

DEMOLITION NOTES

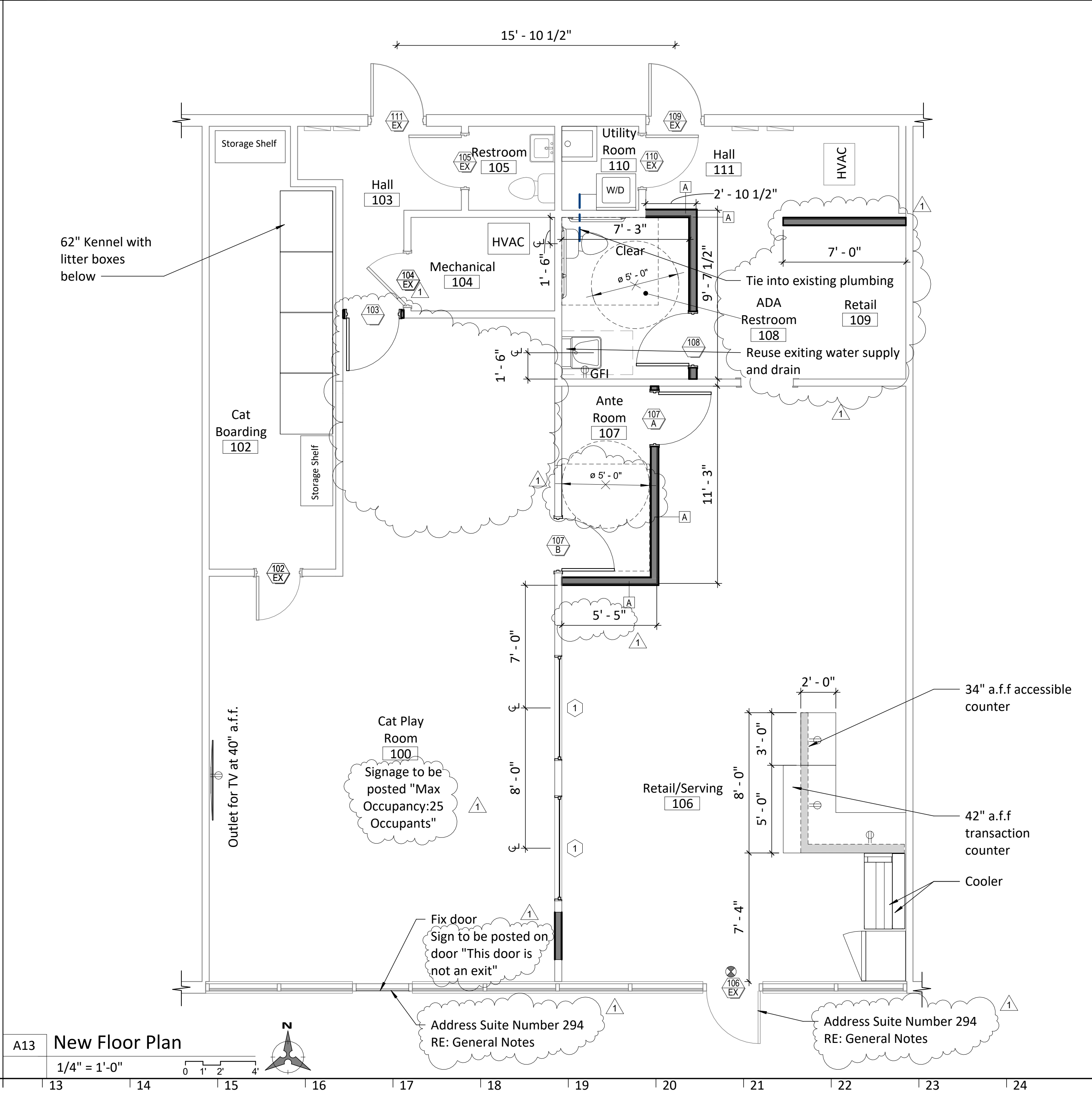
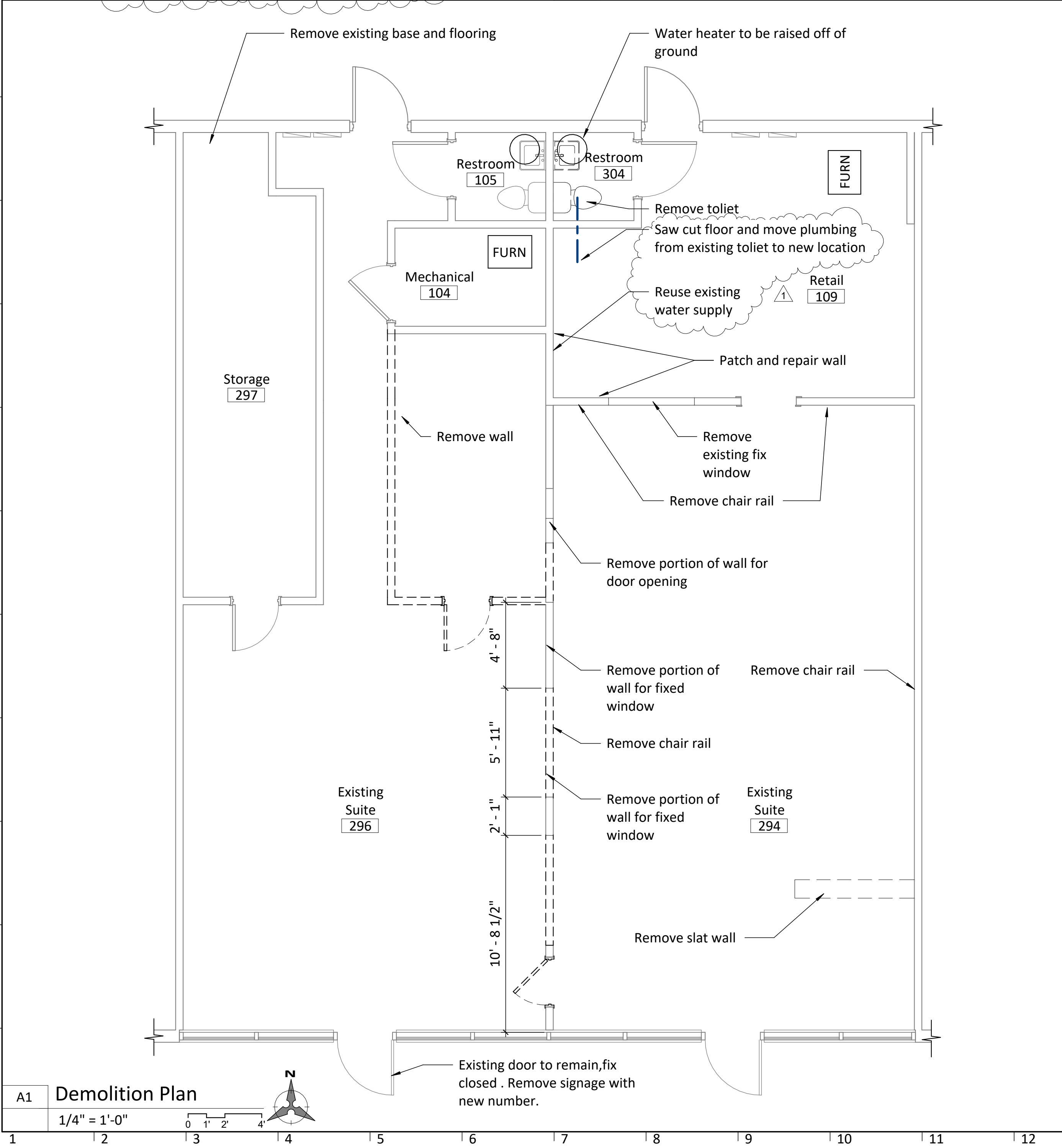
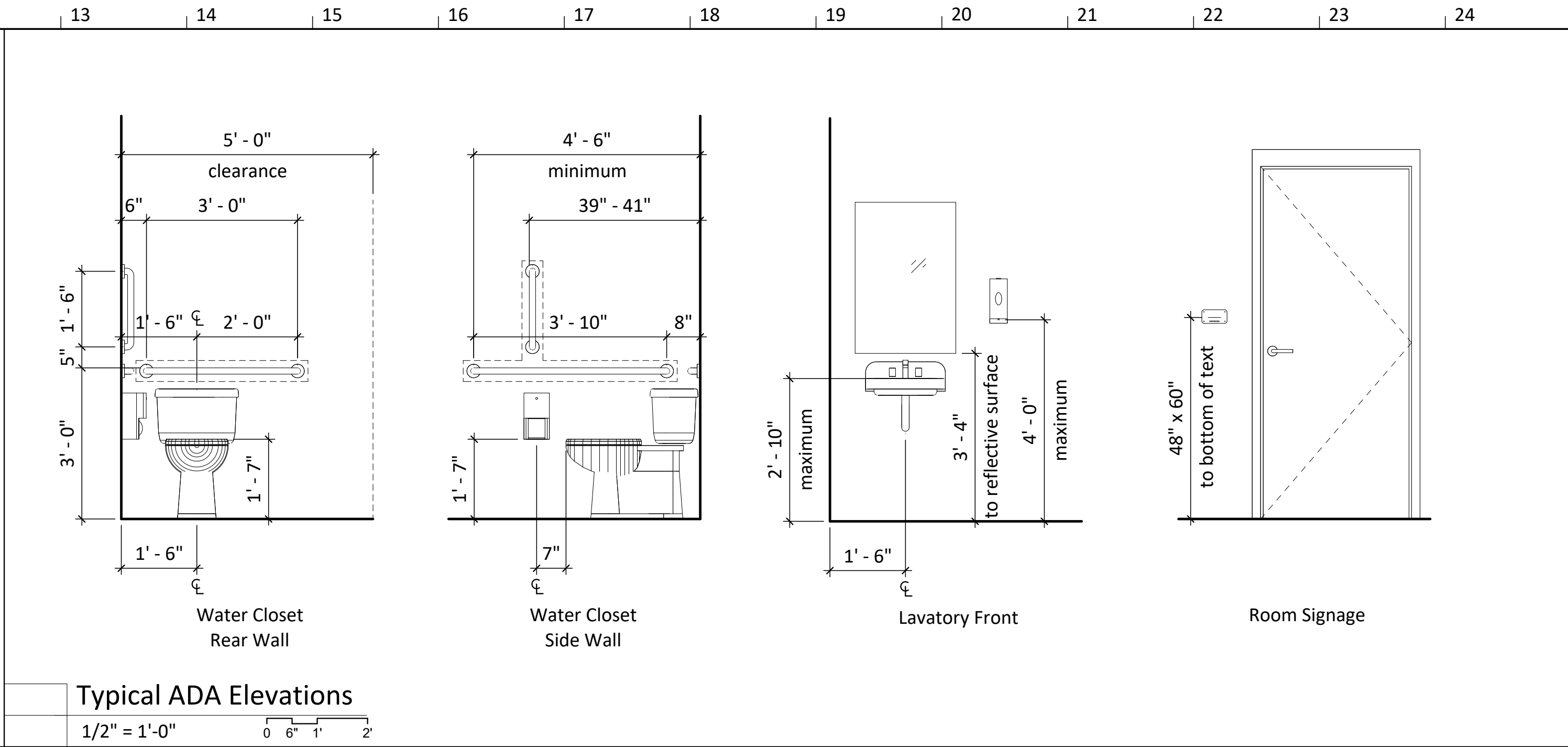
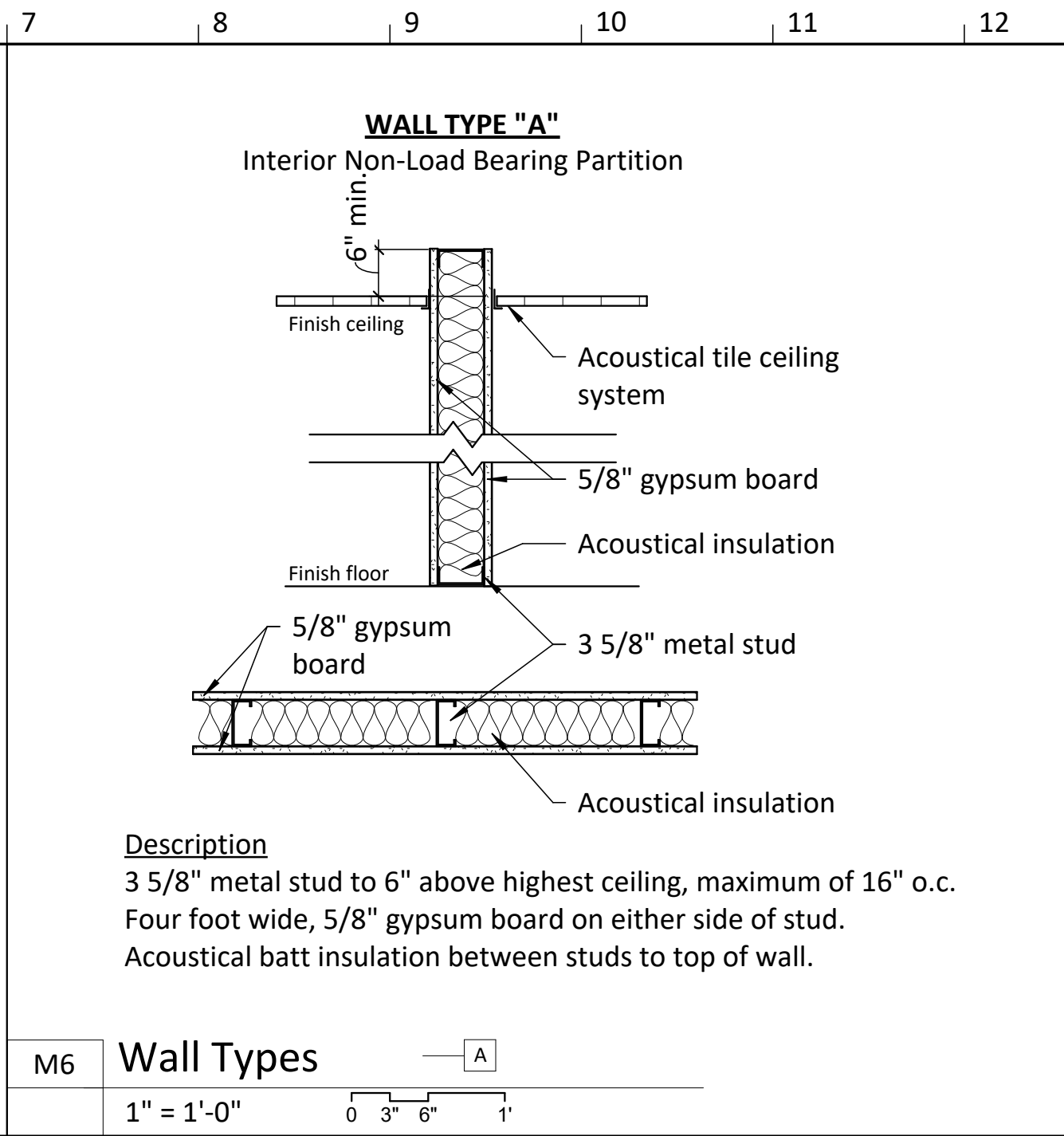
1. The Demolition drawings were created from existing working drawings or limited visual observation and are intended to indicate the general conditions which are expected to occur. The Contractor shall be responsible for site investigation prior to bid to reveal full scope of work. All walls and ceiling indicated to remain, shall be protected during the demolition activities. All walls shown in a dashed line or items indicated to be removed, shall be disposed of in a safe and timely manner. Adjacent construction which remains shall be patched and repaired to a like-new condition and ready to receive new finishes.

