

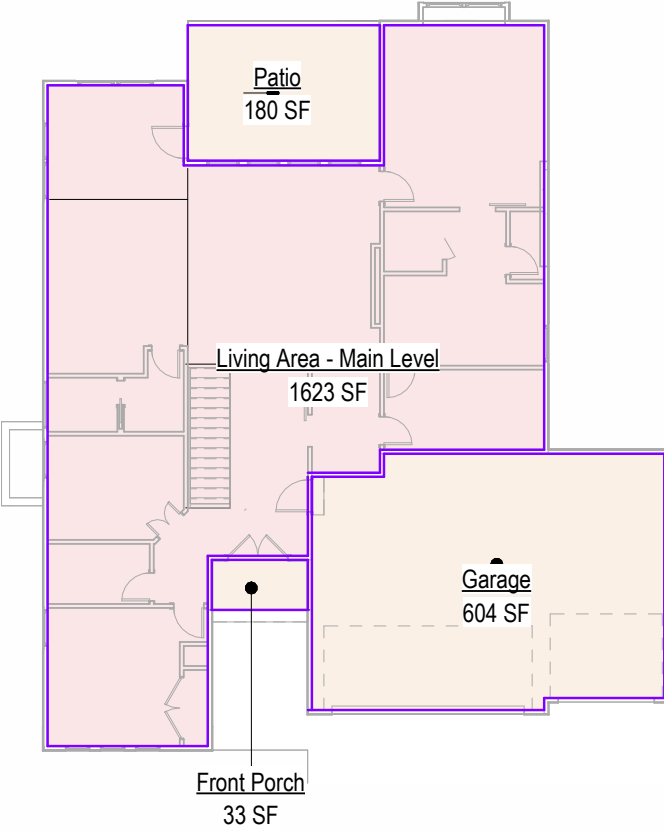
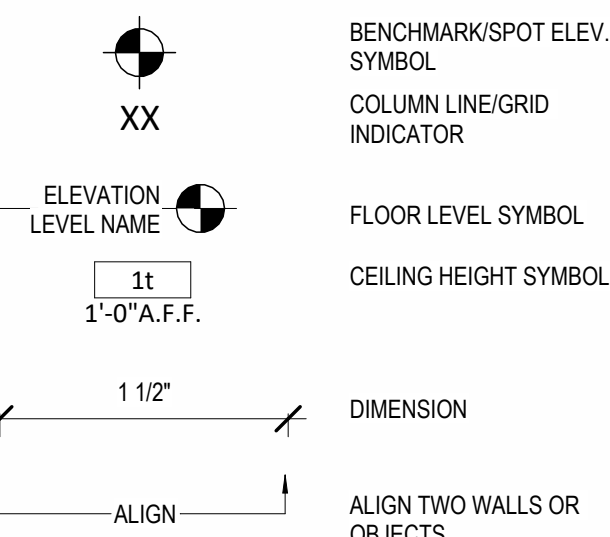
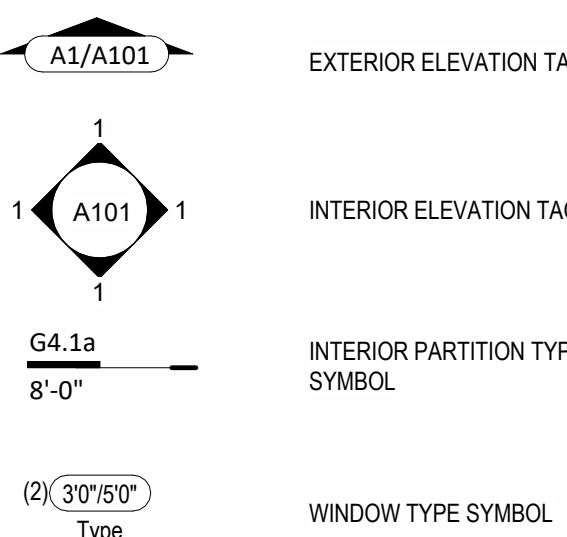
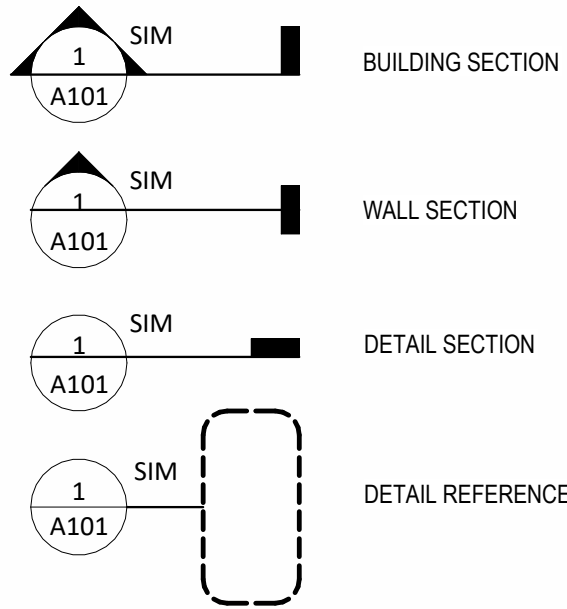
# SOMERSET

Address :Lot 128 Hook Farms, 2502 SW Tracker Ln, Lee's Summit, MO.

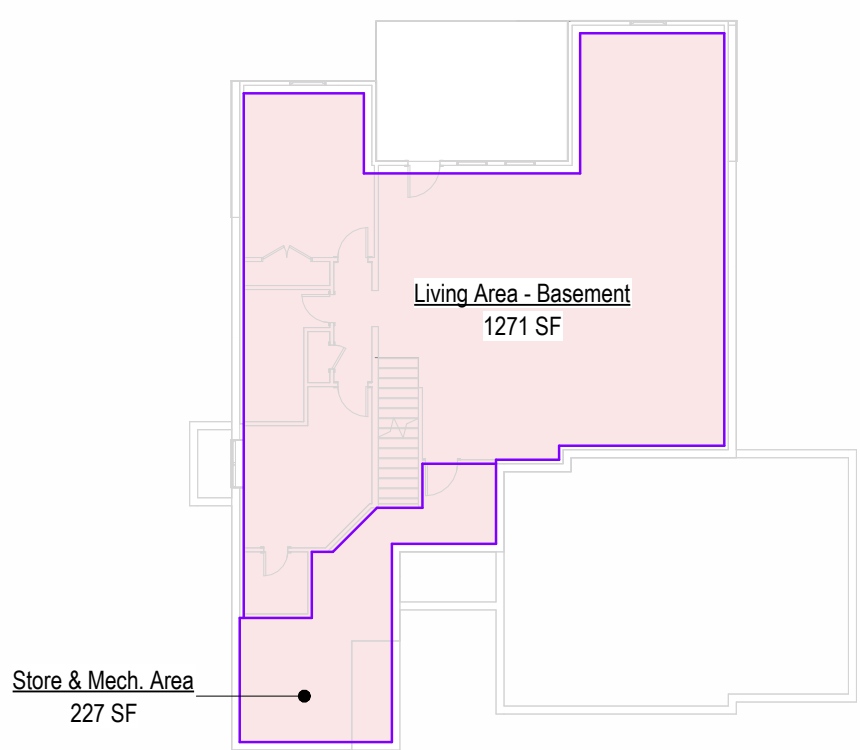


1 Front View

Areas	
Front Porch	33 SF
Patio	180 SF
Garage	604 SF
Exterior Area	818 SF
Living Area - Basement	1271 SF
Living Area - Main Level	1623 SF
Total Finished Area	2894 SF
Store & Mech. Area	227 SF
Total Unfinished Area	227 SF



5 Main Level Area Plan  
1/16" = 1'-0"



4 Basement Area Plan  
1/16" = 1'-0"

NOTES:  
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS  
2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.  
3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS  
4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

**PARTITION SYSTEM:**  
GYPSUM WALL BOARD PARTITION

**G**

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G6
BASE PARTITION THICKNESS	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANTS	No	No
INTERIOR LOAD BEARING WALL	No	No
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	No	No
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #4

NOTES:  
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

**PARTITION SYSTEM:**  
GYPSUM FURING PARTITION

**F**

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

NOTES:  
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

**PARTITION SYSTEM:**  
Exterior Partition

**E**

PARTITION IDENTIFICATION PLAN SYMBOL	E4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	Yes
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	Yes
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

## General Information



- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode ("UFER Ground") connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- DASMA 115 MPH Rated Garage doors
- Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
- Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
- Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

2018 IRC BUILDING CODE COMPLIANCE  
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL

2018 HT. EXERTY CONSERVATION CODE (2018-CH 11) DOORS, & WINDOWS:	
SKYLIGHTS:	U-0.35 MAX (HEAT GAIN MAX 0.25)
ATTIC CEILINGS:	U-0.55 MAX
WOOD FRAME WALLS:	R-49 MIN.
FLOOR (OVER UNHEATED):	20 OR 13 + 5 MIN.
SLAB ON GRADE:	R-19 MIN
VAULTED CEILINGS:	R-10 FOR 24" IN
CRAWL SPACE:	R-38 (SEE DETAIL)
BASEMENT WALLS:	R-10
DUCTWORK:	R-10 CONT OR R-13 CAVITY
FUEL FIRED FURNACE:	R-8
ELECTRIC FURNACE:	90% AFUE MIN.
COOLING SYSTEM:	NO MINIMUM
WATER HEATER:	13 SEER MIN.
GAS FIRED STORAGE:	0.67 EF MIN
GAS FIRED INSTANT:	0.62 EF MIN
ELECTRIC STORAGE:	0.97 EF MIN
ELECTRIC INSTANT:	0.93 EF MIN

AN ENERGY EFFICIENT CERTIFICATE IS REQUIRED TO BE POSTED IN OR ON THE ELECTRICAL PANEL BEFORE FINAL INSPECTION. THE CERTIFICATE WILL BE PROVIDED WITH ALL NEW RESIDENTIAL PERMITS. IT IS THE PERMIT HOLDER/CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CERTIFICATE HAS ACCURATE INFORMATION & IS POSTED BEFORE FINAL INSPECTION. OWNER/CONTRACTOR IS RESPONSIBLE FOR MEETING THE PRESCRIPTIVE REQUIREMENTS OF IRC CHAPTER 11 UNLESS A HERS INDEX ANALYSIS FOR PERFORMANCE COMPLIANCE BASED ON THE PLANS IS SUBMITTED TO THE AHJ FOR APPROVAL.

