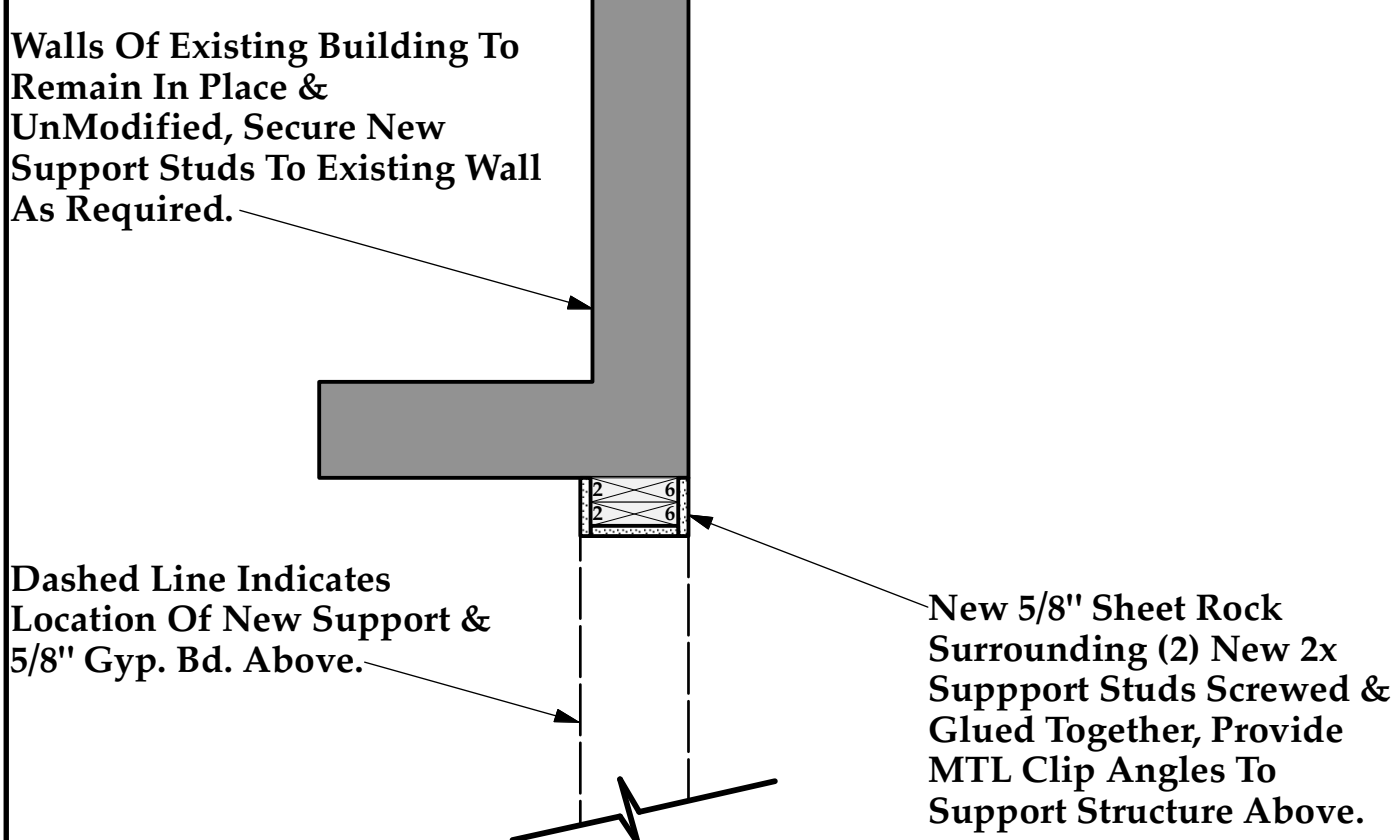


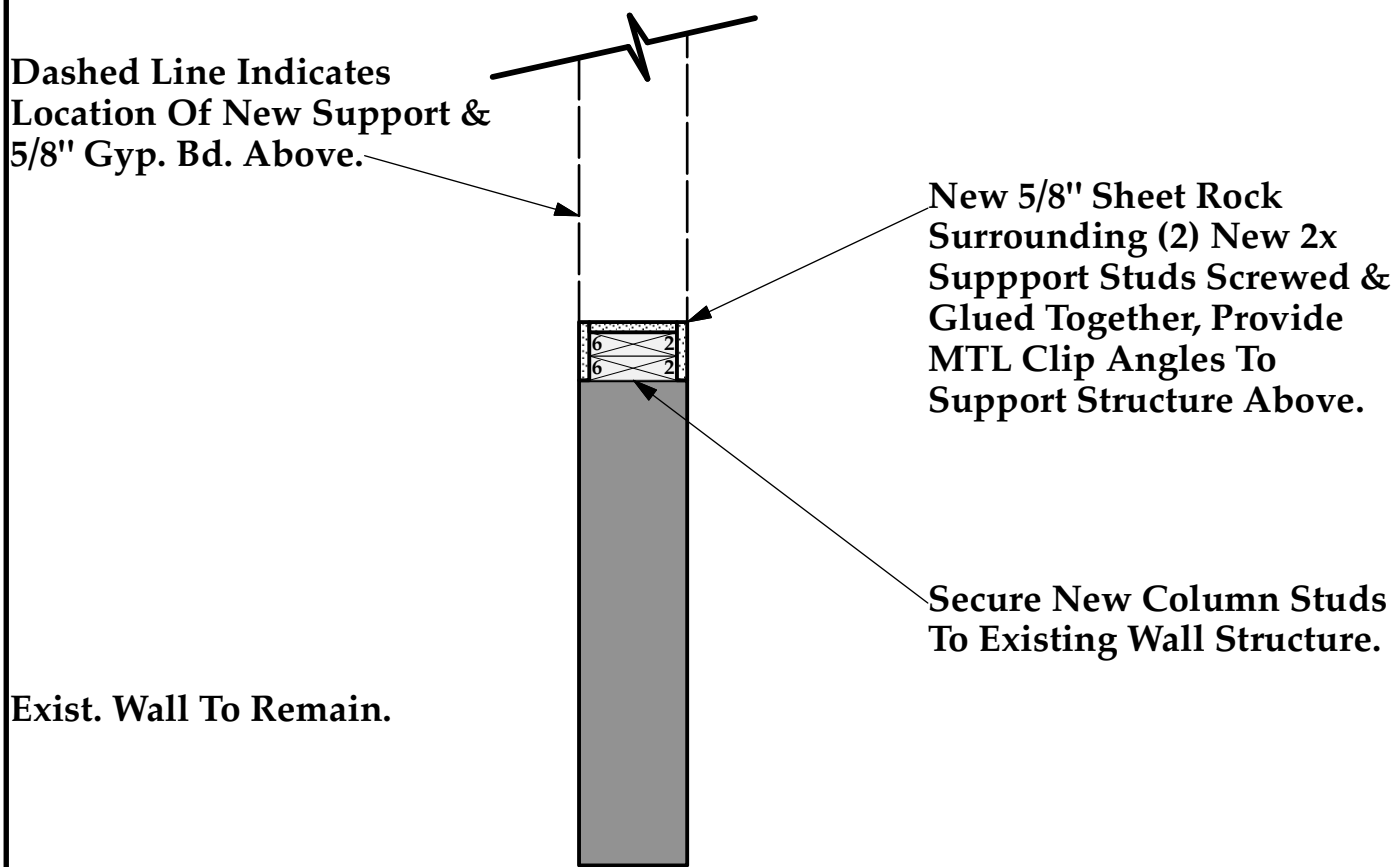
GENERAL NOTES

1. Prior To The Issuance Of A Building Permit, The Application Shall Have Evidence Of Current Workers' Compensation Insurance Coverage On File With The Department In Compliance With The Local Labor Code.
2. After Obtaining Permit And Before Commencing With The Work, The General Contractor Shall Show Evidence Of All The Insurance Requirements.
3. All Required Permits Must Be Obtained From The Required Governing Agencies Before Buildings Are Occupied.
4. The Contractor Shall Be Responsible For And Obtain All Permits And Licenses And Pay Required Fees.
5. Contractor Shall Be Familiar With All Building Owner,Requirement, And Shall Be Responsible For Compliance With The Same. Contractor Shall Investigate Local Codes And Procedures And Shall Comply With All Requirements.
6. Contractor Shall Meet With Building Owner Before Construction Commences.
- 7 Do Not Scale Drawings. Written Dimensions Take Precedence Over Scaled Drawings.
8. A Copy Of Final Approved Plans Must Be On Site During Construction.
9. Inspect Site, Verify Field Dimensions Before Commencing Construction. Notify Owner And Architect Immediately If There Are Any Signifigant Discrepancies.
