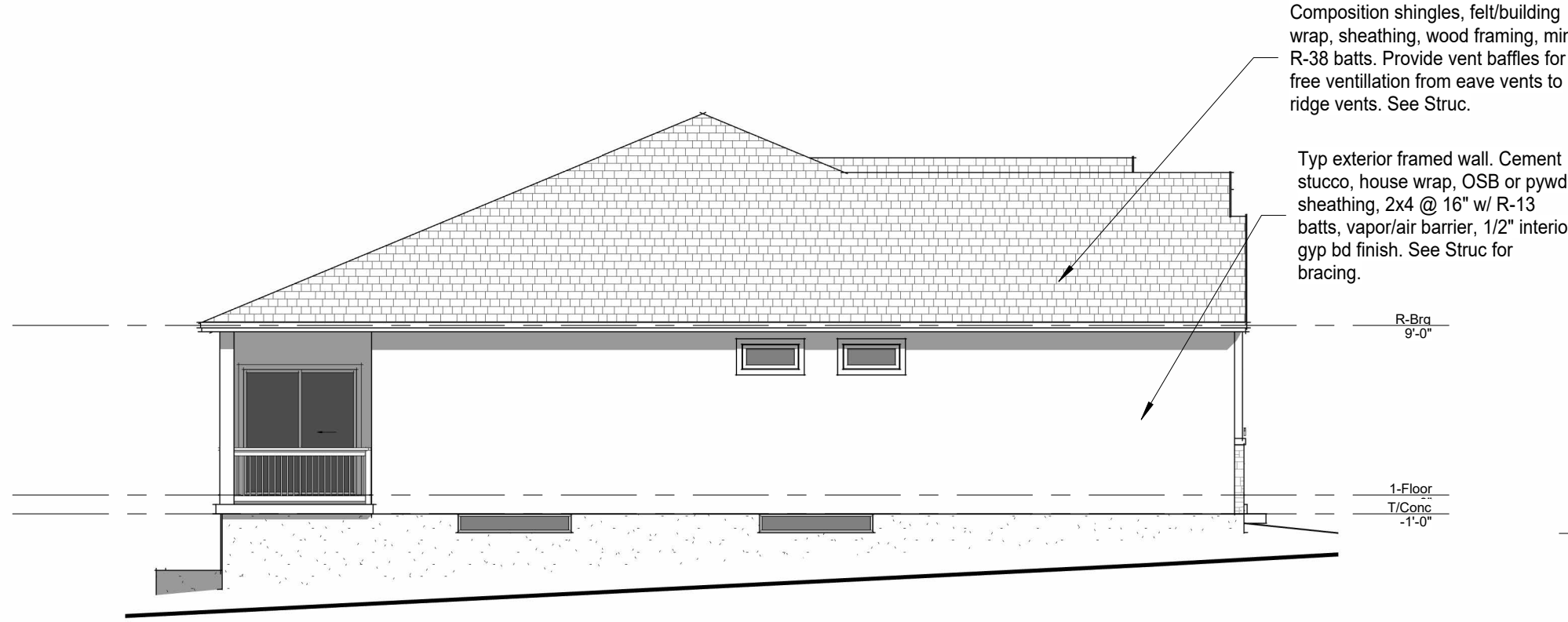






2 Left Side Elevation

1/8" = 1'-0"



1 Front Elevation

1/4" = 1'-0"



Exterior Elevation Notes

1. Hold finish grade min 6" below bottom of wood siding, trim, and framing.
2. See Floor Plans for window sizes.
3. See Roof Plan for roof slopes.

3 Rear Elevation

1/8" = 1'-0"

