

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

04/24/2024

Digitally signed by
Brandon Kalwei
DN: CN=Brandon Kalwei,
OU=Development,
OU=LS Users,
DC=COLS, DC=LOC
Date: 2024.04.24
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Brandon Kalwei

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05/10/2024

BUILDING CODE & DESIGN REQUIREMENTS

Tenant Identification:	Existing Multi-Level Home, Replacement In Kind Of Existing Multi Level Deck With Modifications To Meet Current Code.
Applicable Building Codes:	2018 International Residential Code, 2018 International Mechanical Code, 2012 International Plumbing Code, 2018 Life Safety Code, 2018 International Fire Code, 2006 National Electrical Code, And ANSI A117.1-2006 As Amended And Adopted By The City Of Lee's Summit, Missouri Per The Date Of This Submittal.
Occupancy Type:	B (Office Commercial)
Building Construction Type:	Type 5B
Areas	
Gross Building Area	2,025 Gross Sq. Ft.
Roof Construction	0-Hour (Greater than 30' Separation)
Interior Finish Ratings	Class "B" For Enclosed Spaces
Sprinklers	Building Not Sprinklered
Scope Of Work	Remove Existing Wall To Allow Both Sided Of The Existing Structure To Combine Into One Office. Provide Temporary Supports For Existing Structural Support As Needed & Dispose Of Existing Wall Wood Structure And Sheet Rock As Required Per Local Building Codes. Install New Header And Support Columns At Each End As Shown In Adjacent Details. Sand, Paint To Match Existing And Alter Flooring As Required.

Architecture Graphics
Management & Planning

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Roy Browne Architect of Record

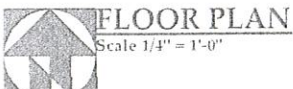
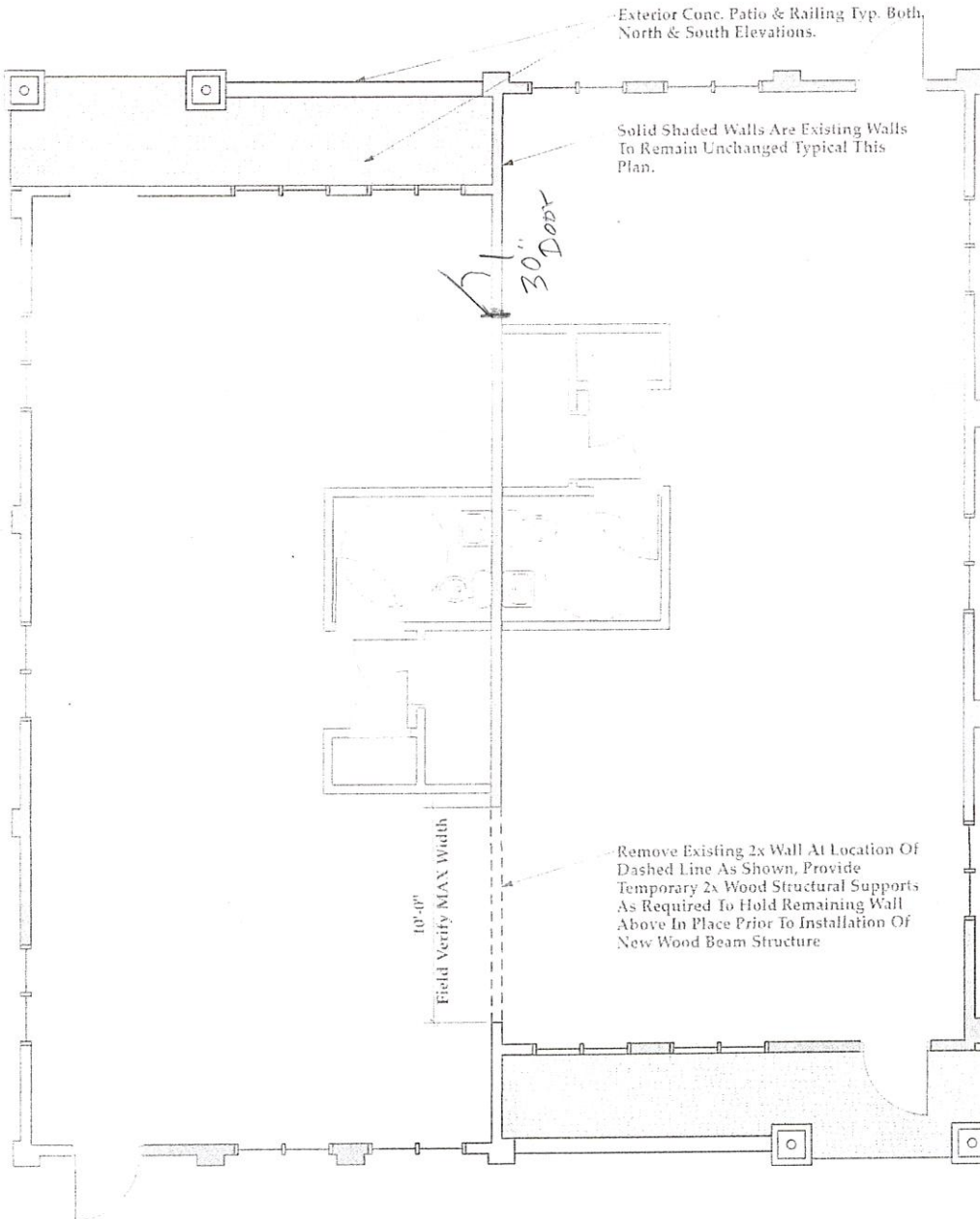
INTERIOR ALTERATION FOR
408-412 SE Third Street
Lee's Summit, MO

