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PARAGON STAR VILLAGE

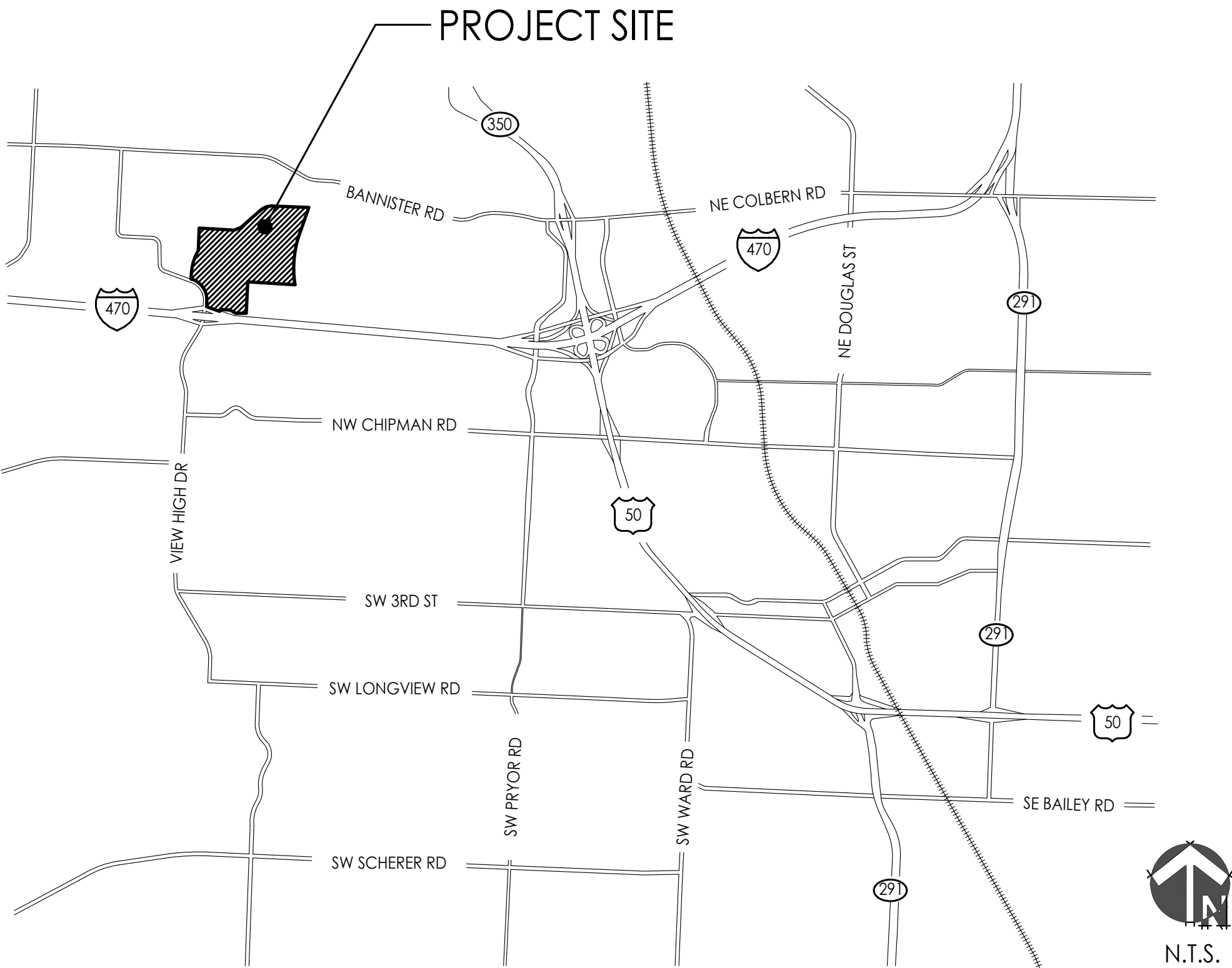
1401 NW View High Drive, Lee's Summit, MO

NOVEMBER 4, 2020

Final Development Plan - Phase One (RESUBMITTAL)

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PLANS PREPARED BY



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

COVERSHEET

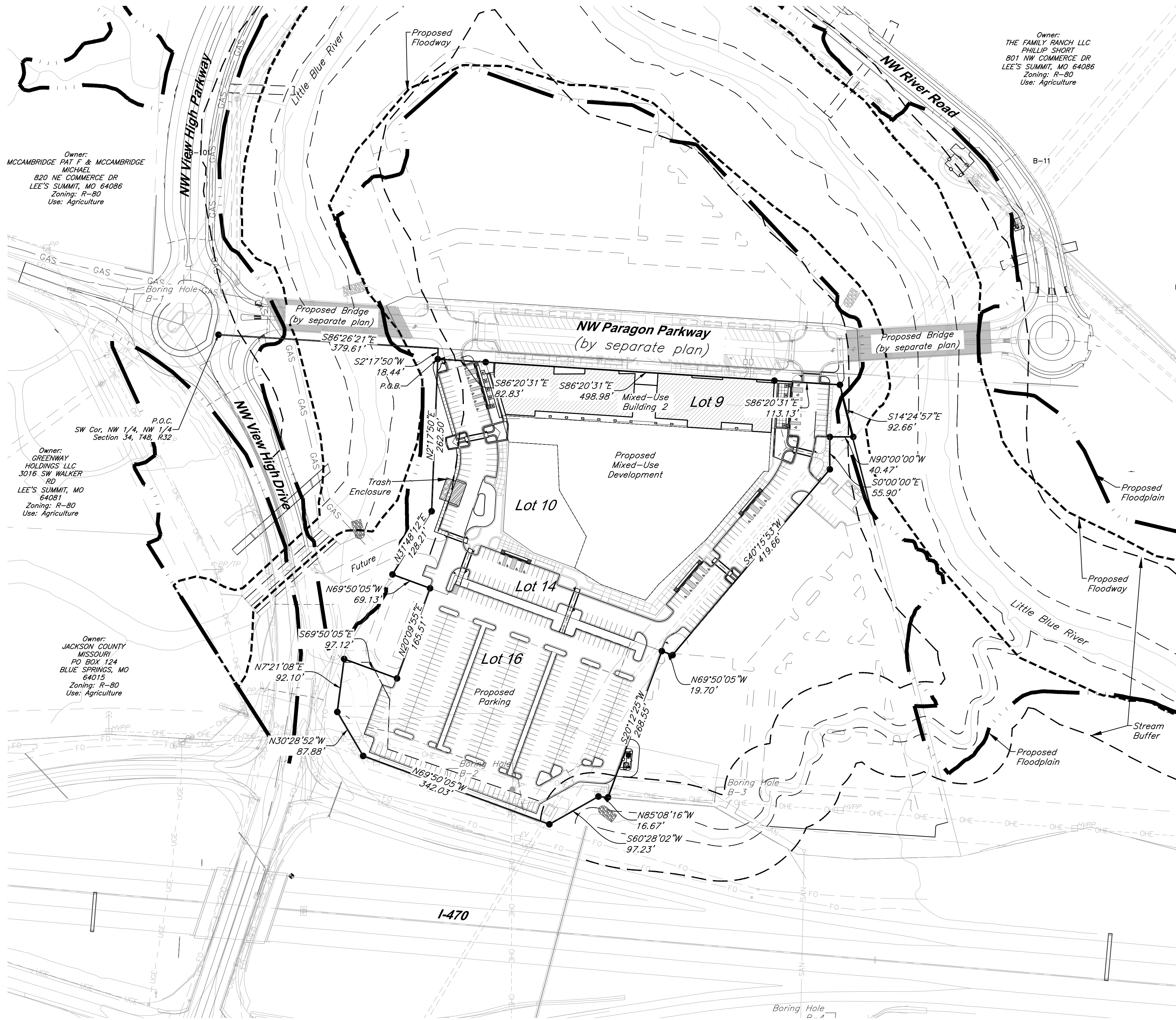
JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:xxx

SHEET NO:

RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/24/2020

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Email: bburton@gbteam.com

Floodplain:

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.

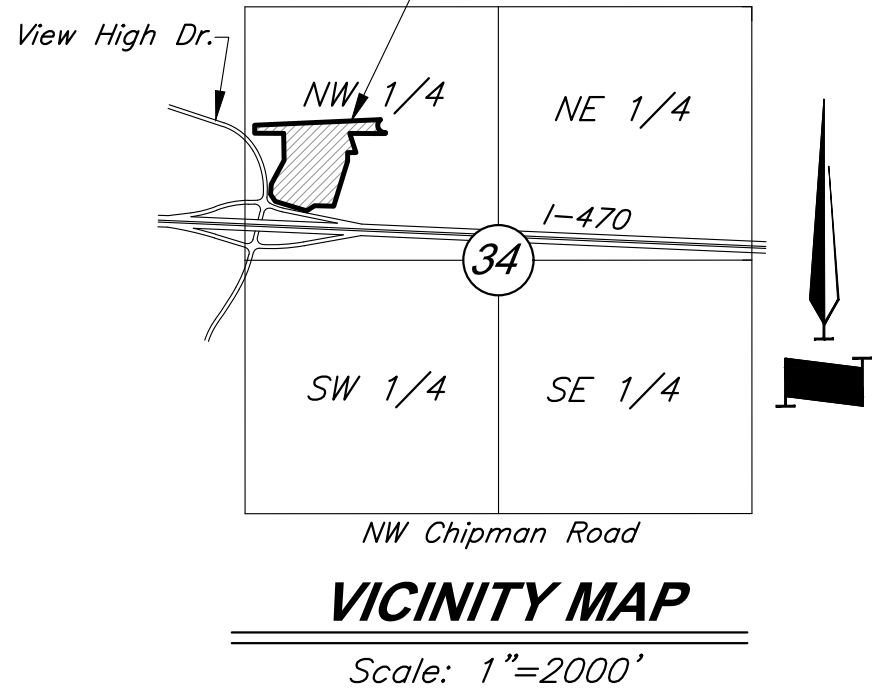
Parking:

Total Parking Spaces = 498
Regular Spaces = 473
ADA Spaces = 25

Notes:

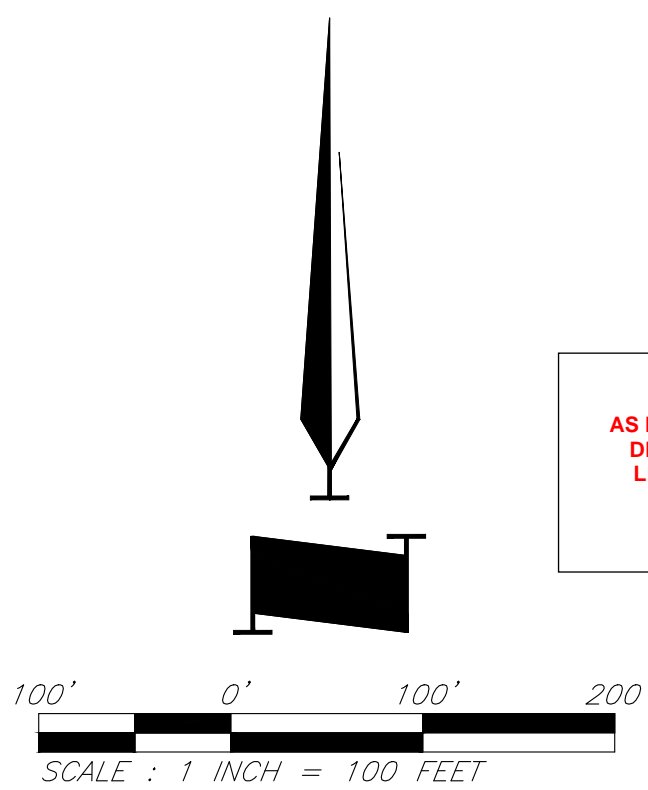
- No oil or gas wells are located on site per Missouri Department of Natural Resources.
- Proposed Floodplain and Floodway assumes adoption of CLOMR.

Project Location



Legend

	Power Pole		Barbed Wire Fence
	Guy Anchor		Centerline
	Electric Meter		Fiber Optic Line
	Electrical Transformer		Gas Line
	Electric Pedestal		Guard Rail
	Power Pole/Telephone Pole		Over Head Electric
	Power Pole/Light Pole		Over Head Telephone
	Gas Meter		Property Line
	Gas Valve		Right-of-Way Line
	Curb Inlet		Sanitary Sewer Line
	Junction Box		Stream
	Sanitary Sewer Manhole		Tree Line
	Light Pole		Underground Electric
	Boring Hole		Underground Telephone
	Sign		Underground Cable TV
	Property Corner		Water Line
	Telephone Manhole		Proposed Grades
	Telephone Pedestal		Proposed Storm Sewers
	Telephone Pole		Existing Grades
	Proposed Building		Existing Storm Sewers
			Tree Deciduous
			Fire Hydrant
			Water Meter
			Proposed Floodway
			Proposed Floodplain
			Stream Corridor



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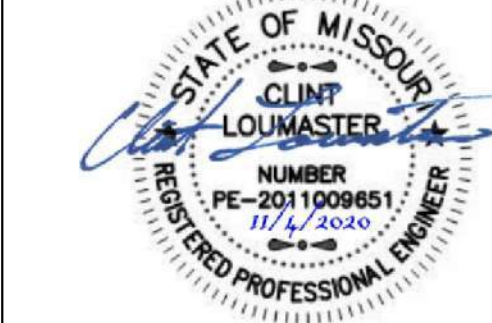
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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



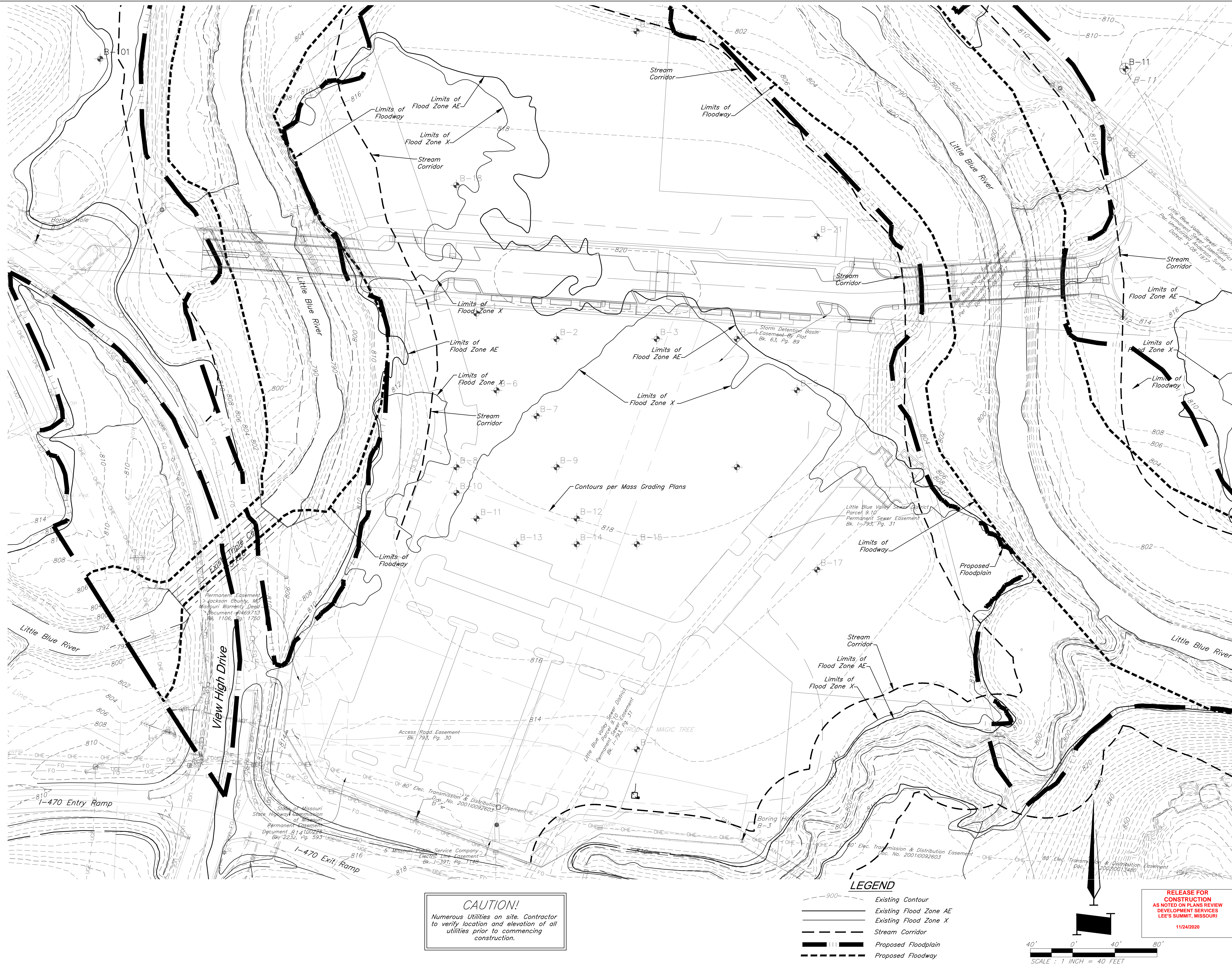
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**General Site
Plan**







JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

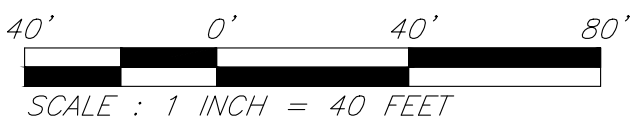
SHEET NO:

C001



CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
-  Existing Contour
 -  Existing Flood Zone A
 -  Existing Flood Zone X
 -  Stream Corridor
 -  Proposed Floodplain
 -  Proposed Floodway



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11/24/2020**

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PROJECT:

Paragon Star Village

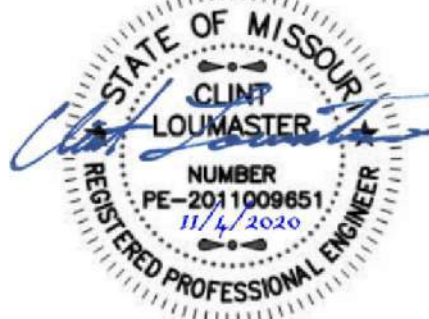
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

[illegible]

PROFESSIONAL SEAL:



DRAWING TITLE:

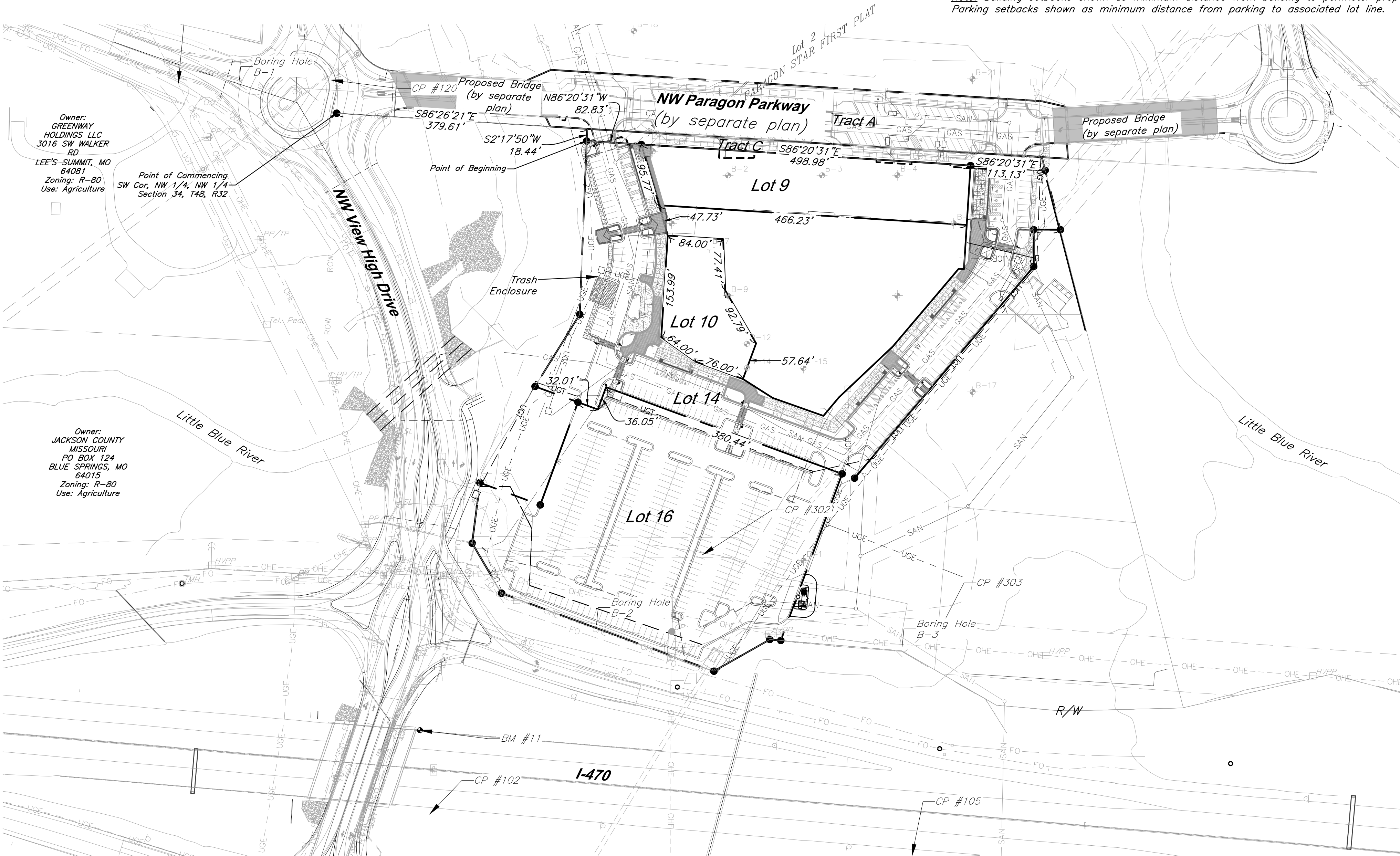
Existing Conditions

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

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C002

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Coordinates Shown Hereon:

Modified State Plane (Project Ground Coordinates), NAD83
2403 - Missouri West, U.S. Feet
Vertical - NAVD88, U.S. Feet

CAF=0.99990648
Coordinates x CAF = State Plane

CP #100 - 1/2" rebar with GBA cap on South side of View High Drive, 18' West of asphalt field entrance, approximately 975' North along the centerline of View High Drive from the ramp to West bound I-470.

Coordinates:
N: 1009568.88'
E: 2803498.54'
EL: 819.37'

Ties:
1) North 4.15' to the South edge of asphalt of View High Drive
2) East 18.00' to West edge of asphalt field entrance
3) South 27.50' to west end of 18" cnp culvert for field entrance

CP #102 - 1/2" rebar with GBA cap along South side of East bound I-470, East of Bridge spanning View High Drive.

Coordinates:
N: 1008463.46'
E: 2803878.88'
EL: 829.94'

Ties:
1) ENE 38.90' to centerline of steel highway reflector post, 1st post E. of bridge
2) North 9.50' to South edge of asphalt shoulder of East bound I-470
3) WNW 53.65' to top SE corner of concrete guardrail for I-470 bridge spanning View High Drive

CP #104 - 1/2" rebar with GBA cap along South edge of off ramp from East bound I-470 to View High Drive.

Coordinates:
N: 1008447.60'
E: 2803180.41'
EL: 822.96'

Ties:
1) North 3.10' to South edge of asphalt of off ramp

2) WNW 3.00' to SE corner of concrete pad around state lighting control box
3) North 47.20' to SE corner of concrete pad around state lighting control box, North side of off ramp
4) East 530'± to centerline of View High Drive

CP #105 - 1/2" rebar with GBA cap in grass between South edge of asphalt of East bound I-470 and the North edge of asphalt of East bound on ramp from View High Drive, at East end of grass area.

Coordinates:
N: 1008400.01'
E: 2804608.18'
EL: 833.34'

Ties:
1) SW 8.64' to centerline of reflector post, North side of on ramp

2) East 52.40' to centerline of reflector post, South side of I-470, East end of grass area

CP #106 - Set 5/8" rebar with GBA cap, West of View High Drive, South of entrance to substation at 10528 View High Drive

Coordinates:
N: 1006295.09'
E: 2803203.41'
EL: 944.66'

Ties:
1) NE 62.75' to front face of curb inlet

2) N 28'± to center of gravel substation entrance
3) E 20'± to West edge of sidewalk

CP #120 - 1/2" rebar with GBA cap at NW corner of View High Drive and access road "Future View High Drive Pkwy"

Coordinates:
N: 1009573.66'
E: 2803729.57'
EL: 811.46'

Ties:
1) NW 3.60' to East edge of asphalt
2) West 51.44' to back of curb at nose of island
3) NE 56.30' to center of MH lid

CP #121 - 1/2" rebar with GBA cap approximately 1430'± ENE of access road "Future View High Drive Pkwy" from View High Drive, near MH #1055

Coordinates:
N: 1009788.28'
E: 2805047.90'
EL: 806.65'

Ties:
1) SW 3.65' to center of MH lid
2) WNW 14'± to power pole
3) NW 35.65' to NE corner of chain link fence area

CP #122 - 1/2" rebar with GBA cap approximately 1380'± NE of access road "Future View High Drive Pkwy" from View High Drive

Coordinates:
N: 1010126.48'
E: 2804884.88'
EL: 813.20'

Ties:
1) West 298'± to center of MH lid
2) South 199'± to center of MH lid

CP #302 - 5/8" rebar on North end of gravel construction parking area, at NE quadrant of intersection of Interstate 470 and View High Drive

Coordinates:
N: 1008855.67'
E: 2804291.58'
EL: 813.83'

Ties:
1) SE 156'± to high voltage power pole

CP #303 - 1/2" rebar at E. end of gravel construction parking area

Coordinates:
N: 1009733.32'
E: 2804645.61'
EL: 811.78'

Ties:
1) South 5.00' to North edge of high voltage OHP
2) West 34.00' to East edge of gravel parking lot

3) SW 57.85' to steel R/W post at fence line

CP #304 - 1/2" rebar West of Future View High Pkwy at top of hill near tree line, approximately 732'± North of access road "Future View High Drive Pkwy" from View High Drive

Coordinates:
N: 1010251.92'
E: 2803699.53'
EL: 839.39'

Ties:
1) NNE 23.10' to South face of twin 10" oak tree

2) SW 5.30' to East face of 10" oak tree

3) NW 14.60' to East face of 9" oak tree

CP #305 - 1/2" rebar South of dead end of

gravel driveway, which connects to Easterly end of E. 97th Street, on top of hill.

Coordinates:
N: 10101784.43'
E: 2804698.47'
EL: 888.55'

Ties:
1) SE 4.00' to great break at ridge line

CP #306 - 1/2" rebar on South side of gravel drive leading to lift station, near bend in road.

Coordinates:
N: 1009431.99'
E: 2806165.47'
EL: 810.46'

Ties:
1) North 4.00' to South edge of gravel drive

2) SE 18.80' to North face of power pole

BM #10 - Chiseled "L" on top SW corner of concrete curb inlet at NE Quadrant of intersection of View High Drive and Chipman Road, 1st inlet East of View High Drive.

Coordinates:
N: 1009584.32'
E: 2803334.61'
EL: 951.45'

BM #11 - Chiseled "L" cut on NE corner of concrete guard rail at NE corner of Interstate 470 and View High Drive

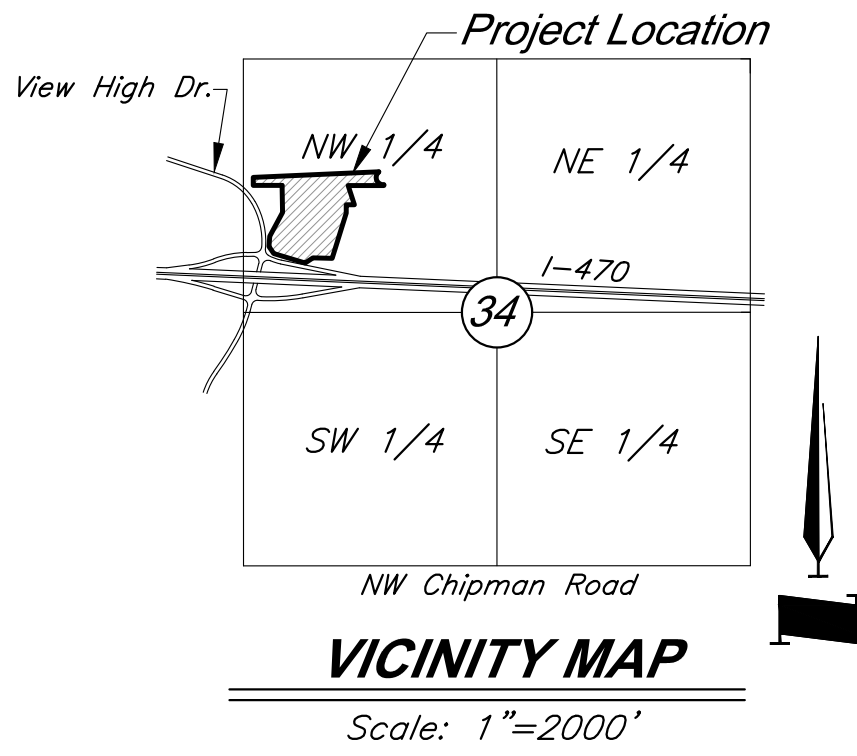
Coordinates:
N: 1008590.33'
E: 2803694.07'
EL: 833.80'

BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge

Coordinates:
N: 1008342.79'
E: 2806768.22'
EL: 852.04'

Note: Building setbacks shown as minimum distance from building to perimeter property. Parking setbacks shown as minimum distance from parking to associated lot line.

Lot	Area	Building Setback to Perimeter Property	Parking Setback	Floor-Area Ratio
Lot 9	1.00 Ac.	20 Ft.	N/A	0.78
Lot 10	0.47 Ac.	20 Ft.	N/A	N/A
Lot 14	2.82 Ac.	N/A	0 Ft.	N/A
Lot 16	3.41 Ac.	N/A	0 Ft.	N/A



Final Development Plan Boundary Description:

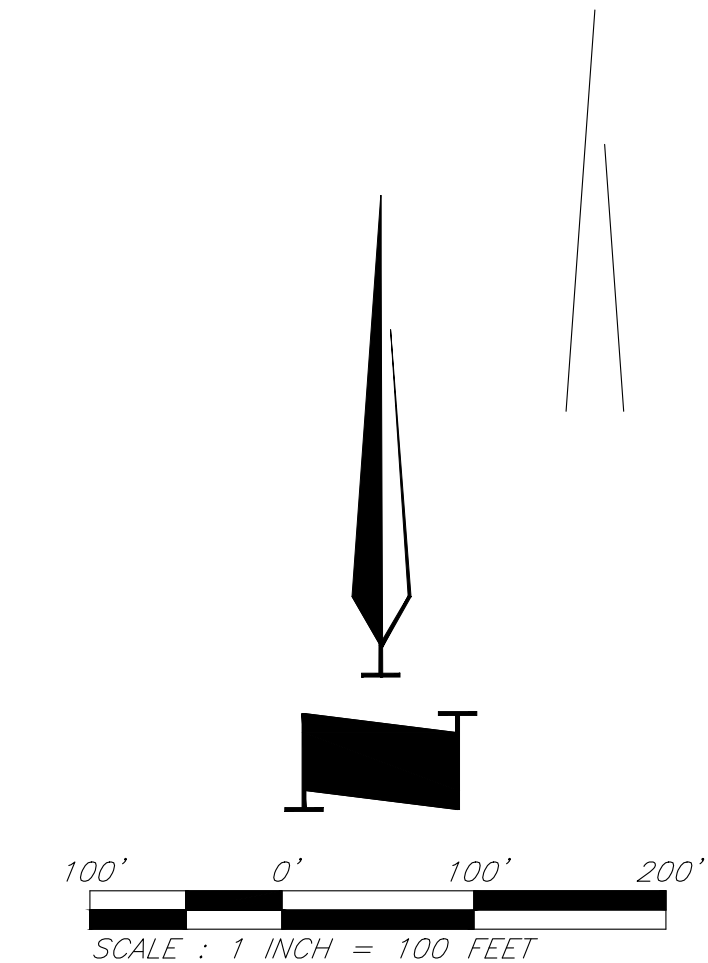
All that part of the Northwest Quarter of Section 34, Township 48 South, Range 32 West of the Fifth Principal Meridian, and a part of Graham Commercial Center, a Subdivision in the City of Lee's Summit, Jackson County, Missouri, more particularly described as follows:

Commencing at the Northwest Corner of the Southwest Quarter of said Northwest Quarter, thence South 86°26'21" East, along the North line of said Quarter Quarter, a distance of 379.61 feet, to the Northwest Corner of Graham Commercial Center, recorded in Book 63, Page 89; thence South 02°17'50" West, departing said North line, and along the West line of said Graham Commercial Center, a distance of 18.44 feet, to the Point of Beginning; thence South 86°20'31" East, departing said West line, a distance of 694.94 feet, to a point on the East line of said Graham Commercial Center; thence South 14°24'57" East, along said East line, a distance of 92.66 feet; thence North 90°00'00" West, departing said East line, a distance of 40.47 feet; thence South 00°00'00" East, a distance of 55.90 feet; thence South 40°15'53" West, a distance of 419.66 feet; thence North 69°50'05" West, a distance of 19.70 feet; thence South 20°12'25" West, a distance of 268.55 feet, to a point on the North Right-of-Way line of US Interstate Highway 470, as now established; thence North 85°08'16" West, along said North Right-of-Way line, a distance of 16.67 feet; thence South 60°28'47" West, a distance of 97.11 feet; thence North 69°51'07" West, a distance of 342.09 feet; thence North 30°28'52" West, a distance of 87.88 feet, departing said North Right-of-Way line, and transitioning to the East Right-of-Way line of Northwest View High Drive, as now established; thence North 07°21'08" East, along said East Right-of-Way line, a distance of 92.10 feet; thence South 69°50'05" East, departing said East Right-of-Way line, a distance of 97.12 feet; thence North 20°09'55" East, a distance of 165.51 feet; thence North 69°50'05" West, a distance of 69.13 feet, to a point on the West line of said Graham Commercial Center; thence North 31°48'12" East, continuing along said West line, a distance of 128.21 feet; thence North 02°17'50" East, a distance of 262.50 feet, to the Point of Beginning, containing 416,212.99 square feet, or 9.55 acres, more or less.

EXCEPT for the following:

Commencing at the Northwest Corner of the Southwest Quarter of said Northwest Quarter, thence South 86°26'13" East, along the North line of said Quarter Quarter, a distance of 495.45 feet; thence South 03°33'39" West, departing said North line, a distance of 108.62 feet, to the Point of Beginning; thence South 86°20'28" East, a distance of 466.21 feet; thence South 03°37'51" West, a distance of 67.01 feet; thence North 86°24'48" West, a distance of 8.02 feet; thence South 40°15'39" West, a distance of 153.79 feet; thence South 46°39'29" West, a distance of 112.34 feet; thence South 39°55'15" West, a distance of 36.50 feet; thence North 70°29'07" West, a distance of 81.51 feet; thence North 57°36'52" West, a distance of 53.24 feet; thence North 20°16'17" East, a distance of 57.64 feet; thence North 30°16'07" West, a distance of 92.79 feet; thence North 02°16'25" West, a distance of 77.41 feet; thence North 86°20'31" West, a distance of 84.00 feet; thence North 15°49'01" West, a distance of 47.73 feet, to the Point of Beginning, containing 80,949.87 square feet, or 1.86 acres, more or less.

Plat area containing 335,263.12 square feet, or 7.69 acres, more or less, after exception.



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PROJECT:

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DRAWING TITLE:

FDP Lot Layout

JOB NO: 1249

SCALE:

DATE: 11.04.2020

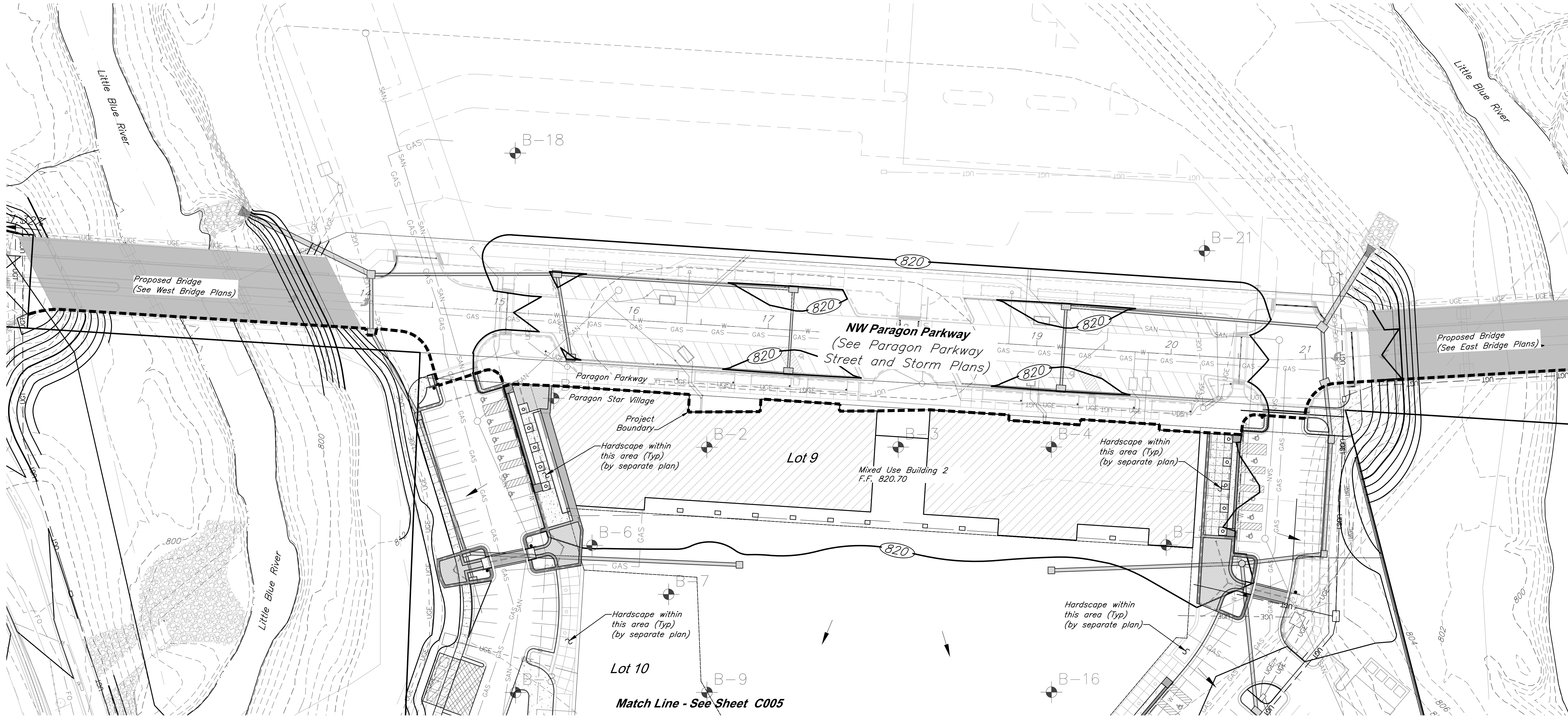
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C003

Paragon Star Village
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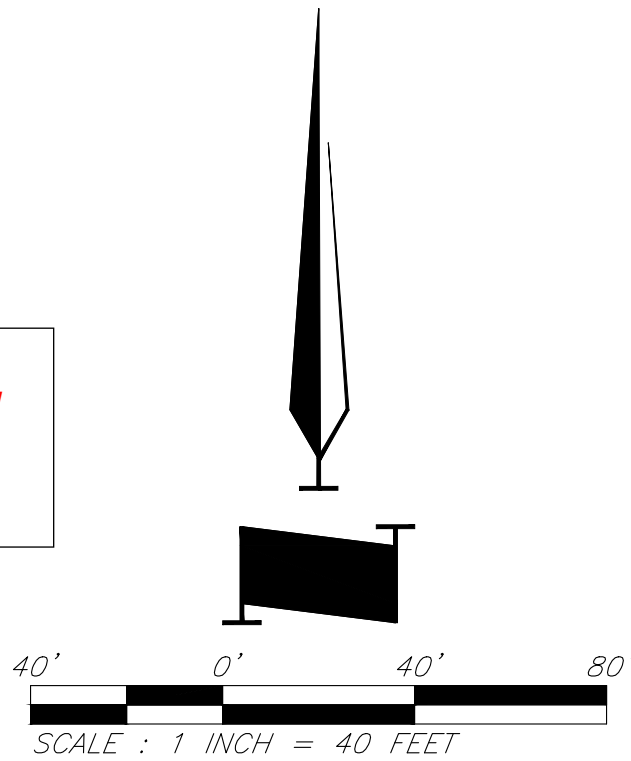


CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

Note: Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.

- LEGEND**
- Existing Contour
 - Proposed Contour
 - Drainage Flow Arrow
 - Paragon Parkway
 - Construction Line for Paragon Parkway and Paragon Star Village

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/24/2020



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Overall Grading Plan

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:




C004

This is a detailed site plan for Lot 16, which is a large rectangular lot with a proposed parking area. The plan shows the layout of the lot, including Lot 10 to the north and Lot 14 to the east. Key features include:

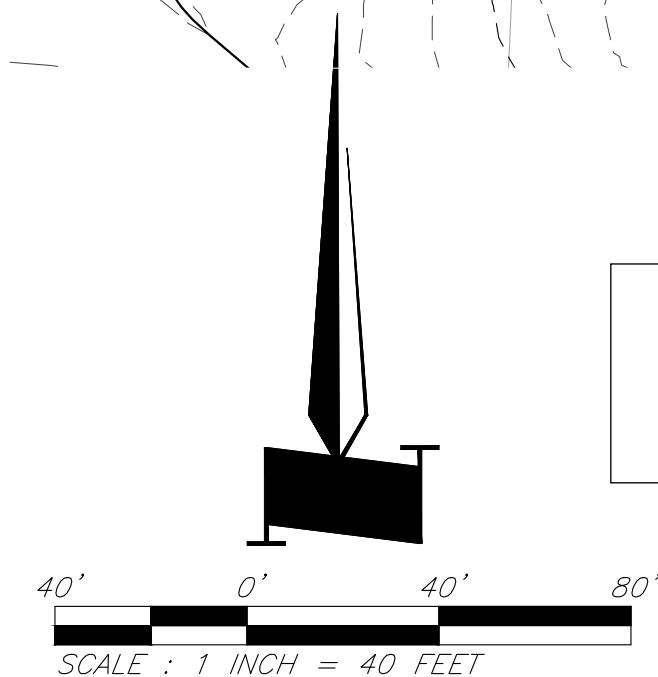
- Proposed Parking:** A large rectangular area within Lot 16, outlined with a dashed line.
- Roads and Highways:** The plan shows the intersection of I-470 Exit Ramp and Highway 816. A 'Match Line - See Sheet C004' is indicated at the top.
- Utilities:** Various utility lines are shown, including Gas (GAS), Water (W), Sewer (SAN), and Electric (E). Specific labels include 'Proposed Sanitary Sewer' and 'Proposed Water Main'.
- Topography:** Contour lines are shown, indicating elevations such as 800, 810, 820, and 830.
- Other Features:** A 'Vehicle Drop Off' area is marked near Lot 10. A 'Boring Hole B-3' is located near the bottom right. The plan also shows 'Hardscape within this area (Typ) (by separate plan)'.

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

	Existing Contour
	Proposed Contour
	Drainage Flow Arrow

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Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Overall Grading Plan

JOB NO: 1249

SCALE:

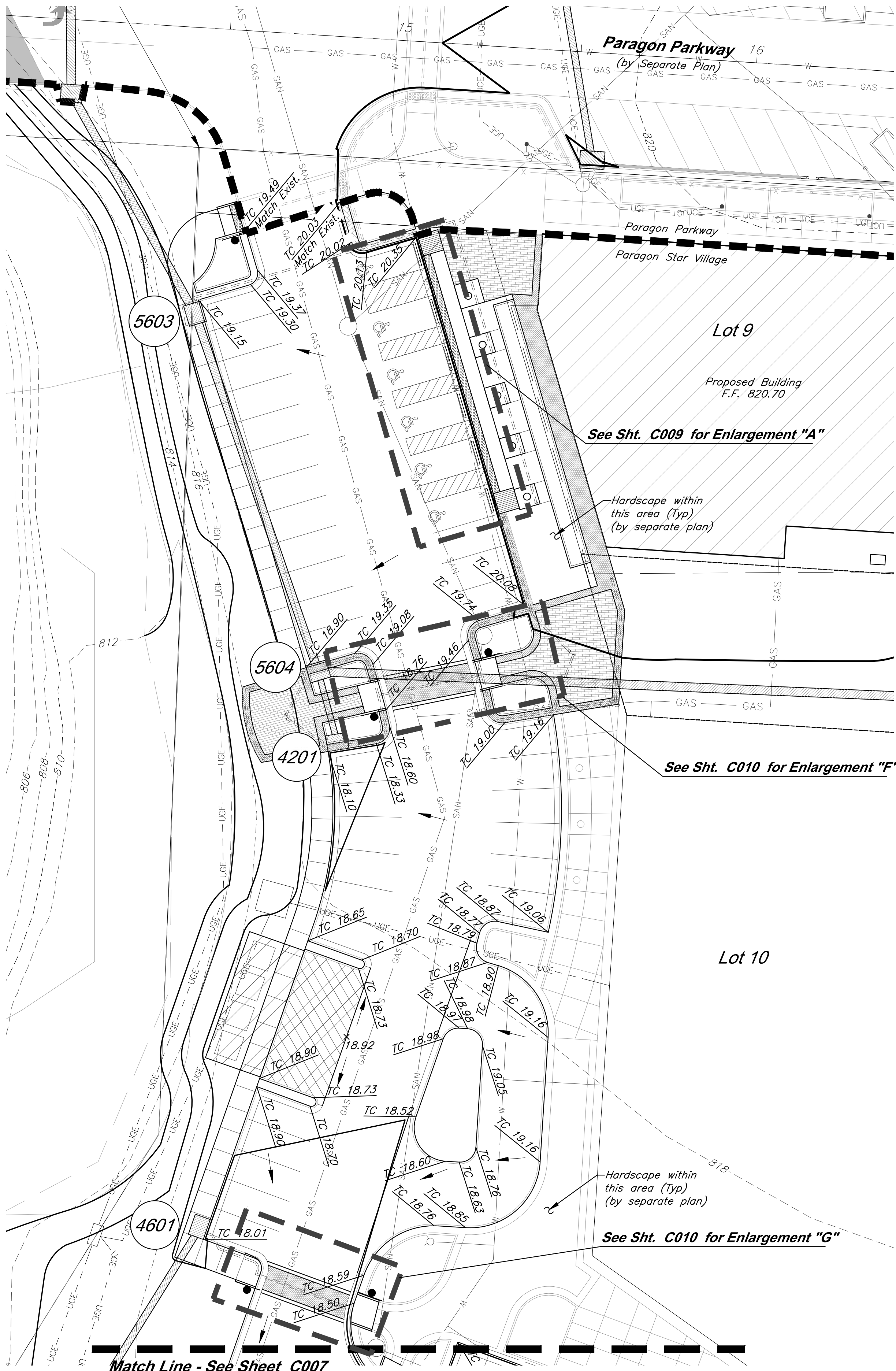
DATE: 11.04.2020

DRAWN BY:KNJ

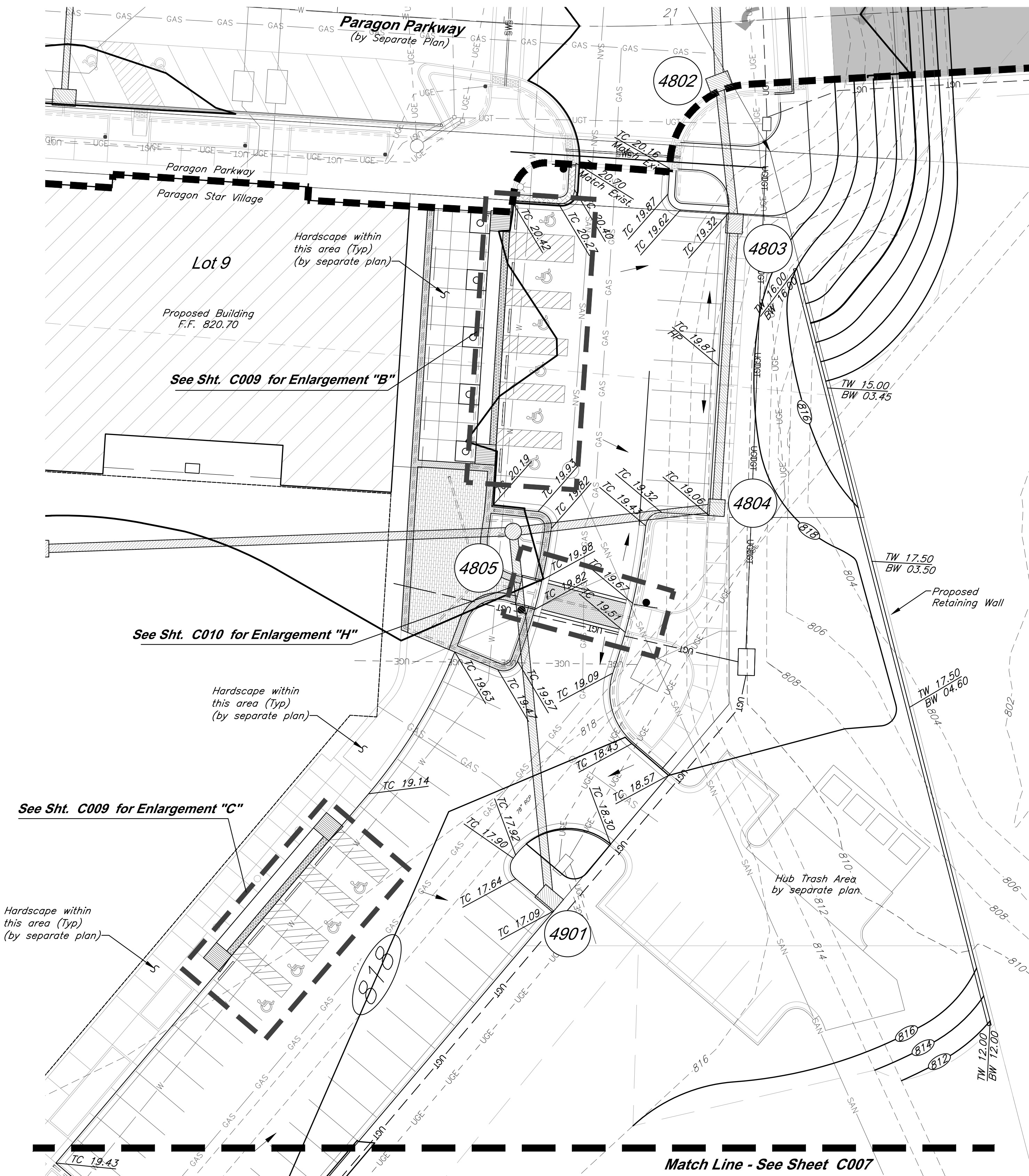
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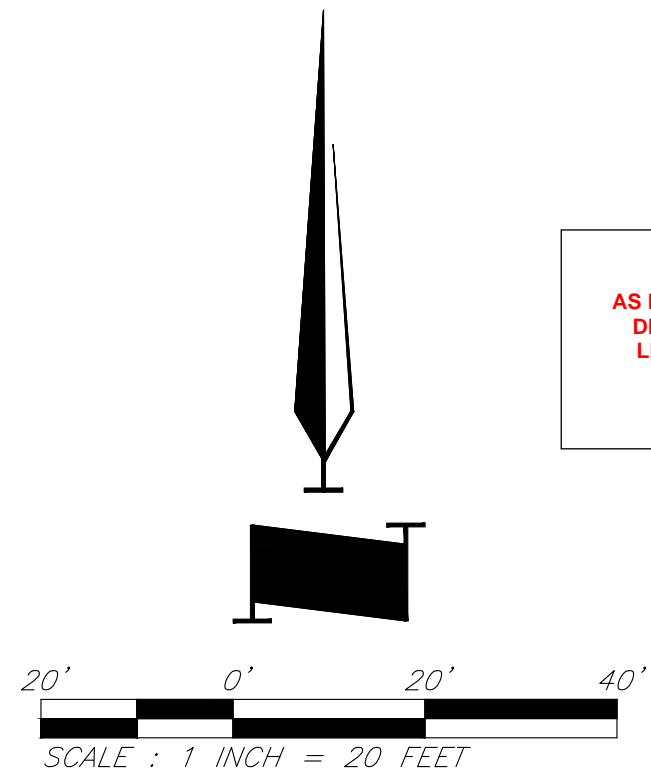


CAUTION!
Numerous Utilities on site. Contractor
to verify location and elevation of all
utilities prior to commencing
construction.