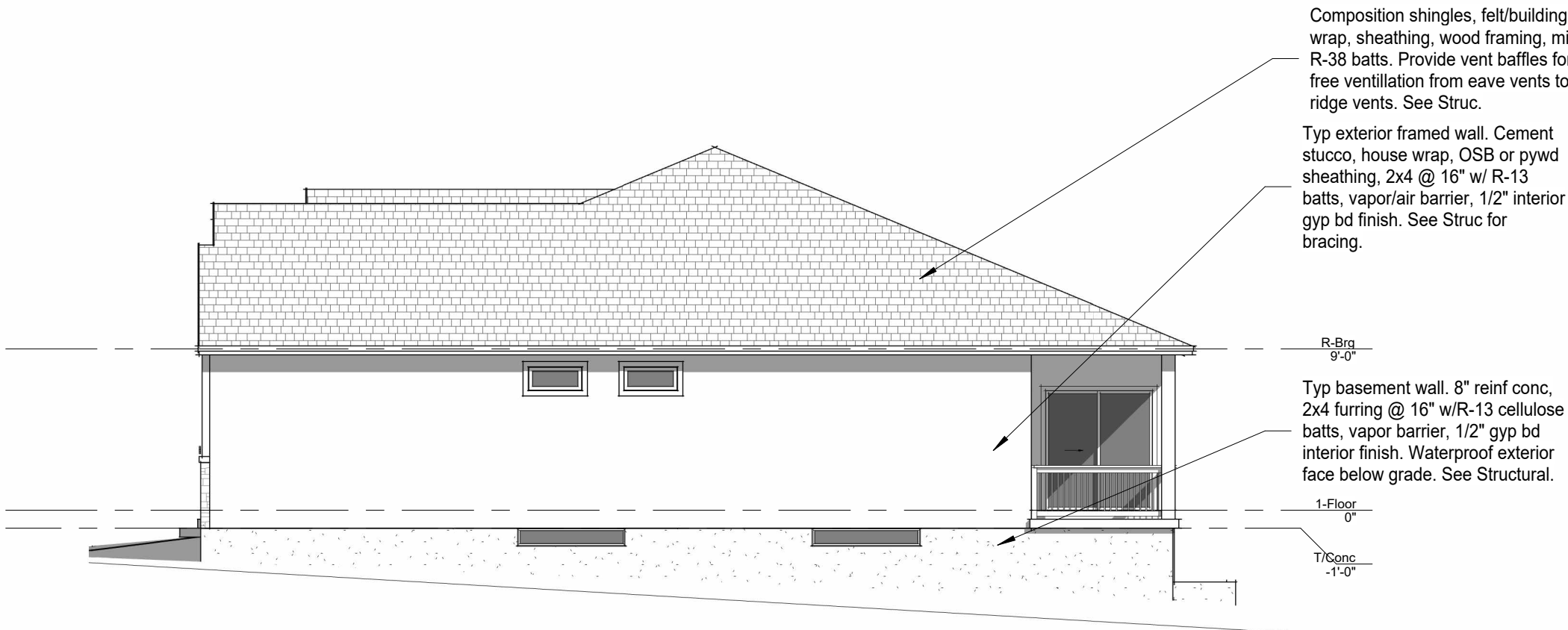
Note:

1. Hold finish grade min 6" below bottom of siding or wood framing.



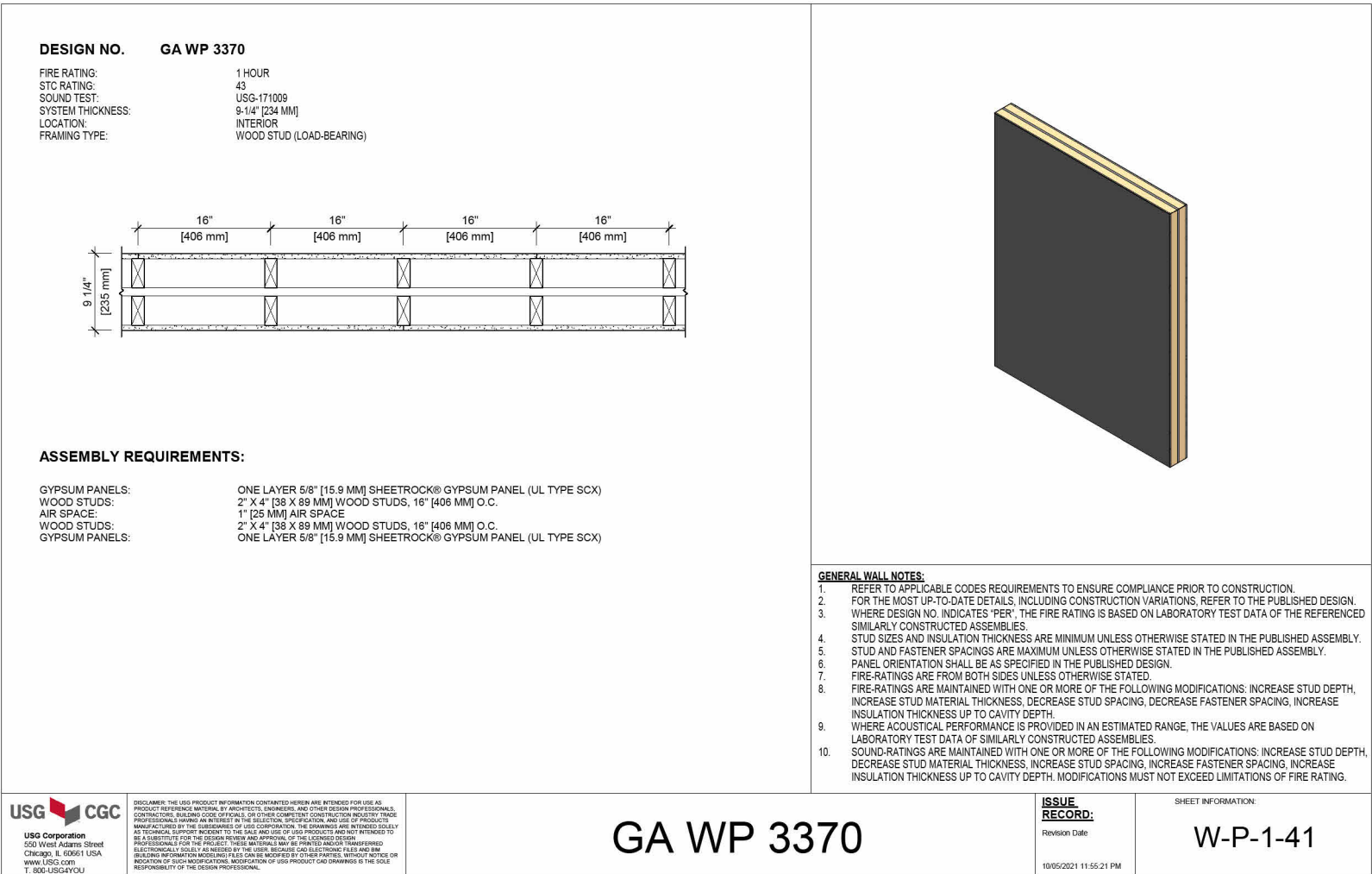
4 Right Side Elevation

1/8" = 1'-0"



5 Party Wall

12" = 1'-0"



BILL FOWLER ARCHITECT

3601 W 122nd Terrace, Leawood, KS 66209  
913.908.5393 / BFWFOWLER@GMAIL.COM

N.C.A.R.B.  
National Council Architectural Registration Boards



2/22/24

Project:

Twin Villa

Woodland Glen Lot 55

Location:  
1454 / 1456 SW Winthrop Ter, Lee's Summit, MO

Exclusively for:

John Duggan  
(913) 498-3536 / jduggan@kc-dsdlaw.com

BFA No:

TWIN-WG55

Sheet Name:

Elevations

Sheet No:

A11

PERMIT SET

Date:

2/22/24

Current Revision Date:



Area Summary per Unit

Covered Patio	
64 SF	1-Floor
64 SF	
Covered Porch	
37 SF	1-Floor
37 SF	
Finished	
976 SF	0-Floor
1,311 SF	1-Floor
2,287 SF	
Garage	
452 SF	1-Floor
452 SF	
Storage	
788 SF	0-Floor
788 SF	
3,627 SF	

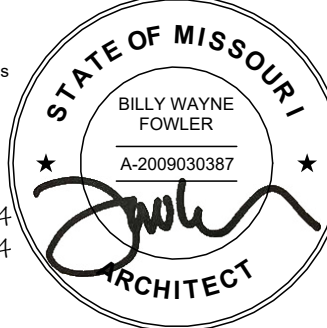
Floor Plan Notes

- Unless noted otherwise, exterior wall dimensions are to face of stud or concrete. Interior wall dimensions are to face of finish. Wall thickness dimensions are nominal. Coordinate precision with abutting elements.
- Window and door tags indicate sash or leaf sizes. Example: 3068 = 3'-0" x 6'-8". Tag suffix as follows: C = Casement, F = Fixed, DH = Double-hung, SH = Single-hung, T = Transom, E = Egress, S = Slider. See Elevations for window and door types.
- Field verify all existing conditions relevant to the work.
- Loose furnishings, if shown, are by Owner.
- Mechanical and electrical designs are by design-build contractors who are responsible for coordinating with Owner's requirements and code conformance.
- All sleeping rooms shall have at least one egress window per IRC R310. See Project Notes and Window Schedule.
- Fire resistant construction, if required, shall comply with IRC R302. See Project Notes.
- Safety glazing, where required, shall comply with IRC R308.
- Garage floor slab shall comply with IRC R309.
- Emergency egress paths such as floors and landings at exterior doors, stairs, and hallways shall comply with IRC R311.
- Where window sills are 24" or lower, provide window fall protection per IRC R312.
- Refer to IRC R317 for preservative treated wood requirements.
- Refer to IRC R318 for termite protection requirements.
- Provide smoke detector, hard-wired and interconnected, in each sleeping room per IRC 314.
- Provide combination smoke/carbon monoxide detector, hard-wired and interconnected, outside each group of sleeping rooms and inside the interior garage door per IRC 315.

