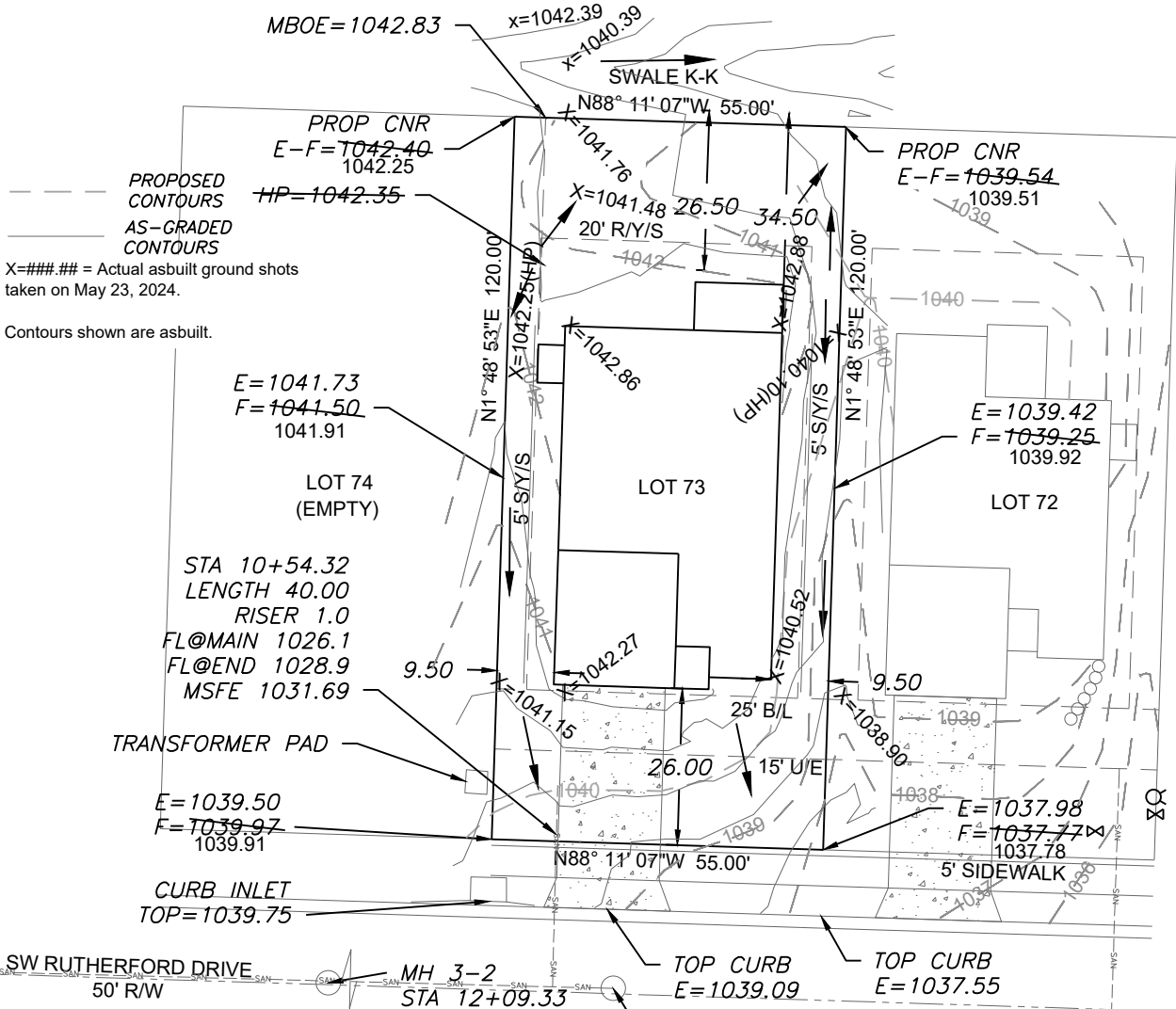




EXTENDED LOT AREA = 7,205.0 SF
DRIVE AREA = 476.0 SF
APPROACH AREA = 197.0 SF
SIDEWALK AREA = 190.0 SF

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1043.60
GARAGE FLOOR = 1040.93
TOP FOOTING = 1035.60
BASEMENT FLOOR = 1035.93
DRIVE SLOPE = 6.2%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT OF RECORD. EASEMENTS MAY EXIST.

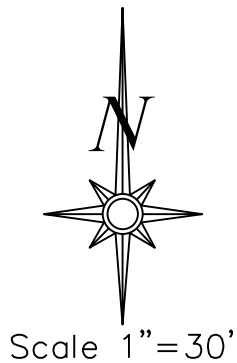
SWALE K-K
MANNINGS COEFF 0.03
CHANNEL SLOPE 4.70%
SWALE DEPTH 1.5'
SIDE SLOPE 3:1
BOTTOM WIDTH 5.00'
TOP WIDTH 5.78'

PG VARIES*
VARIES*L

PG VARIES*
VARIES*L

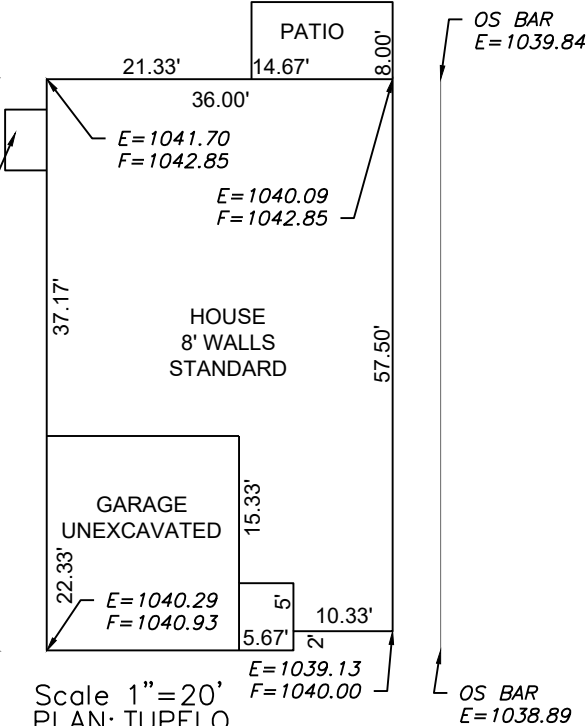
PG VARIES*
VARIES*R

PG VARIES*
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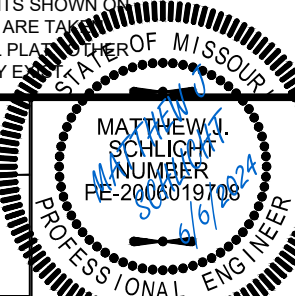


LOT INFORMATION

6,600 SQ. FT.
REAR LEFT MBOE = 1043.08
REAR RIGHT MBOE = 1040.45
MSFE = 1031.69
ADDRESS
2126 SW RUTHERFORD DR
LEGAL DESCRIPTION
LOT 73, OSAGE SECOND PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.



ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM



AS-GRADED PLOT PLAN - LOT 73

OSAGE SECOND PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CLOVER & HIVE
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 72, 73, OSAGE	6/14/22	1	1