- NOTES:**
- All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
 - Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.
 - ADA Parking stalls shall not exceed 2% slope in any direction.
 - For ADA Parking detail see sht. C023
 - Crosswalks may not exceed 2% cross slope and 5% longitudinal slope.
 - For Crosswalk details see sht. C022

- LEGEND**
- Existing Contour
 - Proposed Contour
 - Proposed Top of Curb
 - Proposed Spot Grade
 - Drainage Flow Arrow
 - Paragon Parkway
 - Paragon Star Village
 - Proposed Building



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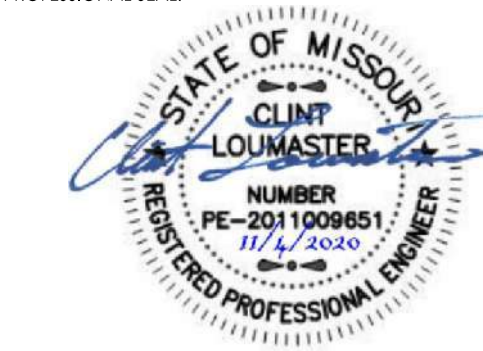
PROJECT:

Paragon Star Village
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Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



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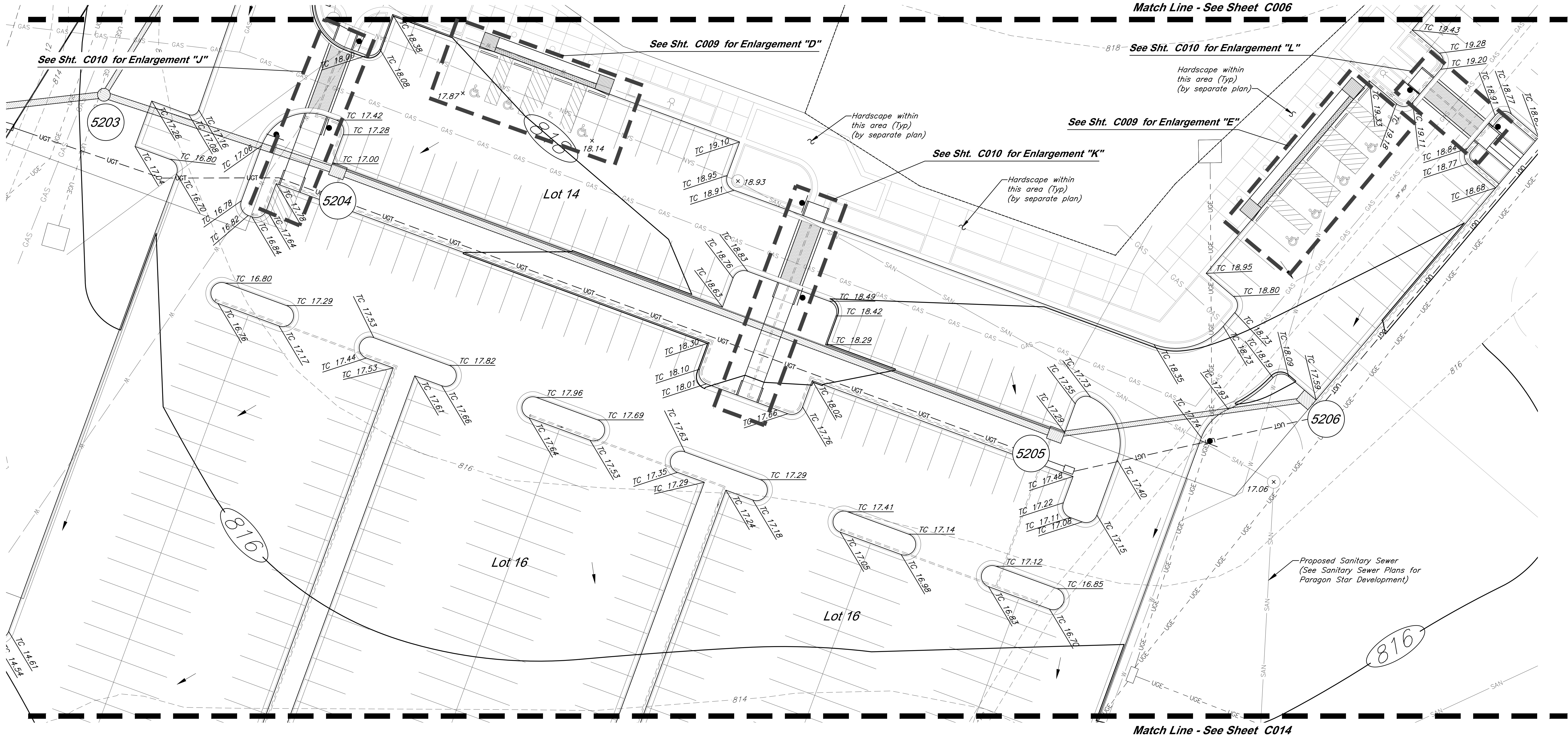
**Grading
Enlargement**

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

C006

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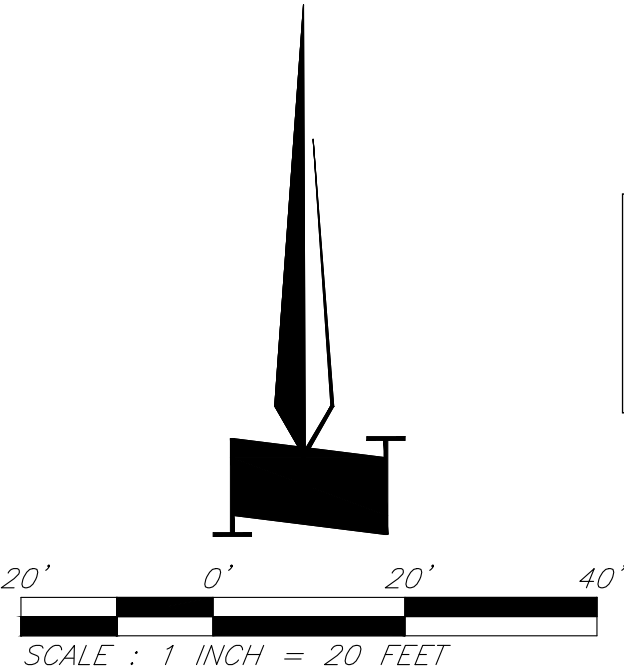
CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.
3. ADA Parking stalls shall not exceed 2% slope in any direction.
4. For ADA Parking detail see sht. C023
5. Crosswalks may not exceed 2% cross slope and 5% longitudinal slope.
6. For Crosswalk details see sht. C022

LEGEND

- Existing Contour
- Proposed Contour
- Drainage Flow Arrow



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Final Development Plan - Phase One (RESUBMITTAL)

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**Grading
Enlargement**

JOB NO: 1249 SCALE:

DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

C007

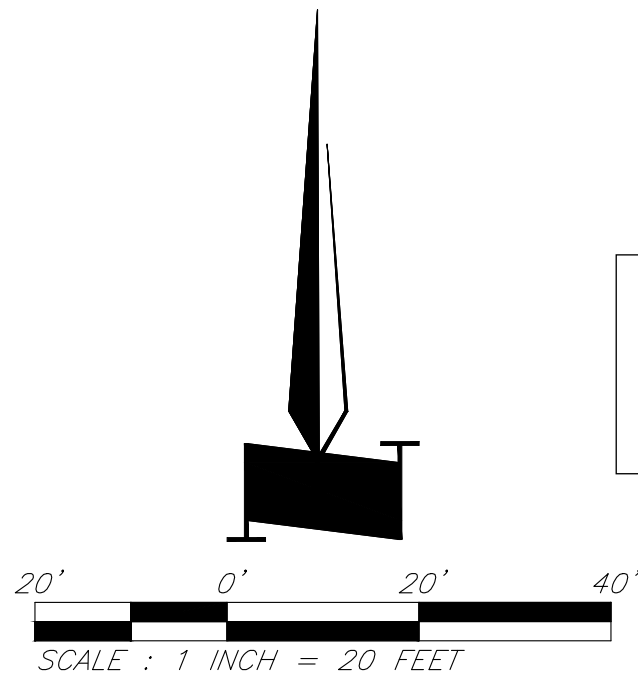
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 4. For ADA Parking detail see sht. C023
 5. Crosswalks may not exceed 2% cross slope and 5% longitudinal slope.
 6. For Crosswalk details see sht. C022

- LEGEND**
- Existing Contour
 - Proposed Contour
 - Drainage Flow Arrow
 - Type CG-1 "Dry Curb"



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PROJECT:

Paragon Star Village

1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Grading Enlargement

JOB NO: 1249

SCALE:

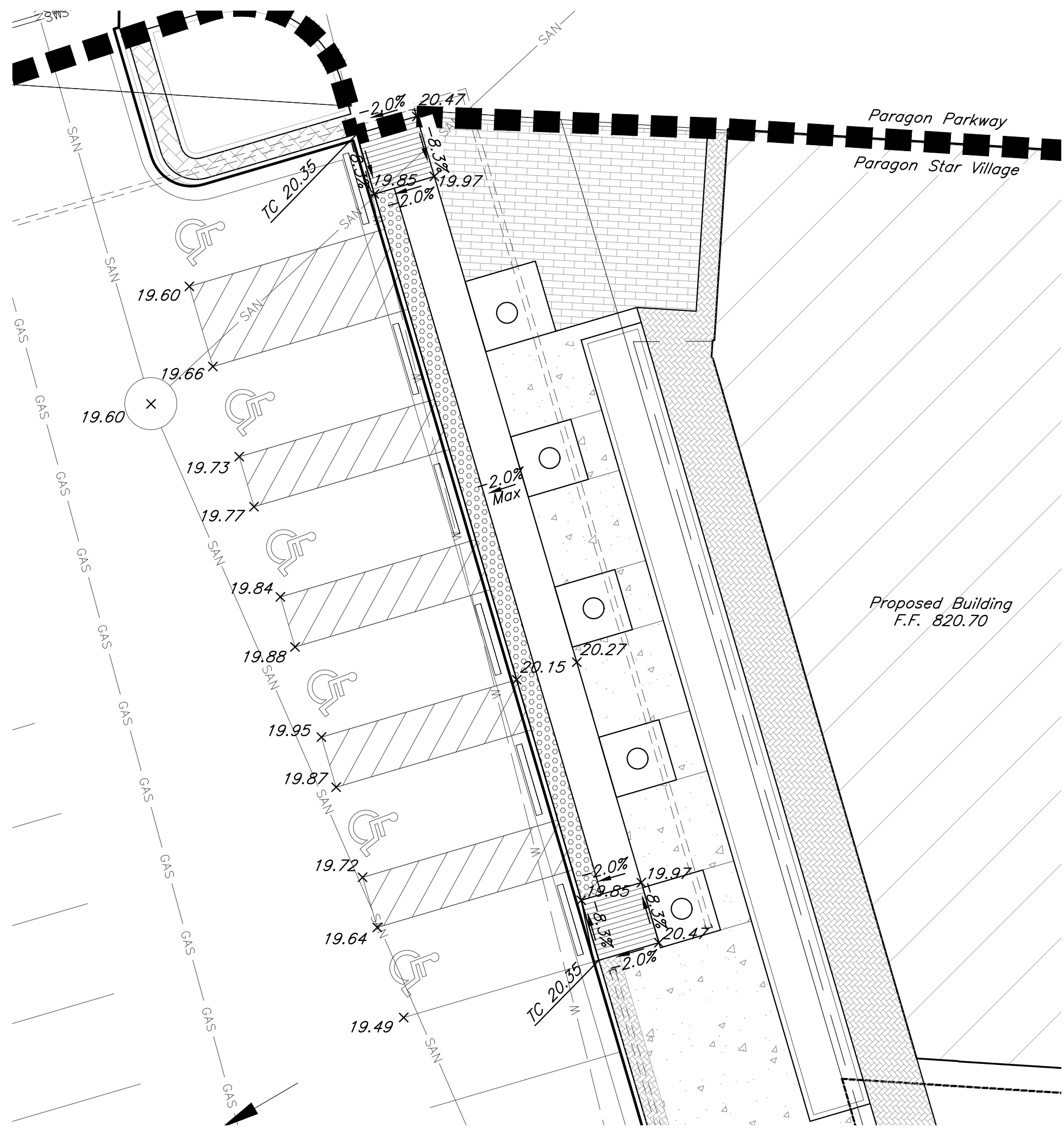
DATE: 11.04.2020

DRAWN BY:KNJ

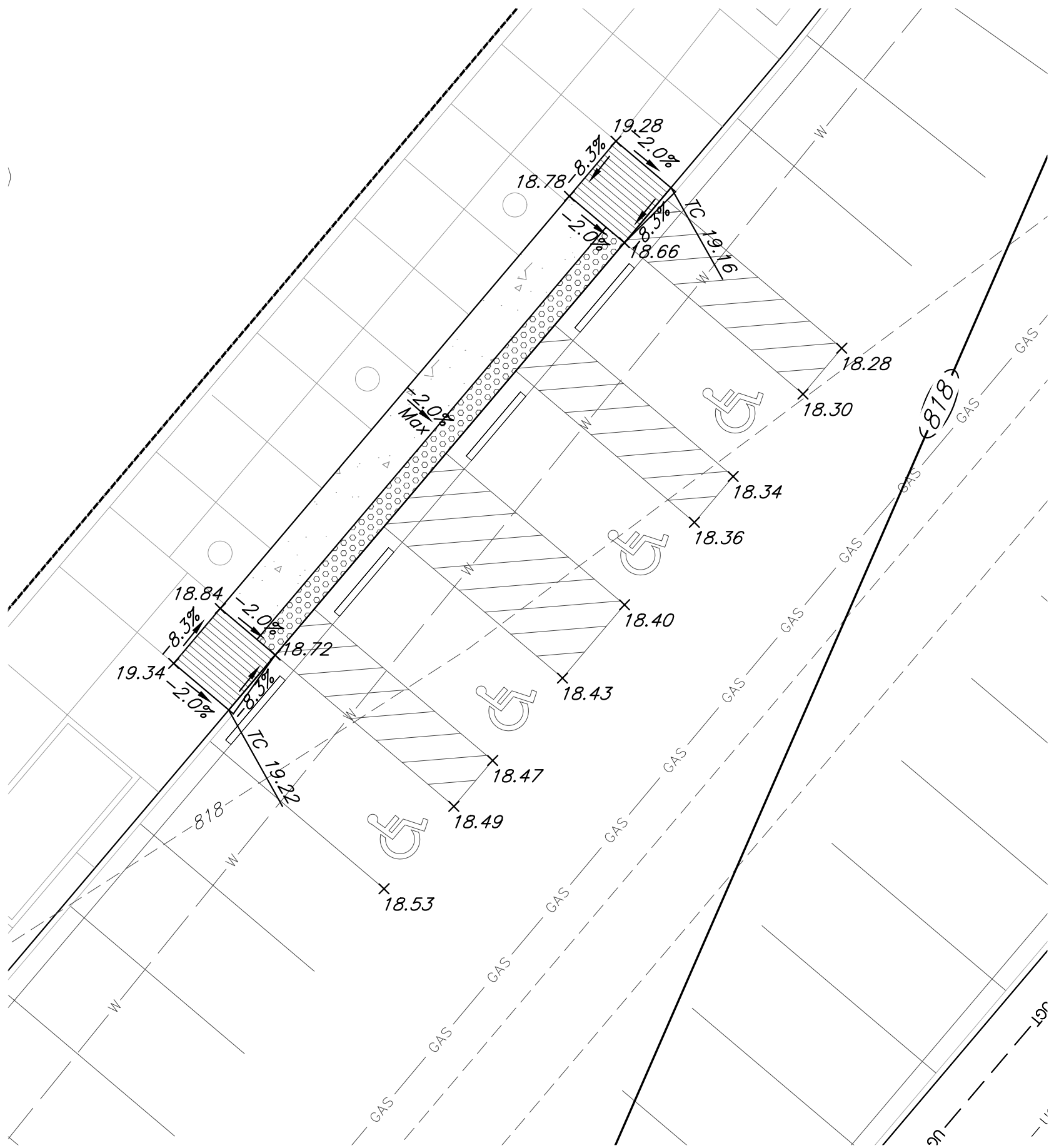
SHEET NO:

C008

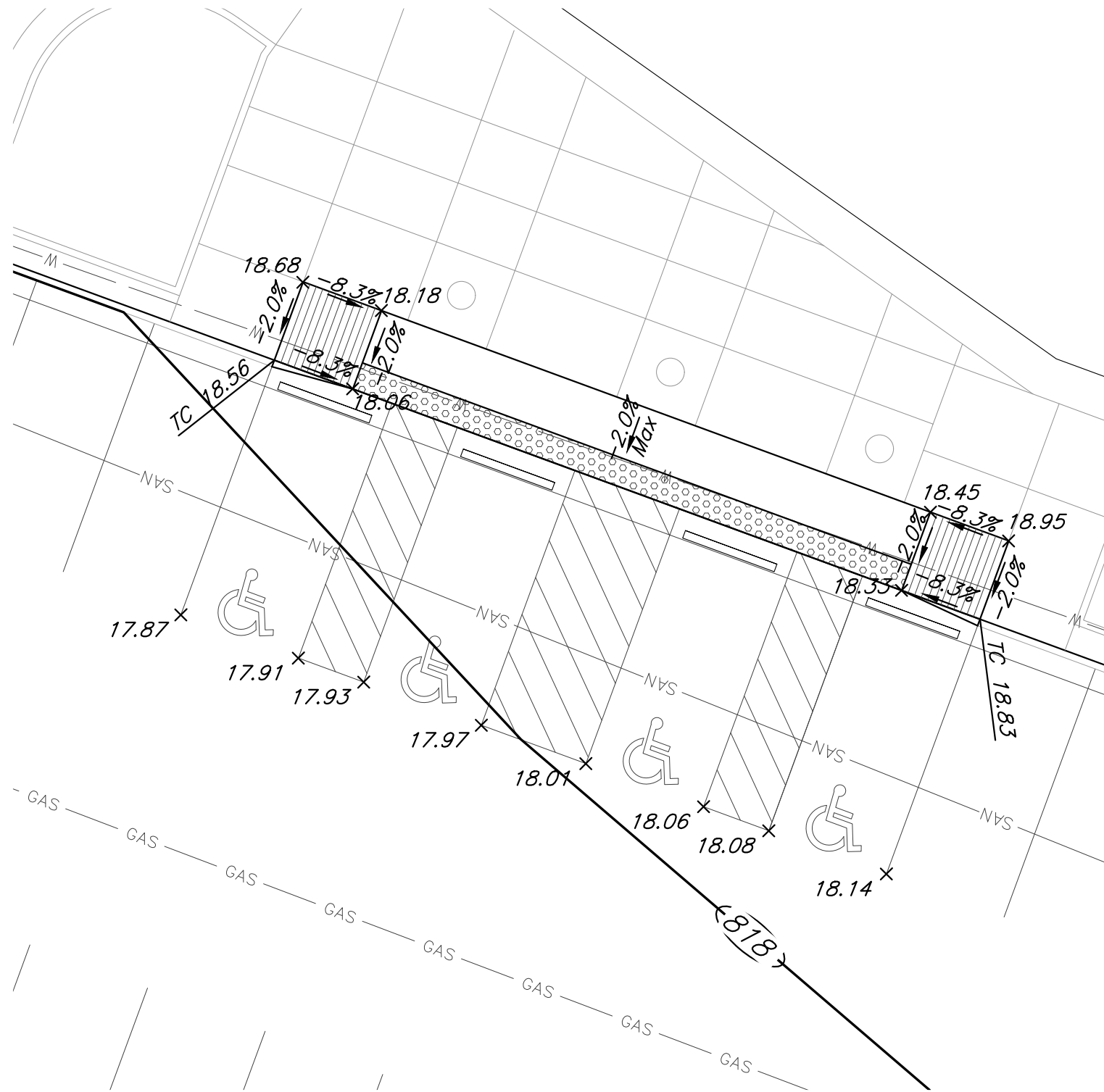
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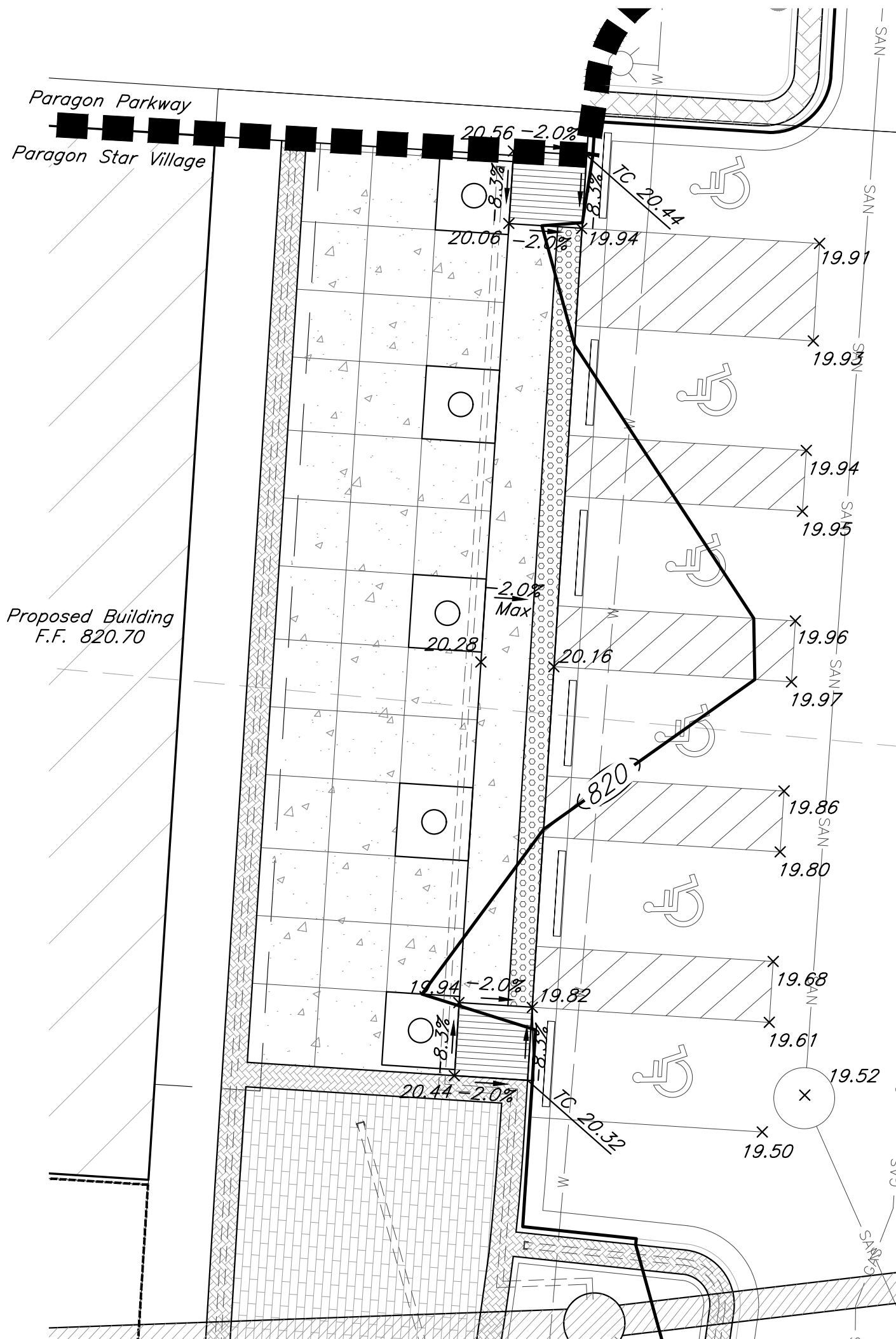
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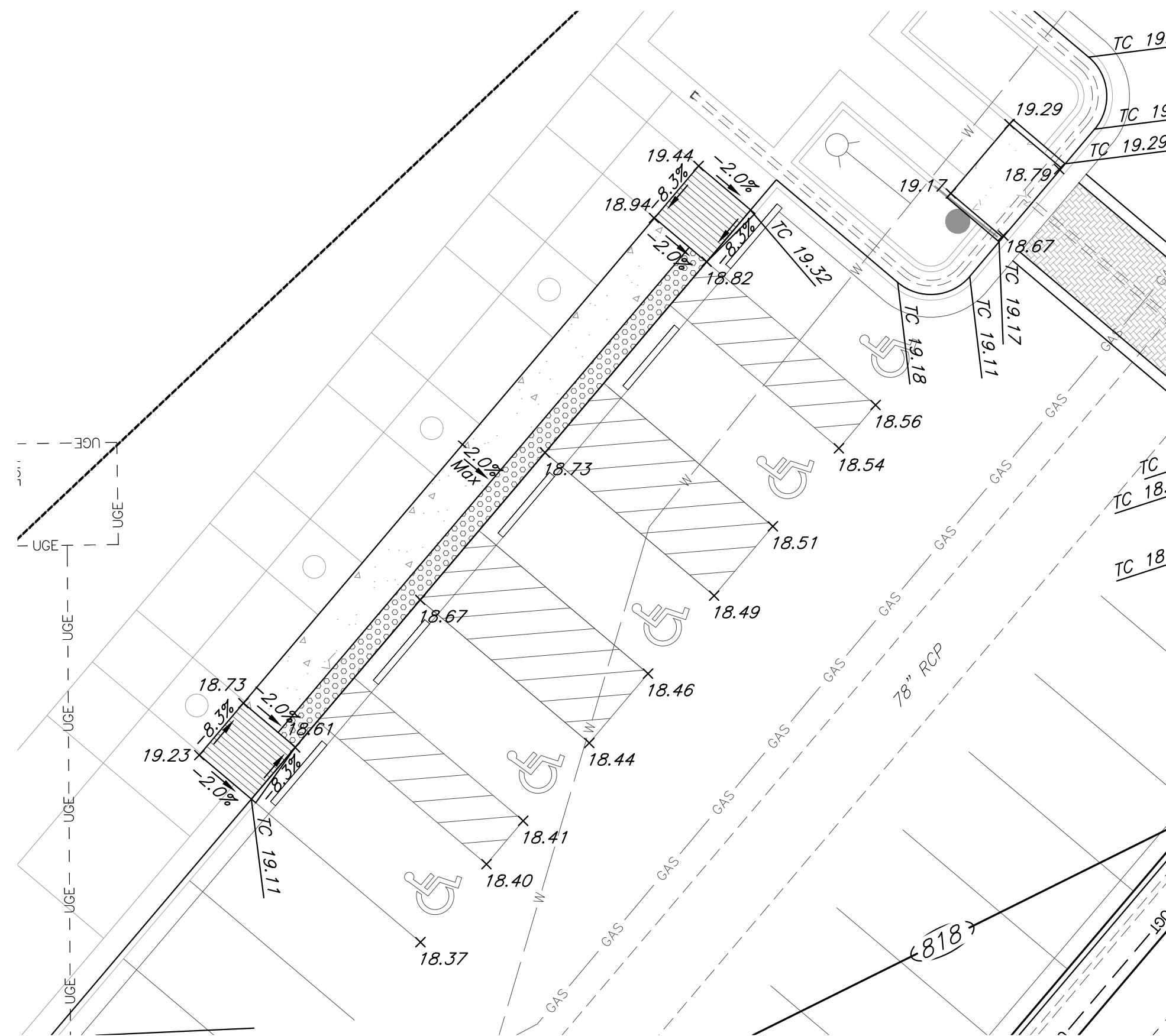
Enlargement "C"



Enlargement "D"



Enlargement "B"



Enlargement "E"

NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.
3. ADA Parking stalls shall not exceed 2% slope in any direction.
4. For ADA Parking detail see sht. C023
5. Crosswalks may not exceed 2% cross slope and 5% longitudinal slope.

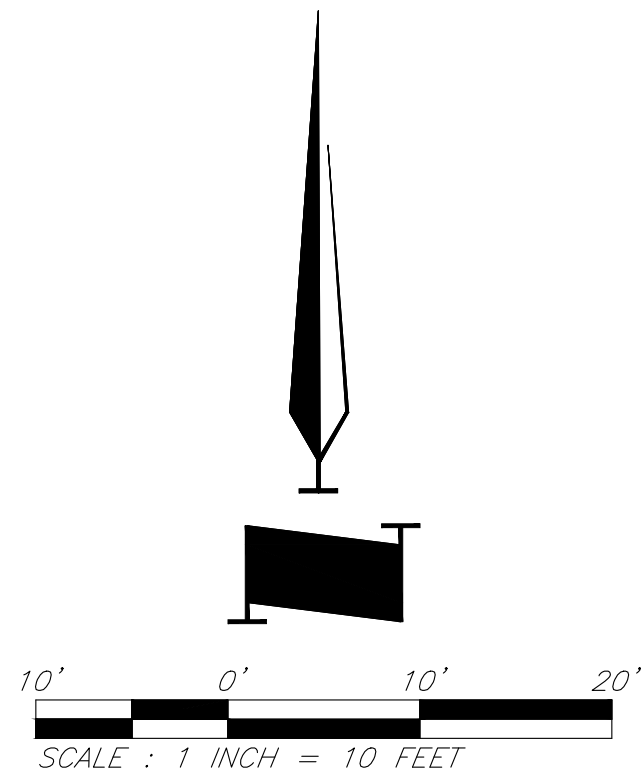
CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

- - - 800 - - - Existing Contour
- (800) Proposed Contour
- TC 800.00 Proposed Top of Curb
- x 800.00 Proposed Spot Grade
- Drainage Flow Arrow
- Paragon Parkway Construction Line for Paragon Parkway and Paragon Star Village

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AS NOTED ON PLANS REVIEW
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11/24/2020



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PROJECT:

Paragon Star Village
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Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

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DRAWING TITLE:


Grading
Enlargement


JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ


SHEET NO:


C009


LEGEND

 Existing Contour

 Proposed Contour

 Proposed Top of Curb

 Proposed Spot Grade

 Drainage Flow Arrow

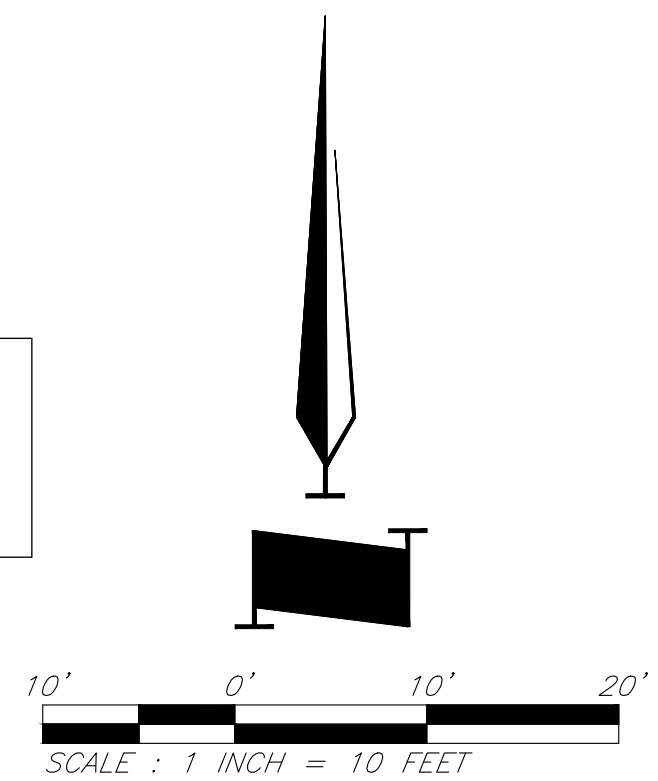
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
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Final Development Plan - Phase One (RESUBMITTAL)

C010

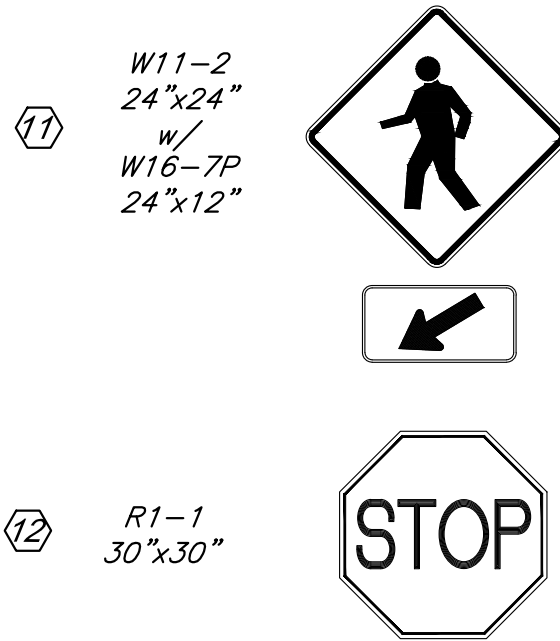
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Notes:

1. All signs shall be placed 2' behind back of curb unless otherwise noted.
2. All ADA accessible parking stalls to be painted in accordance with U.S. Dept. of Justice specifications.
3. All pavement markings on private property shall be waterborne paint.
4. All pavement markings in public Right of Way shall be preformed Thermoplastic conforming to AASHTO M249-79.



CONSTRUCTION NOTES:

1. Proposed HD Asphalt Pavement
2. Proposed LD Asphalt Pavement
3. Type CG-1 Curb & Gutter
4. Type CG-1 "Dry" Curb & Gutter
6. Construct Concrete Walk
8. No Parking Pavement Striping for Trash Enclosure
9. Construct Type "A" ADA Ramp
10. Construct Trash Enclosure (See Arch. Plans)
11. Crosswalk Signage (See Detail this Sheet)
12. Stop Sign Signage (See Detail this Sheet)

DIMENSION NOTES:

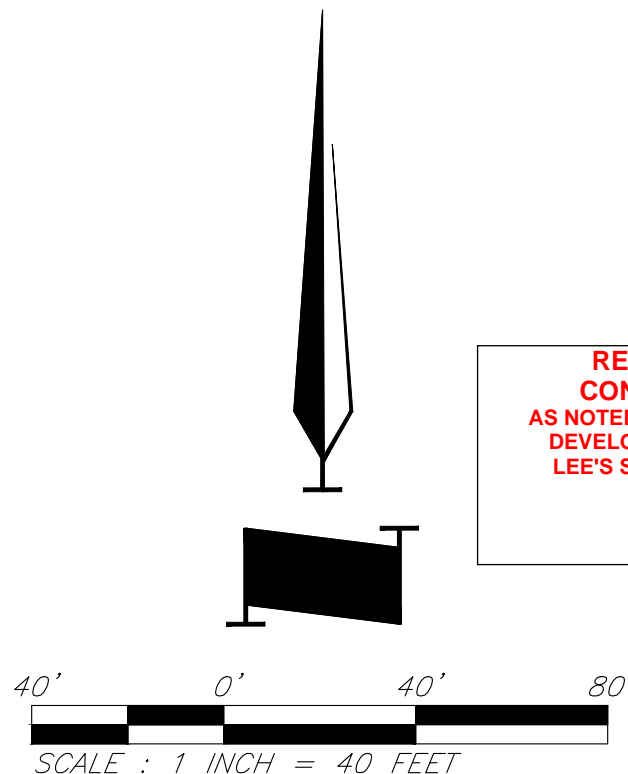
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheets C022 - C023 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

	Proposed HD Asphalt Surface		Proposed Water Line
	Proposed LD Asphalt Surface		Proposed Storm Sewer
	Proposed Concrete Pavement		Existing Sanitary Sewer
	Proposed HD Concrete Pavement (Trash Enclosure)		Stream Corridor
	Proposed Building		Crosswalk Sign / Stop Sign (Typ)
			Construction Line for Paragon Parkway and Paragon Star Village



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Dimension Plan

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

C011

1. All signs shall be placed 2' behind back of curb unless otherwise noted.
2. All ADA accessible parking stalls to be painted in accordance with U.S. Dept. of justice specifications.
3. All pavement markings on private property shall be waterborne paint.
4. All pavement markings in public Right of Way shall be preformed Thermoplastic conforming to AASHTO M249-79.

- ⑦ Proposed HD Asphalt Pavement
- ⑧ Proposed LD Asphalt Pavement
- ⑨ Type CG-1 Curb & Gutter
- ⑩ Type CG-1 "Dry" Curb & Gutter
- ⑪ Construct Concrete Walk
- ⑫ Construct 2' wide curb cut and conc. flume
- ⑬ Construct Trash Enclosure (See Arch. Plans)
- ⑭ Crosswalk Signage (See Detail this Sheet)
- ⑮ Stop Sign Signage (See Detail this Sheet)
- ⑯ Paver Crosswalk
- ⑰ Construct Type A S/W Ramp w/o Detectable Warnings

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. All pavement and concrete shall be cleanly sawcut to full depth prior to removal.
3. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

*Proposed HD Concrete Pavement
(Trash Enclosure)*

Crosswalk Sign / Stop Sign (Typ)

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LEE'S SUMMIT, MISSOURI**

11/24/2020

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Paragon Star Village

Final Development Plan - Phase One (RESUBMITTAL)

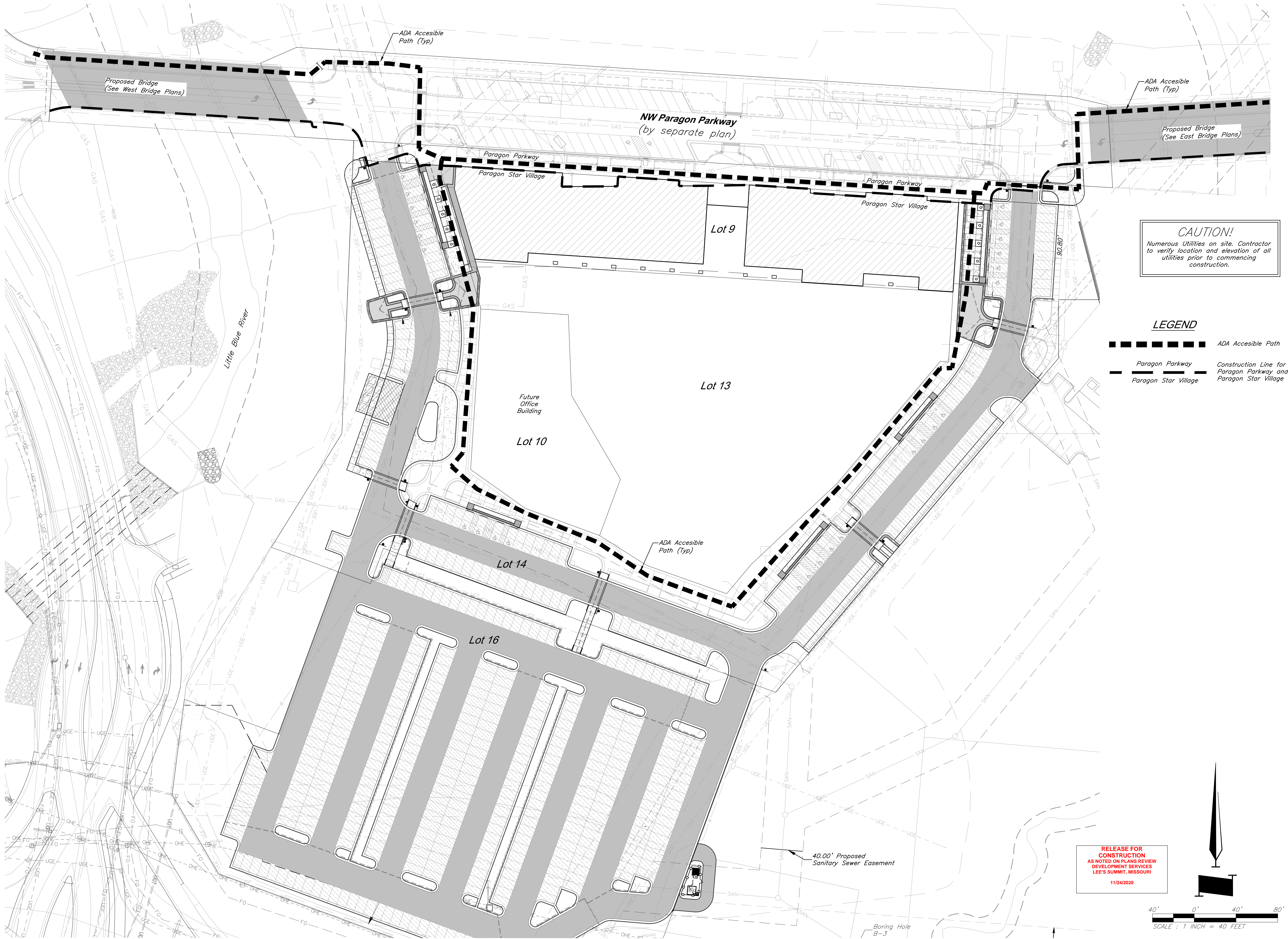
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Dimension Plan

SHEET NO.

C012

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- LEGEND**
- ADA Accessible Path
 - Construction Line for Paragon Parkway and Paragon Star Village
 - Paragon Parkway
 - Paragon Star Village

**RELEASE FOR
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DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
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40' 0' 40' 80'
SCALE : 1 INCH = 40 FEET

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ISSUE:

PROFESSIONAL SEAL:



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**ADA Accessible
Plan**

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

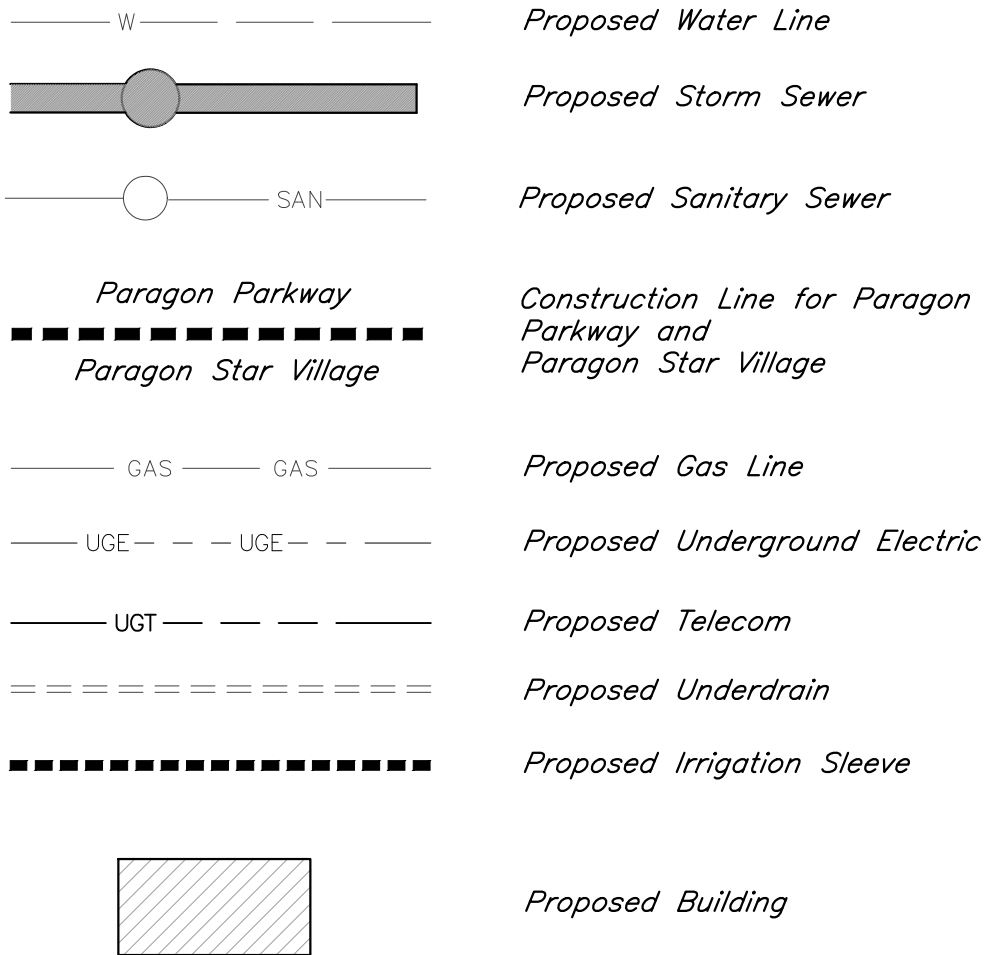
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C013

C014

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Utility Legend



Telecom Construction Notes

- T1 Install 11.5'x9.5'x7.5' Communication Vault
- T2 Install 150 LF 5" HDPE Conduit to Communication Vault
- T3 Install 106 LF 5" HDPE Conduit west, Cap End of Conduit.
- T4 Install 482 LF 5" HDPE Conduit to Pull Box

Telecom General Notes

1. Telecom pull boxes shall have open bottom with pea gravel and ANSI tier rating for traffic requirements at location. Provide Quazite PG3048-Series or equal.

Electrical Service Construction Notes

- E1 Proposed High Voltage 200 Amp Fuse/Switch (3'x6') Above Grade - Construct Pad per Everygy Standards.
- E2 Construct 9'x9' Concrete Building Transformer Pad
- E3 Install 319 LF 4" PVC Conduit to Switchgear
- E4 Install 230 LF 4" PVC Conduit to Switchgear
- E5 Install 49 LF 4" PVC Conduit to Concrete Building Transformer Pad
- E6 Install 90 LF 4" PVC Conduit, Cap End of Conduit
- E7 Install 94 LF 4" PVC Conduit, Cap End of Conduit

Electrical Service General Notes

1. All electrical work shall conform to Everygy Standards
2. Electrical routing reflects the latest, although preliminary designs from Everygy. Final routing of conduit shall match Final design from Everygy.
3. Electrical conduit shall be NEC approved schedule 40 gray PVC.

Note:

Storm structures 4100, 4101, 4102, 4301, 4302, 4303, 4800, 4801, 4802, 5401, 5402 & 5501 will be constructed with Paragon Parkway Street Plans.