BILL FOWLER ARCHITECT

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NCARB  
National Council Architectural Registration Boards



2/22/24  
3/20/24

Project:

Twin Villa

Woodland Glen Lot 55

Location:  
1454 / 1456 SW Winthrop Ter, Lee's Summit, MO

Exclusively for:  
John Duggan  
(913) 498-3536 / jduggan@kc-dsdlaw.com  
BFA No:

TWIN-WG55

Sheet Name:

Basement Plan

Sheet No:

A21

PERMIT SET

Date:  
2/22/24

Current Revision Date:  
3/20/24

Plan North



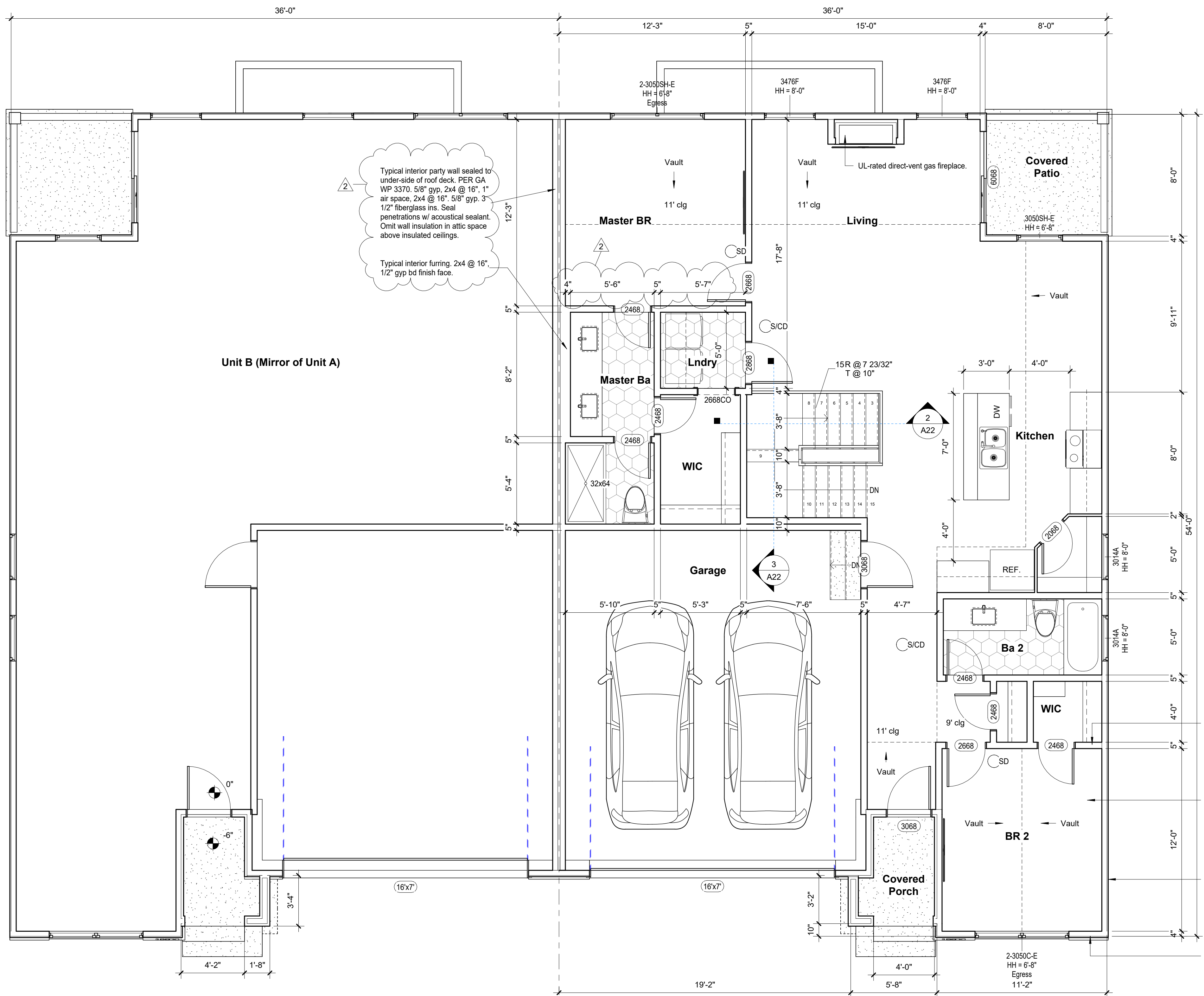
1 Basement Floor Plan

1/4" = 1'-0"

