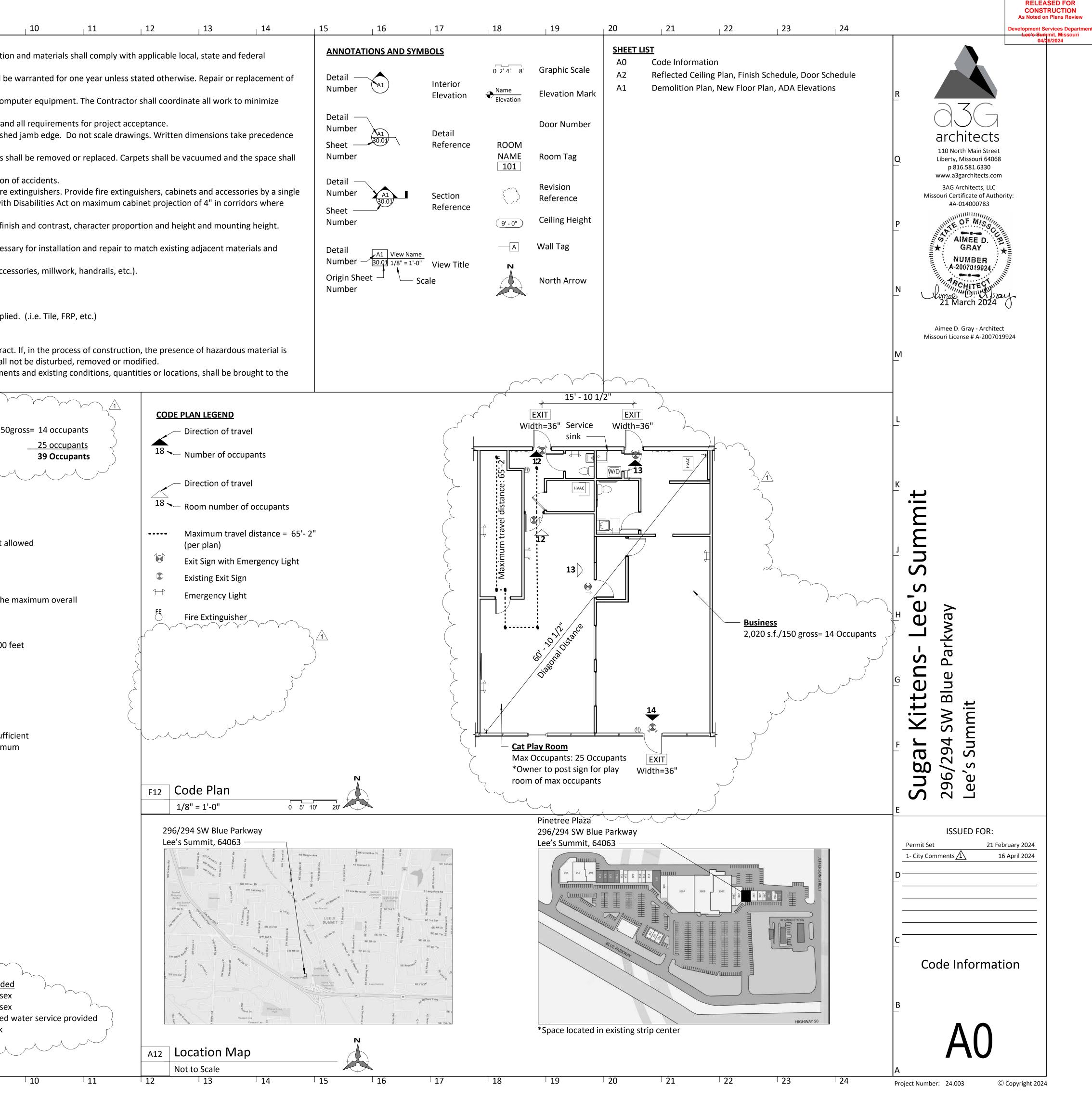
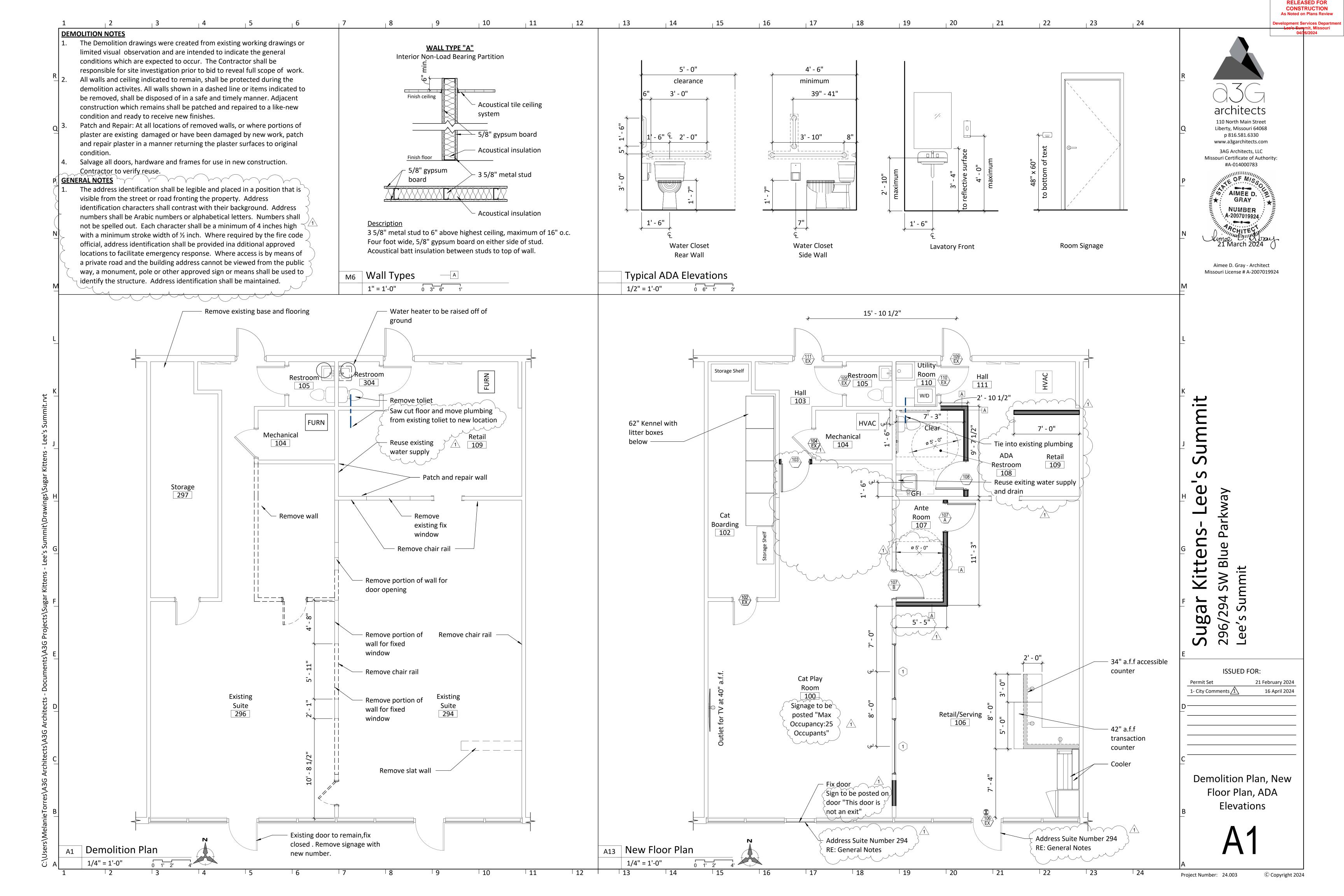
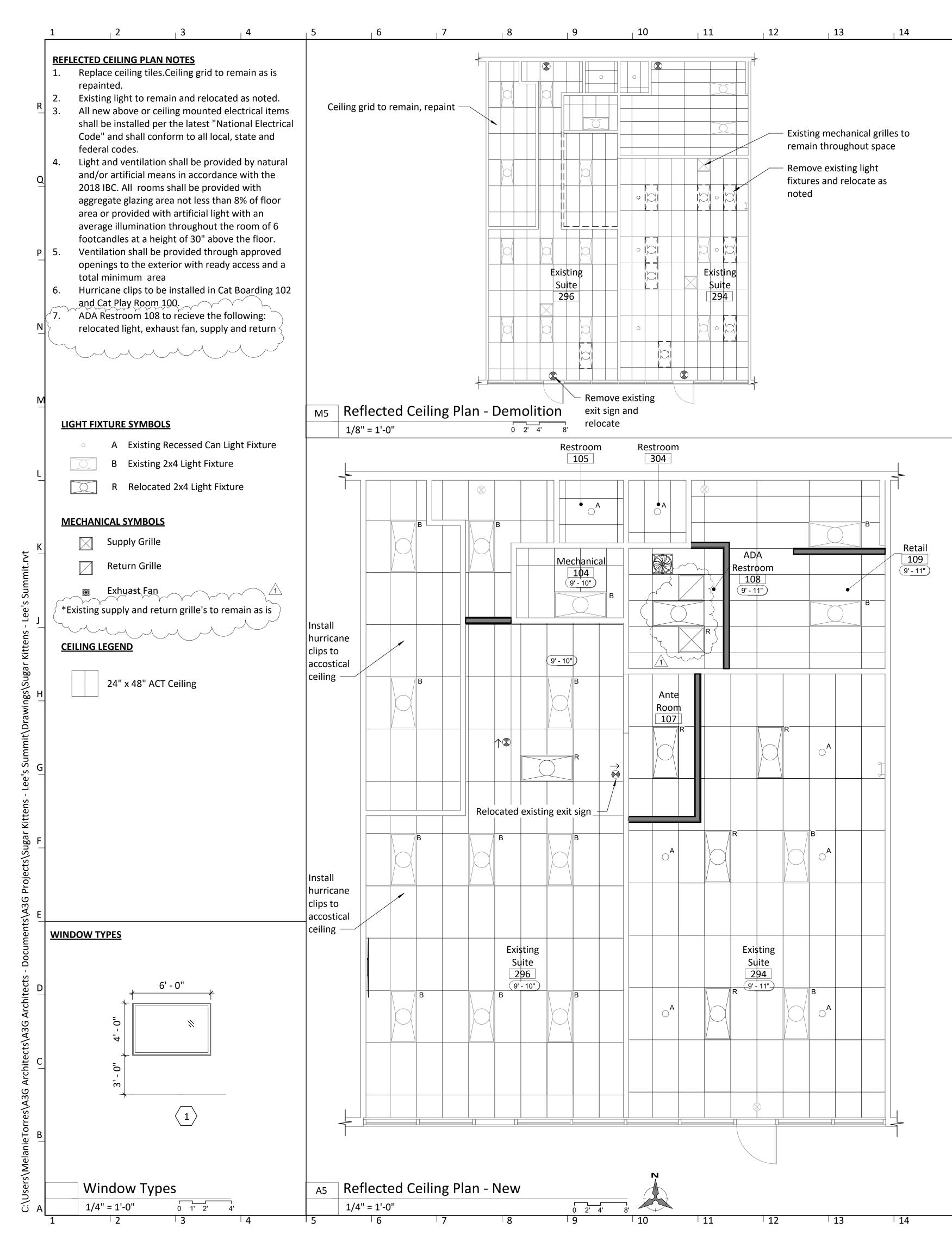
	1 2	3 4	5	6 7	8	9	
Γ	GENERAL NOTES						
	1. The Contractor shall be	e responsible for securing al	I necessary pern	nits, fees, approvals and	tests for the	work. All co	nstructio
	regulations/laws/code						
		in accordance with the high		-			rk will be
R		ny area affected by failure o ct separately for installation			-	-	and com
	interference with all p		or systems form		iture, uutur		
	-	ut, the Contractor shall coor	dinate with the	Owner, any tests, submit	ttal of As-Bu	ilt Document	tation an
	5. Dimensions on drawin	gs are from finish face to fin	hish face of wall o	or column. Dimensions fo	or door oper	nings are to t	he finishe
	over graphic represent						
Q		ork prior to final review. All	dust, splatters,	marks, scratches, debris a	and defectiv	e materials c	or parts s
	be in a move-in condit7. The Contractor shall contract or shall con	onduct all work in a safe and	timely manner	Provide and maintain al	Inecessary	wards for pr	ovention
		vide cabinets with fire extin	•			-	
	_	m to current fire code for fir	-		-	-	
	necessary.						