Irrigation Sleeve Lengths

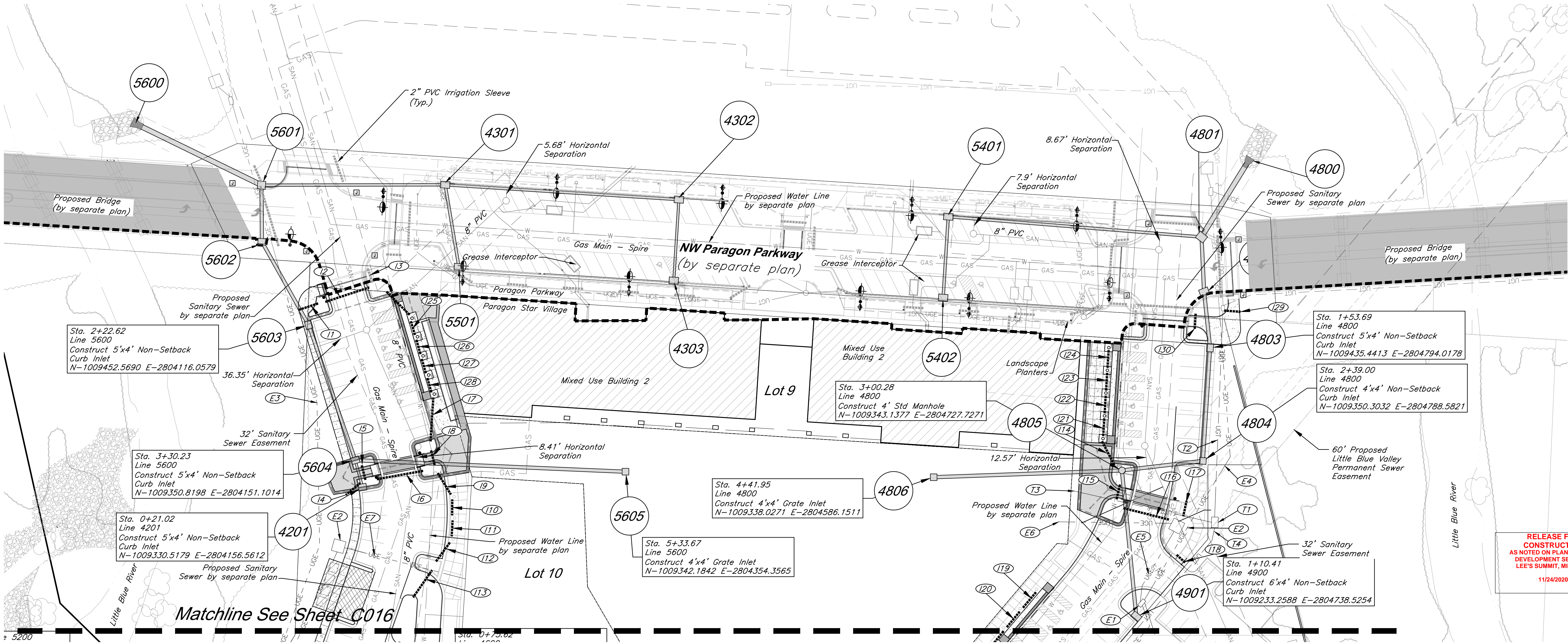
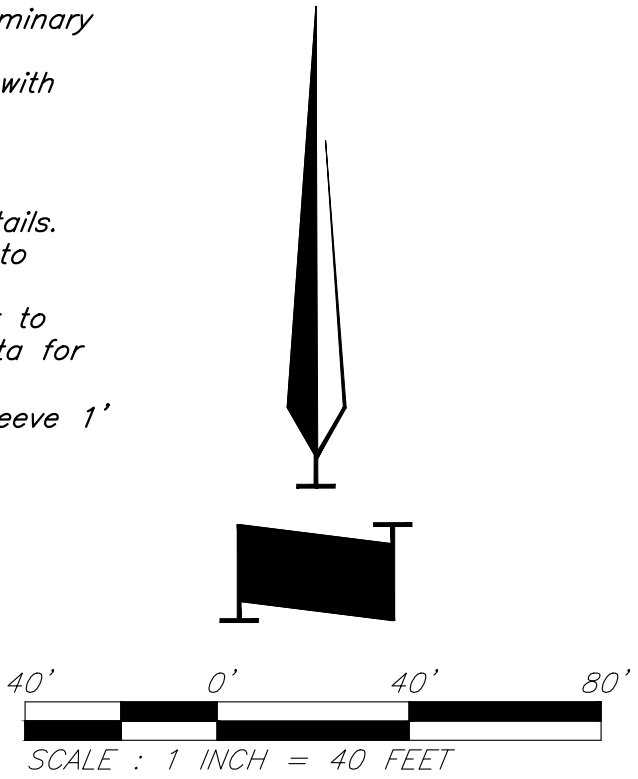
Sleeve #	Length (FT)
11	15.5
12	34.5
13	24.5
14	14
15	11
16	35
17	33
18	11
19	19
110	12
111	12
112	17.5
113	25
114	20
115	11.5
116	35
117	12
118	8.5
119	15
120	15
121	13.5
122	13.5
123	13.5
124	13.5
125	10.5
126	11
127	11
128	11
129	12.5
130	11

Notes:

1. Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
2. Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
3. Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
4. Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

General Utility Notes

1. See Sheets C022-C023 for Construction Details.
2. Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
3. Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
4. All irrigation sleeves to be 2" PVC. Install sleeve 1' into planting area.
5. Gas line to be constructed by Spire.



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

JOB NO: 1249

SCALE:

DATE: 11.04.2020

DRAWN BY:KNJ

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Electrical Service Construction Notes

- (E1) Proposed High Voltage 200 Amp Fuse/Switch (3'x6') Above Grade - Construct Pad per Every Standards.
(E2) Construct 9'x9' Concrete Building Transformer Pad
(E8) Install 426 LF 4" PVC Conduit south. Cap End of Conduit.
(E9) Install 426 LF 4" PVC Conduit to Switchgear.
(E10) Install 204 LF 4" PVC Conduit to Concrete Building Transformer Pad
(E11) Install 276 LF 4" PVC Conduit south. Cap End of Conduit.
(E12) Install 218 LF 4" PVC Conduit east. Cap End of Conduit.
(E13) Install 120 LF 4" PVC Conduit to Concrete Building Transformer Pad
(E14) Install 108 LF 4" PVC Conduit north to Concrete Building Transformer Pad

Electrical Service General Notes

- All electrical work shall conform to Every Standards
- Electrical routing reflects the latest, although preliminary designs from Every. Final routing of conduit shall match Final design from Every.
- Electrical conduit shall be NEC approved schedule 40 gray PVC.
- All electrical weather proof/resistant receptacles shall have maximum 6' liquid tight flexible conduit connection from weather proof above grade junction box with HDPE conduit 3" AFG. switched hot routed through lighting management system (relay panel)

Telecom Construction Notes

- (T1) Install 11.5'x9.5'x7.5' Communication Vault
(T5) Install Telecom Utility Pull Box. 30"x48" Pre-Formed Polymer Concrete Handhole
(T6) Install 436 LF 5" PVC Conduit to Pull Box
(T7) Install 186 LF 5" PVC Conduit to Communication Vault

Telecom General Notes

- Telecom pull boxes shall have open bottom with pea gravel and ANSI tier rating for traffic requirements at location. Provide Quazite PG3048-Series or equal.

Irrigation Sleeve Lengths

Sleeve #	Length (FT)	Sleeve #	Length (FT)
131	11.5	151	26.5
132	32	152	32.5
133	15	153	32
134	15	154	29
135	35	155	30
136	25	156	30
137	12.5	157	47.5
138	14	158	30.5
139	35	159	38.5
140	11	160	36
141	15	161	11
142	18	162	11
143	38	163	25.5
144	30.5	164	29
145	11	165	18
146	45.5	166	11
147	33	167	11
148	32.5	168	17
149	32.5	169	26.5
150	11		

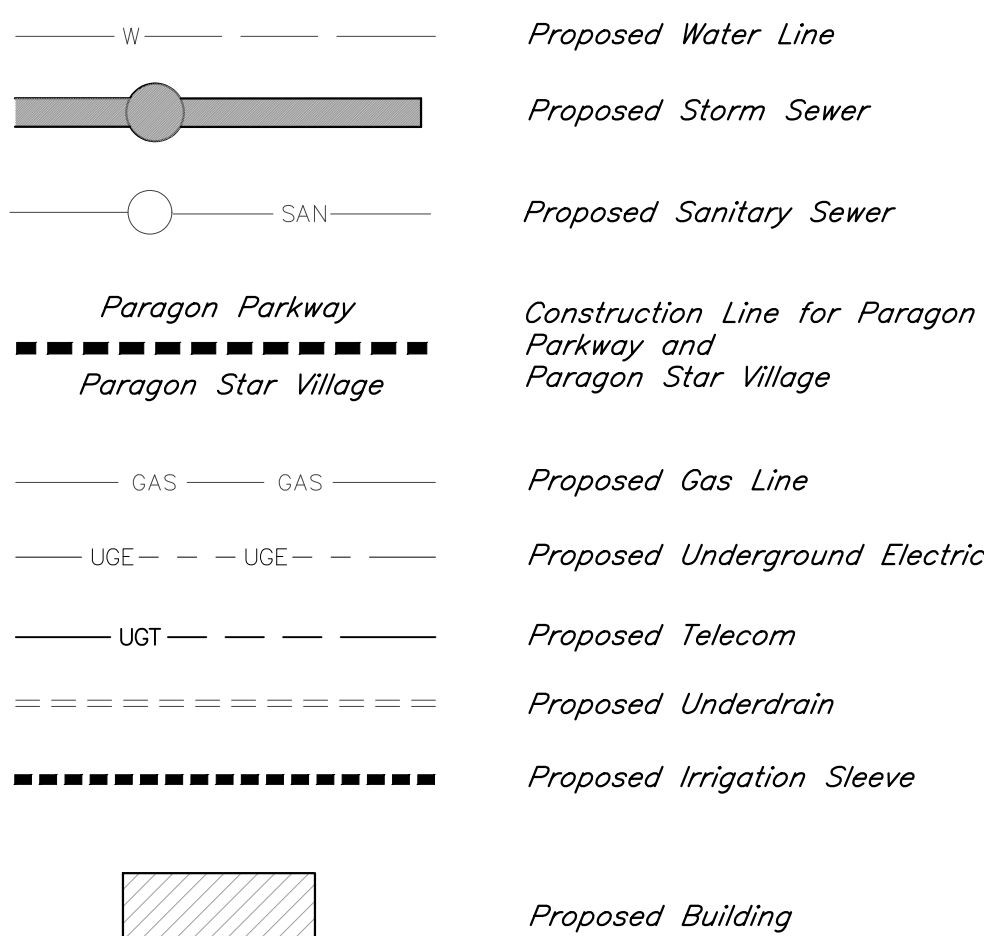
Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Taps on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

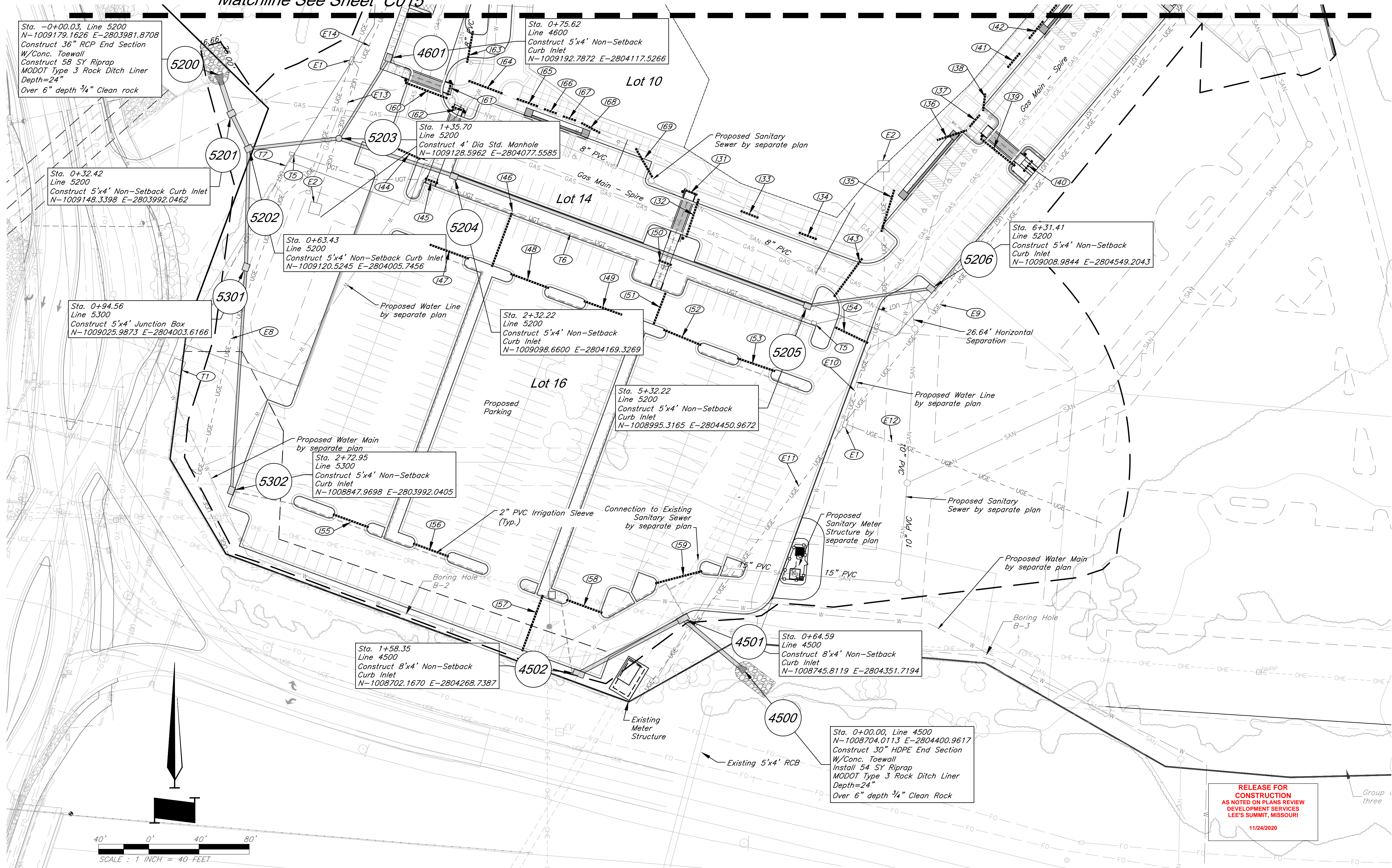
General Utility Notes

- See Sheets C022-C023 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- All irrigation sleeves to be 2" PVC. Install sleeve 1' into planting area.
- Gas line to be constructed by Spire

Utility Legend



Matchline See Sheet C015



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

JOB NO: 1249

SCALE:

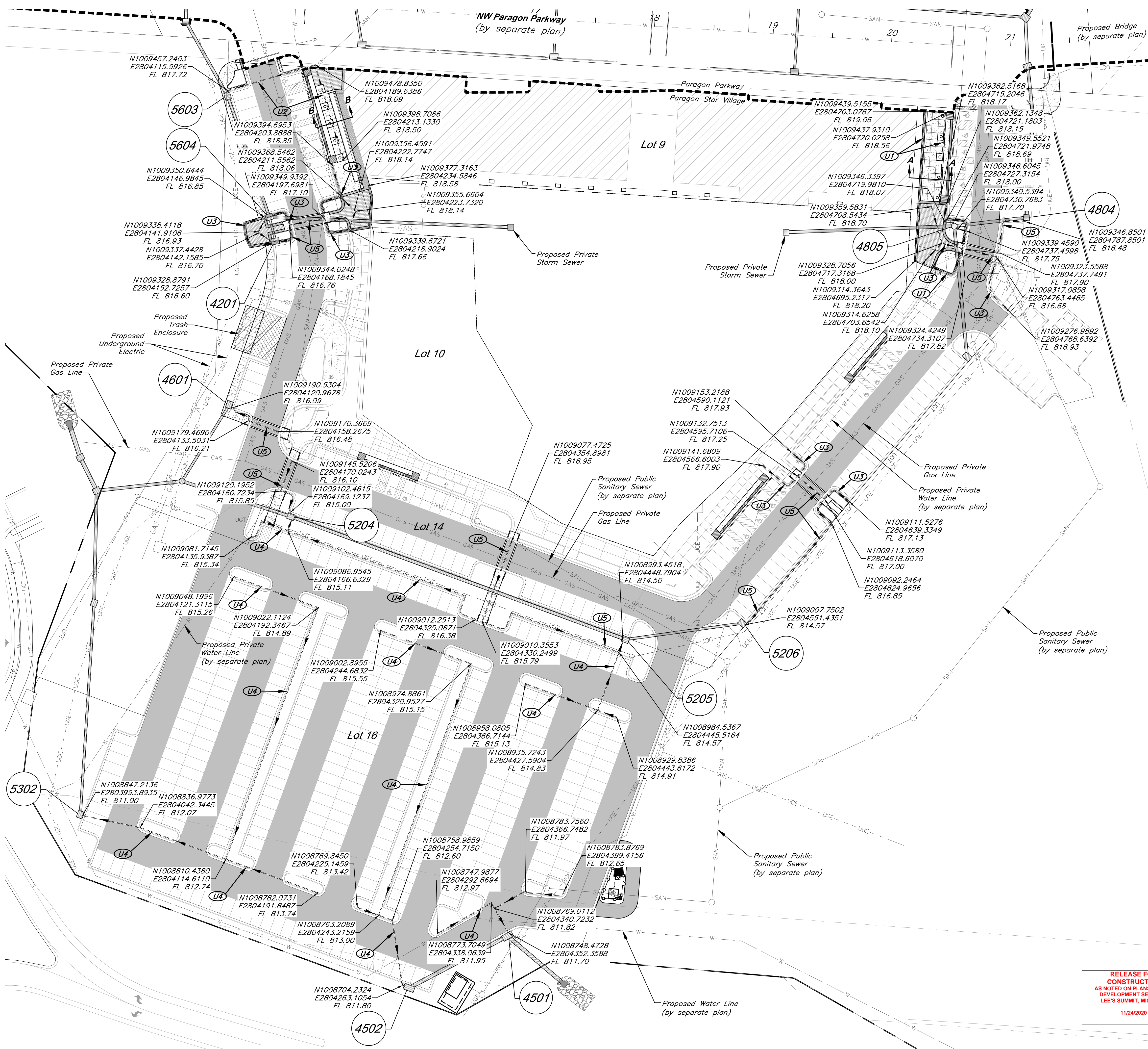
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Underdrain Construction Notes

- U1** See Sheet C025 Detail "1"
- U2** See Sheet C025 Detail "2"
- U3** See Sheet C025 Detail "3"
- U4** See Sheet C025 Detail "4"
- U5** See Sheet C025 Detail "5"

Underdrain General Notes

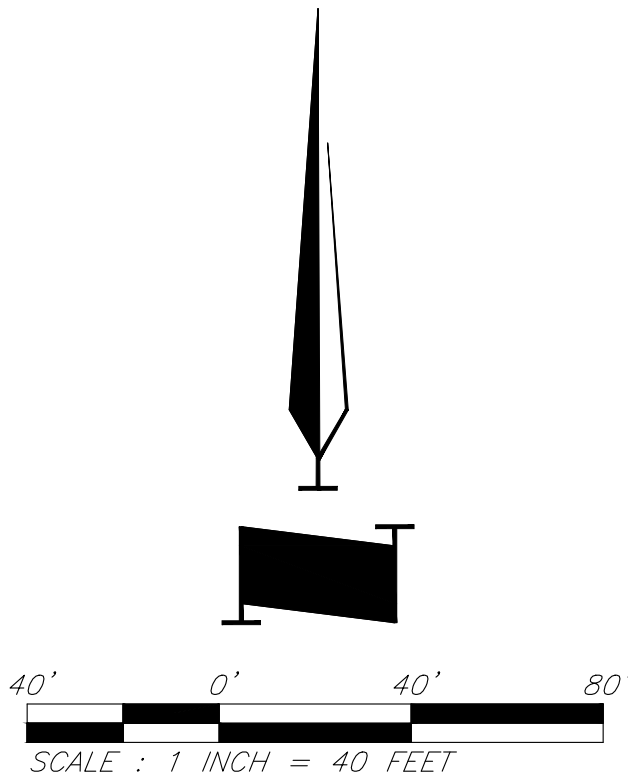
- Storm Sewer Details See Sheets C026-C028.
- All Connections to Curb Inlets shall be either precast or core drilled.

Legend

- Flow Path
- Paragon Parkway
- Construction Line for Paragon Parkway and Paragon Star Village

Note: All utilities shown are to be constructed as part of Phase 1.

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PROJECT:

Paragon Star Village

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Final Development Plan - Phase One (RESUBMITTAL)

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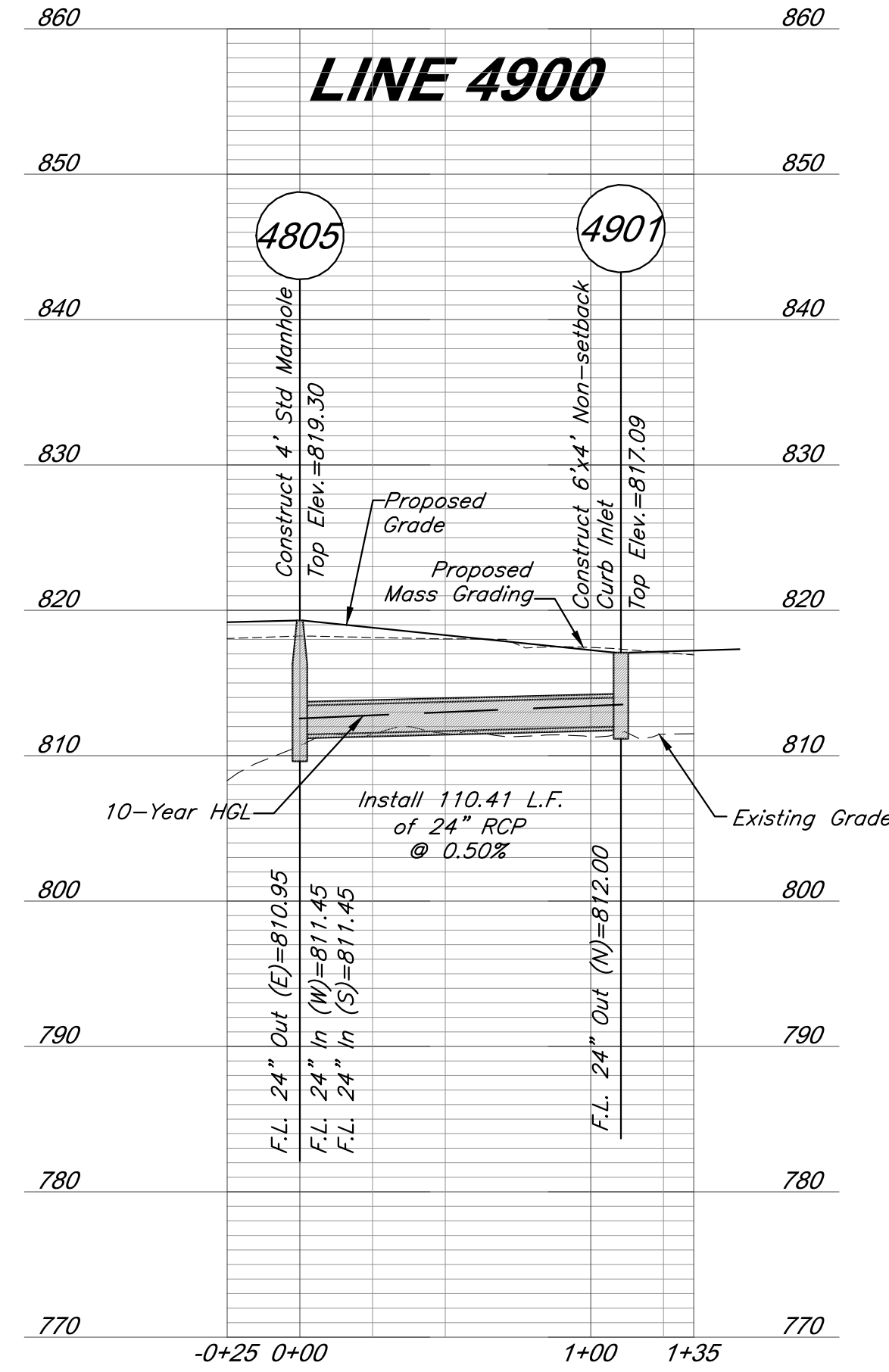
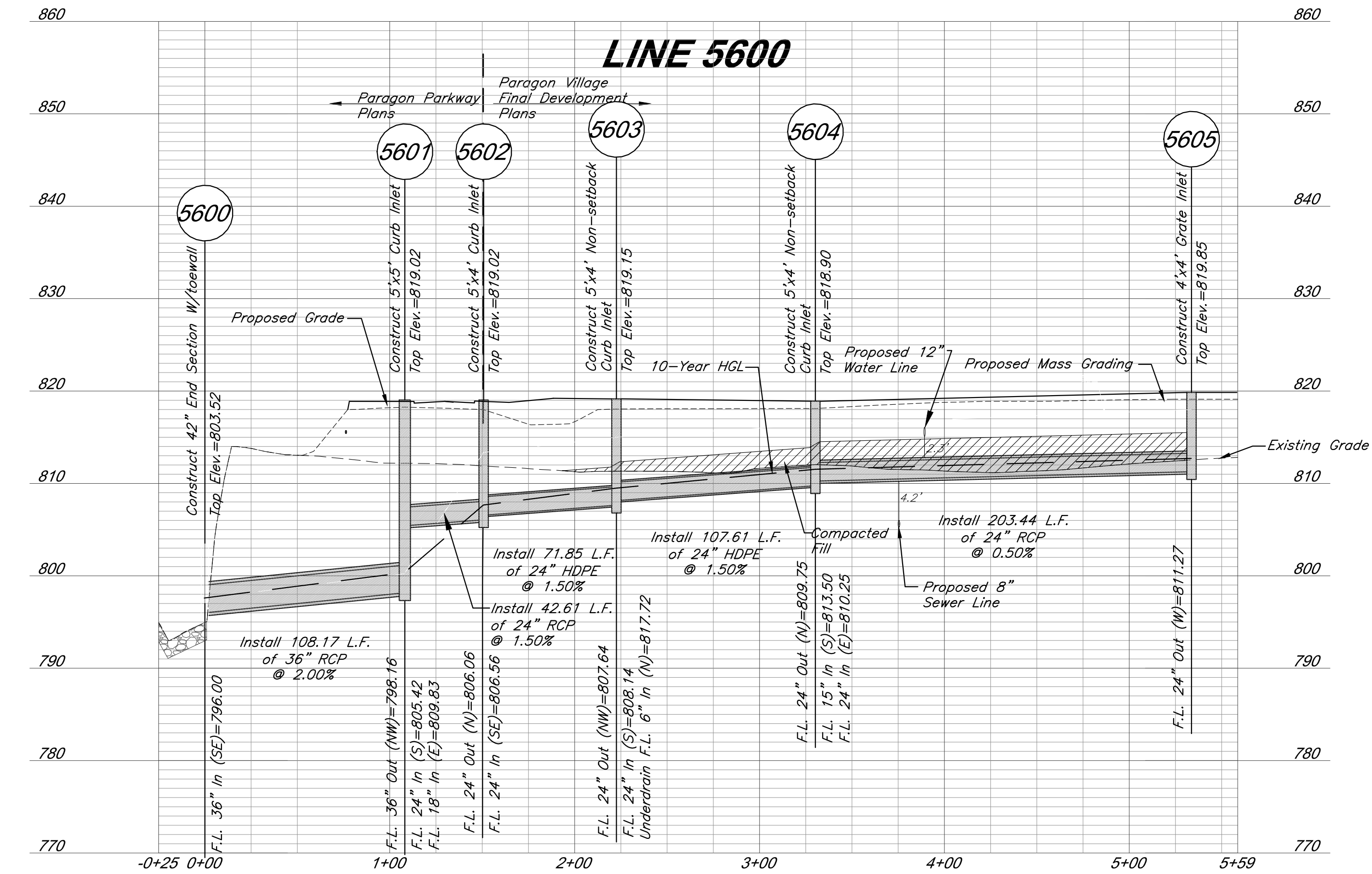
Underdrain - Construction Notes

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

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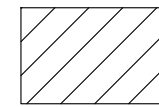
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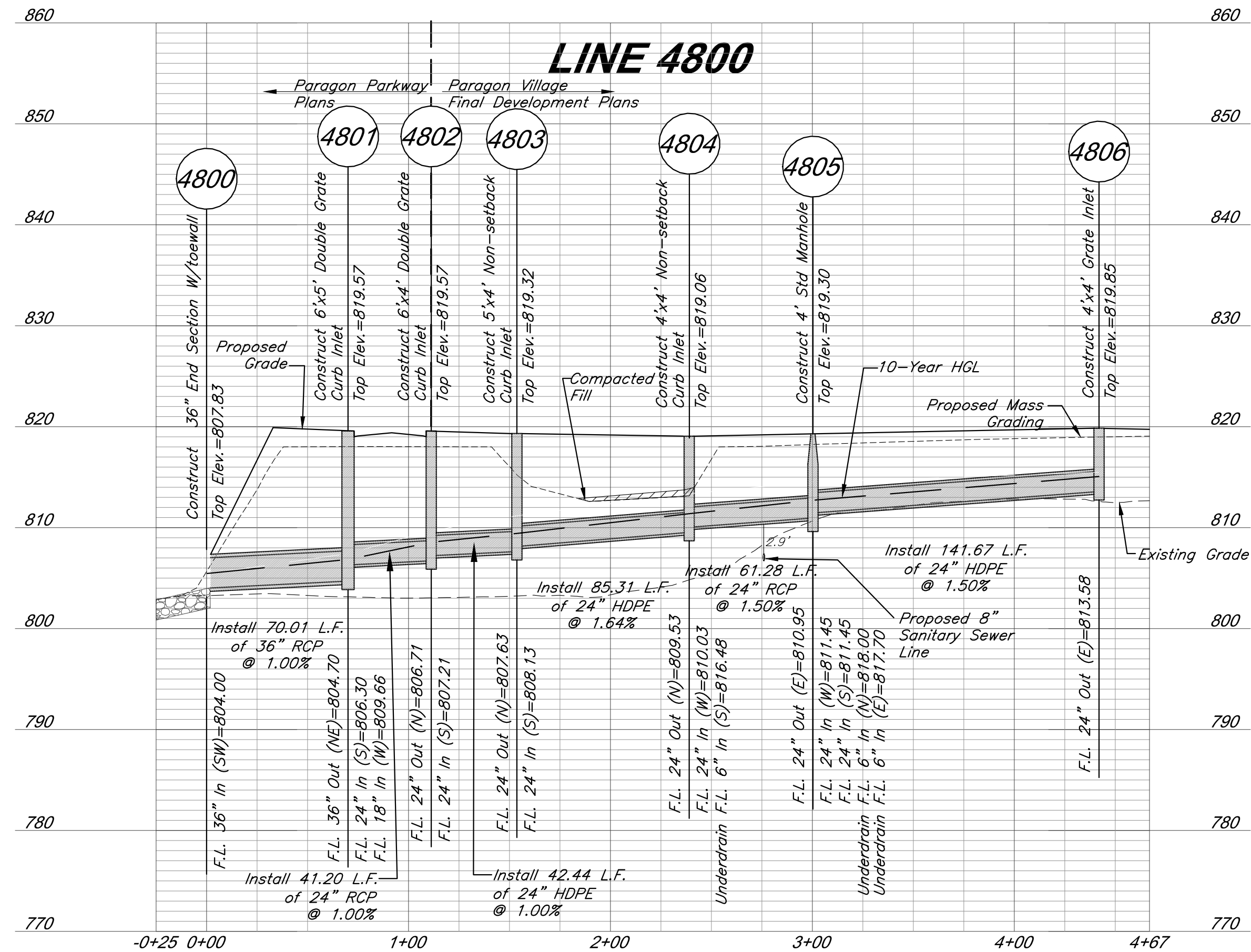
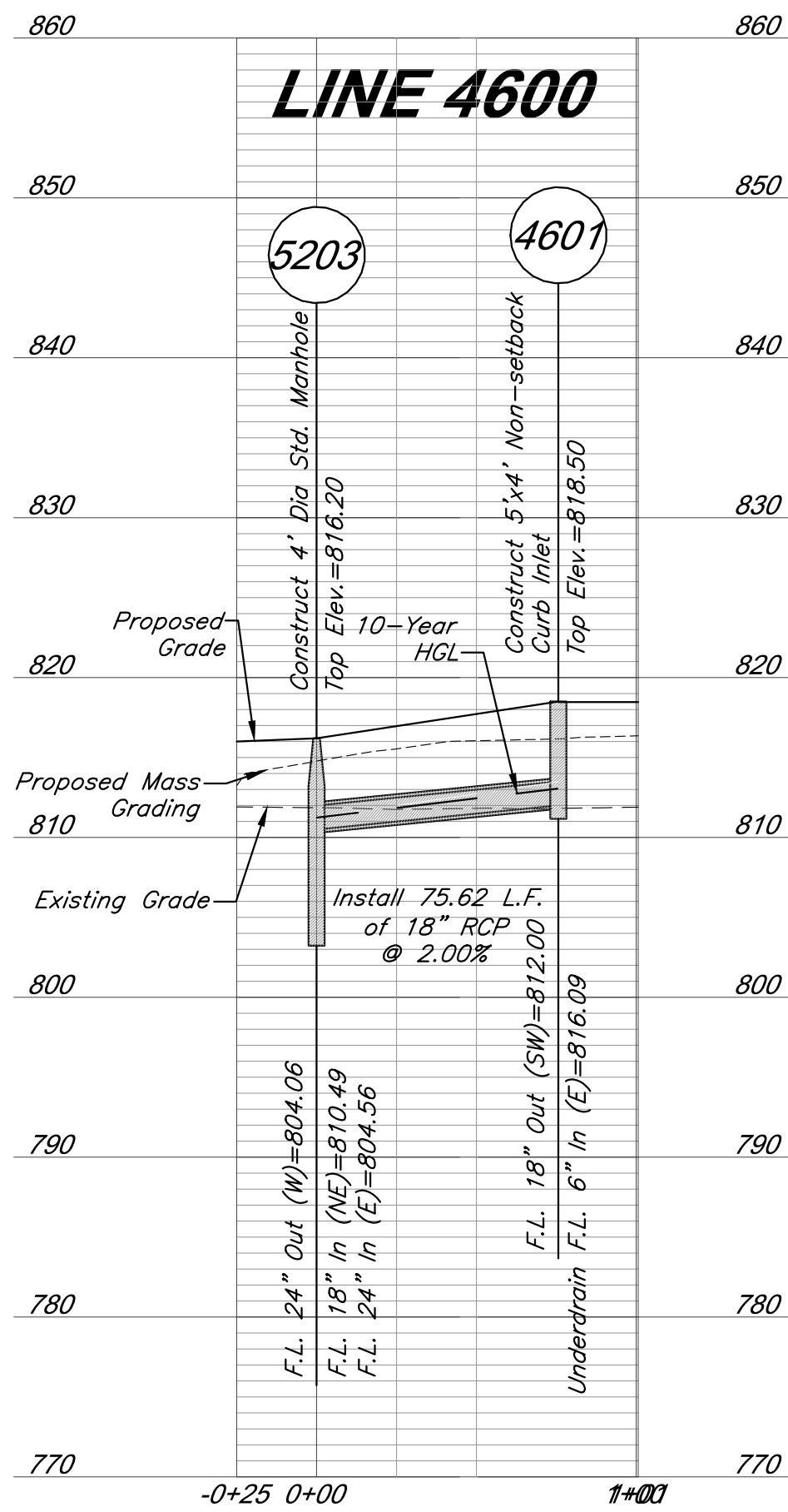
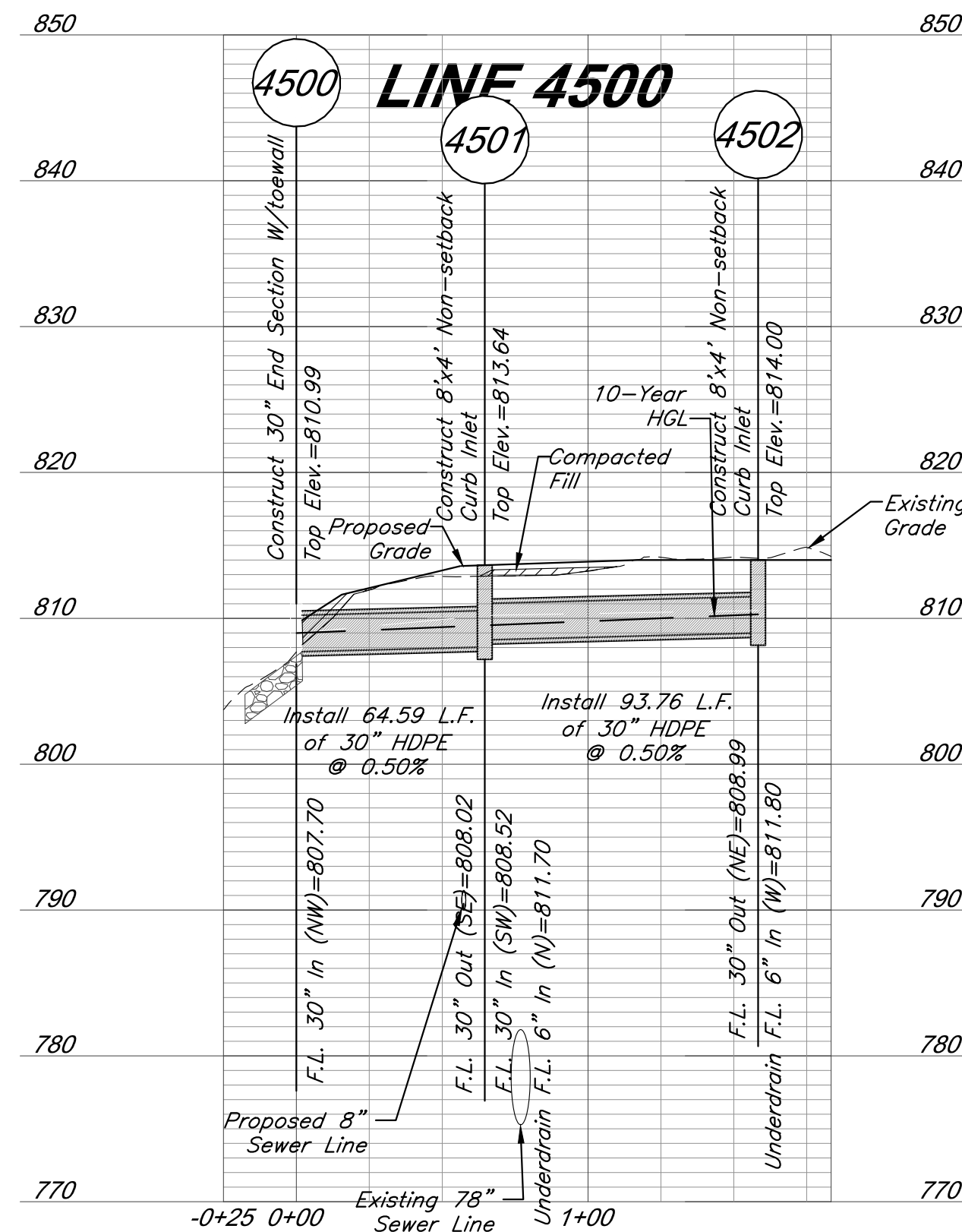
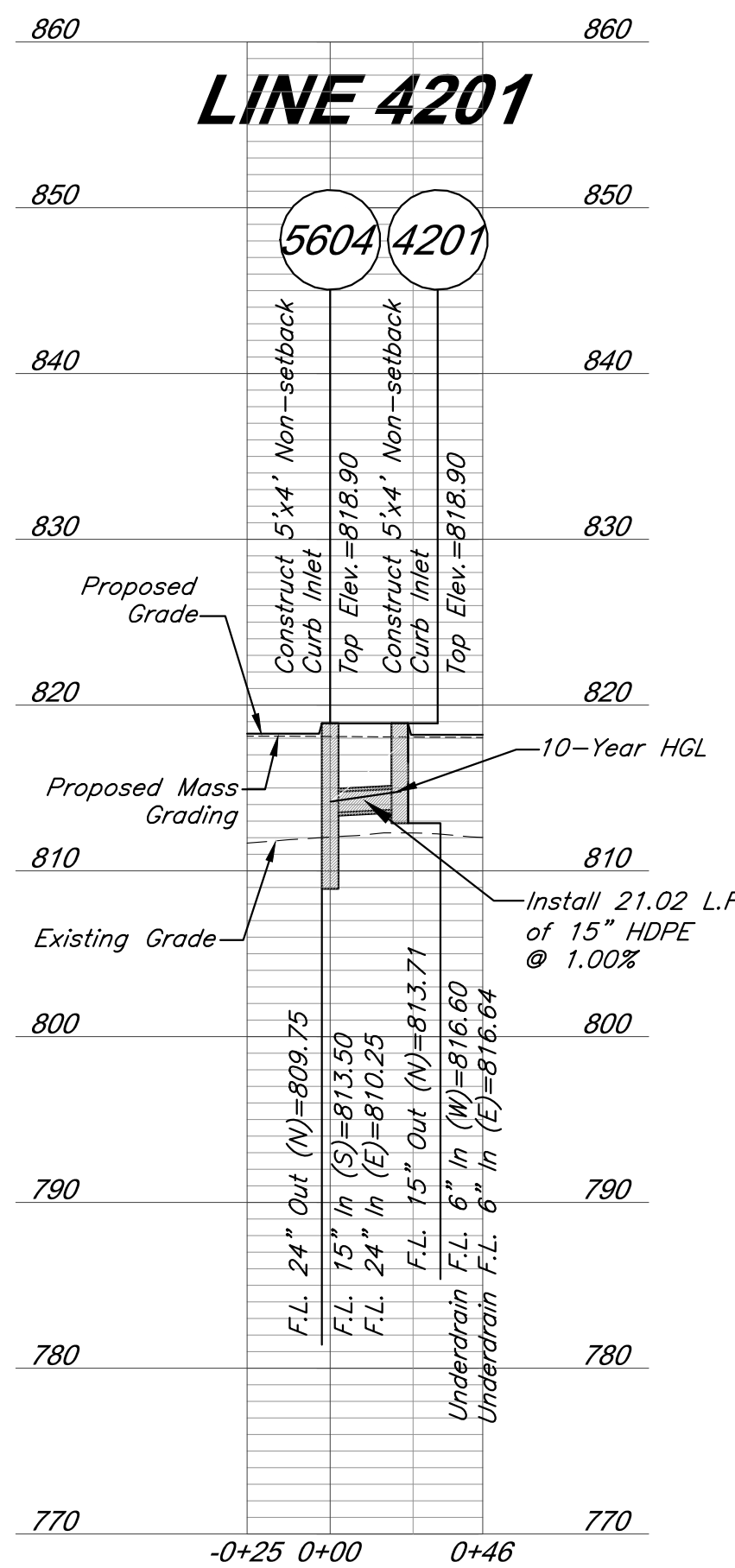
Connections:

- Line 4200 Sta 0+00.00 =
Line 5600 Sta 3+30.23
- Line 4900 Sta 0+00.00 =
Line 4800 Sta 3+00.28
- Line 5300 Sta 0+00.00 =
Line 5200 Sta 0+62.11
- Line 4600 Sta 0+00.00 =
Line 5200 Sta 1+34.91

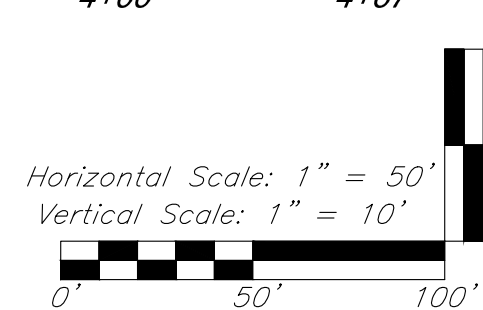
LEGEND



Compacted Fill shall be placed to a minimum of 18 inches above the top of pipe prior to installation.



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PROJECT:

Paragon Star Village
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Final Development Plan - Phase One (RESUBMITTAL)

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**Storm Sewer
Profiles**

JOB NO: 1249

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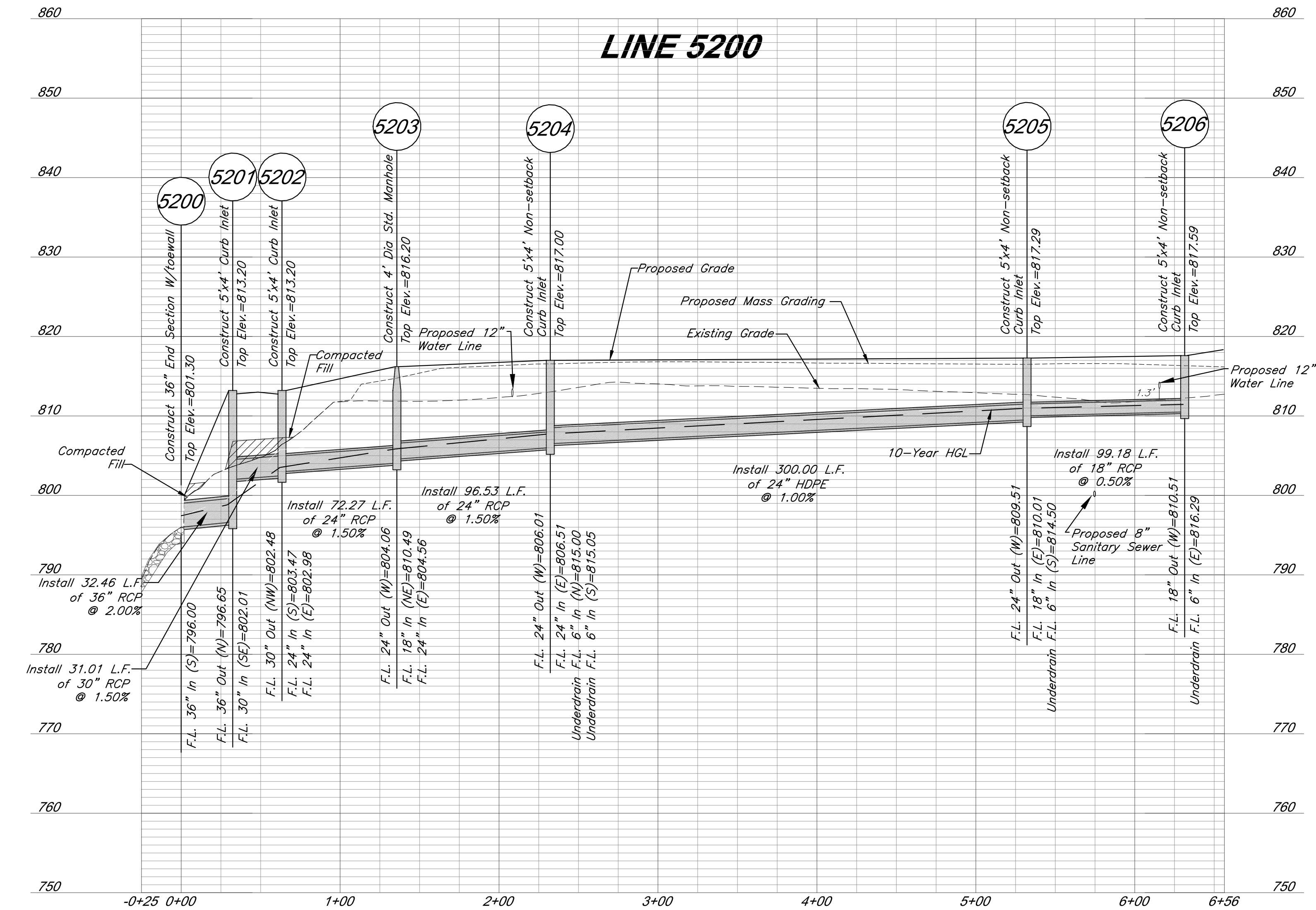
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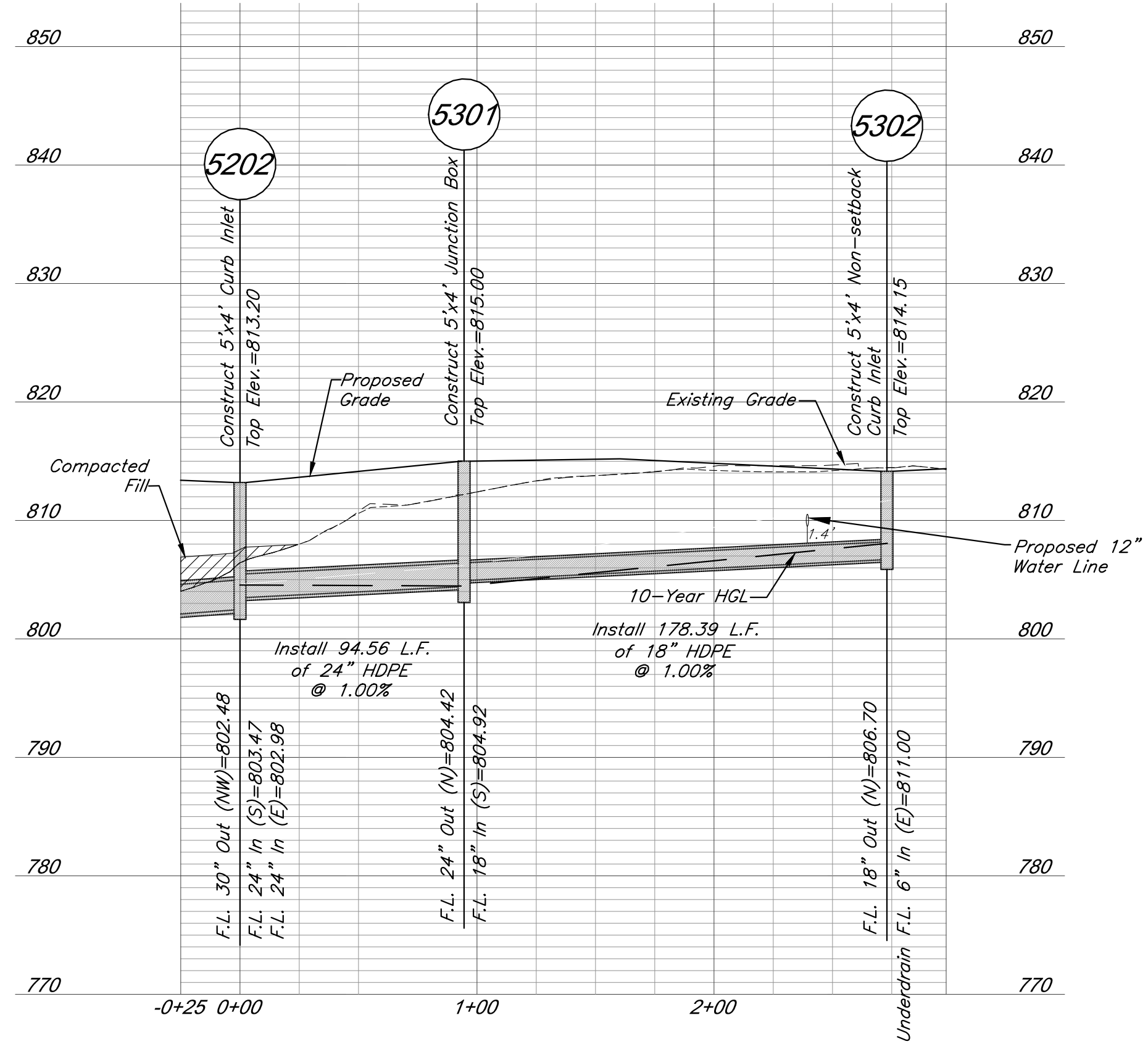
Riprap Calculations

$$D_{50} = 0.2 D \left(\frac{Q}{\sqrt{g D^3}} \right)^{3/2} \left(\frac{D}{TW} \right)$$

where,
D₅₀ = riprap size, m (ft)
Q = design discharge, m³/s (ft³/s)
D = culvert diameter (circular), m (ft)
TW = tailwater depth, m (ft)
g = acceleration due to gravity, 9.81 m/s² (32.2 ft/s²)

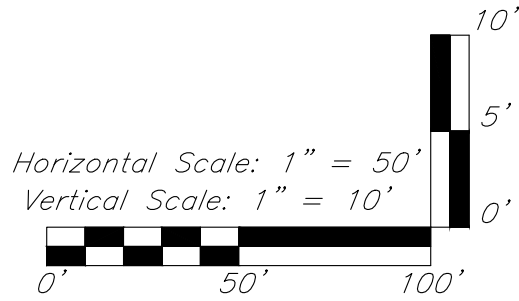
Storm Line	Q (CFS)	D (FT)	TW (FT)	D' if Super Critical Flow	Min. D50 (FT)	Min. D50 (IN)	Design D50 (IN)	Notes
5600	30.8	3	1.5	2.09	0.476	5.712	12	MODOT Type 3 Rock Ditch Liner
4500	22.5	2.5	1.25	1.29	0.296	3.551	12	MODOT Type 3 Rock Ditch Liner
4800	30.3	3	1.5	2.21	0.432	5.187	12	MODOT Type 3 Rock Ditch Liner
5200	31.5	3	1.5	2.10	0.487	5.848	12	MODOT Type 3 Rock Ditch Liner

Design flows using 100 year storm



LEGEND

Compacted Fill shall be placed to a minimum of 18 inches above the top of pipe prior to installation.



