LOCATION MAP SECTION 30, TOWNSHIP 48N, RANGE 31W JACKSON COUNTY, MISSOURI SCALE=NTS **PROJECT LOCATION** NW 1/4 NE 1/4

SW 1/4 SE 1/4

LEGAL DESCRIPTION:

THE VILLAGE AT DISCOVERY PARK, TRACT A



UTILITY CONTACTS:

SANITARY & WATER: CITY OF LEE'S SUMMIT, MO 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PHONE: (816) 969-1900

PUBLIC ROADWAY: CITY OF LEE'S SUMMIT, MO 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PHONE: (816) 969-1800

POWER: EVERGY 1300 SE HAMBLEN RD LEE'S SUMMIT, MO 64081 PHONE: (816) 347-4320

STORMWATER: CITY OF LEE'S SUMMIT, MO 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PHONE: (816) 969-1800

NATURAL GAS: SPIRE GAS ENERGY 3025 SW CLOVER DRIVE LEE'S SUMMIT, MO 64082 PHONE: (816) 985-8888

TELECOMMUNICATIONS: AT&T PHONE: 800-286-8313 SPECTRUM PHONE: 877-772-2253 GOOGLE FIBER PHONE: 877-454-6959

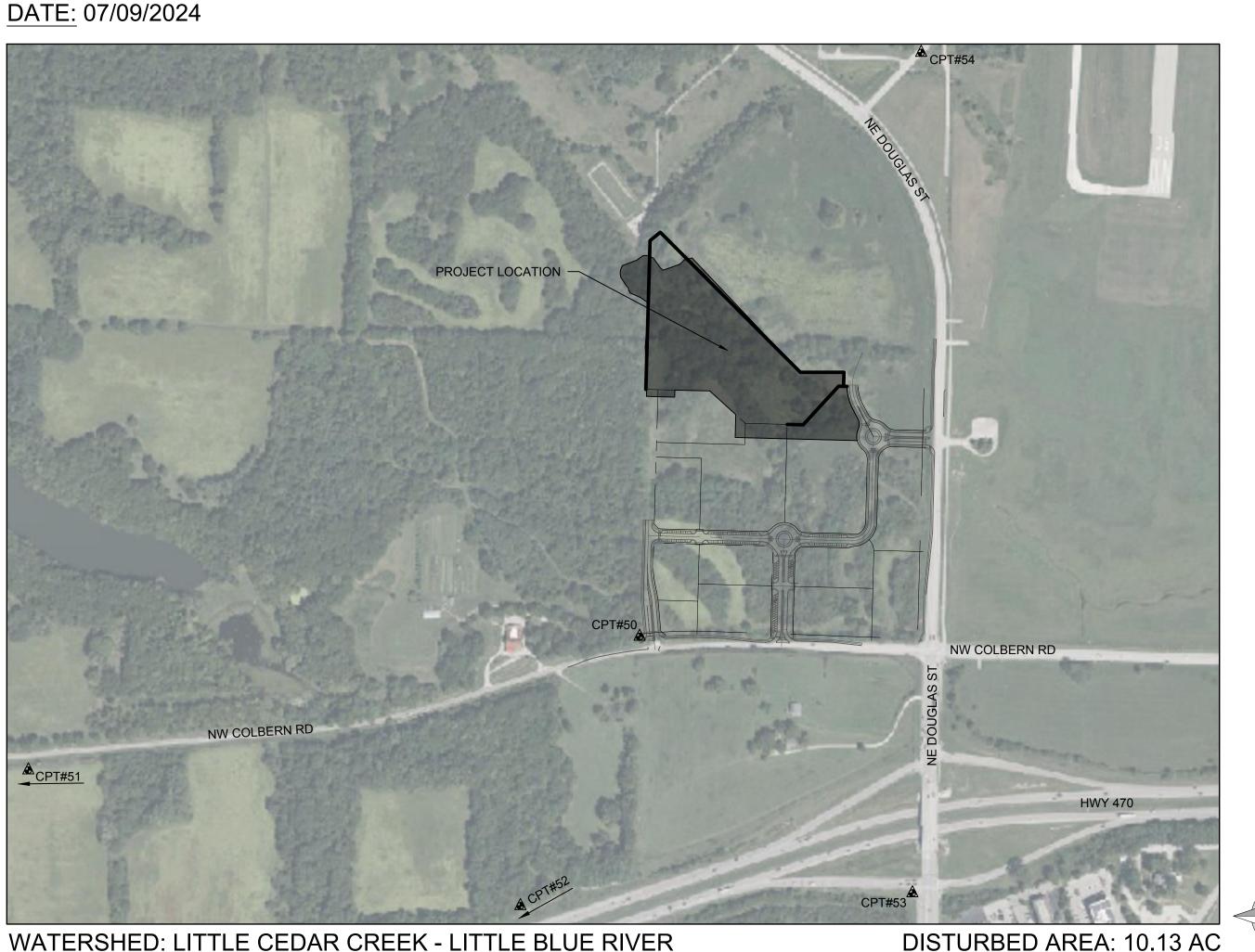
G:\Shared drives\KC10 - Land Development\Projects\2024\24KC10025-Discovery Park Z1p1-Dam Embankment Revisions\01 CIVIL\03-DWG\Sheet\Mass Grading Plans\24KC10025-COV001.dwg

FEMA FLOOD INFORMATION:

THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OF 0.2% ANNUAL CHANGE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE (FIRM) MAP NUMBER 29095C0409G, REVISION DATE JANUARY 20, 2017.

OIL/GAS WELLS:

NO OIL OR GAS WELLS ARE LOCATED WITHIN PROJECT LIMITS. INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).



GENERAL NOTES:

- INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- DRAWINGS.

DETENTION BASIN PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1

LEE'S SUMMIT, JACKSON COUNTY, MO SECTION 30, T48N, R31W

DISTURBED AREA: 10.13 AC

C101 C200

C100

C201 C202 C300 C301 C302 C400

POINT TABLE			
NORTHING	EASTING	ELEVATION	FULL DESCRIPTION
1012389.8190	2822108.7840	990.8100	CTL
1011606.5710	2817819.8520	933.2990	CTL
1009320.3430	2818811.2690	930.8920	CTL
1011007.3400	2823445.2840	988.4360	CTL
1014987.4060	2823402.9760	930.4780	CTL
1015699.8100	2821686.0380	935.0540	CTL
	1012389.8190 1011606.5710 1009320.3430 1011007.3400 1014987.4060	NORTHINGEASTING1012389.81902822108.78401011606.57102817819.85201009320.34302818811.26901011007.34002823445.28401014987.40602823402.9760	NORTHINGEASTINGELEVATION1012389.81902822108.7840990.81001011606.57102817819.8520933.29901009320.34302818811.2690930.89201011007.34002823445.2840988.43601014987.40602823402.9760930.4780

0 200' 400

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED

2. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT

PROJECT SPECIFICATIONS:

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

- 1. MOST CURRENT VERSION OF THE DESIGN AND CONSTRUCTION MANUAL OF THE CITY OF LEE'S SUMMIT, MO.
- 2. MOST CURRENT VERSION OF THE AMERICAN PUBLIC WORKS ASSOCIATION -KANSAS CITY METRO CHAPTER

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.

