

171 - Hook Farms

Lees Summit MO 64082
2614 SW Barley Field Dr



General Information

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.5 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-encased grounding electrode (UFER Ground) connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, truss, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated
- Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
- Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
- Studs will be continuous from floor to ceiling diaphragm/floor as per 2018 IRC 602.3

2018 HT. EXTERTY CONSERVATION CODE (2018-CH 11) DOORS, & WINDOWS:	
SKYLIGHTS:	U-0.35 MAX (HEAT GAIN MAX 0.25)
ATTIC CEILINGS:	R-49 MIN.
WOOD FRAME WALLS:	20 OR 13 + 5 MIN.
FLOOR (OVER UNHEATED):	R-19 MIN
SLAB ON GRADE:	R-10 FOR 24" IN
VAULTED CEILINGS:	R-38 (SEE DETAIL)
CRAWL SPACE:	R-10
BASEMENT WALLS:	R-10 CONT OR R-13 CAVITY
DUCTWORK:	R-8
FUEL FIRED FURNACE:	90% AFUE MIN.
ELECTRIC FURNACE:	NO MINIMUM
COOLING SYSTEM:	13 SEER MIN.
WATER HEATER:	
GAS FIRED STORAGE:	0.67 EF MIN
GAS FIRED INSTANT:	0.62 EF MIN
ELECTRIC STORAGE:	0.97 EF MIN
ELECTRIC INSTANT:	0.93 EF MIN

AN ENERGY EFFICIENT CERTIFICATE IS REQUIRED TO BE POSTED IN OR ON THE ELECTRICAL PANEL BEFORE FINAL INSPECTION. THE CERTIFICATE WILL BE PROVIDED WITH ALL NEW RESIDENTIAL PERMITS. IT IS THE PERMIT HOLDER/CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CERTIFICATE HAS ACCURATE INFORMATION & IS POSTED BEFORE FINAL INSPECTION OWNER/CONTRACTOR IS RESPONSIBLE FOR MEETING THE PRESCRIPTIVE REQUIREMENTS OF IRC CHAPTER 11 UNLESS A HERS INDEX ANALYSIS FOR PERFORMANCE COMPLIANCE BASED ON THE PLANS IS SUBMITTED TO THE AHJ FOR APPROVAL.

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL.

IRC 2018
Ground Snow Load : 20PSF
Wind Speed : 115mph
Topography Effects : No
Seismic Design Category : A
Damage From Weather : Severe
Frost Line Depth : 36 inches
Turbulence : Moderate to Heavy
Winter Design Temperature : 6 F
Ice Barrier Underlayment : Yes
Flood Hazard :
Air Freezing Index : 927 or less
Mean Annual Temperature : 55.5 F

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AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
05/17/2024 4:58:18**



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NOT FOR CONSTRUCTION

Original Issue Date:	Progress Print	
REVISIONS	Issue Date	
Number	Description	Date



MAY 16, 2024

Progress Print

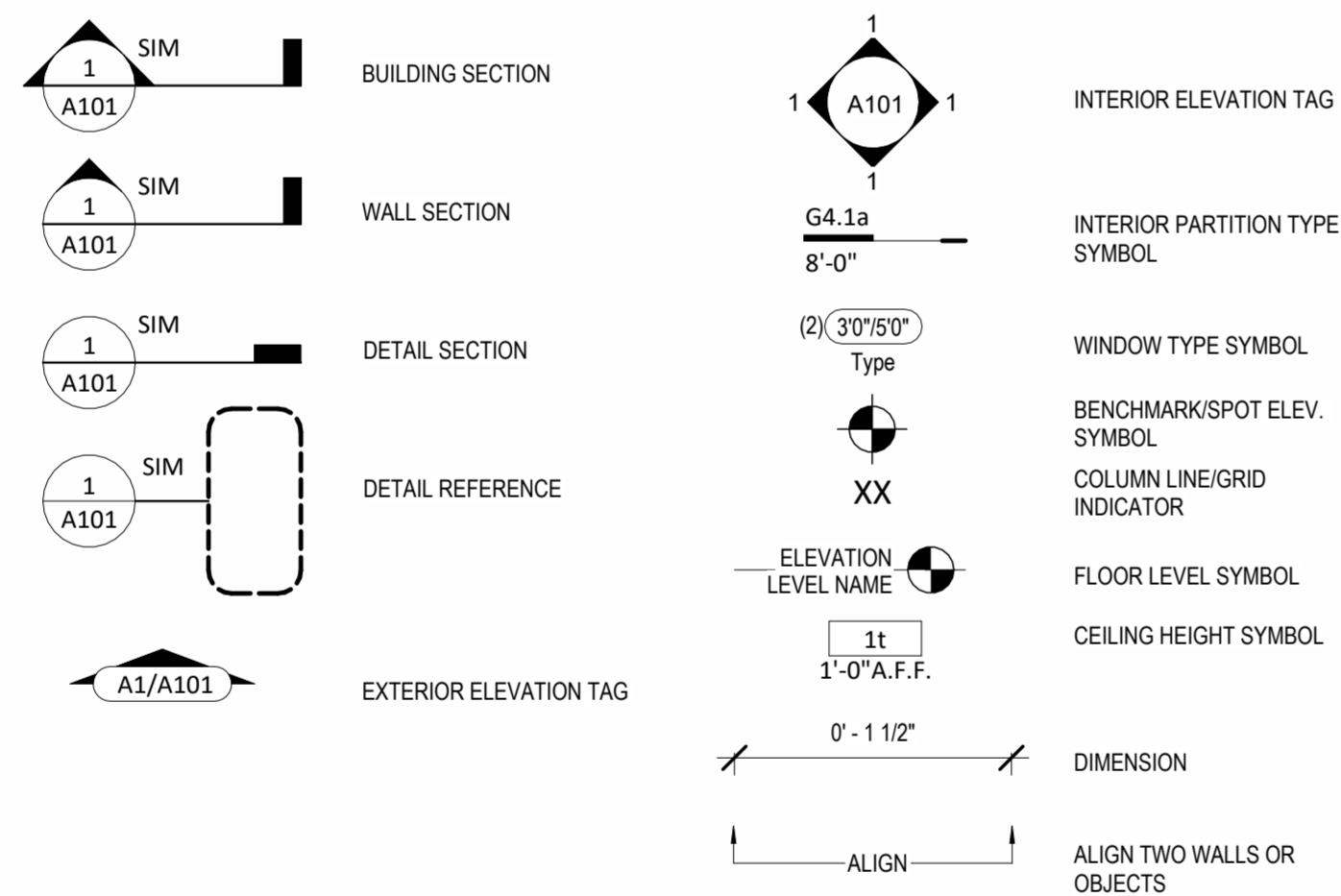
PLAN DESCRIPTION: Cover Sheet

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Project No. Project Number

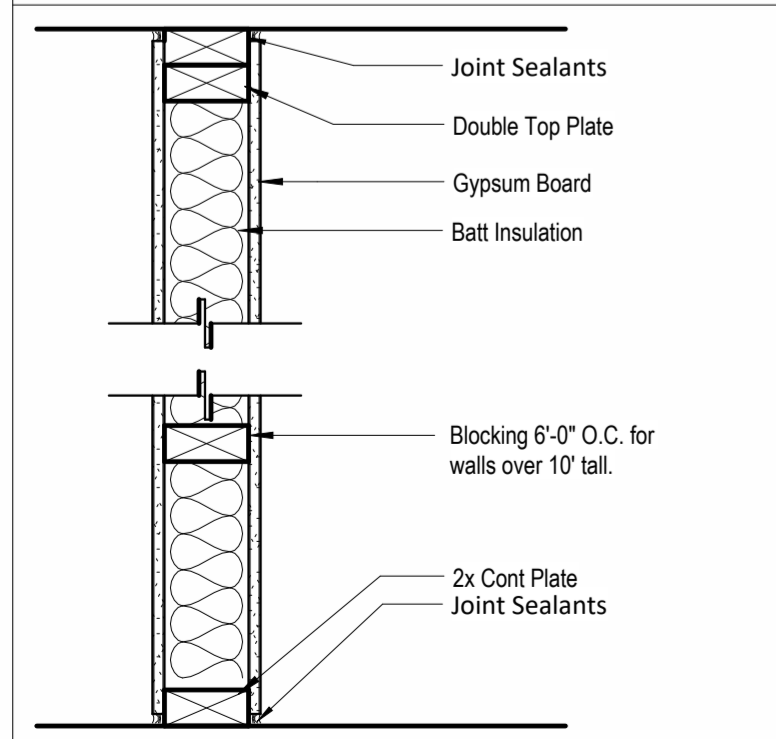
Sheet List

- 00 Cover Sheet
- A0 Foundation Plan
- A1 Floor Plan - Main Level
- A2 RCP/Electrical Plan
- A3.B Elevations
- A4.0 Interior Details
- A4.B Building Sections
- A5 Details
- A6 Details



Interior Partition Types

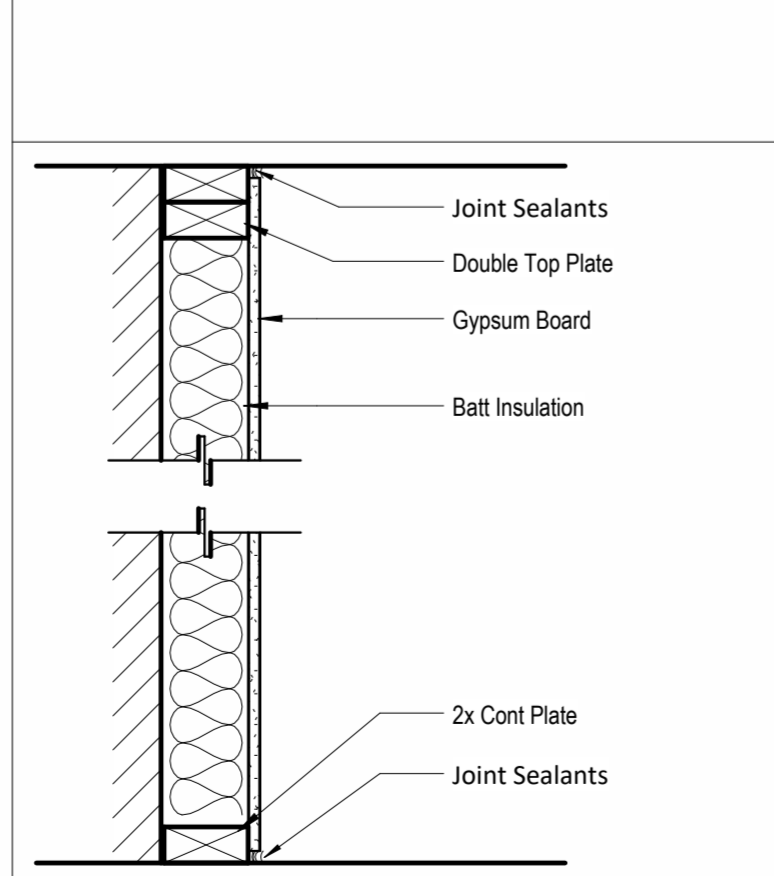
- NOTES:
- PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
 - EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
 - USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
 - REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM: GYPSUM WALL BOARD PARTITION

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G4.1	G4.L	G6
BASE PARTITION THICKNESS	4.5"	4.5"	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"	16"	16"
STUD SIZE	2x4	2x4	2x4	2x6
GWB THICKNESS	1/2"	5/8"	5/8"	1/2"
JOINT SEALANTS	No	No	No	No
INTERIOR LOAD BEARING WALL	No	No	Yes	No
FIRE RATING (HRS)	-	1	-	-
FIRE TEST NUMBER	-	U314	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-	-	-
FIRE RESISTIVE JOINTS	-	-	-	-
ACOUSTIC RATING (STC)	-	-	-	-
ACOUSTICAL TEST NUMBER	-	-	-	-
INSULATION	No	Yes	No	No
ACOUSTICAL JOINTS	-	-	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #3	* SEE NOTE #3	* SEE NOTE #4

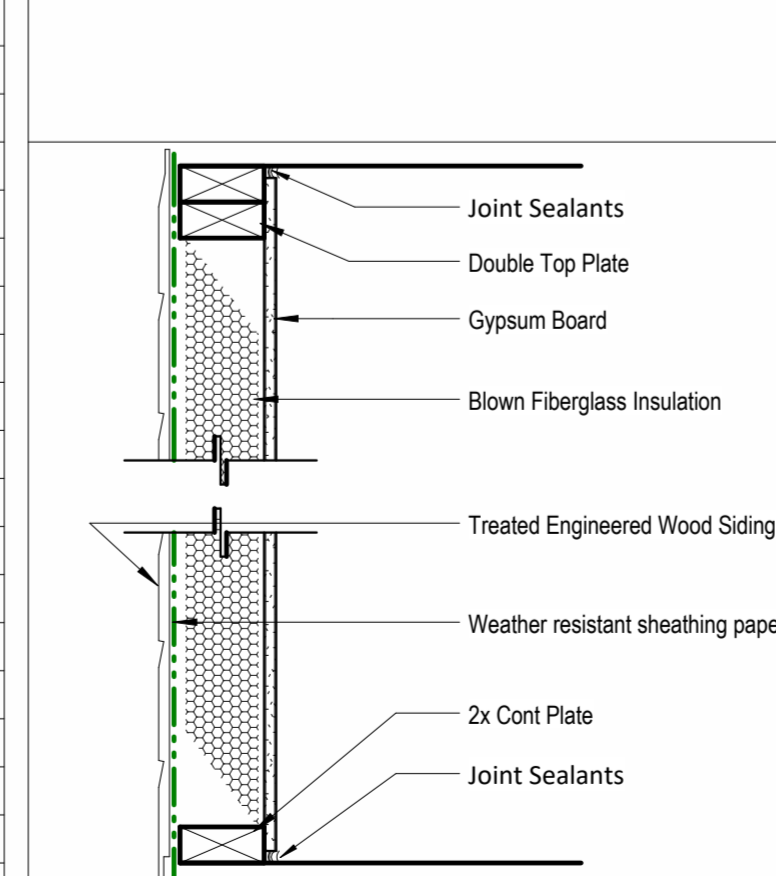
- NOTES:
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PARTITION SYSTEM: GYPSUM FURRING PARTITION