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Final Development Plan - Phase One (RESUBMITTAL)

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Legend

Existing Contour

Proposed Contour

Drainage Area

Note:
Storm structures 4100, 4101, 4102, 4301, 4302, 4303, 4800, 4801, 4802, 5401, 5402 & 5501 will be constructed with Paragon Parkway Street Plans.

North Arrow

Scale: 1 inch = 60 feet

60' 0' 60' 120'

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11/24/2020

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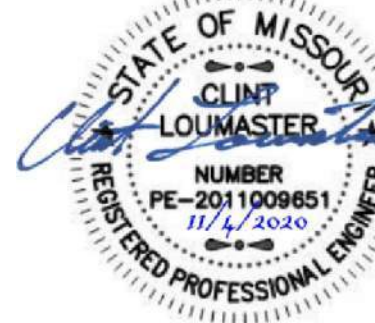
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DRAWING TITLE:

Drainage Map

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

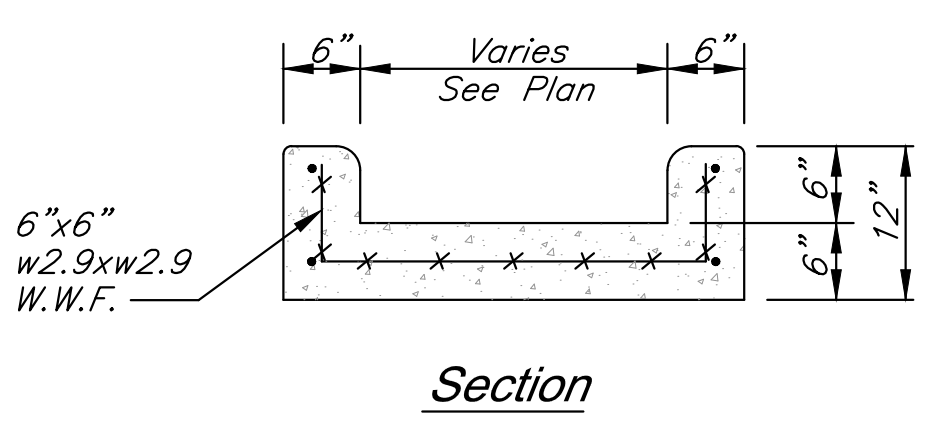
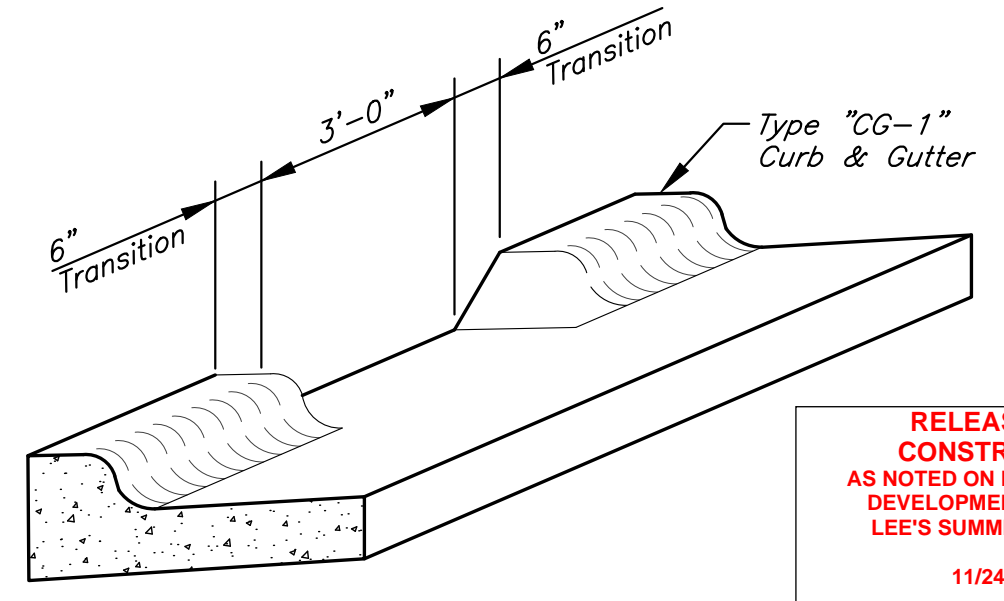
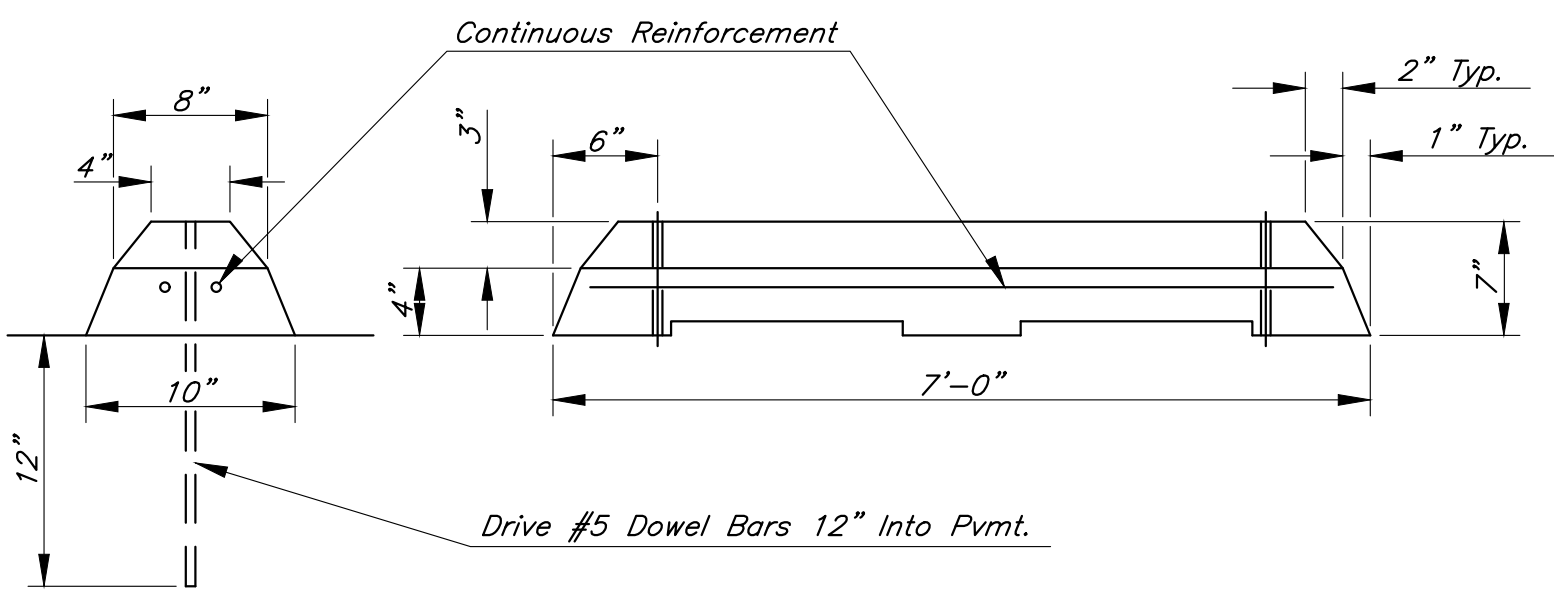
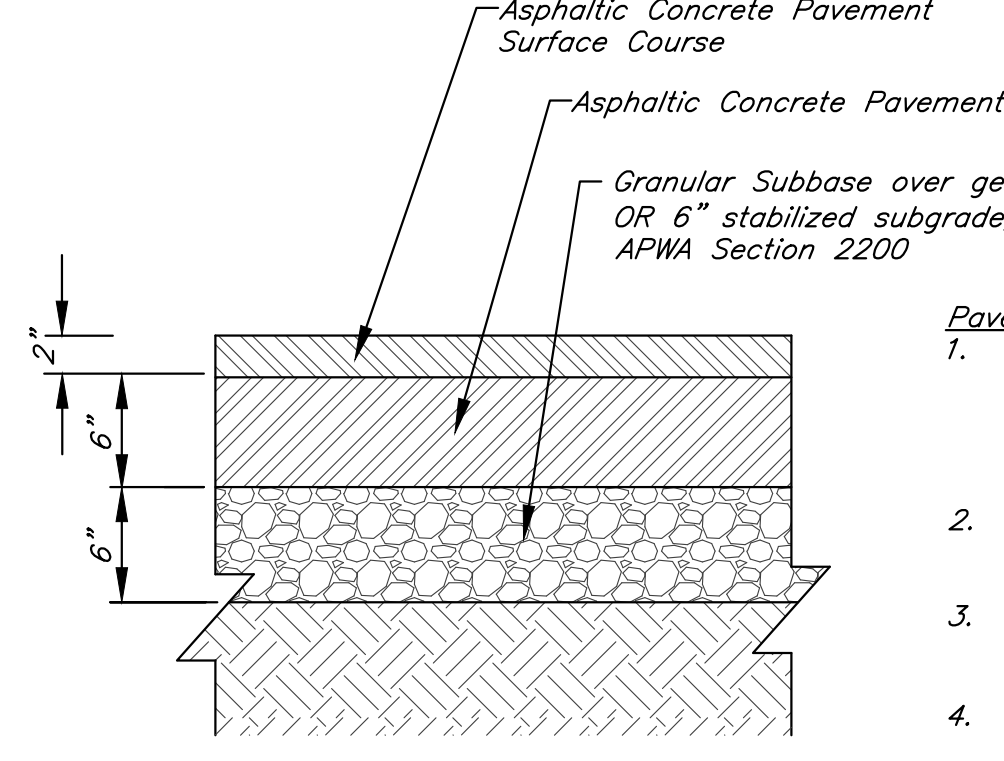
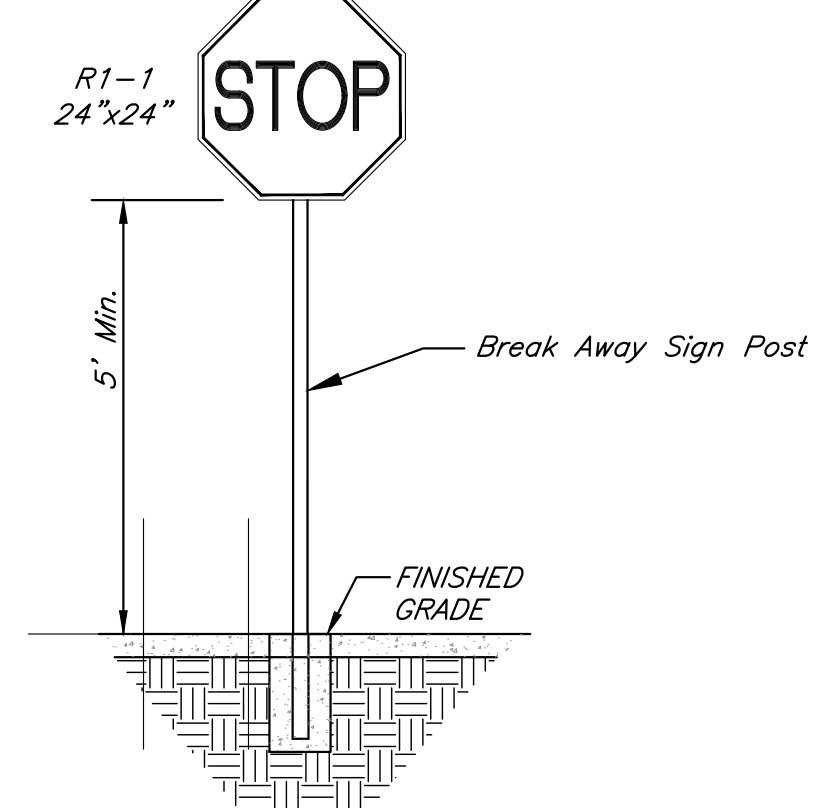
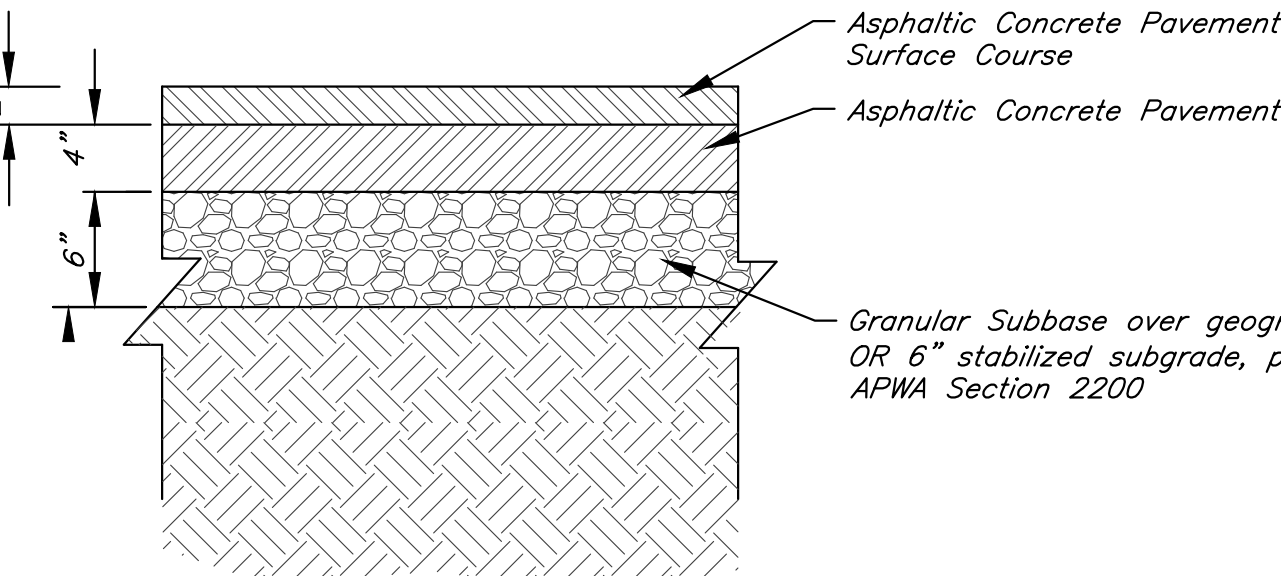
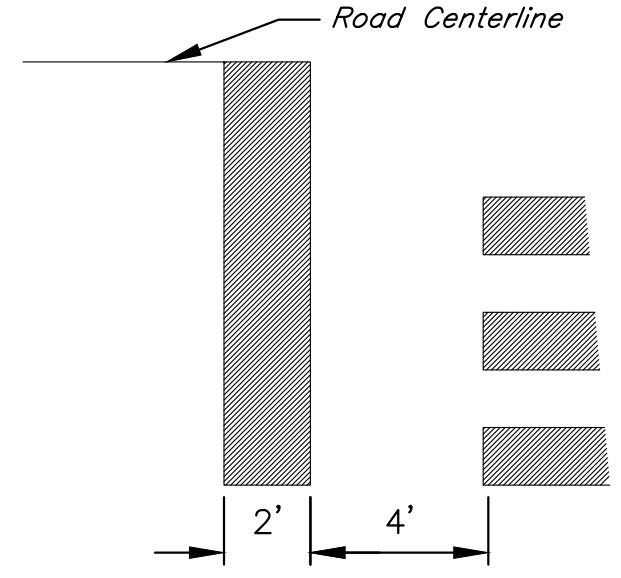
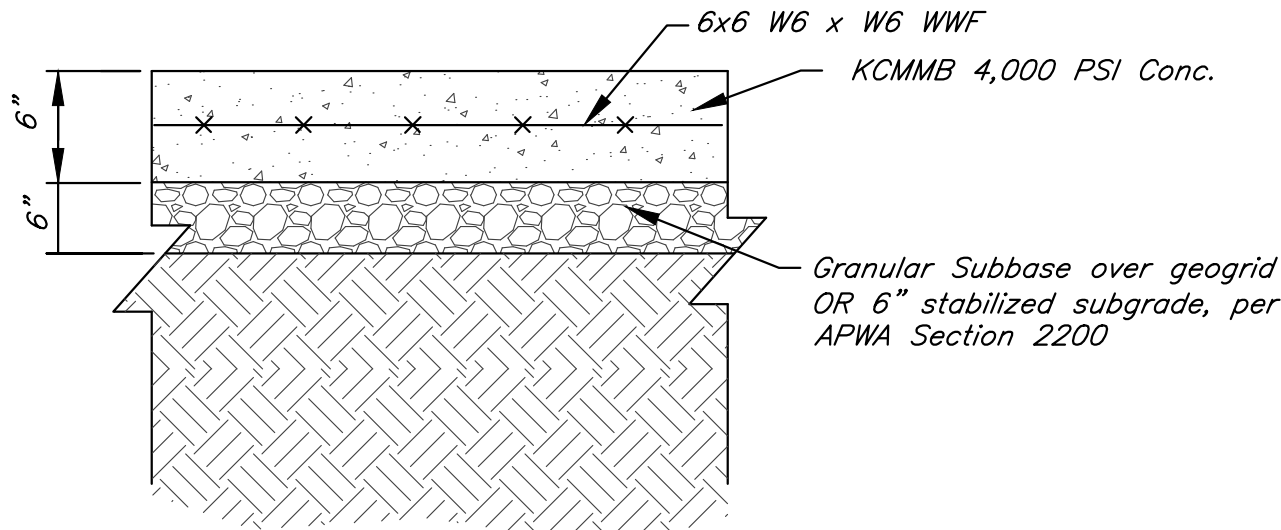
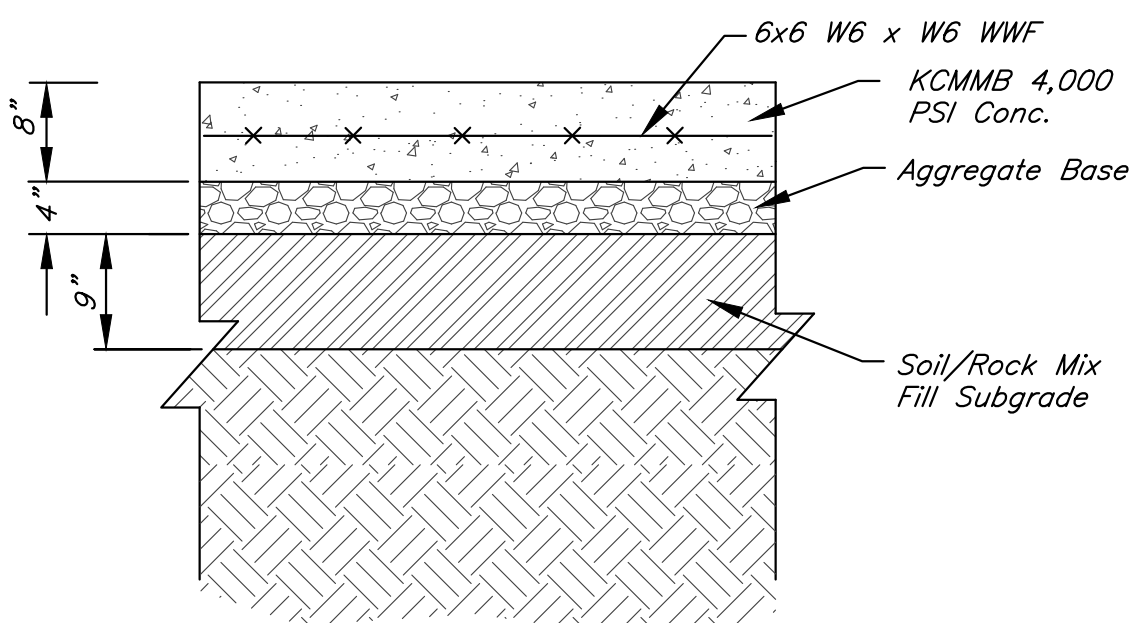
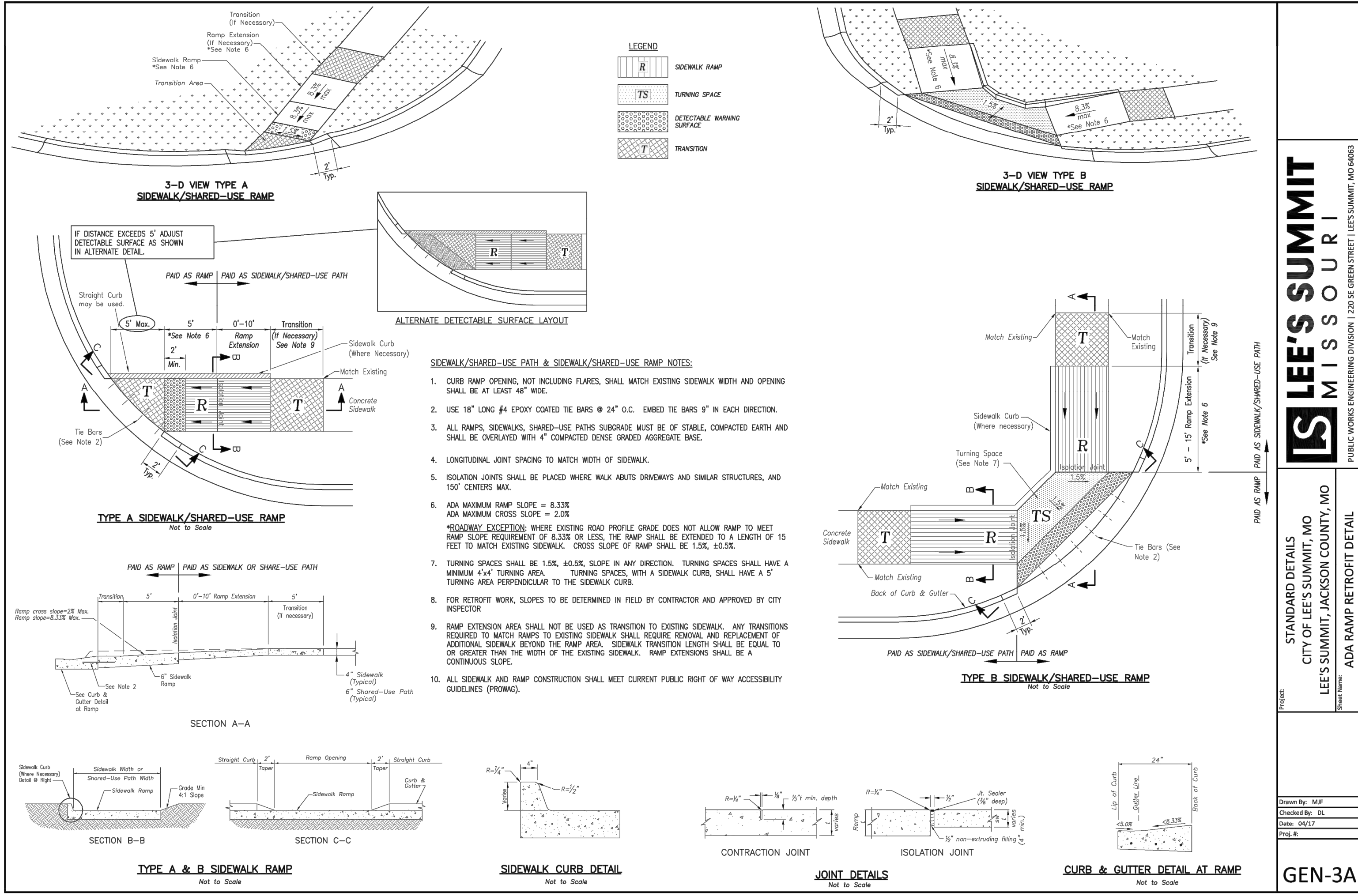
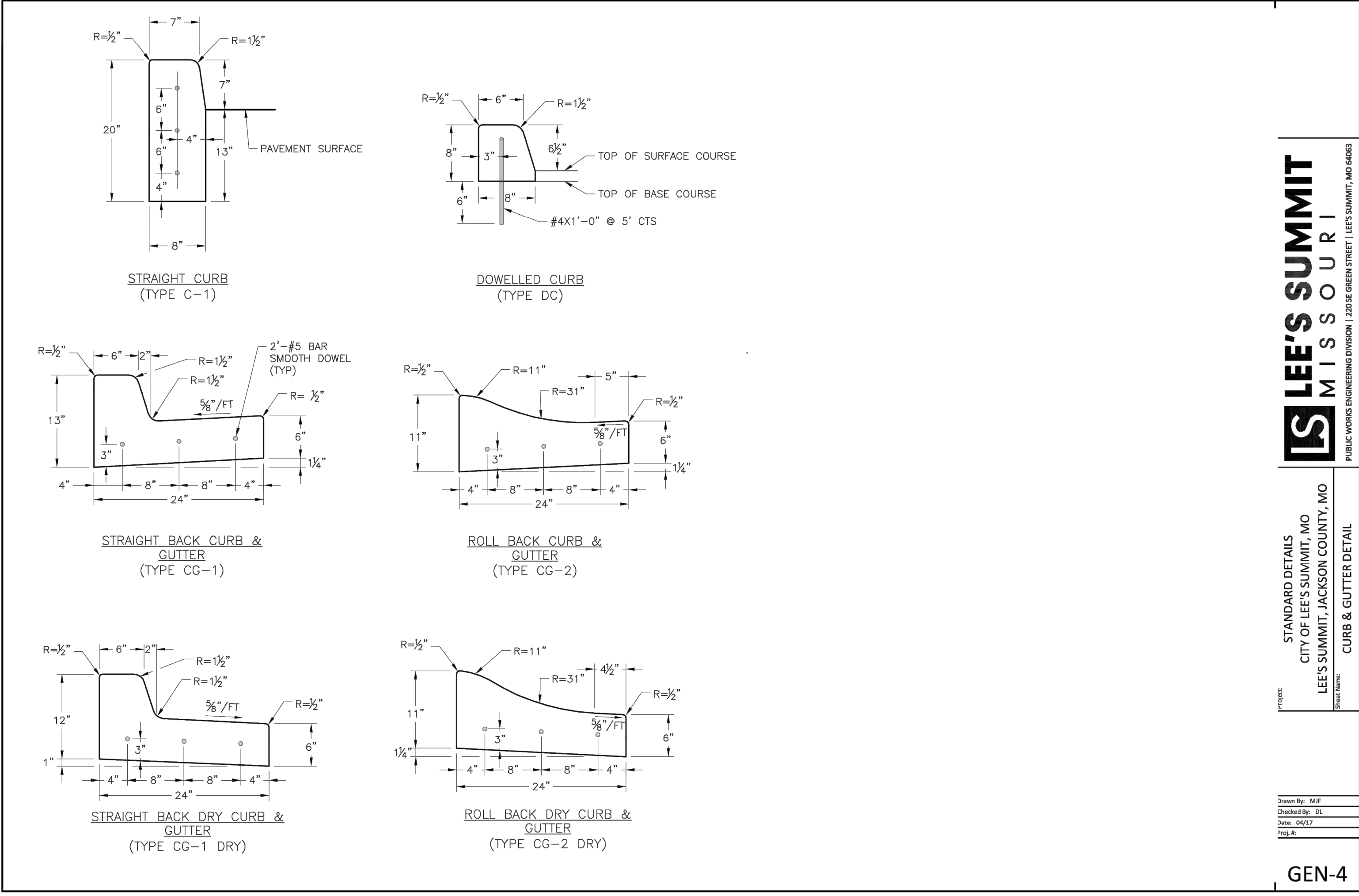
SHEET NO:

C020

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Structures		10 Year Storm										Culverts have been designed to the 100 year Storm										Pipe Design										Design Checks										Comments
		From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope Slope, %	Pipe dia (in)	Manning's n Value	Q full (cfs)	Pipe Area, sf	V full fps	Design V fps	Hw/D	outlet head, H	HW, Inlet Control, (ft)	HW, Outlet Control, (ft)	Inlet Top Elevation	upstream flowline	downstream flowline	Invert Drop (ft)	Downstream water elevation	Hydraulic Grade Elev. (Calculated)	Hydraulic Grade (allowable)										
Line 5600	5605	5604	1.06		0.85	1.00	5.00		7.35	6.6	Grate Inlet															819.85	811.27	810.25		811.43	812.79	818.52										
	5604		0.23	0.19	1.06	0.85	1.00	5.00	0.83	7.35	6.6	RCP	203.44	0.50	24	0.013	16.04	3.14	5.11	4.09	0.8	0.47	812.79	811.90		811.27	810.25		811.43		817.57											
	5603				1.48	0.86	1.00	5.83	0.22	7.11	9.1	HDPE	107.61	1.50	24	0.01	36.12	3.14	11.50	8.08	0.8	0.54	811.43	809.94		809.75	808.14		809.40		817.82											
	5603	5602	0.18		0.90	1.00	5.00		7.35	1.2	Curb Inlet														819.15	807.64	806.56		807.88		817.69											
	5602		0.13		1.66	0.87	1.00	6.05	0.14	7.04	10.1	HDPE	71.85	1.50	24	0.01	36.12	3.14	11.50	8.31	0.9	0.51	809.40	808.40		807.64	806.56		807.88		817.69											
	5601				0.90	1.00	5.00		7.35	0.9	Curb Inlet														819.02	806.06	805.42		800.41		817.69											
	5601	5600	0.18	0.84	1.79	0.87	1.00	6.19	0.10	7.00	10.9	RCP	42.61	1.50	24	0.013	27.78	3.14	8.84	6.98	0.9	0.44	807.88	800.85		806.06	805.42		800.41		817.69											
					0.90	1.00	5.00		7.35	1.2	Curb Inlet													819.02				7.26		800.41		817.69										
					2.81	0.88	1.00	6.30	0.21	6.97	17.3	RCP	108.17	2.00	36	0.013	94.58	7.07	13.38	8.64	0.7	0.27	800.41	797.77		798.16	796.00		797.50													
Line 4200	4201	4104	0.19		0.19	0.90	1.00	5.00	0.08	7.35	1.3	Curb Inlet													818.90					814.59	817.57											
					0.19	0.90	1.00	5.00		7.35	1.3	HDPE	21.02	1.00	15	0.01	8.42	1.23	6.86	4.24	0.7	0.04				813.71	813.50			814.13		814.59	817.57									
Line 4300	4303		0.35		0.35	0.90	1.00	5.00		7.35	2.3	Curb Inlet														820.30					814.82	818.97										
	4302	4301	0.20		0.90	1.00	5.00	0.32	7.35	2.3	RCP	61.05	0.50	15	0.013	4.58	1.23	3.73	3.18	0.8	0.24	814.82	814.44		813.84	813.53		814.20		814.20	818.97											
	4301				0.90	1.00	5.00		7.35	1.3	Curb Inlet														820.30	813.03	811.71		812.58		812.58	818.91										
	4301	4101	0.12	0.17	0.55	0.90	1.00	5.32	0.72	7.26	3.6	RCP	176.14	0.75	18	0.013	9.12	1.77	5.16	4.08	0.8	0.53	814.20	813.11		813.03	811.71		812.58		812.58	818.91										
					0.90	1.00	5.00		7.35	0.8	Curb Inlet														820.24	811.21	809.83		810.58													
					0.84	0.90	1.00	6.04	0.45	7.05	5.3	RCP	138.15	1.00	18	0.013	10.53	1.77	5.96	5.07	0.9	0.95	812.58	811.53		811.21	809.83		810.58													
Line 4500	4503		1.51		1.51	0.90	1.00	5.00		7.35	10.0	Curb Inlet														814.00					810.20	812.67										
	4501				0.90	1.00	5.00	0.28	7.35	10.0	HDPE	93.76	0.50	30	0.01	37.81	4.91	7.70	5.49	0.7	0.20	810.20	809.62		813.64	808.36	807.89		809.42		809.42	812.31										
		4500	0.71		2.22	0.90	1.00	5.28	0.18	7.27	14.5	Curb Inlet													813.64	808.36	807.89		809.42		809.42	812.31										
					0.90	1.00	5.00		7.35	4.7	HDPE	64.59	0.50	30	0.01	37.81	4.91	7.70	6.04	0.8	0.34	809.42	808.66			807.39	807.07		808.32													
Line 4600	4601	5203	0.29		0.29	0.90	1.00	5.00		7.35	1.9	Curb Inlet														818.50					813.05	817.17										
					0.90	1.00	5.00	0.25	7.35	1.9	RCP	75.62	2.00	18	0.013	14.90	1.77	8.43	4.97	0.7	0.08	813.05	811.32		812.00	810.49			811.24													
Line 4800	4806	4805	0.89		0.89	0.85	1.00	5.00		7.35	5.6	Grate Inlet														819.85					815.04	818.52										
					0.85	1.00	5.00	0.33	7.35	5.6	HDPE	141.67	1.50	24	0.01	36.12	3.14	11.50	7.15	0.7	0.25	815.04	812.93		813.58	811.45			812.69		815.04	818.52										
	4805		0.00	0.67	0.90	1.00	5.00		7.35	0.0	Curb Inlet														819.30					812.69		812.69	817.97									
	4804	4804	0.19		1.56	0.87	1.00	5.33	0.15	7.25	9.9	RCP	61.28	1.50	24	0.013	27.78	3.14	8.84	6.78	0.9	0.44	812.69	811.81		819.06	810.95	810.04		811.37		811.37	817.73									
	4803				0.90	1.00	5.00		7.35	1.3	Curb Inlet														819.06				0.5	811.37		811.37	817.73									
	4803		0.00		1.75	0.87	1.00	5.48	0.16	7.21	11.0	HDPE	85.31	1.64	24	0.01	37.76	3.14	12.02	8.77	0.9	0.68	811.37	810.14		819.32	809.54	808.14		809.46		809.46	817.99									
	4802				0.90	1.00	5.00		7.35	0.0	Curb Inlet														819.32				0.5	809.46		809.46	817.99									
4802	4801	0.15		1.75	0.87	1.00	5.64	0.10	7.16	11.0	HDPE	42.44	1.00	24	0.01	29.49	3.14	9.39	7.29	0.9	0.45	809.46	809.07		819.57	807.64	807.21		808.62		808.62	818.24										
4801				1.90	0.88	1.00	5.74	0.11	7.13	11.9	RCP	41.20	1.00	24	0.013	22.68	3.14	7.22	6.21	1.0	0.52	808.62	807.46		819.57	806.71	806.30		806.94		806.94	818.24										
		4800	0.14	0.69	0.90	1.00	5.00		7.35	0.9	Curb Inlet														819.57				1.6		806.94	818.24										
					2.73	0.88	1.00	5.85	0.17	7.10	17.1	RCP	70.01	1.00	36	0.013	66.88	7.07	9.46	6.69	0.7	0.21	806.94	805.71			804.70	804.00		805.50												
Line 4900	4901		0.67		0.67	0.90	1.00	5.00		7.35	4.4	Curb Inlet														817.09					813.42	815.76										
		4803			0.90	1.00	5.00	0.50	7.35	4.4	RCP	110.41	0.50	24	0.013	16.04	3.14	5.11	3.68	0.7	0.13	813.42	812.58			812.00	811.45		812.45													
Line 5200	5206	5205	0.37		0.37	0.90	1.00	5.00		7.35	2.4	Curb Inlet														817.59					811.59	816.26										
					0.90	1.00	5.00	0.52	7.35	2.4	RCP	99.18	0.50	18	0.013	7.45	1.77	4.21	3.17	0.7	0.15	811.59	811.17		817.59	810.51	810.01		811.01		811.01	815.96										
	5205		0.59		0.90	1.00	5.00		7.35	3.9	Curb Inlet														817.29				0.5	807.71		811.01	815.96									
	5204	5203	0.54		0.96	0.90	1.00	5.52	0.80	7.20	6.2	HDPE	300.00	1.00	24	0.01	29.49	3.14	9.39	6.28	0.7	0.57	811.01	808.28		817.00	809.51	806.51		807.71		807.71	815.67									
	5203				0.90	1.00	5.00		7.35	3.6	Curb Inlet														817.00				0.5	804.62		807.71	815.67									
	5203	5202	0.00	0.29	1.50	0.90	1.00	6.32	0.24	6.97	9.4	RCP	96.53	1.50	24	0.013	27.78	3.14	8.84	6.70	0.8	0.54	807.71	805.16		816.20	806.01	804.57		804.62		805.91	814.87									
	5202				0.90	1.00	5.00		7.35	0.0	Manhole														816.20				0.5	804.62		805.91	814.87									
5202	5201	0.05	0.90	1.79	0.90	1.00	6.56	0.17	6.																																	

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Lenexa, KS 66219
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www.gbteam.com
MO Certificate of Authority # 000133

LAND3 Studio, LLC
317 SE Main
Lee's Summit, MO 64693
www.land3studio.com
MO Certificate of Authority # 2008001860

Hoerr Schaudt Landscape Architects
2100 Central Street, Suite 01C
Kansas City, MO 64108
816.510.0438
www.hoerschaudt.com
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HENDERSON ENGINEERS, Inc.
8345 Lenexa Drive
Lenexa, KS 66214
913.742.5000
www.hel-eng.com
Missouri Certificate of Authority # 000556

FINKE + WILLIAMS Architecture
6787 Renner Boulevard, Suite 100
Lenexa, KS 66219
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www.finkewilliams.com
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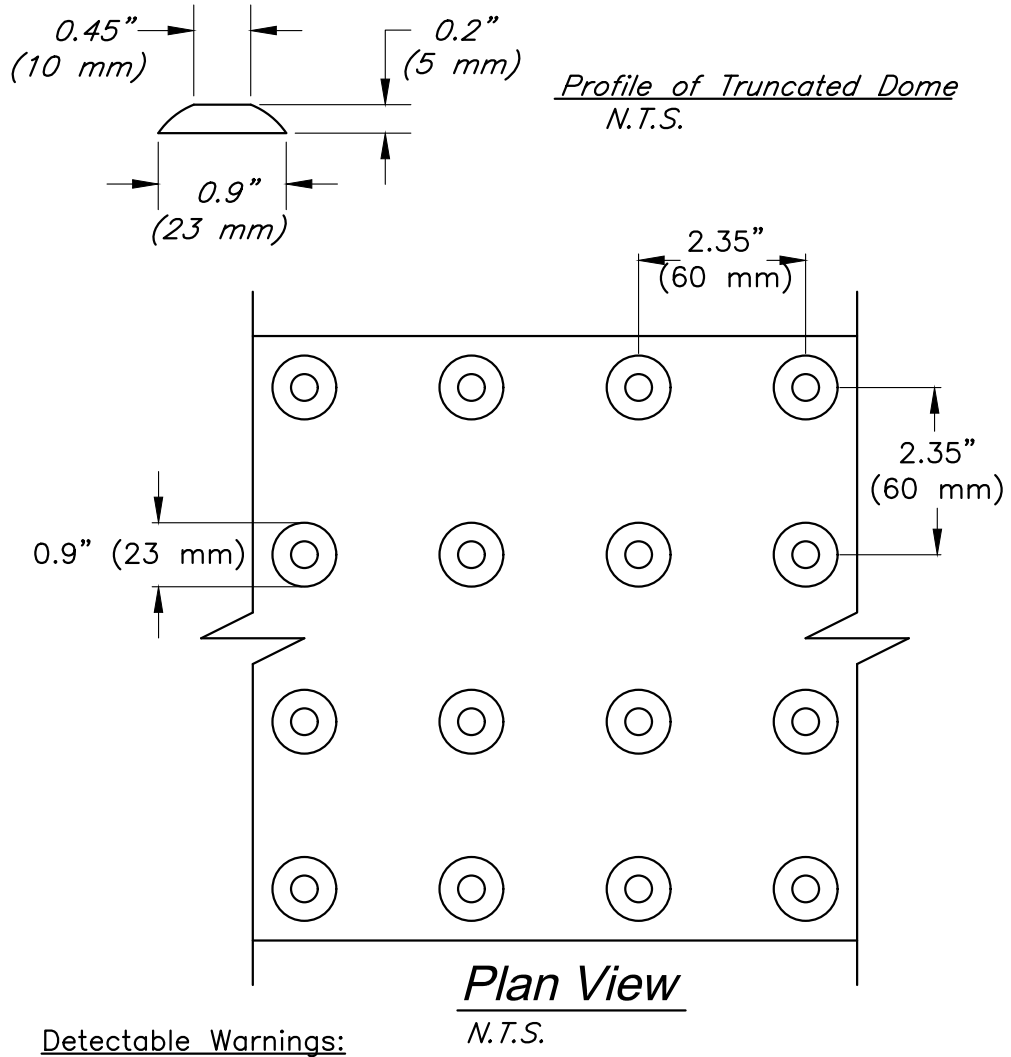
PROJECT:
Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:
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PROFESSIONAL SEAL:
STATE OF MISSOURI
CLINT LOUMASTER
NUMBER
PE-2011009651
REGISTERED PROFESSIONAL ENGINEER

DRAWING TITLE:
Construction Details
JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ
SHEET NO:
C022

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Detectable Warnings:

- Curb ramps shall have detectable warnings extending the full length and width of the curb ramp.
- Detectable warnings shall consist of raised truncated domes with a diameter of nominal 0.9 in (23 mm), a height of nominal 0.2 in (5 mm) and a center-to-center spacing of nominal 2.35 in (60 mm) and shall contrast visually with adjoining surfaces, either light-on-dark, or dark-on-light.

The material used to provide contrast shall be an integral part of the walking surface and should contrast by at least 70%. Contrast in percent is determined by:

$$\text{Contrast} = \frac{B1 - B2}{B1} \times 100$$

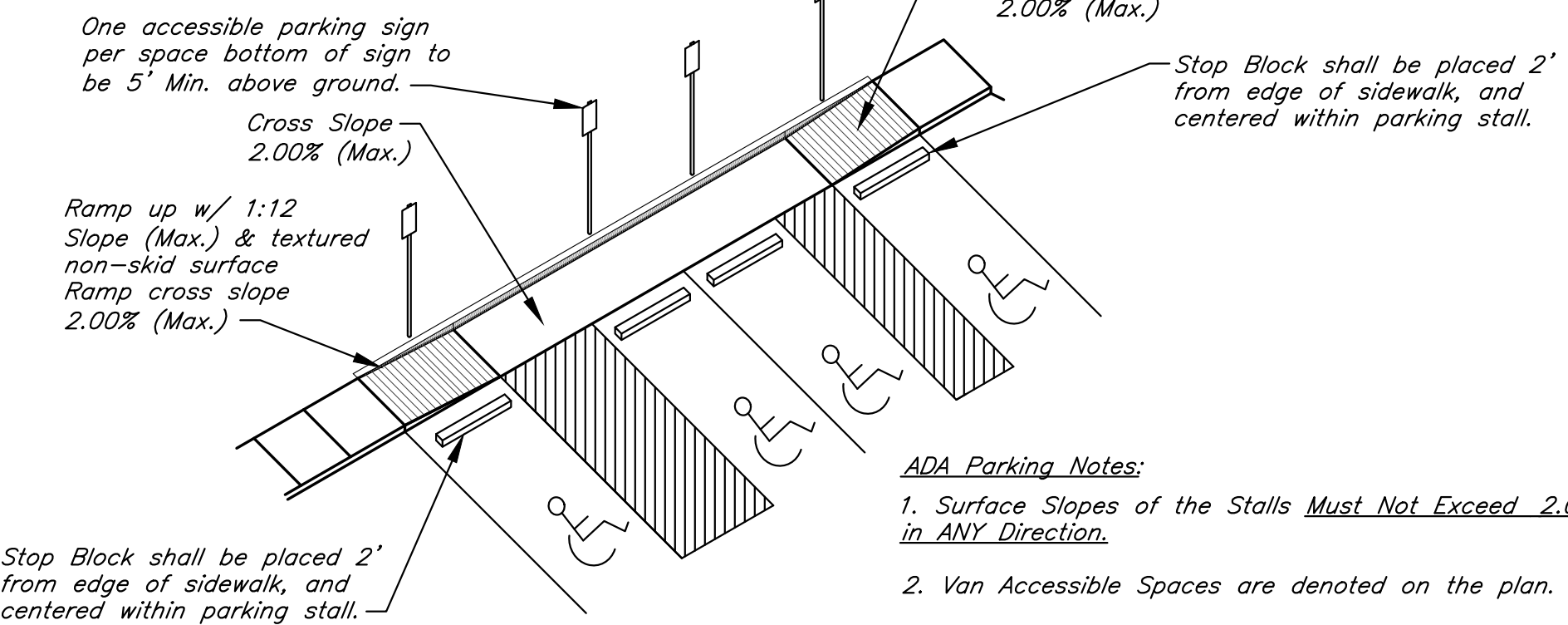
where B1 = light reflectance value (LRV) of the lighter area and B2 = light reflectance value (LRV) of the darker area.

Note that in any application both white and black are never absolute; thus, B1 never equals 100 and B2 is always greater than 0.

- If a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings, or other elements between the pedestrian areas and vehicular areas, the boundary between the areas shall be defined by a continuous detectable warning which is 36 in (915 mm) wide.
- Contractor shall install Detectable Warnings in compliance with current ADA standards.

DETECTABLE WARNINGS

N.T.S.

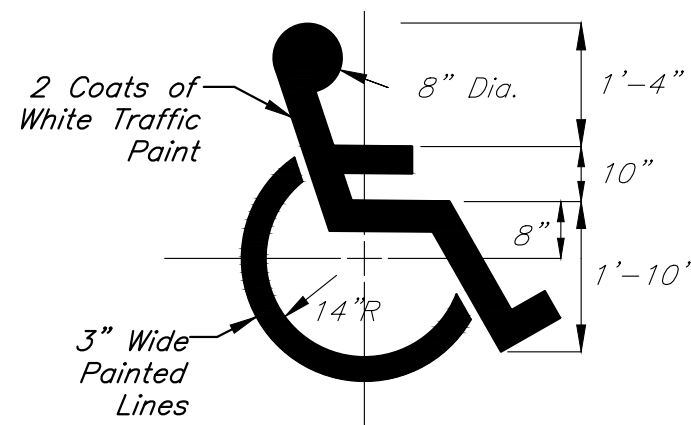


ADA Parking Notes:

- Surface Slopes of the Stalls **Must Not Exceed 2.00% in ANY Direction.**
- Van Accessible Spaces are denoted on the plan.
- Parking Blocks shall be placed 24" from edge of sidewalk to center line of parking block.