RELEASE FOR CONSTRUCTION  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
05/30/2024

Original Issue Date:		24/03/27
REVISIONS		
Number	Description	Date



MAY 13, 2024

Sheet List	
00	Cover
A101	Foundation Plan
A102	Floor Plan - Basemenn Level
A103	Floor Plan - Main Level
A104	Floor Plan - Roof Plan
A201	Elevations
A202	Elevations

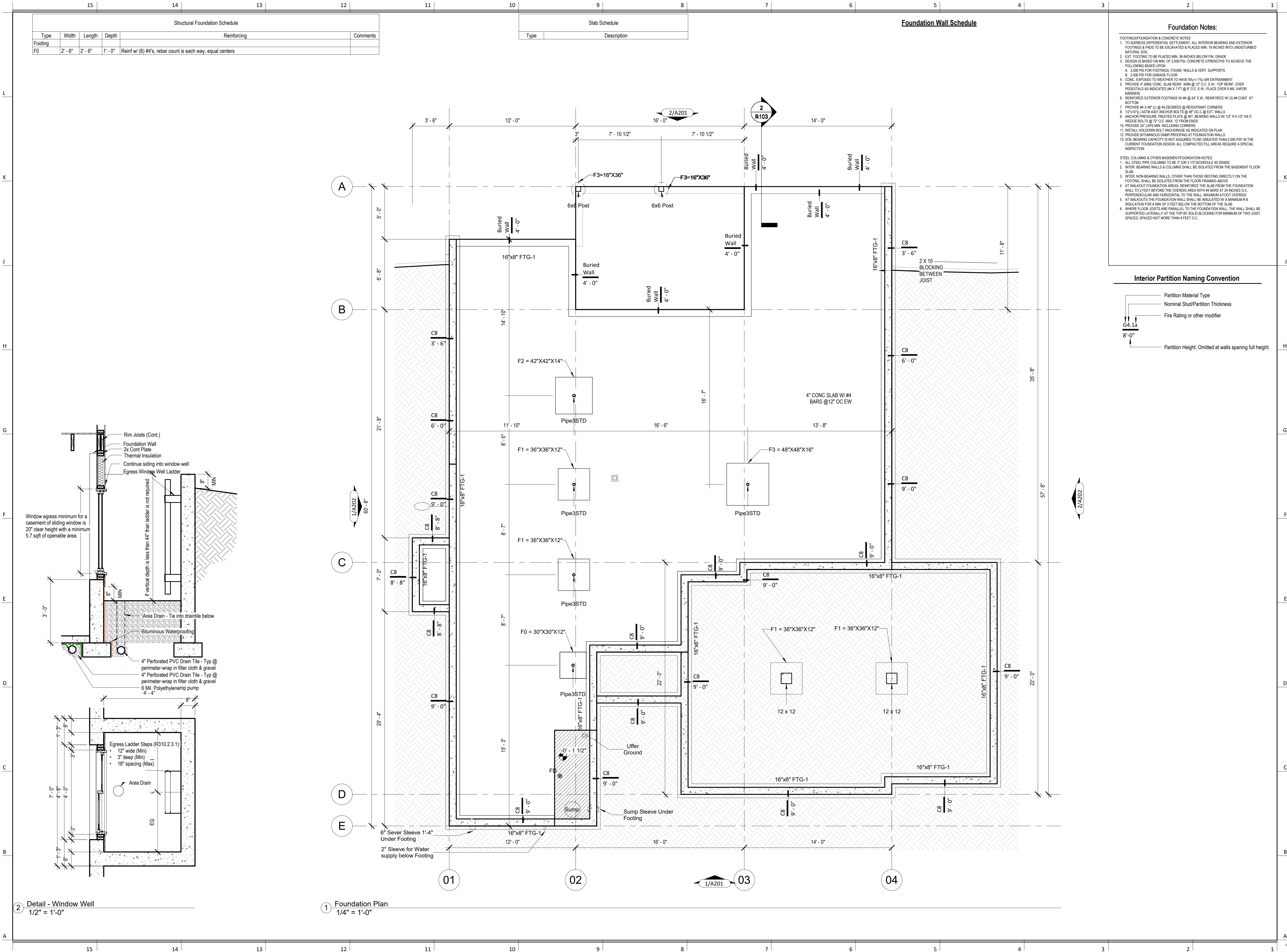
PLAN DESCRIPTION: Cover

00

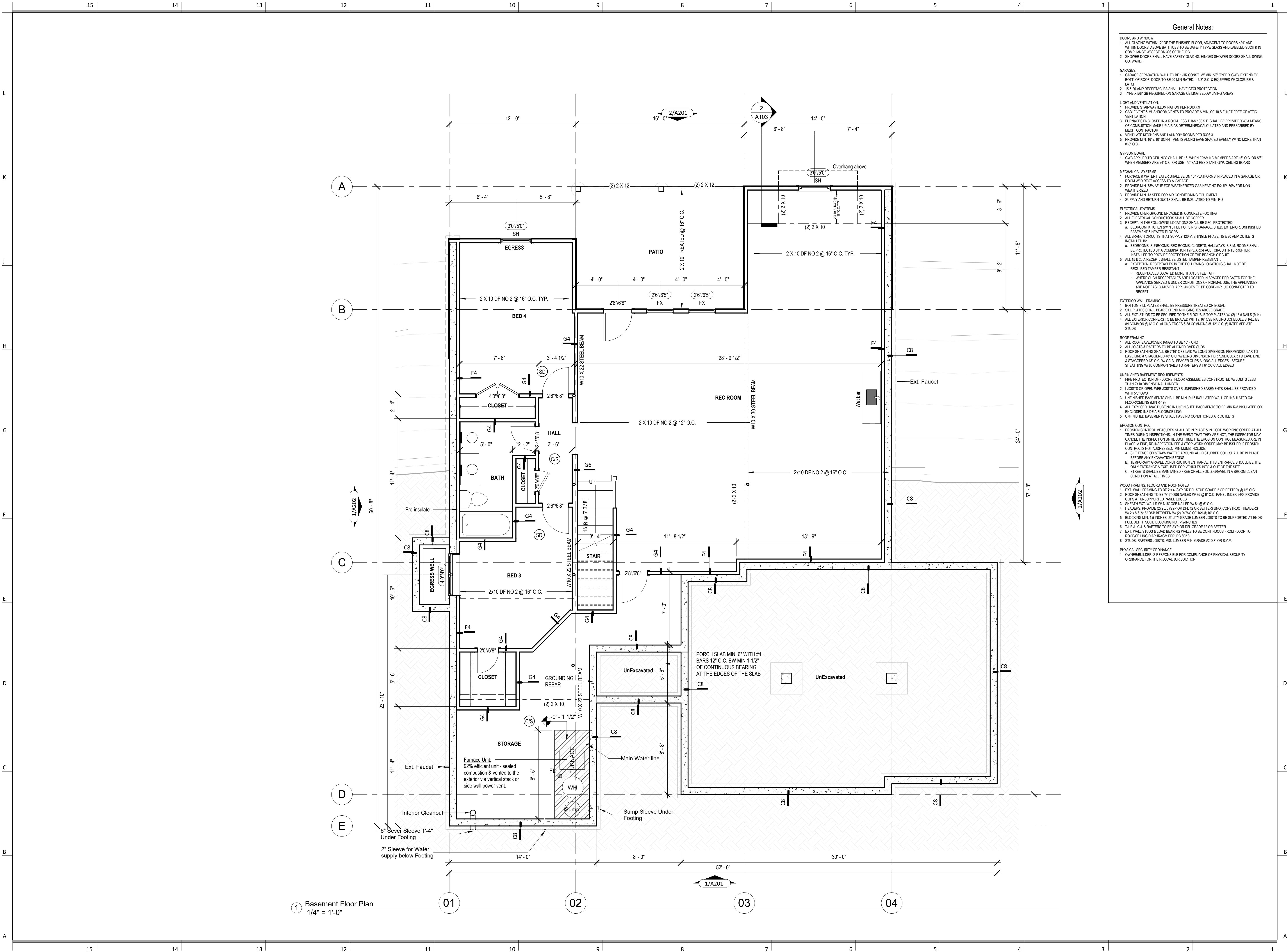
Project No.

