



# LEE'S SUMMIT MISSOURI

## RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 25 Plat Title Woodland Oaks Address: 1812 NE Lashbrook Cir. LS, MO 64086  
County: Jackson State: Missouri

I, Paul Miller, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims or demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents with the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 10<sup>th</sup> day of June, 2024.

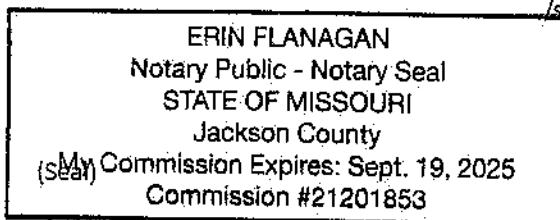
By: [Signature]  
Paul Miller BREWSTER HOMES  
Printed or Typed Name

### INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI  
COUNTY OF JACKSON

ON THIS, The 10<sup>th</sup> day of June, 2024, before me, a Notary Public, personally appeared Paul Miller, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



[Signature]  
Notary Public Signature  
Erin Flanagan  
Printed or Typed Name

My Commission Expires:  
9-19-2025

# PLOT PLAN

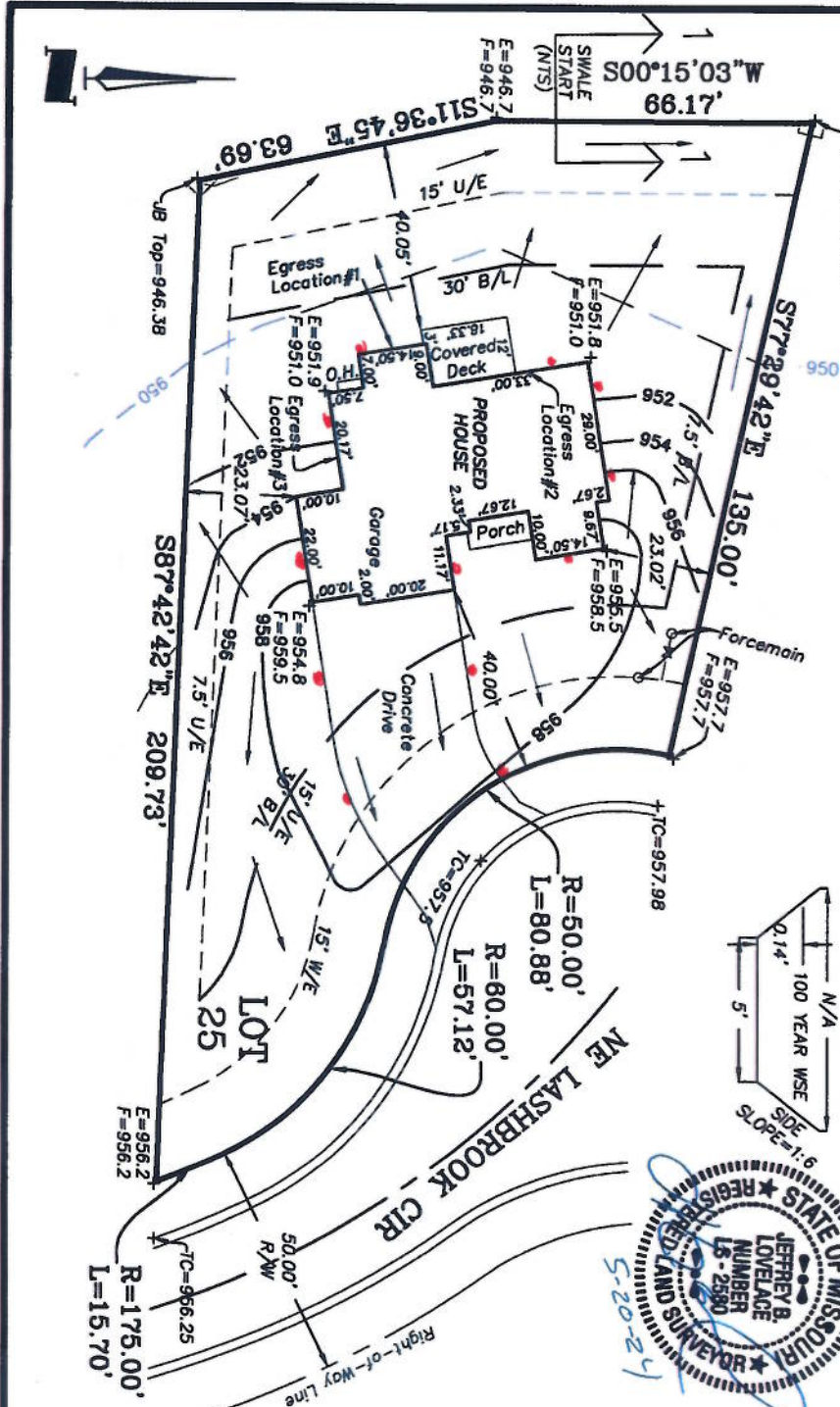
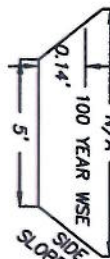
DESCRIPTION: As Provided By: CLIENT

Lot 25, WOODLAND OAKS, a subdivision in Lee's Summit, Jackson County, Missouri.

| LEGEND             |       |
|--------------------|-------|
| UTILITY EASEMENT   | U/E   |
| BUILDING LINE      | B/L   |
| EXISTING GRADE     | E     |
| FINISHED GRADE     | F     |
| TOP OF CURB        | TC    |
| JUNCTION BOX       | JB    |
| WATERLINE EASEMENT | W/E   |
| NOT AVAILABLE      | N/A   |
| NOT TO SCALE       | (NTS) |
| DRAINAGE DIRECTION | →     |

NOTES:  
AN AS-GRADED PLOT PLAN PER SECTION 2-160, CODE OF ORDINANCES, IS REQUIRED PRIOR TO OCCUPANCY.

SECTION DETAIL  
SWALE 1-1  
N/A  
100 YEAR WSE  
SIDE SLOPE=1:6



- NOTES:
1. LEGAL DESCRIPTION OF PROPERTY PROVIDED BY CONTRACTOR. THIS PLOT PLAN DOES NOT CONSTITUTE OR REPRESENT A BOUNDARY SURVEY. THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF PROPERTY BOUNDARIES OF PROPOSED HOUSE WITH RESPECT TO PROPERTY LINES.
  2. EASEMENTS, BUILDING LINES AND SET-BACKS TAKEN FROM RECORDED PLAT ONLY.
  3. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF SANITARY SEWER SERVICE PRIOR TO CONSTRUCTION.
  4. CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION.
  5. CONTRACTOR TO VERIFY CONDITION OF ALL FILL PRIOR TO CONSTRUCTION.
  6. GRADES ARE PROPOSED GRADES ONLY. FINAL GRADING AND ELEVATIONS SHALL BE CONTRACTORS RESPONSIBILITY.
  7. THIS IS A REPRESENTATION OF THE STRUCTURE AS STAKED BY THIS COMPANY.

REVISED: 5/20/2024 PER COMMENTS BY BOH

Ordered By:  
Bellch Homes  
P.O. Box 346  
LEE'S SUMMIT, MO 64063

**LOVELACE & ASSOCIATES, LLC**  
LAND SURVEYING AND PLANNING SERVICES  
312 SE GREEN / P.O. BOX 68  
Lee's Summit, MO 64063/816-347-9997

Drawn by: B. Harkin  
Checked by: J. Lovelace  
DATE: 03/1/2024  
SCALE: 1" = 30'  
JOB NO. 24038