ADA PARKING DETAIL

Not to Scale



ACCESSIBLE PARKING SYMBOL DETAIL

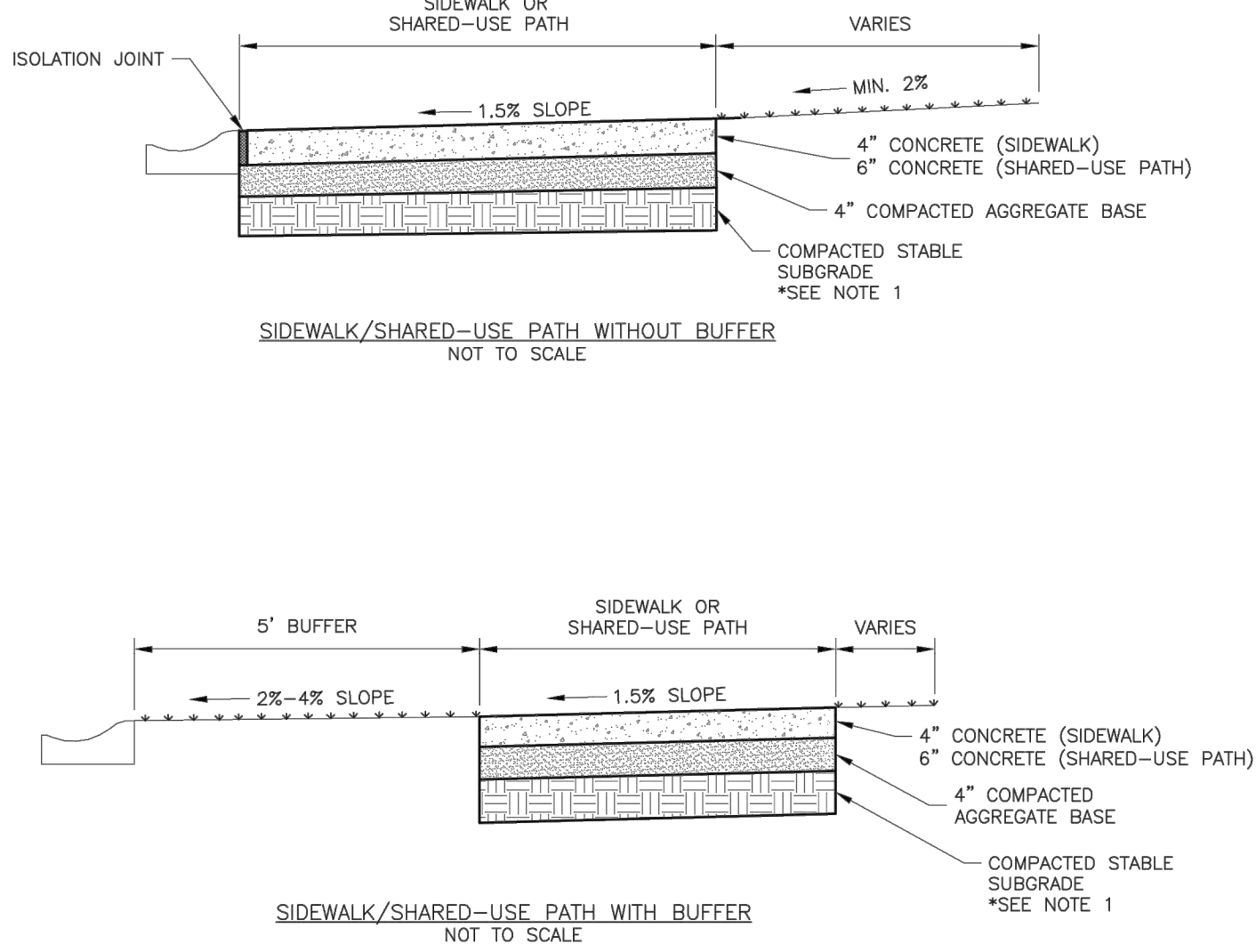
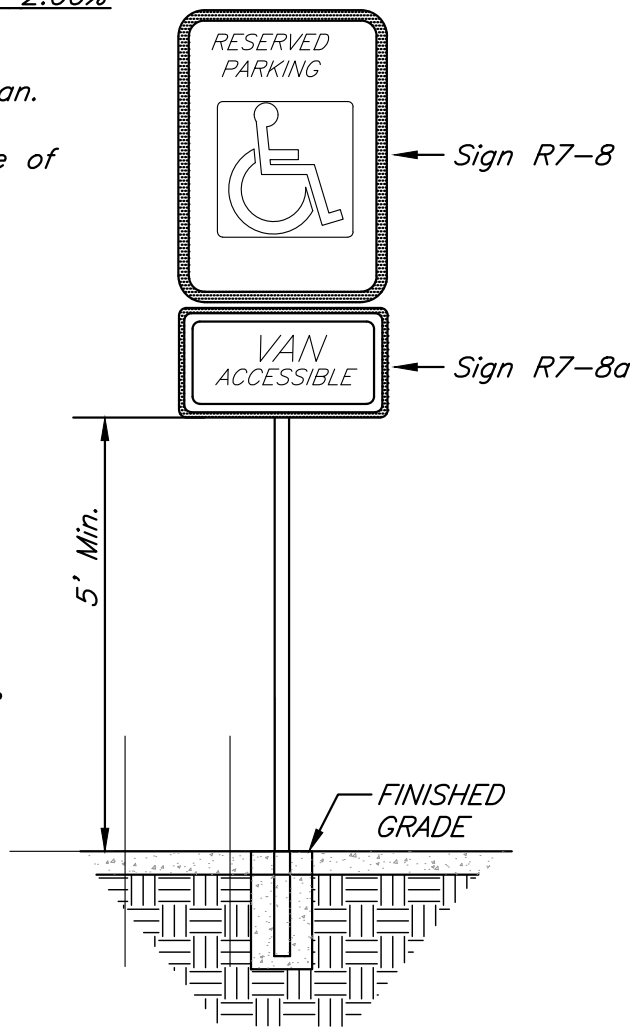
Not to Scale

ADA Sign Notes:

- Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
- Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
- Signs shall be blue with white lettering.

TYPICAL ACCESSIBLE SIGNAGE

Not to Scale



GENERAL NOTES:

- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
- KOMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
- ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
- AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
- SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
- SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

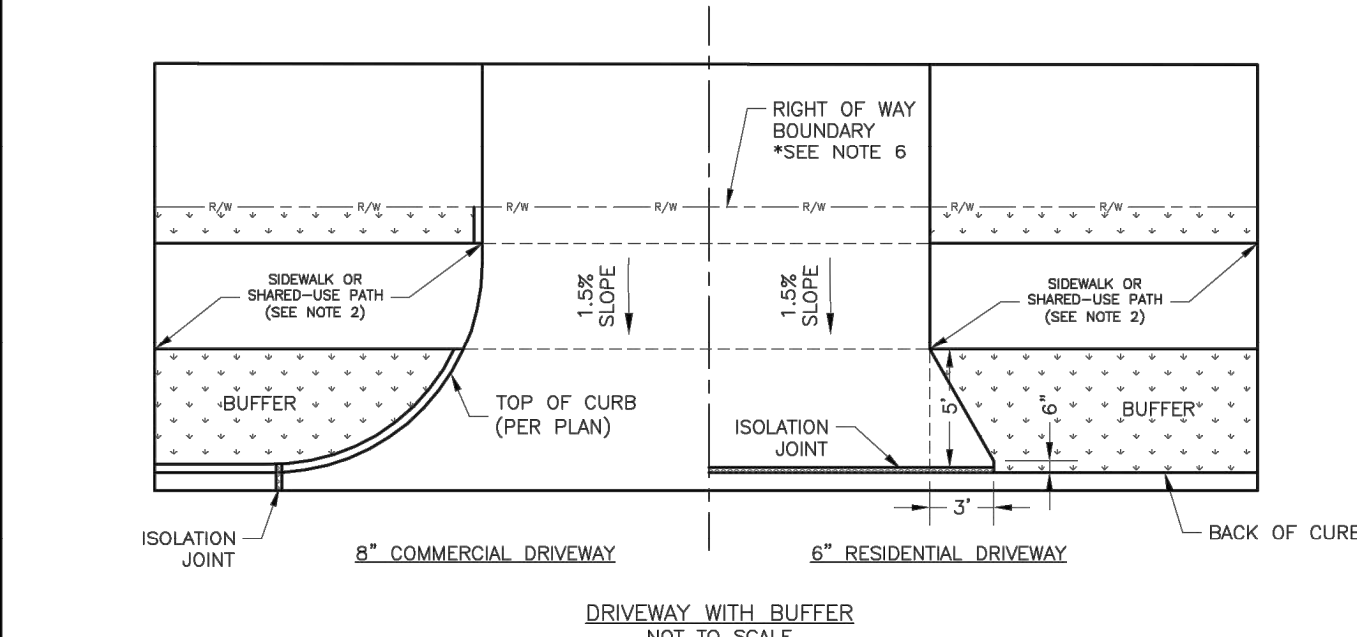
SIDEWALK/SHARED-USE PATH DETAIL

Date: 04/27

Drawn By: MIF

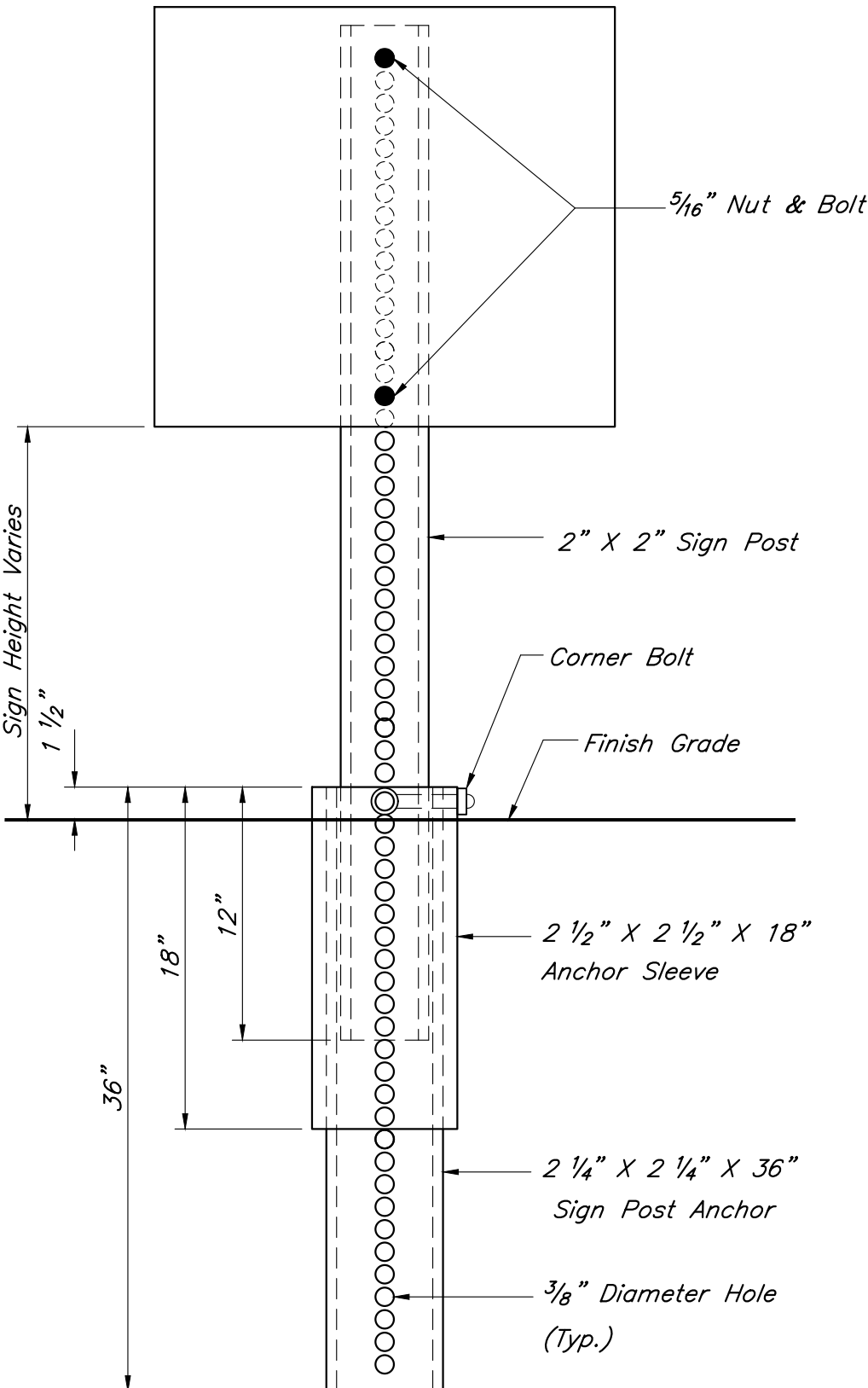
Checked By: DL

GEN-2



GENERAL NOTES:

- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL).
- JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
- KOMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
- COMMERCIAL DRIVEWAYS AND DRIVEWAY APPROACHES, IN THE PUBLIC RIGHT OF WAY, SHALL BE KOMMB 4K CONCRETE MIX.
- A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
- 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CQ-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
- SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
- THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.



Pavement Installation Sequence

- Sign post anchor driven into subgrade prior to the placement of the pavement.
- Anchor sleeve driven into subgrade over the sign post anchor prior to the placement of the pavement.
- Insert sign post into the sign post anchor and bolt in place.

Ground Installation Sequence

- Sign post anchor driven into the ground.
- Anchor sleeve driven into the ground over the sign post anchor.
- Insert sign post into the sign post anchor and bolt in place.

Note:

In all installations the first hole above the finished grade level in all three units must be in line for insertion of the corner bolt.

All corner bolts and nuts for fastening the signs and sign post assembly shall comply the applicable ANSI standards and ASTM testing requirements and shall be subsidiary items.

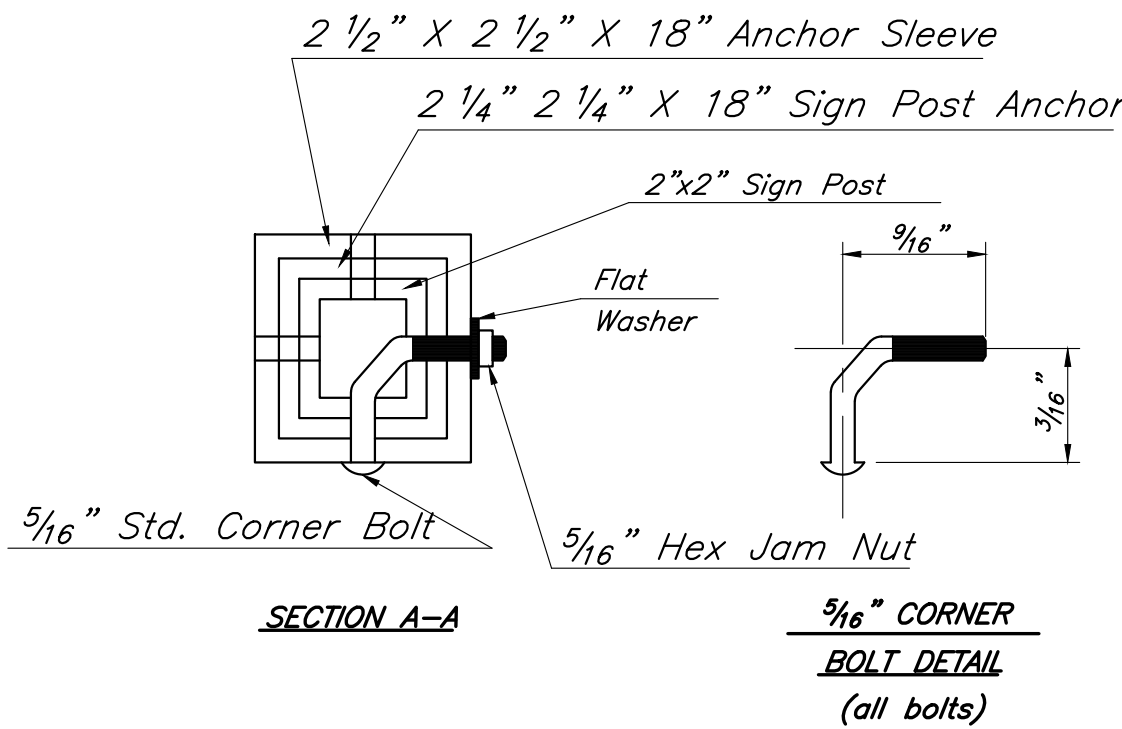
All Components shall be galvanized.

BREAK-AWAY SIGN POST DETAIL

Not to Scale

Sign Notes:

- All letter, number & symbol sizes, spacing & colors, and the sign colors shall conform to the current "Manual On Uniform Traffic Control Devices."
- Sign blank material shall be as follows:
Signs 36"x36" or greater 0.100" thick
Guide Signs 0.125" thick
All other signs 0.080" thick
- All sign mounting hardware shall be galvanized.
- All sign faces shall be fabricated using ASTM Type III Prismatic reflective sheeting.



LEE'S SUMMIT MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MIF

Checked By: DL

Date: 04/27

Fig. #

GEN-1

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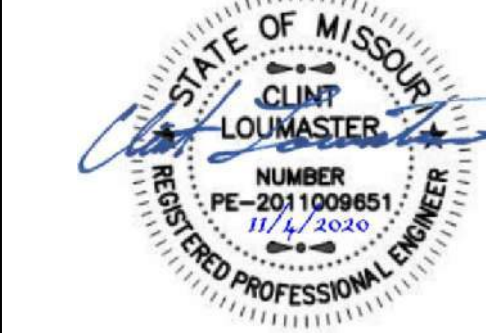
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www.finklewilliams.com
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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Construction Details

JOB NO: 1249

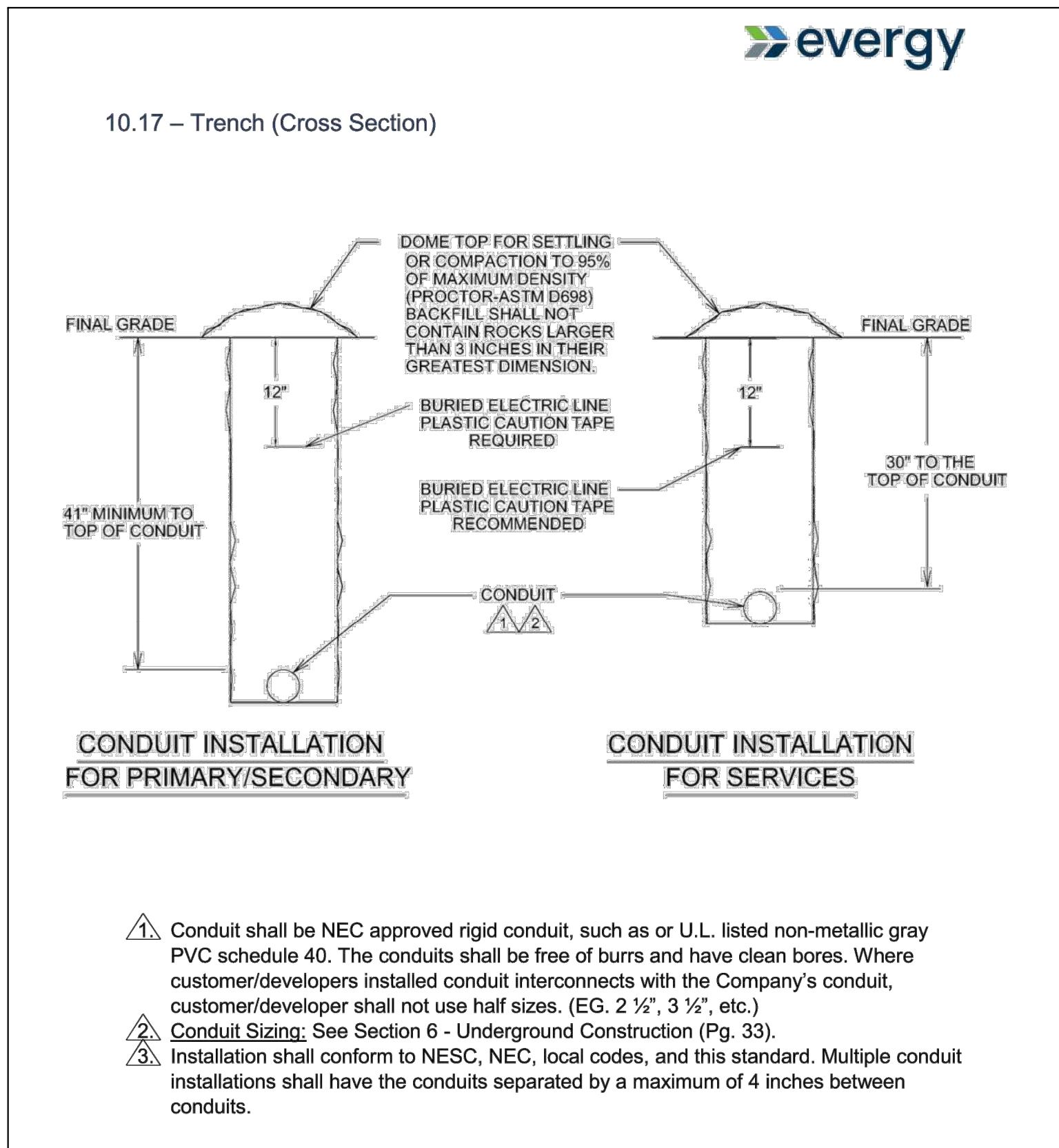
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DATE: 11.04.2020

DRAWN BY:KNJ

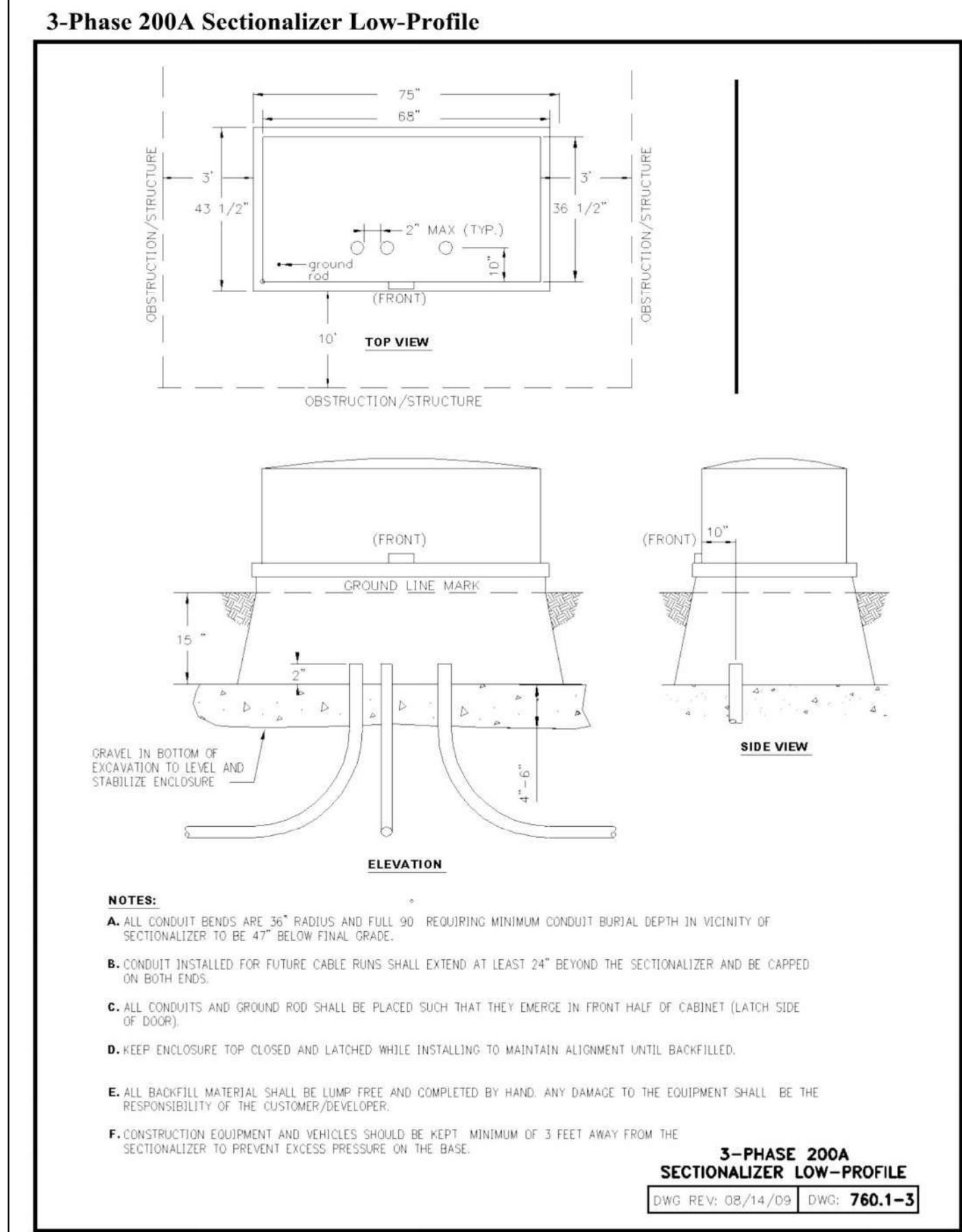
SHEET NO:

C023



EVERGY TRENCH DETAIL

Not to Scale



SECTIONALIZER DETAIL

Not to Scale

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PROJECT

Paragon Star Village

1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Details

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

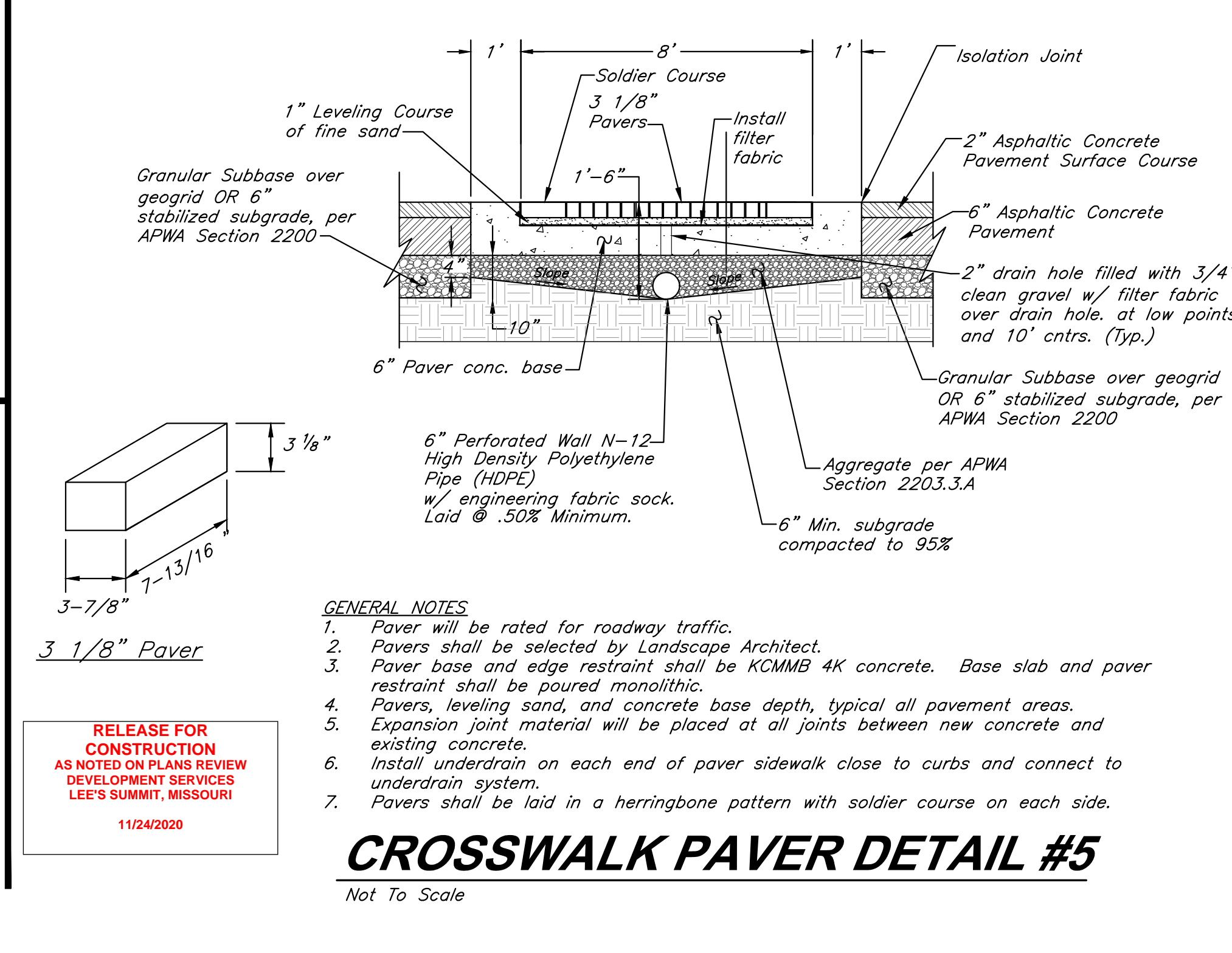
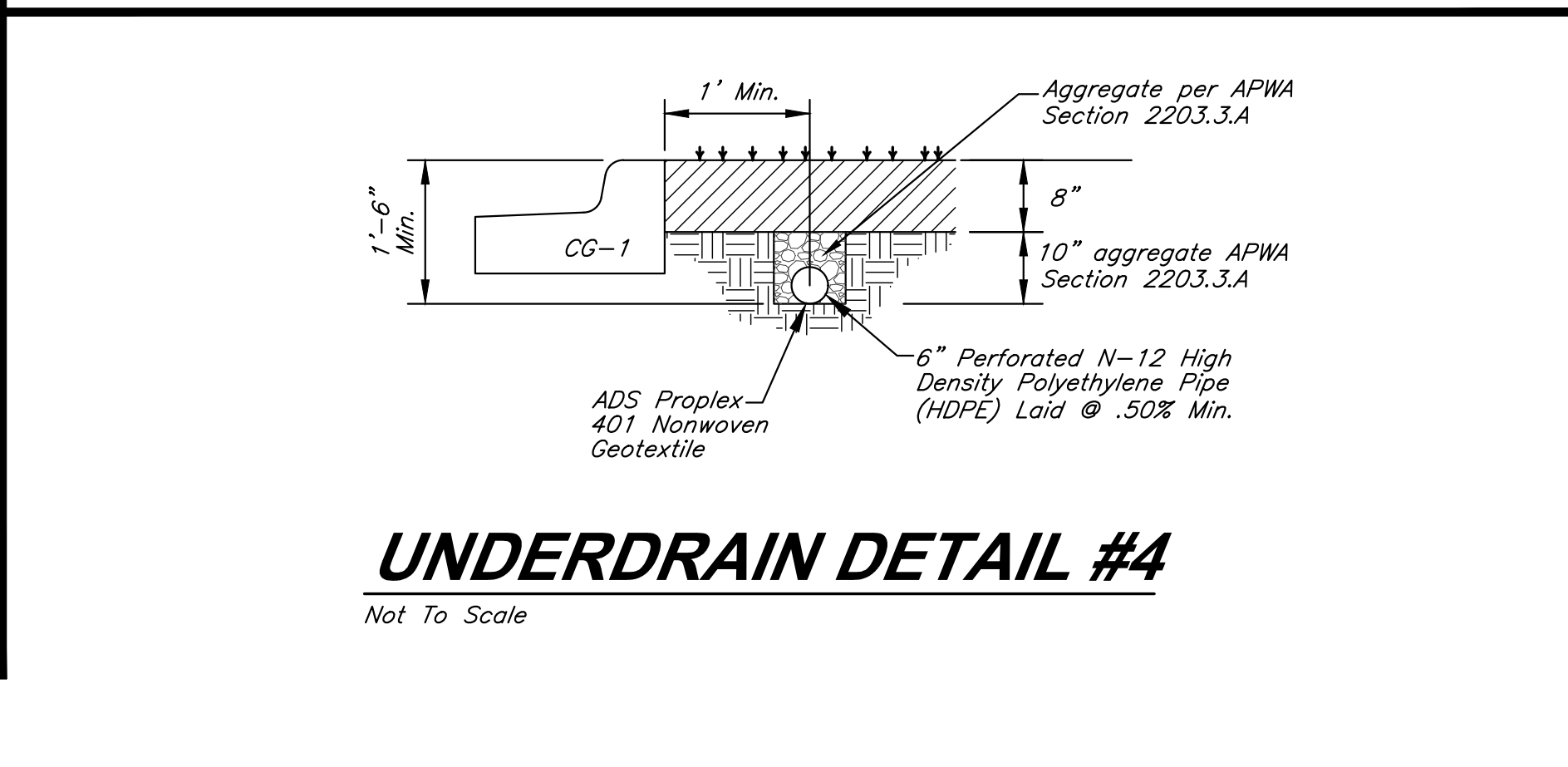
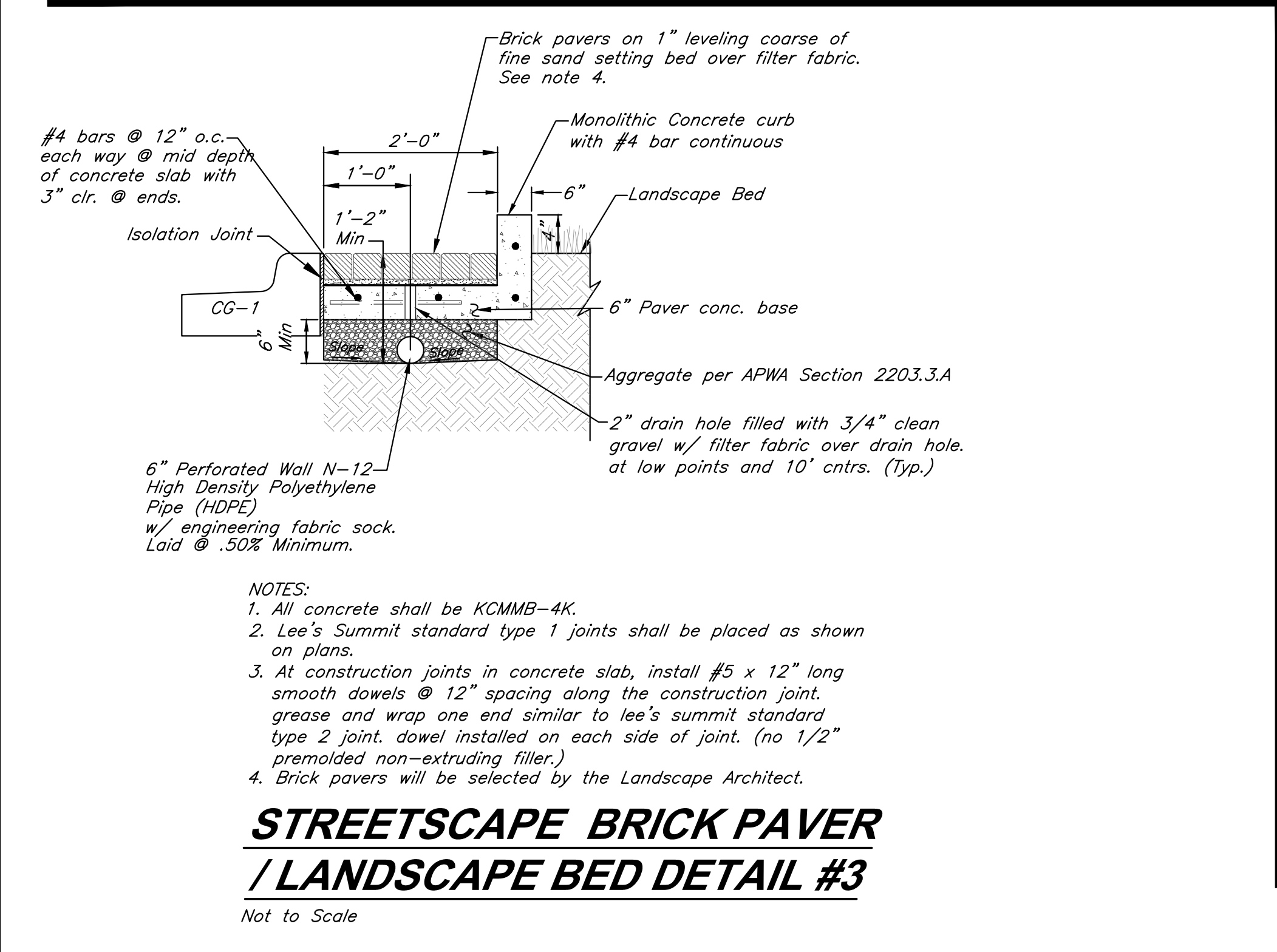
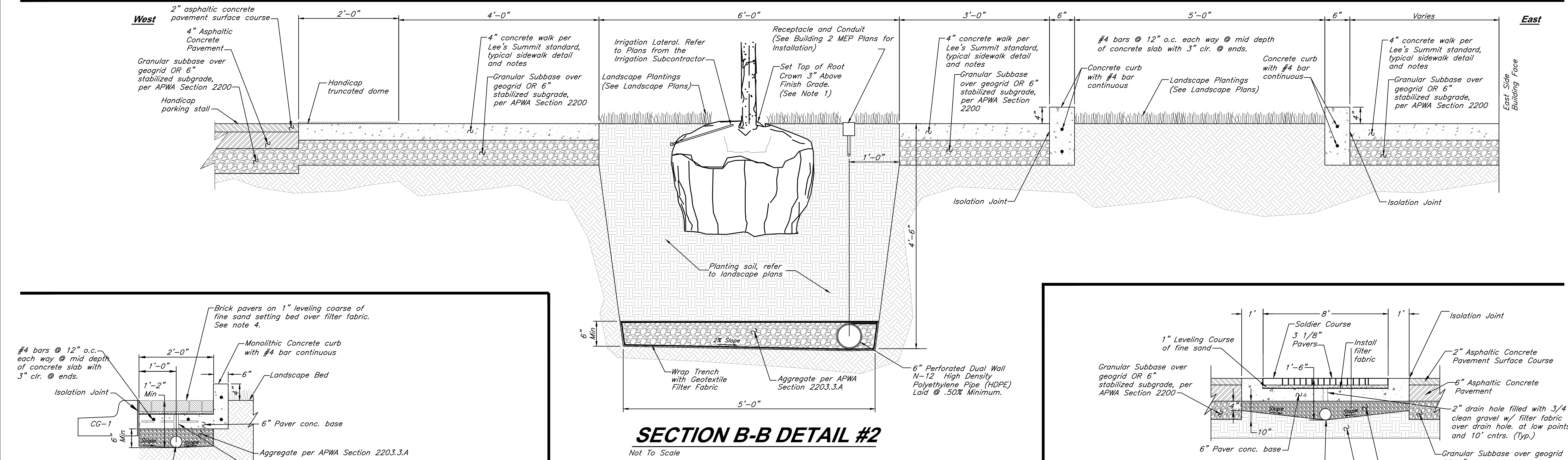
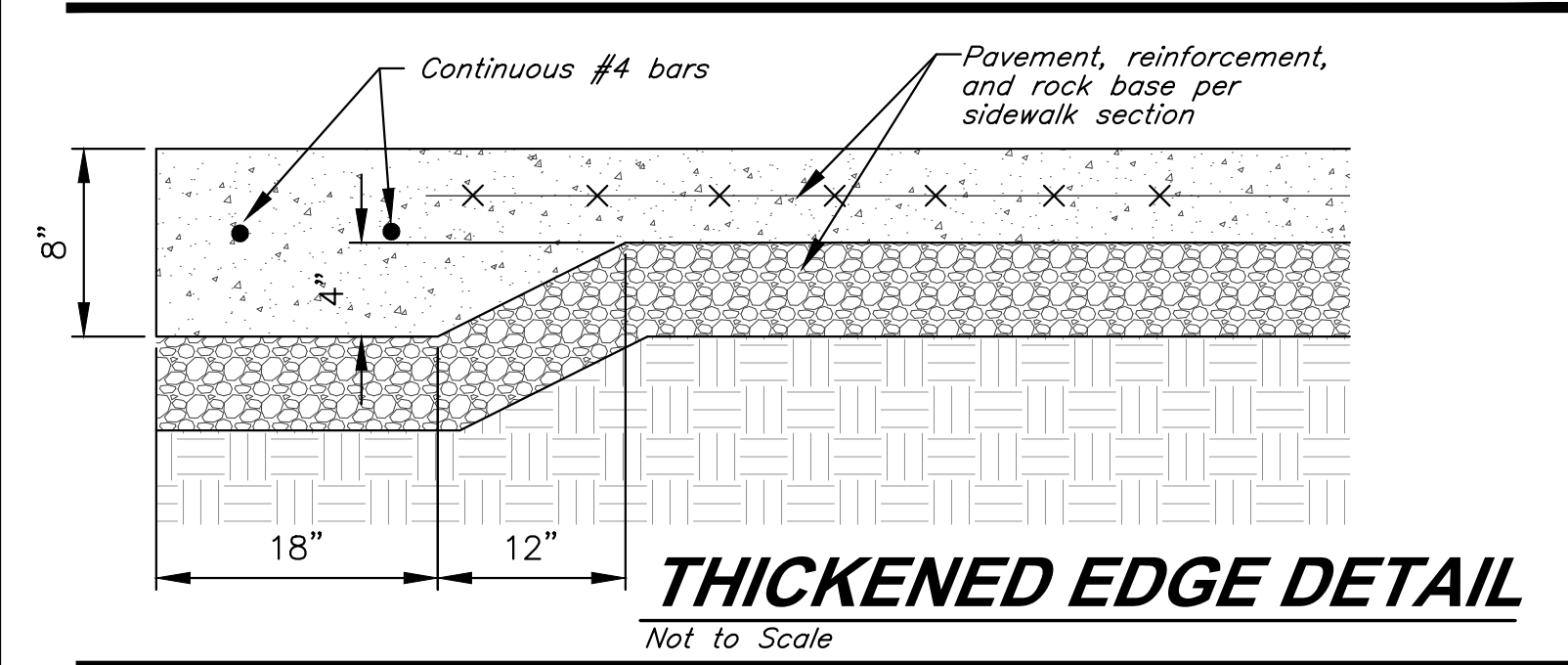
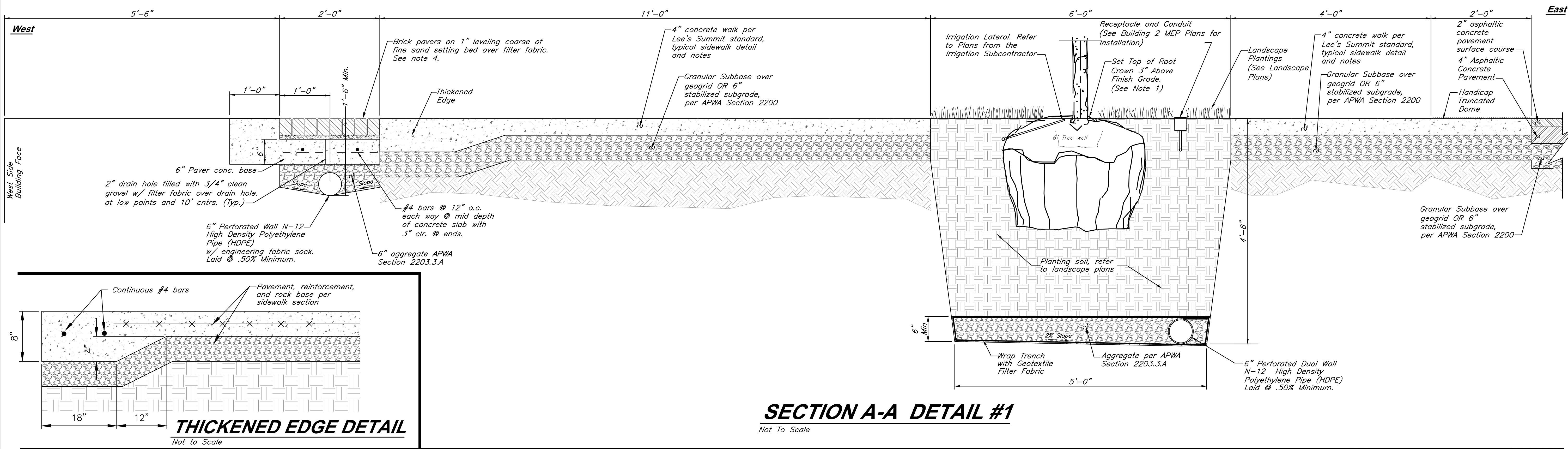
SHEET NO.