10. Dimensions Shown On Plans Are To Face Of Exterior Masonry, Concrete Column Or Grid Lines And Face Of Gyp. Bd. Unless Otherwise Noted Or Detailed.
11. Contractor Shall, In The Work Of All Trades, Perform Any And All Cutting, Patching, Repairing, Restoring And The Like Necessary To Complete The Work And To Restore Any Damaged Or Affected Surfaces Resulting From The Work Of This Contract To Their Original Condition To The Satifaction Of Owner.
12. Should The Drawing Disagree With Themselves Or With The Specifications Or Should The Specifications Disagree With Themselves, The Better Quality And/ Or Greater Quantity Of Work Or Materials Shall Be Estimated Upon And Unless Otherwise Ordered In Writing Shall Be Furnished And Installed.
13. No Substitutions Are Permitted Without Owner's And Architects Review And Written Approval.
14. If Any Error Or Omission Appears In Contract Documents, Contractor Shall Notify Owner And Architect In Writing Such Error Or Omission.
15. The General Contractor Shall Be Responsible For The Timely Arrival Of All Specified Finish Materials, Equipment, Light Fixtures And Any Other Such Material(s) To Be Utilized On This Project. The General Contractor Shall Notify The Owner In Writing Within 10 Days Of The Contract Of Those Specified Items That May Not Be Readily Available. If Notification Is Not Recieved By The Owner, The Contractor Accepts Responsibility For The Proper Ordering And Follow-up Of Specified Items And Will Persue Whatever Means Necessary At No Additional Cost To The Owner, Insure Availability Of All Specified Items So As Not To Create A Hardship On The Owner And Not Delay Progress Of The Work. No Extension Of Time The The Contract Will Be Allowed.
16. All Exterior Wall Openings, Flashings, Counter Flashings, Coping And Expansion Joints Shall Be Waterproof.
25. Each Sub-Contractor Shall Leave The Site In A Neat, Clean And Orderly Condition Upon The Conclusion Of His Work On A Daily Basis. All Waste, Rubbish And Excess Materials Shall Be Removed From The Site Promptly. The General Contractor Shall Be Responsible For Removal And Disposal Of All Irash, Including Owner Furnished Items And Trash Generated By Owners Contractors For The Duration Of The Project.
26. Safety All Conduct, Work Equipment And Materials Shall Be In Full Accordance With The Latest Safety Rules And Regulations Of All Authorities And Agencies Having Jurisdiction Over The Work.
30. Temporary Security Barriers Shall Be Provided As Required To Keep Protect The Public Durng All Phases Of Construction Until Job Is Completed.