CIVIL ENGINEER:

OWN, INC. 8455 COLLEGE BLVD OVERLAND PARK, KS 66210 EMAIL: JBARTZ@WEAREOWN.COM PHONE: (816) 777-0400

Allay Bate JEFFREY W. BARTZ, P.E MISSOURI P.E. NO. 2012022594

SHEET INDEX:

COVER SHEET GENERAL NOTES **GRADING PLAN** SPILLWAY DETAIL PLAN SPILLWAY DETAILS ESC - PHASE I ESC - PHASE II ESC - PHASE III ESC DETAILS - 1

SURVEY CONTROL

- CP #50: 1/2" IB/CAP ON THE NORTH SIDE OF NW COLBERN ROAD. IT IS IN THE 1ST FIELD ENTRANCE WEST OF NE DOUGLAS STREET
- CP#51: SET 1/2" IB/CAP ON THE SW CORNER OF COLBERN ROAD AND MAIN STREET CP#52: SET 1/2" IB/CAP ON THE SOUTH SIDE OF MAIN STREET WHERE MAIN
- STREET TURNS EAST ON THE SOUTH SIDE OF I-470 CP#53: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS JUST SOUTH OF THE
 - I-470 INTERCHANGE. IN THE NW CORNER OF THE PARKING LOT TO THE OLD OUTBACK
- CP#54: SET 1/2" IB/CAP ON THE SOUTH SIDE OF NE DOUGLAS ST. (OLD) WHERE IT BENDS BACK NORTH AT THE SE CORNER OF "THE CURE" CHURCH
- CP#55: SET 1/2" IB/CAP ON THE EAST SIDE OF DOUGLAS AT DRIVEWAY FOR **HOUSE 2545**

DEVELOPER:

INTRINSIC DEVELOPMENT 3622 ENDEAVOR AVE., STE. 101 COLUMBIA, MO 65201 CONTACT: JOHN ODLE PHONE: (573) 615-2252

PREPARED AND SUBMITTED BY:

07/18/2024 DATE



Engineering beyond.

8455 College Boulevard Overland Park, KS 66210 816.777.0400 weareown.com

ORMERLY ANDERSON ENGINEERIN

MASS GRADING & EROSIOI CONTROL PLANS - THE VILLAGE AT DISCOVERY PARK ZONE 1

	REVISIONS		
NO.	DESCRIPTION	DATE	
1	INITIAL SUBMISSION	06/20/2024	
2	PER CITY COMMENTS	07/09/2024	

DRAWING INFORMATION	
PROJECT NO: 24KC10025	
DRAWN BY: JGD	
CHECK BY: JWB	
ISSUED DATE: 7/9/2024	
FIELD BOOK:	
★ JEFFREY W. BARTZ NUMBER PE-2012022594 07/18/2024	
ISSUED BY:	
LICENSE NO:	
A licensed Missouri Engineering Corporation COA# 00062	
SHEET TITLE	
COVER SHEET	
SHEET NUMBER	
C100	
1 OF 9	

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PLANS IN THEIR POSSESSION ARE THE MOST CURRENT REVISION ISSUES, ARE FULLY COORDINATED WITH ALL SUBCONTRACTORS, AND PRESENT ON SITE AT ALL TIMES. CURRENT PLANS PREPARED BY OWN, INC. MAY BE OBTAINED AT THE DIRECTION OF THE OWNER. DIRECT REQUESTS TO OWN, INC. MAY REQUIRE ADDITIONAL AUTHORIZATIONS, AGREEMENTS, AND/OR FEES. PLEASE CONTACT THE ENGINEER FOR MORE INFORMATION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RESPONSIBLE FOR ANY DEVIATIONS FROM THESE PLANS UNLESS WRITTEN APPROVAL FROM ENGINEER. OWNER, AND DEVELOPER. 3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR
- THE OWNER'S REPRESENTATIVE. 4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSED ONLY. THE CONTRACTOR
- SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES AND ITEMS OF WORK. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK SHOWN IN THE PLANS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES, AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK
- 7. THE CONTRACTOR SHALL NOT ENGAGE IN ACTIVITIES THAT MAY ENCROACH ON WATERS OF THE U.S., INCLUDING WETLANDS, UNTIL ANY NECESSARY PERMITS MAY BE OBTAINED. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS DESCRIBED IN THE PERMIT
- 8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, THE SAFETY OF ALL PERSONS INCLUDING VISITORS AND THE GENERAL PUBLIC, AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT AND NOT BE LIMITED BY WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND OBTAIN ANY RELEVANT INFORMATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
- 12. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO PERFORM A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.

REFERENCES

- 1. UNLESS EXPLICITLY DESCRIBED OTHERWISE WITHIN THESE PLANS THE FOLLOWING SHALL APPLY; A. ALL CONSTRUCTION, INCLUDING THOSE LISTED BELOW, SHALL CONFORM TO THE LATEST CODES AND ORDINANCES OF LEE'S SUMMIT, MISSOURI.
- B. ALL CONSTRUCTION IN MODOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST SPECIFICATIONS ADOPTED BY THE U.S. DEPARTMENT OF TRANSPORTATION AND MODOT.
- C. ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). D. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND
- SPECIFICATIONS OF THE UTILITY COMPANIES. E. ALL EXTERIOR PAVEMENT (PCC, ASPHALT, ETC.) SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS OF LEE'S SUMMIT, MISSOURI AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

EXISTING CONDITIONS:

- 1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.
- EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITES IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS WHEN CONFLICTS AND DISCREPANCIES ARE FOUND.

G:\Shared drives\KC10 - Land Development\Projects\2024\24KC10025-Discovery Park Z1p1-Dam Embankment Revisions\01 CIVIL\03-DWG\Sheet\Mass Grading Plans\24KC10025-GENN001.dwg

GENERAL EROSION & SEDIMENTATION NOTES:

- SUBSEQUENT REPORTS AND RELATED DOCUMENTS. (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONSTRUCTION.
- - REQUIRED BY THE GENERAL PERMIT.
 - AND TOILET FACILITIES. SPILLS AND LEAKS.
 - WATERS OF THE STATE.
 - PRACTICABLE.

 - GRADING PLAN.

 - OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 - WITH THE STABILIZATION OF THE SITE.
 - REDUCE RUNOFF VELOCITIES AND EROSION.

EROSION & SEDIMENTATION CONTROL MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- SIGNS OF UNDERMINING OR DETERIORATION.
- SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.

A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS, PLUS THE PERMIT AND ALL

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT

C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF

D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER. E. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES. F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS

G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA,

EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.)

SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED. I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL

J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR

L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS

M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED. P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS

Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION

R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO

T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT

CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT

3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP

4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.



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FORMERLY ANDERSON ENGINEERING

MASS GRADING & EROSION CONTROL PLANS - THE VILLAGE AT DISCOVERY PARK ZONE 1

	DEVISIONS	
	REVISIONS	
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	06/20/2024
2	PER CITY COMMENTS	07/09/2024

DRAWING INFORMATION	
PROJECT NO: 24KC10025	
DRAWN BY: JGD	
CHECK BY: JWB	
ISSUED DATE: 7/9/2024	
FIELD BOOK:	
↓ JEFFREY W. ★ JEFFREY W. BARTZ NUMBER PE-2012022594 07/18/2024 SONAL FNOT	
ISSUED BY:	
LICENSE NO:	
A licensed Missouri Engineering Corporation COA# 00062	
SHEET TITLE	
GENERAL NOTES	
SHEET NUMBER	
C101	
2 OF 9	



LEGEND

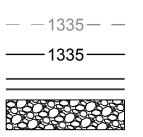
PROP. GALVANIZED TRASH RACK

FOR MORE INFORMATION

RE: SHEET C202 - SPILLWAY DETAILS

(BY OTHERS)

PROP. 8" PVC SSWR MAIN



-1335 -EXISTING GRADE LINES PROPOSED STORM SEWER

> PROPOSED RIP RAP APRON FLEXAMAT PLUS

EROSION CONTROL BLANKET

- EX. STORM LINE R (BY OTHERS)

MAXIMUM ORGANIC CONTENT: 4% LIQUID LIMIT, LL: 30 < LL < 50

2.