3. Patch and Repair: At all locations of removed walls, or where portions of plaster are existing damaged or have been damaged by new work, patch and repair plaster in a manner returning the plaster surfaces to original condition.

4. Salvage all doors, hardware and frames for use in new construction. Contractor to verify reuse.

GENERAL NOTES

1. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other approved sign or means shall be used to identify the structure. Address identification shall be maintained.



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STATE OF MISSOURI
AIMEE D. GRAY
NUMBER
A-2007019924
ARCHITECT
21 March 2024

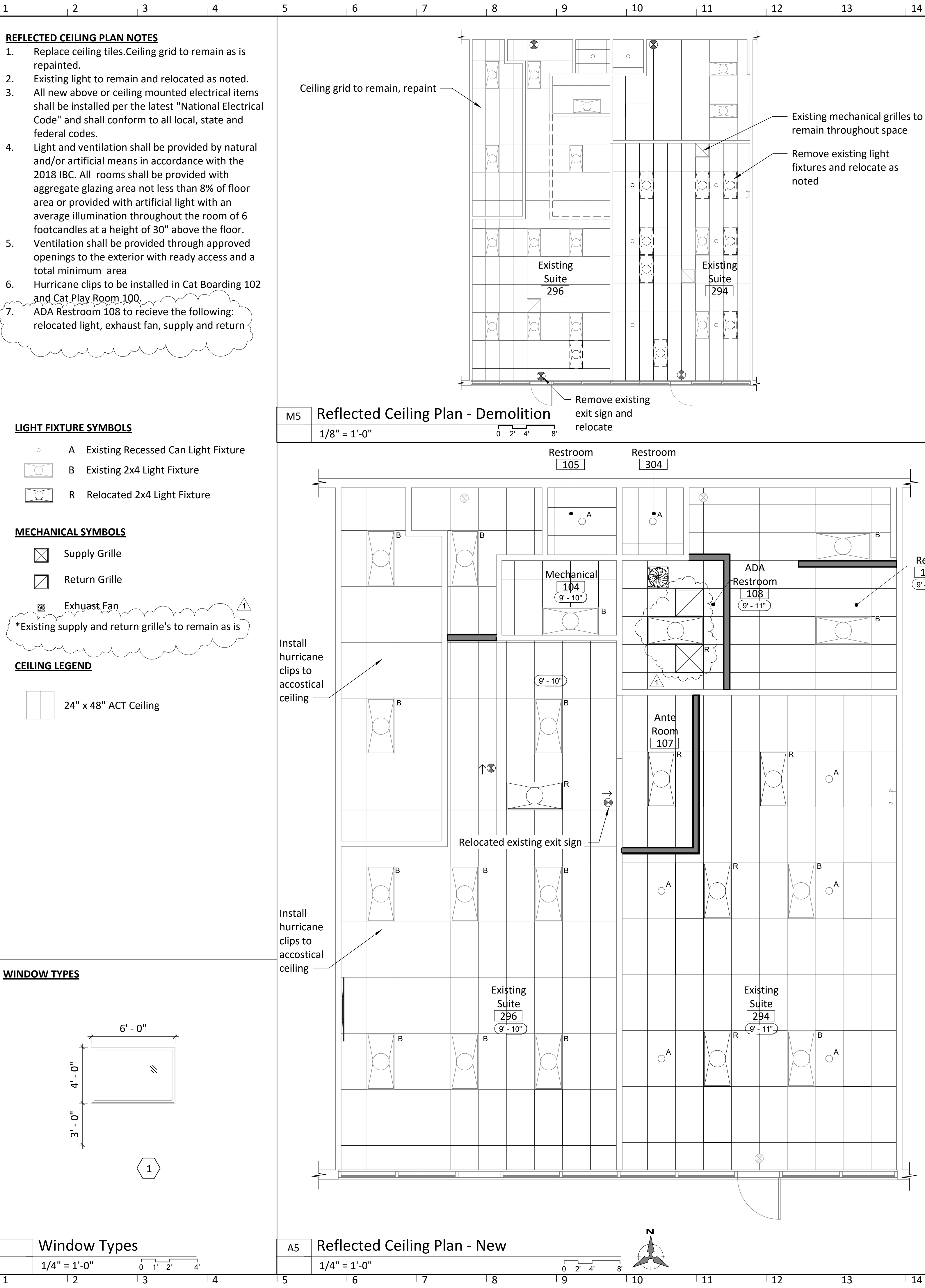
Aimee D. Gray - Architect
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Sugar Kittens- Lee's Summit
296/294 SW Blue Parkway
Lee's Summit