SOMERSET  
Address :Lot 128 Hook Farms, 2502 SW Tracker Ln, Lee's Summit, MO.









architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT

DRAWING TITLE  
Floor Plan - Basemenn Level

DATE ISSUED

NORTH

DRAWING NUMBER

A102



### General Notes:

- DOORS AND WINDOW
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 20" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 306 OF THE IRC.
  - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 30" TYPE X GWB, EXTENDS TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH.
  - 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
  - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.2.
  - CABLE VENT & MASHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
  - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
  - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
  - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 6" O.C.
- GYPSONUM BOARD:
- GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN CEILING IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
  - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
  - PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT.
  - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS
- PROVIDE UNDERGROUND ENCASED IN CONCRETE FOOTING.
  - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
  - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
    - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
    - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
      - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULT CIRCUIT INTERRUPTER.
  - ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
  - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
    - RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.
    - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
  - SILL PLATES SHALL BE EXTENDED MIN. 6-INCHES ABOVE GRADE.
  - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-4 NAILS (MIN).
  - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE 6" COMMON @ 6" O.C. ALONG EDGES & 8" COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING
- ALL ROOF EAVESOVERHANGS TO BE 16" UNDO.
  - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
  - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 6" COMMON NAILS TO RAFTERS AT 7" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
  - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
  - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOORCEILING (MIN R-19).
  - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
  - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, NO INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
    - SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
    - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
    - STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES:
- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
  - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED HANG EDGES.
  - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
  - HEADERS: PROVIDE 2 x 4 (SYP OR DFL #2 OR BETTER) UNDO. CONSTRUCT HEADERS W/ 2 x 3 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
  - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES.
  - I.F.I. C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER.
  - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 602.3.
  - STUDS, RAFTERS, JOISTS, MS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com



MAY 13, 2024

### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

### PROJECT

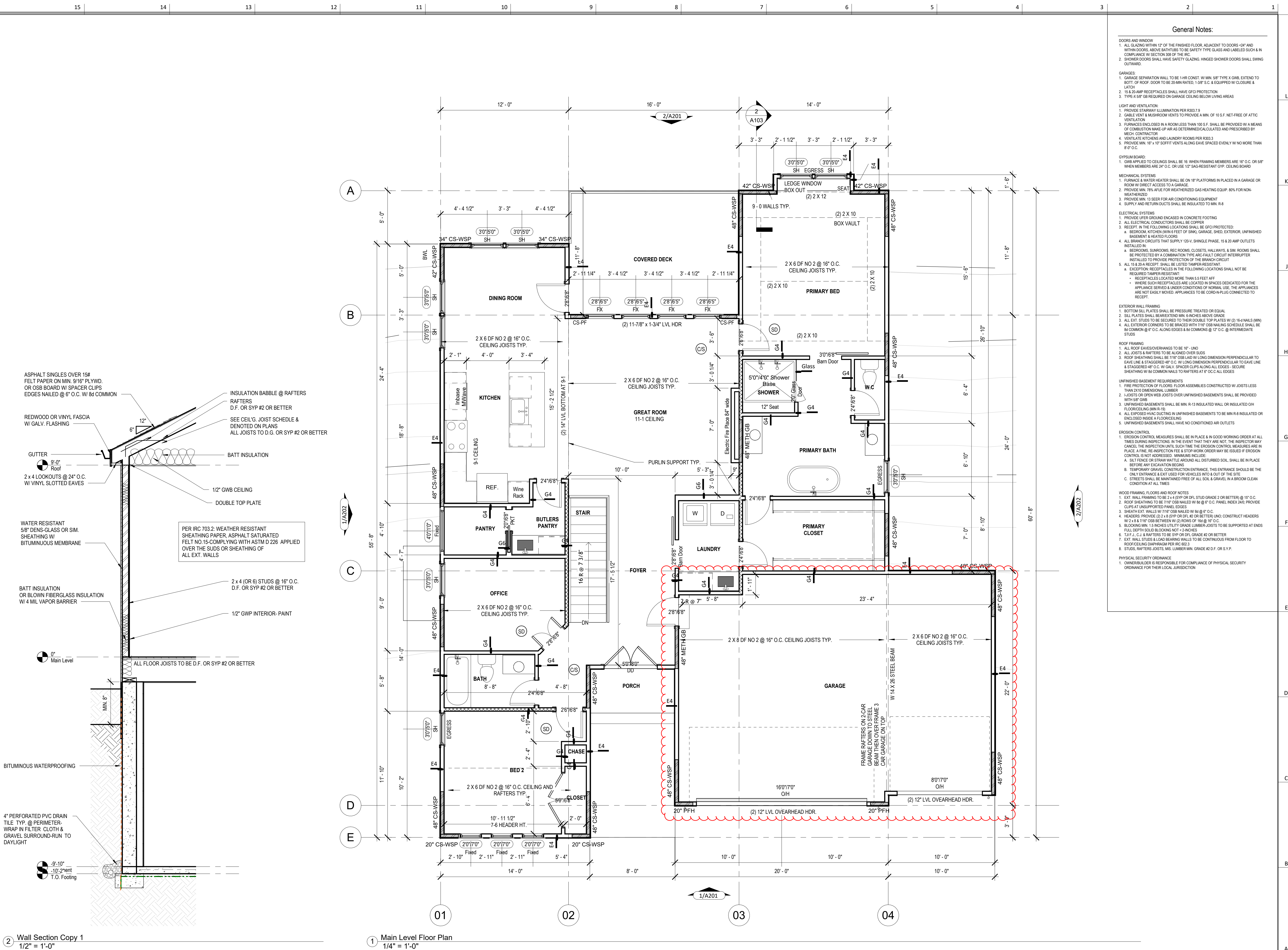
DRAWING TITLE  
Floor Plan - Main Level

DATE ISSUED

NORTH

DRAWING NUMBER

A103



2 Wall Section Copy 1  
1/2" = 1'-0"

1 Main Level Floor Plan  
1/4" = 1'-0"



UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Number	DESCRIPTION	DATE
--------	-------------	------

# A104

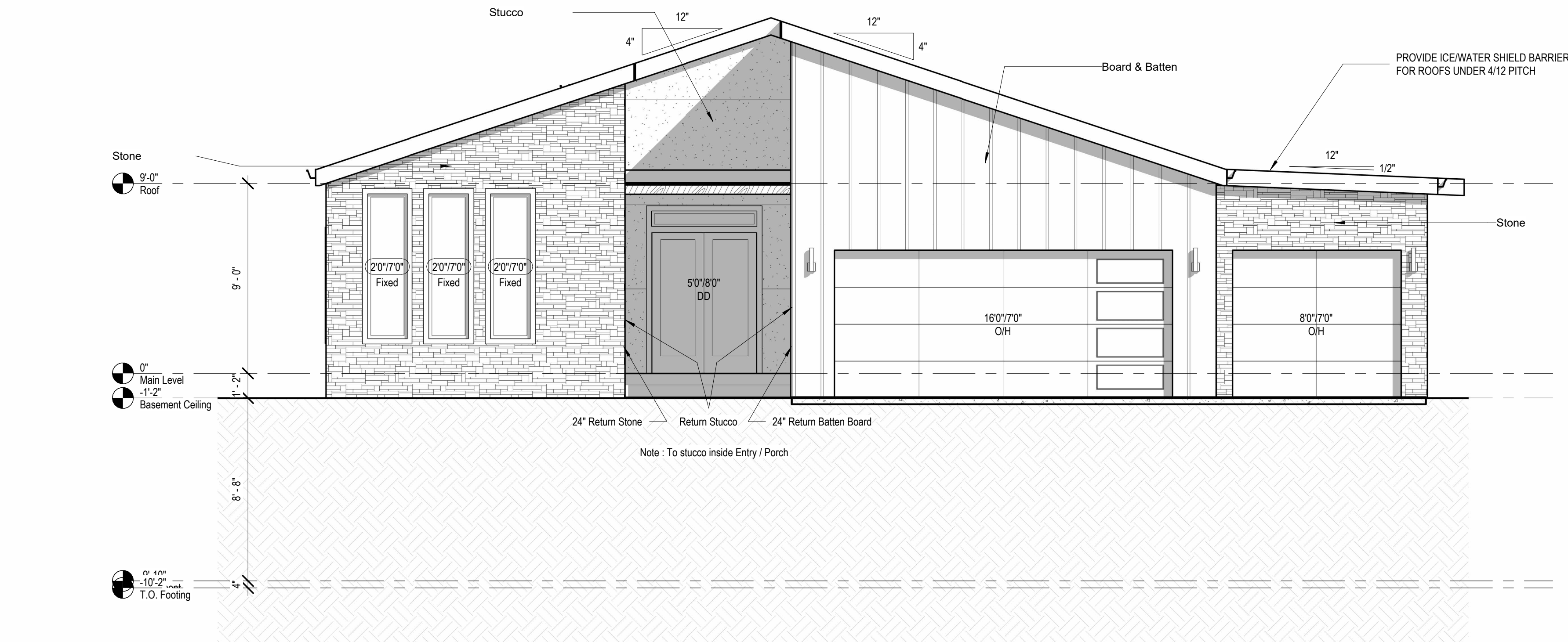
05/30/2024

1. OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

1 Roof Plan  
1/4" = 1'-0"



# SOMERSET



① Front Elevation  
1/4" = 1'-0"



② Rear Elevation  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT  
Lot 128 Hook Farms, 2502 SW  
Tracker Ln, Lee's Summit, MO.