MAXIMUM STANDARD PERMEABILITY, Ks: 1.5E-05 CM/SEC 5. AS DEFINED ABOVE, SUITABLE FILL MATERIALS SHOULD BE PLACED IN LOOSE LIFTS OF 8 INCHES OR LESS AND COMPACTED USING APPROPRIATELY SIZED AND TYPE EQUIPMENT. EMBANKMENT FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AT A MOISTURE CONTENT BETWEEN ONE (1) PERCENT BELOW OPTIMUM MOISTURE CONTENT AND FOUR (4) PERCENT ABOVE OPTIMUM MOISTURE CONTENT.

6. WHERE REQUIRED, SLOPES SHOULD BE FLATTENED TO AT LEAST 3H:1V AND SUITABLY BENCHED PRIOR TO PLACEMENT OF NEW FILLS. IF CUTBACKS INTO EXISTING SLOPES ARE REQUIRED TO REMOVE DISTURBED OR OTHERWISE UNSUITABLE MATERIAL, THE BENCHES SHOULD BE CUT PARALLEL TO THE EXISTING SITE CONTOURS. THE BENCHES SHOULD HAVE MAXIMUM VERTICAL FACE HEIGHTS OF THREE (3) FEET AND MINIMUM VERTICAL FACE HEIGHTS OF ONE (1) FOOT.

GENERAL NOTES:

THIRD PARTY TESTER.

- PROPOSED RIGHT-OF-WAY.
- SITE BY THE CONTRACTOR AT HIS EXPENSE.
- PERCENT OF OPTIMUM MOISTURE CONTENT.

NOTE:

- FUTURE BY MEANS OF PUMPING. ARIA APARTMENTS. (PL2023146, PRSUBD20232726)

INSTALL EROSION CONTROL BLANKET ⊤ PER APWA SECTION 2150 AND DESIGN
GUIDANCE 5100.

> PROPOSED GRADING (BY OTHERS) RE: APPROVED PLANS FOR ARIA APARTMENTS FOR MORE DETAIL.

TRACT A-1 9.40 ACRES 2031 NE TRAILS EDGE BLVD

EX. STORM LINE Q

(BY OTHERS)

GUIDANCE 5100.

EX. STORM LINE B (BY OTHERS)

> EX. STORM LINE C (BY OTHERS)

EX. PROPERTY

EMBANKMENT FILL AND COMPACTION REQUIREMENTS:

1. THIRD PARTY TESTING REQUIRED FOR CONSTRUCTION OF THE DETENTION BASIN. REMOVE TOPSOIL AND ORGANIC DIRT FROM THE AREA.

3. PROOF ROLL TO CHECK THE SUBGRADE. REMOVE OR REPAIR ANY UNSTABLE AREA IN ACCORDANCE WITH

4. ALL EMBANKMENT FILLS SHOULD CONSIST OF APPROVED MATERIALS:

1. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE

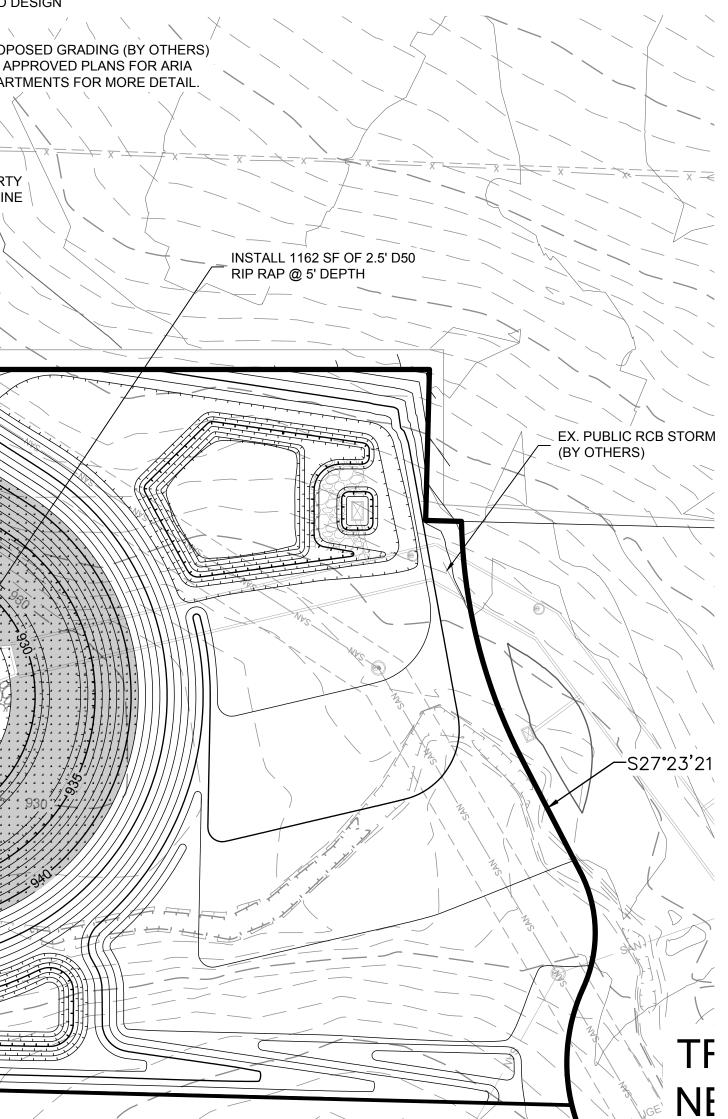
2. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE OF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AS OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB

3. ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 8". EMBANKMENT SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY-DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF -0 TO +4

4. PAVEMENT AND OTHER INFRASTRUCTURE IMPROVEMENT NOT EXPLICITLY DETAILED WITHIN THIS PLAN SET ARE SHOWN FOR REFERENCE ONLY AND WILL BE REVIEWED AND PERMITTED SEPARATELY.

1. DEVELOPER TO PROVIDE EMERGENCY DRAWDOWN FOR THE BASIN IF NECESSARY IN THE

2. ALL STORM SEWER SHOWN IS FOR REFERENCE ONLY. REFER TO APPROVED MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1 &