P		ing standard ADA approved				cters, pictog	rams, fin
	-	I list of room name and num			-	portion of w	
	10. Where new utilities (i. finishes.	e. power) is noted to be inst	aneu within exis	ting interior partition wa	lis, remove j		in neces:
		either fire treated wood or	steel straps, at a	ll items attached to wall	surface (i.e (door stops, to	oilet acce
	_	gh fire-rated assemblies are	-		-	1 /	
N		ion, the premises shall be clo					
	<i>·</i> · ·	ons that are extended to the		•			ha annli
		gypsum board as wall backin wood and plywood sheathin			resistant II	nisnes are to	be applie
		stat locations with owner pr	-				
м		Hazardous materials (asbest			lation are no	ot part of thi	s contrac
-	•	ed, the Owner shall be notifi	•		•		
		noroughly review all existing	conditions prior	r to construction. Any dis	crepancies k	between the	docume
_	Immediate attention c	of the Architect in writing.					
	GENERAL BUILDING INFORM	/ATION	ک	Means of Egress		\checkmark \checkmark	γ·γ
L		ar Kittens Cafe and Cattery		Occupant Load (1004.5):		
_		/294 SW Blue Parkway	\geq	Business:		2,020	Ds.f./ 150
		, 's Summit, 64063	\geq	<u>Cat Play Area Max Occu</u>	<u>ipants:</u>		
	<i>J</i> /1	ant Finish		Total Occupants:			
	-	of Lee's Summit, Missouri	\searrow				\mathbf{x}
К	Tenant Finish Area: 2,02	20 sf					, _
	Description of work						
	This project scope consists o	•		Number of Exits Requir	-	1006.3.2):	
	existing shell building to creat come to interact with cats the come to interact with cate the comparison of the compar	• •		2 exit required, 3 exits p	provided		
	must make an appointment	• •		Exit Travel Distance Tab	ole (1017.2):	Business - 20	00 feet al
J	time in the Cat Play area. The			Provided: 65'-2"			
	beverages and snacks.						
	Adopted Codes			Distance between Exits	•		
	2018 International Building (Areas without sprinkler Distance shall be not lea		half the long	th of tho
	2018 International Residenti			diagonal dimension of t		indir the leng	
H	2017 National Electrical Cod			Minimum distance allow		1/2" / 2 = 30	'-6''
	2018 International Fuel Gas 2018 International Mechanic						
	2018 Uniform Plumbing Cod			Common Path of Egress	• •	> or = 30 oc	c. = 100
	2018 International Existing B			Required:100'-0" Actua	l: 65'-2"		
G	2018 International Fire Code			Dead Ends (1020.4): Sh	all not exce	ed 20 feet	
_	ICC/ANSI A117.1-2009 Acces	sible and Usable Buildings a	nd Facilities				
	Building Data			Minimum Door Width (1005.1):		
	Intended Use:	Business- Cat Play Cafe ar PMIX - Planned Mixed Use		49 occupants x .2" per	•	9.8"	
	Zoning: Tenant Finish Area:	2,020 sf	e	*Section 1010.1 Size of The required capacity o		oponing shal	ll bo cuffi
F	Construction Type:	Type VB (Section 602.2)		for the occupant load th		• •	
	Number of Stories:	1		clear opening width of			
	Automatic Sprinkler System:						
	Occupancy Type:	B - Business (Section 304)					
		*Animal Kennels	\sim 1	Fire Protection System		_	
E	hun		\rightarrow	Automatic Sprinkler: Standpipes:	None None		
	Seismic Category:	B		Fire alarm system:	Provi		
	Type of Construction (Table 60	11)		Fire extinguisher:	2 rec	quired/ 2 pro	vided
	Exterior Bearing Walls	0 hour (Table 601)					
	Exterior Nonbearing Walls			Emergency Power	D		、
D	<10' Fire Separation Distance	1 hour (Table 602)		Exit signs: Egress Illumination:		Section 1013 Section 1008	
	>10' Fire Separation Distance	0 hour (Table 602)		One foot-candle	• •		-
	Interior Bearing Walls Interior Nonbearing Walls	0 hour (Table 601) 0 hour (Table 601)		Required in space	•	-	
	Structural Frame (primary	0 hour (Table 601)		required (emerge	ency power)	and light on	
	columns and girders)			outside of exterio	or exit door (Section 1008	3)
	Floor	0 hour (Table 601)			$\overline{\ }$		
	Roof	0 hour (Table 601)) Z	Plumbing Fixtures (Tab	le 2902.1):		$\widehat{}$
	Corridors Storago Rooms > 100 sg. ft	0 hour (Table 1020.1)		- 14 Occupants = 7 Male,	7 Female		, · ·
	Storage Rooms > 100 sq. ft.	0 hour (Table 508.4)		<u>Fixture</u>		Required	Provide
в				Water Closets (1/25 occ Lavatories (1/40 occ.))	1M/1 F 1 M/1 F	1 unisex 1 unisex
				Drinking Fountain (1/10)0 occ.)	1 fountain	Bottled
				Service Sink	,	1 sink	1 sink
				Л л .			