DRAWING TITLE  
Elevations

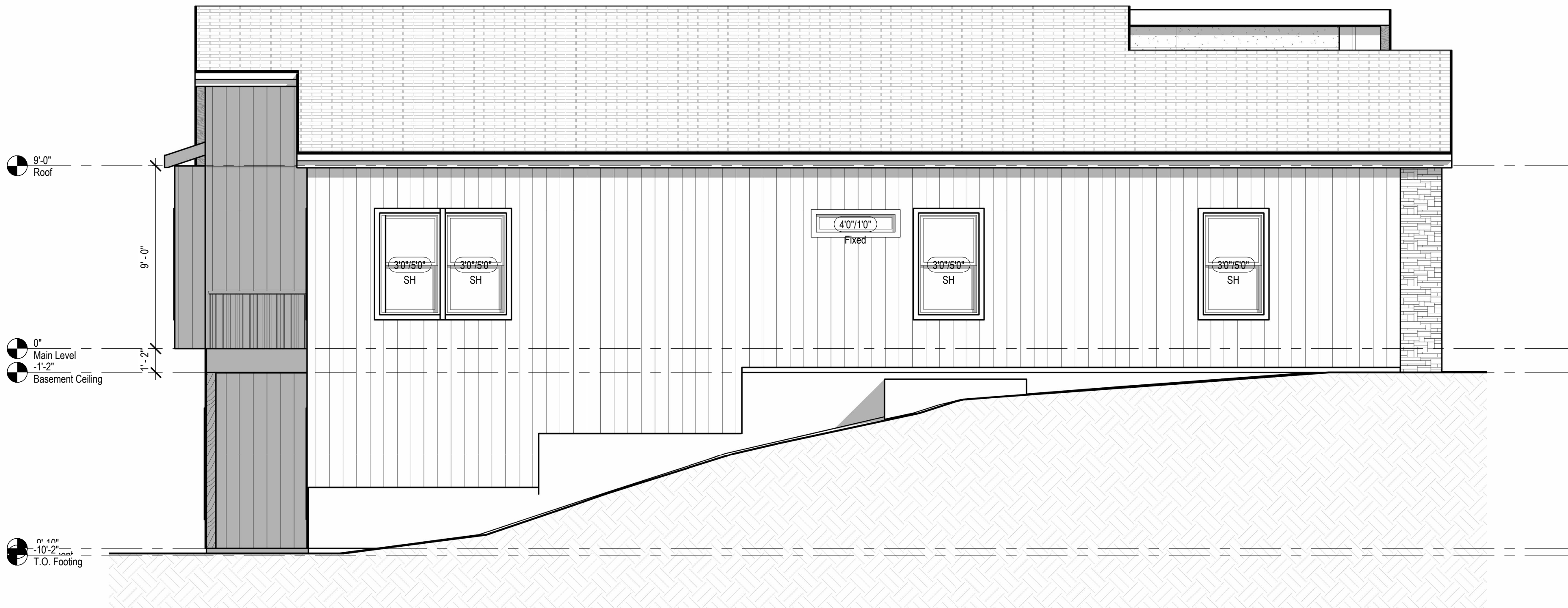
DATE ISSUED

DRAWING NUMBER

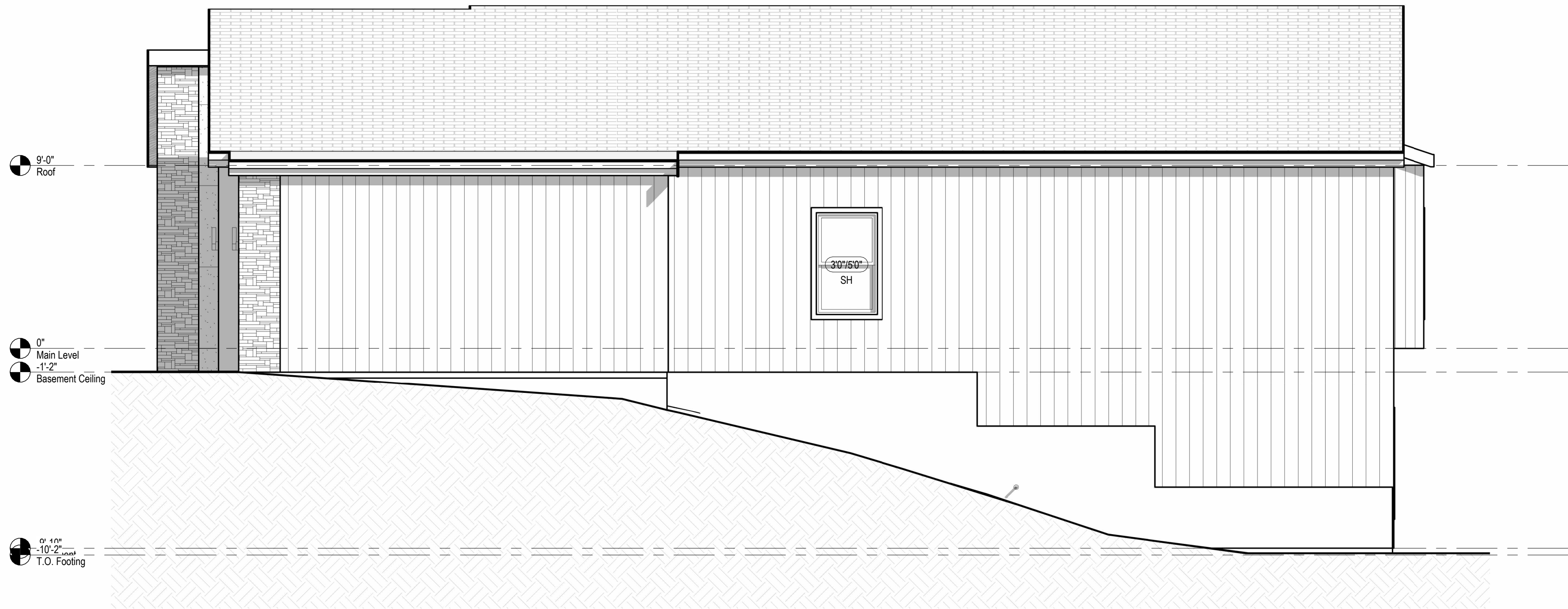
# A201



SOMERSET



① Right Elevation  
1/4" = 1'-0"



② Left Elevation  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

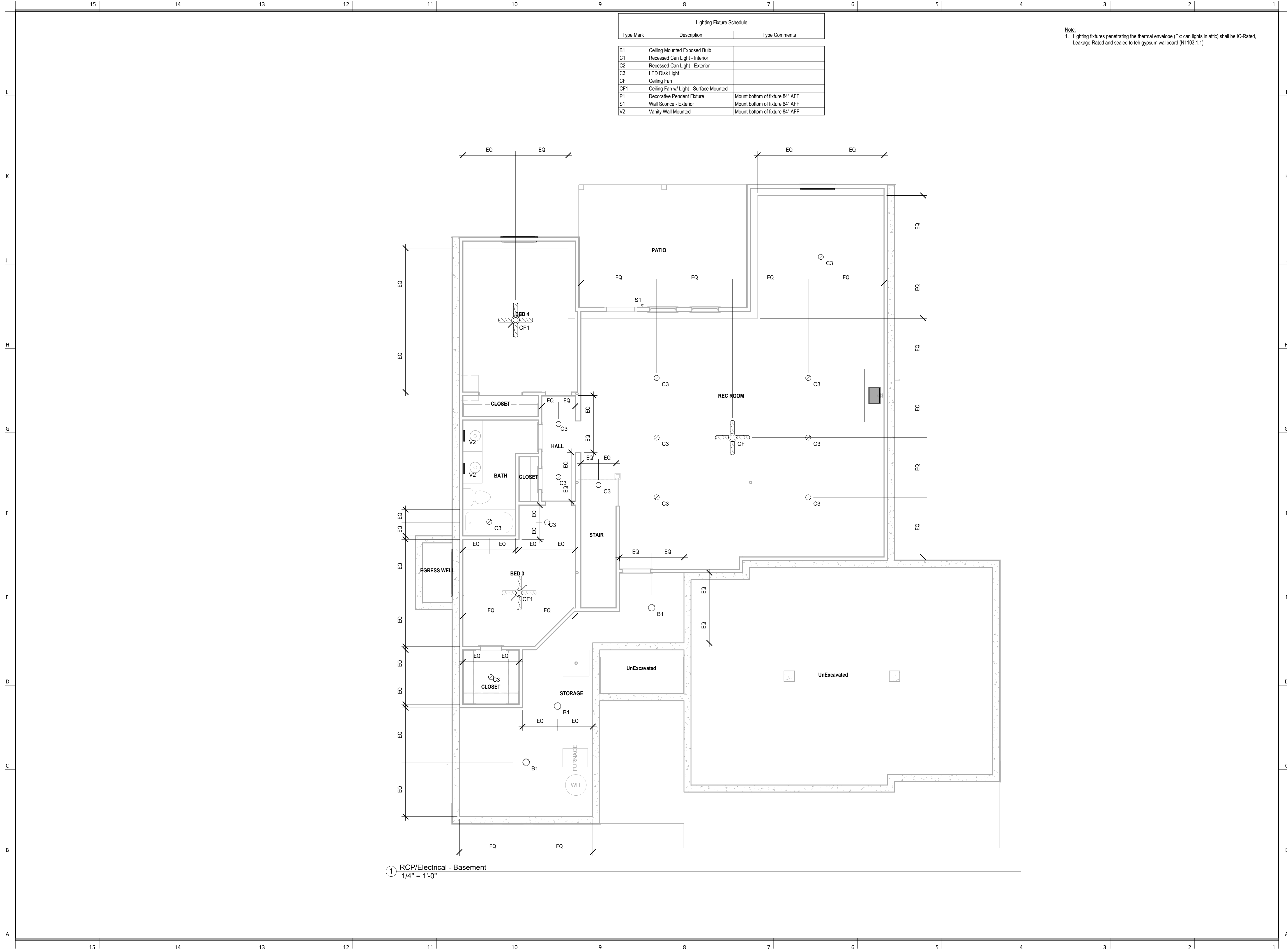
DRAWING TITLE  
Elevations

DATE ISSUED

DRAWING NUMBER

A202





Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF	Ceiling Fan	
CF1	Ceiling Fan w/ Light - Surface Mounted	
P1	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	Mount bottom of fixture 84" AFF
V2	Vanity Wall Mounted	Mount bottom of fixture 84" AFF