ISSUED FOR:
Permit Set 21 February 2024
1- City Comments 16 April 2024

Demolition Plan, New Floor Plan, ADA Elevations
A1

Project Number: 24.003 © Copyright 2024

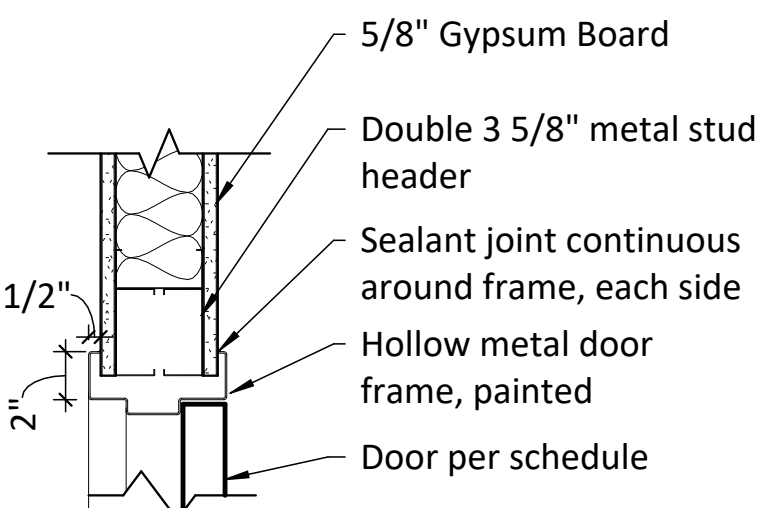
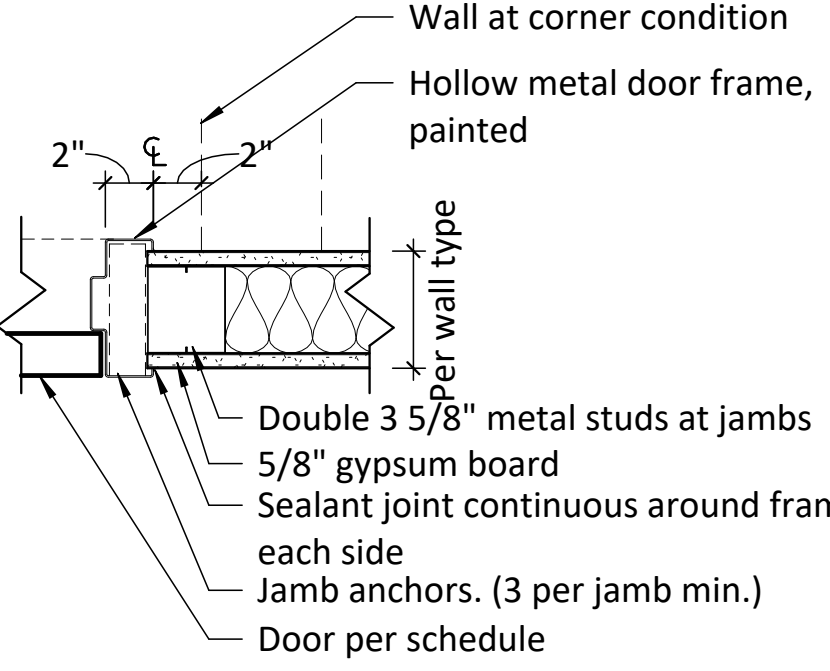


