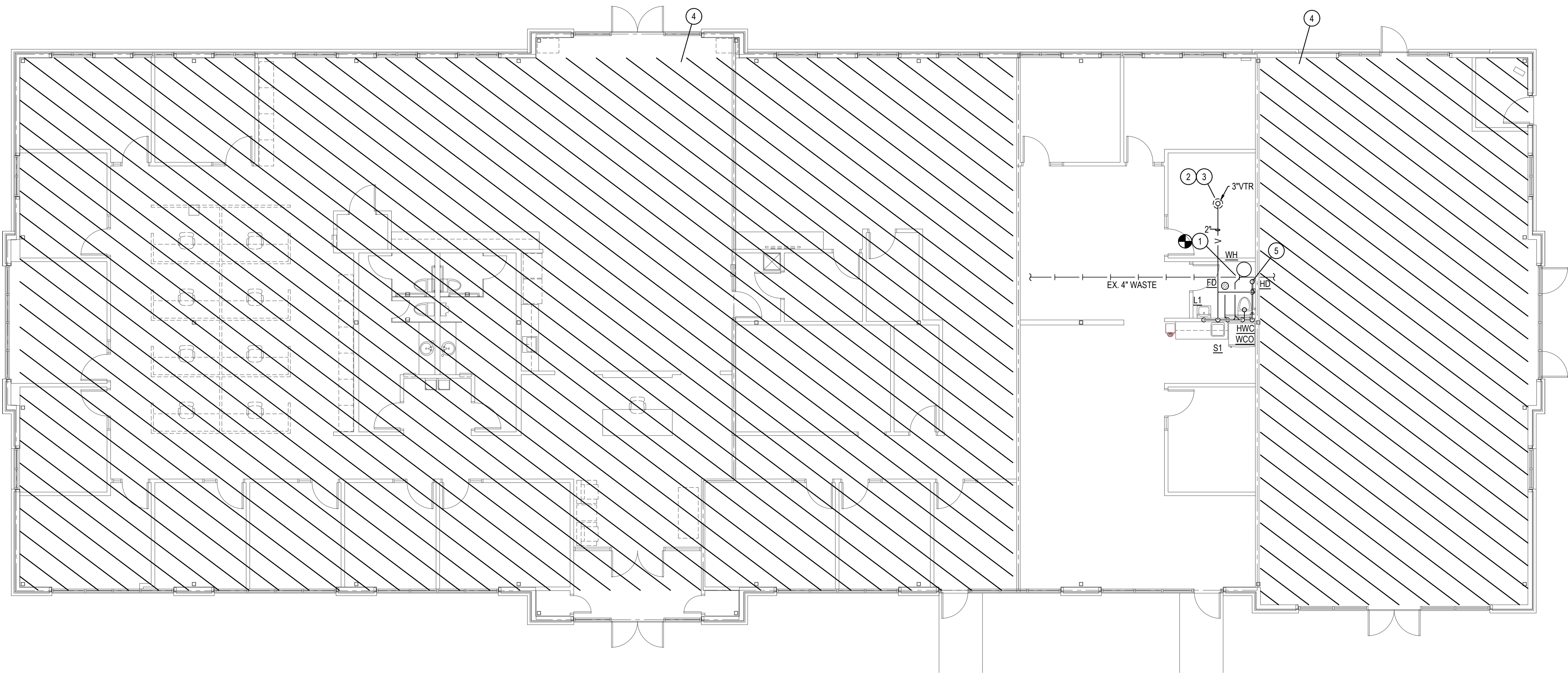


PLUMBING SYMBOLS

- |—|— SOIL AND WASTE PIPING BELOW FLOOR/GRADE  
——— SOIL AND WASTE PIPING ABOVE FLOOR/GRADE  
— V — SANITARY VENT PIPING ABOVE GRADE  
— — V — SANITARY VENT PIPING BELOW GRADE  
— — — DOMESTIC COLD WATER PIPING  
— · — · — DOMESTIC HOT WATER PIPING  
— · — · — DOMESTIC HOT WATER RECIRCULATION PIPING  
— G — GAS PIPING  
——— +—— PIPING TURNING DOWN  
——— +—— PIPING TURNING UP  
——— +—— TEE TOP CONNECTION  
——— |—— UNION  
——— X—— BACKFLOW PREVENTER  
FD ○ FLOOR DRAIN  
FCO □ FLOOR CLEAN OUT  
WCO ← WALL CLEAN OUT  
GCO □ GRADE CLEAN OUT  
——— +—— VALVE  
⊕ CONNECT TO EXISTING  
I.E. INVERT ELEVATION OF PIPE  
Ⓐ MATCH MARKS ON PLUMBING RISER DIAGRAM

PLUMBING PLAN NOTES:

- ① CONNECT WASTE TO EXISTING 4" SANITARY SEWER AS REQUIRED. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO INSTALLATION OF ANY PIPING.  
② LOCATION OF 3" VTR. VERIFY 10' CLEARANCE FROM ALL OUTDOOR AIR INTAKES. SEAL PENETRATION WEATHERTIGHT.  
③ CUT EXISTING ROOF AND FLASH INTO ROOF AS REQUIRED. ALL ROOFING WORK SHALL BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR (AT THIS CONTRACTOR'S EXPENSE) TO MAINTAIN EXISTING ROOF WARRANTY. VERIFY APPROVED ROOFING CONTRACTOR WITH BUILDING OWNER PRIOR TO PERFORMING WORK. NO WORK TO OCCUR IN THIS AREA.  
④ PROVIDE RELIEF DRAIN FROM WATER HEATER TO HUB DRAIN WITH INDIRECT DRAIN.