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

- NOTES:
- REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



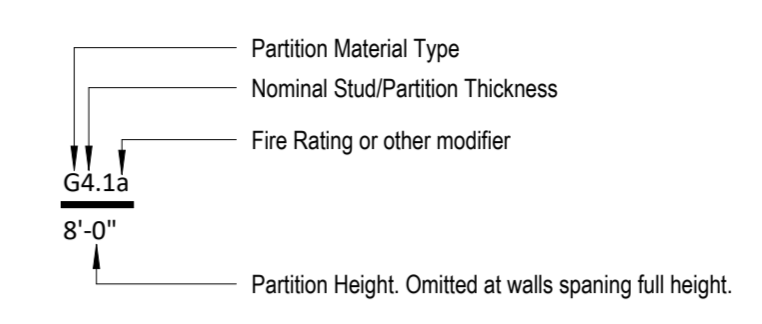
PARTITION SYSTEM: Exterior Partition

PARTITION IDENTIFICATION PLAN SYMBOL	E4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	Yes
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	Yes
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

BRACED WALL LINE SCHEDULE (2 CAR GARAGE OPTION)						
WALL LINE	TOTAL LENGTH	AVG SPACING	BASE	TABLE R602.10.3 ADJ. FACTOR	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR						
A	45'	45'	9'	0.95	8.55'	9.00'
B	45'	15'	10.5'	1.38	14.46'	15.00'
C	22'	22'	5.5'	0.95	5.23'	10.00'
D	50'	25'	11'	1.24	13.59'	14.00'
1	20'	20'	3.5'	0.95	3.33'	6.00'
2	14'	14'	3.5'	0.95	3.33'	4.00'
3	26'	13'	7'	1.24	8.65'	9.00'
4	26'	26'	5.5'	0.95	5.23'	12.00'
5	14'	14'	3.5'	0.95	3.33'	6.00'

BRACED WALL LINE SCHEDULE (3 CAR GARAGE OPTION)						
WALL LINE	TOTAL LENGTH	AVG SPACING	BASE	TABLE R602.10.3 ADJ. FACTOR	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR						
A	45'	45'	9'	0.95	8.55'	9.00'
B	45'	15'	10.5'	1.38	14.46'	15.00'
C	22'	22'	5.5'	0.95	5.23'	10.00'
D	28'	28'	5.5'	0.95	5.23'	9.00'
D.1	22'	22'	5.5'	0.95	5.23'	6.00'
1	30'	30'	5.5'	0.95	5.23'	6.00'
2	14'	14'	3.5'	0.95	3.33'	4.00'
3	36'	12'	10.5'	1.38	14.46'	15.00'
4	26'	26'	5.5'	0.95	5.23'	12.00'
5	14'	14'	3.5'	0.95	3.33'	6.00'

Interior Partition Naming Convention



General Notes:

- DOORS AND WINDOW**
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 30" AND WITH DOORS ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 208 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:**
- GARAGE SEPARATION WALL TO BE 1/4" CONCR. MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF FLOOR. DOOR TO BE 20 MIN. RATED. 1 3/8" S.C. EQUIPPED W/ CLOSURE & LATCH.
 - 18" x 24" RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:**
- PROVIDE STAIRWAY ILLUMINATION PER R602.7.9.
 - CABLE VENT & AIRFLOW VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED IN A MANSION OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R602.3.
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 30" O.C.
- GYPSUM BOARD:**
- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS:**
- FURNACE WATER HEATER SHALL BE ON 18" PLATFORM IN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 50% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS:**
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (W/IN FEET OF SINK), GARAGE, SHED, EXTERIOR UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FULLY CIRCUIT INTERRUPTER.
 - INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED: TAMPER-RESISTANT.
 - RECEPTACLES LOCATED MORE THAN 5 FEET AP.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING:**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BE SECURED TO FOUNDATION WITH 4x4x8 NAILS (MIN).
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-D NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE 8x COMMON @ 16" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING:**
- ALL ROOF EAVE OVERHANGS TO BE 16" UNCD.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER STUDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAY W/ LONG DIMENSION PERPENDICULAR TO RAFTER LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES - SECURE SHEATHING W/ 8x COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS:**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO UNCONDITIONED AIR OUTLETS.
- EROSION CONTROL:**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILL FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING - JOISTS AND ROOF NOTES:**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8x @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNINSULATED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8x @ 16" O.C.
 - HEADERS: PROVIDE 2x4 (SYP OR DFL 2" OR BETTER) UNCD. CONSTRUCT HEADERS W/ 2x8 & 7/16" OSB BETWEEN W/ (2) ROWS OF 18x @ 16" O.C.
 - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING MIN. 3 INCHES.
 - 2x4 J. C. I. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOFCEILING DIAPHRAGM PER R602.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE:**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

* CS-PF PANEL'S CONTRIBUTING LENGTH ARE CALCULATED AT 1.5x ACTUAL LENGTH PER TABLE R602.10.5

- CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINED TOTAL OF 10' PER R602.10.2.2
- WOOD STRUCTURAL PANELS: BLOCKING OF HORIZONTAL JOINTS IS REQUIRED UNLESS EXCEPTION R602.10.4.4. IT IS NOTED AS BEING APPLIED IN SCHEDULE ABOVE.
- CS-WSP PANELS: MIN. 2" PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.10.4.4 AND MAX. 12'-6" FROM CORNER
- CS-WSP PANELS: MIN PANELS LENGTH ADJACENT TO AN OPENING FOR 9' PLATE = 27", FOR 8' PLATE = 24" PER TABLE R602.10.5.

3) Brace System

1 1/2" = 1'-0"

ASPHALT SINGLES OVER 15# FELT PAPER ON MIN. 9/16" PLYWD. OR OSB BOARD W/ SPACER CLIPS EDGES NAILED @ 6" O.C. W/ 8d COMMON

INSULATION BATTLE @ RAFTERS
RAFTERS D.F. #2 OR BETTER
SEE CEILING JOIST SCHEDULE & DENOTED ON PLANS
ALL JOISTS TO D.G. #2 OR BETTER
BATT INSULATION
9'-1" Roof
1/2" GWB CEILING
DOUBLE TOP PLATE

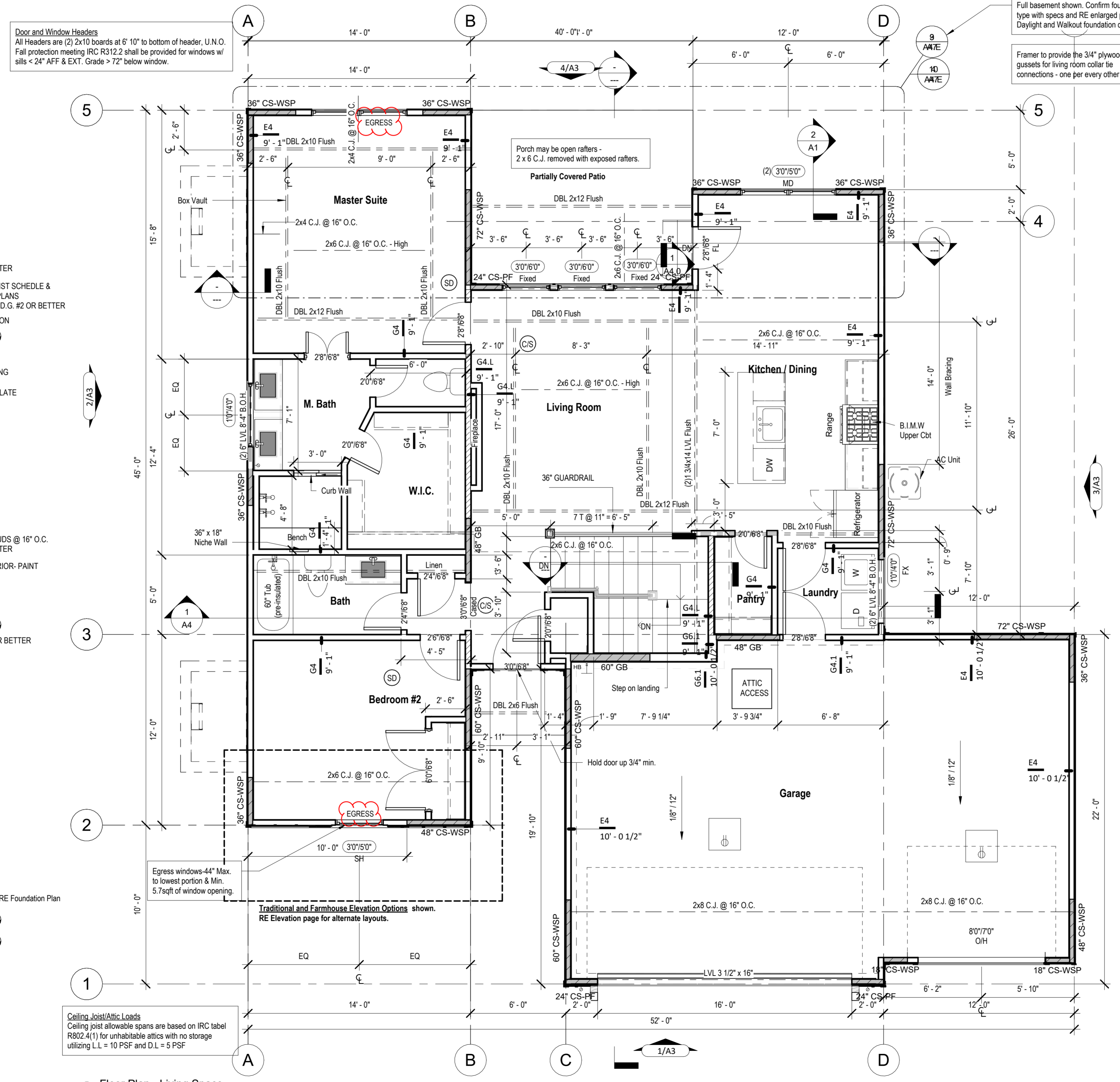
PER IRC 703.2 WEATHER RESISTANT SHEATHING PAPER ASPHALT SATURATED FELT NO. 15-COMPLYING WITH ASTM D 226 APPLIED OVER THE STUDS OR SHEATHING OF ALL EXT. WALLS

BATT INSULATION OR BLOWN FIBERGLASS INSULATION W/ 4 MIL VAPOR BARRIER
2x4 (OR 6) STUDS @ 16" O.C. D.F. #2 OR BETTER
1/2" GWP INTERIOR-PAINT

ALL FLOOR JOISTS TO BE D.F. #2 OR BETTER

Concrete Slab - RE Foundation Plan
9'-7 1/2" Basement
9'-11 1/2" T.O. Footing

Door and Window Headers
All Headers are (2) 2x10 boards at 6" 10" to bottom of header, U.N.O.
Fall protection meeting IRC R312.2 shall be provided for windows w/ sills < 24" AFF & EXT. Grade > 72" below window.



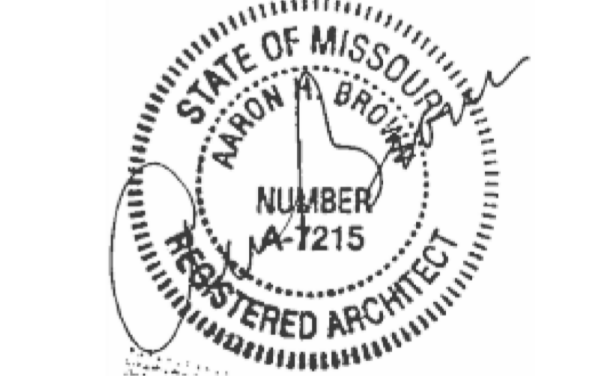
2) Section 3

1/2" = 1'-0"

1) Floor Plan - Living Space

1/4" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignandbuild.com
Lees Summit MO 64082
2614 SW Barley Field Dr