Note:  
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)



SOMERSET

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

DRAWING TITLE

RCP/Electrical Plan

DATE ISSUED

NORTH



DRAWING NUMBER

A301

RELEASER FOR CONSTRUCTION  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
05/30/2024



Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF	Ceiling Fan	
CF1	Ceiling Fan w/ Light - Surface Mounted	
P1	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	Mount bottom of fixture 84" AFF
V2	Vanity Wall Mounted	Mount bottom of fixture 84" AFF

Note:  
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)



SOMERSET

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT

DRAWING TITLE  
RCP/Electrical Main Level Plan

DATE ISSUED

NORTH



DRAWING NUMBER

A302

RELEASER FOR CONSTRUCTION  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
05/30/2024



architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



MAY 13, 2024

REVISIONS

Number DESCRIPTION DATE

PROJECT  
Lot : 72 Adams Point Village  
Address : 2709 NE Wheatley Drive,  
MO.  
DRAWING TITLE  
Details

DATE ISSUED

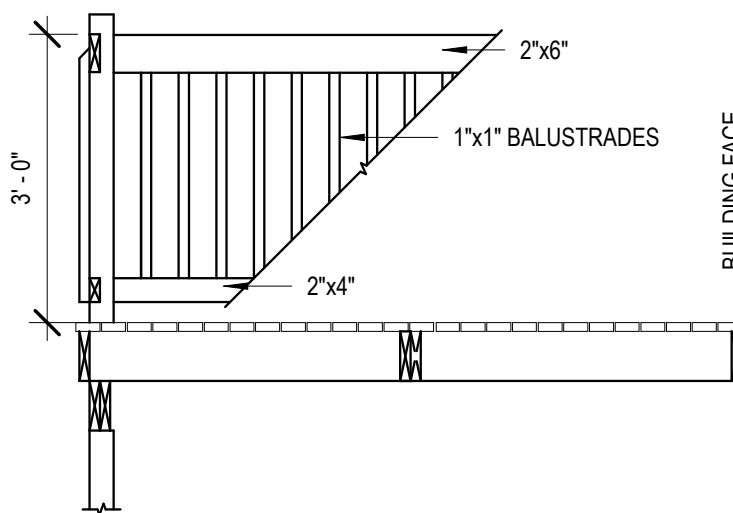
DRAWING NUMBER

A501

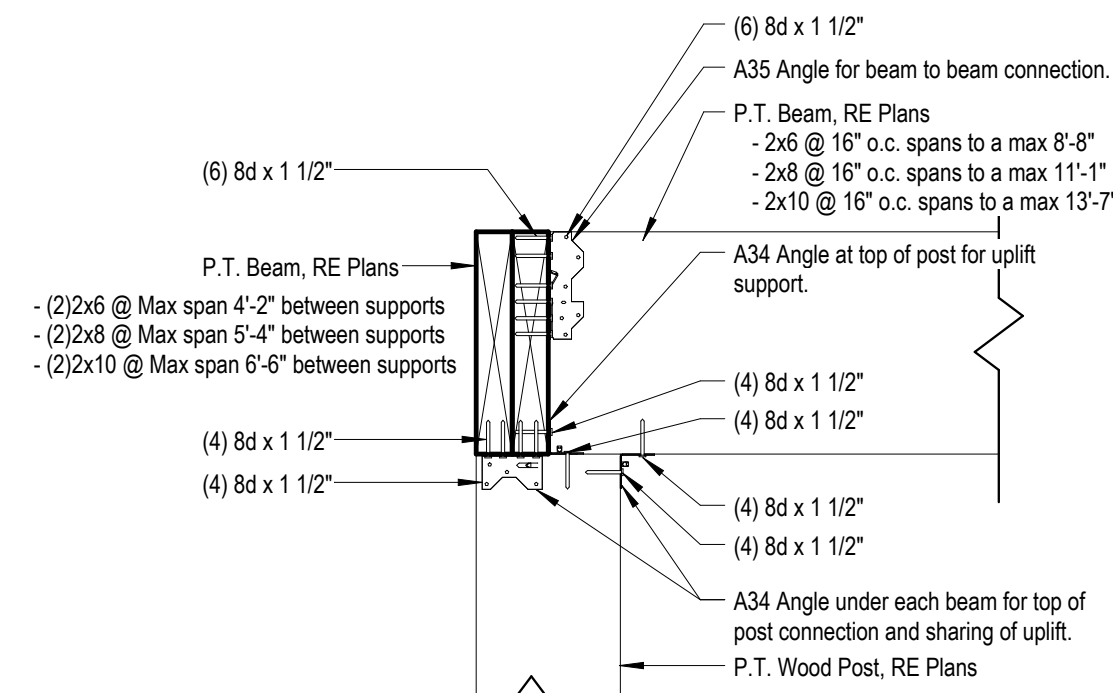
05/30/2024

FURR OUT SCHEDULE			
RAFTER SIZE	R-30C INSULATION ("x" = 9 1/4")	R-38C INSULATION ("x" = 11 1/4")	
2x6	2x6	2x6	
2x8	2x4	2x6	
2x10	NOT REQUIRED	2x4	
2x12	NOT REQUIRED	NOT REQUIRED	

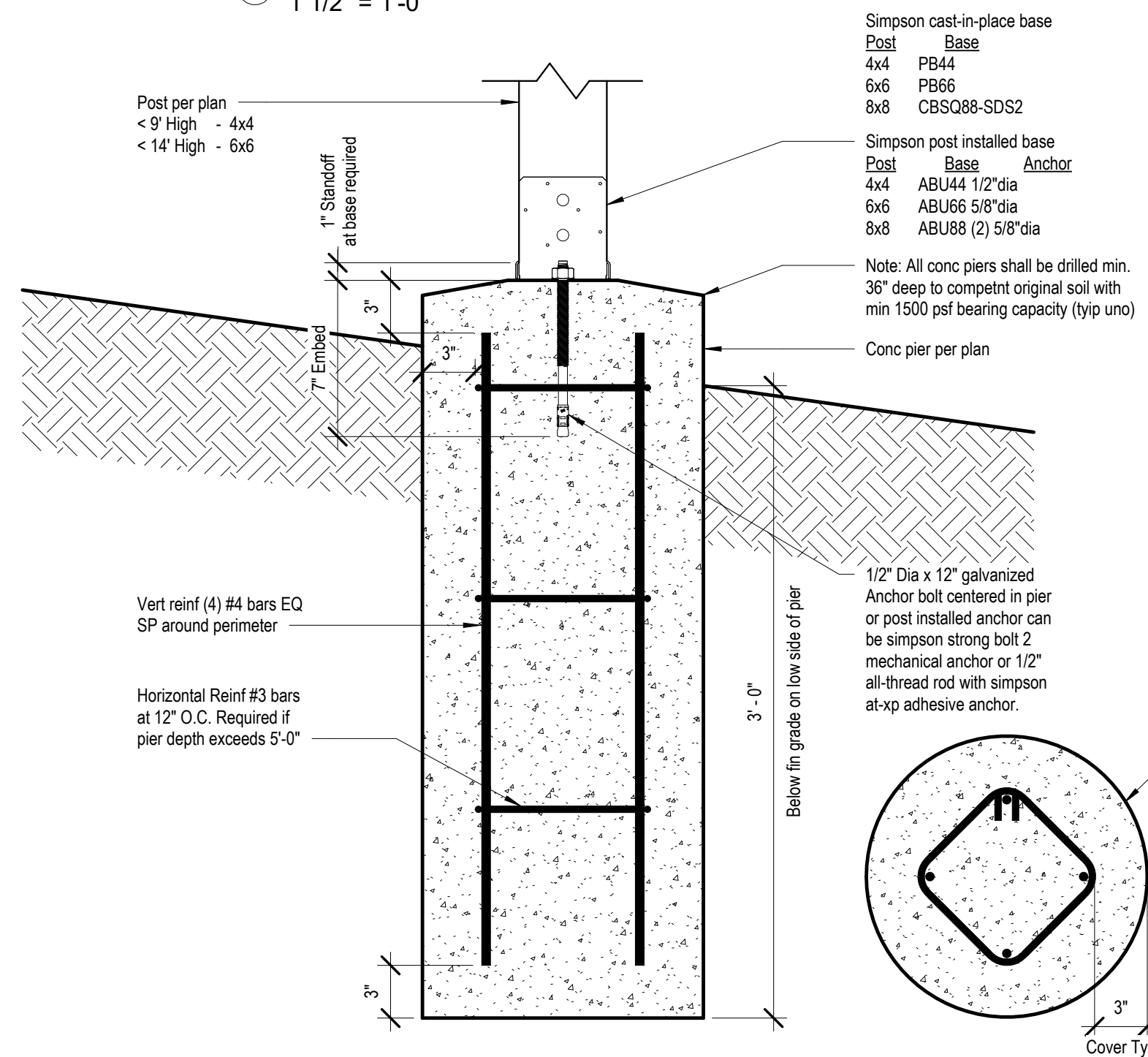
13 Rafter Furr Down Requirements  
1" = 1'-0"