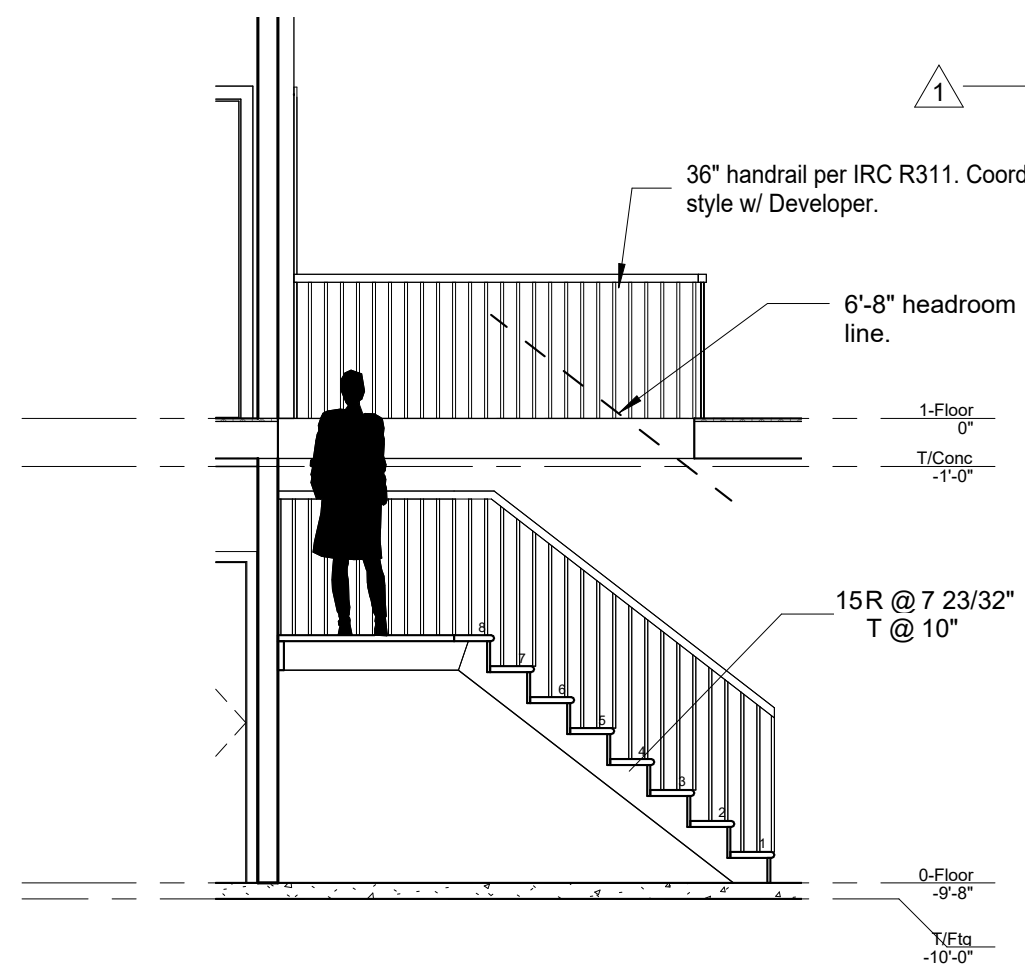
RELEASE FOR CONSTRUCTION  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES

05/09/2024

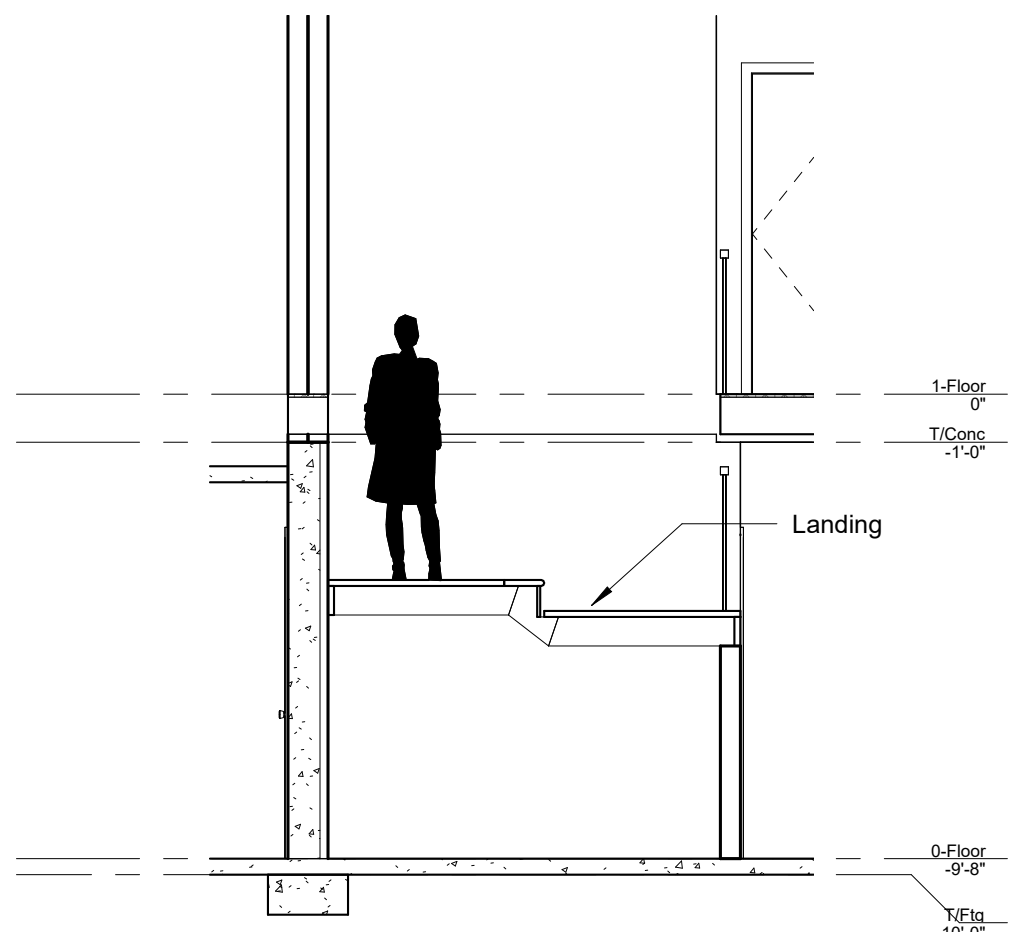
LEE'S SUMMIT, MISSOURI 5/9/2024 8:58:16 AM Y:\BFA\Projects\Duggan\WG Twin Villas\WG55\Twin WG55.rvt



Plan North  
**1** First Floor Plan  
1/4" = 1'-0"



**2** Stair Headroom  
1/4" = 1'-0"



**3** Stair Landing  
1/4" = 1'-0"

## Area Summary per Unit

Covered Patio	64 SF	1-Floor
Covered Porch	37 SF	1-Floor
Finished	976 SF	0-Floor
	1,311 SF	1-Floor
	2,287 SF	
Garage	452 SF	1-Floor
Storage	788 SF	0-Floor
	788 SF	
	3,627 SF	

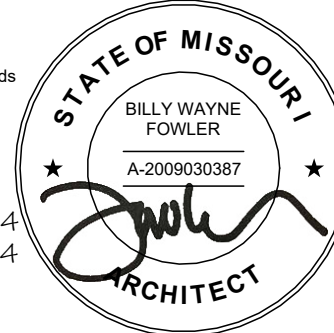
## Floor Plan Notes

- Unless noted otherwise, exterior wall dimensions are to face of stud or concrete. Interior wall dimensions are to face of finish. Wall thickness dimensions are nominal. Coordinate precision with abutting elements.
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- Provide combination smoke/carbon monoxide detector, hard-wired and interconnected, outside each group of sleeping rooms and inside the interior garage door per IRC 315.