PLUMBING WASTE AND VENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

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JULY 25, 2024

Revisions

TENANT SPLIT PHASE 2  
**EXECUTIVE LAKES**  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet

**MP1.0**

PLUMBING WASTE AND  
VENT FLOOR PLAN





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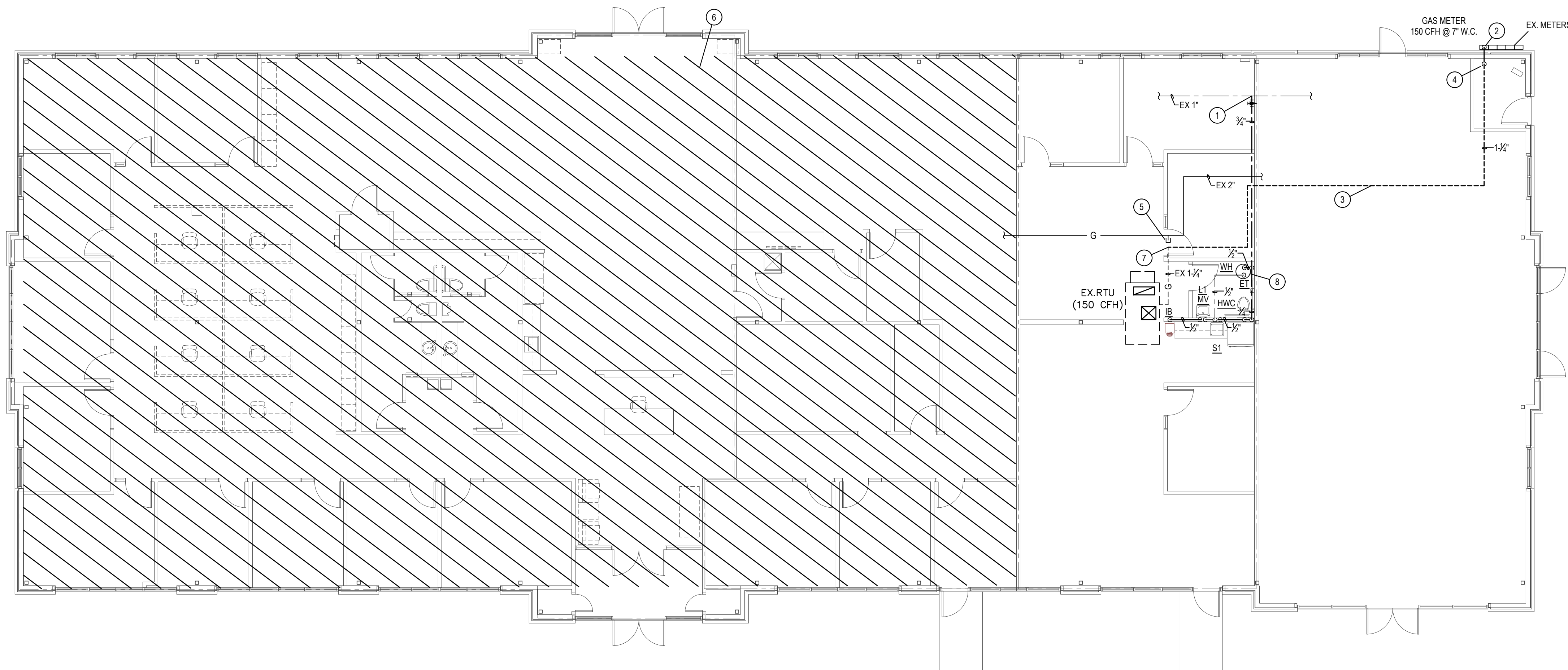
Revisions

TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet  
MP2.0  
PLUMBING WATER AND  
GAS FLOOR PLAN

PLUMBING PLAN NOTES:

- CONNECT 3/4" CW TO EXISTING DOMESTIC CW WITH SHUT OFF VALVE. VERIFY EXACT LOCATION AND SIZE OF EXISTING WATER LINE PRIOR TO INSTALLATION OF ANY PIPING.
- COORDINATE WITH GAS COMPANY FOR INSTALLATION OF A METER WITH CAPACITY FOR 150 CFH @ 7" W.C.. ROUTE PIPING UP INSIDE THE MECHANICAL ROOM AND PENETRATE ONTO ROOF SIMILAR TO EXISTING. ALL CONCEALED JOINTS ARE TO BE WELDED OR USE FITTINGS APPROVED FOR CONCEALED USE. VERIFY ALL EQUIPMENT GAS CAPACITIES AND OPERATING PRESSURES PRIOR TO INSTALLATION OF ANY PIPING. SEAL WALL PENETRATION WEATHER TIGHT.
- GAS PIPING ON ROOF. SUPPORT AS REQUIRED AND AS DETAILED.
- CUT EXISTING ROOF AND FLASH INTO ROOF AS REQUIRED. ALL ROOFING WORK SHALL BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR (AT THIS CONTRACTOR'S EXPENSE) TO MAINTAIN EXISTING ROOF WARRANTY. VERIFY APPROVED ROOFING CONTRACTOR WITH BUILDING OWNER PRIOR TO PERFORMING WORK.
- SEPARATE BRANCH PIPING FROM GAS PIPING MAIN AND CAP MAIN AS REQUIRED.
- NO WORK TO OCCUR IN THIS AREA.
- CONNECT TO EXISTING GAS PIPING AS REQUIRED.
- SUPPORT WATER HEATER FROM STRUCTURE ABOVE CEILING AS REQUIRED. SEE RISER DIAGRAM FOR WATER HEATER PIPING DIAGRAM. REFER TO MANUFACTURER'S INSTRUCTIONS FOR EXACT REQUIREMENTS. PROVIDE THERMAL EXPANSION TANK. INSTALL HIGH ENOUGH TO ALLOW T&P AND DRAIN PAN TO DRAIN INTO HUB DRAIN IN CEILING.



