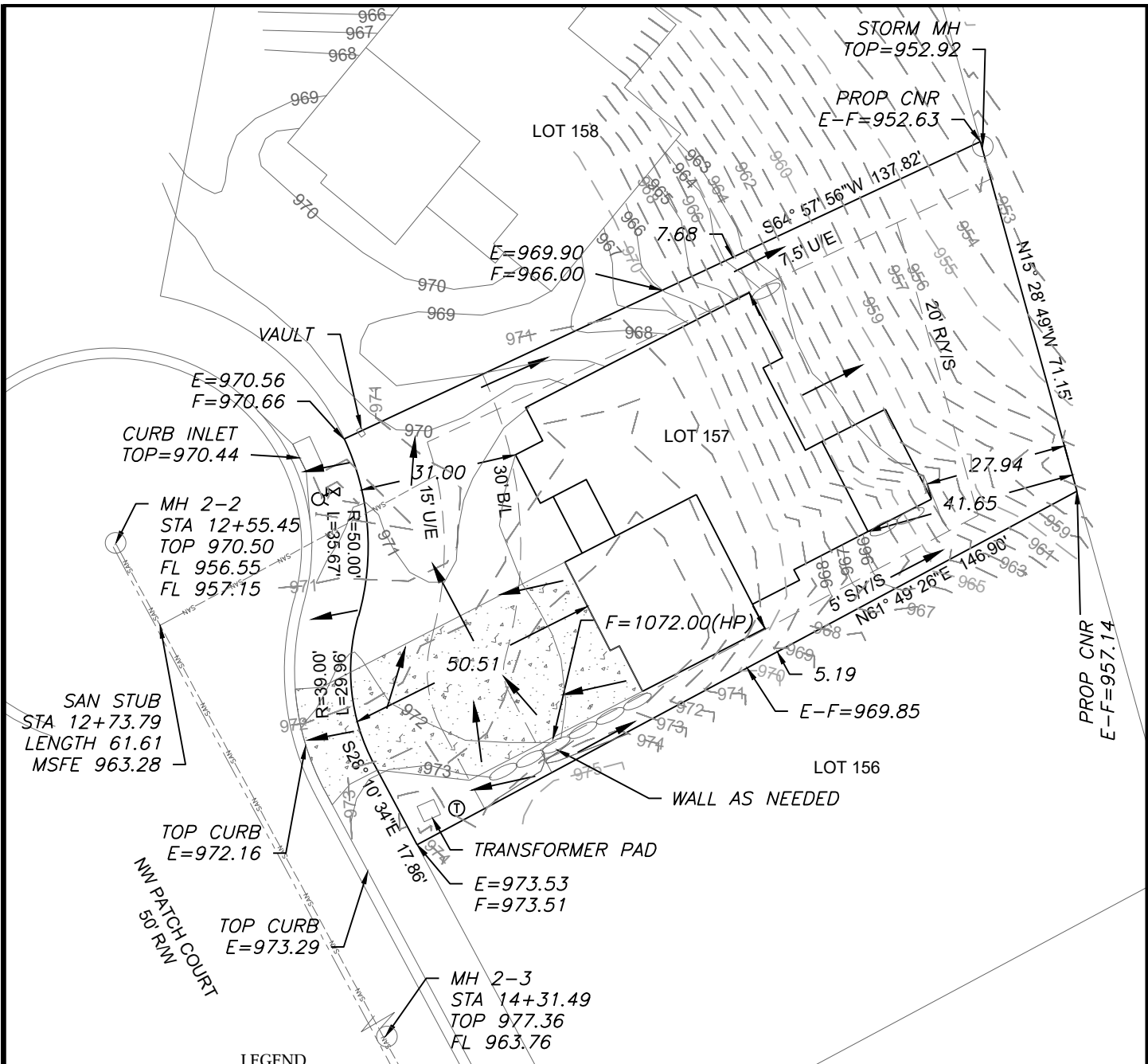




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

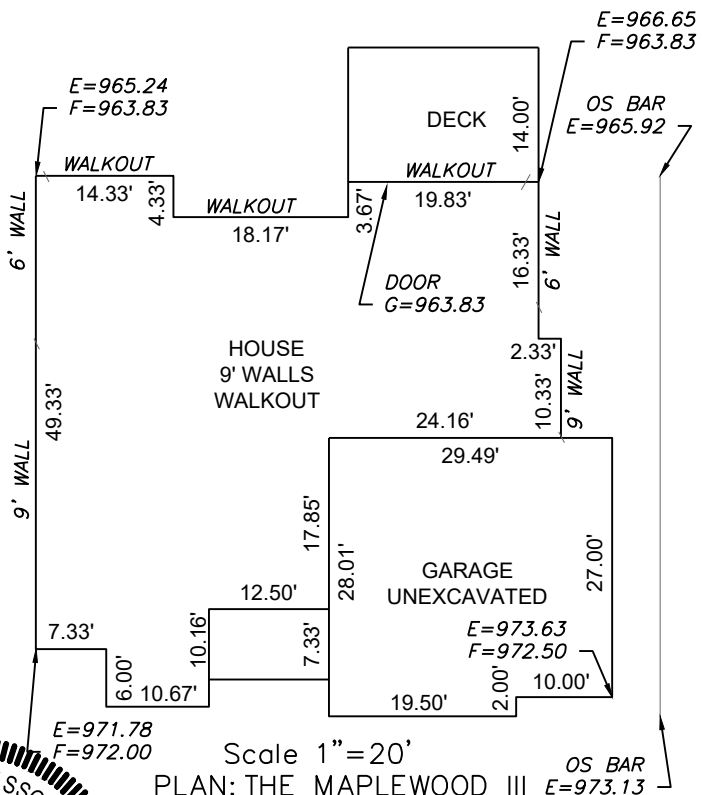
PROPOSED HOUSE

TOP FOUNDATION = 973.00
GARAGE FLOOR = 972.50
TOP FOOTING = 964.00
BASEMENT FLOOR = 964.33

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

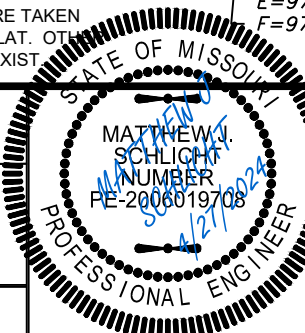
- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



LOT INFORMATION

10,706 SQ. FT.
REAR LEFT MBOE=953.53
REAR RIGHT MBOE=957.42
MSFE= 963.28
ADDRESS
369 NW PATCH COURT
LEGAL DESCRIPTION
LOT 157, WOODSIDE RIDGE 2ND PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
WWW.ENGINEERING SOLUTIONS KCC.COM



PLOT PLAN - LOT 157

WOODSIDE RIDGE 2ND PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

JPE CONSTRUCTION, INC.
1314 SW MARKET ST.
LEE'S SUMMIT, MO 64081

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 157, WOODSIDE RIDGE	2/13/24	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.