## BILL FOWLER ARCHITECT

3601 W 122nd Terrace, Leeswood, KS 66209  
913.908.5385 / BFWFOWLER@ME.COM

**NCAARB**  
National Council Architectural Registration Boards



Project:

**Twin Villa**

**Woodland Glen Lot 55**

Location:  
1454 / 1456 SW Winthrop Ter, Lee's Summit, MO

Exclusively for:  
John Duggan  
(913) 498-3536 / jduggan@kc-dslaw.com  
BFA No:

**TWIN-WG55**

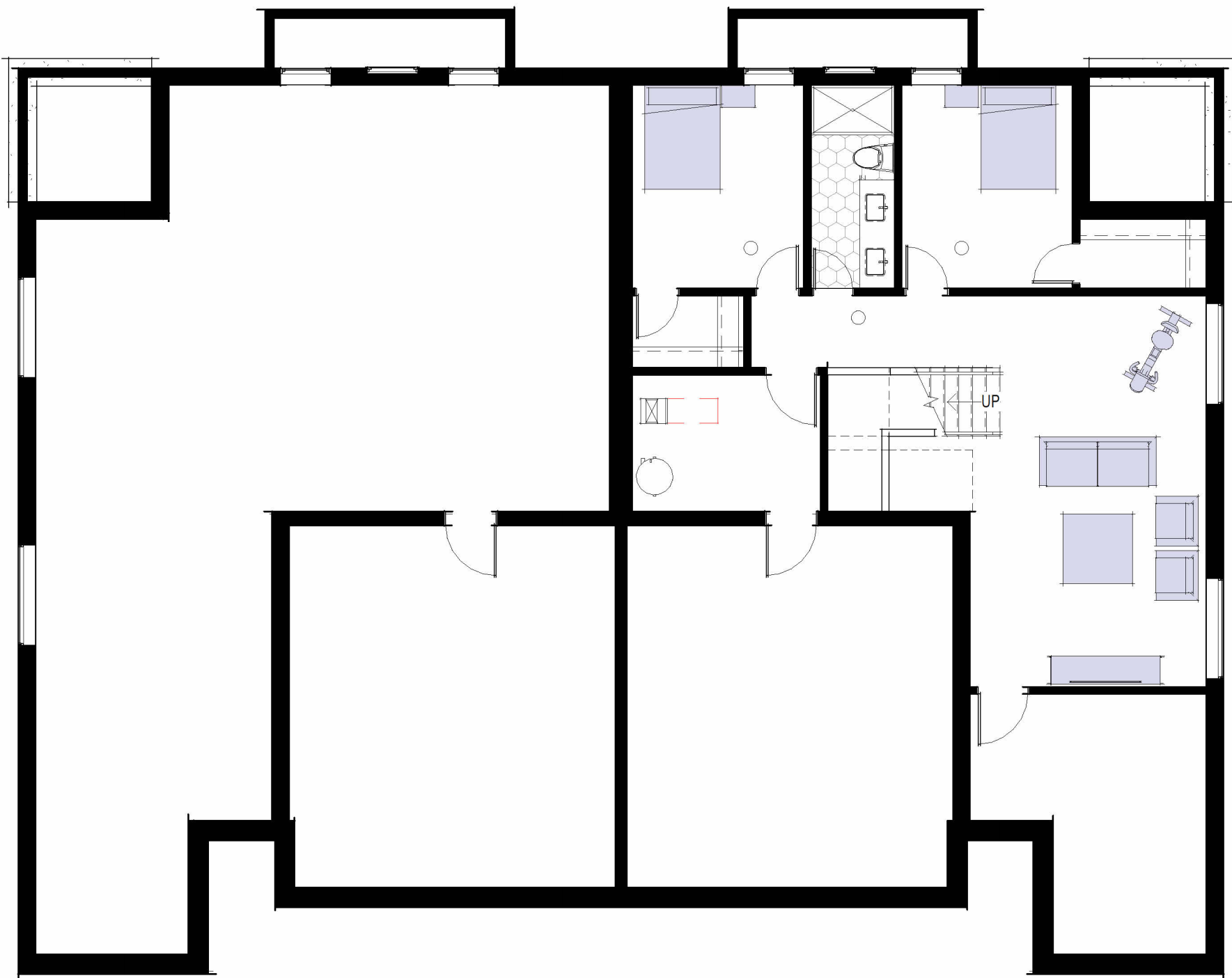
Sheet Name:  
**First Floor Plan**

Sheet No: **A22** Date: **2/22/24**

Current Revision Date:  
**5/9/24**

**PERMIT SET**



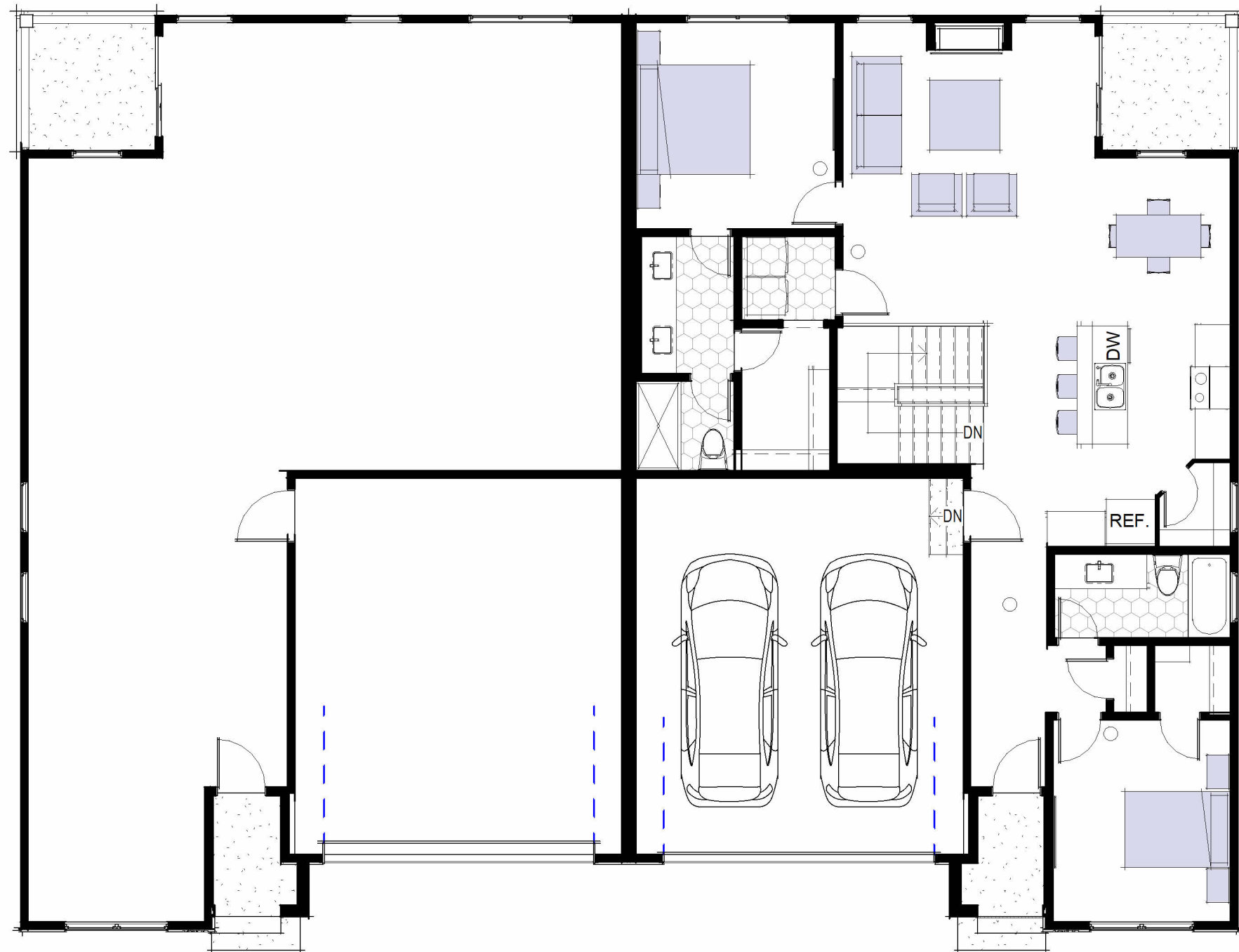


Plan North



## 1 Basement Floor Plan

1/8" = 1'-0"



Plan North



## 2 First Floor Plan

1/8" = 1'-0"

### Furnishing Plan Notes

1. Loose furnishings are by others - not in contract.
2. Furnishing layout is preliminary and must be coordinated with Developer.
3. Furnishing layout is provided as a suggestion to aid in locating electrical and media outlets.

### BILL FOWLER ARCHITECT

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2/22/24

Project:

**Twin Villa**

**Woodland Glen Lot 55**

Location:

1454 / 1456 SW Winthrop Ter, Lee's Summit, MO

Exclusively for:

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BFA No:

**TWIN-WG55**

Sheet Name:

**Furnishing Plans**

Sheet No:

**A23**

Date:

**2/22/24**

Current Revision Date:

PERMIT SET