PLUMBING WATER AND GAS FLOOR PLAN

SCALE: 1/8" = 1'-0"

BC PROJECT #: 24543  
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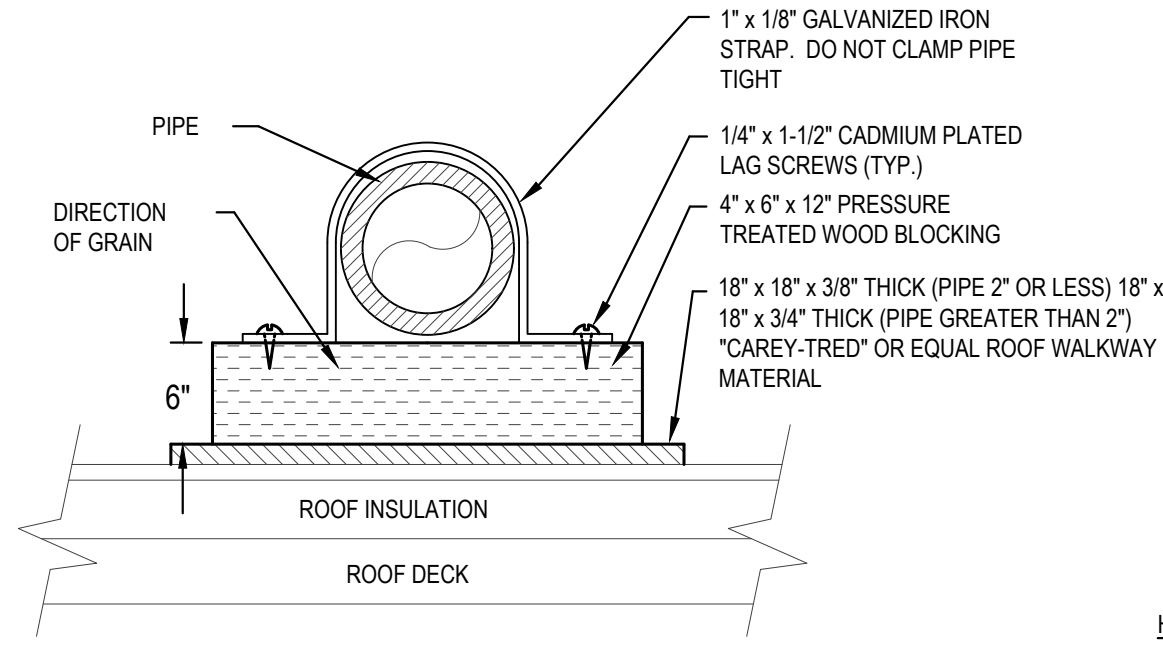
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TENANT SPLIT PHASE 2

EXECUTIVE LAKES

5000 NE LAKEWOOD PARKWAY  
LEE'S SUMMIT, MO



ROOF PIPE SUPPORT DETAIL  
SCALE: NONE

PLUMBING FIXTURE SCHEDULE:

- HWC** HANDICAP WATER CLOSET: TOTO, #CST744SL, "DRAKE CLOSE COUPLED TOILET", 1.6 GALLON FLUSH, 16-1/2" HIGH ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, TANK TYPE, VITREOUS CHINA, SIPHON-JET ACTION, #SC534 OPEN FRONT SEAT WITH CHECK HINGE AND LESS COVER, CHROME PLATED ANGLE STOP AND RISER, HANDLE ON WIDE SIDE OF FIXTURE.
- L1** HANDICAP LAVATORY, WALL HUNG: TOTO #LT307, 20"x 18", VITREOUS CHINA, FRONT OVERFLOW, DELTA #501 FAUCET WITH SINGLE METAL LEVER FAUCET, OFFSET GRID ELBOW DRAIN AND 1-1/4" TAILPIECE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT (MOUNTED PARALLEL WITH WALL), CHROME PLATED LOOSE KEY ANGLE STOPS AND RISERS, FLOOR MOUNTED CONCEALED ARM LAVATORY SUPPORT, INSULATE EXPOSED DRAIN, WATER SUPPLIES, AND VALVES WITH PROWRAP SEAMLESS MOLDED CLOSED CELL VINYL INSULATION.
- FD** FLOOR DRAIN: SIOUX CHIEF, #842, PVC FLOOR DRAIN WITH ADJUSTABLE TOP AND CAST BRASS STRAINER.
- S1** SINK: ELKAY, #LRAD-2222, 19"x16"x 6-1/2" DEEP BOWL, 21-3/8"x 21-3/8" CUT-OUT, ADA COMPLIANT, SINGLE COMPARTMENT, SELF-RIMMING STAINLESS STEEL SINK WITH SATIN FINISH AND SOUND DAMPENING UNDERCOATING, #LK-1000CR FAUCET, SWING SPOUT, AERATOR, SINGLE LEVER HANDLE, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, CHROME PLATED ANGLE STOPS AND RISERS.
- WH** WATER HEATER: AO SMITH #DEL-10, 10 GALLON STORAGE, 120 VOLT, 2500 WATT ELEMENT, ASME TEMPERATURE AND PRESSURE RELIEF VALVE.
- MV** MIXING VALVE: WATTS, #LFUSG-B, THERMOSTATIC CONTROLLED MIXING VALVE, LEAD FREE BRONZE BODY, LOCKED TEMPERATURE ADJUSTMENT CAP (VANDAL RESISTANT), COPPER ENCAPSULATED THERMOSTAT ASSEMBLY WITH BRASS SHUTTLE, STAINLESSSTEEL SPRINGS, INTEGRAL CHECK VALVES ON HOT AND COLD INLETS. (SET TO 110°F), ASSE 1070 LISTED.
- ET** HOT WATER EXPANSION TANK: AMTROL, #ST-5, 2 GALLON EXPANSION TANK WITH DIAPHRAGM.
- IB** ICE BOX: SIOUX CHIEF, #696-G1000, ICE BOX WITH 1/2" INLET, CONNECTION AND 1/4-TURN SHUT-OFF VALVE.
- HD** HUB DRAIN: SIOUX CHIEF, #832, PVC WASTE DRAIN, TRAP SEAL.

PLUMBING FIXTURE CALCULATIONS

PLUMBING FIXTURE	QUANTITY	(BASED ON 2018 IPC)							
		CW WSFU	CW WSFU TOTAL	HW WSFU	HW WSFU TOTAL	COMBINED WSEU	COMBINED WSEU TOTAL	DFU	DFU TOTAL
WATER CLOSET (FLUSH TANK)	1	5	5	0	0	5	5	4	4
LAVATORY	1	1.5	1.5	1.5	1.5	2.0	2.0	1.0	1.0
SINK	1	3.0	3.0	3	3	4	4	2.0	2.0
FLOOR DRAIN	1	0.0	0.0	0.0	0.0	0.0	0.0	2.0	2.0
HUB DRAIN	1	0.0	0.0	0.0	0.0	0.0	0.0	2.0	2.0
WATER COOLER SUPPLY BOX	1	0.5	0.5	0.0	0.0	0.5	0.5	0.0	0.0
TOTAL			10.0		4.5		11.5		11.0