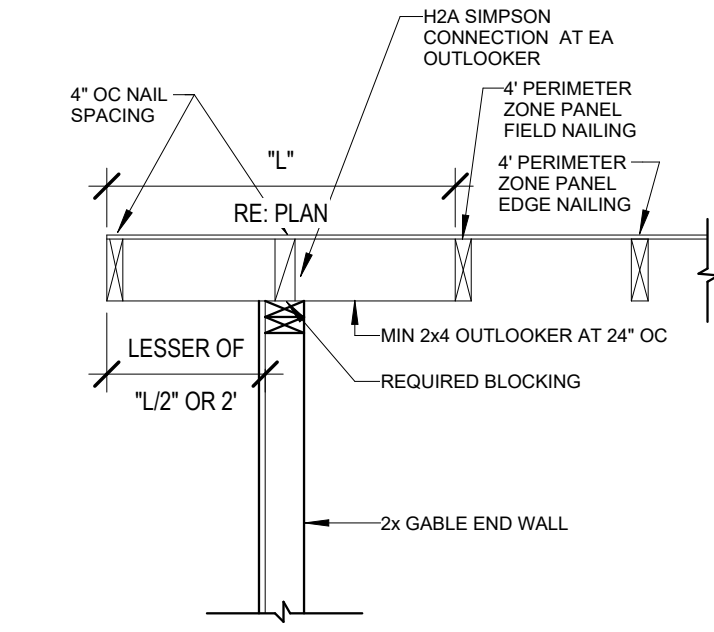
11 Deck Railing  
1/2" = 1'-0"



5 Post to Beam Connection  
1 1/2" = 1'-0"

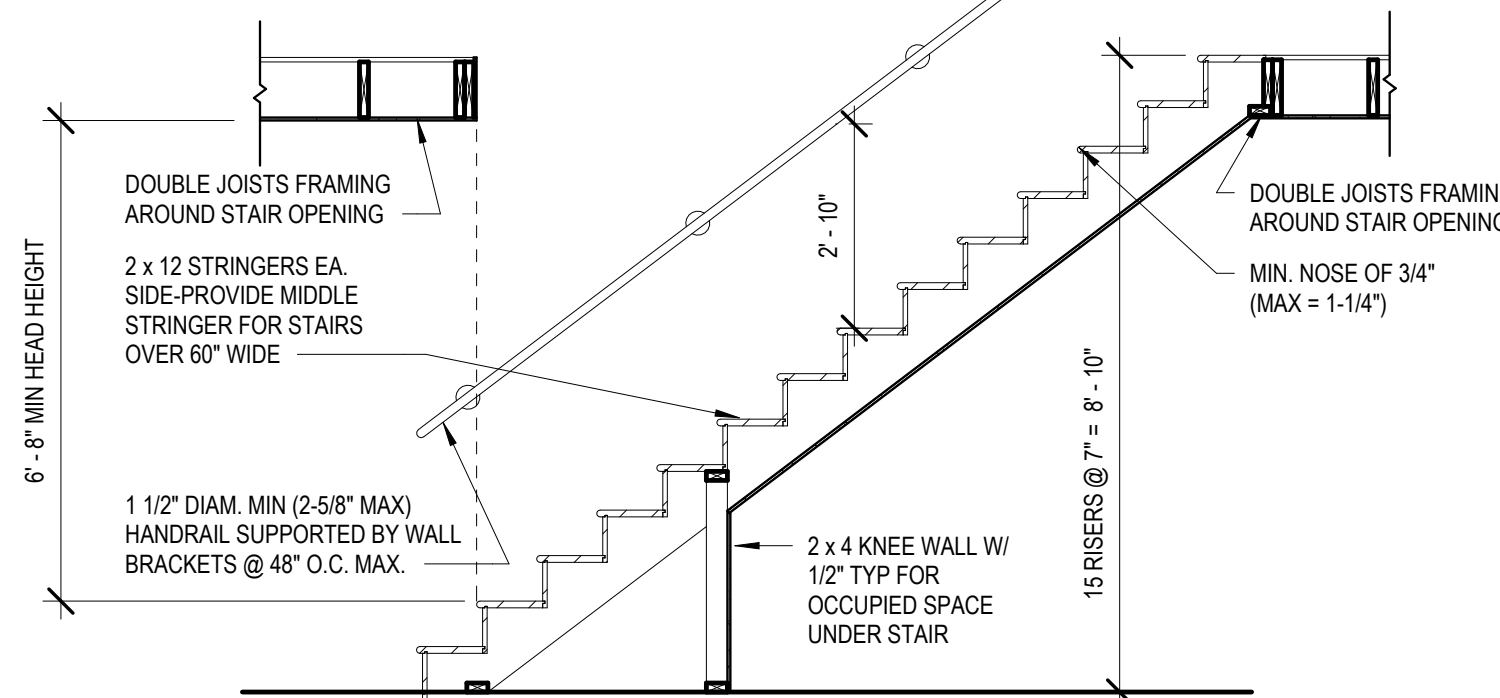


6 Typ Details for Post/Pier  
1 1/2" = 1'-0"

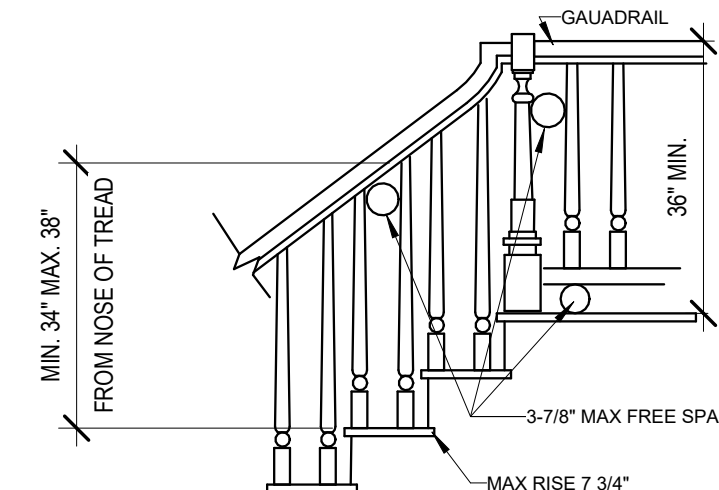


12 Gable Framing Requirements  
1" = 1'-0"

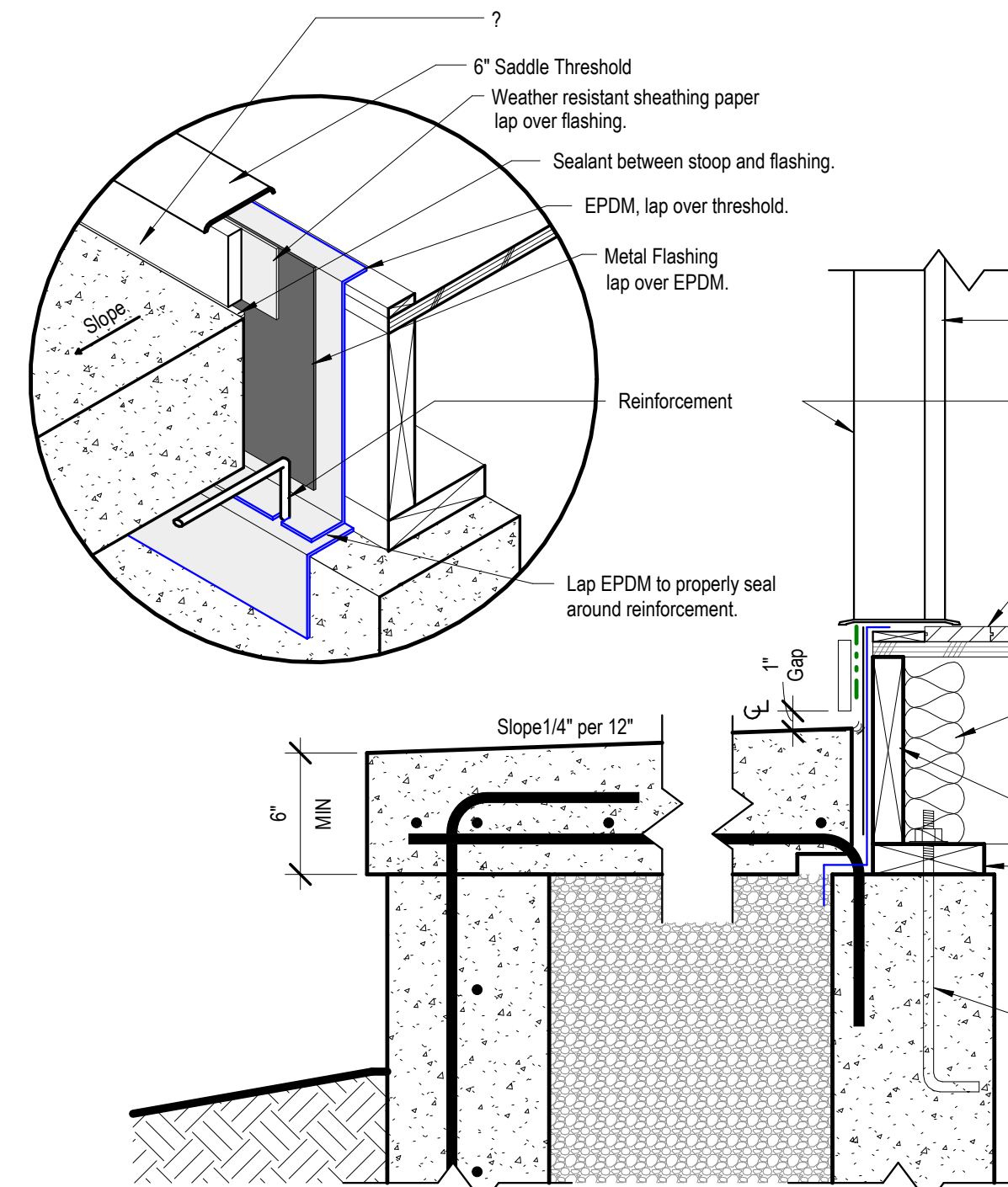
PER IRC: THE MAX. RISE ALLOWED IS 7.75 INCHES AND  
THE MIN TEAD IS 10 INCHES MEASURED NOSE TO NOSE