					\sim		
А							
<u> </u>	1 2	3 4	5	6 7	8	9	

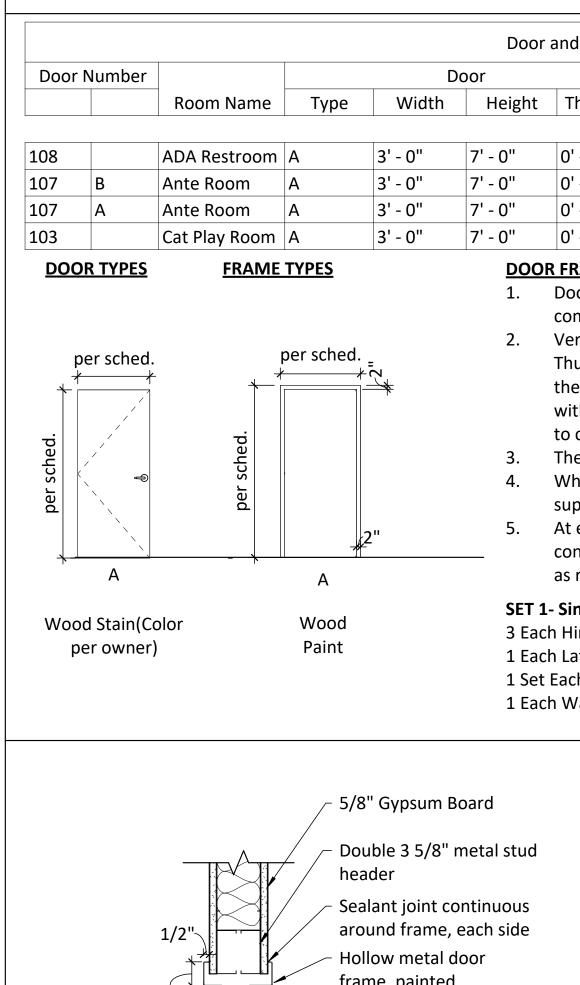
sers\MelanieTorres\A3G Architects\A3G Architects - Documents\A3G Projects\Sugar Kittens - Lee's Summit\Drawings\Sugar Kittens - Lee's Su







	16 17	I	18	19	2	.0	[21	22	23	24		As Noted on Plans R Development Services D Lec's Summit, Miss 04/26/2024
				Roo	m Finish	Schedul	е						04/20/2024
Room Number	Room Name	Floor Finish	Base Finis	sh North	Wal East		West	Ceiling Finish	Ceiling Height		Comments		
2					DT 4		DT4	- • ••				R	
)0)2	Cat Play Room Cat Boarding	LVT LVT	RB1 RB1				PT1 PT1	Existing Existing	9'-10" 9'-10"		cane clips to ceiling tile cane clips to ceiling tile	\bigcirc	
)3	Hall	Existing	RB1	PT1	PT1 I	PT1	PT1	ACT1	9'-10"			architects	
)4)5	Mechanical Restroom	Existing Existing	Existing Existing	-		· ·	-	Existing Existing	9'-10" 9'-10"	Existing No W Existing No W		110 North Main Street Q Liberty, Missouri 64068	
16	Retail/Serving	Existing	Existing	PT1	PT1 I	PT1	PT1	Existing	9'-10"			p 816.581.6330 www.a3garchitects.com	
)7	Ante Room	Existing	RB1				PT1	Existing	9'-10"			3AG Architects, LLC	.i+
)8)9	ADA Restroom	Existing Existing	RB1 Existing				PT1 PT1	ACT1 Existing	9'-10" 9'-10" /1			Missouri Certificate of Author #A-014000783	rity:
.0	Utility Room	Existing	RB1				PT1	ACT1	9'-10"			P INTE OF MISSO	
.1	Hall	Existing	RB1	-				ACT1	9'-10"			S AIMEE D. D	
FINISH NO	OTES						ROO	OM FINISI	H KFY			K GRAY	ununun ununun
												A-2007019924	11111
	vide ADA Room Signa AAG.	age as presc	ribed by the	2018 Build	ding Code	and	Floo	oring CT	Ceran	nic Tile, existin	g to remain	N Limes IDINATION	y.