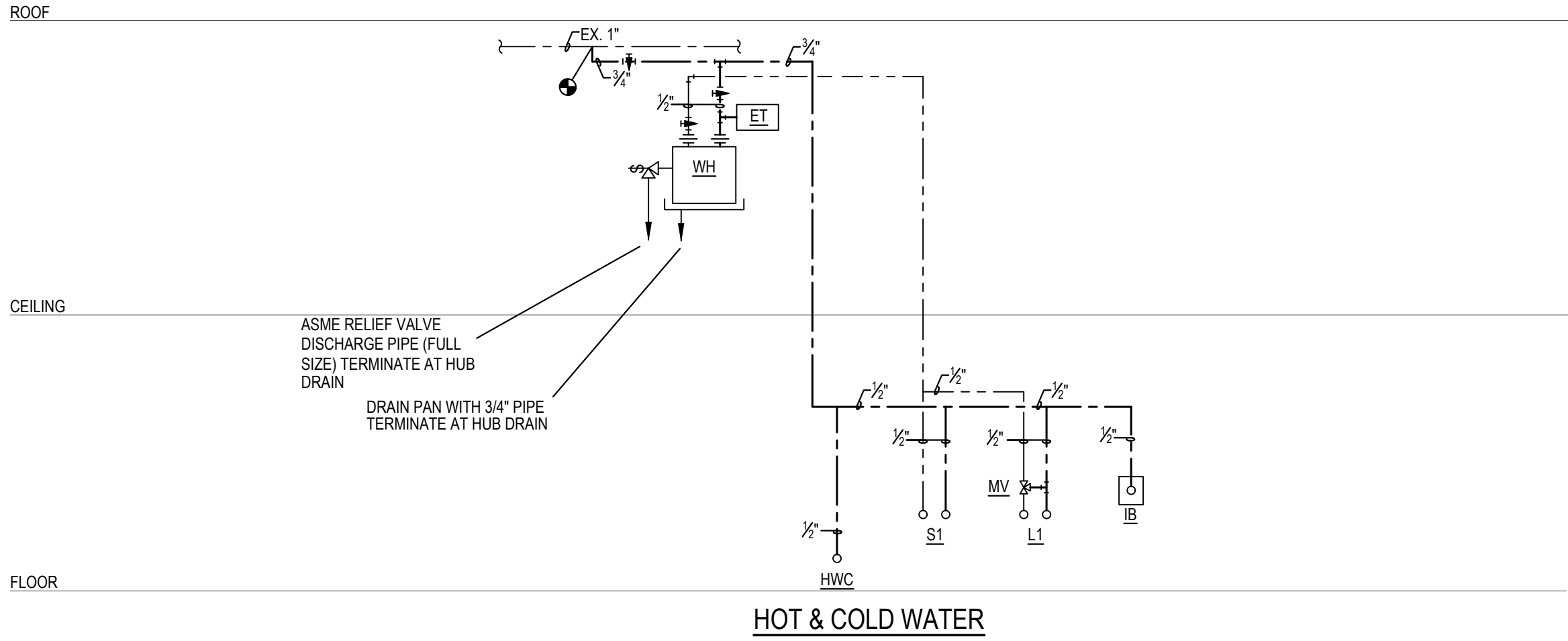
PIPE HANGER SCHEDULE

PIPE MATERIAL	MAXIMUM HANGER SPACING	HANGER ROD DIAMETER
ABS (All sizes)	4'	3/8"
PVC (All Sizes)	4'	3/8"
CPVC, 1 inch and smaller	3'	1/2"
CPVC, 1-1/4 inches and larger	4'	1/2"
Cast Iron (All Sizes)	5'	5/8"
Cast Iron (All Sizes) with 10 foot length of pipe	10'	5/8"
Copper Tube, 1-1/4 inches and smaller	6'	1/2"
Copper Tube, 1-1/2 inches and larger	10'	1/2"
Steel, 3 inches and smaller	12'	1/2"
Steel, 4 inches and larger	12'	5/8"
Pex, 1" and below without support channel	32"	3/8"
Pex, 1-1/4" and above without support channel	48"	3/8"
Pex 3/4" and below with support channel	6'	3/8"
Pex 1" and above with support channel	8'	3/8"

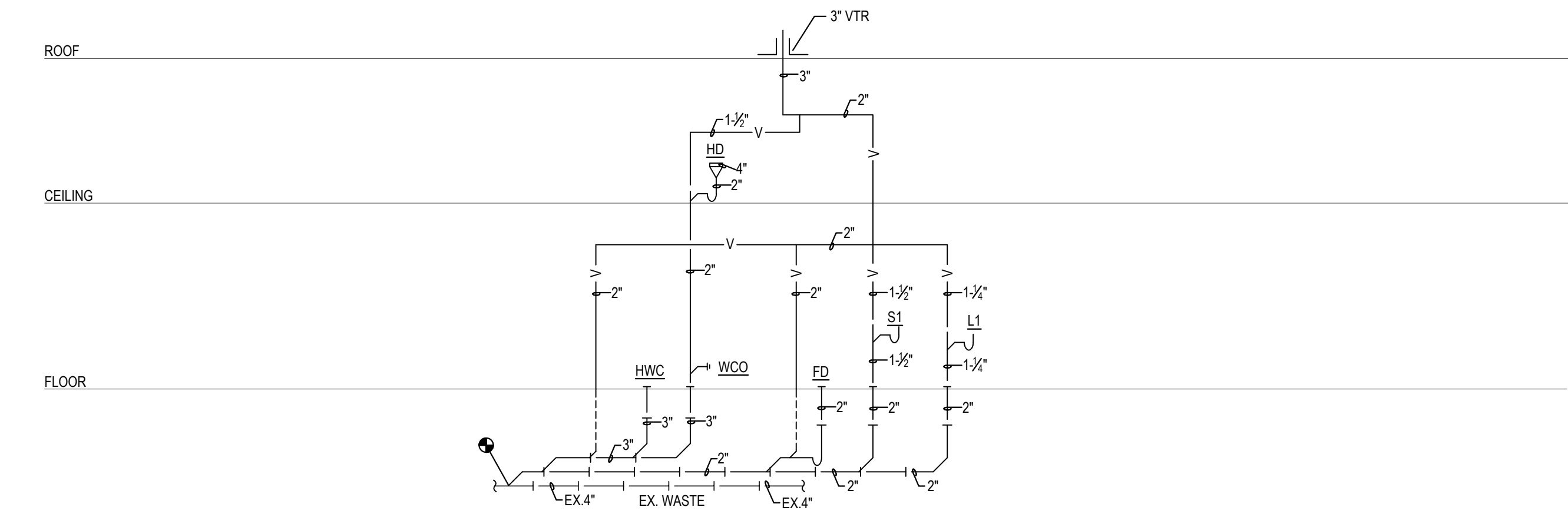
PLUMBING FIXTURE BRANCH PIPING SCHEDULE

FIXTURE	WASTE	VENT	CW	HW
WATER CLOSET (TANK TYPE)	3"	2"	1/2"	--
LAVATORY	1-1/4"	1-1/4"	1/2"	1/2"
SINK	1-1/2"	1-1/2"	1/2"	1/2"
FLOOR DRAIN	2"	2"	--	--
HUB DRAIN	2"	1-1/2"	--	--
SUPPLY BOX	--	--	1/2"	--

NOTE: INDIVIDUAL VENTS FOR FIXTURES ON PLANS AND RISER DIAGRAM HANGERS HAVE BEEN INCREASED WHERE HORIZONTAL VENT LENGTH IS IN EXCESS OF THE MAXIMUM DISTANCE INDICATED BY THE CODE.