C024

**RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI**

11/24/2020

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PROJECT:

Paragon Star Village
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Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:

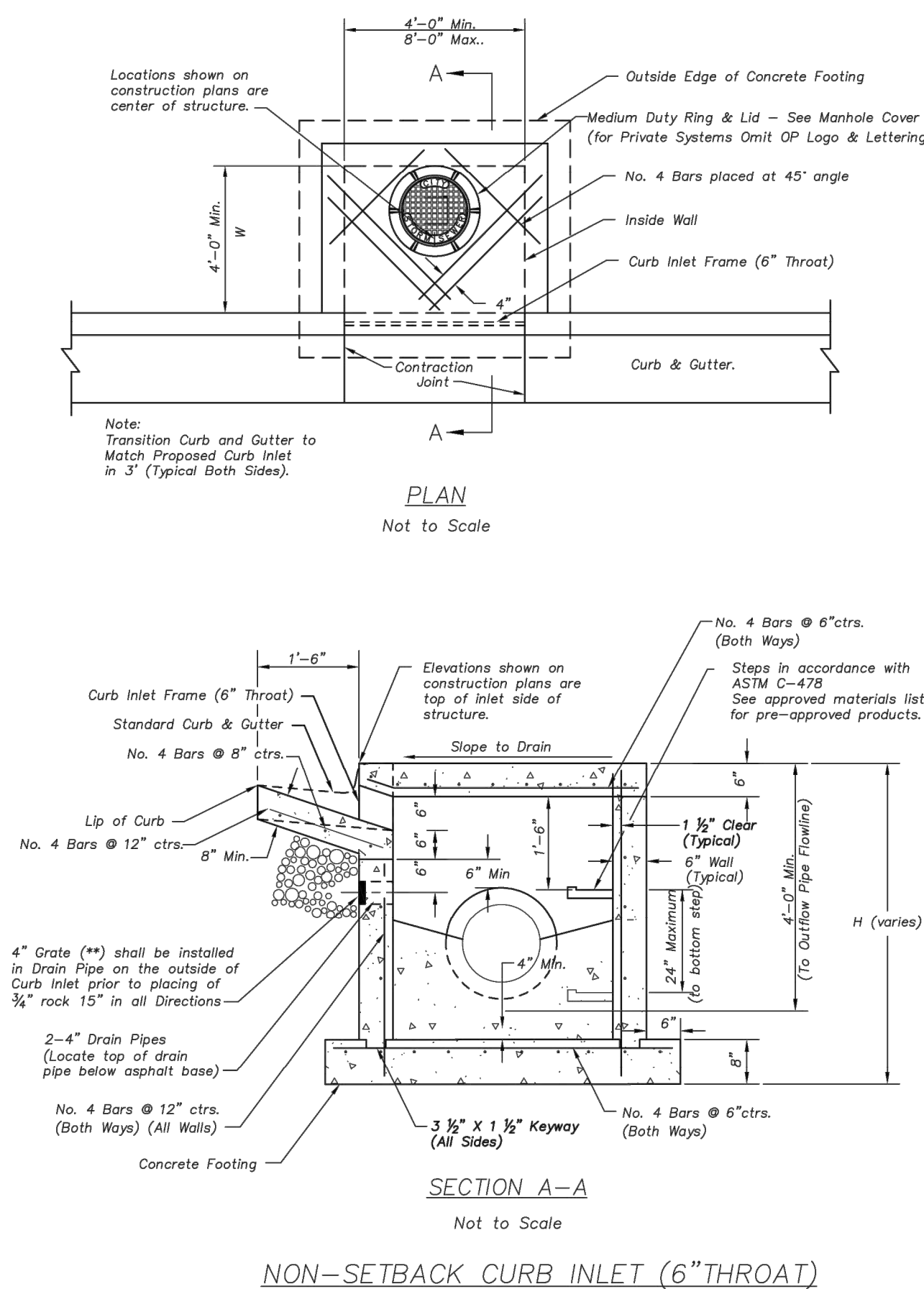
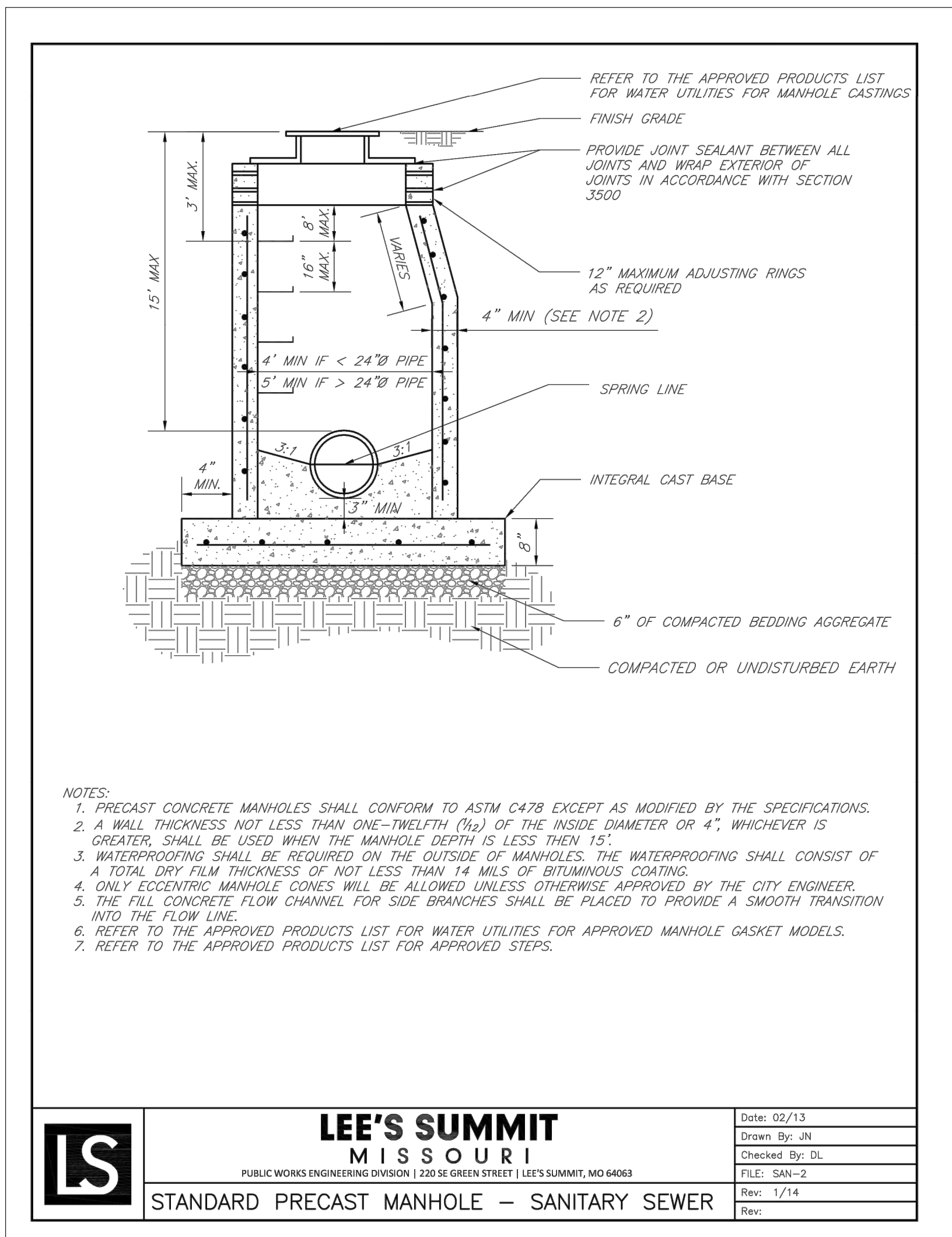
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**Streetscape
Details**

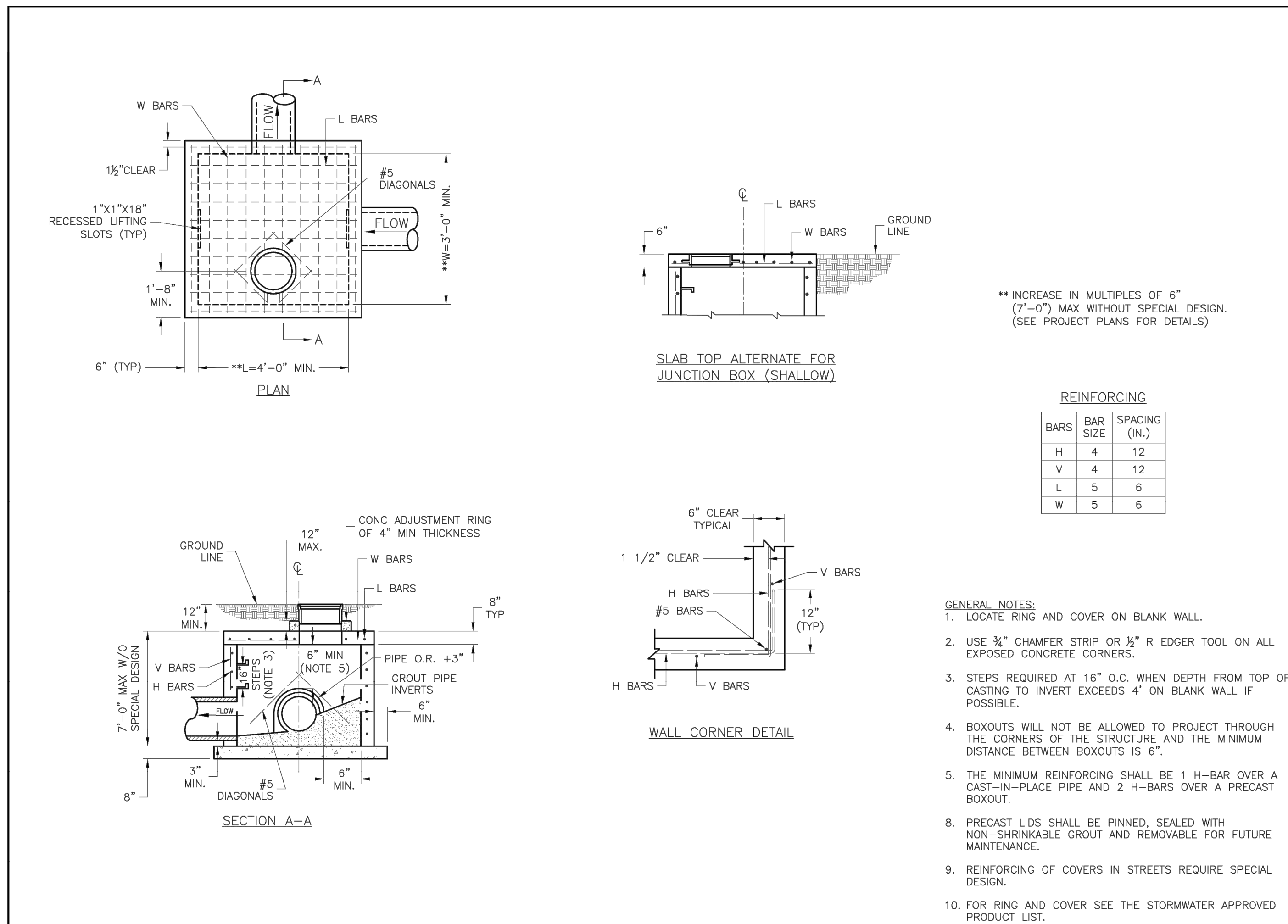
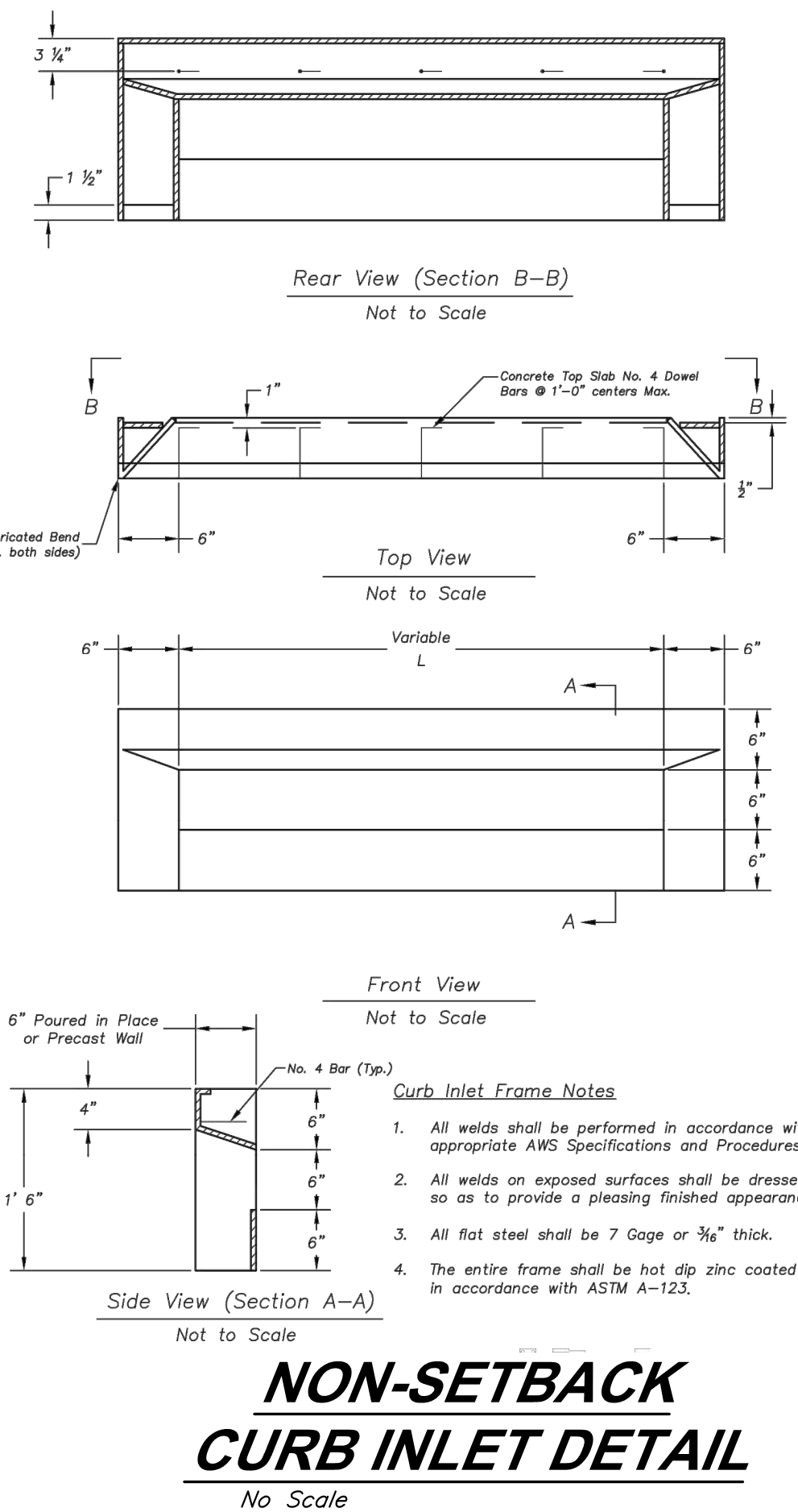
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DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

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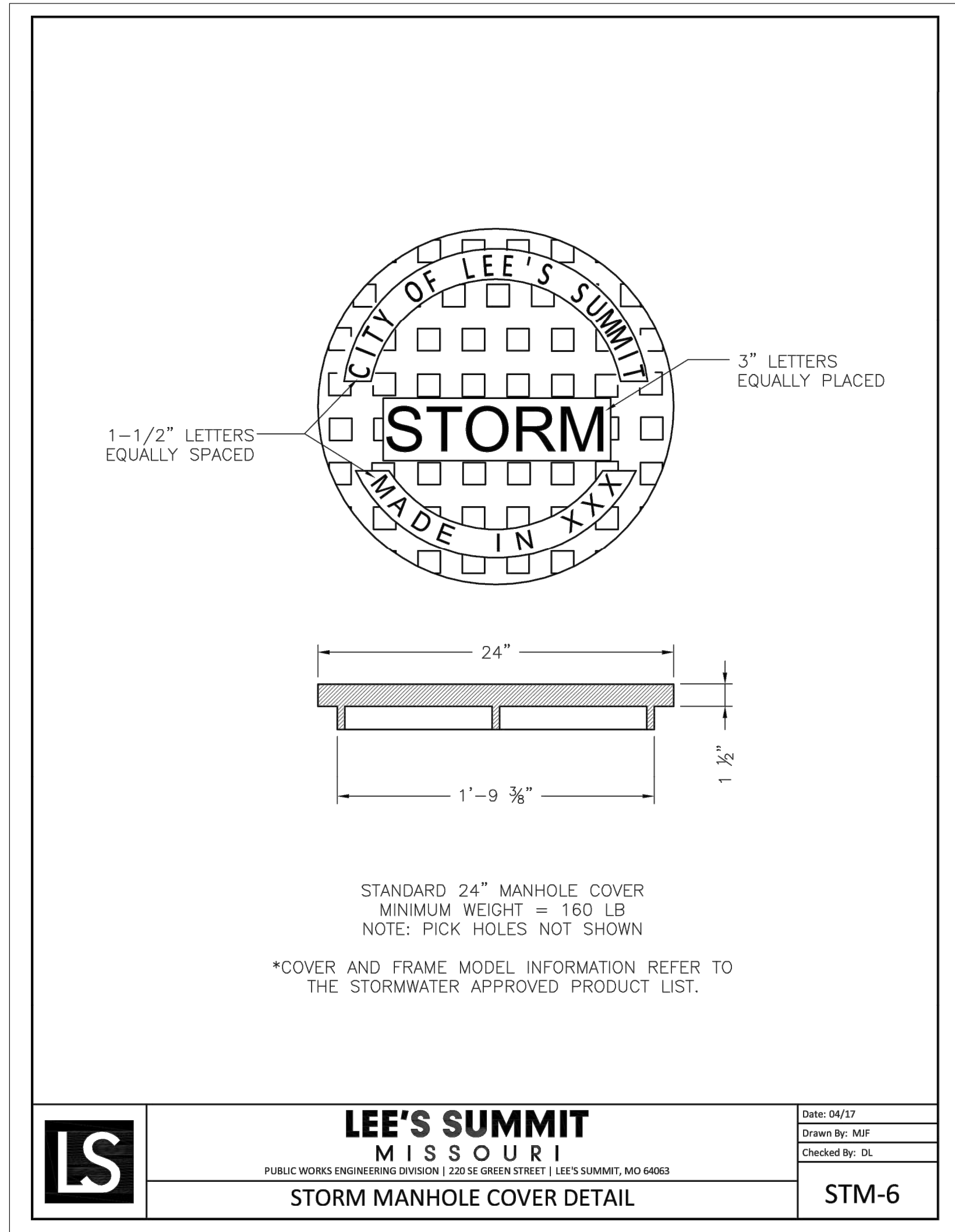


- ### Non-Setback Curb Inlet Notes
- General**
1. City of Lee's *Summit Municipal Code, Design Standards, and Specifications* are incorporated except as otherwise noted.
 2. All storm sewer structures shall be pre-cast or poured in place. If pre-cast structures are used for publicly financing, maintained and/or unattended construction, the tops shall be poured in place and the wall steel shall be left exposed to a height 2' below the finish top elevation, or as directed by the City Engineer.
 3. Pre-cast shop drawings are to be approved by the City Engineer or the City Engineer's authorized or administered projects. Pre-cast shop drawings for privately financed projects are to be submitted to the City Engineer's Services Division of the Planning and Development Services Department upon request.
 4. Do not scale these drawings for dimensions or clearances. Any questions regarding dimensions shall be brought to the attention of the City Engineer prior to construction.
 5. On-grade inlets shall conform to the street grade. Sump inlets shall be level.
 6. The first dimension listed in the construction notes is the "L" dimension. The second dimension is the "W" dimension. The third dimension is the "H" dimension. The fourth dimension is the "R" dimension. The fifth dimension is the "S" dimension. The sixth dimension is the "T" dimension. The seventh dimension is the "U" dimension. The eighth dimension is the "V" dimension. The ninth dimension is the "X" dimension. The tenth dimension is the "Y" dimension. The eleventh dimension is the "Z" dimension. The twelfth dimension is the "AA" dimension. The thirteenth dimension is the "BB" dimension. The fourteenth dimension is the "CC" dimension. The fifteenth dimension is the "DD" dimension. The sixteenth dimension is the "EE" dimension. The seventeenth dimension is the "FF" dimension. The eighteenth dimension is the "GG" dimension. The nineteenth dimension is the "HH" dimension. The twentieth dimension is the "II" dimension. The twenty-first dimension is the "JJ" dimension. The twenty-second dimension is the "KK" dimension. The twenty-third dimension is the "LL" dimension. The twenty-fourth dimension is the "MM" dimension. The twenty-fifth dimension is the "NN" dimension. The twenty-sixth dimension is the "OO" dimension. The twenty-seventh dimension is the "PP" dimension. The twenty-eighth dimension is the "QQ" dimension. The twenty-ninth dimension is the "RR" dimension. The thirtieth dimension is the "SS" dimension. The thirty-first dimension is the "TT" dimension. The thirty-second dimension is the "UU" dimension. The thirty-third dimension is the "VV" dimension. The thirty-fourth dimension is the "WW" dimension. The thirty-fifth dimension is the "XX" dimension. The thirty-sixth dimension is the "YY" dimension. The thirty-seventh dimension is the "ZZ" dimension. The thirty-eighth dimension is the "AAA" dimension. The thirty-ninth dimension is the "BBB" dimension. The fortieth dimension is the "CCC" dimension. The forty-first dimension is the "DDD" dimension. The forty-second dimension is the "EEE" dimension. The forty-third dimension is the "FFF" dimension. The forty-fourth dimension is the "GGG" dimension. The forty-fifth dimension is the "HHH" dimension. The forty-sixth dimension is the "III" dimension. The forty-seventh dimension is the "JJJ" dimension. The forty-eighth dimension is the "KKK" dimension. The forty-ninth dimension is the "LLL" dimension. The fiftieth dimension is the "MMM" dimension. The fifty-first dimension is the "NNN" dimension. The fifty-second dimension is the "OOO" dimension. The fifty-third dimension is the "PPP" dimension. The fifty-fourth dimension is the "QQQ" dimension. The fifty-fifth dimension is the "RRR" dimension. The fifty-sixth dimension is the "SSS" dimension. The fifty-seventh dimension is the "TTT" dimension. The fifty-eighth dimension is the "UUU" dimension. The fifty-ninth dimension is the "VVV" dimension. The sixtieth dimension is the "WWW" dimension. The sixty-first dimension is the "XXX" dimension. The sixty-second dimension is the "YYY" dimension. The sixty-third dimension is the "ZZZ" dimension. The sixty-fourth dimension is the "AAA" dimension. The sixty-fifth dimension is the "BBB" dimension. The sixty-sixth dimension is the "CCC" dimension. The sixty-seventh dimension is the "DDD" dimension. The sixty-eighth dimension is the "EEE" dimension. The sixty-ninth dimension is the "FFF" dimension. The seventieth dimension is the "GGG" dimension. The seventy-first dimension is the "HHH" dimension. The seventy-second dimension is the "III" dimension. The seventy-third dimension is the "JJJ" dimension. The seventy-fourth dimension is the "KKK" dimension. The seventy-fifth dimension is the "LLL" dimension. The seventy-sixth dimension is the "MMM" dimension. The seventy-seventh dimension is the "NNN" dimension. The seventy-eighth dimension is the "OOO" dimension. The seventy-ninth dimension is the "PPP" dimension. The eightieth dimension is the "QQQ" dimension. The eighty-first dimension is the "RRR" dimension. The eighty-second dimension is the "SSS" dimension. The eighty-third dimension is the "TTT" dimension. The eighty-fourth dimension is the "UUU" dimension. The eighty-fifth dimension is the "VVV" dimension. The eighty-sixth dimension is the "WWW" dimension. The eighty-seventh dimension is the "XXX" dimension. The eighty-eighth dimension is the "YYY" dimension. The eighty-ninth dimension is the "ZZZ" dimension. The ninetieth dimension is the "AAA" dimension. The ninety-first dimension is the "BBB" dimension. The ninety-second dimension is the "CCC" dimension. The ninety-third dimension is the "DDD" dimension. The ninety-fourth dimension is the "EEE" dimension. The ninety-fifth dimension is the "FFF" dimension. The ninety-sixth dimension is the "GGG" dimension. The ninety-seventh dimension is the "HHH" dimension. The ninety-eighth dimension is the "III" dimension. The ninety-ninth dimension is the "JJJ" dimension. The one hundredth dimension is the "KKK" dimension.
- Concrete**
1. Concrete used in this work shall be KCMCMK, as approved by the City of Lee's City Metropolitan Materials Board, which shall meet the requirements of the Overland Park Municipal Code.
 2. Inlet floors shall be shaped with non-reinforced concrete inverts to provide smooth flow.
 3. Bevel all exposed edges with $\frac{3}{4}$ " triangular molding.
- Reinforcing Steel**
1. Reinforcing steel shall be bare billet, minimum Grade 60 as per ASTM A615, and shall be bent cold.
 2. All dimensions relative to reinforcing steel are to centerline of reinforcement unless otherwise noted. Tolerance of $\pm \frac{1}{8}$ " shall be permitted.
 3. All lap splices not shown shall be a minimum of 40 bar diameters in length.
 4. All reinforcing steel shall be supported on fabricated steel bar supports @ 3'-0" maximum spacing.
 5. All dowels shall be accurately placed and securely tied in place at a minimum of 4" height above slab surface. Concrete, striking or dowels into fresh or partially hardened concrete will not be acceptable.
- Construction**
1. The bottom slab shall be at least 24 hours old before placing sidewalk concrete. All sidewalk forms shall remain in place a minimum of 48 hours after sidewalk concrete is placed and before removal, and after removal shall be immediately treated with membrane curing compound.
 2. All curb inlet forms shall be to be constructed after final curb string line has been approved by the City Engineer and prior to curb construction or as directed by the city engineer.
 3. Pipe connections to pre-cast structures shall have a minimum of 6" of concrete around the entire pipe within 2' of the structure.
 4. Material selection and compaction requirements for backfill around structures shall be as specified in the *Manual of Infrastructure Standards for Right of Way Restoration*, as published by the City of Lee.



BARS	BAR SIZE	SPACING (IN.)
H	4	12
V	4	12
L	5	6
W	5	6

- GENERAL NOTES:**
1. LOCATE RING AND COVER ON BLANK WALL.
 2. USE $\frac{3}{4}$ " CHAMFER STRIP OR $\frac{5}{8}$ " R EDGER TOOL ON ALL EXPOSED CONCRETE CORNERS.
 3. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 4" ON BLANK WALL IF POSSIBLE.
 4. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE AND THE MINIMUM DISTANCE BETWEEN BOXOUTS IS 6".
 5. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
 6. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
 7. REINFORCING OF COVERS IN STREETS REQUIRE SPECIAL DESIGN.
 8. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.



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PROJECT

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE

PROFESSIONAL SEAL:



DRAWING TITLE:

Storm Sewer Details

IOR NO: 1249

SCALE:

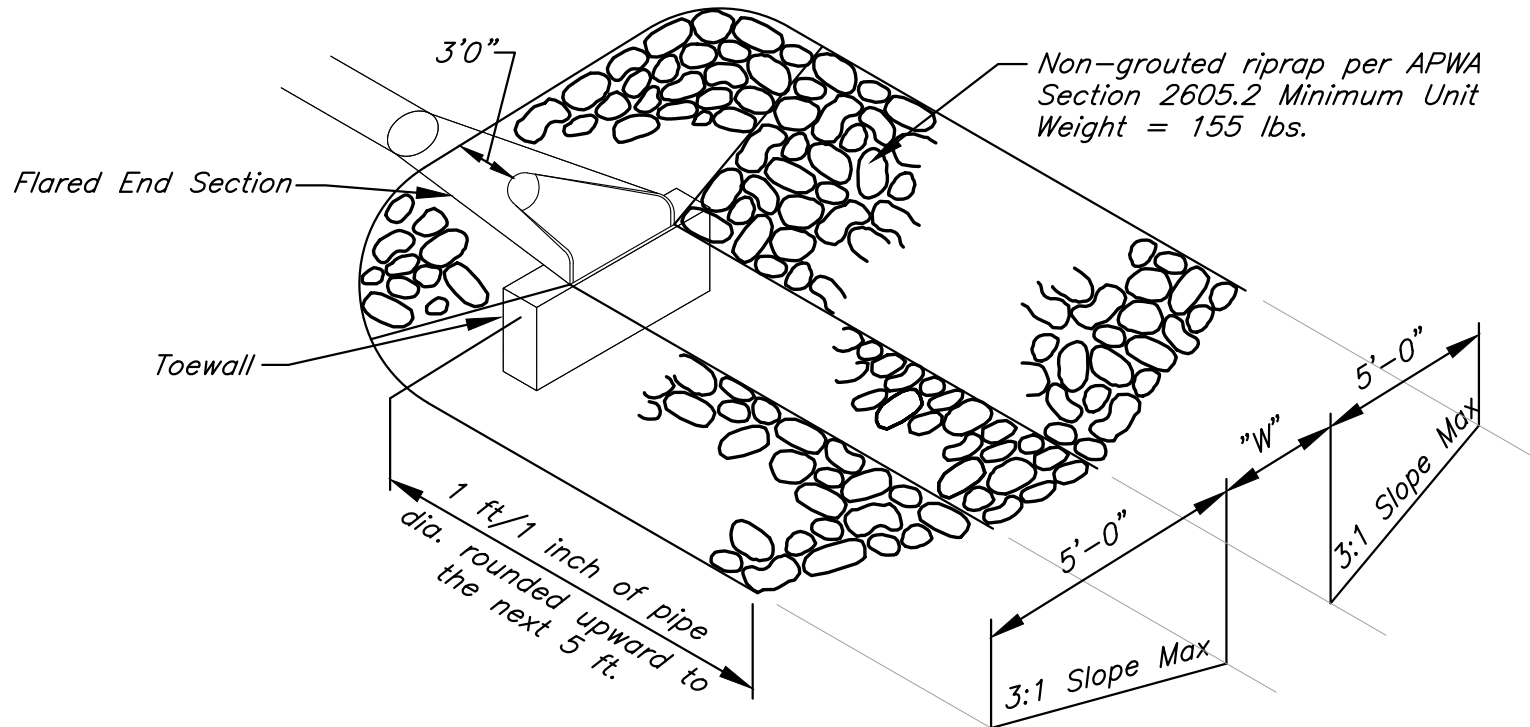
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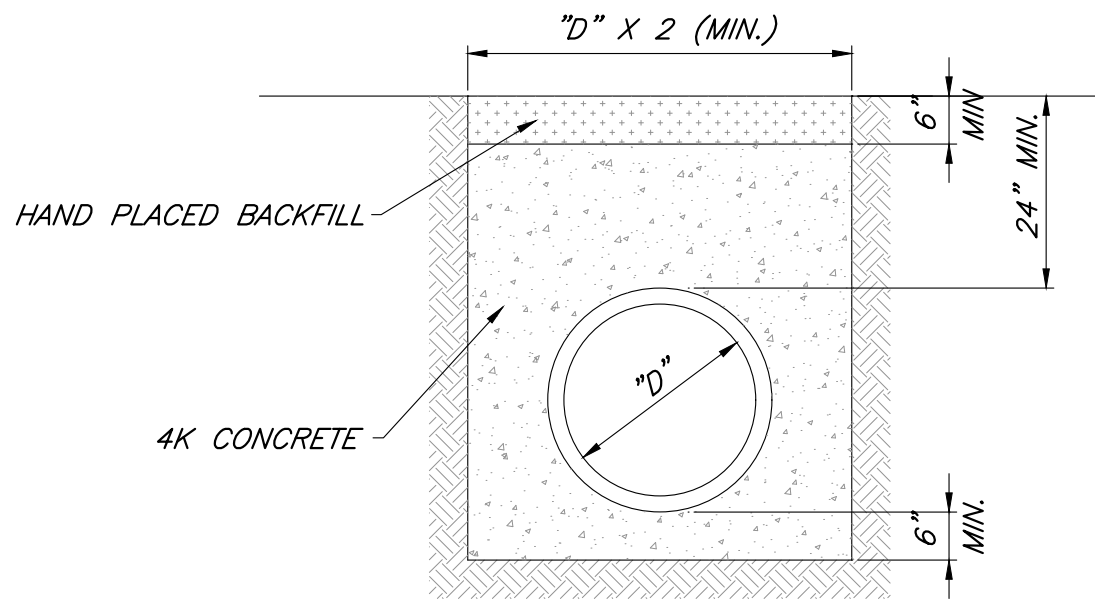
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OUTLET EROSION PROTECTION - RIPRAP

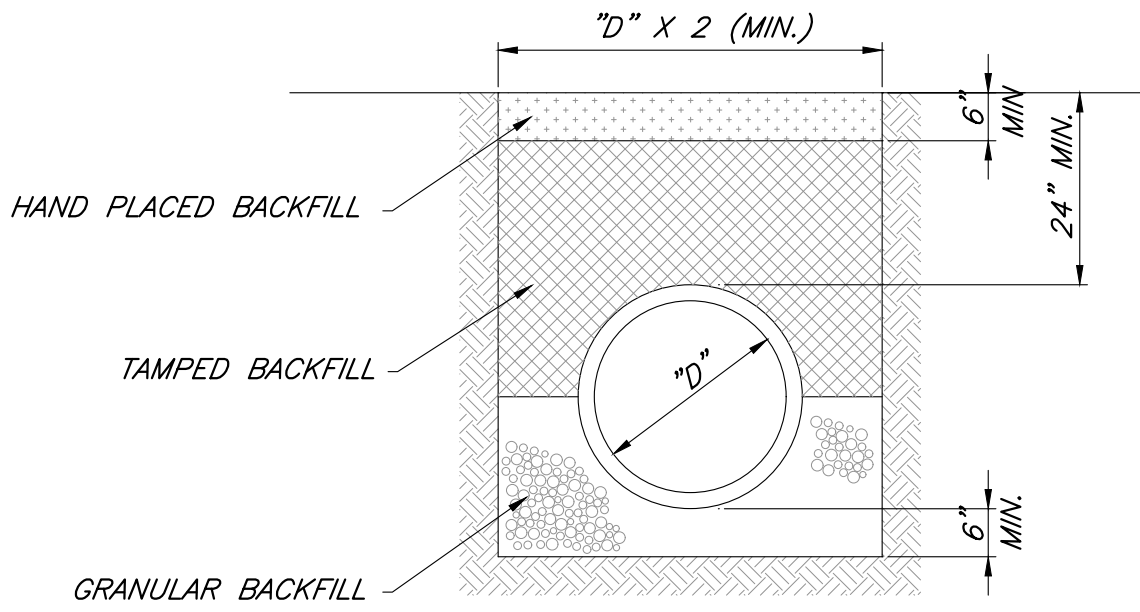
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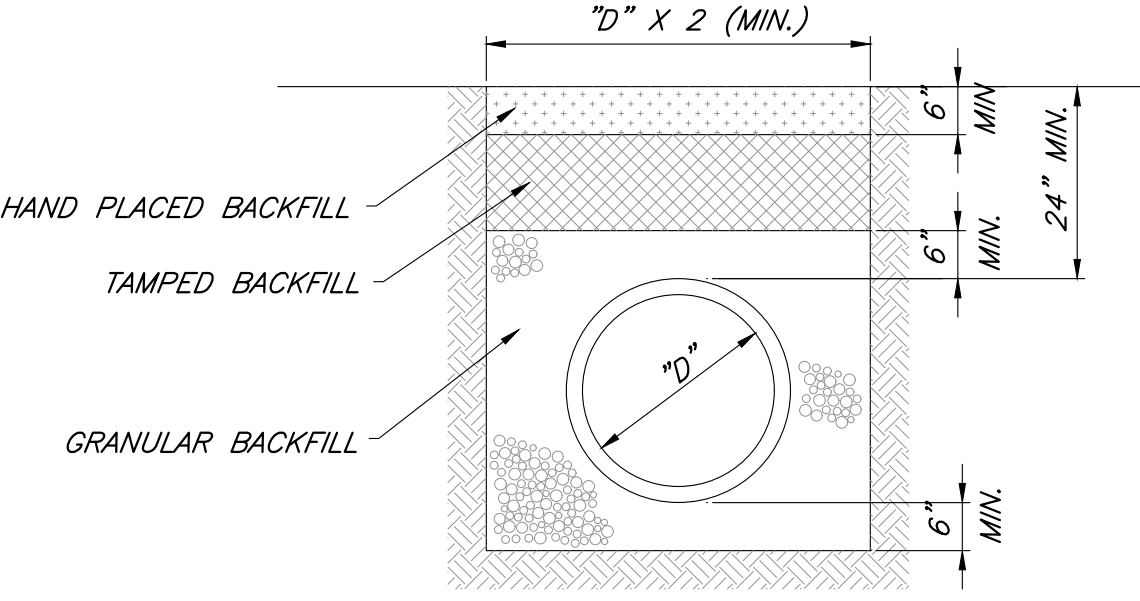
CONCRETE ENCASEMENT
CLASS A

NOTES:

- GRANULAR FILL SHALL BE 1/2" CLEAN ROCK, PLACED IN 6" LIFTS AND COMPACTED BY SLICING WITH A SHOVEL.
- TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED TO TYPE AA MR-5 COMPACTION.
- HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED TO TYPE AA MR-5 COMPACTION.
- ALL PIPE SHALL BE INSPECTED PRIOR TO BACKFILL. ALL PIPE COVERED PRIOR TO INSPECTION SHALL BE UNCOVERED AT THE CONTRACTORS EXPENSE.



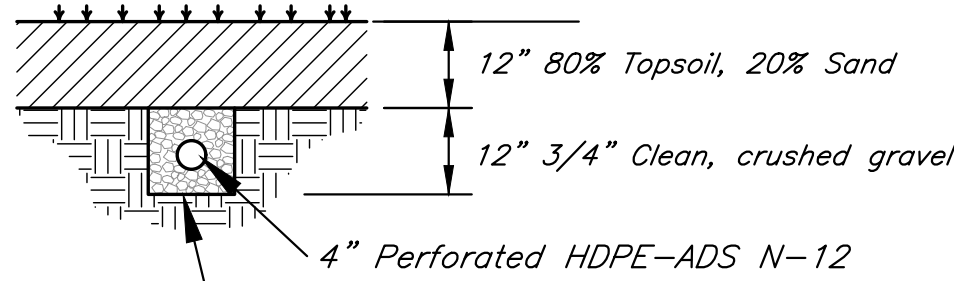
FIRST CLASS BEDDING (RCP)
CLASS B



HDPE/PVC PIPE BEDDING
CLASS C

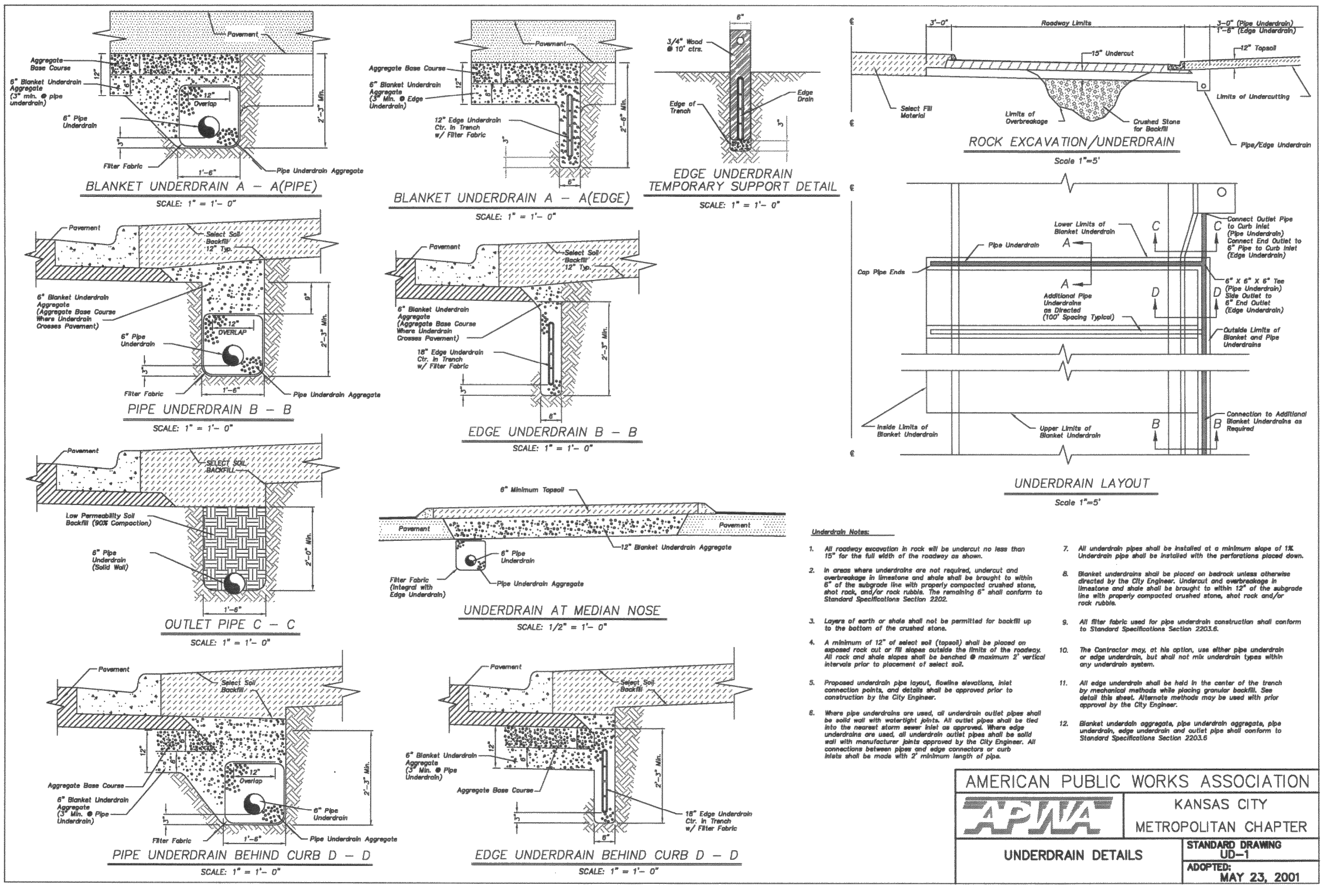
PIPE BEDDING DETAILS

No Scale



TYPICAL UNDERDRAIN DETAIL

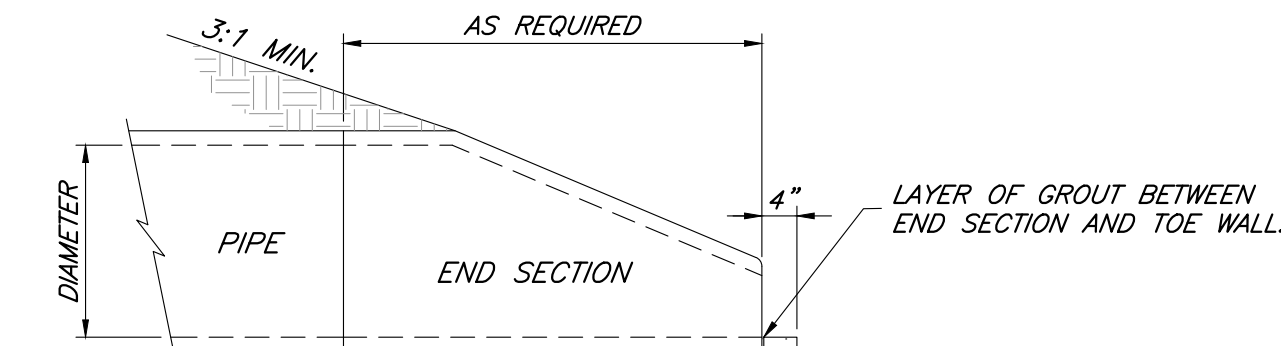
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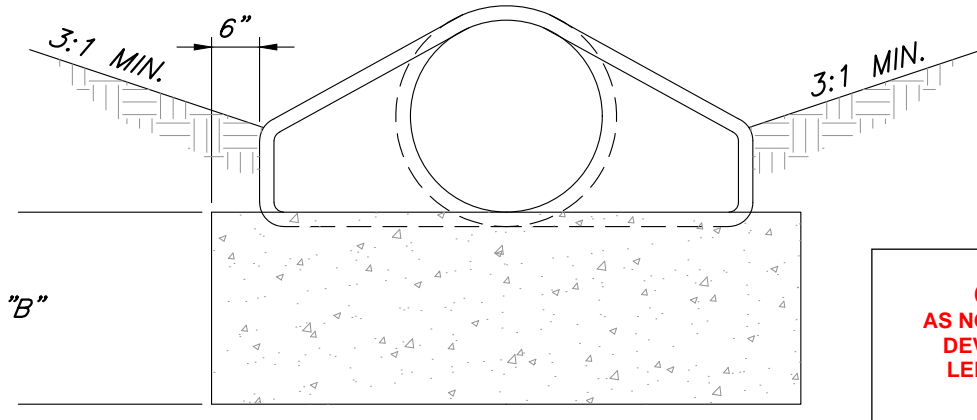
END SECTION NOTES:

- THE DEPTH OF THE TOE WALL SHALL BE PER TABLE. IF BEDROCK IS ENCOUNTERED A MINIMUM OF 12" INTO BEDROCK IS REQUIRED.
- ALL CONCRETE SHALL BE KOMMB-4K.

TABLE	
TOE WALL DEPTH	
PIPE DIAMETER	"B"
12" - 21"	18"
24" - 48"	24"
54" - 66"	36"



SIDE VIEW



FRONT VIEW

END SECTION DETAIL

NOT TO SCALE

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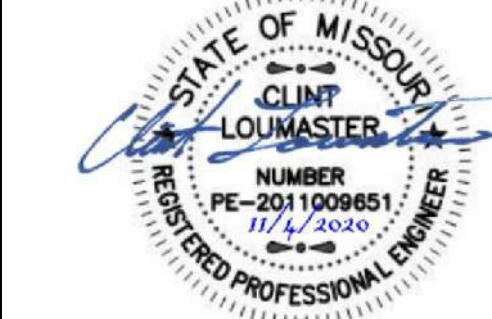
PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Storm Sewer
Details

JOB NO: 1249

SCALE:

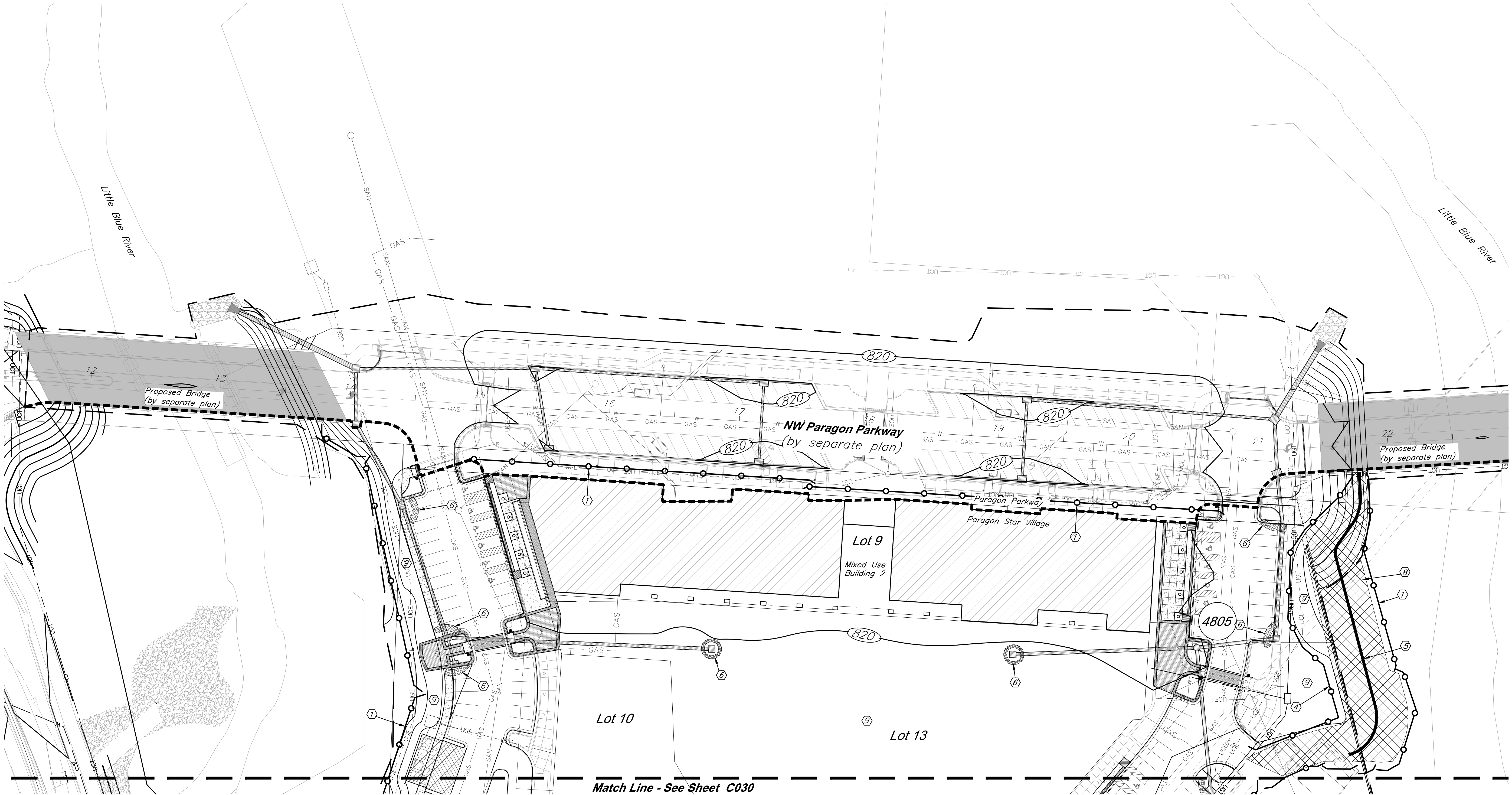
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C027

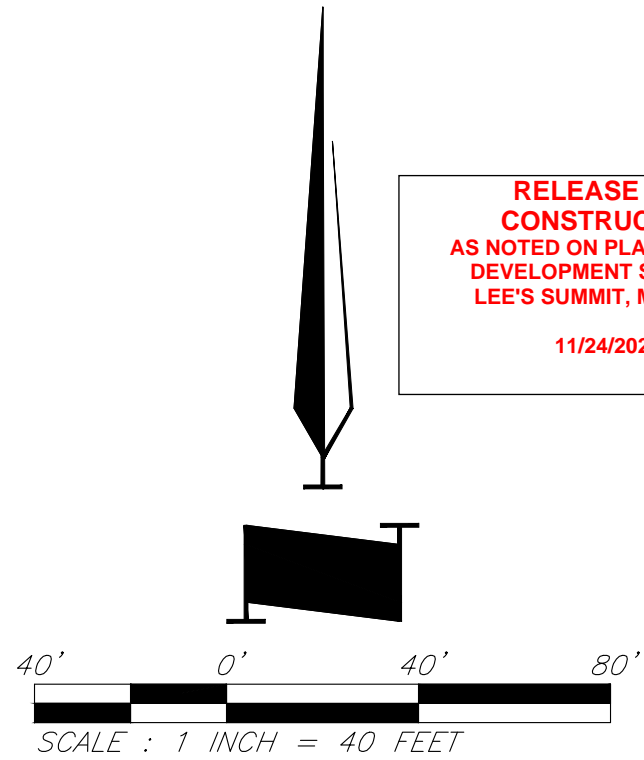
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EROSION CONTROL STAGING CHART

Project Phase	Reference No.	Description	Remove After Phase:	Notes
1 - Place Erosion Control Prior to Land Disturbance	①	Install Perimeter Silt Fence	4	Install as shown on plans
	②	Construct Gravel Construction Entrance	4	Install as shown on plans
	③	Construct Concrete Wash-out	4	Install as shown on plans
2 - After Stripping, Grubbing, and Mass Grading	④	Install Interior Silt Fence	4	Install as shown on plans
	⑤	Install Straw Wattles	4	Install as shown on plans
	⑥	Install Inlet Protection	4	Install as shown on plans
3 - After Storm Sewer Construction	⑦	Install Outlet Protection	N/A	Install as shown on sheets C015 & C016
	⑧	Install Erosion Control Blanket	N/A	Install as shown on plans
4 - Final Grading, Paving, and Landscaping	⑨	Final Grading, Seeding, Sodding, and Landscaping of all disturbed areas	N/A	Interior erosion control measures and inlet protection may be removed once seed and sodded areas are established to cover 80% of the site. See Landscape Plans for details.

- Legend**
- Existing Contour
 - Proposed Contour
 - Straw Wattle
 - Sediment Fence
 - Inlet Sediment Trap
 - Paragon Parkway
 - Paragon Star Village
 - Construction Line for Paragon Parkway and Paragon Star Village



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



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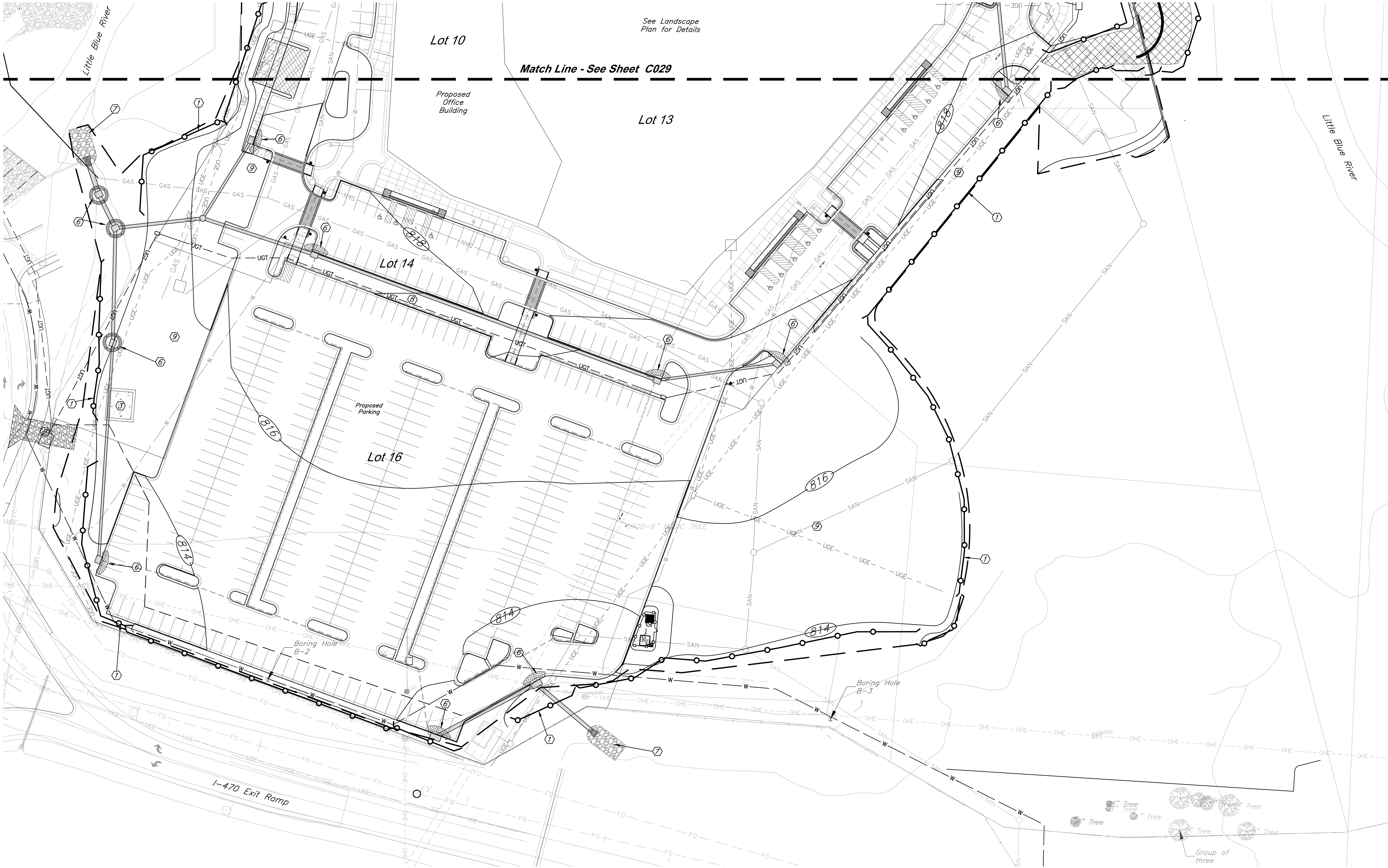
**Erosion Control
Plan**

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

C029

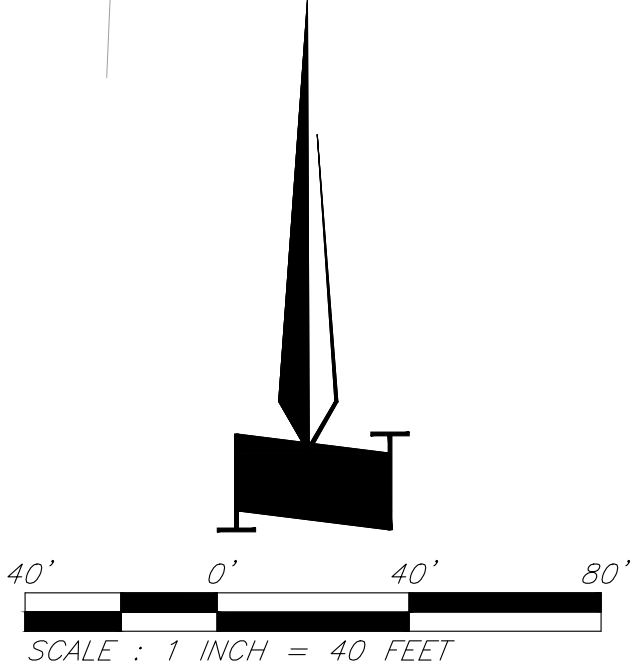
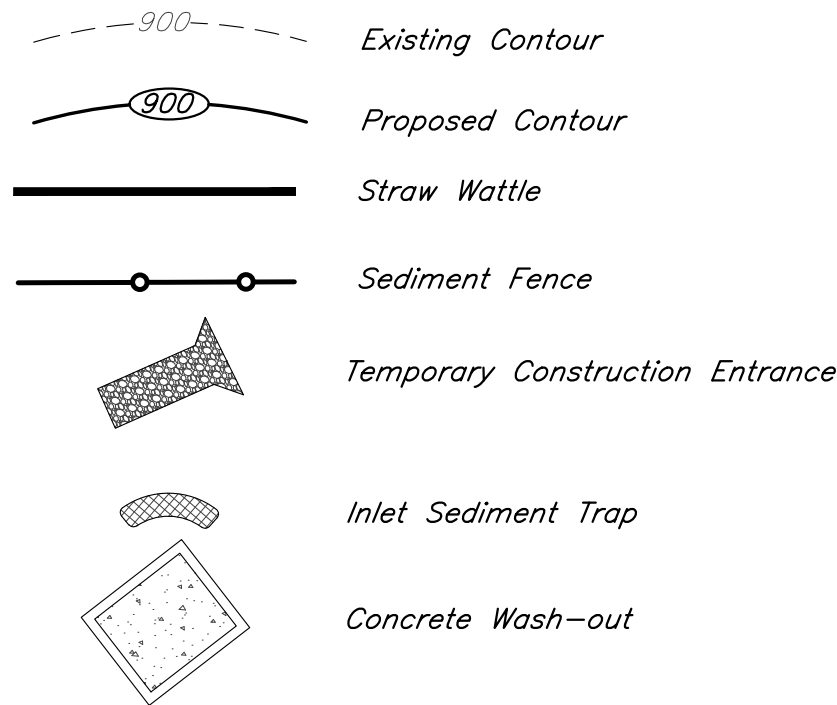
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EROSION CONTROL STAGING CHART

Project Phase	Reference No.	Description	Remove After Phase:	Notes
1 - Place Erosion Control Prior to Land Disturbance	①	Install Perimeter Silt Fence	4	Install as shown on plans
	②	Construct Gravel Construction Entrance	4	Install as shown on plans
	③	Construct Concrete Wash-out	4	Install as shown on plans
2 - After Stripping, Grubbing, and Mass Grading	④	Install Interior Silt Fence	4	Install as shown on plans
	⑤	Install Straw Wattles	4	Install as shown on plans
	⑥	Install Inlet Protection	4	Install as shown on plans
3 - After Storm Sewer Construction	⑦	Install Outlet Protection	N/A	Install as shown on sheets C015 & C016
	⑧	Install Erosion Control Blanket	N/A	Install as shown on plans
4 - Final Grading, Paving, and Landscaping	⑨	Final Grading, Seeding, Sodding, and Landscaping of all disturbed areas	N/A	Interior erosion control measures and inlet protection may be removed once seed and sodded areas are established to cover 80% of the site. See Landscape Plans for details.

