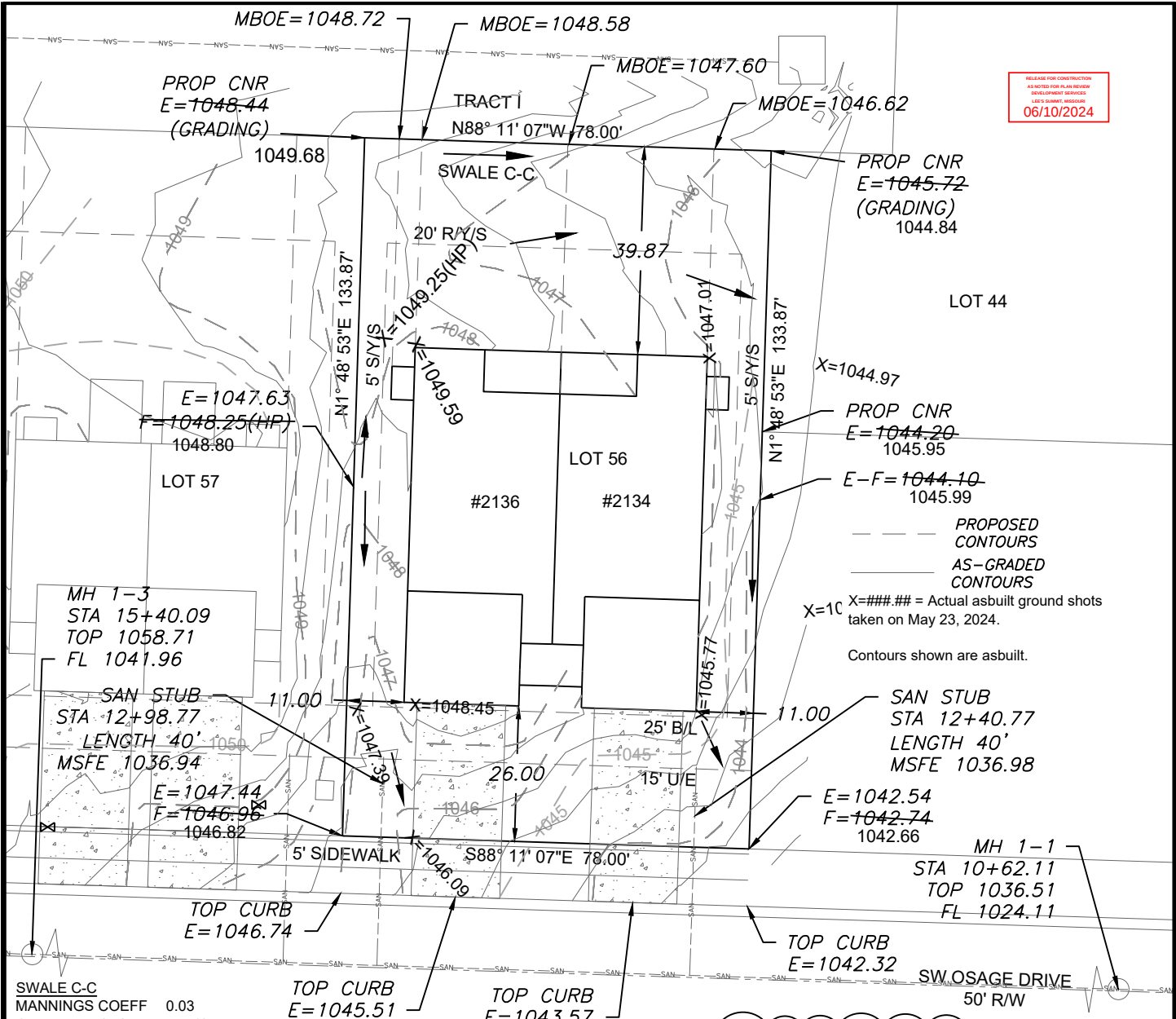


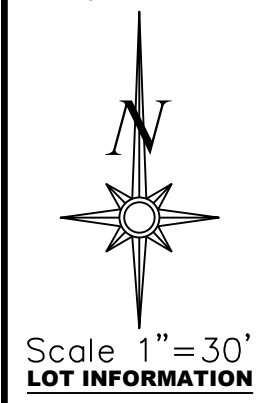


- LEGEND**
- Gas Meter
 - Telephone or Fiber-Optic Pedestal
 - Cable TV Pedestal
 - Electric Pedestal
 - Light Pole
 - Mailbox
 - Fire Hydrant
 - Water Valve

PROPOSED HOUSE
TOP FOUNDATION = 1049.50
GARAGE FLOOR (2136) = 1047.80
GARAGE FLOOR (2134) = 1045.85
TOP FOOTING = 1041.50
BASEMENT FLOOR = 1041.83
DRIVE SLOPE (2136) = 8.0%
DRIVE SLOPE (2134) = 8.0%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

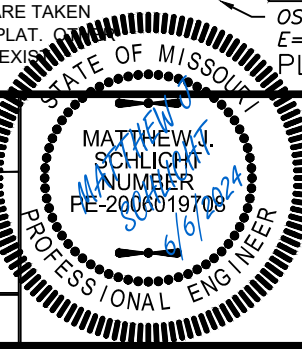
- NOTES**
1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
 2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. EASEMENTS MAY EXIST.