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- 1 Date
- 2 REVISION
- 3 REVISION
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- 5 REVISION



GENERAL NOTES

1. Prior To The Issuance Of A Building Permit, The Application Shall Have Evidence Of Current Workers' Compensation Insurance Coverage On File With The Department In Compliance With The Local Labor Code.
2. After Obtaining Permit And Before Commencing With The Work, The General Contractor Shall Show Evidence Of All The Insurance Requirements.
3. All Required Permits Must Be Obtained From The Required Governing Agencies Before Buildings Are Occupied.
4. The Contractor Shall Be Responsible For And Obtain All Permits And Licenses And Pay Required Fees.
5. Contractor Shall Be Familiar With All Building Owner, Requirement, And Shall Be Responsible For Compliance With The Same. Contractor Shall Investigate Local Codes And Procedures And Shall Comply With All Requirements.
6. Contractor Shall Meet With Building Owner Before Construction Commences.
7. Do Not Scale Drawings. Written Dimensions Take Precedence Over Scaled Drawings.
8. A Copy Of Final Approved Plans Must Be On Site During Construction.
9. Inspect Site, Verify Field Dimensions Before Commencing Construction. Notify Owner And Architect Immediately If There Are Any Significant Discrepancies.
10. Dimensions Shown On Plans Are To Face Of Exterior Masonry, Concrete Column Or Grid Lines And Face Of Gyp. Bd. Unless Otherwise Noted Or Detailed.
11. Contractor Shall, In The Work Of All Trades, Perform Any And All Cutting, Patching, Repairing, Restoring And The Like Necessary To Complete The Work And To Restore Any Damaged Or Affected Surfaces Resulting From The Work Of This Contract To Their Original Condition To The Satisfaction Of Owner.
12. Should The Drawing Disagree With Themselves Or With The Specifications Or Should The Specifications Disagree With Themselves, The Better Quality And/ Or Greater Quantity Of Work Or Materials Shall Be Estimated Upon And Unless Otherwise Ordered In Writing Shall Be Furnished And Installed.
13. No Substitutions Are Permitted Without Owner's And Architects Review And Written Approval.
14. If Any Error Or Omission Appears In Contract Documents, Contractor Shall Notify Owner And Architect In Writing Soon After Discovery.
15. The General Contractor Shall Be Responsible For The Timing And Delivery All Specified Items Materials, Equipment, Tools, And All Other Items To The Site To Be Utilized On Time And In Full. Contractor Shall Notify The Owner In Writing Within 10 Days Of The Failure To Deliver Specified Items That May Not Be Available. Available If Notification Is Not Received 10 Days Prior, The Contractor Accepts Responsibility For The Proper Ordering and Follow-up Of Specified Items And Will Permit Whatever Means Necessary At No Additional Cost To The Owner, Insure Availability Of All Specified Items So As Not To Create A Hardship On The Owner And Not Delay Progress Of The Work. No Extension Of Time The The Contract Will Be Allowed.
16. All Exterior Wall Openings, Flashings, Counter Flashings, Coping And Expansion Joints Shall Be Waterproof.
17. Each Sub-Contractor Shall Leave The Site In A Neat, Clean And Orderly Condition Upon The Conclusion Of His Work On A Daily Basis. All Waste, Rubbish And Excess Materials Shall Be Removed From The Site Promptly. The General Contractor Shall Be Responsible For Removal And Disposal Of All Trash, Including Owner Furnished Items And Trash Generated By Owners Contractors For The Duration Of The Project.
18. Safety All Conduct, Work Equipment And Materials Shall Be In Full Accordance With The Latest Safety Rules And Regulations Of All Authorities And Agencies Having Jurisdiction Over The Work.
19. Temporary Security Barriers Shall Be Provided As Required To Keep Protect The Public During All Phases Of Construction Until Job Is Completed.