MAY 16, 2024

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Floor Plan - Main Level

A1

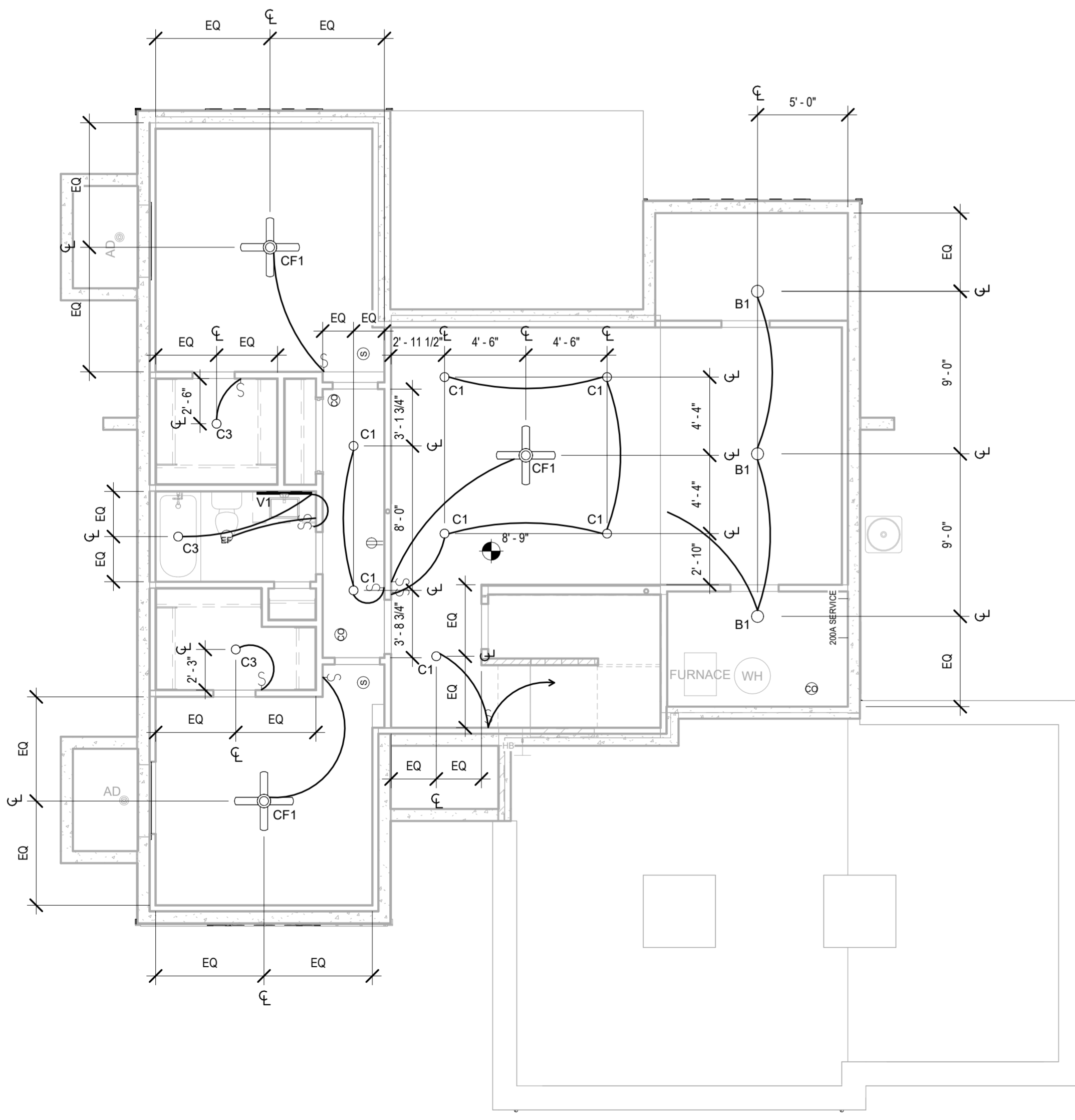
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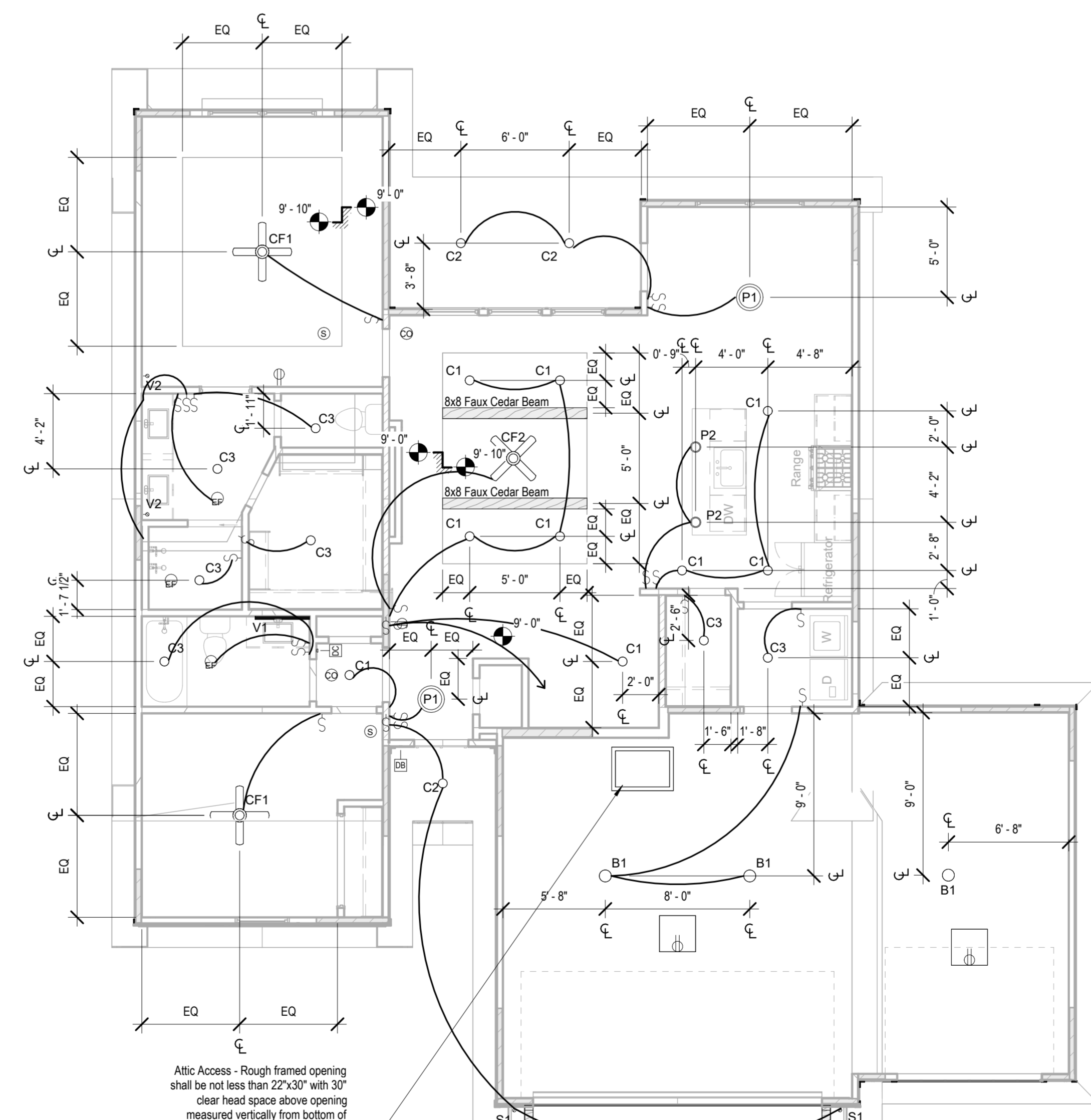
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Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	
V1	Vanity Wall Mounted	
V2	Vanity Wall Mounted	

Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to the gypsum wallboard (N1103.1.1)



② RCP/Electrical - Basement
3/16" = 1'-0"



① RCP/Electrical Plan - Main Level
3/16" = 1'-0"

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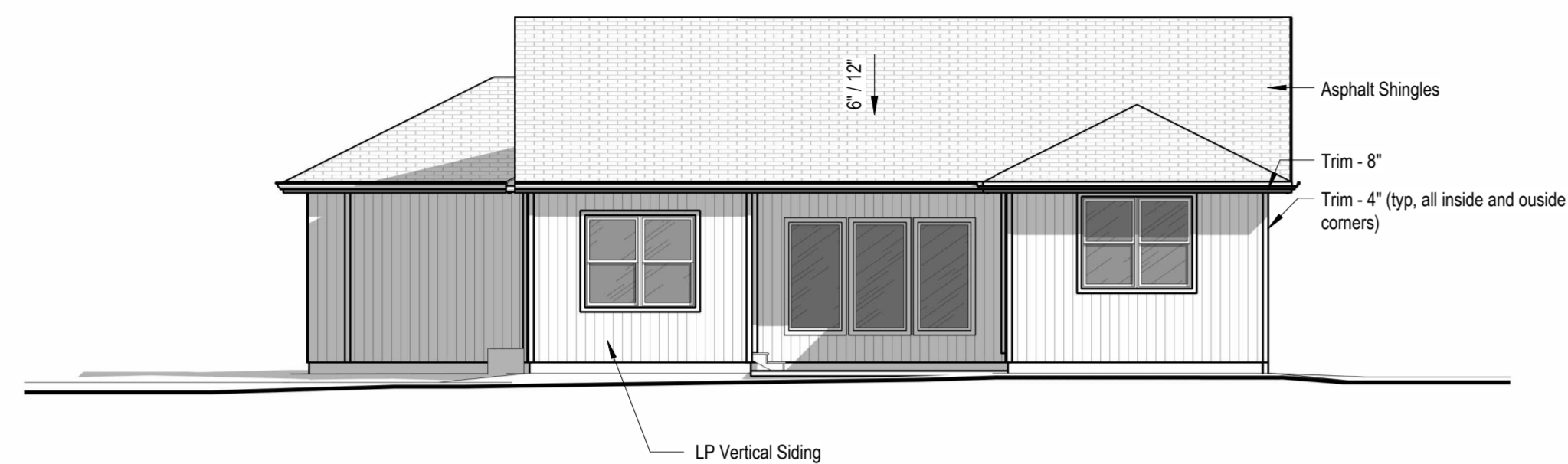
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RCP/Electrical Plan