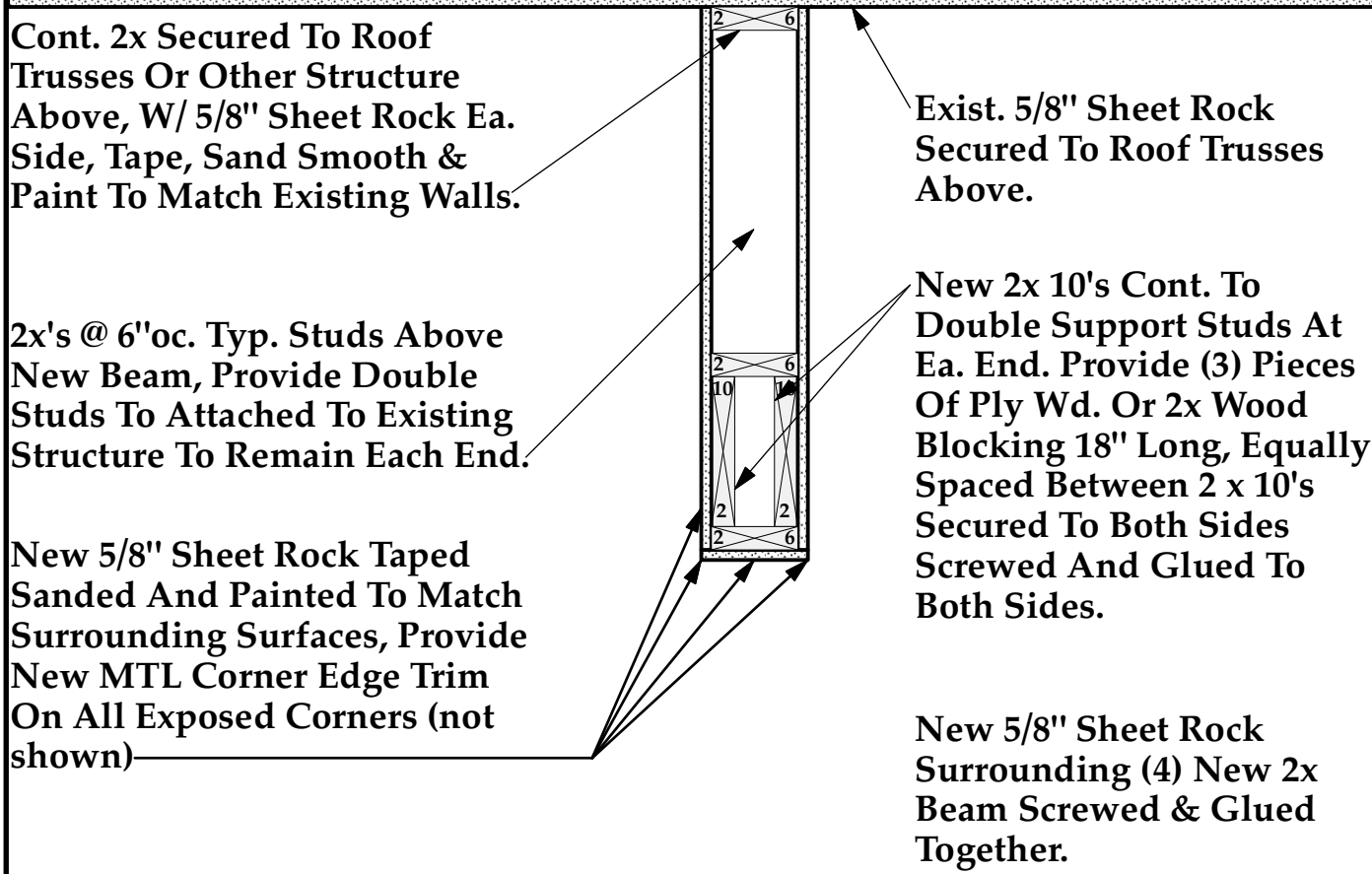
1 NORTH STUD SUPPORT

Scale 1" = 1'-0"