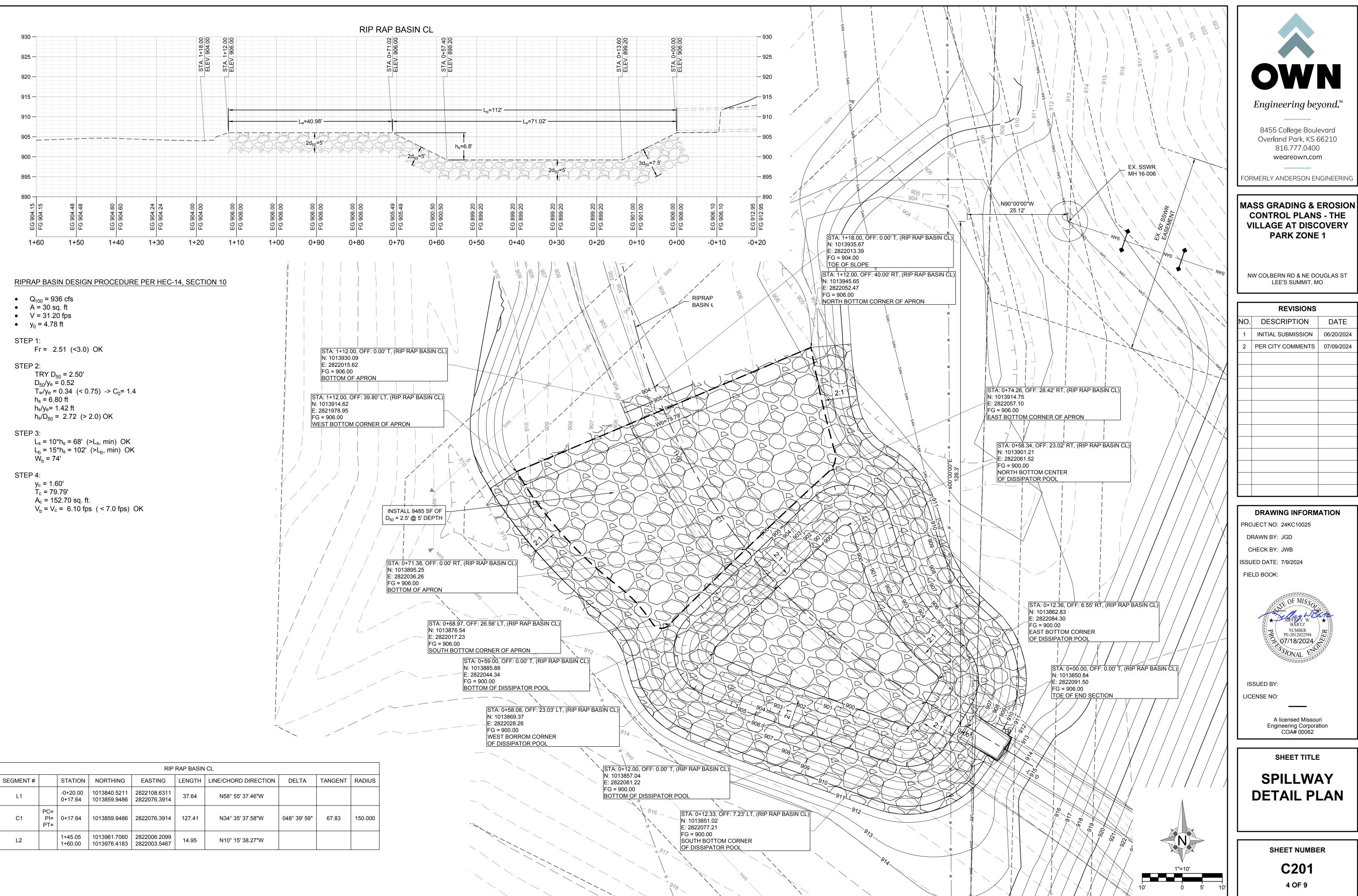
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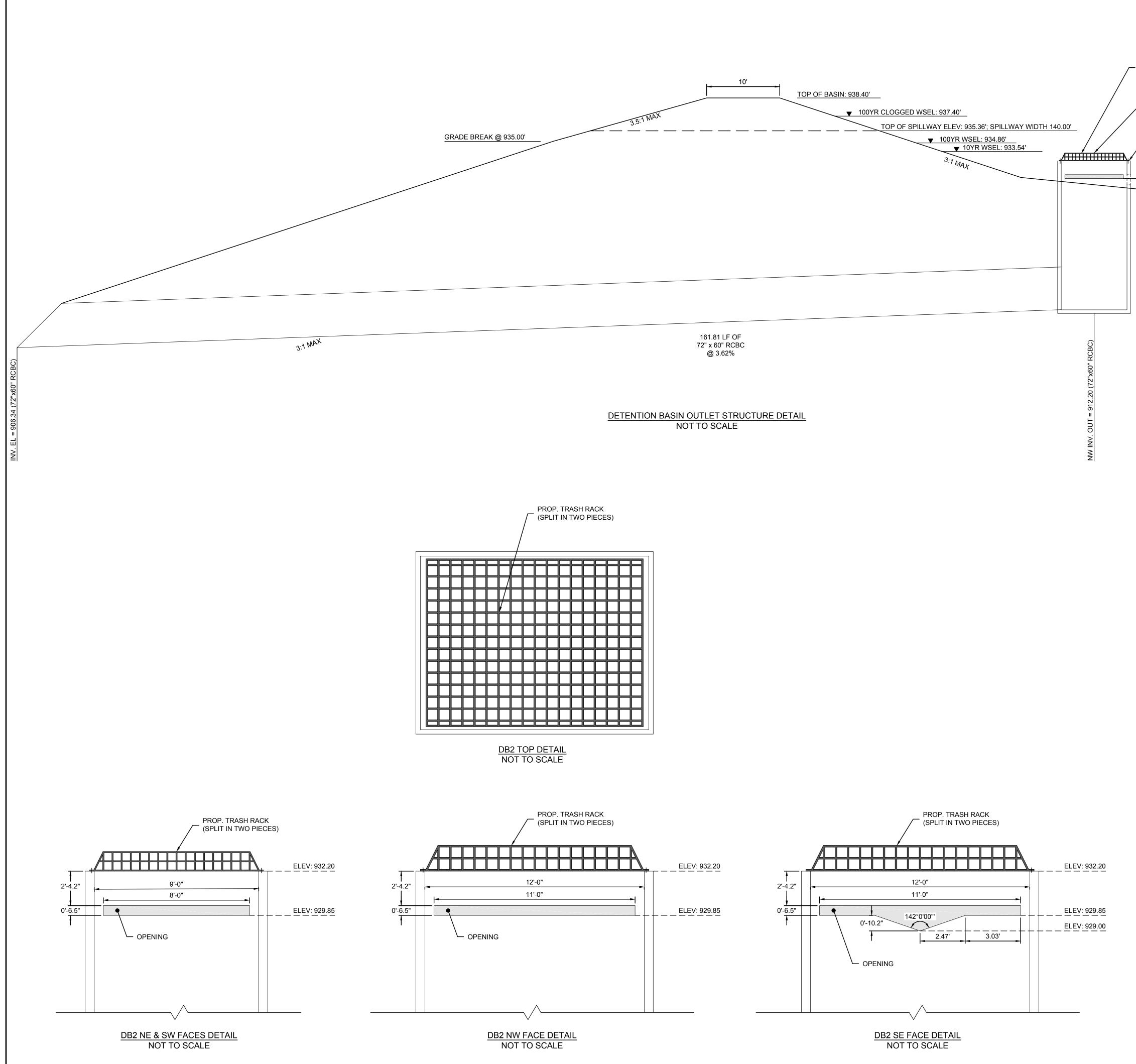
8455 College Boulevard Overland Park, KS 66210 816.777.0400 weareown.com

FORMERLY ANDERSON ENGINEERING

MASS GRADING & EROSION CONTROL PLANS - THE VILLAGE AT DISCOVERY PARK ZONE 1

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	06/20/2024
2	PER CITY COMMENTS	07/09/2024





#7 @6" OC.EW. REBAR GRATE _ 3X3X³" ANGLE FRAME OR APPROVED EQUIVALENT GALVANIZED SPLIT (BEARING BAR DIRECTION ALONG SHORTER SIDE, NW TO SE)

PIECES DB2 OUTLET STRUCTURE – 9'x12' DETENTION BASIN OUTLET STRUCTURE (OPEN TOP W/ STEEL GRATING) TOP OF STRUCTURE: 932.20'

SPLIT IN TWO

8'W x 6.5'H OPENING (NE, SW): 929.85'; 11'W x 6.5'H OPENING (NW, SE): 929.85'

142° V-NOTCH WEIR: 929.00' 10:1 MAX SEE DB 2 SE FACE DETAIL ON THIS SHEET 3:1 MAX

POND BOTTOM: 920.00'

0	SS GRADING & I CONTROL PLANS ILLAGE AT DISC PARK ZONE	6 - THE OVERY
N	W COLBERN RD & NE DC LEE'S SUMMIT, M	
	REVISIONS	
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	06/20/2024
2	PER CITY COMMENTS	07/09/2024