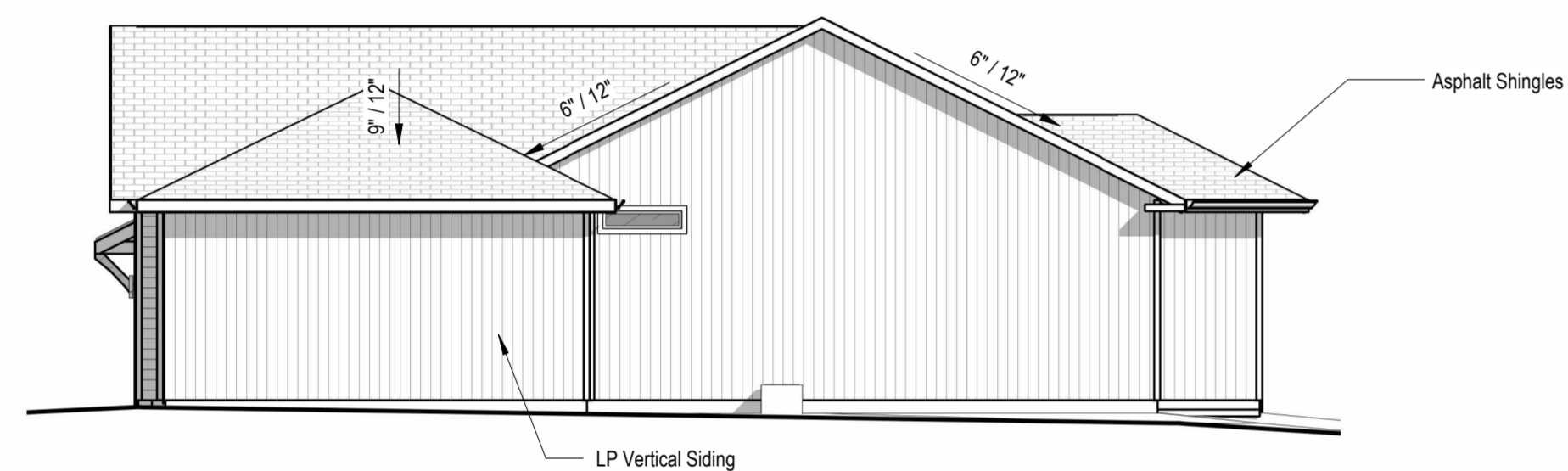
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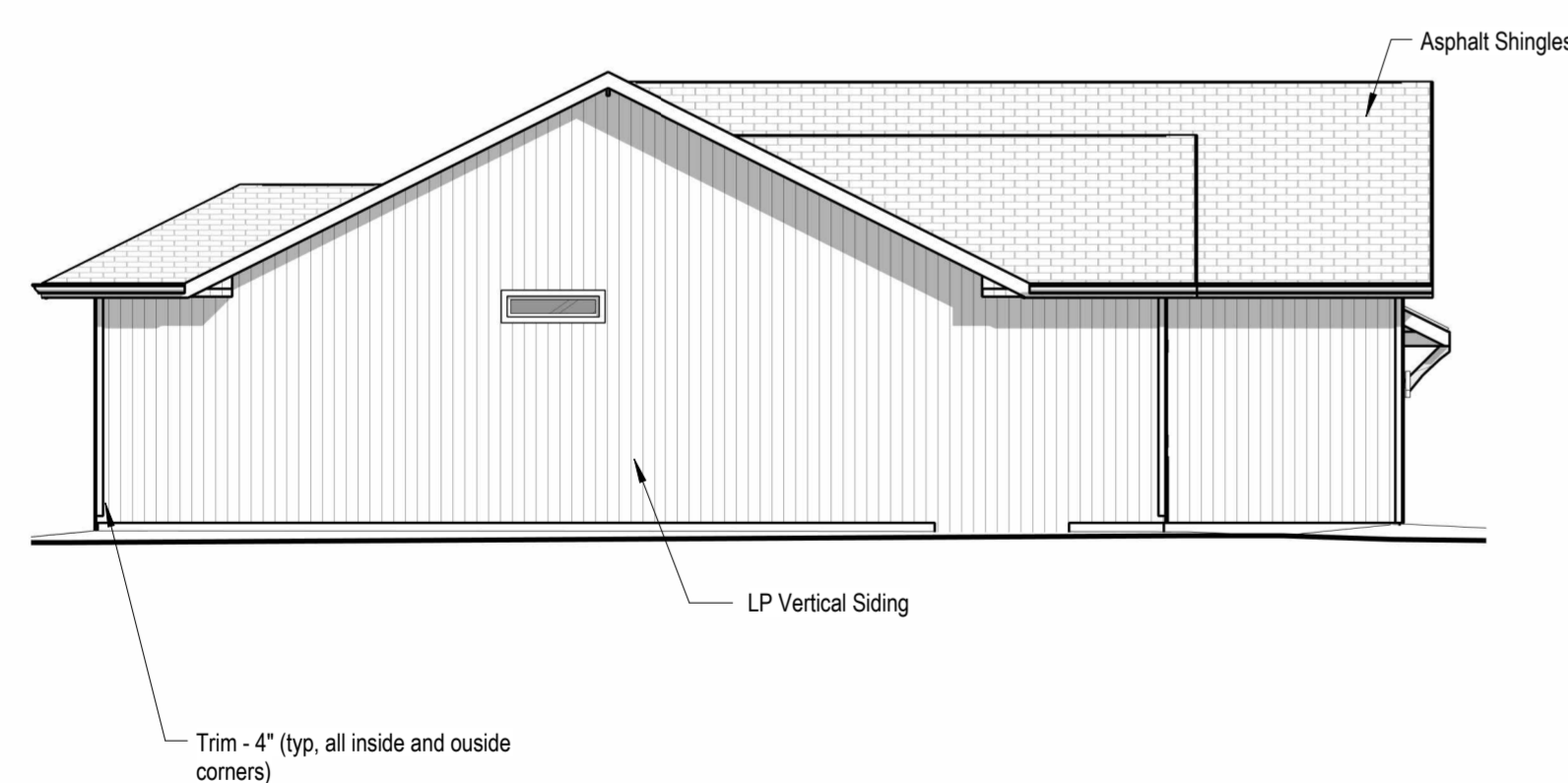
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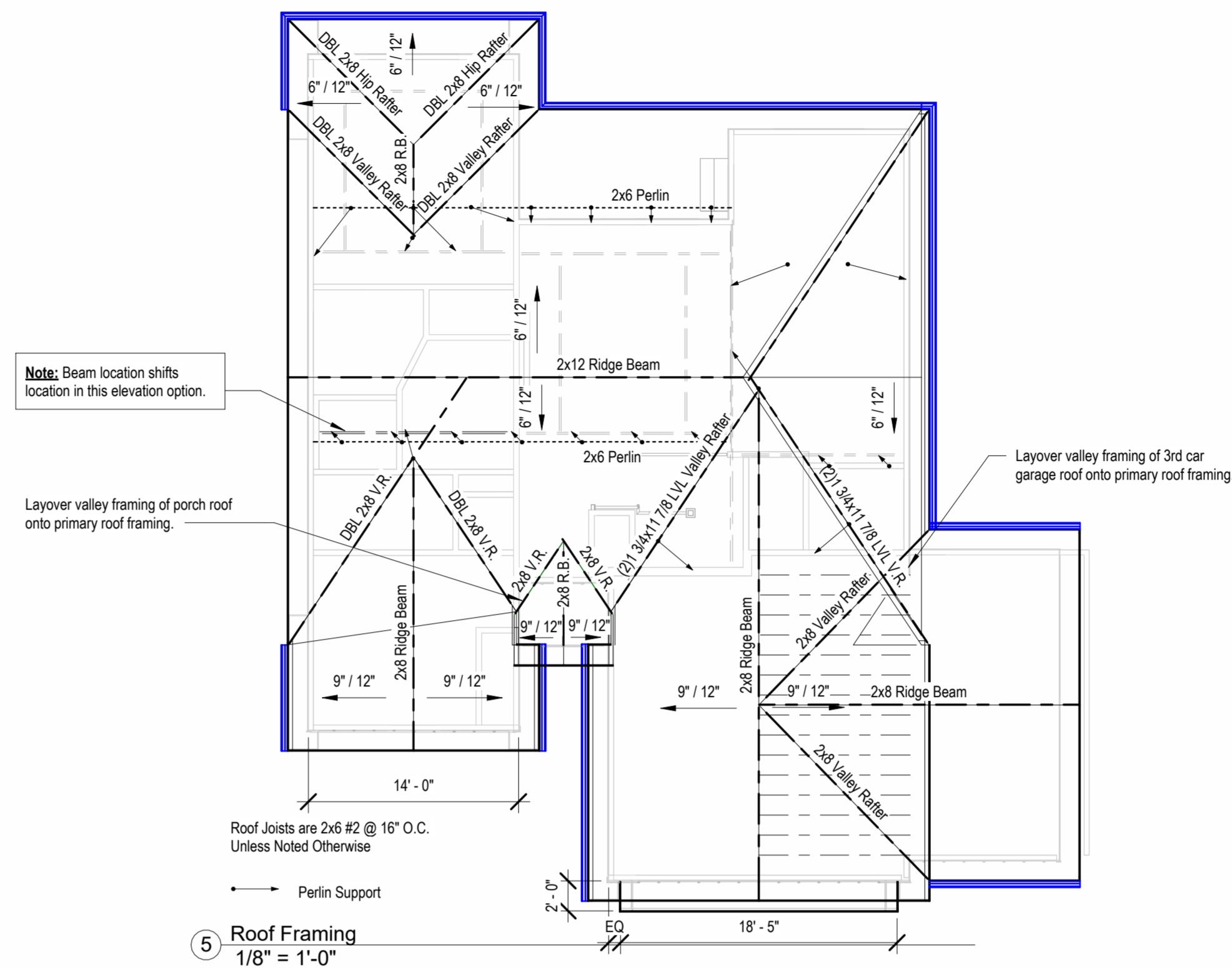
4 Back Elevation
1/8" = 1'-0"



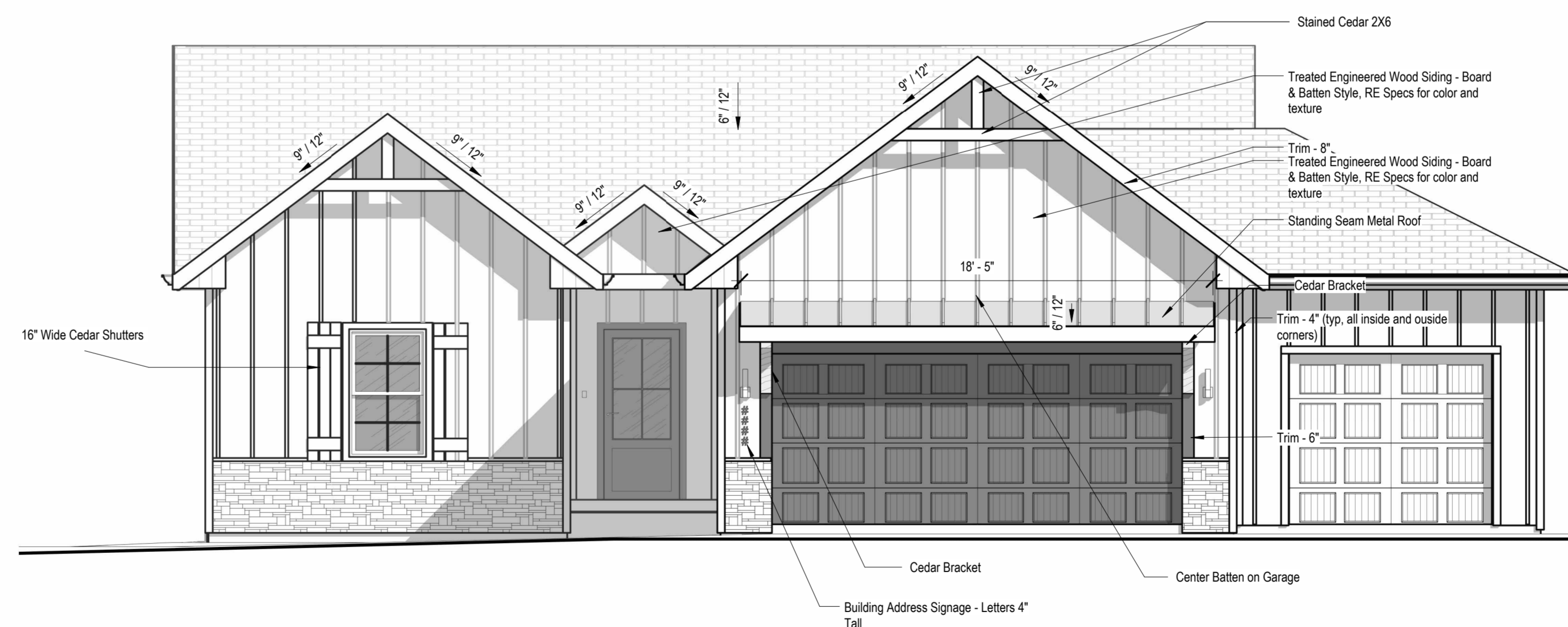
3 Right Elevation
1/8" = 1'-0"



2 Left Elevation
1/8" = 1'-0"



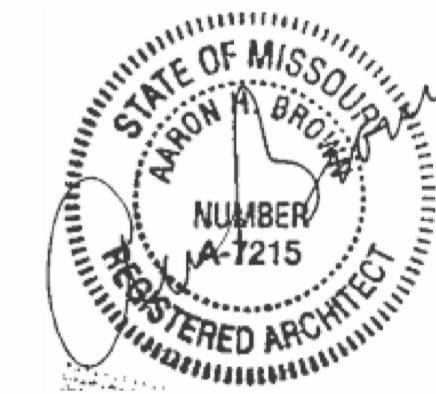
5 Roof Framing
1/8" = 1'-0"



1 Front Elevation - Farmhouse
1/4" = 1'-0"

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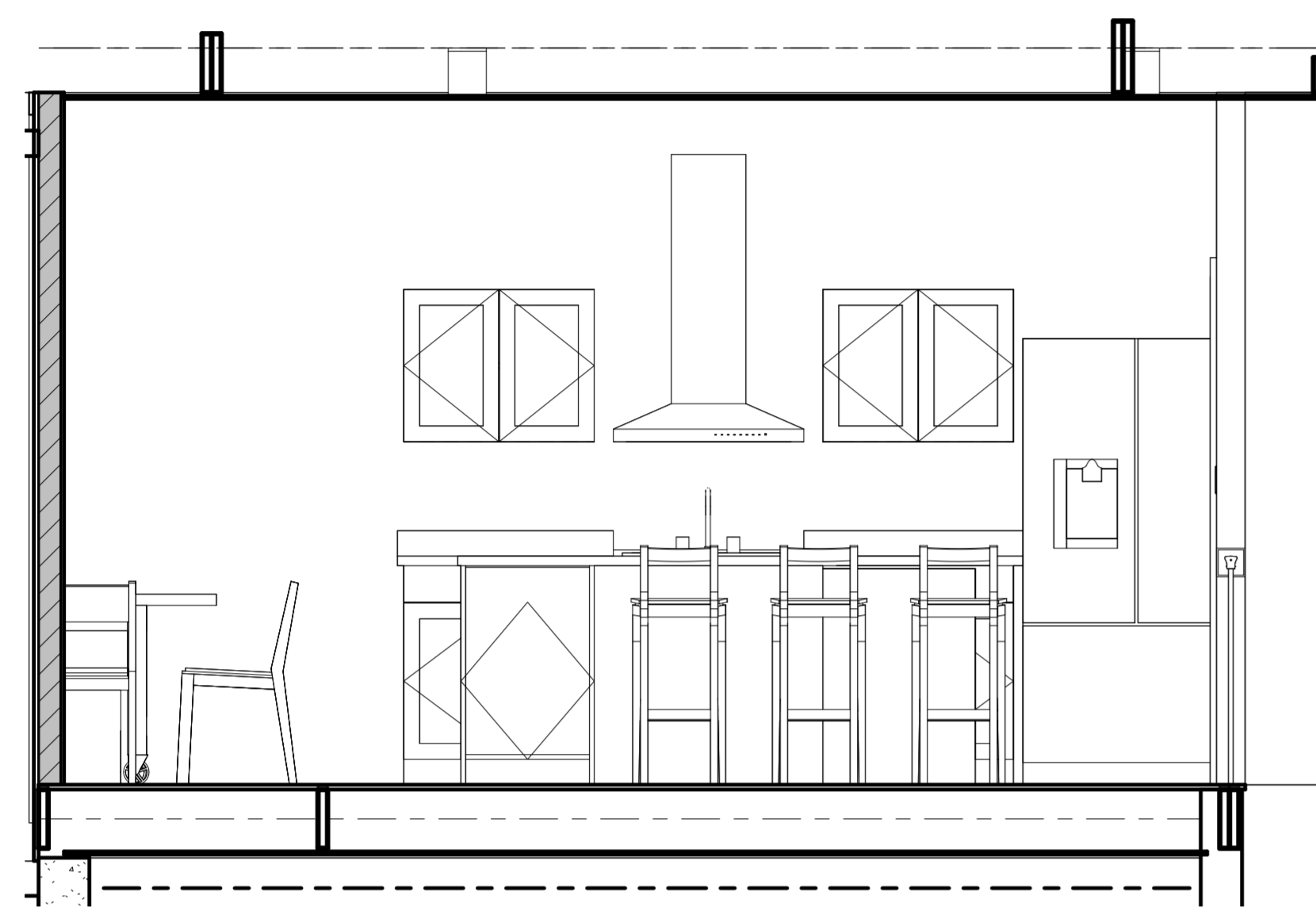
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Number	DESCRIPTION	DATE

