



ISSUE DATE:	5/24/2024
PERMIT	5/24/2024
REVISIONS:	
JOB NO:	
DRAWN BY:	JUH
DESIGNED BY:	CH6

VAN DERZEN & ASSOCIATES, P.A.

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VAN DERZEN and Associates, P.A.

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GENERAL PIER FOUNDATION NOTES:

- ALL PIERS SHALL BE 24"Ø DRILLED PIER EXTENDED MIN 3'-0" INTO HARD CLAY or 18"Ø DRILLED PIER TO BEAR ON LIMESTONE OR HARD SHALE.
- ALL FOOTINGS ARE TO BE EXTENDED TO MIN 36" BELOW FINISHED GRADE.
- FOR ALL CONC WALL OPENINGS, FOOTING & WALL STEPS, PROVIDE ONE #4 BAR 48" LONG DIAGONALLY AS CLOSE AS PRACTICAL TO CORNER.
- ALL REINFORCEMENT SHALL BE LAPPED A MIN OF 24" AT ENDS SPLICES AND AROUND CORNERS.
- ANCHOR BOLTS ARE TO BE SPACED @ 36"± WITH 1" MIN EMBED. A BOLT SHALL BE PLACED WITHIN 12" OF THE END OF EACH PLATE SECTION.
- FASTEN JOISTS TO SILL PLATES WITH 3-8d COM NAILS. AT PERPENDICULAR JOIST CONDITION, PROVIDE 2x10 SOLID BLOCKING @ 32"± FOR 3 JOIST SPACES. FASTEN TO SILL PLATE PER NOTE #2.
- VAPOR BARRIER: 6 MIL PE VAPOR RETARDER WITH JOINTS LAPPED A MIN OF 6" BETWEEN SLAB & BASE.
- DAMP PROOFING: ONE COAT (MIN) OF DAMP PROOFING OR EQUIVALENT FOUND MEMBRANE SHALL BE APPLIED TO EXTERIOR WALL SURFACES BELOW GRADE. SEAL TIE HOLES, VOIDS BEFORE APPLICATION.
- FOUNDATION DRAIN: INSTALL CONT 4" PERFORATED PVC DRAIN TILE. DRAIN TILE TO BE EXTENDED TO GRADE OR BE CONNECTED TO MIN 24" DIA. OR 20" SQUARE SUMP PIT WHICH EXTENDS A MIN 24" BELOW BASEMENT FLOOR.
- ALL FRAMING MEMBERS IN CONTACT WITH CONC SHALL BE TREATED LUMBER.
- ALL STEEL FASTENERS (INCLUDING FOUND, ANCHOR BOLTS) ON ACQ TO BE (DOUBLE HOT-DIPPED) GALVANIZED.
- FLOOR SLAB PER ORIGINAL CONTRACT DRAWINGS.
- REFER TO ORIGINAL CONTRACT DRAWINGS FOR WINDOW, WELL, DOORS, AND HOLD DOWN PLACEMENT.

HOUSE PIER COUNT: 40

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
05/28/2024

PIER PLAN
SCALE: 1/4" = 1'-0"

PIER PLAN FOR
2229 NW Killamey Ln
LEE'S SUMMIT, MO
WOODSIDE RIDGE - LOT B4
...

SHEET NO:

PP1

C:\Projects\8083-2406-2229 NW Killamey Ln\Sheets\PP1.dwg Plotted: 5/24/2024



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DRAWN BY: JWH
DESIGNED BY: CHS