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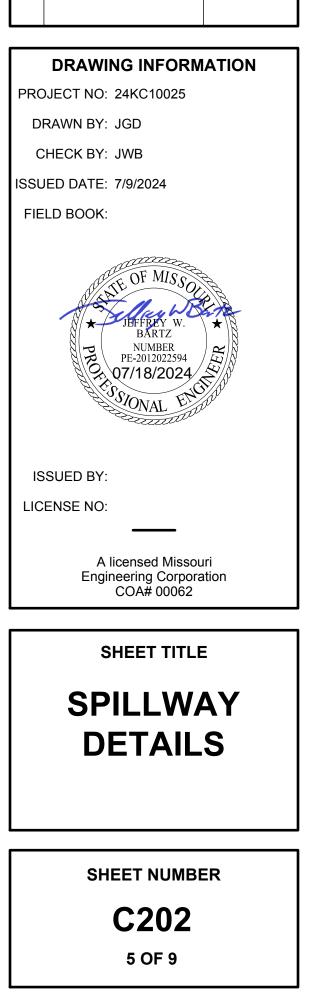
Overland Park, KS 66210

816.777.0400

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FORMERLY ANDERSON ENGINEERING

BASIN DETAILS		
BASIN EMERGENCY SPILLWAY DETAILS		
TYPE	RECTANGULAR BROAD CRESTED WEIR	
LENGTH	140.00'	
WIDTH	42.70'	
ELEVATION	935.36'	
DEPTH	2.04'	
TOP ELEVATION	938.40'	
100-YR FLOW	1,225.95 CFS	
100-YR CLOGGED FLOW	1,225.95 CFS	
<u>B</u>	ASIN HYDROLOGIC DETAILS	
PERMANENT POOL ELEVATION	929.00'	
10-YR FLOW, WSEL, DEPTH, STORAGE	414.92 CFS, 933.54', 4.54', 16.53 AC-FT	
100-YR FLOW, WSEL, DEPTH, STORAGE	720.09 CFS, 943.86', 5.86', 22.00 AC-FT	
100-YR CLOGGED FLOW, WSEL, DEPTH, STORAGE	1,225.95 CFS, 937.40', 8.40', 33.21 AC-FT	



- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL
- STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER
- 5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT
- 7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OF DISPOSED. 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE
- MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. 10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM
- BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES
- THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE. 12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND
- IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE. 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR
- AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TOCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
- 15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS 19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED
- CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. 20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT
- CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE. 21. CONTR5ACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

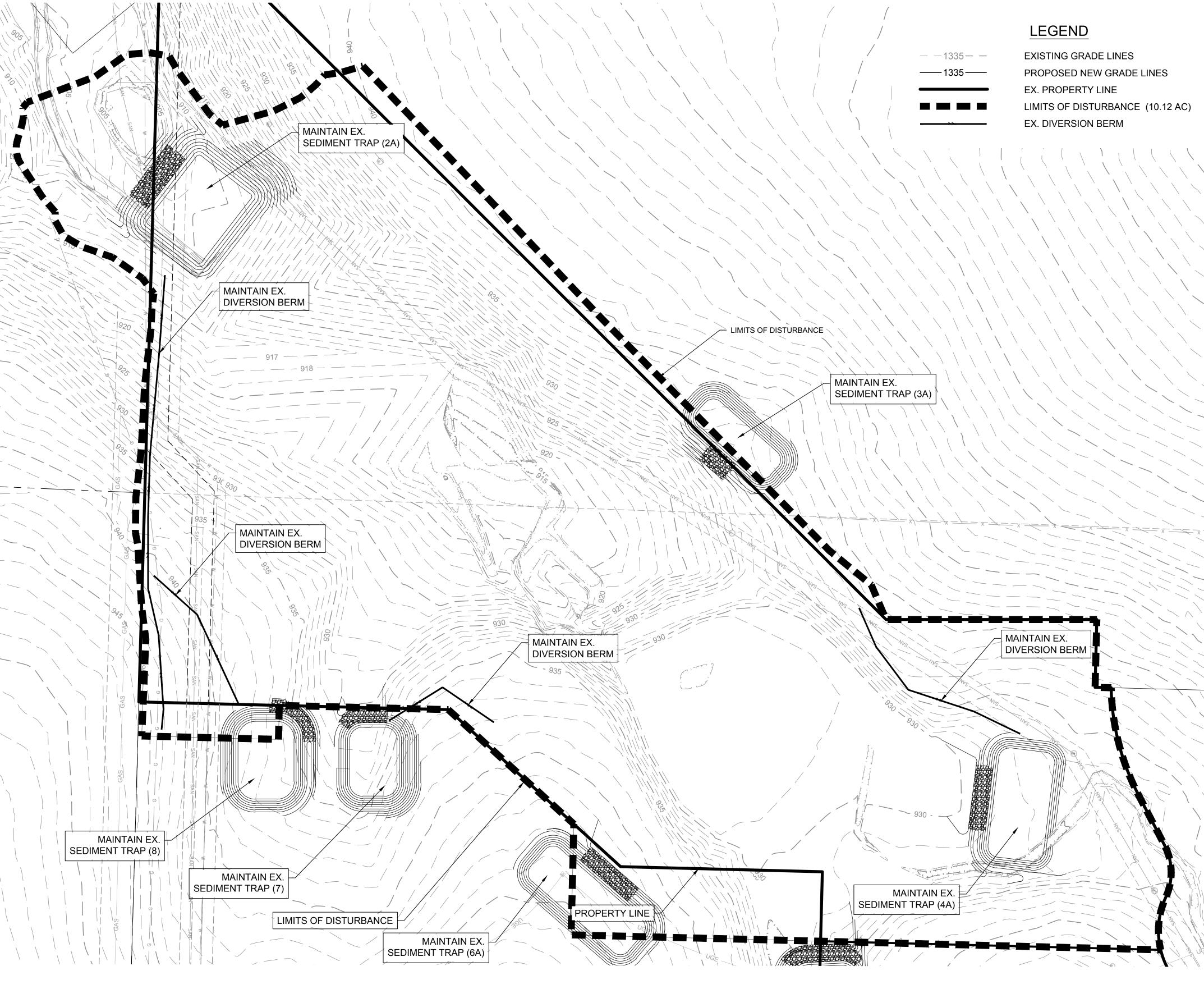
EROSION CONTROL & MAINTENANCE PLAN NOTES:

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- 2. INLET PROTECTION DEVISED AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
- 3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- 5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP D4RESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- 6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- 7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABLIZE THE FAILED AREA.

GRADING NOTES:

- 1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
- 2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
- ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
- 4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL
- 5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- 6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.



SEQUENCE OF CONSTRUCTION:

SITE IMPROVEMENTS CONSIST OF GRADING OPERATIONS, ALONG WITH RE-ACTIVATING OF AN EXISTING SEDIMENT TRAP. WORK SHALL BE CONDUCTED AS FOLLOWS:

- (CITY OF LEE'S SUMMIT, MO PROJECT NUMBER PRSUBD20232726)
- NECESSARY
- INTERMEDIATE EROSION CONTROL PLAN.

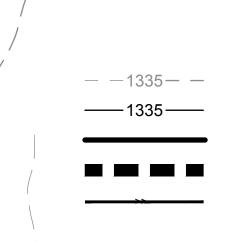
1. MAINTAIN/RECONSTRUCT EXISTING SEDIMENT TRAPS AS DETAILED IN "MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR THE VILLAGE AT DISCOVERY PARKING ZONE 1 & ARIA APARTMENTS."