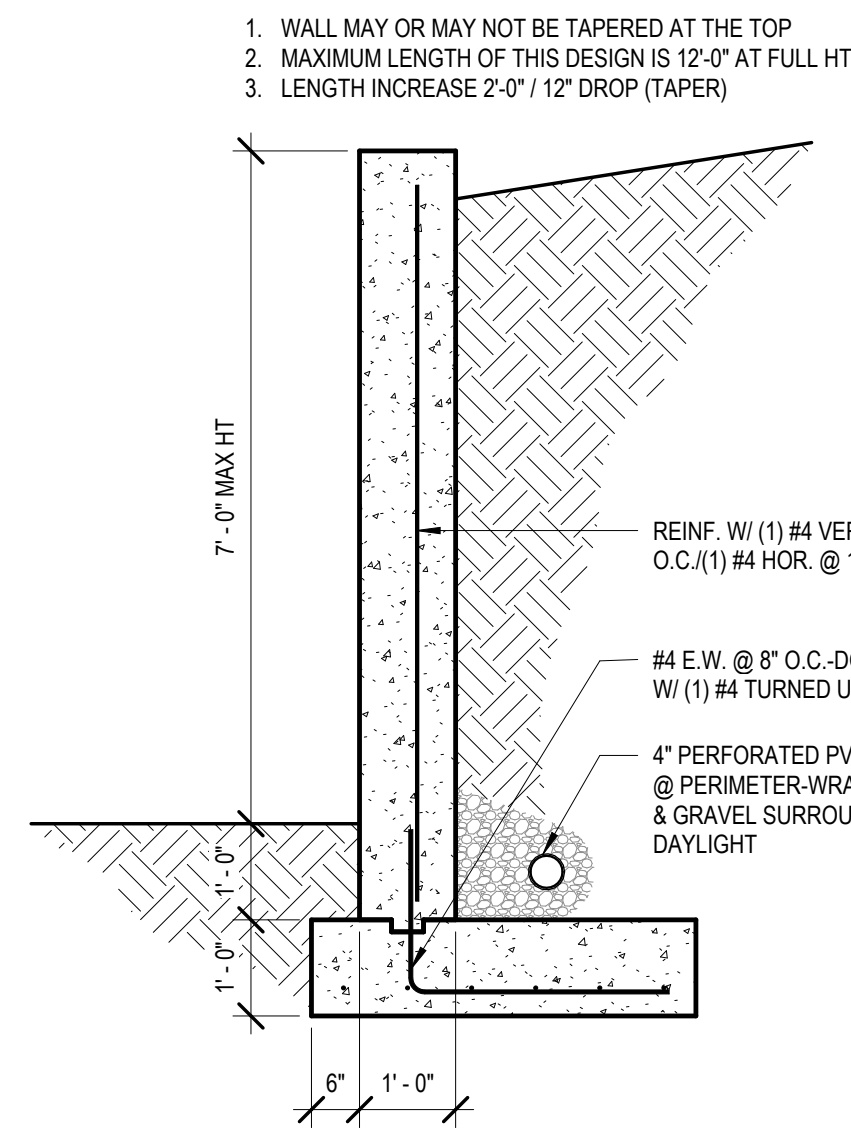
1 TYP STAIR SECTION/REQUIREMENTS  
3/8" = 1'-0"



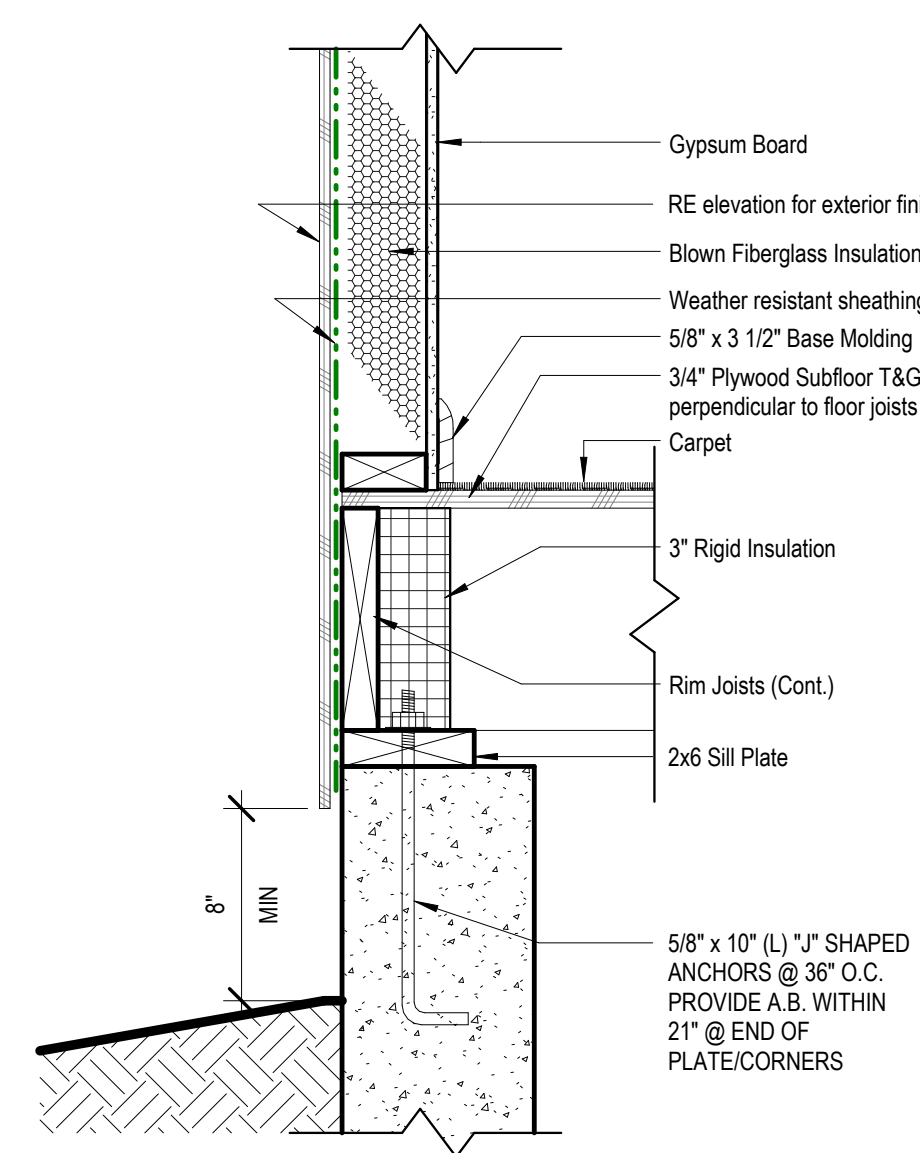
2 SMARTSIDE PANEL NAILING PATTERN  
3" = 1'-0"