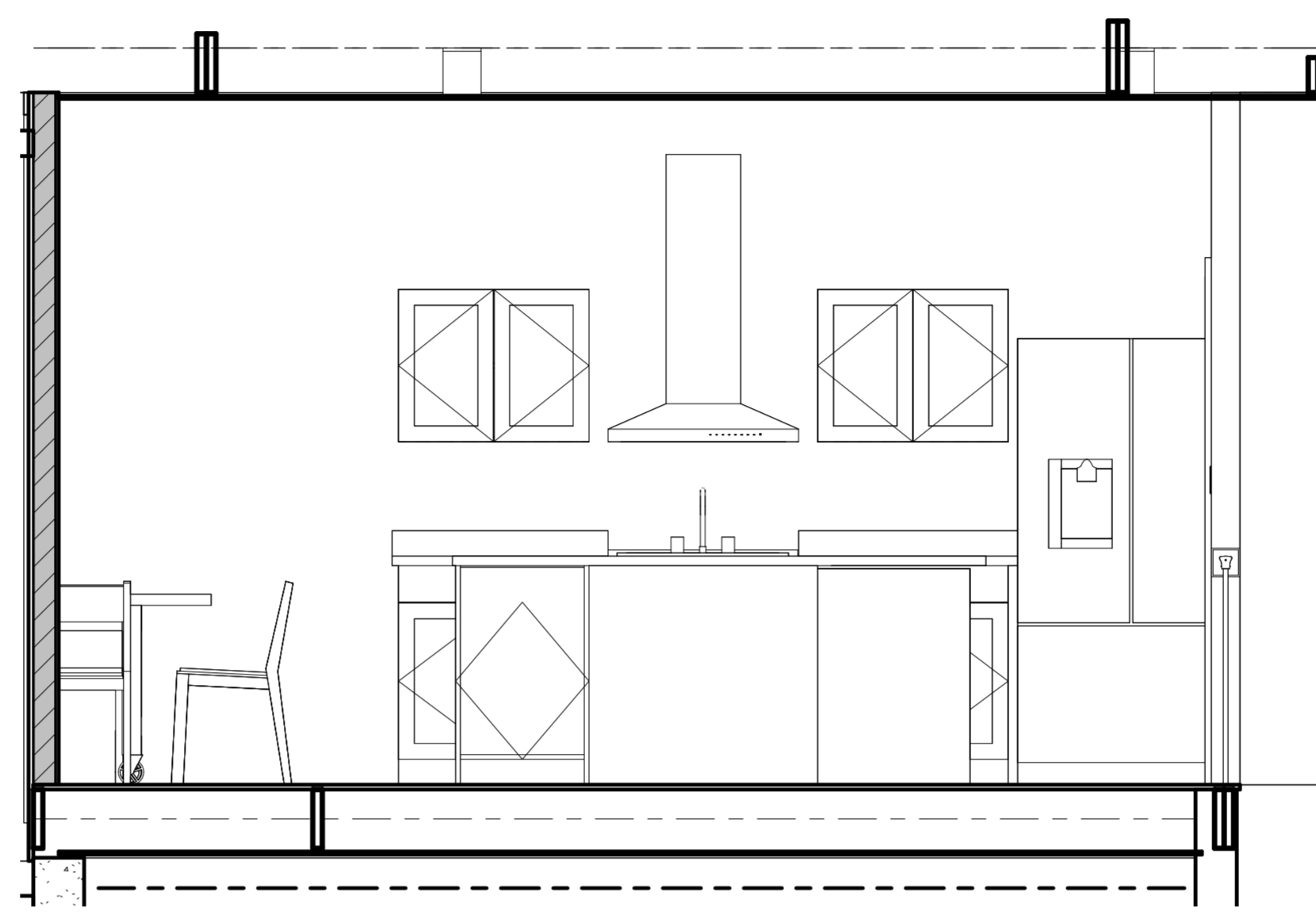
Elevations

A3.B

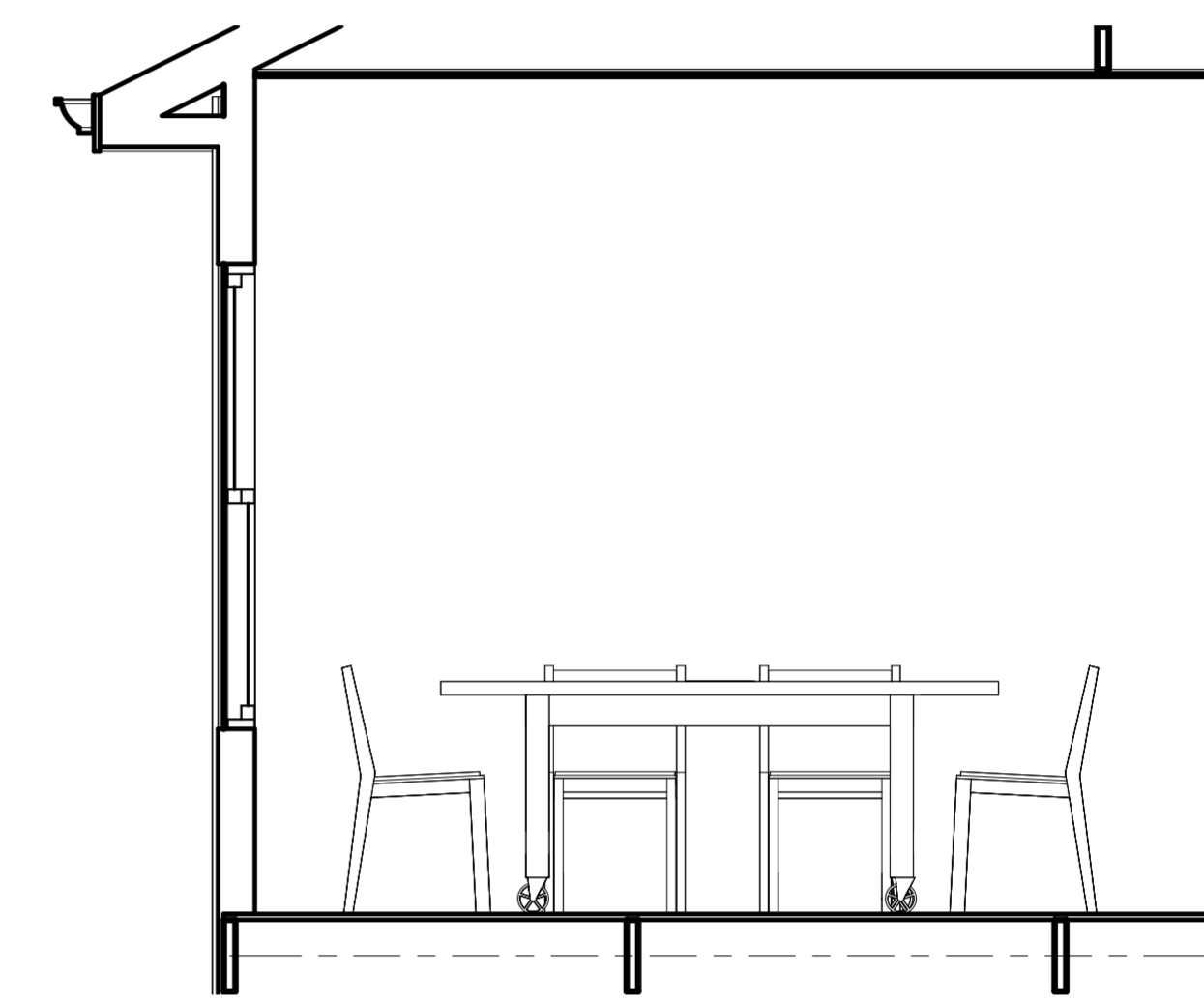
171 - Hook Farms



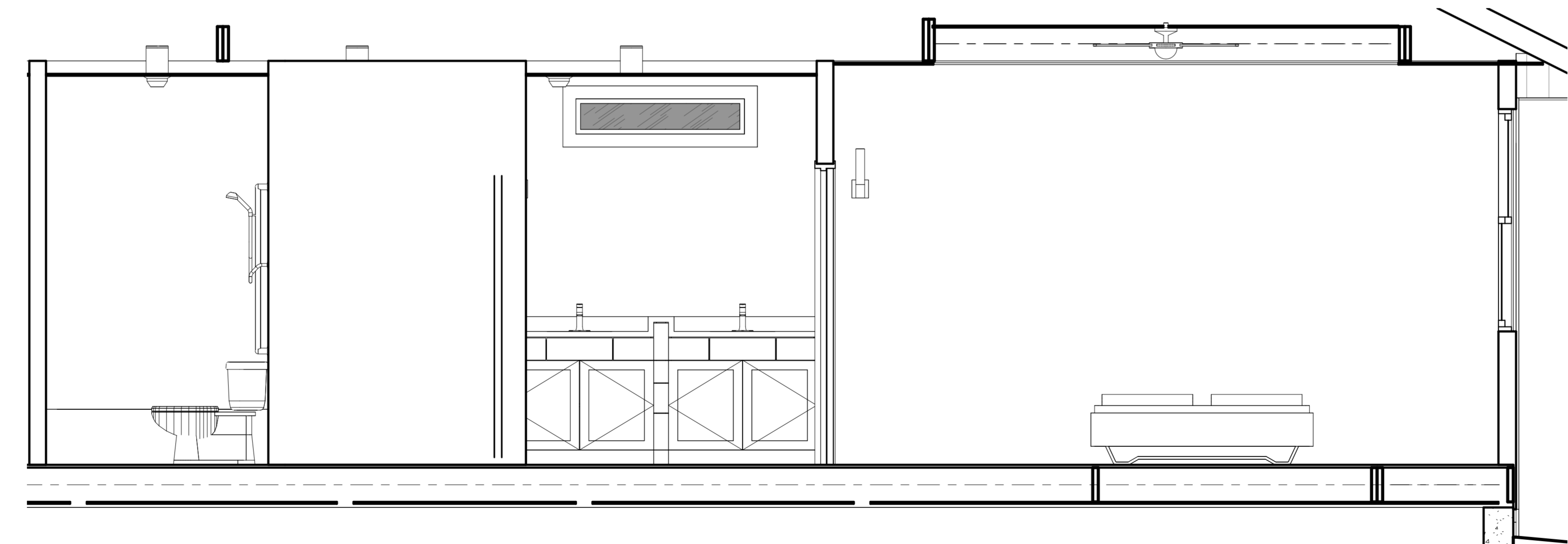
① Kitchen w/ Island
1/2" = 1'-0"



② Kitchen w/o Island
1/2" = 1'-0"



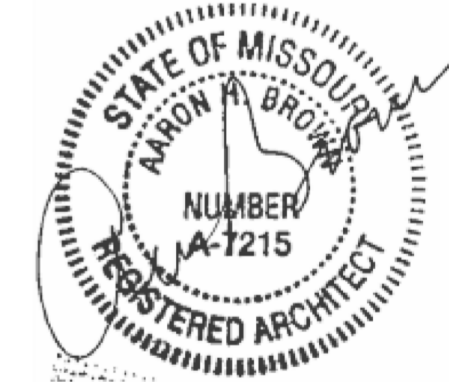
④ Kitchen Nook
1/2" = 1'-0"



③ Master Bath Section
1/2" = 1'-0"

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuild.com
Lee's Summit MO 64082
2614 SW Barley Field Dr

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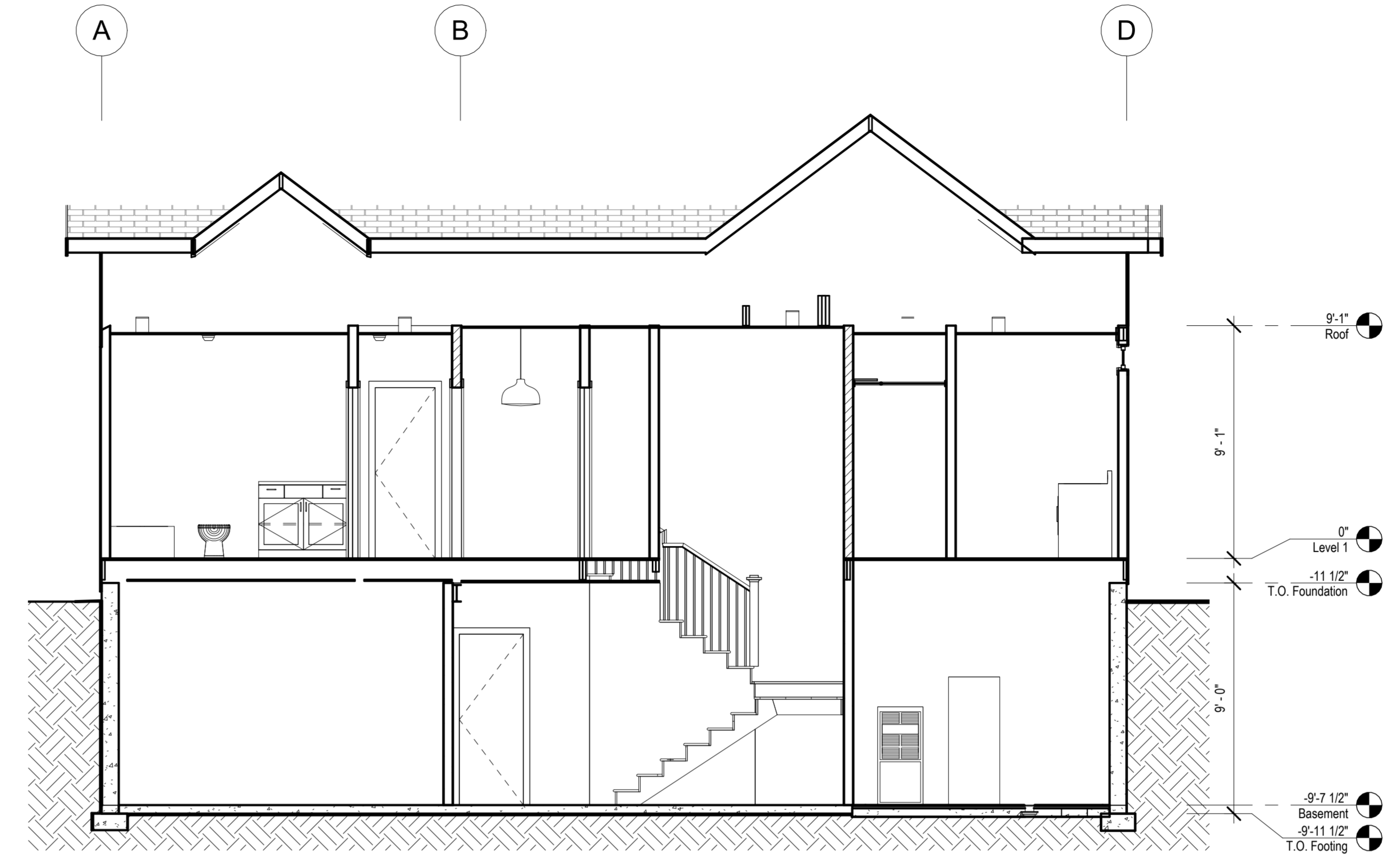
REVISIONS