MAINTAIN EXISTING CONSTRUCTION VEHICLE ENTRANCE LOCATED ALONG NW COLBERN RD. INSTALL DIVERSION BERMS AS SHOWN ON PLANS. ENSURE PROPOSED DIVERSION BERM CAPTURE ALL SEDIMENTS INTENDED FOR PROPOSED SEDIMENT TRAPS. CONTRACTOR SHALL ADJUST AS

4. CONTRACTOR TO CONSTRUCT/MAINTAIN STORMWATER MANAGEMENT FACILITIES, SPECIFICALLY THOSE FEATURES RELATED TO DETENTION, PRIOR TO ANY LAND DISTURBANCE OF THE SITE AND PRIOR TO THE CONSTRUCTION OF ANY OTHER SITE DEVELOPMENT WORK AS NOT TO EFFECT DOWNSTREAM NEIGHBORS WITH UNDETAINED STORMWATER DISCHARGE.

5. AS GRADING OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE

REFERENCE APPROVED MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR DISCOVERY PARK - ZONE 1 & ARIA APARTMENTS FOR EX. SEDIMENT BASINS AND TEMPORARY CONSTRUCTION ENTRANCE LOCATION ALONG NW COLBERN ROAD.





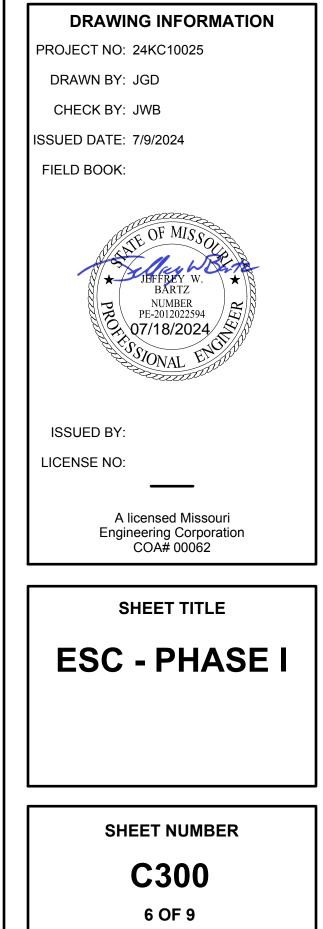
8455 College Boulevard

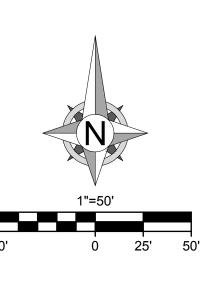
Overland Park, KS 66210 816.777.0400 weareown.com

FORMERLY ANDERSON ENGINEERING

MASS GRADING & EROSION CONTROL PLANS - THE VILLAGE AT DISCOVERY PARK ZONE 1

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	06/20/2024
2	PER CITY COMMENTS	07/09/2024





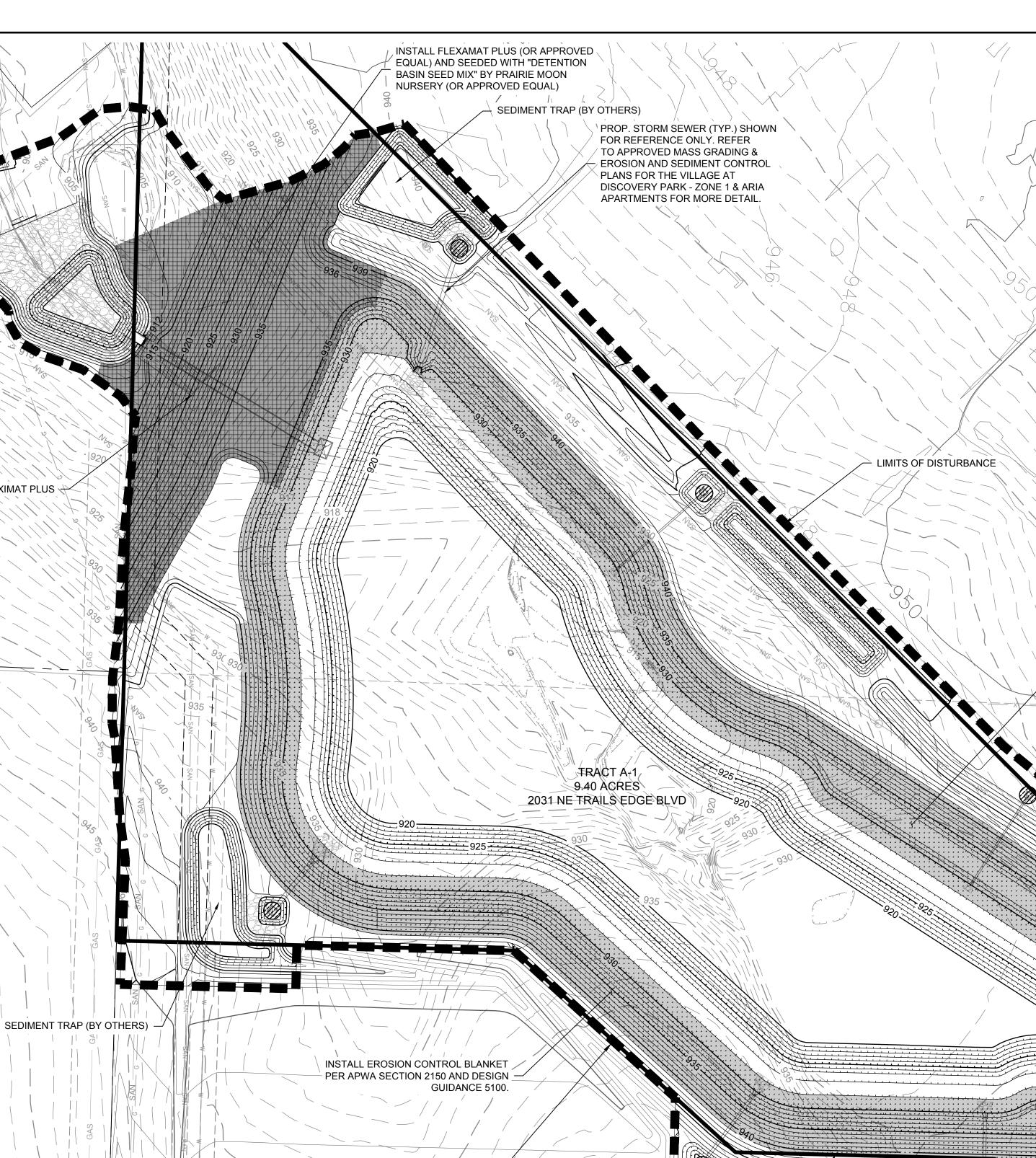
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- 3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
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- 7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. EMPLOYEE PARKING AREA. AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
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- 10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE.
- 12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
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- 20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 21. CONTR5ACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

EROSION CONTROL & MAINTENANCE PLAN NOTES

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- 1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING, SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- 2. INLET PROTECTION DEVISED AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION. 3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND
- RESEEDED AS NEEDED. 4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT
- REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. 5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP D4RESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- 6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
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FLEXIMAT PLUS



LIMITS OF DISTURBANCE SEDIMENT TRAP (BY OTHERS)

GRADING NOTES:

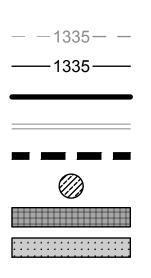
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- 3. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
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- ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

SEQUENCE OF CONSTRUCTION

SITE IMPROVEMENTS CONSIST OF FINISHING MASS GRADING ACTIVITIES, BUILDING CONSTRUCTION, PARKING LOT PAVING, PROPOSED SERVICE LINE UTILITY INSTALLATION, AND STORM SEWERS. WORK SHALL BE CONDUCTED AS FOLLOWS:

- FINISH ANY MASS GRADING AND/OR STEEP SLOPE STABILIZATION ACTIVITIES THAT WERE NOT COMPLETED IN PHASE I. 2. BEGIN INSTALLING UNDERGROUND INFRASTRUCTURE STARTING WITH SANITARY SEWER, FOLLOWED BY STORM SEWER, THEN WATER LINE. INSTALL INLET PROTECTION AND SLOPE INTERRUPT SILT FENCE ONCE PIPE BACKFILLING HAS BEEN COMPLETED.
- 3. AS PIPE INSTALLATION OPERATIONS ARE COMPLETED, AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH SEED AND COMPOST MULCH AND/OR STEEP SLOPE PROTECTION. SEE FINAL STABILIZATION PLAN.
- 4. AS STORM SEWER INFRASTRUCTURE IS COMPLETED, INLET PROTECTION SHALL BE INSTALLED TO PROTECT EXISTING
- STORM SEWER INFRASTRUCTURE FROM HIGHLY CONCENTRATED DISCHARGE FLOWS. 5. ALL PHASE I AND PHASE II EROSION CONTROL MEASURES SHALL CONTINUE BEING REGULARLY INSPECTED AND MAINTAINED UNTIL FINAL STABILIZATION OF AT LEAST 70% OF THE DISTURBED SURFACE HAS BEEN MET THROUGH TEMPORARY SEEDING.
- 6. INSTALL TEMPORARY AND PERMANENT EROSION CONTROL MATTING, SEED AREAS PER MANUFACTURER RECOMMENDATION.

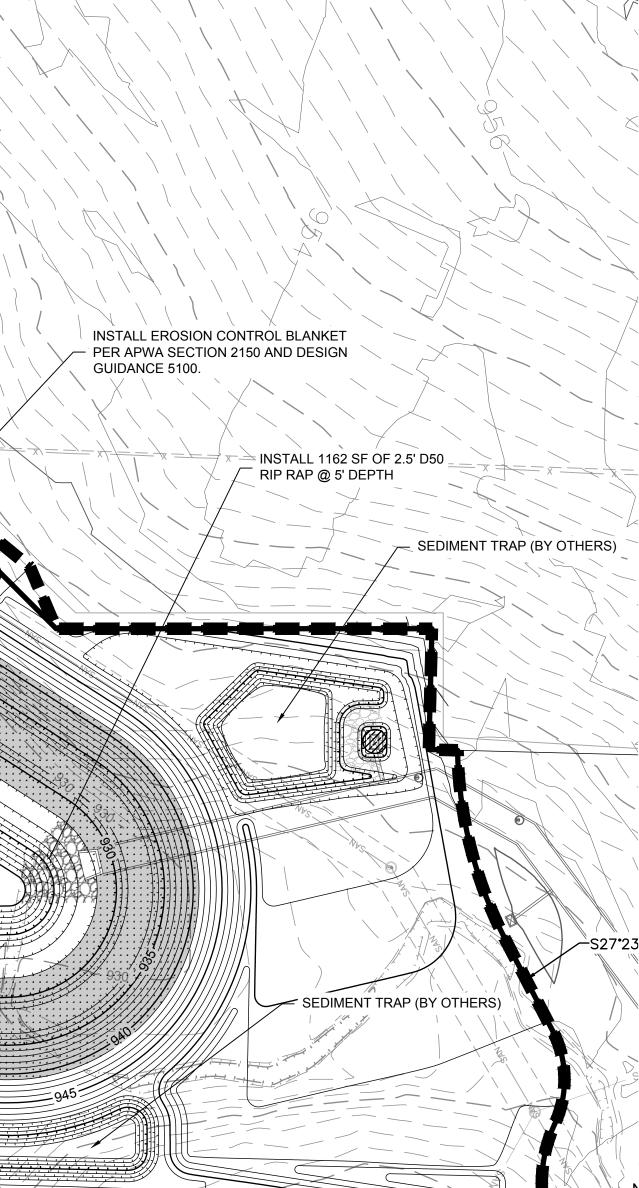


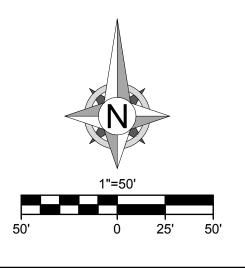


EXISTING GRADE LINES PROPOSED NEW GRADE LINES EX. PROPERTY LINE PROP. STORM DRAIN (BY OTHERS) LIMITS OF DISTURBANCE (10.12 AC) **INLET PROTECTION** FLEXAMAT PLUS

EROSION CONTROL BLANKET

REFERENCE APPROVED MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR DISCOVERY PARK - ZONE 1 & ARIA APARTMENTS FOR EX. SEDIMENT BASINS AND TEMPORARY CONSTRUCTION ENTRANCE LOCATION ALONG NW COLBERN ROAD.







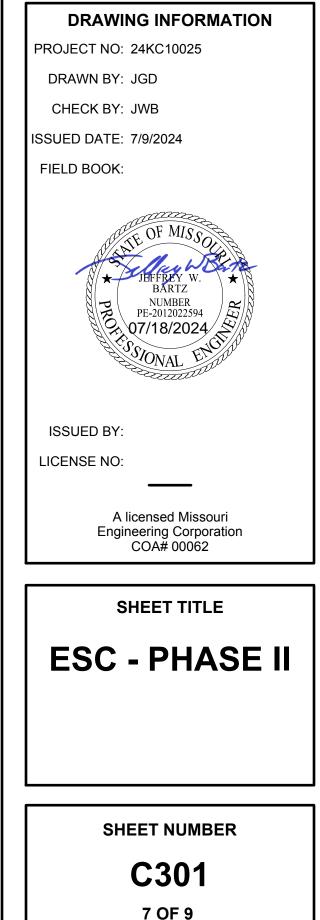
Engineering beyond.™

8455 College Boulevard Overland Park, KS 66210 816.777.0400 weareown.com

FORMERLY ANDERSON ENGINEERING

MASS GRADING & EROSION **CONTROL PLANS - THE** VILLAGE AT DISCOVERY PARK ZONE 1

REVISIONS		
NO.	DESCRIPTION	DATE
1	INITIAL SUBMISSION	06/20/2024
2	PER CITY COMMENTS	07/09/2024



- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("EROSION CONTROL"), THE STANDARD DETAILS, ATTACHMENTS INCLUDED IN SPECIFICATIONS ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
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- 6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT
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- 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OF DISPOSED. 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE
- MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. 10. DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM
- BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES
- THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATER OF THE STATE. 12. ALL STORM WATER POLLUTION PREVENTION MEASURED PRESENTED ON THIS SITE MAP, AND
- IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS POSSIBLE. 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR
- AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. 14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY
- STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. STABILIZATION MAY CONSIST OF SEED, SOD, TOCK, PAVEMENT, STRUCTURE OR OTHER NON-ERODIBLE COVER.
- 15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IS IS CARRIED OFF THE SITE. ONLY USED INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS 19. SLOPES CONSISTING OF TOPSOIL, CLAY, OR SILT SHALL BE LEFT IN A ROUGHENED
- CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. 20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT
- DISCHARGE. 21. CONTR5ACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE. PONDING OF WATER WILL NOT BE ALLOWED ON SITE. IF NECESSARY, CONTRACTOR TO PROVIDE TEMPORARY SWALES OR PUMPING IN LOW POINT SUMP CONDITIONS UNTIL THE INSTALLATION OF STORM SEWER.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