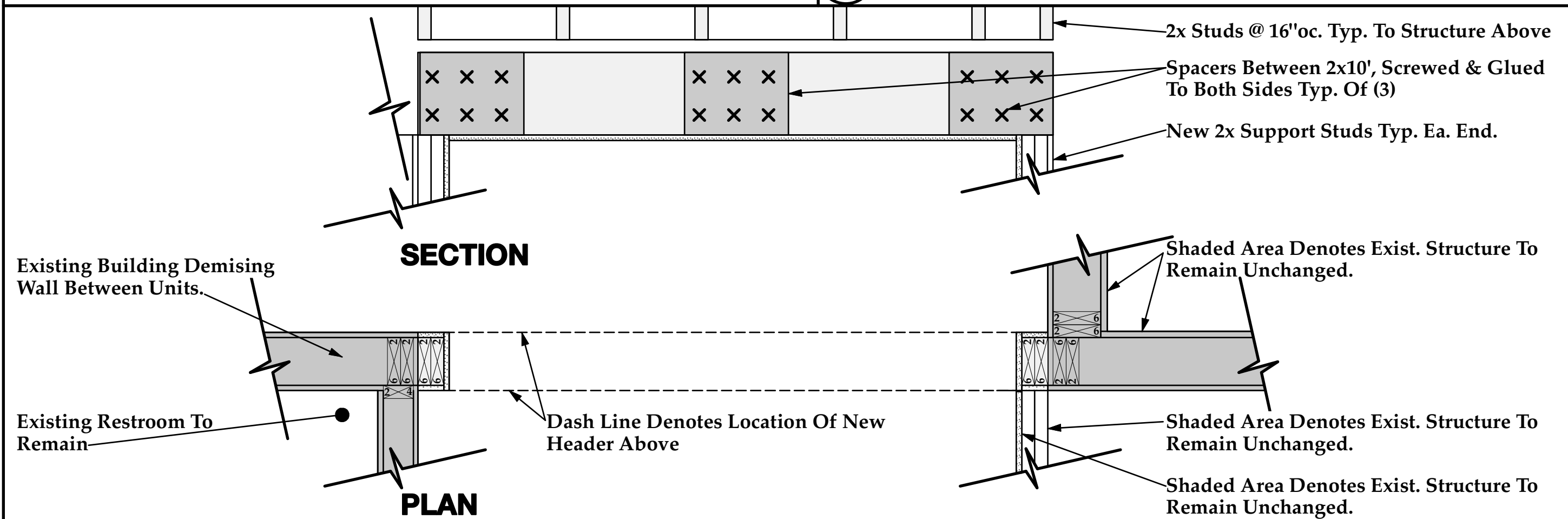
2 SOUTH STUD SUPPORT

Scale 1" = 1'-0"



3 HEADER SECTION

Scale 1" = 1'-0"



4 HEADER PLAN & SECTION

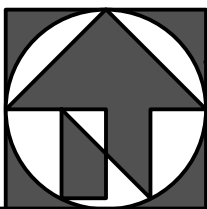
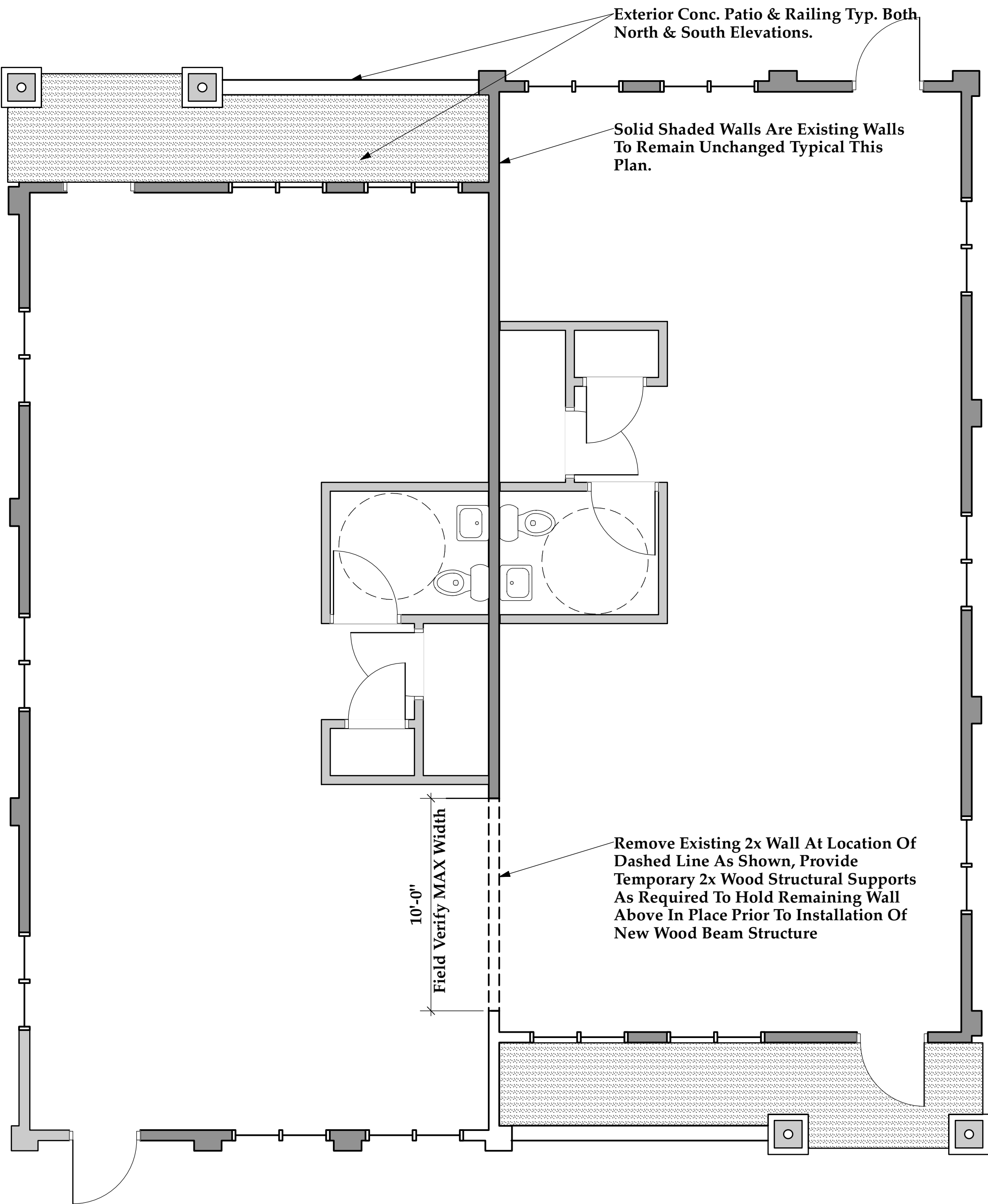
Scale 1" = 1'-0"