Number	DESCRIPTION	DATE

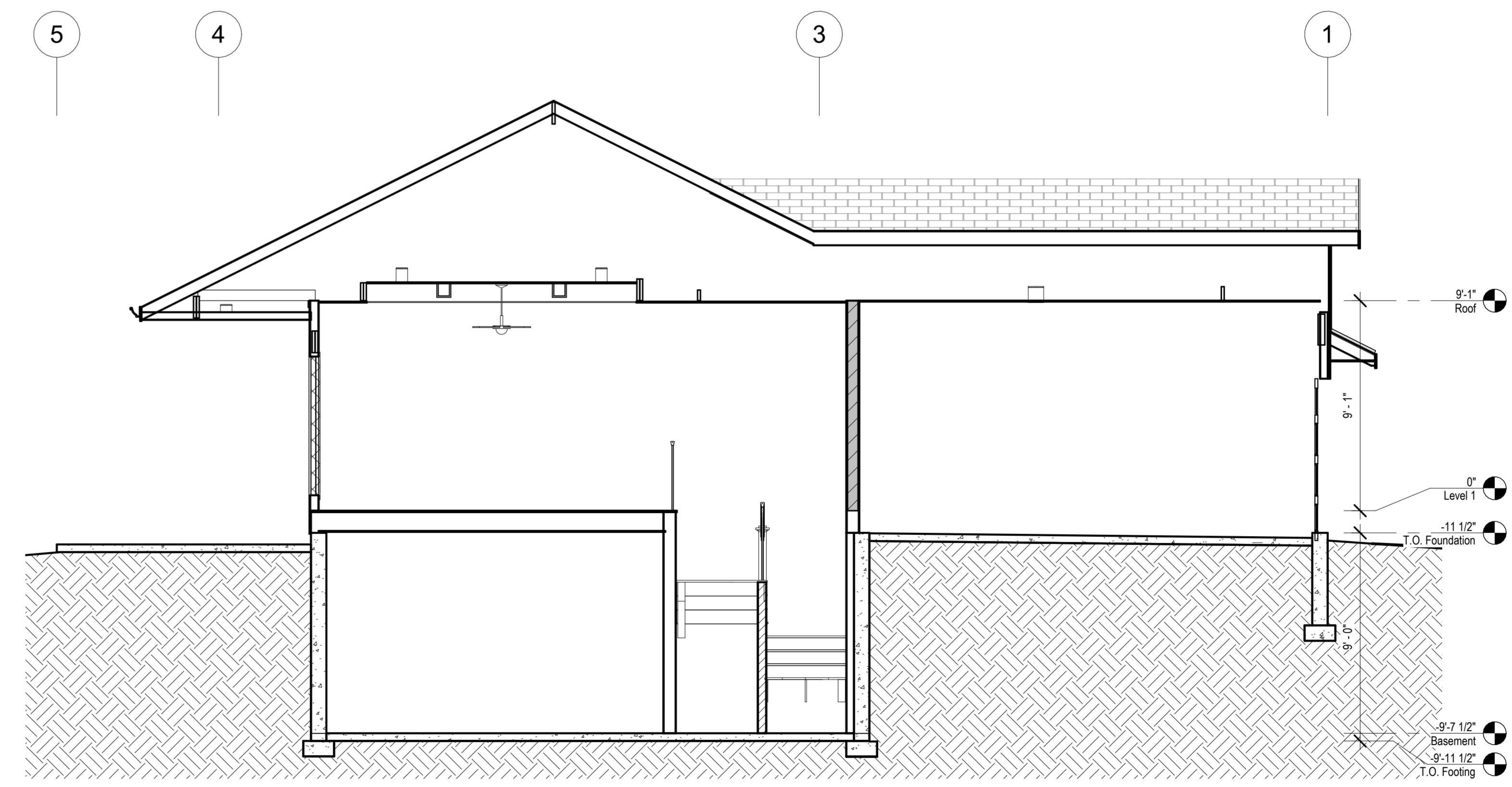
Interior Details

A4.0

171 - Hook Farms



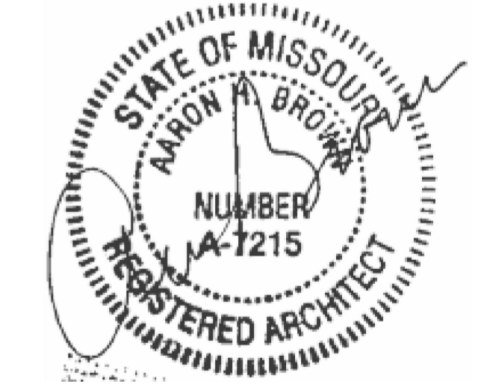
② Building Section
1/4" = 1'-0"



① Building Section
1/4" = 1'-0"

architect:
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Lee's Summit, MO 64081
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REVISIONS