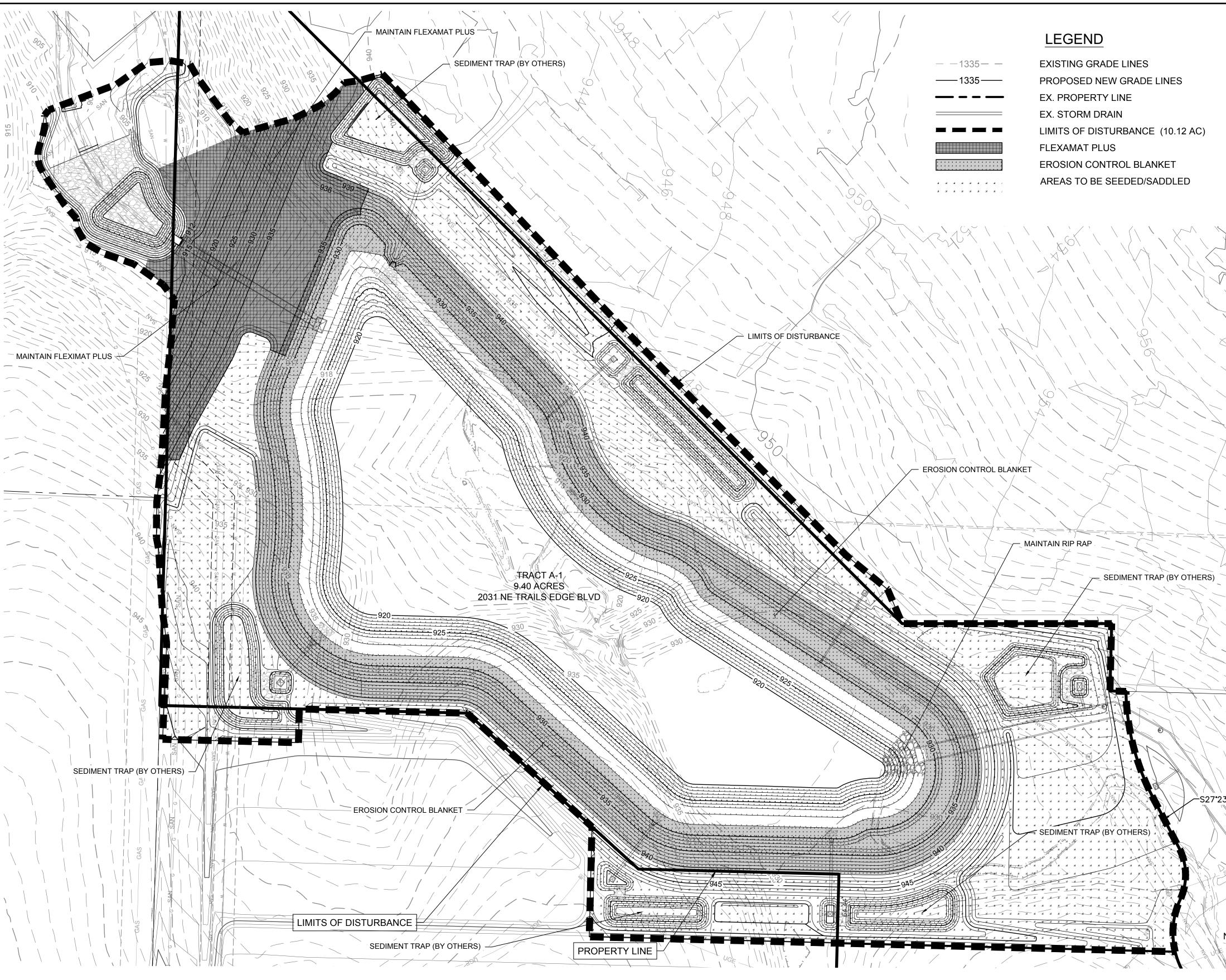
ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. AT A MINIMUM, THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS FOR GOOD HOUSEKEEPING. SPILL CONTROL AND EROSION AND SEDIMENT CONTROL AS SPECIFIED IN THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION SECTION 2150.
- 2. INLET PROTECTION DEVISED AND BARRIERS SHALL BE REPAIRED OR REPLACED IN THEY SHOWN SIGNS OF UNDERMINING OR DETERIORATION.
- 3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- 5. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP D4RESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- 6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- 7. DRAINAGE SWALES WITH SLOPES STEEPER THAN 15% SHALL BE INSPECTED AFTER EACH RAINFALL EVENT. THESE CHANNELS AND SLOPES SHOULD BE TREATED WITH EROSION CONTROL FABRIC. IF THE CHANNELS OR SLOPES SHOW ANY SIGNS OF FAILURE, COORDINATE WITH THE ENGINEER TO DEVELOP A PLAN TO RE-STABLIZE THE FAILED AREA.

GRADING NOTES:

- 1. ALL TREES OUTSIDE OF LIMITS OF DISTURBANCE SHALL REMAIN. ONLY THOSE TREES WITHIN LIMITS OF DISTURBANCE THAT AREA IN THE AREA TO BE GRADED SHALL BE REMOVED.
- 2. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF EMBANKMENTS. CONTRACTOR SHALL OBTAIN THE ON-SITE GEOTECHNICAL REPRESENTATIVE'S ACCEPTANCE OF THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
- ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC. WHEN GRADING THE SITE.
- 4. ALL DISTURBED AREAS THAT SHALL BE FINISH GRADED WITH A MINIMUM OF FOUR INCHES OF TOPSOIL
- 5. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
- 6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREIN.

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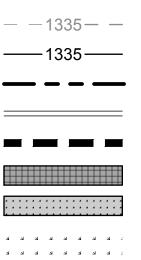
SEQUENCE OF CONSTRUCTION:

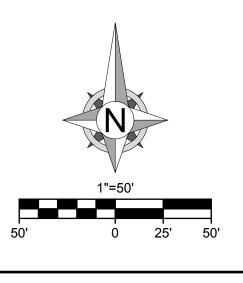
SITE IMPROVEMENTS CONSIST OF GRADING OPERATIONS, ALONG WITH RE-ACTIVATING OF AN EXISTING SEDIMENT TRAP. WORK SHALL BE CONDUCTED AS FOLLOWS:

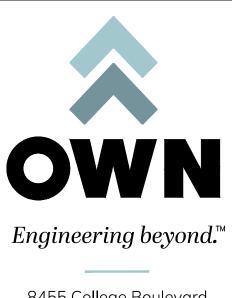
SEED AND/OR SOD ALL DISTURBED AREAS ONCE FINISHED GRADE HAS BEEN ACHIEVED. MAINTAIN SILT FENCE AND INLET PROTECTION UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED OVER 70% OF THE TOTAL DISTURBED AREA.

2. AS ALL DISTURBED AREAS ARE STABLIXED WITH VEGETATIVE COVER, STORM SEWER INLET PROTECTION, SILT FENCE, AND SEDIMENT TRAP CAN BE REMOVED UPON CITY INSPECTION AND APPROVAL. ENSURE ENTIRE SITE IS STABLIZED PRIOR TO DEACTIVATION ON EROSION CONTROL. REFERENCE APPROVED MASS GRADING & EROSION AND SEDIMENT CONTROL PLANS FOR DISCOVERY PARK - ZONE 1 & ARIA APARTMENTS FOR EX. SEDIMENT BASINS AND TEMPORARY CONSTRUCTION ENTRANCE LOCATION ALONG NW COLBERN ROAD.









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FORMERLY ANDERSON ENGINEERING

MASS GRADING & EROSION CONTROL PLANS - THE VILLAGE AT DISCOVERY PARK ZONE 1

	REVISIONS		
NO.	DESCRIPTION	DATE	
1	INITIAL SUBMISSION	06/20/2024	
2	PER CITY COMMENTS	07/09/2024	