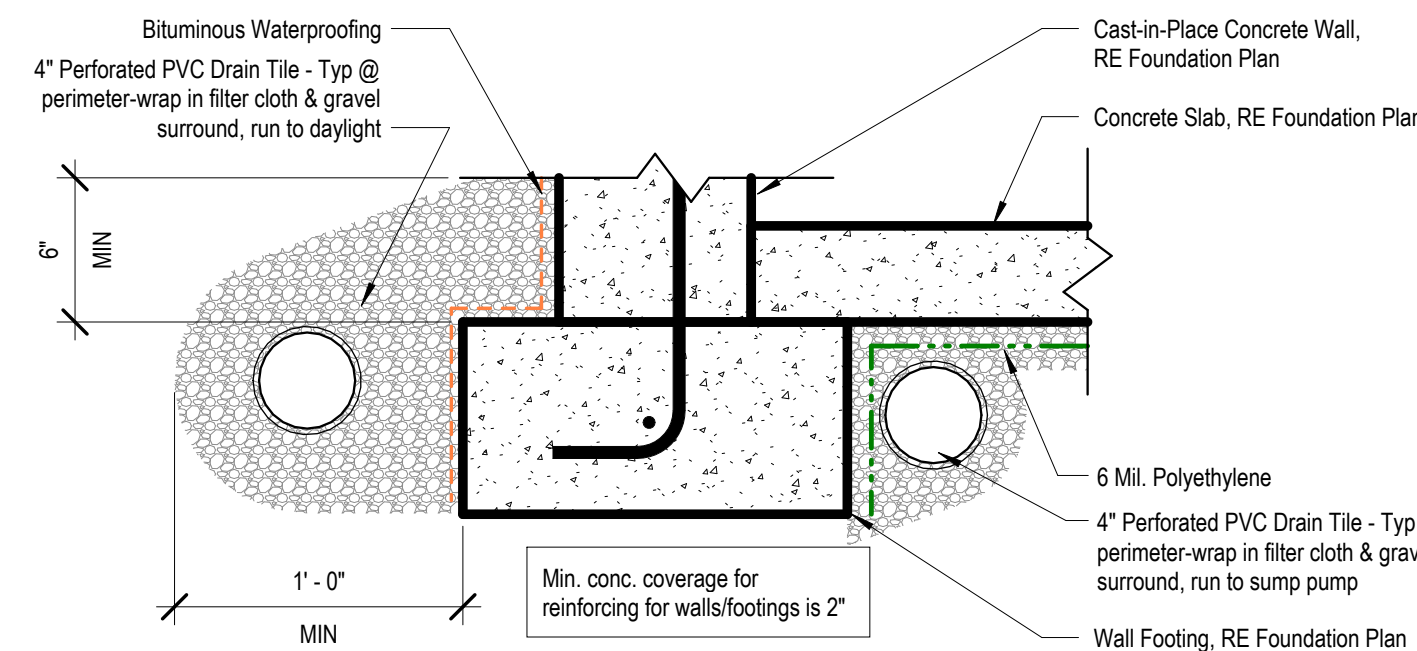
9 Detail - Front Stoop  
1 1/2" = 1'-0"



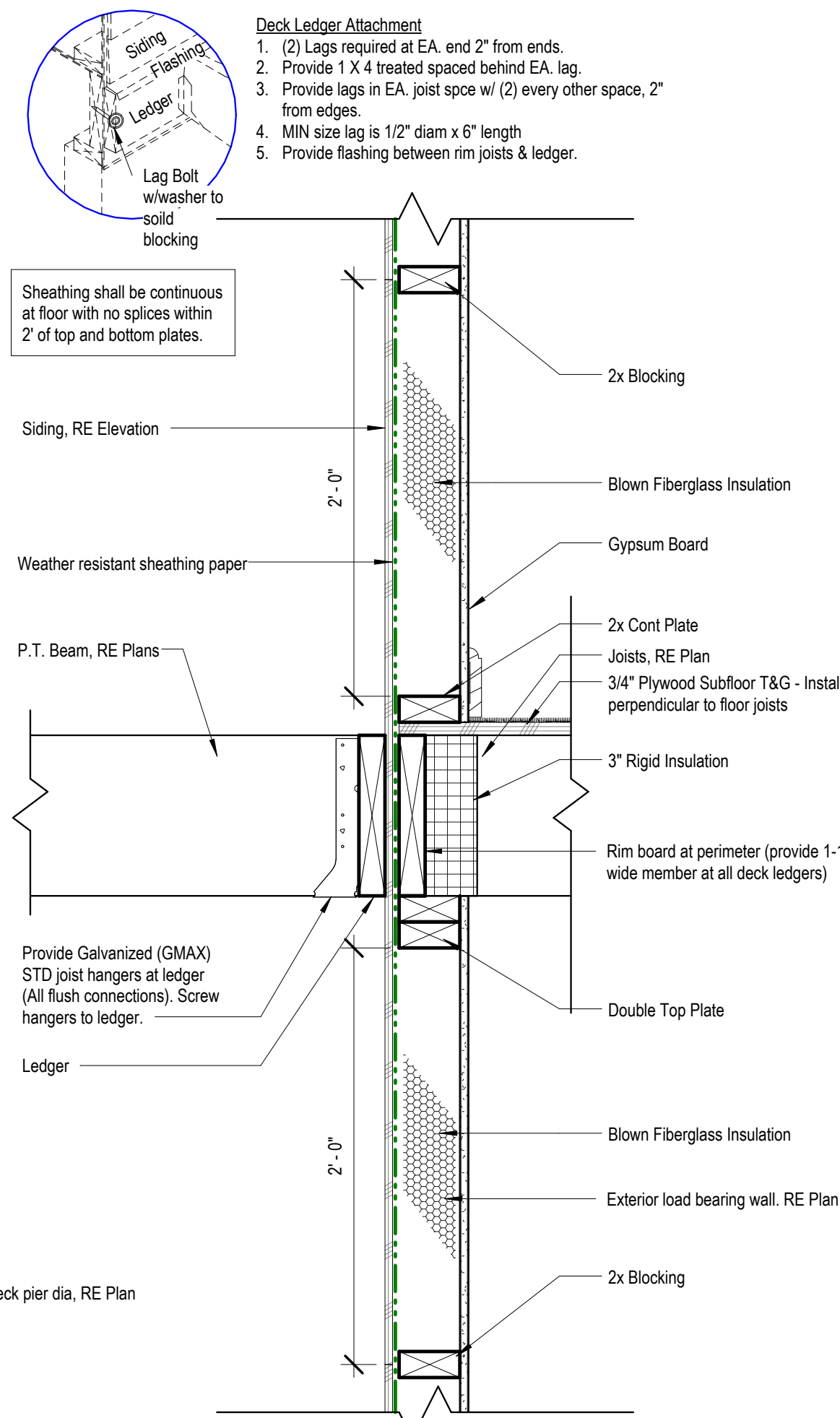
3 RETAINING WALL DESIGN  
1/2" = 1'-0"



4 Detail - Top of Foundation Wall  
1 1/2" = 1'-0"

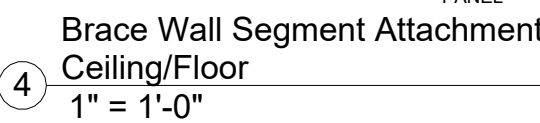


8 Detail - Footing  
1 1/2" = 1'-0"



7 Lateral Deck Connection  
1 1/2" = 1'-0"







### BEAM POCKET DETAIL

Age (years)	Percentage
18	10
20	15
25	25
30	40
35	55
40	70
45	80
50	85
55	85
60	85
65	85

22. COMPLIANCE WITH THE REQUIREMENT AND SHOW CONNECTION AS NEEDED FOR ROOF BEAM, TRUSS, RAFTER AND GIRDER CONNECTION FOR UPLIFT PER IRC 802.11. ALL RAFTERS MUST BE IN COMPLIANCE WITH IRC 502.11 AMENDED RAYMORE CODE

CEILING JOISTS AND RAFTER CONNECTIONS  
CEILING JOISTS AND RAFTERS SHALL BE TIED TO ONE ANOTHER PER TABLES R602.3(1) AND R802.5.1(9) AND THE ASSEMBLY SHALL BE NAILED TO THE TOP PLATE PER R602.3(1).  
CEILING JOIST NOT PARALLEL TO RAFTERS USE SUBFLOORING OR METAL STRAPS ATTACHED TO END OF THE RAFTERS TO PROVIDE A CONT. TIE ACROSS THE STRUCTURE

TIE DOWN REQUIREMENTS (R802.11)  
FOR RAFTER SPANS OVER 20'-0" INTERPOLATING TABLE 802.11 PROVIDE  
RATER TIE-DOWNS CAPABLE OF RESISTING OVER 226 POUNDS AT EACH RAFTER  
PER TABLE R802.5.1(2) THE MAX RAFTER SPAN FOR D.F.L. 2 x 6 RAFTERS  
#2 GRADE = 14'-1" AND IS THE BASIS OF DESIGN FOR PURLIN PLACEMENT

**RAFTER TIES:**

1. REQUIRED AT ALL RAFTERS
2. MIN. OF 2 x 4 AND SPACED NO GREATER THAN 48" O.C.

WHERE NO COLLAR TIES CAN BE  
PROVIDE AT EA. RAFTER A SIMPSON  
LRU28Z HANGER OR EQUIVALENT T  
W/ (6) 10D NAILS TO RIDGE & (5)  
TO EACH RAFTER

**PURLINS:**

1. PURLINS NO SMALLER THAN THE RAFTERS THEY SUPPORT
2. PURLINS TO BE CONTINUOUS
3. BRACES SPACED NO MORE THAN 4'-0" O.C.
4. UNBRACED LENGTH OF BRACES SHALL NOT > 8'-0"

JOISTS PERP. TO RAFTERS

TYP. ROOF/RAFTER FRAMING

N.T.S.

MAY 13, 2024

## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT  
Lot : 72 Adams Point Village  
Address : 2709 NE Wheatley Drive  
MO.

DRAWING TITLE

## Details

DATE ISSUED

DRAWING NUMBER

# A503

01-Waterbury, CT  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
05/30/2024