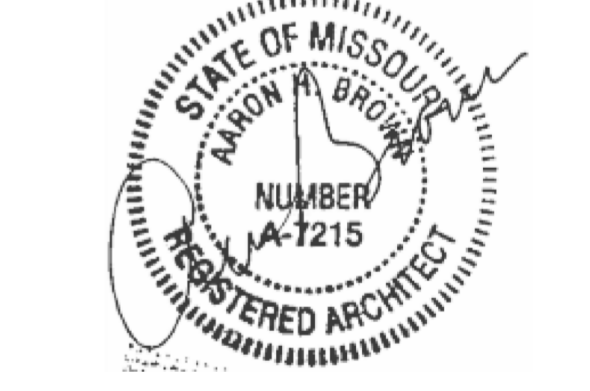
Number	DESCRIPTION	DATE

Building Sections

A4.B

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
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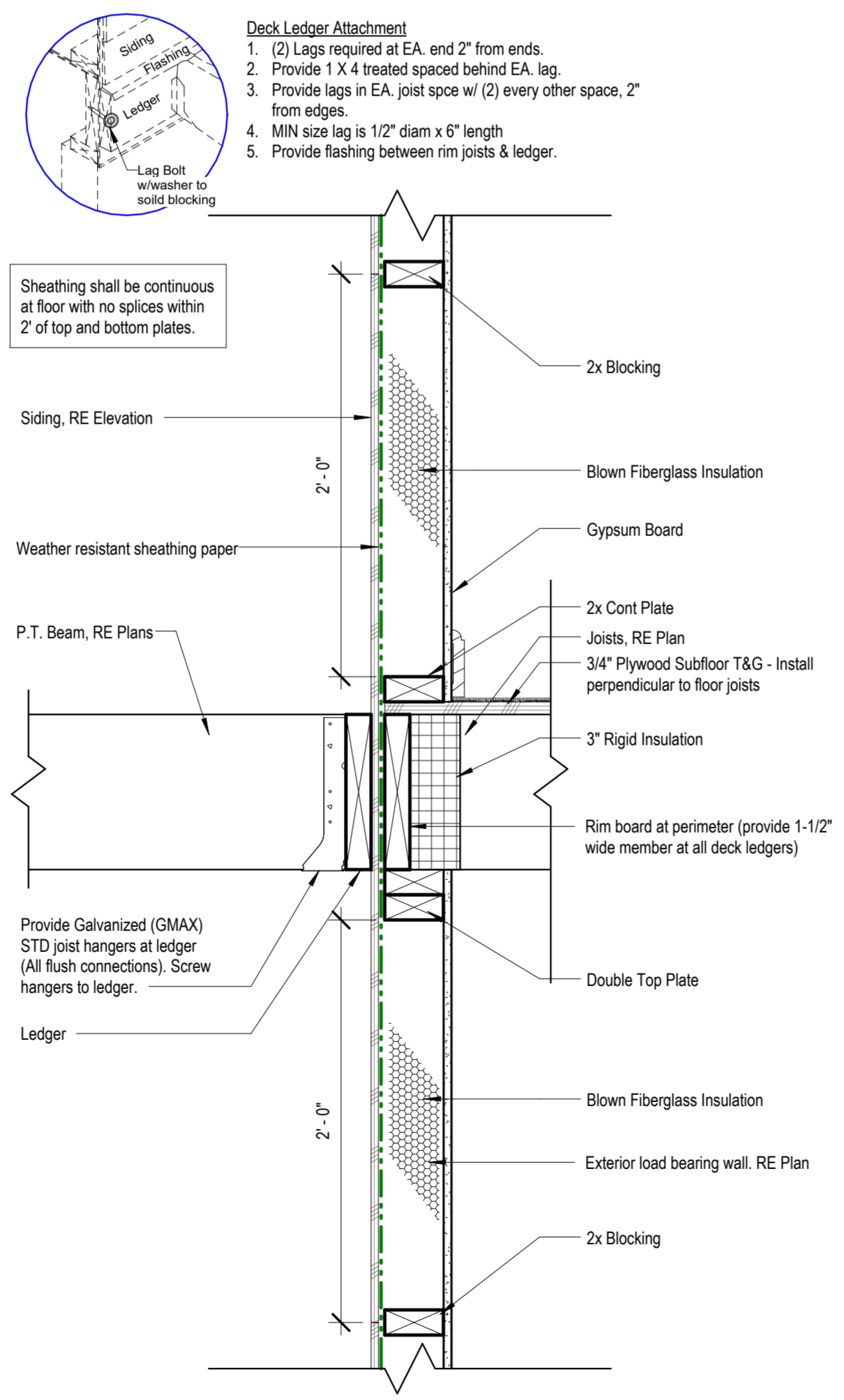
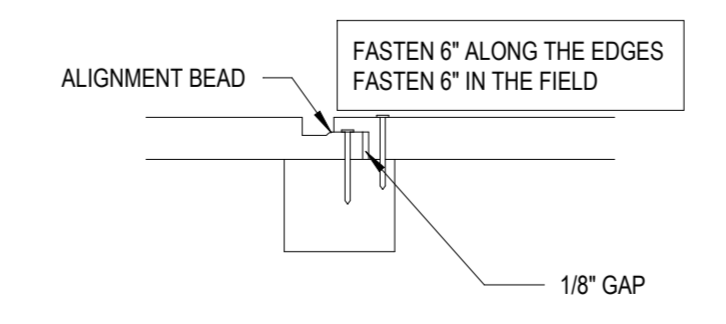
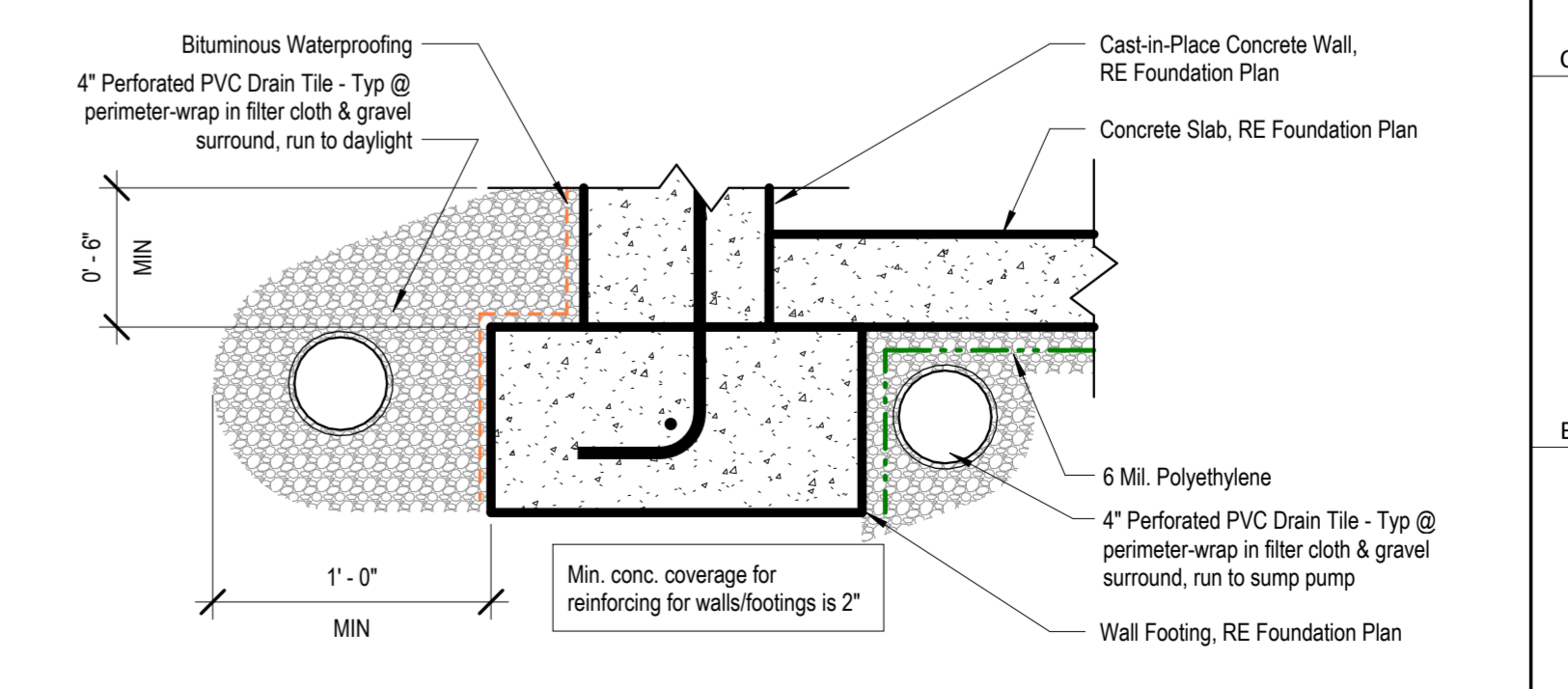
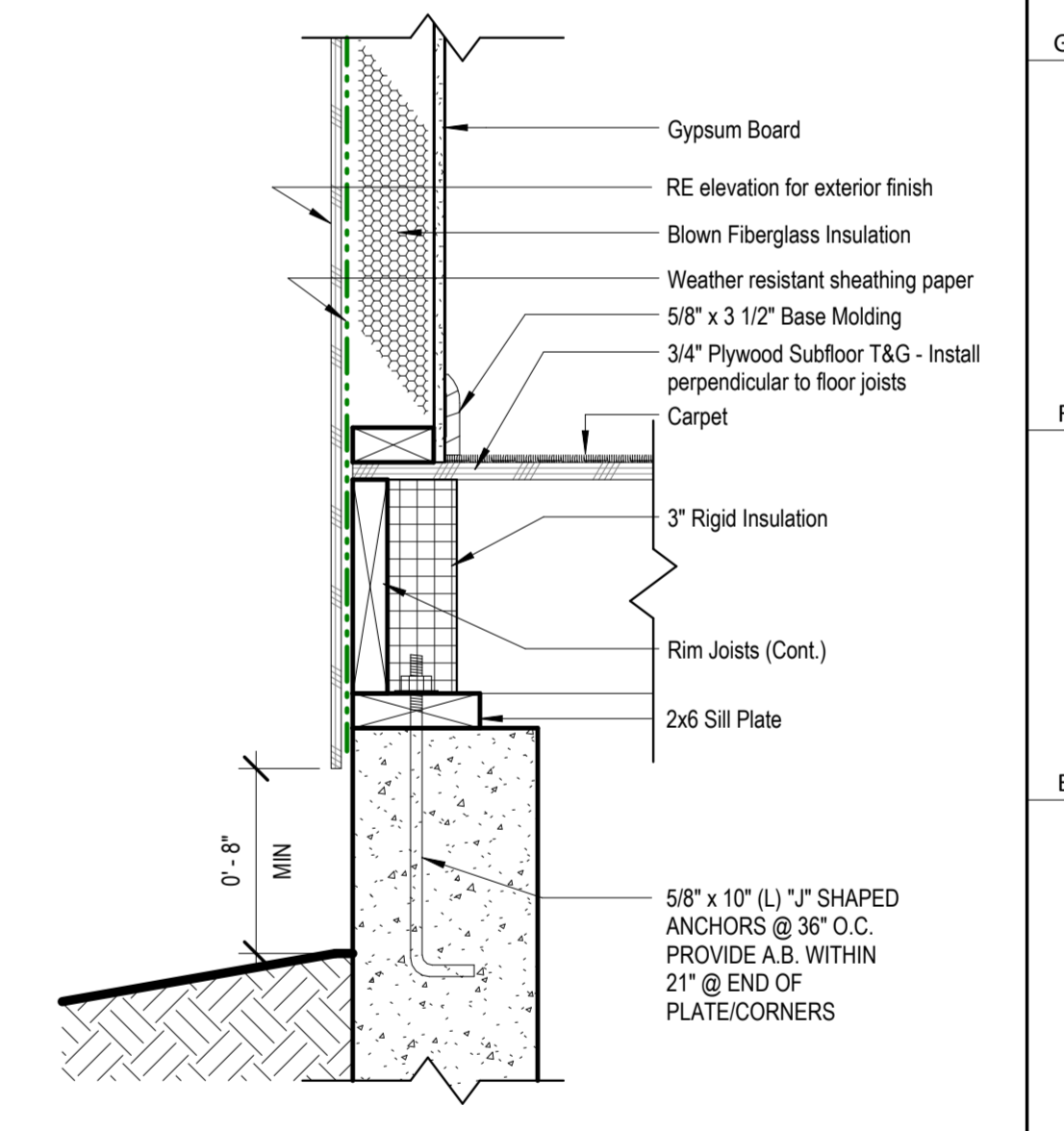
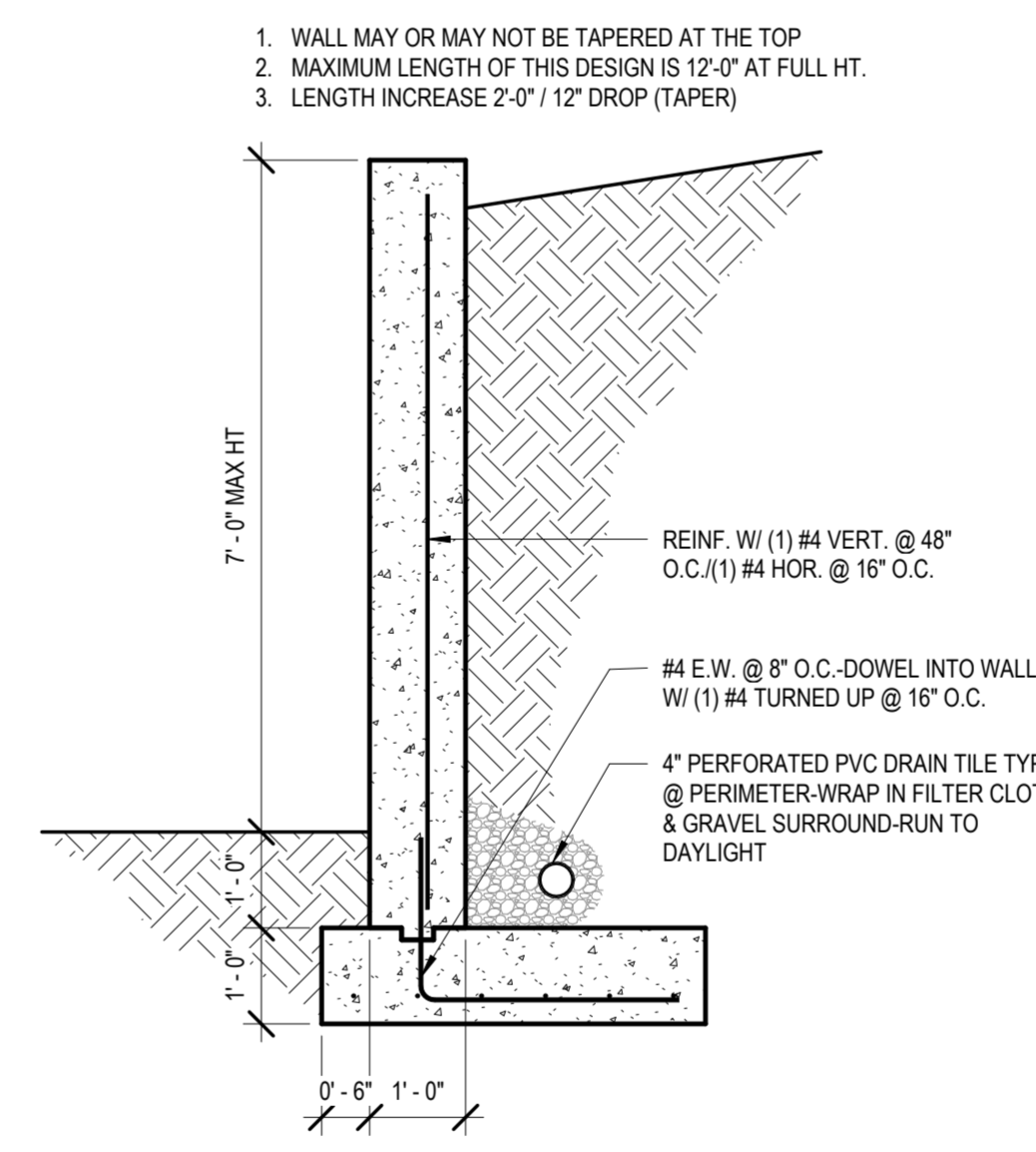
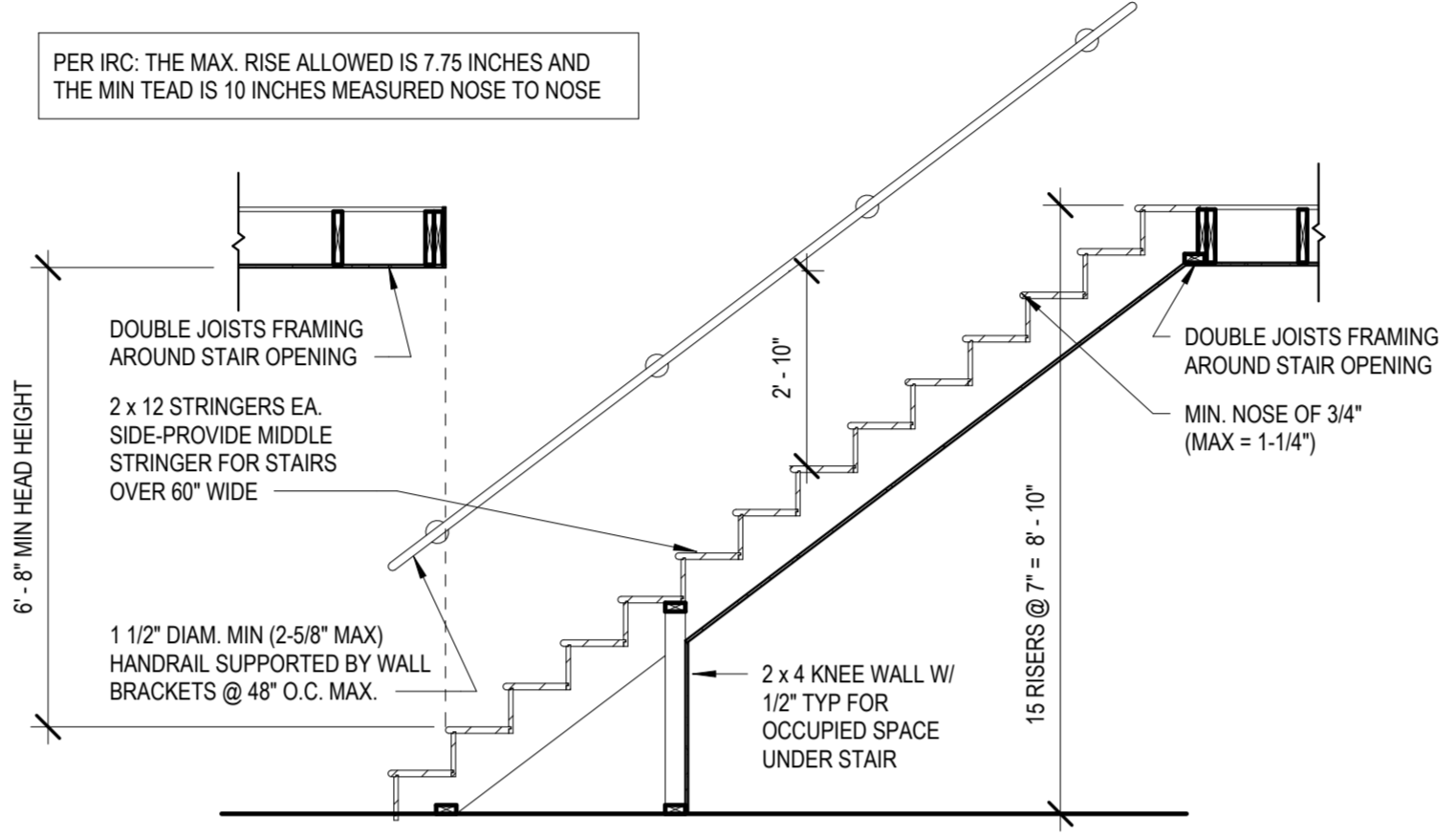
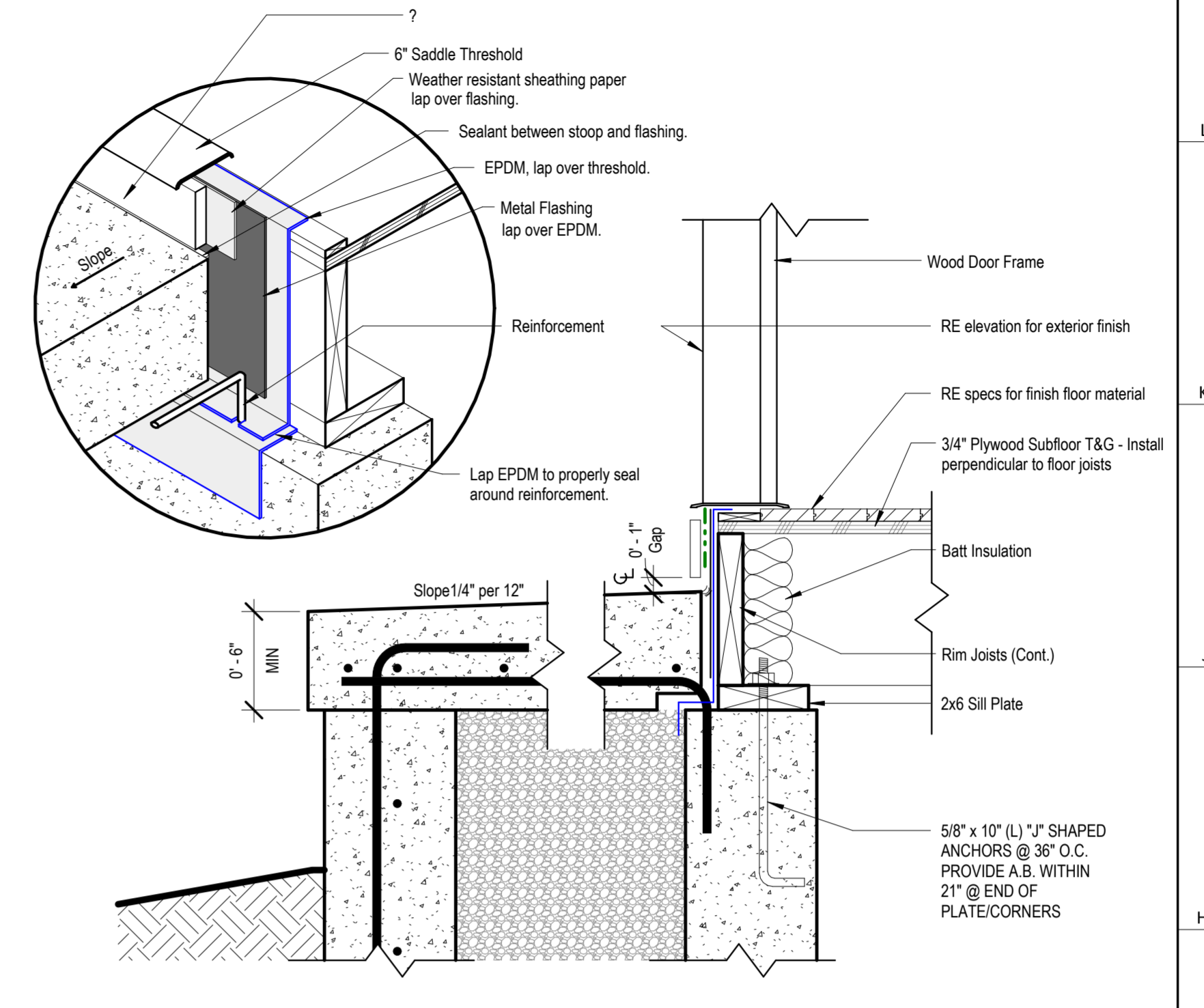
REVISIONS