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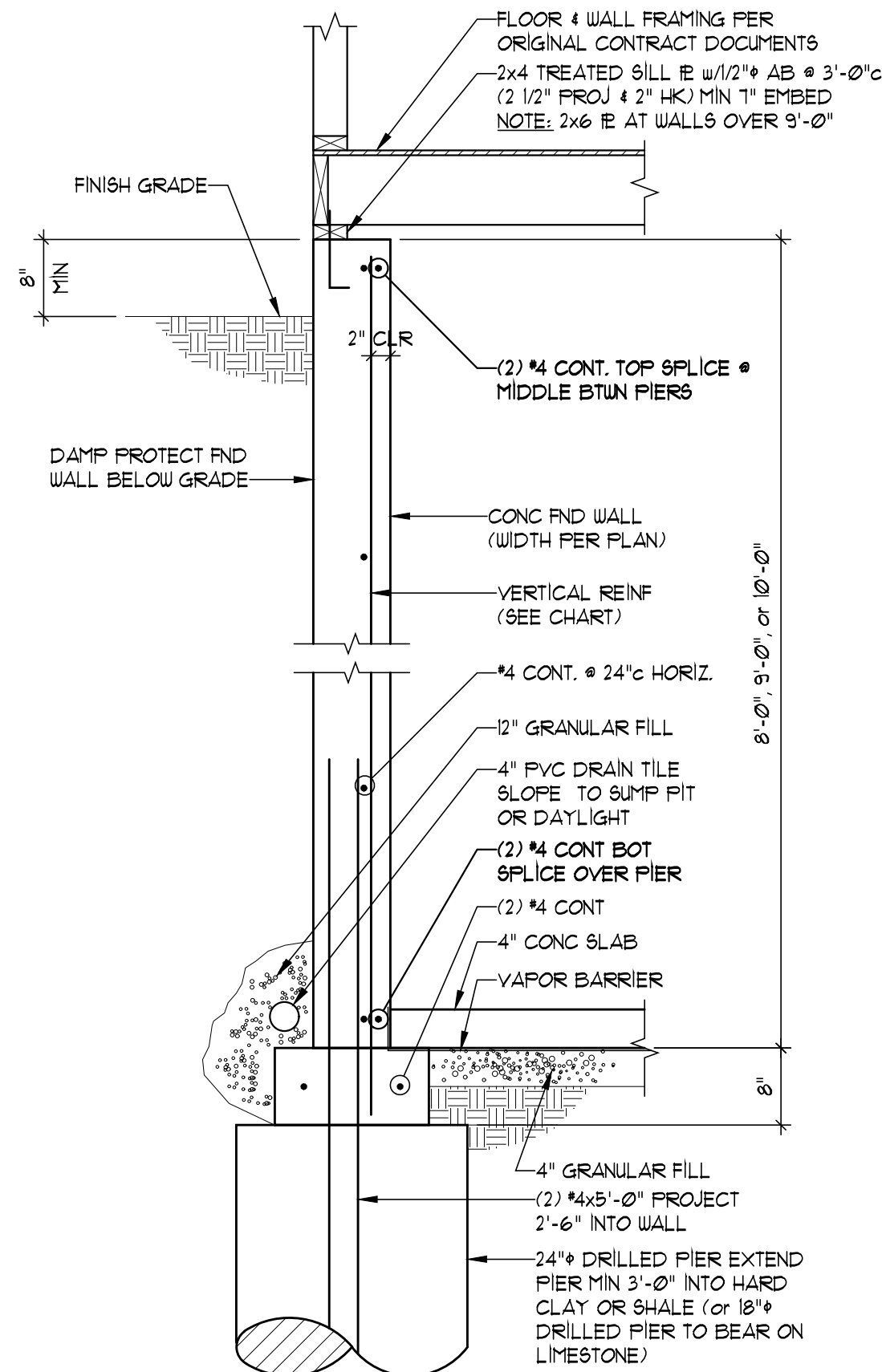
PIER DETAILS FOR
2229 NW Killamey Ln
LEE'S SUMMIT, MO
WOODSIDE RIDGE - LOT B4
...

SHEET NO:

PP2

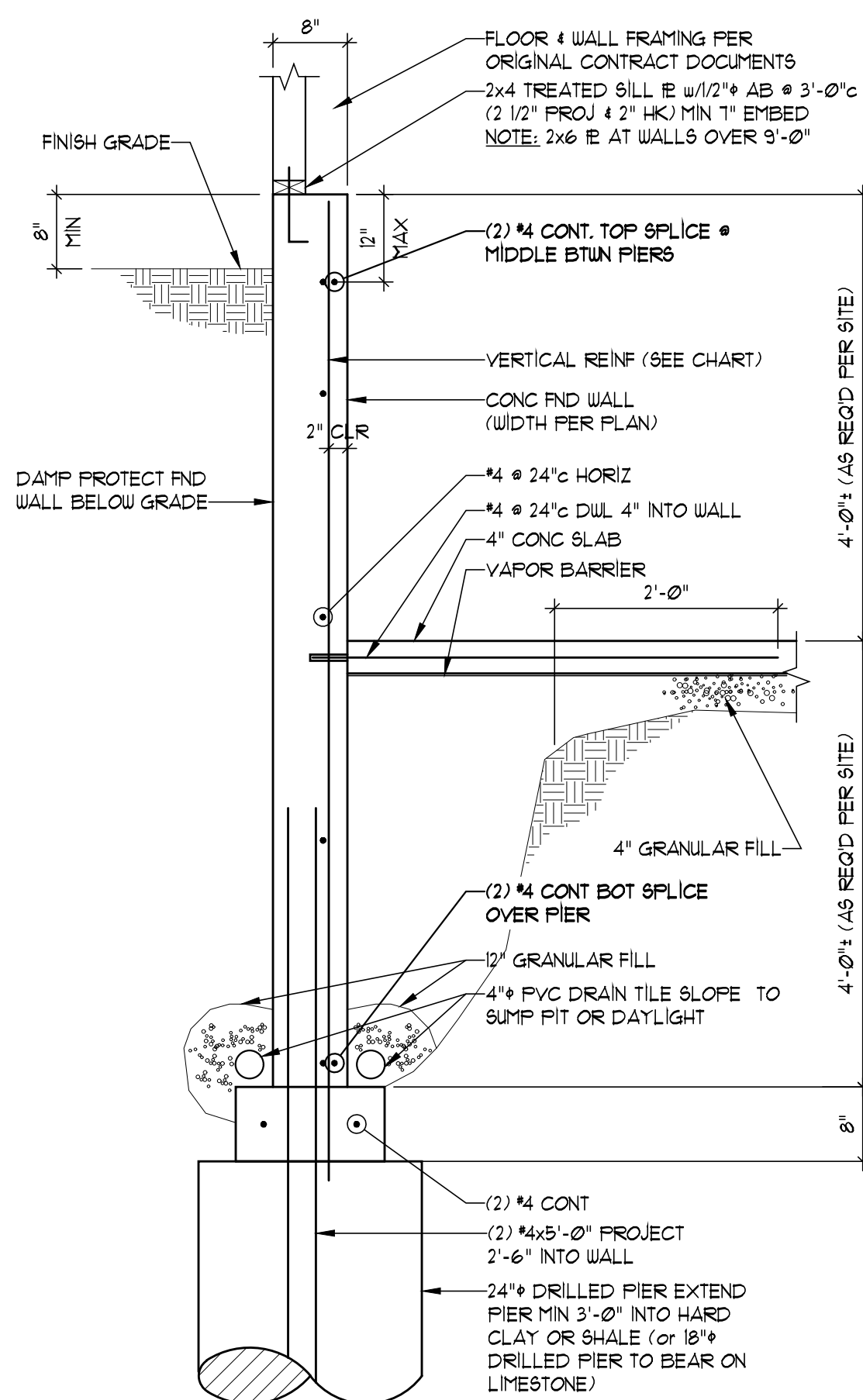
RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
05/28/2024

VERTICAL REINF (#4 BARS - GRADE 40)					
WALL HGT	8'	9'	8'	9'	10'
REINF SPACING	16"	12"	24"	16"	12"