HOT & COLD WATER



WASTE & VENT

PLUMBING RISER DIAGRAMS

SCALE: NONE

BC PROJECT #: 24543  
MISSOURI PE COA #2009003629

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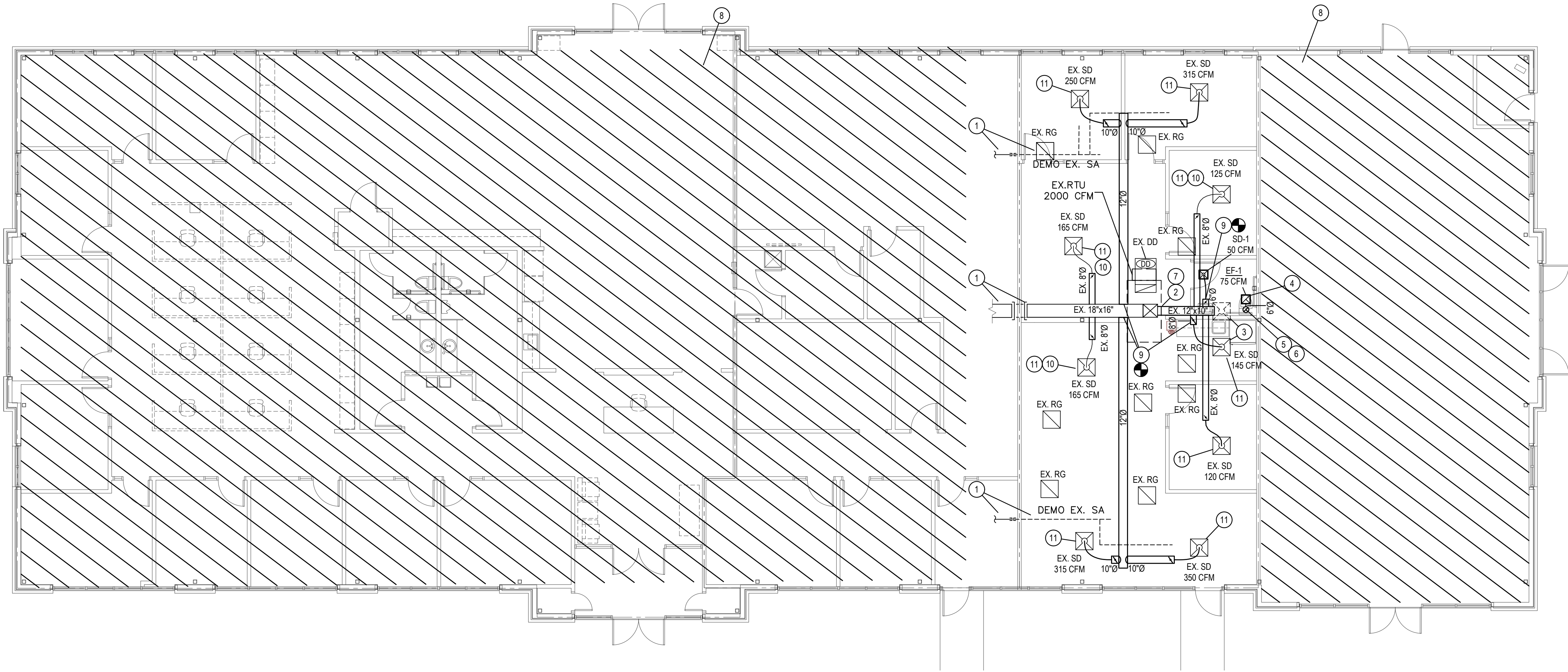
Revisions

TENANT SPLIT PHASE 2  
EXECUTIVE LAKES  
5000 NE LAKEWOOD PARKWAY  
LEES SUMMIT, MO

sheet  
MP4.0  
MECHANICAL FLOOR  
PLAN

- MECHANICAL SYMBOLS**
- NEW SUPPLY DIFFUSER
  - NEW RETURN AIR GRILLE
  - EXHAUST GRILLE/FAN
  - DUCT-MOUNTED SMOKE DETECTOR
  - NEW DUCTWORK
  - 32"x14" SIZE OF RECTANGULAR DUCT
  - 6"Ø SIZE OF ROUND DUCT
  - FLEXIBLE DUCTWORK
  - FLEXIBLE CONNECTION TO FAN
  - FLOOR PLAN NOTE DESIGNATION
  - S.A. SUPPLY AIR
  - R.A. RETURN AIR
  - EXH. EXHAUST AIR
  - TRANSITION IN DUCT SIZE
  - ELBOW WITH TURNING VANES
  - MANUAL VOLUME DAMPER
  - MOTORIZED CONTROL DAMPER
  - FIRE DAMPER
  - SPLITTER DAMPER WITH HORIZONTAL REGULATOR
  - SUPPLY AIR DUCT UP/DOWN
  - RETURN AIR DUCT UP/DOWN
  - EXHAUST AIR DUCT UP/DOWN
  - CHANGE IN ELEVATION UP (UP) DOWN (DN) IN DIRECTION OF FLOW
  - SCHEDULED MECHANICAL EQUIPMENT
  - EXIST'G DUCT TO REMAIN
  - EXIST'G DUCT TO BE REMOVED
  - EXISTING FLEXIBLE DUCTWORK
  - 32"x14"E SIZE OF EXISTING DUCT
  - EXISTING SUPPLY DIFFUSER
  - CONNECT TO EXISTING