Erosion Control Legend



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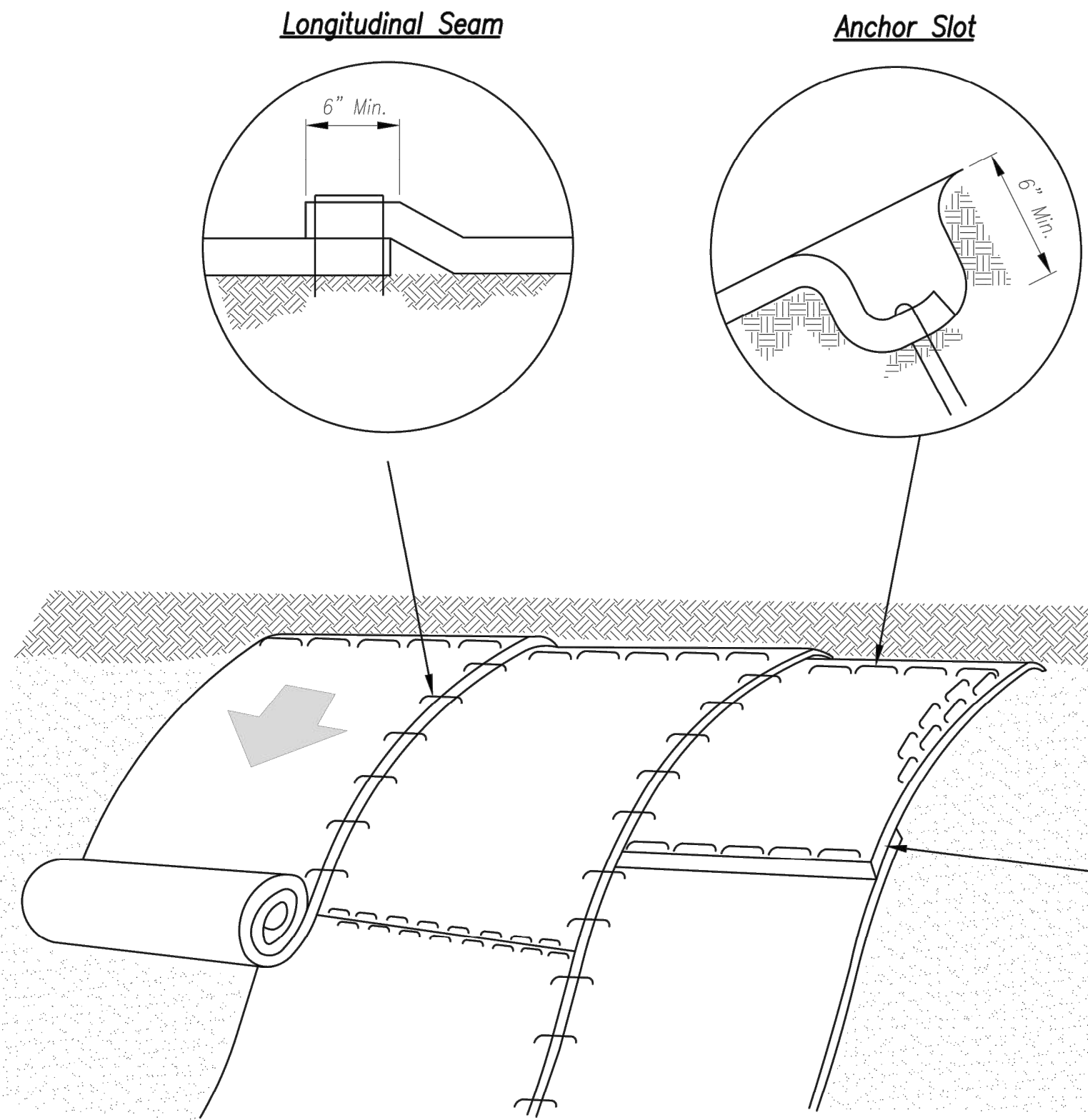
Erosion Control
Plan

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

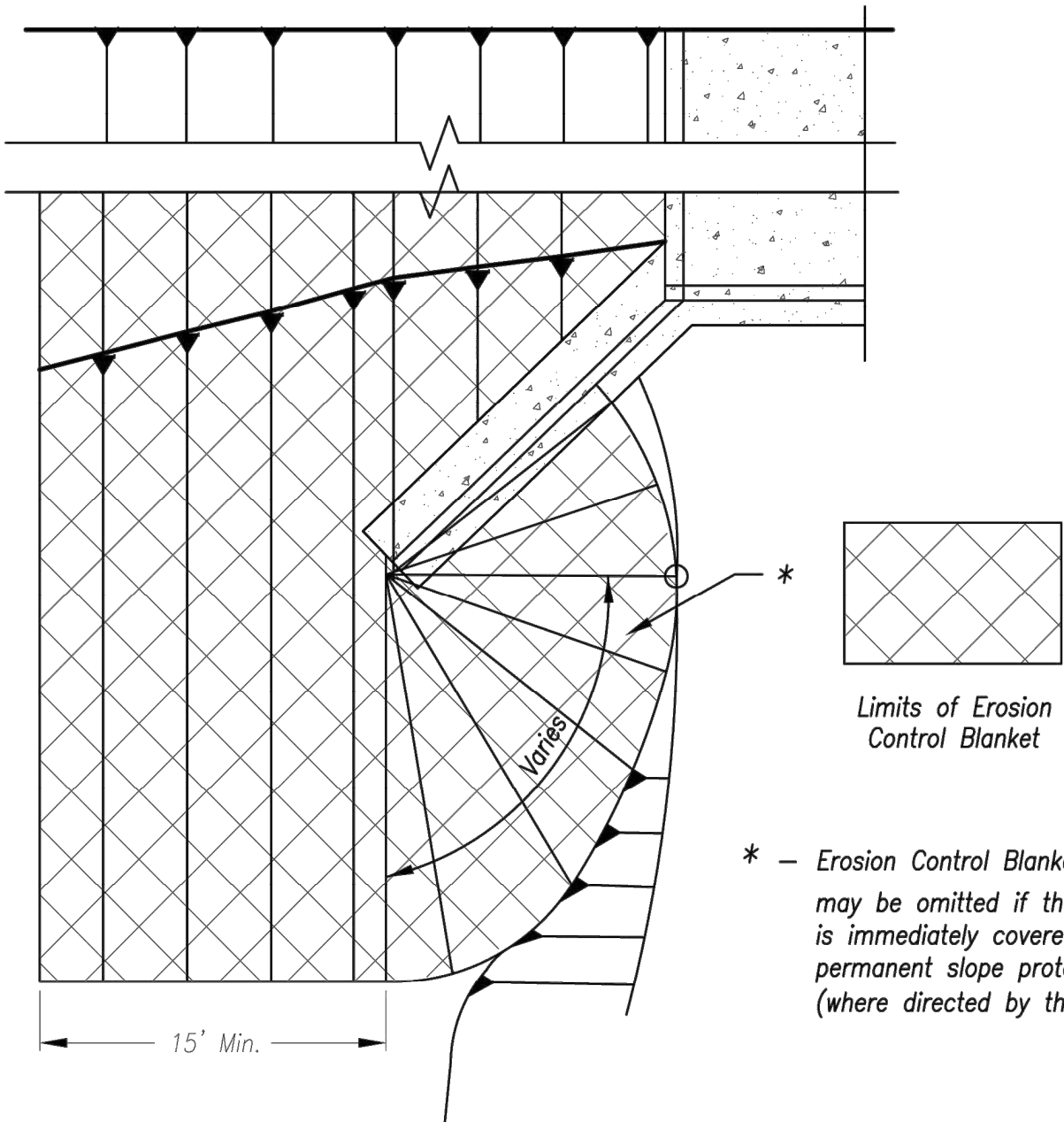
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Installation on Slopes



Partial Box Culvert Plan
Not to Scale

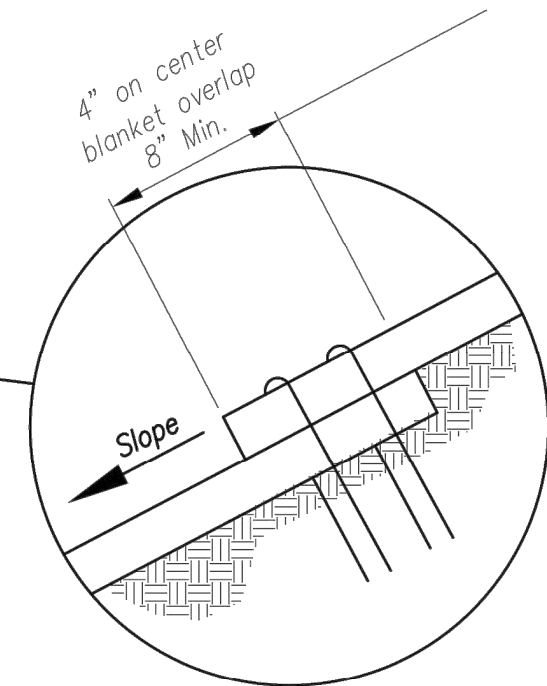
Installation Around Culvert Slope

General Notes:

1. APWA Specifications 2150 and Design Guidance 5100 shall be referenced to select type of blanket or mat to be used.
2. Typical anchors and pattern/spacing shall be installed according to the manufacturers instructions.
3. LONGITUDINAL SEAMS: The edges of the blanket or mat should overlap each other a minimum of 6 inches, with anchors catching the edges of both blankets.

Maintenance:

1. Torn or degraded product shall be repaired or replaced, unless such degradation is within the functional longevity specified by the manufacturer.
2. Edges or seams that are loose or frayed shall be secured.



Splice Seam

Notes for Installation on Slopes:

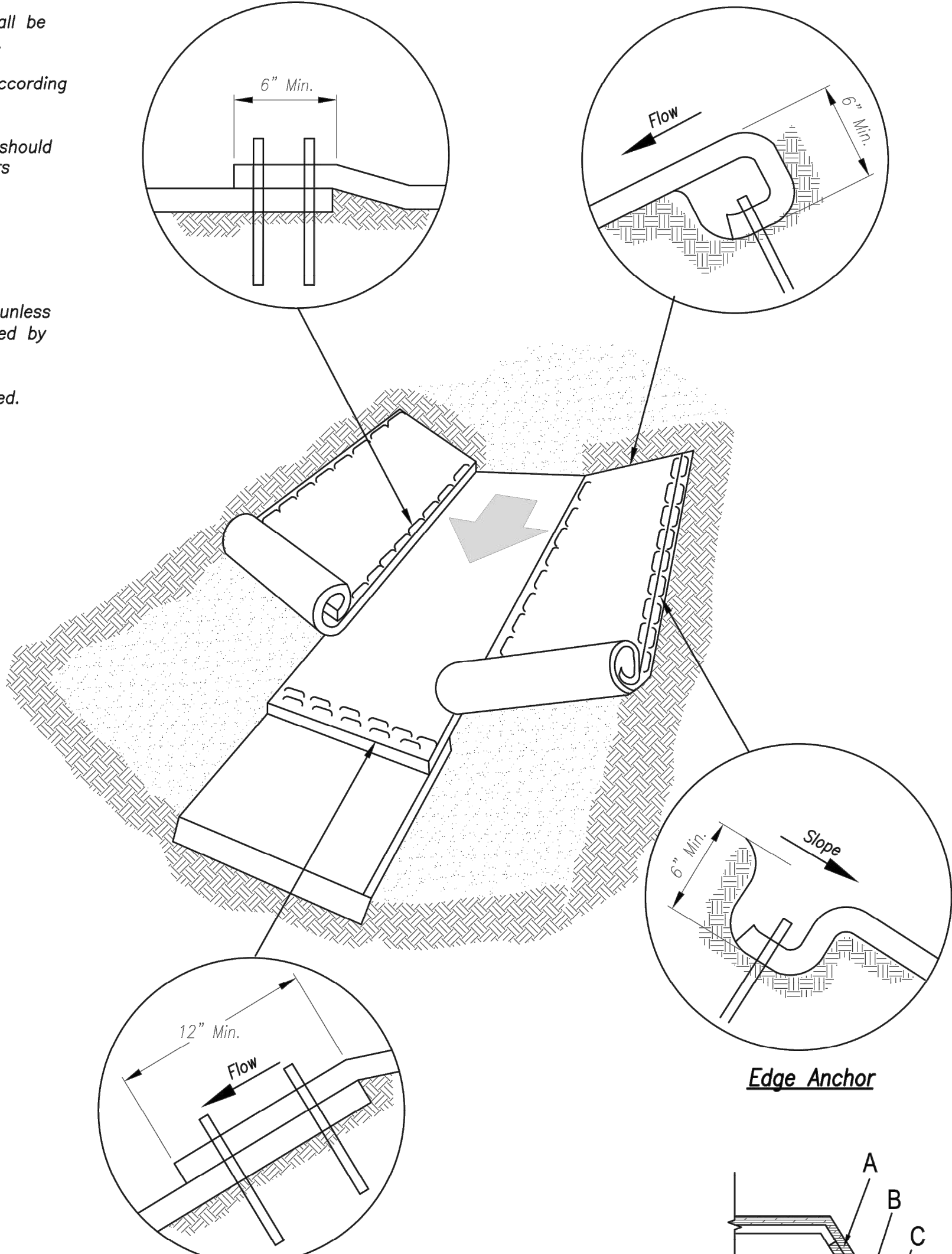
1. Erosion Control Blankets and TRMs shall be laid in the direction of the slope. In order for blanket to be in contact with the soil, lay blanket loosely, avoiding stretching.
2. ANCHOR SLOTS: The top of the blanket should be "slotted in" at the top of the slope and anchored in place with anchors 6 inches apart. The slots should be 6 inches wide x 6 inches deep with the blanket anchored in the bottom of the slot, then backfilled, tamped and seeded.
3. SPLICE SEAM: When splices are necessary, overlap end a minimum of 8 inches in direction of water flow. Stagger splice seams.
4. TERMINAL FOLD: The bottom edge of the blanket shall be turned under a minimum of 4 inches, then anchored in place with anchors 9 inches apart.

Longitudinal Seam

Anchor Fold

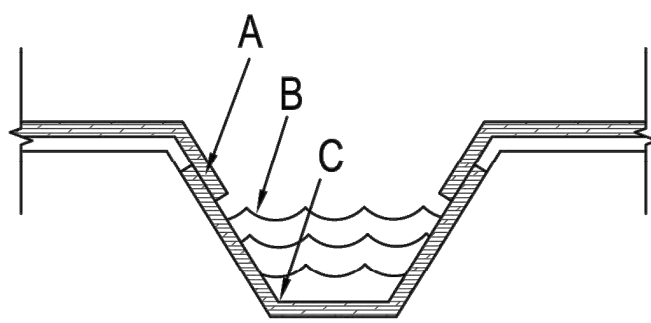
Notes for Installation in Channels:

1. Erosion Control Blankets and TRMs shall be laid in the direction of the flow, with the first course at the centerline of channel, where applicable. In order for the mat to be in contact with the soil, lay the mat loosely, avoiding stretching.
2. ANCHOR FOLD: The top of the mat should be folded under, buried and secured with wood or other approved anchors placed 6 inches apart. The top edge of the mat should be buried in a slot 6 inches wide x 6 inches deep, anchored in the bottom of the slot, backfilled, and the mat folded over the top as shown in detail.
3. SPLICE SEAM: When splices are necessary, overlap end a minimum of 12 inches in direction of water flow. Stagger splice seams.
4. CHECK SLOTS: Establish check slots transverse to slope every 30 feet. The slots should be 6 inches wide x 6 inches deep. The mat shall be cut to a length 12 inches beyond the slot. The top of the downstream mat shall be slotted in, secured and buried similar to the edge anchor fold. The upstream mat shall then cover the slot and be anchored as shown.
5. EDGE ANCHORS: Lay outside edge of mat into trench at top of the slope and anchor.
6. TERMINUS: The bottom edge of the mat shall be anchored.

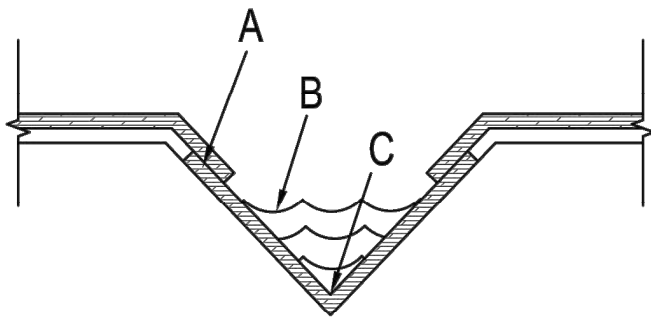


Splice Seam

Edge Anchor



Trapezoidal Channel



V Channel

Critical Points:

- A – Overlaps and seams;
B – Projected water line;
C – Channel bottom / side slope vertices;

Installation in Channels

Modified from 2015 Overland Park Standard Details
for Erosion and Sediment Control.

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KANSAS CITY
METRO CHAPTER

EROSION CONTROL BLANKETS
AND TURF REINFORMENT MATS

STANDARD DRAWING
NUMBER ESC-02
ADOPTED:
10/24/2016

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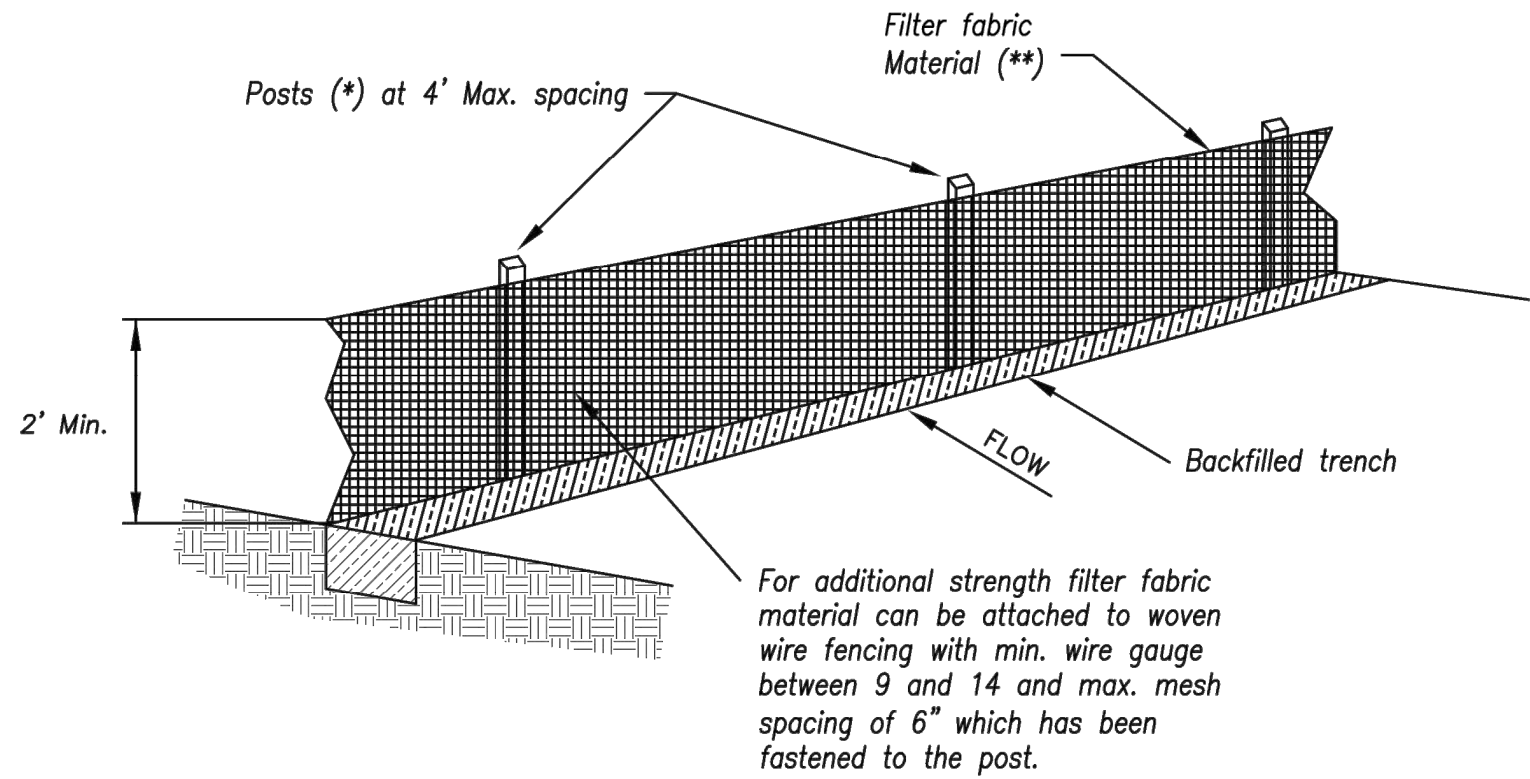
Erosion Control
Details

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

C032

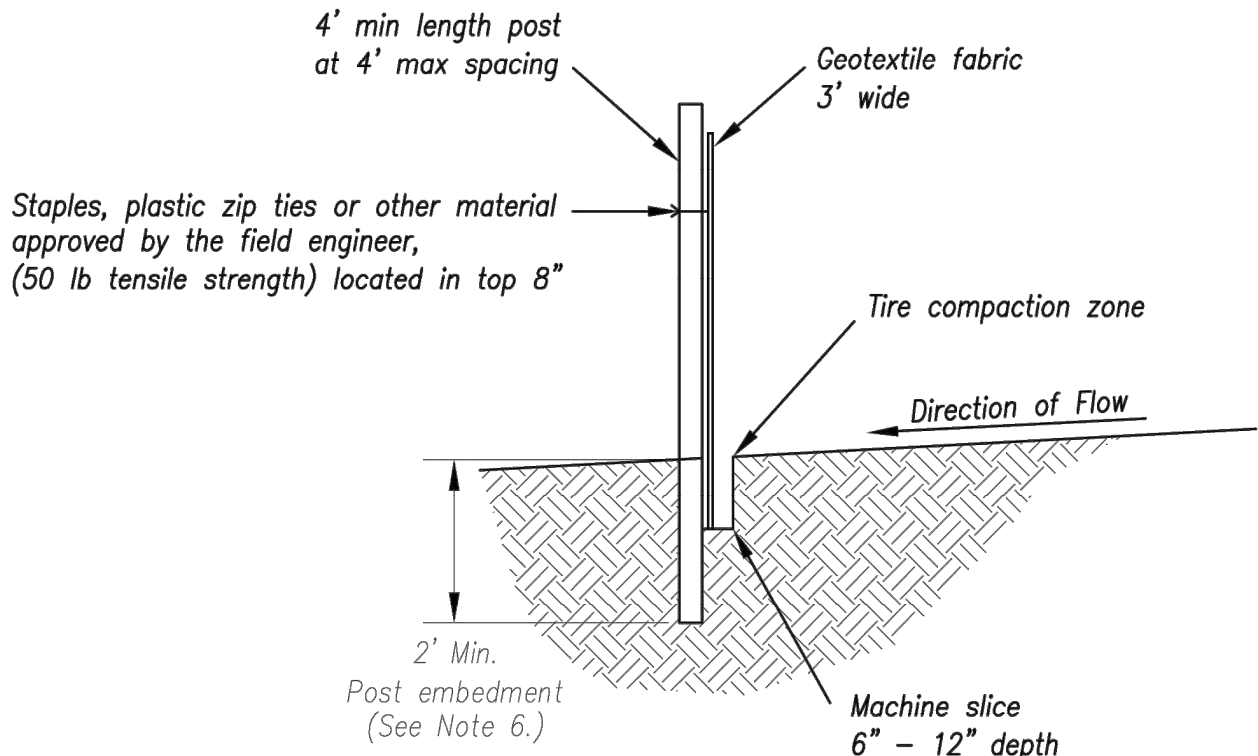
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- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/8" x 1 3/8"
 - NO.2 SOUTHERN PINE 2 3/8" x 2 3/8"
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS
Not to Scale



Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/3 the height of silt fence.
2. Repair as necessary to maintain function and structure.

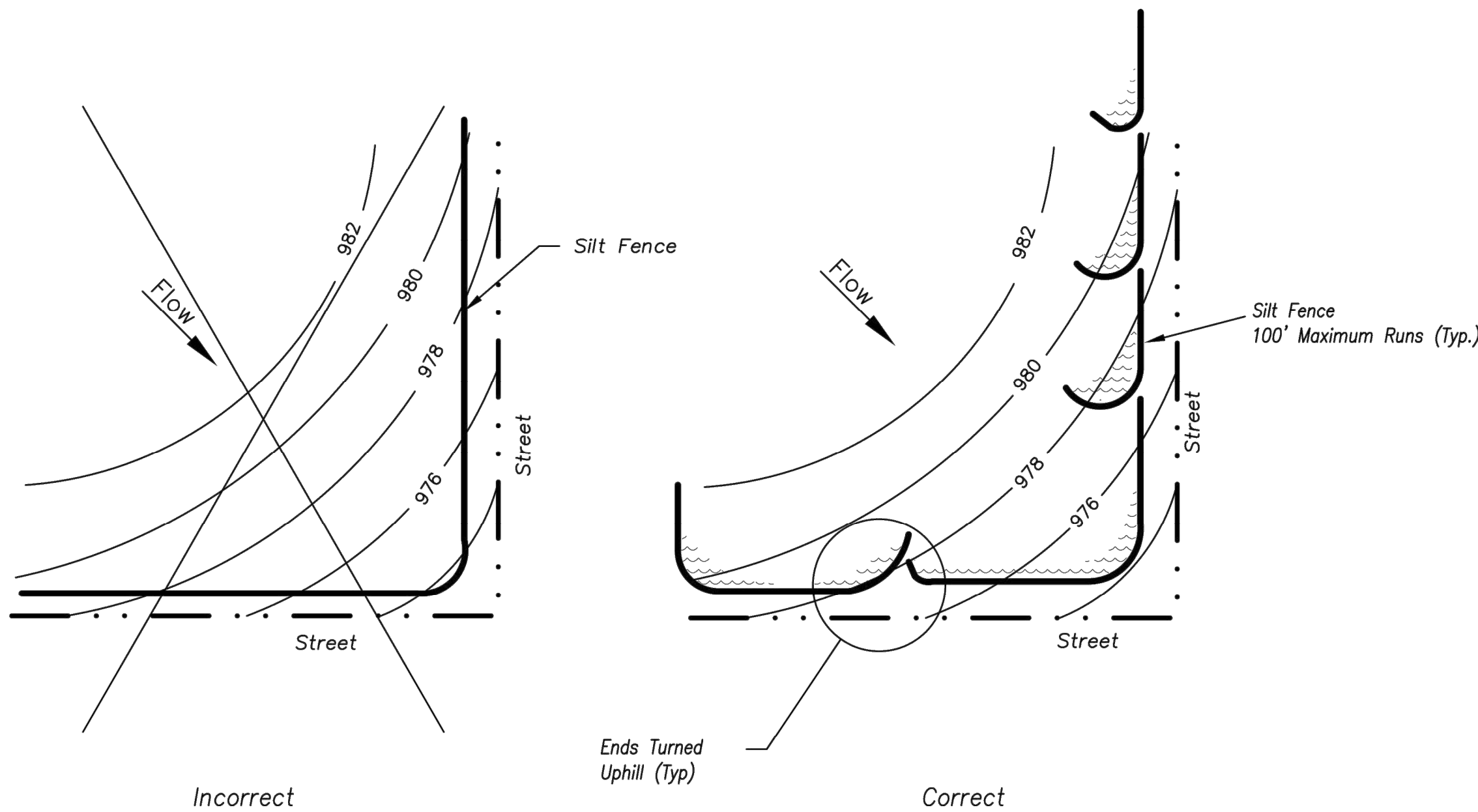
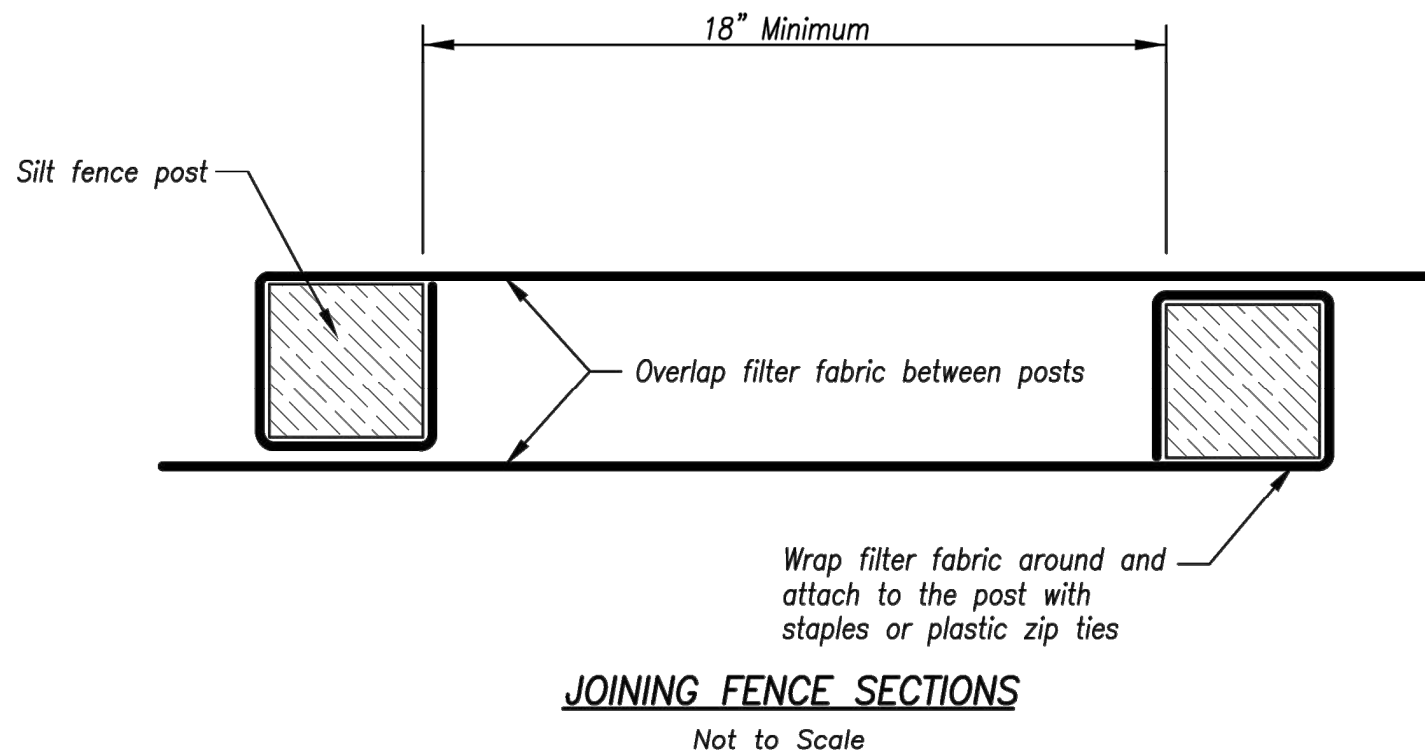
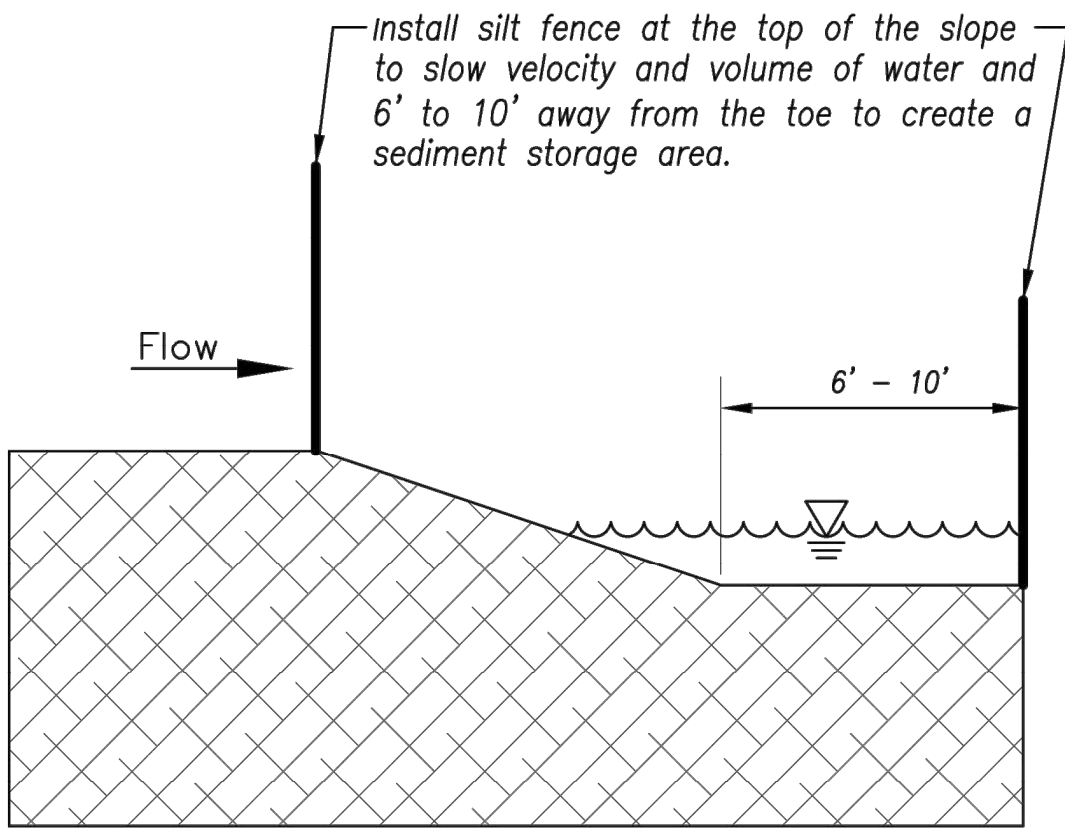


Figure A

SILT FENCE LAYOUT
Not to Scale



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KANSAS CITY
METRO CHAPTER

SILT FENCE

STANDARD DRAWING
NUMBER ESC-03
ADOPTED:
10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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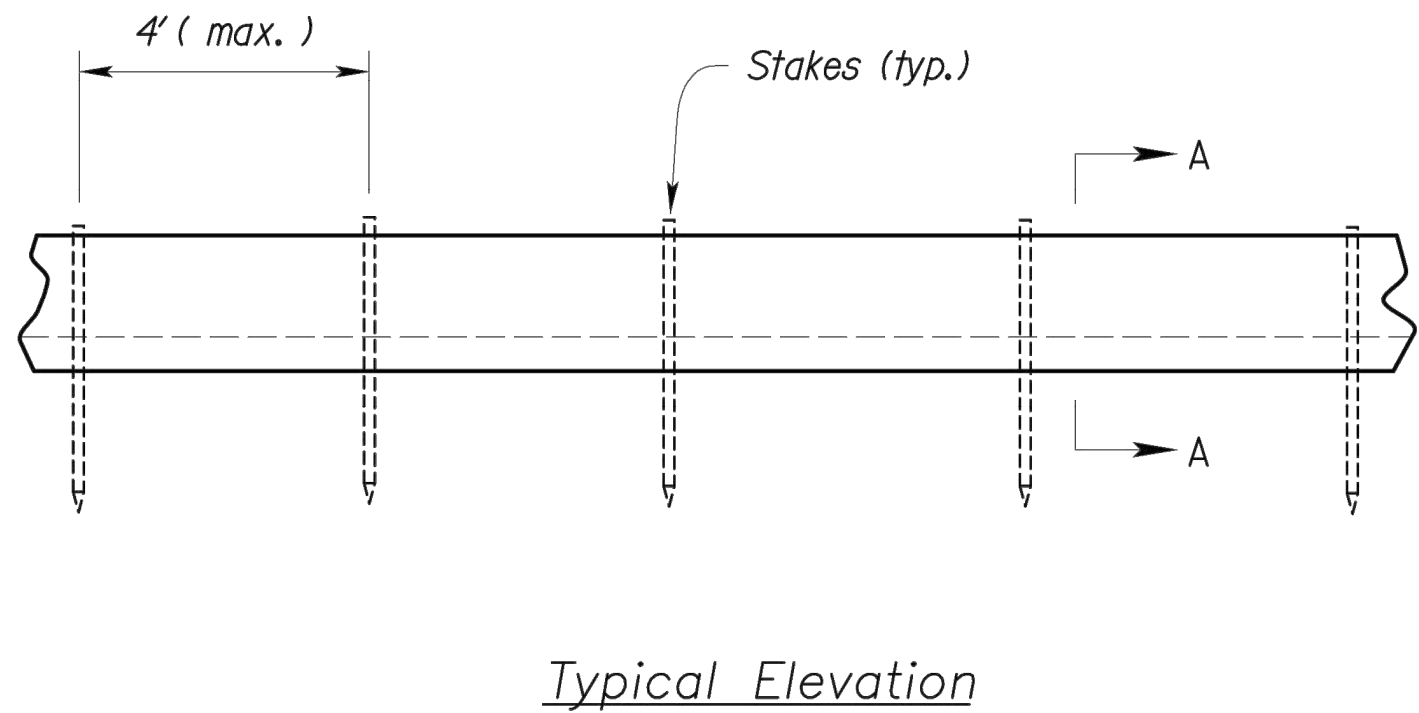
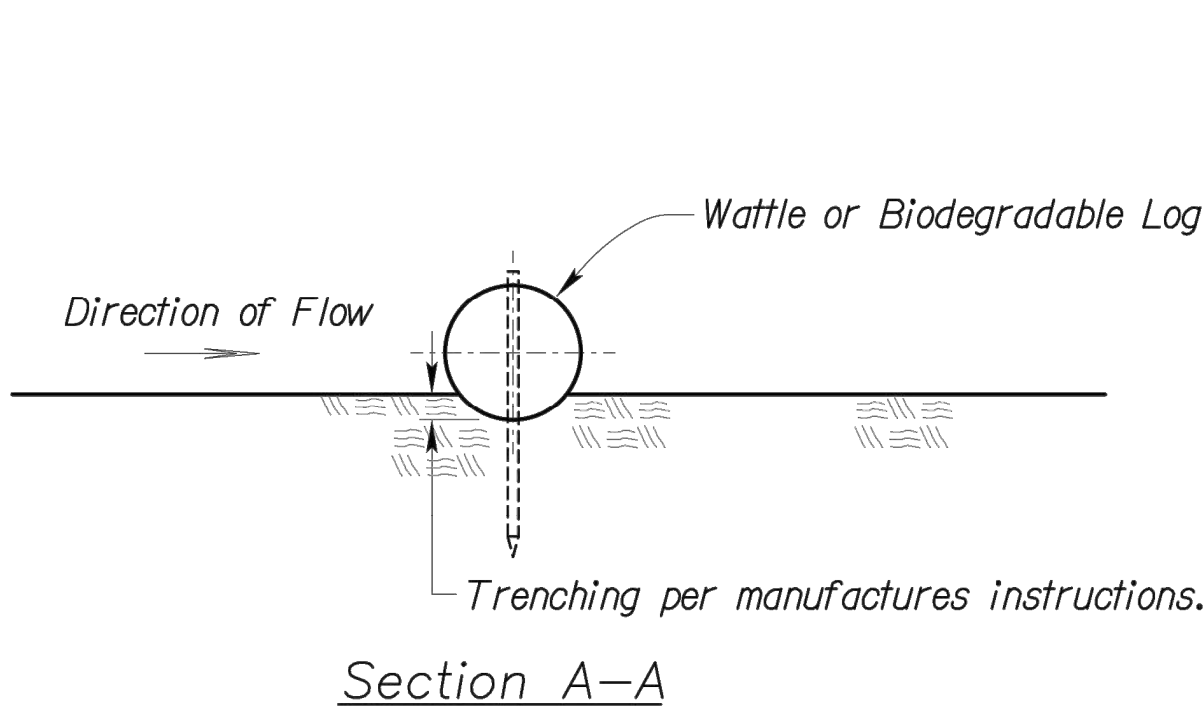
**Erosion Control
Details**

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Notes for Wattles and Biodegradable Log Slope Protection:

1. The Slope barriers shall be placed along contour lines, with a short section turned upgrade at each end of the barrier. The maximum length of the slope barrier shall not exceed 250 feet, and the barrier ends need to be staggered.
2. Install wattles and biodegradable logs per manufacturer's instructions.
3. Spacing of stakes per manufacturer's instructions with 4' max. spacing. Length of stakes shall be a minimum of 2 times the diameter of the log with minimum of 24".