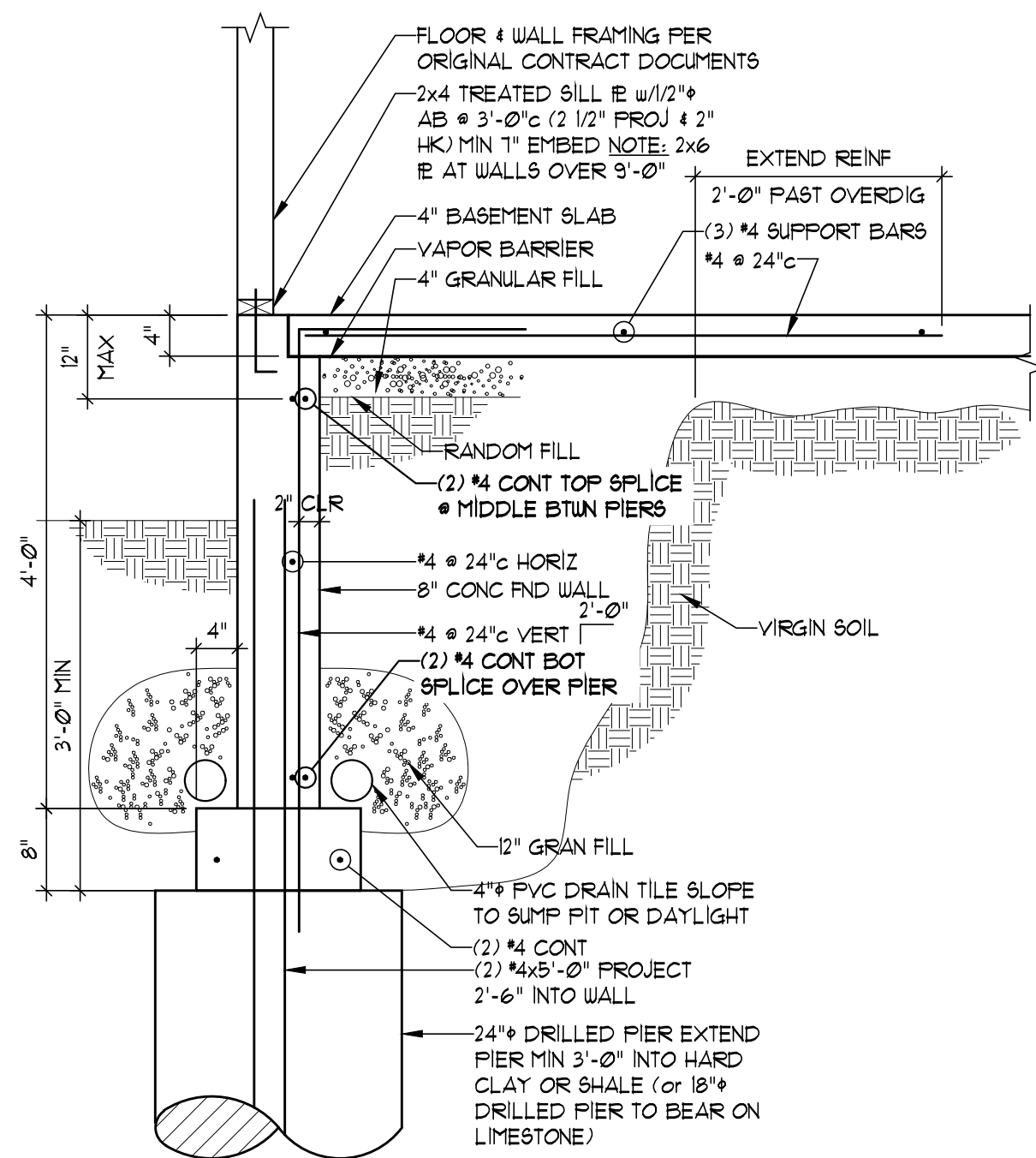


SECTION 1
SCALE: 3/4" = 1'-0" PP2

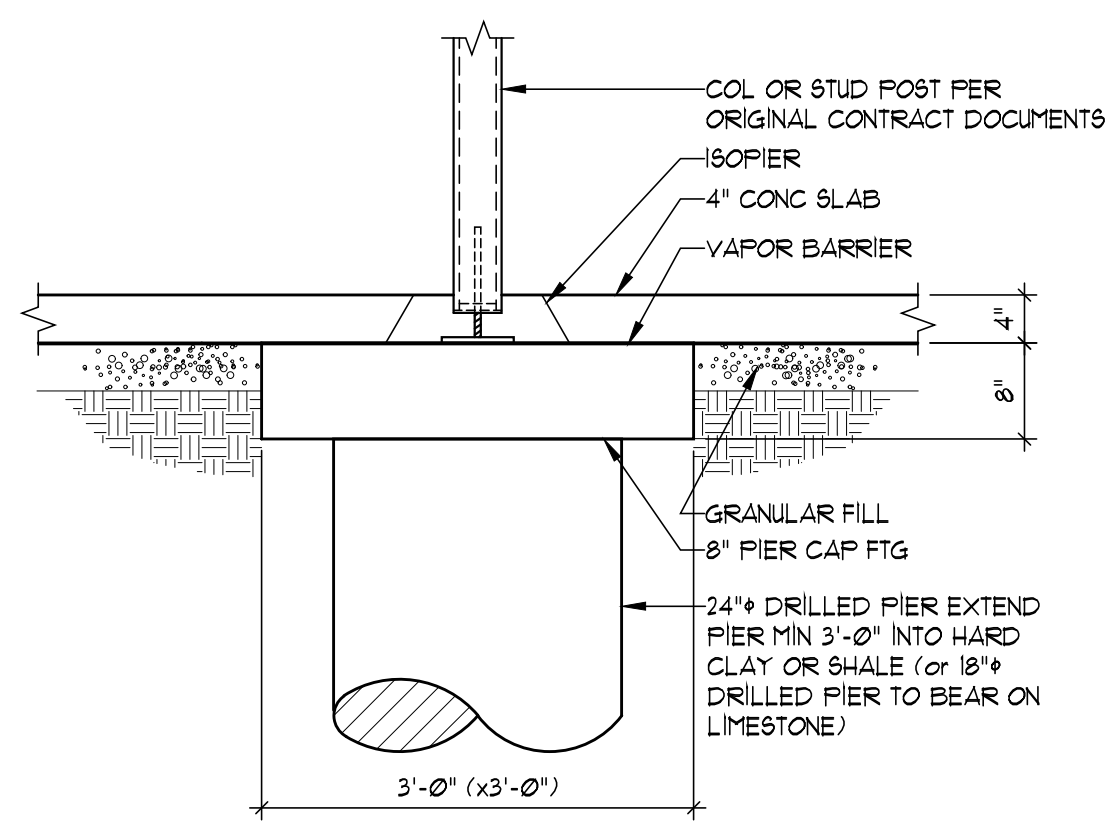