- MECHANICAL PLAN NOTES:**
- DEMOLISH EXISTING DUCTWORK PAST DEMISING WALL AND CAP. SEAL AIR TIGHT.
  - EXISTING RTU TO REMAIN.
  - RELOCATE EXISTING DIFFUSER AS SHOWN. EXTEND OR CUT DUCT WORK AS NECESSARY.
  - SUPPORT EXHAUST FAN FROM STRUCTURE AS REQUIRED BY THE MANUFACTURER.
  - CUT EXISTING ROOF AND FLASH INTO ROOF AS REQUIRED. ALL ROOFING WORK SHALL BE PERFORMED BY BUILDING OWNER'S ROOFING CONTRACTOR (AT THIS CONTRACTOR'S EXPENSE) TO MAINTAIN EXISTING ROOF WARRANTY. VERIFY APPROVED ROOFING CONTRACTOR WITH BUILDING OWNER PRIOR TO PERFORMING WORK.
  - ROUTE 6" DIAMETER EXHAUST DUCT UP THROUGH ROOF TO WEATHER-HEAD WITH A BACK DRAFT DAMPER. MAINTAIN 10' CLEARANCE FROM ALL OUTDOOR AIR INTAKES.
  - BALANCE EX. RTU OUTSIDE AIR TO 400 CFM AS REQUIRED. FIELD VERIFY RTU INTAKES, PROVIDE AND INSTALL IF NONE FOUND TO BE EXISTING.
  - NO WORK TO OCCUR IN THIS AREA.
  - CONNECT DUCT TO EXISTING SUPPLY DUCTWORK AS REQUIRED. VERIFY EXACT LOCATION PRIOR TO INSTALLATION OF ANY DUCTWORK.
  - REBALANCE DIFFUSER TO LISTED CFM.
  - CLEAN DIFFUSER/GRILLE TO "LIKE NEW" CONDITION AS REQUIRED.



**MECHANICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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MISSOURI PE COA #2009003629

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JULY 25, 2024

Revisions

- ALL EXISTING HVAC UNITS SHOULD HAVE A PREVENTATIVE MAINTENANCE CHECK-UP TO INCLUDE THE FOLLOWING CRITERIA
1. CHANGE ALL FILTERS.
  2. CLEAN ALL CONDENSATE DRAIN PANS AND FLUSH ALL CONDENSATE DRAIN LINES.
  3. CLEAN ALL EVAPORATOR AND CONDENSER COILS WITH A NON-ACID CLEANER.
  4. CHECK REFRIGERANT CHARGE (GUAGES OR RETURN/SUPPLY TEMPERATURE VARIANCE).
  5. PROVIDE COMPLETE LUBRICATION OF ALL SHAFTS AND BEARINGS THAT HAVE LUBRICATION ZERKS.
  6. THE REPLACEMENT OF ALL BELTS, HOSES AND FABRIC/RUBBER COATED ITEMS THAT ARE SUBJECT TO WEAR.
  7. CHECK AMPS OF THE INDOOR, OUTDOOR MOTORS, AND COMPRESSORS
  8. TURN UNIT POWER OFF - TIGHTEN ALL ELECTRICAL CONNECTIONS, CONTACTORS, ETC.
  9. EXAMINE AND REPAIR ALL ELECTRICAL WIRING, CONTROLS, STARTERS, RELAYS, CAPACITORS AND LIKE ITEMS THAT TEND TO DETERIORATE OVER TIME OR BECOME NON-OPERATIONAL. THIS INCLUDES SMOKE DETECTORS.
  10. GREASE ALL FITTINGS
  11. CHECK DUCTWORK CONNECTIONS AND REPAIR AS NEEDED.
  12. NOTIFY GENERAL CONTRACTOR OF ANY REQUIRED PARTS OR REPAIRS NOT INCLUDED IN THIS LIST. ALL UNITS SHALL BE FUNCTIONING AND COOLING PROPERLY AT COMPLETION OF JOB.
  13. CHECK THE ECONOMIZER FOR PROPER FUNCTION AND CORRECT OPERATION OF THE SYSTEM WHEN A CALL FOR COOLING COMES FROM THE THERMOSTAT. REPAIR AND ADJUST AS NEEDED.
  14. VERIFY ANY WORK REQUIRED BY THE LANDLORD PRIOR TO BID.
  15. ALL FINDINGS AND VALUES TO BE NOTED AND PROVIDED TO TENANT'S CONSTRUCTION MANAGER & OR TENANT'S MAINTENANCE DIRECTOR.