Room Finish Schedule										
Room Number	Room Name	Floor Finish	Base Finish	Walls				Ceiling Finish	Ceiling Height	Comments
				North	East	South	West			
100	Cat Play Room	LVT	RB1	PT1	PT1	PT1	PT1	Existing	9'-10"	Provide hurricane clips to ceiling tile
102	Cat Boarding	LVT	RB1	PT1	PT1	PT1	PT1	Existing	9'-10"	Provide hurricane clips to ceiling tile
103	Hall	Existing	RB1	PT1	PT1	PT1	PT1	ACT1	9'-10"	
104	Mechanical	Existing	Existing	-	-	-	-	Existing	9'-10"	Existing No Work
105	Restroom	Existing	Existing	-	-	-	-	Existing	9'-10"	Existing No Work
106	Retail/Serving	Existing	Existing	PT1	PT1	PT1	PT1	Existing	9'-10"	
107	Ante Room	Existing	RB1	PT1	PT1	PT1	PT1	Existing	9'-10"	
108	ADA Restroom	Existing	RB1	PT1	PT1	PT1	PT1	ACT1	9'-10"	
109	Retail	Existing	Existing	PT1	PT1	PT1	PT1	Existing	9'-10"	
110	Utility Room	Existing	RB1	PT1	PT1	PT1	PT1	ACT1	9'-10"	
111	Hall	Existing	RB1	-	-	-	-	ACT1	9'-10"	

FINISH NOTES		ROOM FINISH KEY	
1.	Provide ADA Room Signage as prescribed by the 2018 Building Code and ADAAG.	Flooring	
2.	Remove all chair rails and prepare walls for painted finish.	CT	Ceramic Tile, existing to remain
3.	All new LED lights.	LVT	Luxury Vinyl Tile, tbd
		Wall	
		PT1	Paint, Epoxy paint
		PT2	Paint, Field
		VW	Vinyl Wall Covering
		Wall Base	
		RB1	4" Rubber Base, Roppe, match existing
		Ceilings	
		ACT1	Acoustical Ceiling Tile, reuse existing suspensions system, White, to match existing
		Surfaces	
		PL1	Plastic Laminate, countertops
		PL2	Plastic Laminate, cabinets

Door and Frame Schedule										
Door Number		Room Name	Door				Frame			
			Type	Width	Height	Thickness	Type	Jamb	Head	Hardware
108		ADA Restroom	A	3' - 0"	7' - 0"	0' - 1 3/4"	A	A20/A2	A15/A2	Set 2
107	B	Ante Room	A	3' - 0"	7' - 0"	0' - 1 3/4"	A	A20/A2	A15/A2	Set 1
107	A	Ante Room	A	3' - 0"	7' - 0"	0' - 1 3/4"	A	A20/A2	A15/A2	Set 1
103		Cat Play Room	A	3' - 0"	7' - 0"	0' - 1 3/4"	A	A20/A2	A15/A2	Set 1

DOOR TYPES		FRAME TYPES		DOOR FRAME AND HARDWARE NOTES	
per sched.	per sched.	per sched.	per sched.	1. Doors, frames and hardware to match building standard and the handles to comply with ADA standards and IBC 2018.	
per sched.	per sched.	per sched.	per sched.	2. Verify that all existing door hardware complies with ADA standards and IBC 2018. Thumb-turn style locks are not approved (tight grasping, pinching, or twisting of the wrist not approved). All noncompliant hardware shall be replaced, but verify with the owner prior to commencement of work.	
per sched.	per sched.	per sched.	per sched.	3. The supplier is responsible for handing and sizing all products.	
per sched.	per sched.	per sched.	per sched.	4. Where multiple options for a piece of hardware are given in a single line item, the supplier shall provide the appropriate application for the opening.	
per sched.	per sched.	per sched.	per sched.	5. At existing openings with new hardware the supplier shall field inspect existing conditions prior to the submittal stage to verify the specified hardware will work as required. Provide alternate solutions and proposals as needed.	
Wood Stain(Color per owner)	Wood Paint	SET 1- Single, No Lock	SET 2- Single, Privacy Lock		
		3 Each Hinge	3 Each Hinge		
		1 Each Latch set	1 Each Latch set		
		1 Set Each Silencer	1 Set Each Silencer		
		1 Each Wall Stop	1 Each Wall Stop		
			1 Each Privacy Lock		

			
A15	Hollow Metal Door Header	A20	Hollow Metal Door Jamb
1 1/2" = 1'-0"	0 2' 4' 8'	1 1/2" = 1'-0"	0 2' 4' 8'

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Reflected Ceiling Plan,
Finish Schedule, Door
Schedule

A2