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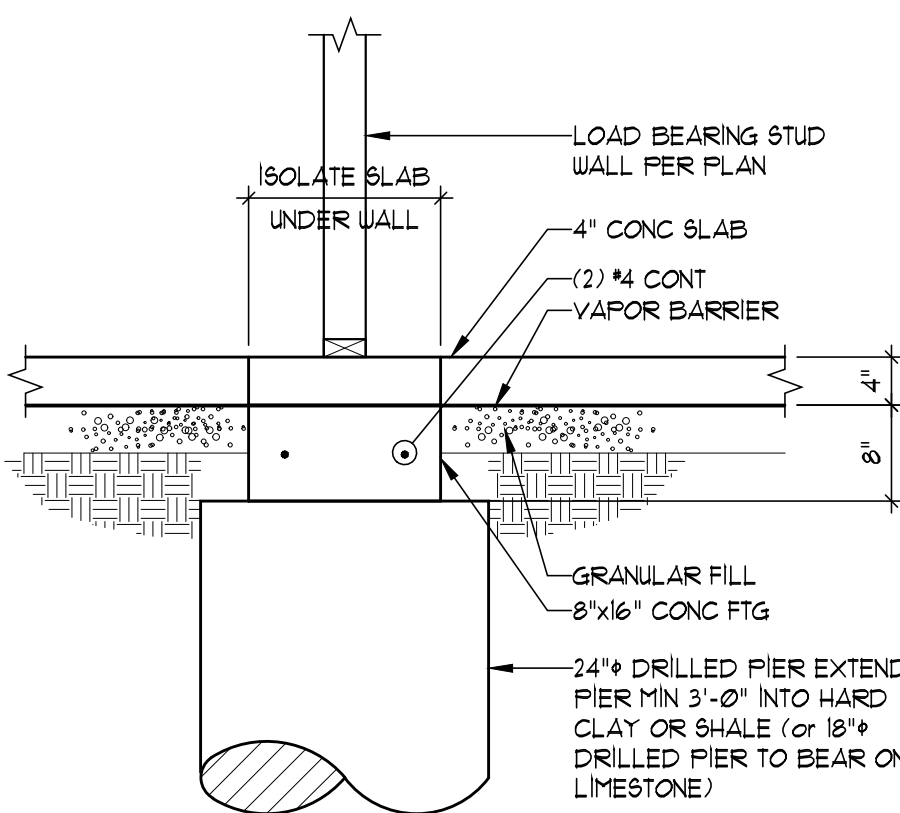
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