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI

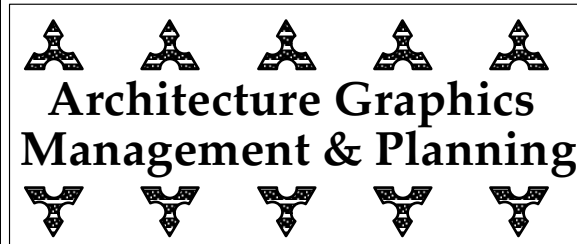
04/24/2024

BUILDING CODE & DESIGN REQUIREMENTS

Tenant Identification:	Existing Multi-Level Home, Replacement In Kind Of Existing Multi Level Deck With Modifications To Meet Current Code.
Applicable Building Codes:	2018 International Residential Code, 2018 International Mechanical Code, 2012 International Plumbing Code, 2018 Life Safety Code, 2018 International Fire Code, 2006 National Electrical Code, And ANSI A117.1-2006As Ammended And Adopted By The City Of Lee's Summit, Missouri Per The Date Of This Submittal.
Occupancy Type:	B (Office Commercal)
Building Construction Type:	Type 5B
Areas	
Gross Building Area	2,025 Gross Sq. Ft.
Roof Construction	0-Hour (Greater than 30' Separation)
Interior Finish Ratings	Class "B" For Enclosed Spaces
Sprinklers	Building Not Sprinklered
Scope Of Work	Remove Existing Wall To Allow Both Sided Of The Existing Structure To Combine Into One Office. Provide Temporary Supports For Existing Structural Support As Needed & Dispose Of Existing Wall Wood Structure And Sheet Rock As Required Per Local Building Codes. Install New Header And Support Columns At Each End As Shown In Adjacent Details. Sand, Paint To Match Existing And Alter Flooring As Required.



FLOOR PLAN
Scale 1/4" = 1'-0"



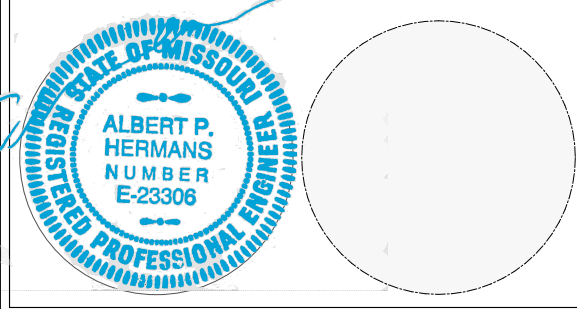
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Roy Browne Architect of Record

INTERIOR ALTERATION For
408-412 SE Third Street
Lee's Summit, MO

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TF-1

1	Date
2	REVISION
3	REVISION
4	REVISION
5	REVISION