2. Ren	nove all chair rails an	id prepare w	valls for pain	ted finish.				LVT		y Vinyl Tile, tbo	-	21 March 2024	0
3. All r	new LED lights.						Wa	1				Aimee D. Gray - Architect	
	ID FRAME NOTES							PT1		Epoxy paint		Missouri License # A-2007019	9924
	ors, frames and hardy ply with ADA standa		-	standard ar	id the ha	nales to	С	PT2 VW	Paint, Vinyl	Field Wall Covering			
2. Ver	ify that all existing do	oor hardwar	re	mh			14/-	ll Base	,	0			
	nplies with ADA stand n style locks are not a				or twisti	ng of the		RB1	4" Ru	ober Base, Rop	ppe, match		
	st not approved). All h the owner prior to				eplaced,	but verif	fy		existi	ng		L	
	w doors to be painted						Ceil	ings					
								ACT1		tical Ceiling Til nsions system,	e, reuse existing White, to		
									-	existing			
							Sur	faces				ĸ	
							••••	PL1		c Laminate, co	•		
	PL2 Plastic Laminate, cabinets								3				
				Door a	and Fram	e Sched	ule					3	
Door Num			Do					Frame					
	Room Name	Туре	Width	Height	Thickne	SS IY	уре	Jamb	Head	Hardware	Comments	S	
)8	ADA Restroom			7' - 0''	0' - 1 3/			A20/A2	A15/A2				
07 B 07 A	Ante Room Ante Room			7' - 0" 7' - 0"	0' - 1 3/4 0' - 1 3/4			A20/A2 A20/A2	A15/A2 A15/A2				
)3 A	Cat Play Room			7 - 0" 7' - 0"	0' - 1 3/			A20/A2				⊢ Φ Š	
DOOR TY	PES FRAME	TYPES	11	DOOR	FRAME	AND HA	RDW	ARE NOTE	<u>:S</u>			S- Le6 Parkway	
									match build IBC 2018.	ling standard a	and the handles to	Pa Pa	
		per sched		2.	Verify th	at all exi	sting	door hard	ware comp		standards and IBC 2018.		
per sc	ched.		: 7								binching,or twisting of be replaced, but verify		
			ŀ		with the	owner p	orior	-				nit ≥ nit	
scned.	ه sched.				to comm The supp				anding and	sizing all prod	ucts.	Kit SW E mmit	
ber scr	er	·		4.	Where m	ultiple o	option	s for a pie	ece of hard	ware are given	in a single line item, the		
ğ ´	<u>Ē</u>									cation for the e supplier shal	opening. I field inspect existing	S 2/2 S	
											ied hardware will work	D 96	
A		A			Single, N				gle, Privacy	d proposals as	needed.		
Wood Sta	•	Wood			n Hinge			BET Z- Sin B Each Hir		LUCK		E	
per ow	viier)	Paint			n Latch se Each Siler			1 Each Lat 1 Set Each				ISSUED FOR:	
					n Wall Sto			1 Each Wa				Λ	oruary 2024 5 April 2024
								1 Each Pri	vacy Lock			D	
										— Wall at	corner condition	—	
		_ 5/8"	Gypsum Bo	ard							metal door frame,		
	٨	Doul	ble 3 5/8" m	etal stud				2" <u>~</u> *	£ 2"	paintee	L		
		heac	der					 F		all type			
			ant joint con Ind frame, ea							wall 1			Dlan
	1/2"		ow metal do						<u> </u>	, je la		Reflected Ceiling	-
			ne, painted							ouble 3 5/8" m 8" gypsum boa	etal studs at jambs ard	Finish Schedule,	Door
		Dooi	r per schedu	le					$\setminus \setminus igstarrow$ Se	alant joint cor	tinuous around frame,	в Schedule	
										ch side mb anchors. (3	8 per jamb min.)		
										oor per schedu	le		
5 Holl	low Metal Doc	or Heade	er			A20 ⊢	lollc	w Met		Jamb			
						4	1 /2"	= 1'-0"		2" 4" 8"			



	1 1/2" = 1'-0"	0 2	2" 4" 8"	
15	16	17	18	19