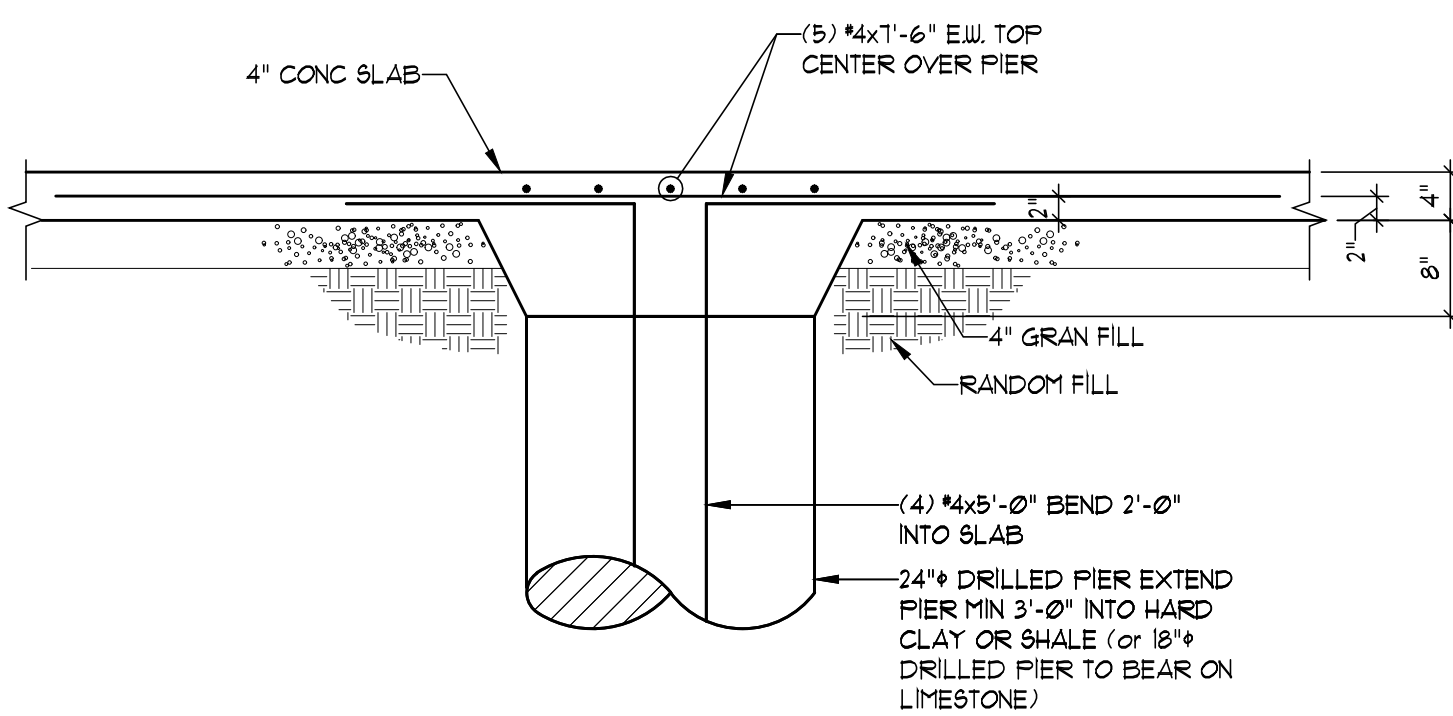
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SCALE: 3/4" = 1'-0" PP2