Walls Of Existing Building To Remain In Place & Unmodified, Secure New Support Studs To Existing Wall As Required.

Dashed Line Indicates Location Of New Support & 5/8" Gyp. Bd. Above.

New 5/8" Sheet Rock Surrounding (2) New 2x Support Studs Screwed & Glued Together, Provide MTL Clip Angles To Support Structure Above.

1 NORTH STUD SUPPORT

Scale 1" = 1'-0"

Dashed Line Indicates Location Of New Support & 5/8" Gyp. Bd. Above.

New 5/8" Sheet Rock Surrounding (2) New 2x Support Studs Screwed & Glued Together, Provide MTL Clip Angles To Support Structure Above.

Secure New Column Studs To Existing Wall Structure

Exist. Wall To Remain.

2 SOUTH STUD SUPPORT

Scale 1" = 1'-0"

Cont. 2x Secured To Roof Trusses Or Other Structure Above, W/ 5/8" Sheet Rock Ea. Side, Tape, Sand Smooth & Paint To Match Existing Walls.

Exist. 5/8" Sheet Rock Secured To Roof Trusses Above.

2x's # 6"nc. Typ. Studs Above New Beam, Provide Double Studs To Attached To Existing Structure To Remain Each End.

New 2x 10's Cont. To Double Support Studs At Ea. End. Provide (3) Pieces Of Ply Wd. Or 2x Wood Blocking 18" Long, Equally Spaced Between 2 x 10's Secured To Both Sides Screwed And Glued To Both Sides.

New 5/8" Sheet Rock Taped Sanded And Painted To Match Surrounding Surfaces, Provide New MTL Corner Edge Trim On All Exposed Corners (not shown)

New 5/8" Sheet Rock Surrounding (4) New 2x Beam Screwed & Glued Together.

3 HEADER SECTION

Scale 1" = 1'-0"

2x Studs @ 16"nc. Typ. To Structure Above

Spacers Between 2x10's, Screwed & Glued To Both Sides Typ. Or (3)

New 2x Support Studs Typ. Ea. End.

Existing Building Demising Wall Between Units.

SECTION

Dash Line Denotes Location Of New Header Above

PLAN

Shaded Area Denotes Exist. Structure To Remain Unchanged.

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