Number	DESCRIPTION	DATE

Details

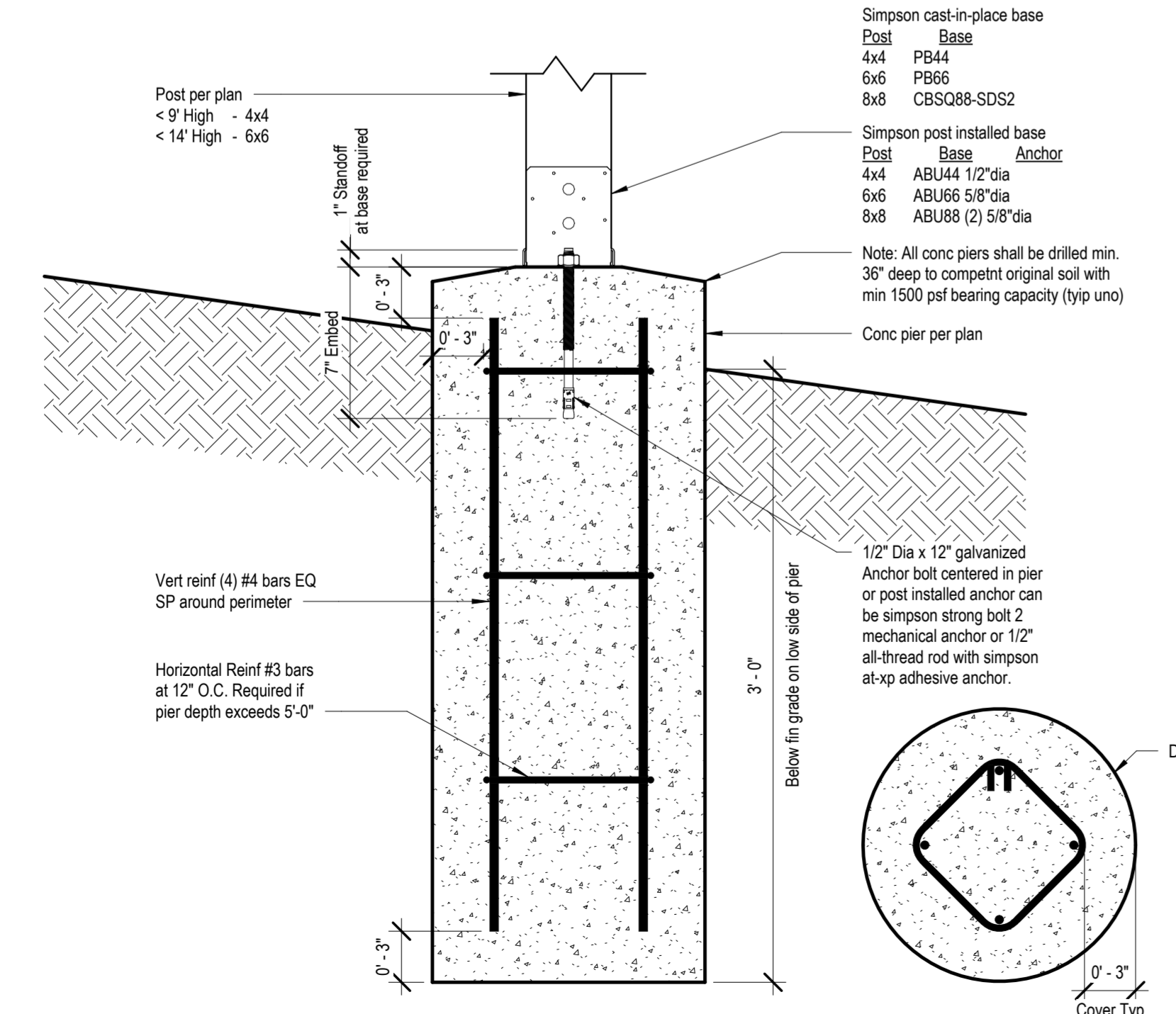
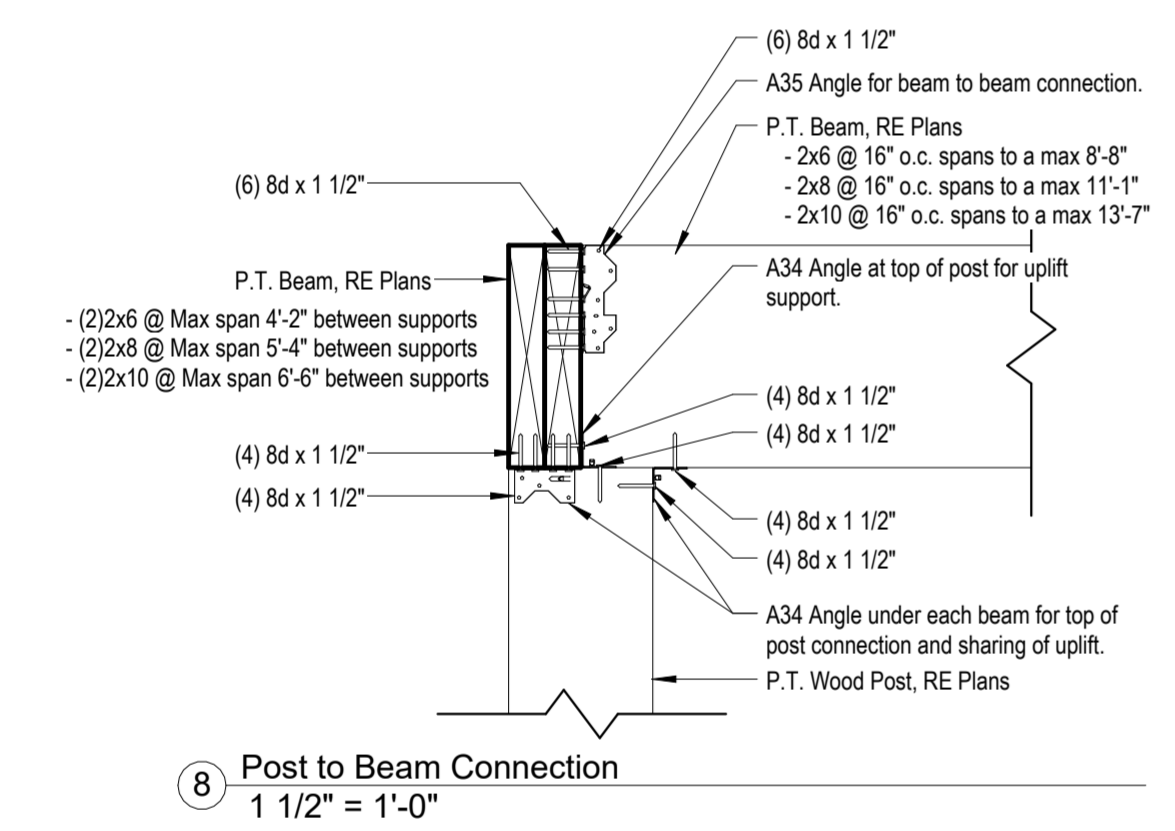
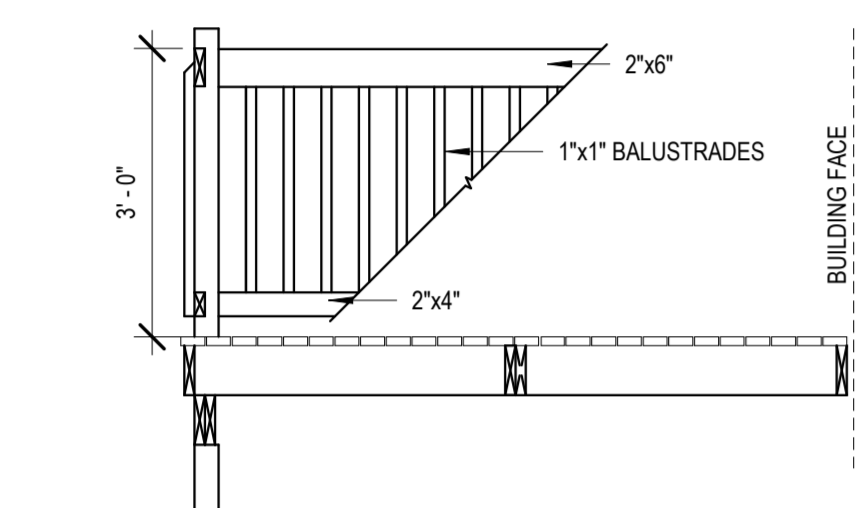
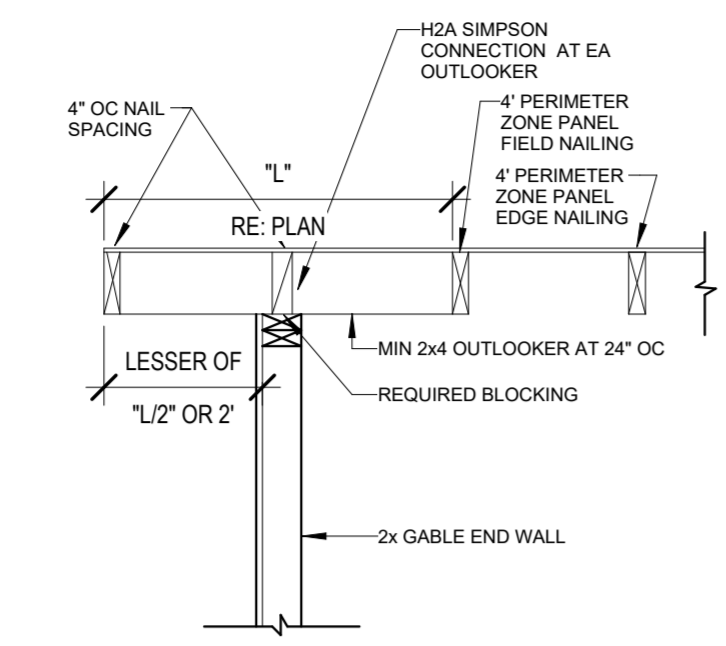
A5

Project No. Project Number
RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
05/17/2024 4:58:19



Rafter Furr Down Requirments
1" = 1'-0"

FURR OUT SCHEDULE		
RAFTER SIZE	R-30C INSULATION ("x" = 9 1/4")	R-38C INSULATION ("x" = 11 1/4")
2x6	2x6	2x8
2x8	2x6	2x8
2x10	NOT REQUIRED	2x8
2x12	NOT REQUIRED	NOT REQUIRED



15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

L
K
J
H
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F
E
D
C
B
A