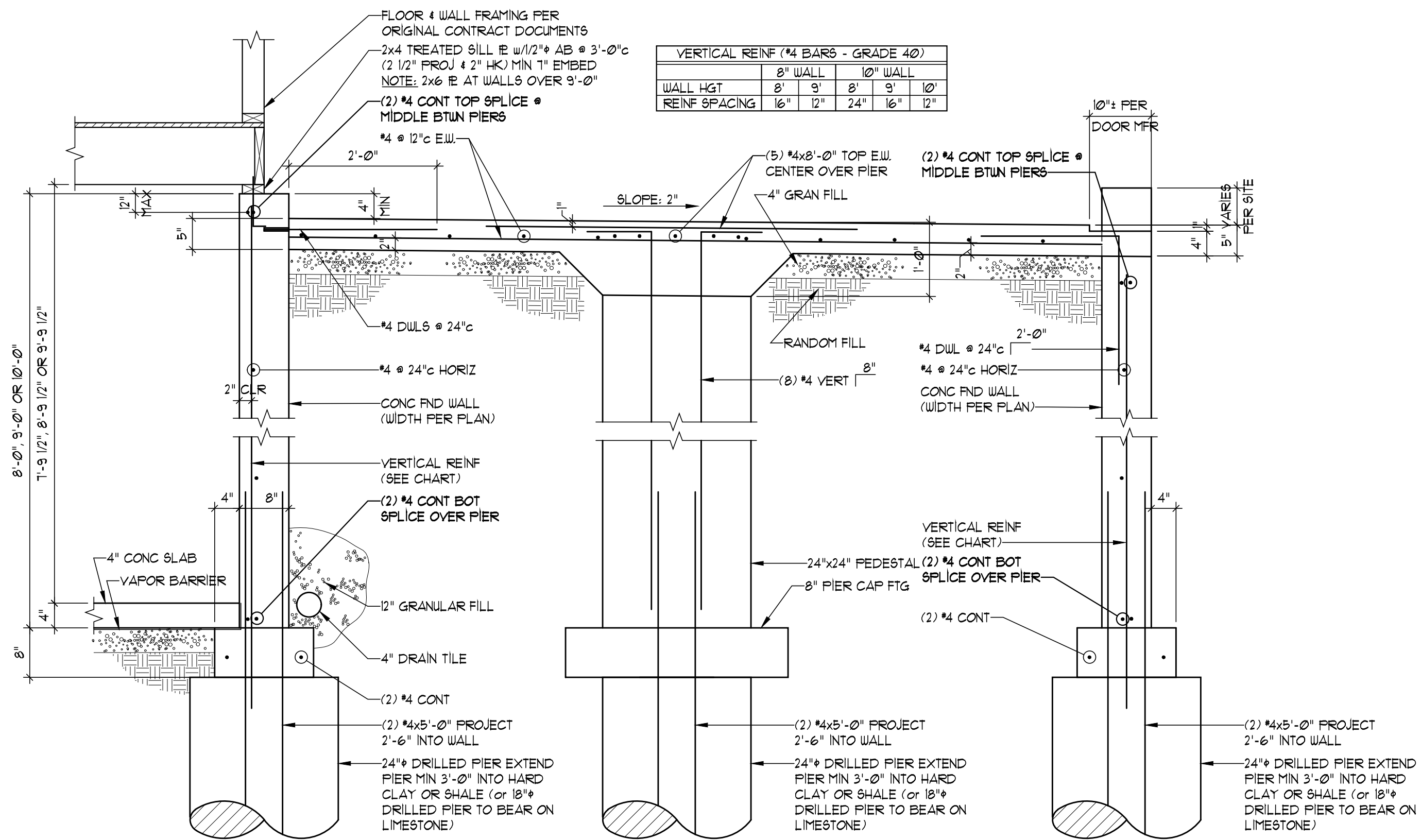
SECTION 4
SCALE: 3/4" = 1'-0" PP2



SECTION 6
SCALE: 3/4" = 1'-0" PP2



SECTION 7
SCALE: 3/4" = 1'-0" PP2



SECTION 5
SCALE: 3/4" = 1'-0" PP2