LEGAL DESCRIPTION
LOT 56, OSAGE SECOND PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

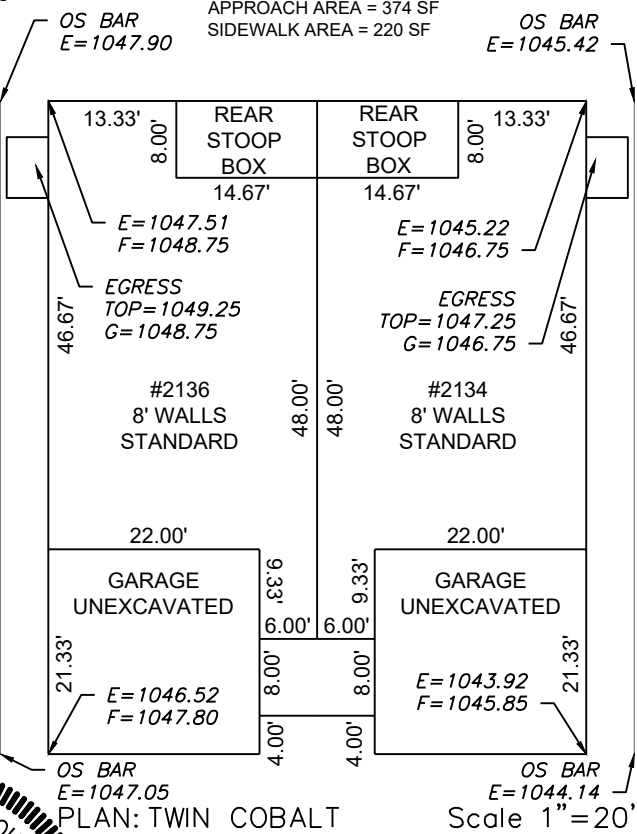
ENGINEERING & SURVEYING SOLUTIONS

50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM



AS-GRADED PLOT PLAN IS
REQUIRED PRIOR TO SODDING

EXTENDED LOT AREA = 11,299.92 SF
DRIVE AREA = 884 SF
APPROACH AREA = 374 SF
SIDEWALK AREA = 220 SF



AS-GRADED PLOT PLAN - LOT 56				
OSAGE SECOND PLAT LEE'S SUMMIT, JACKSON COUNTY, MISSOURI				
CLOVER & HIVE 120 SE 30TH STREET LEE'S SUMMIT, MO 64082				
PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 56, 57, 58, 59, OSAGE	6/9/23	1	1
Rev:				