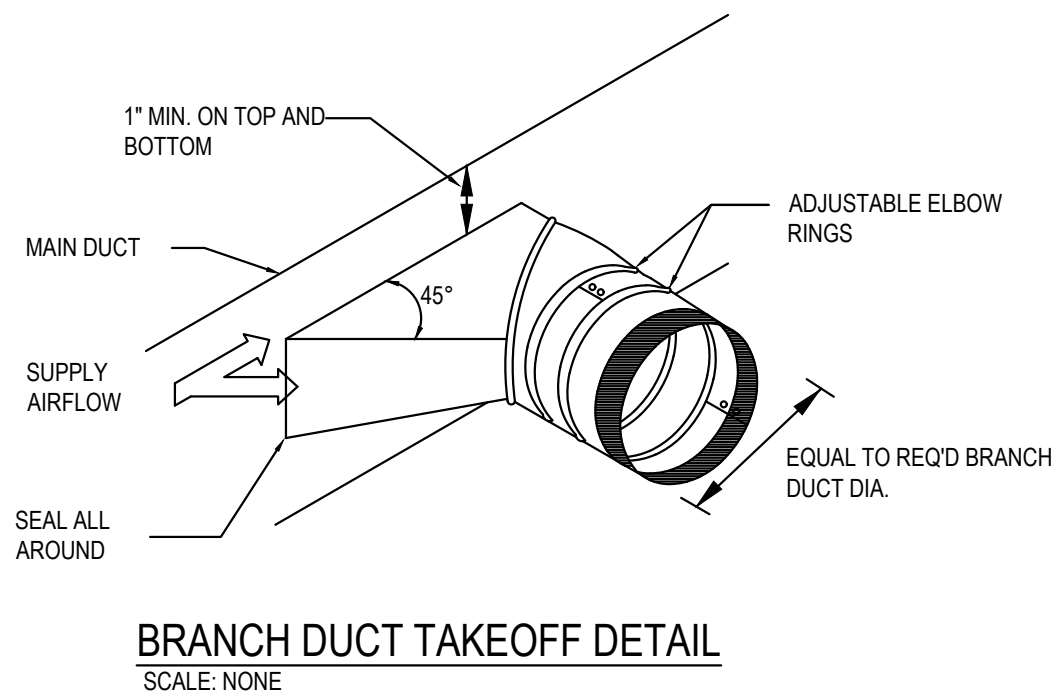
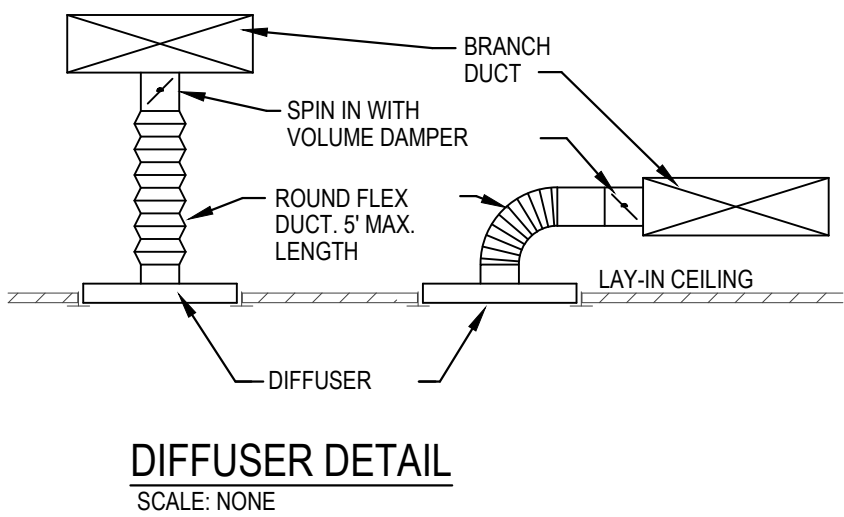
DIFFUSER SCHEDULE									
MARK	MFGR	MODEL	BORDER TYPE	NECK SIZE	FACE SIZE	FINISH	DAMPER	ACCESSORIES	NOTES
SD-1	TITUS	PAS3	3	6"Ø	12"x12"	WHITE	-		-

EXHAUST FAN SCHEDULE										
MARK	MFGR	MODEL	CFM	EXTERNAL STATIC P. IN. WG.	RPM	ELECTRICAL		FAN TYPE	CONTROLS	NOTES
						VOLT/Ø/HZ	PWR			
EF-1	COOK	GC-128	75	0.1	750	120/1/60	29 W	CEILING EXH.	SWITCH	1

NOTES: 1. PROVIDE CEILING GRILLE, INTEGRAL BACK DRAFT DAMPER, VARI-SPEED CONTROLLER (NEAR FAN AND ABOVE CEILING), FACTORY MEANS OF DISCONNECT AND WEATHER HEAD.

### 2018 IMC

OUTDOOR AIR CALCULATIONS									
UNIT	Area (sqft)	OCCUPANCY CLASSIFICATION	Occupant Density #/1000 sqft	People outdoor airflow rate in breathing zone, (Rp) cfm/person	Area outdoor airflow rate in breathing zone, (Ra) cfm/sqft	Exhaust airflow rate cfm/sqft	Breathing zone outdoor airflow (Vbz)	Zone air distribution effectivene ss (Ez)	Zone outdoor airflow (cfm)
	426	Office spaces	5	5	0.06		36	0.8	45
	75	Break Room	25	5	0.06		14	0.8	17
	68	Toilet rooms public	0	0	0	9%	0	0.8	0
	1036	Martial Arts	10	20	0.06		269	0.8	337
Total									399



BC PROJECT #: 24543  
MISSOURI PE COA #2009003629

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TENANT SPLIT PHASE 2

**EXECUTIVE LAKES**

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LEE'S SUMMIT, MO

sheet  
MP5.0

MECHANICAL  
CALCULATIONS,  
SCHEDULES