WATTLES AND BIODEGRADABLE LOG

Modified from 2015 Overland Park Standard Details
for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
WATTLES/Biodegradable LOG AND MULCH/COMPOST FILTER BERM	STANDARD DRAWING NUMBER ESC-04 ADOPTED: 10/24/2016

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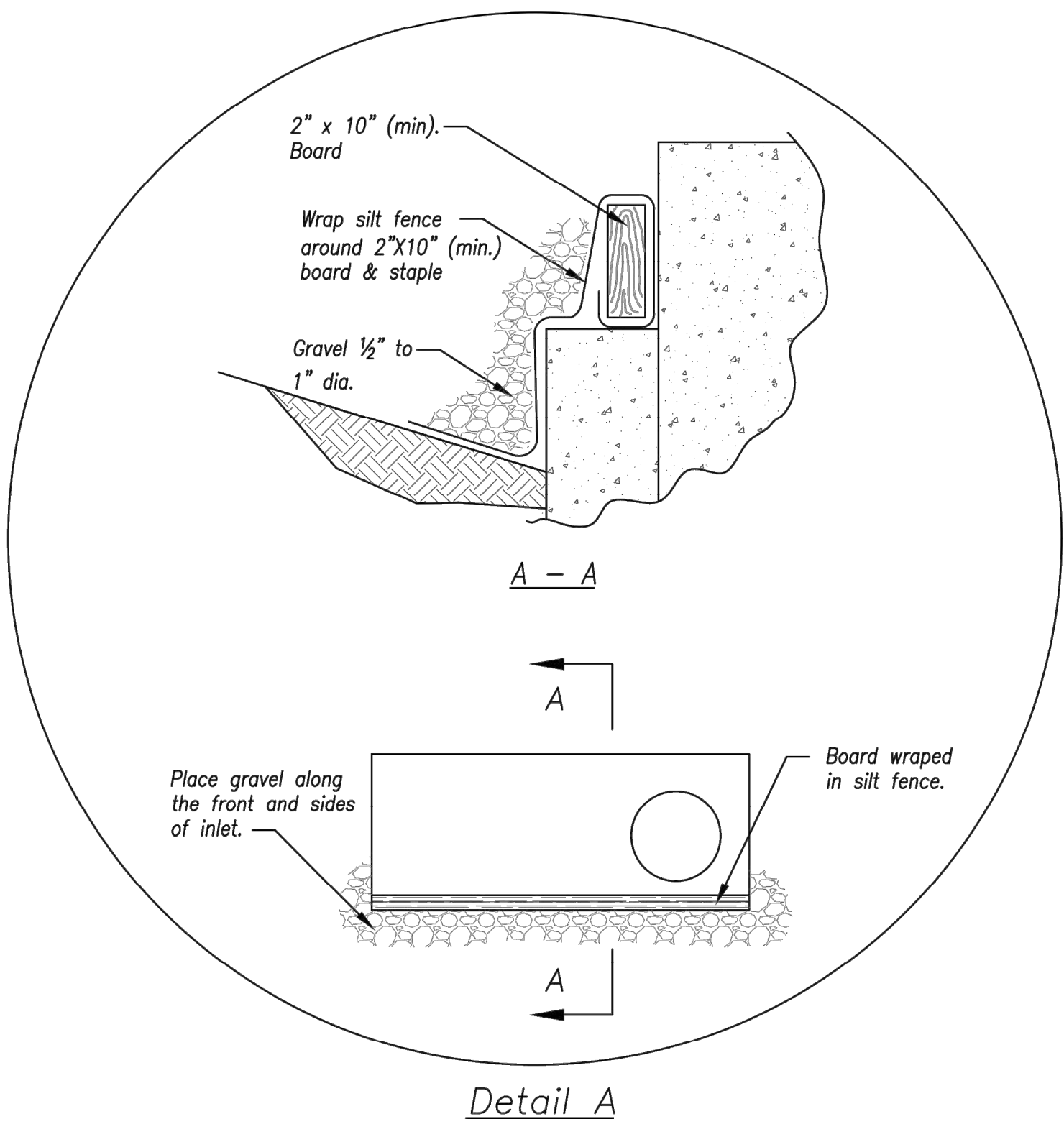
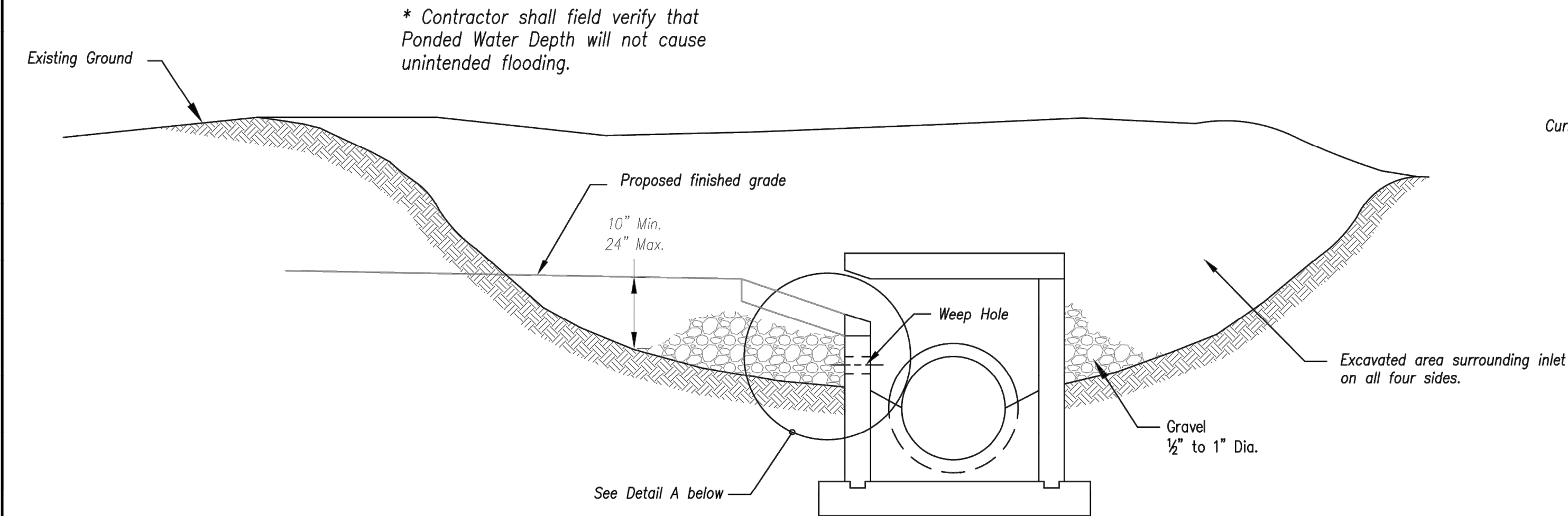
**Erosion Control
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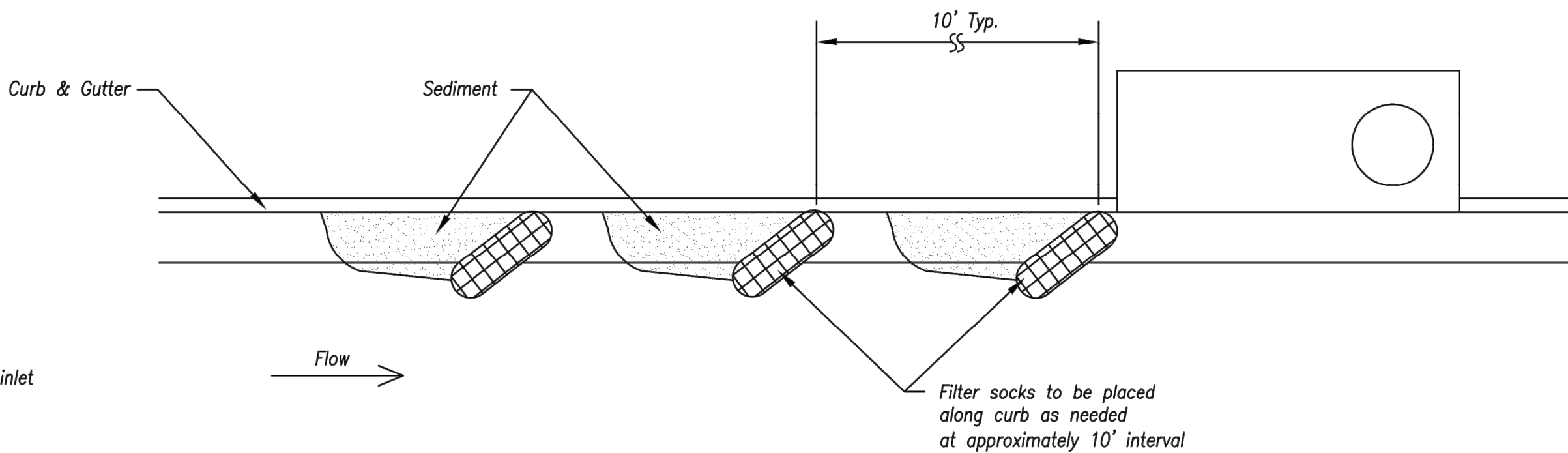
EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

Notes:

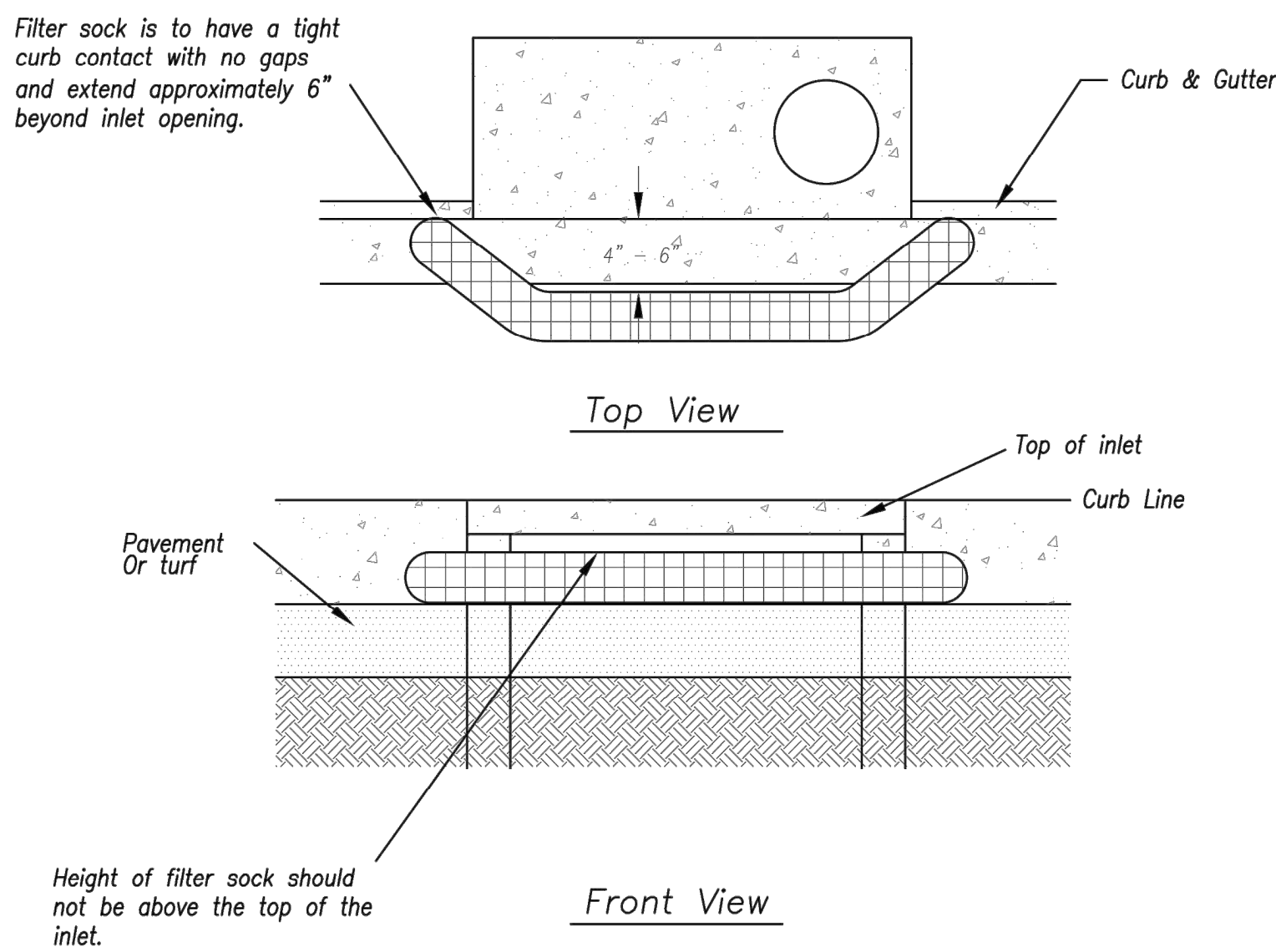
1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.




On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

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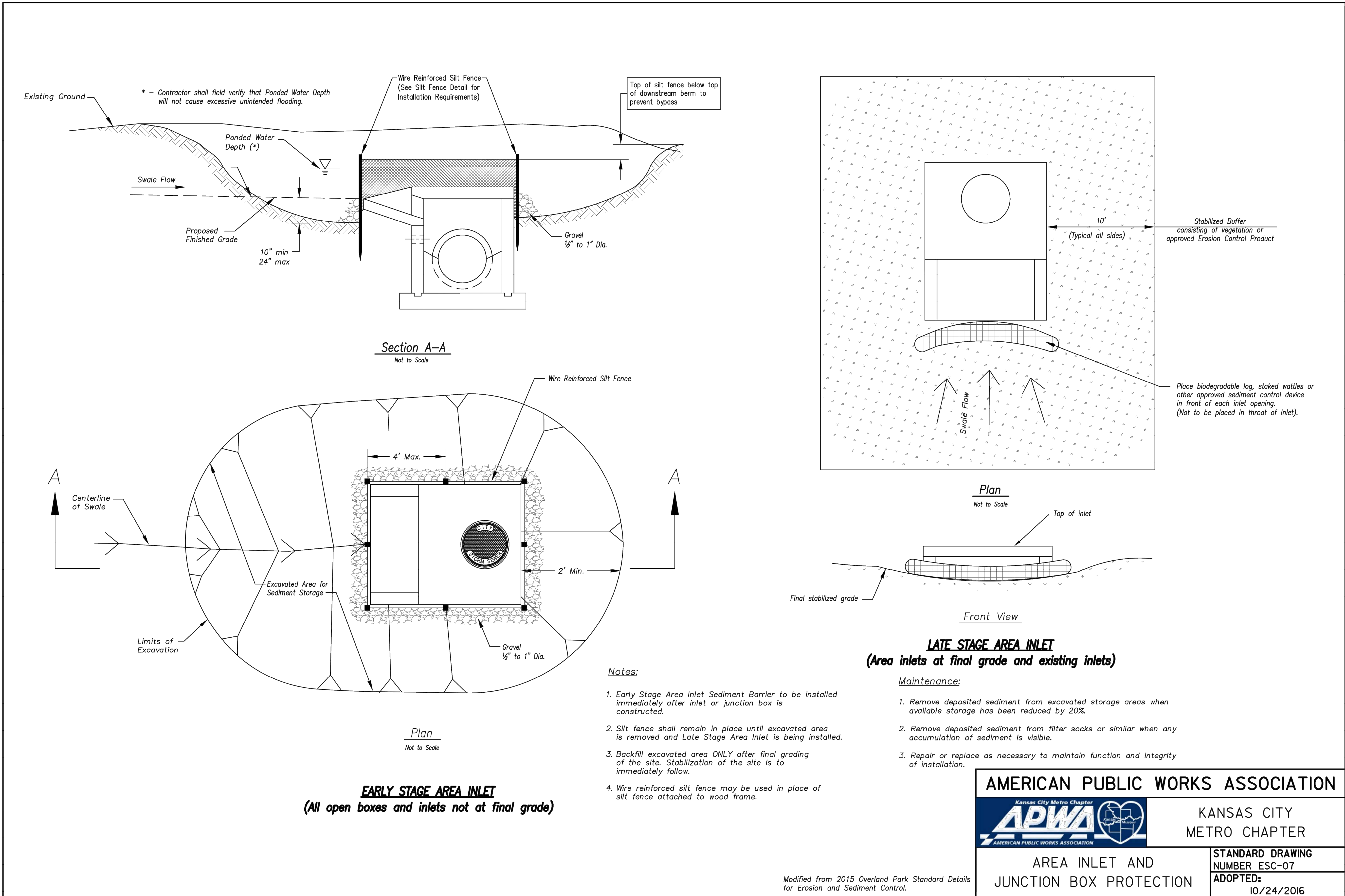
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Erosion Control Details

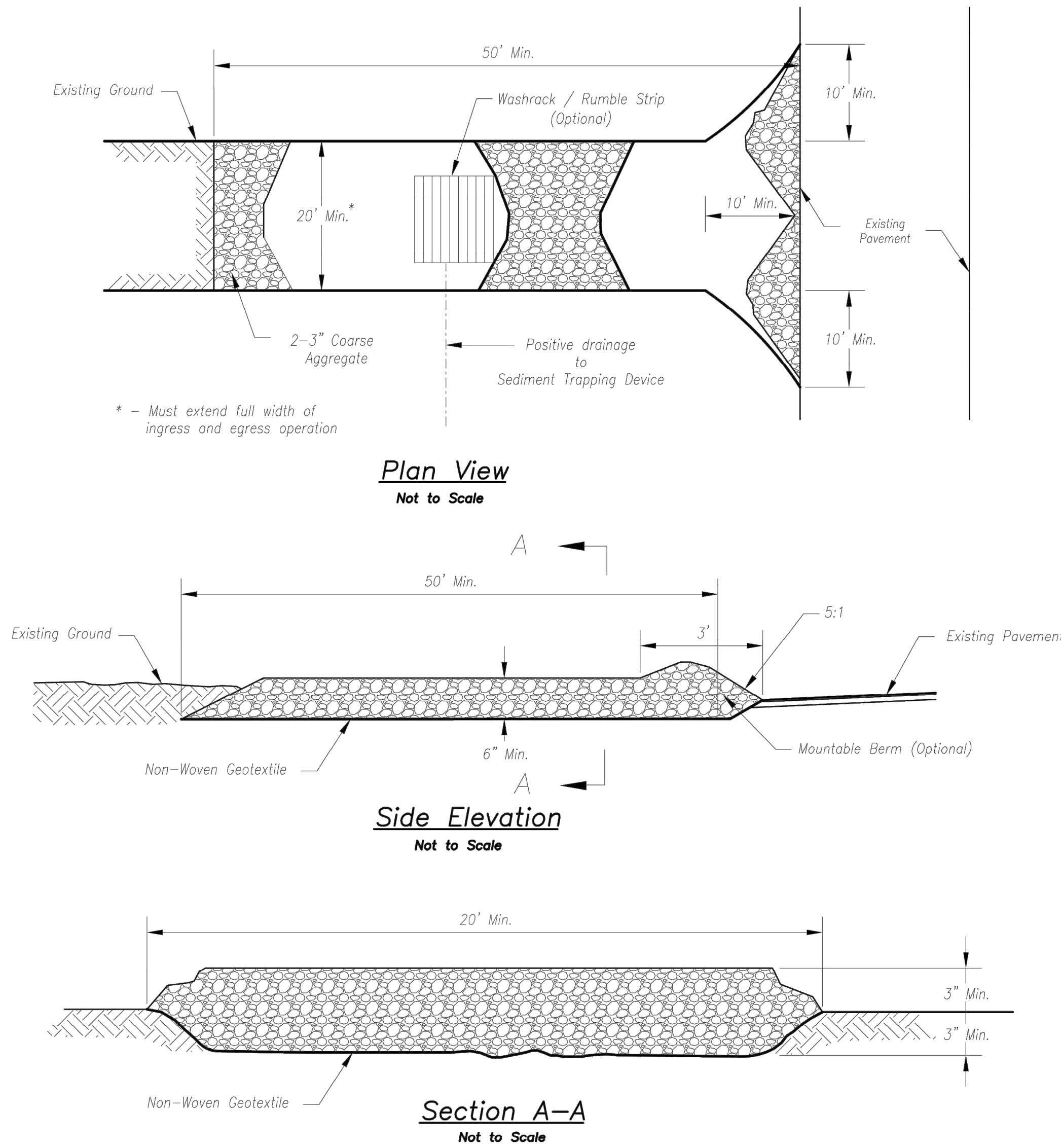
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Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

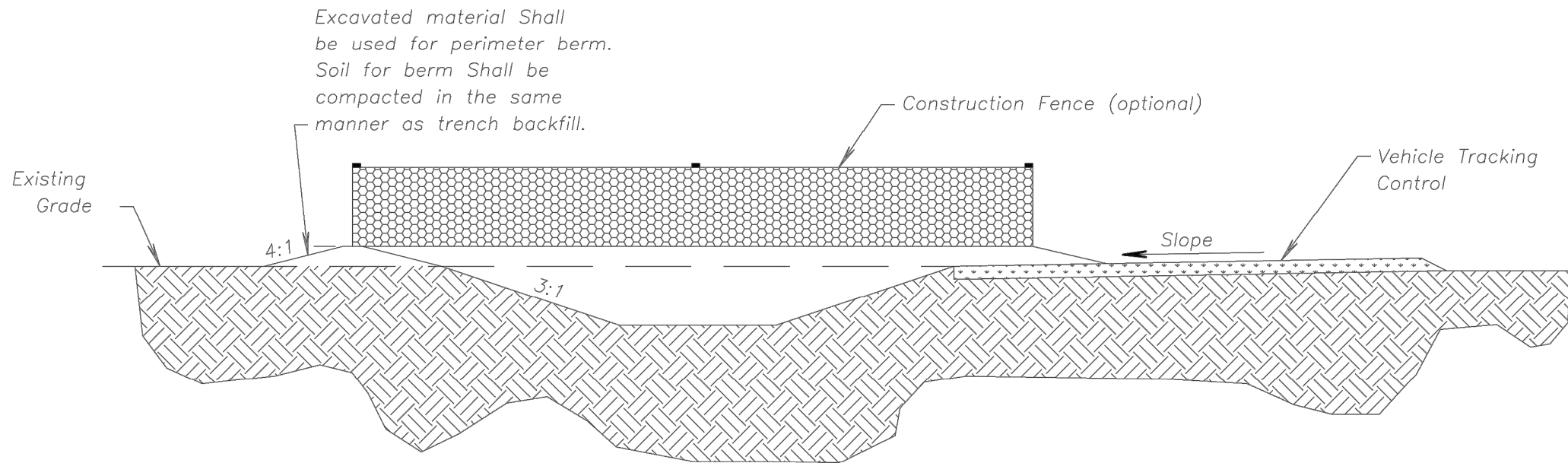
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
<div>Kansas City Metro Chapter</div> <div>APWA</div> <div>AMERICAN PUBLIC WORKS ASSOCIATION</div>	<div>KANSAS CITY</div> <div>METRO CHAPTER</div>
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

RELEASE FOR
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AS NOTED ON PLANS REVIEW
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LEE'S SUMMIT, MISSOURI
11/24/2020

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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

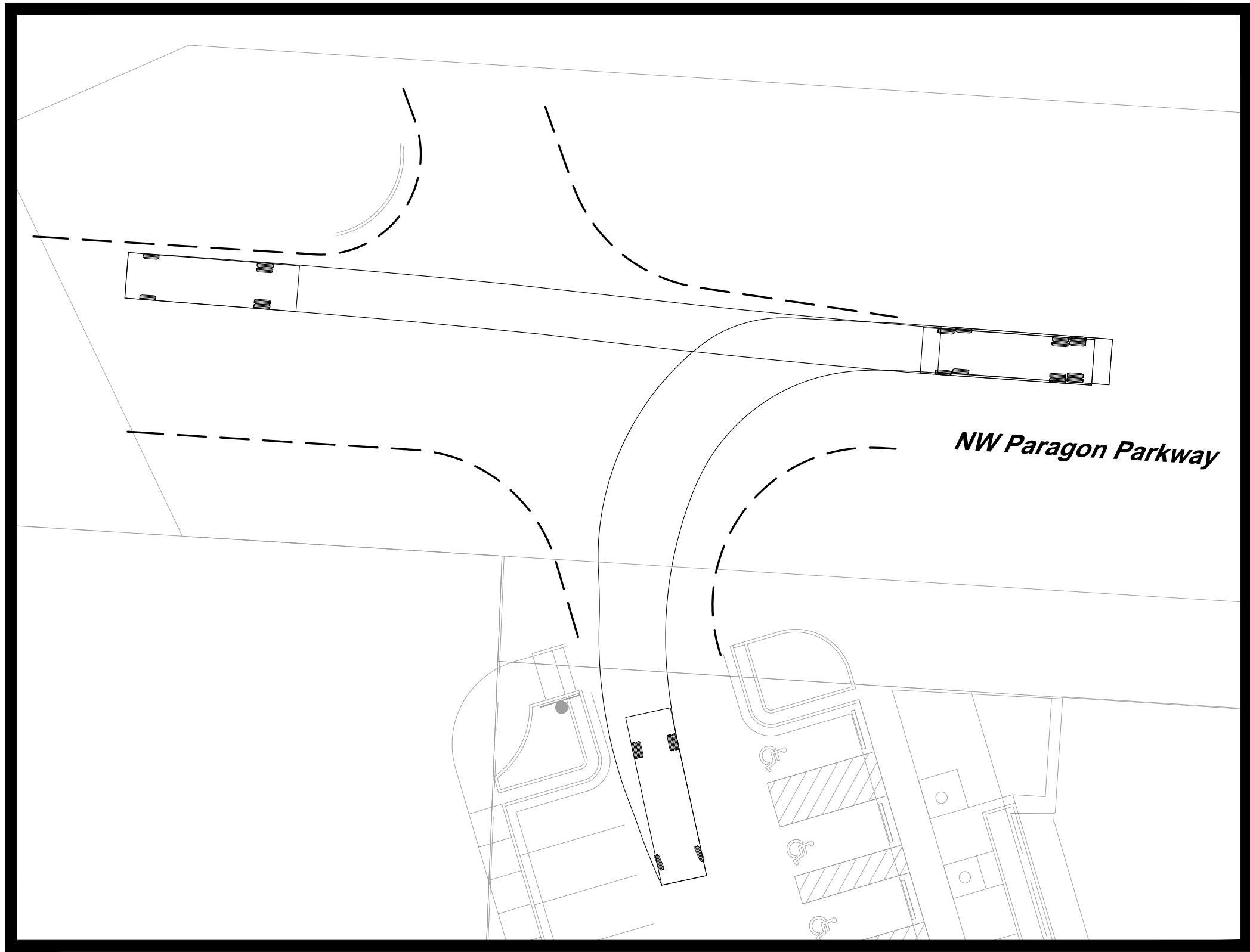
**Erosion Control
Details**

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

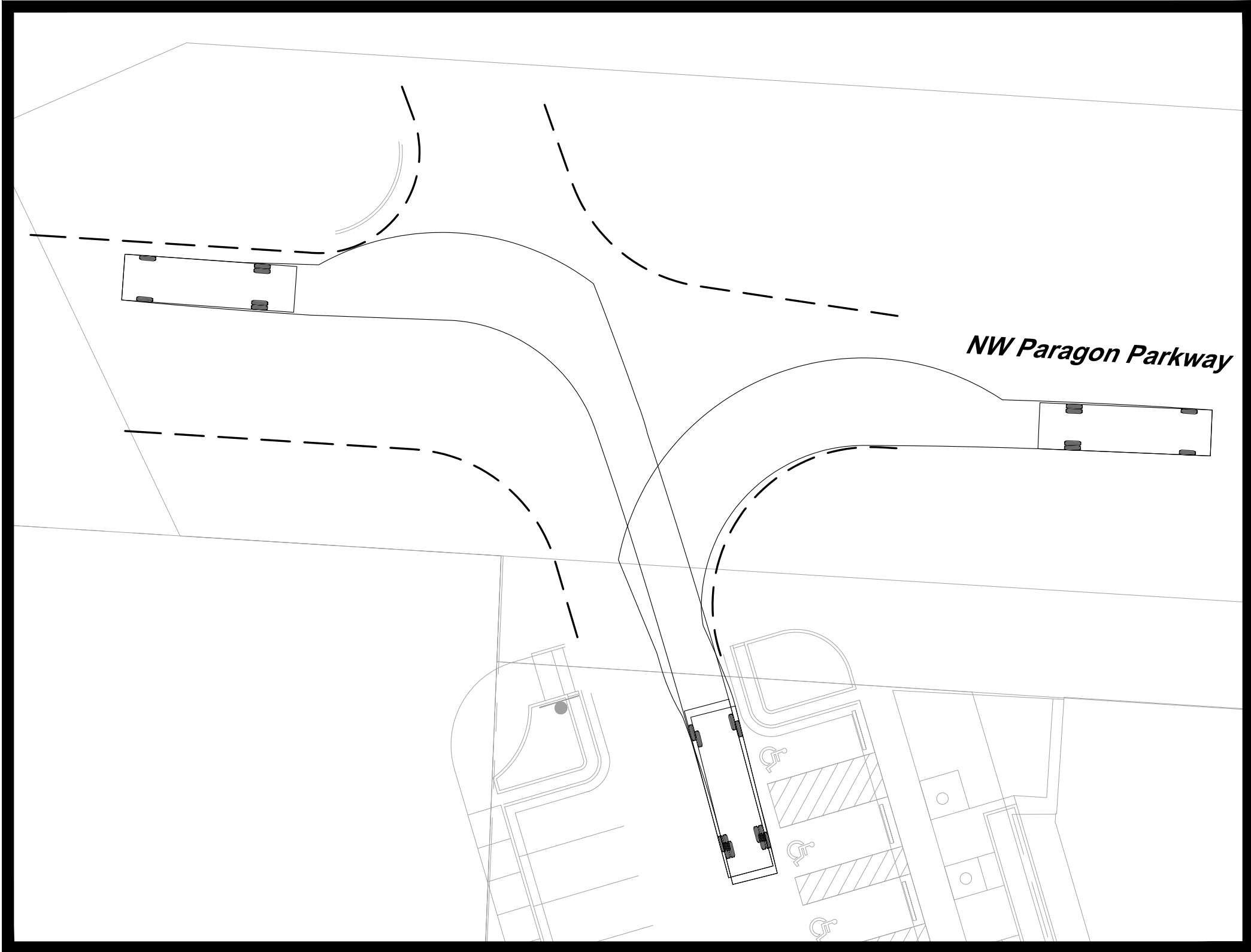
SHEET NO:

C037

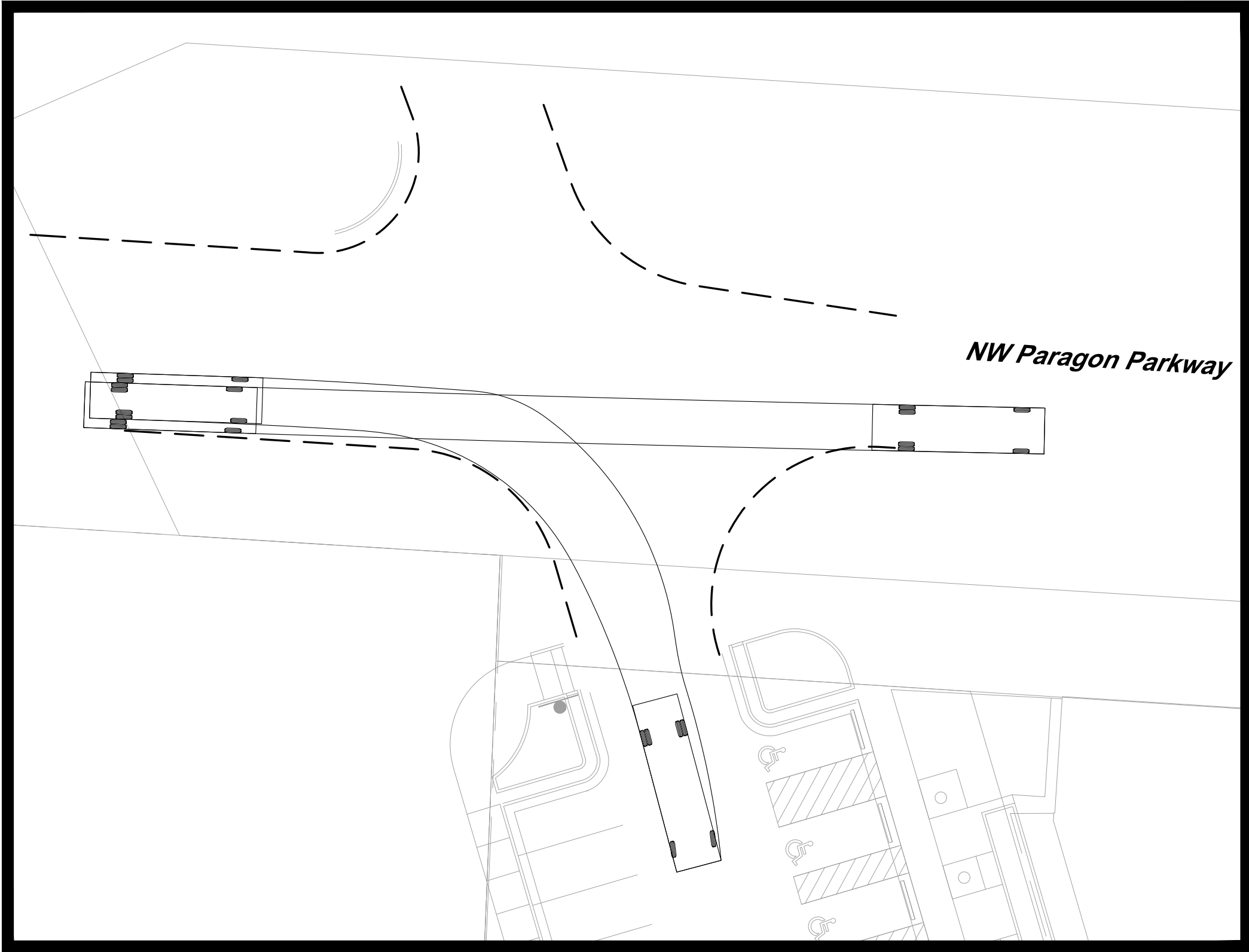
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Westbound- Intersection 1



Northbound - Intersection 1



Eastbound - Intersection 1

Legend

--- 2' offset from face of curb

Turning Movements using SU-30 Design Vehicle.
Movements to a 2' clearance from tire track and curb.

SCALE : 1 INCH = 20 FEET

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
11/24/2020

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PROJECT:

Paragon Star Village
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Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:



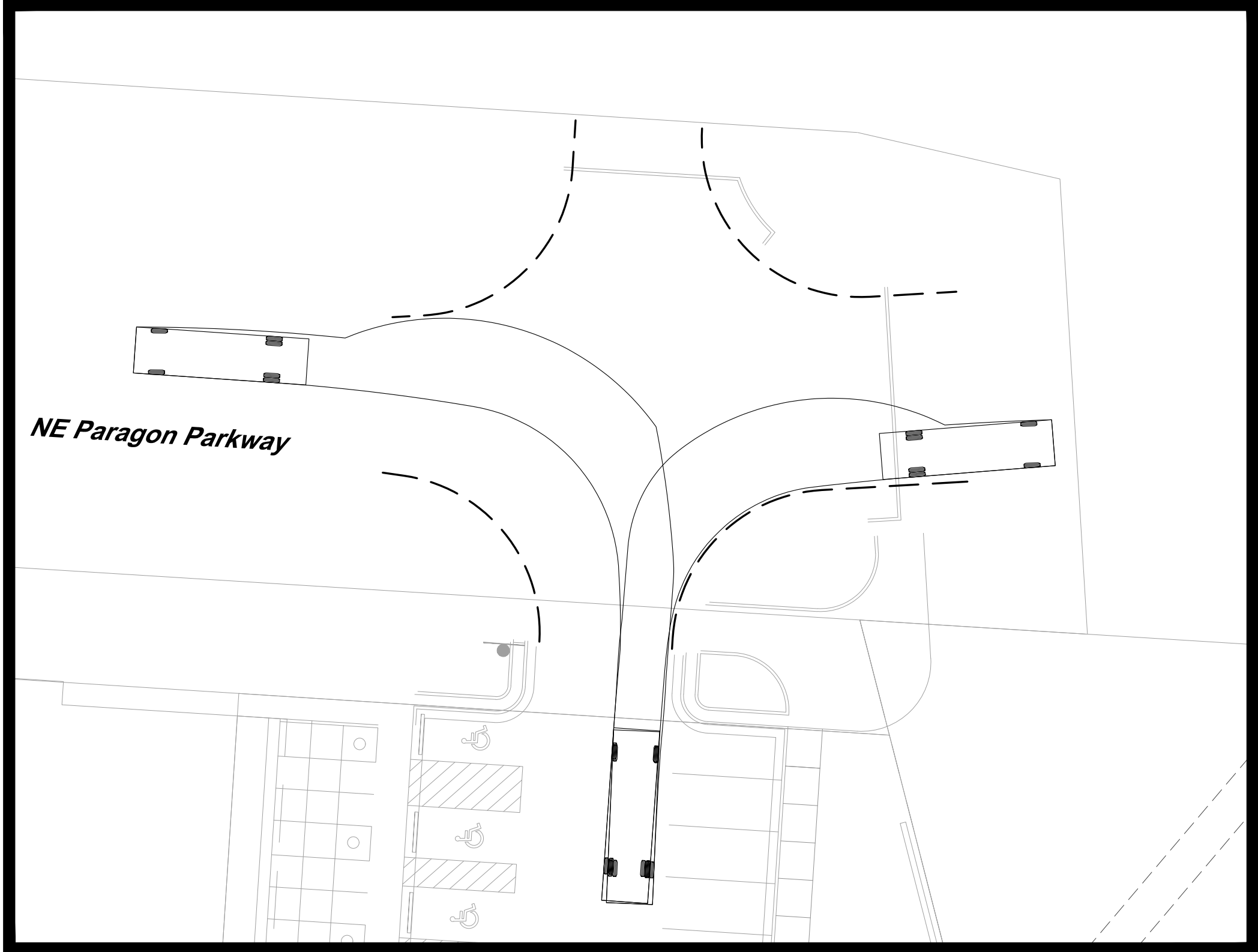
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Turning Movements 1 - SU 30

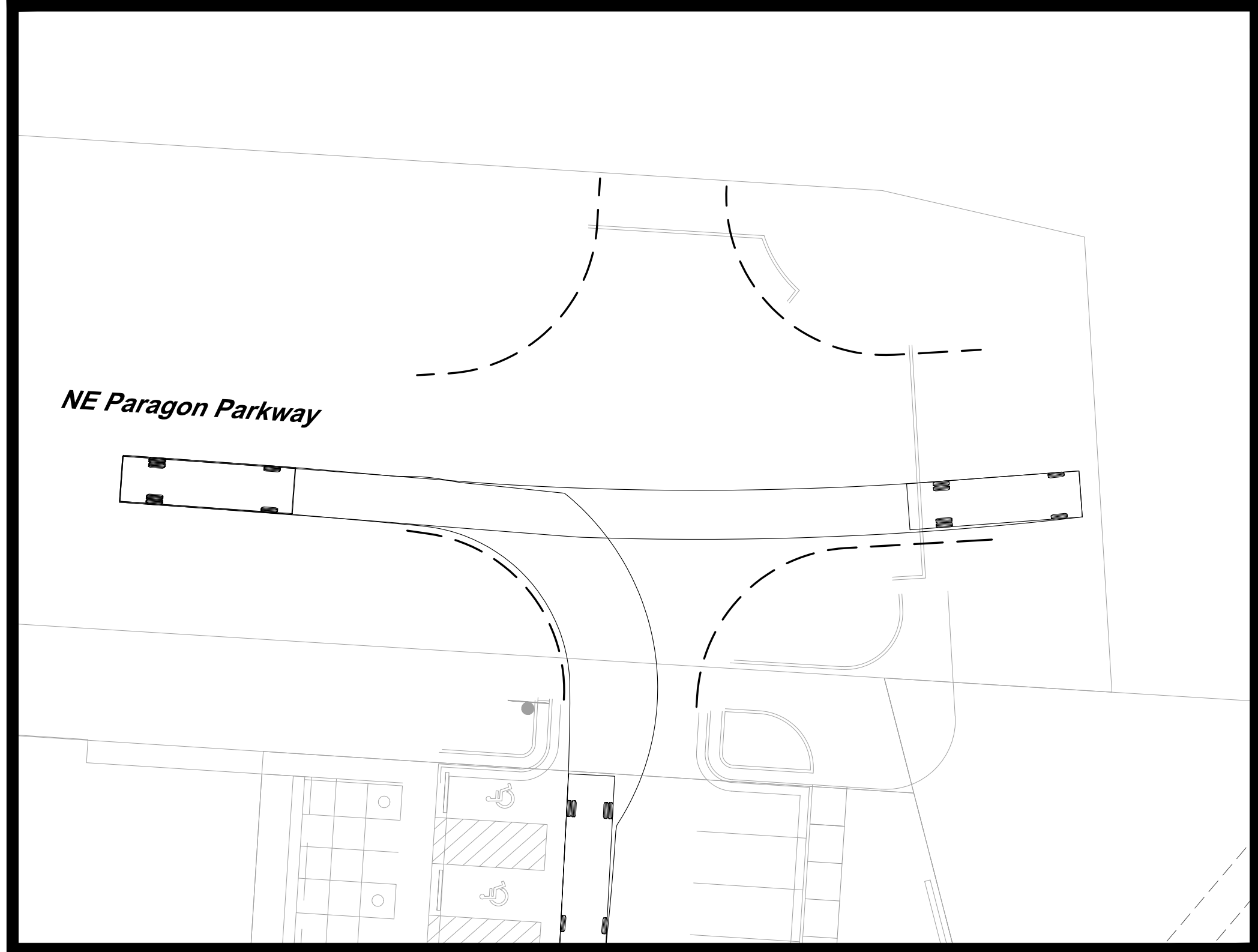
JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO:

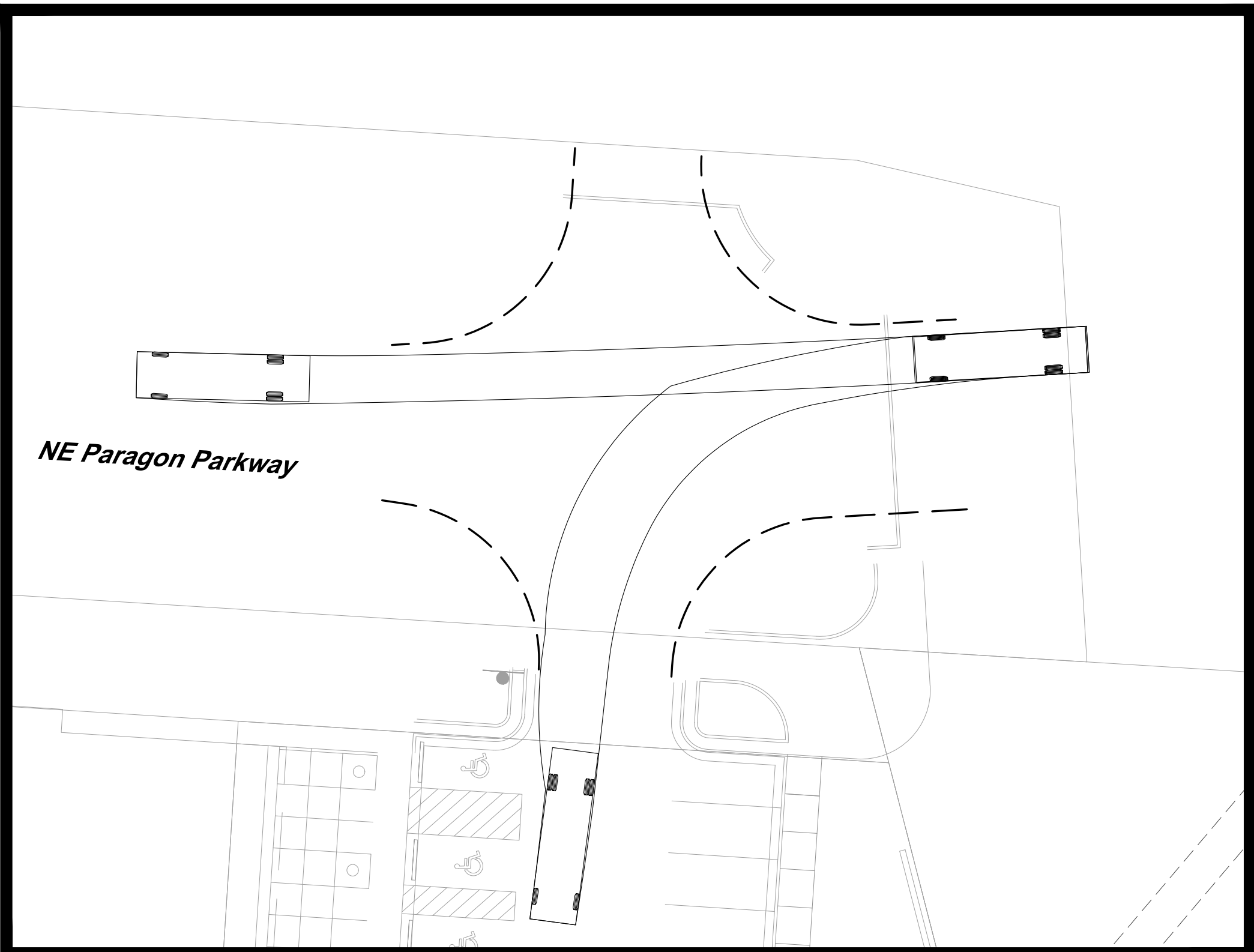
C038



Northbound - Intersection 2



Westbound- Intersection 2

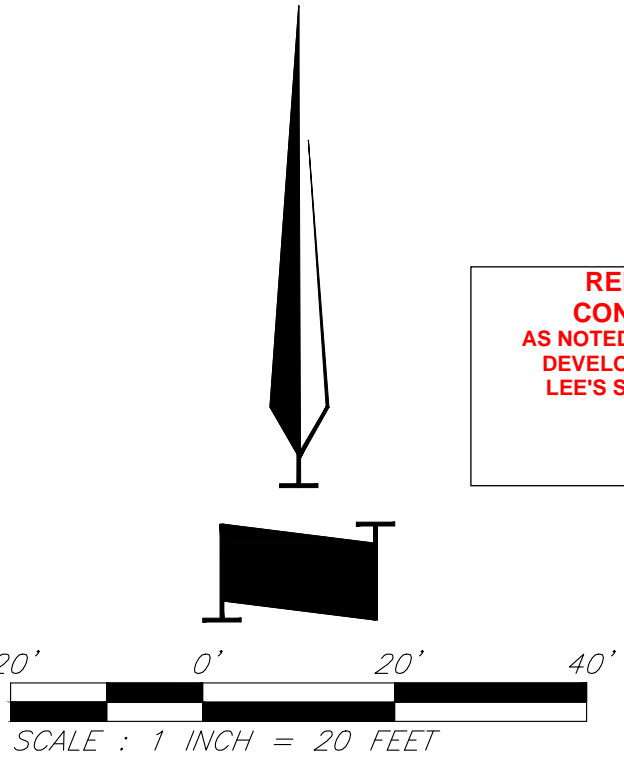


Eastbound - Intersection 2

Legenda

— — — — 2' offset from face of curb

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Movements to a 2' clearance from tire track and curb.



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Paragon Star Village

ISSUE:

PROFESSIONAL SEAL:

STATE OF MISSOURI
CLINT LOUMASTER
NUMBER
PE-R01100951
11/1/2020
REGISTERED PROFESSIONAL ENGINEER

Turning Movements 2 - SU 30

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

SHEET NO: C039



Northbound - Intersection 3



Westbound- Intersection 3



Southbound - Intersection 3

Legend

— — — — 2' offset from face of curb

Turning Movements using SU-30 Design Vehicle.
Movements to a 2' clearance from tire track and curb.



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Paragon Star Village

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Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:



PROFESSIONAL SEAL



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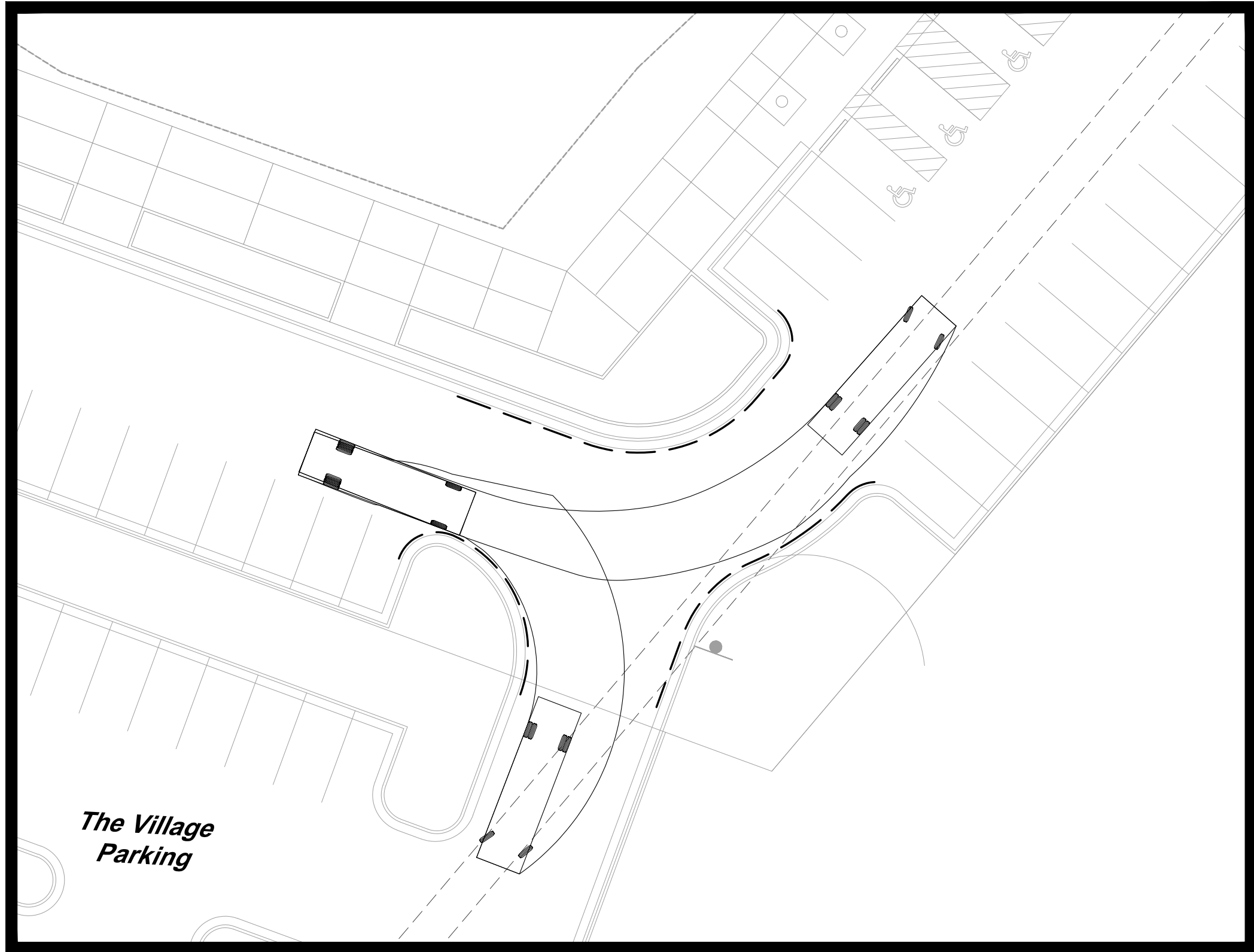
Turning Movements 3 - SU 30

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

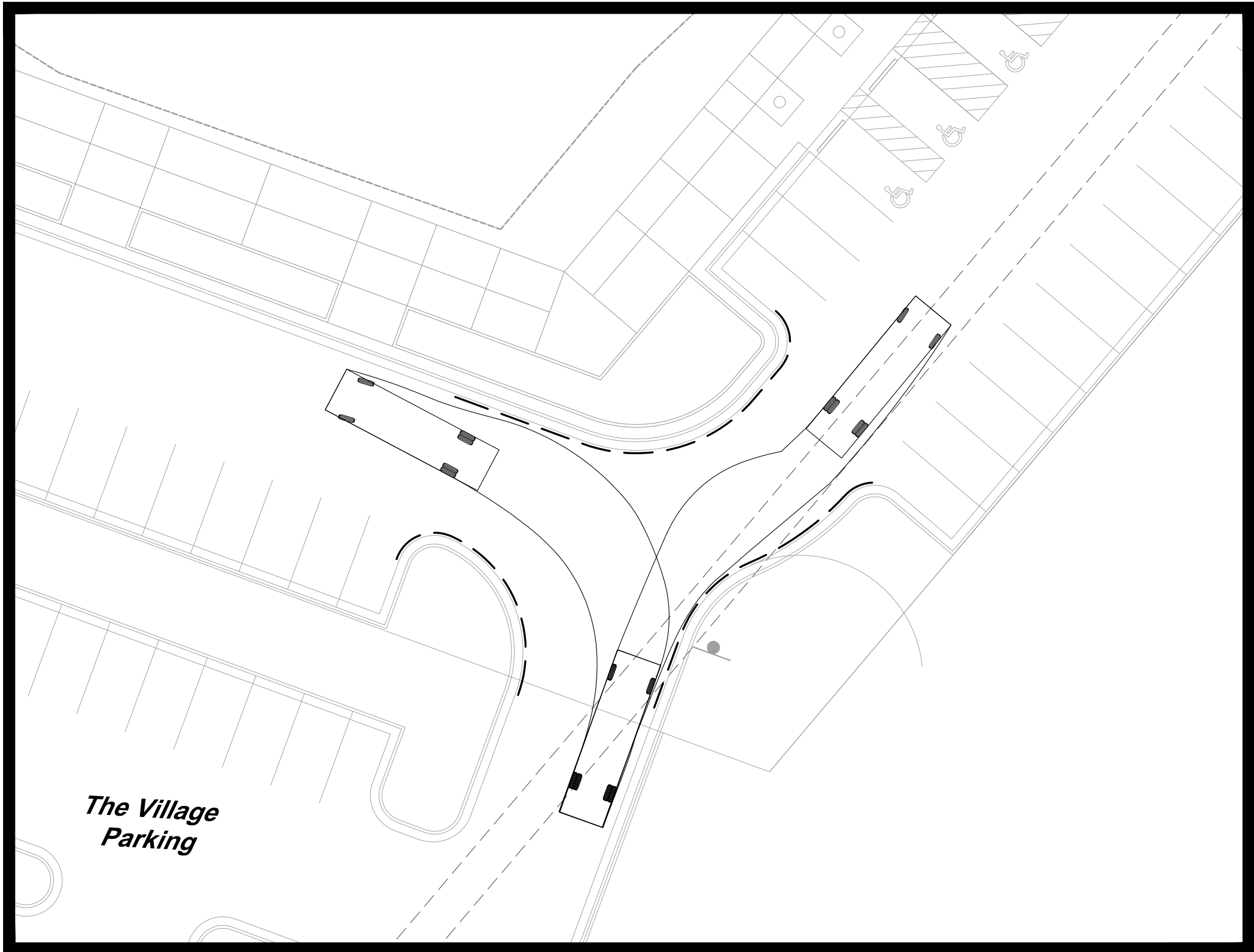
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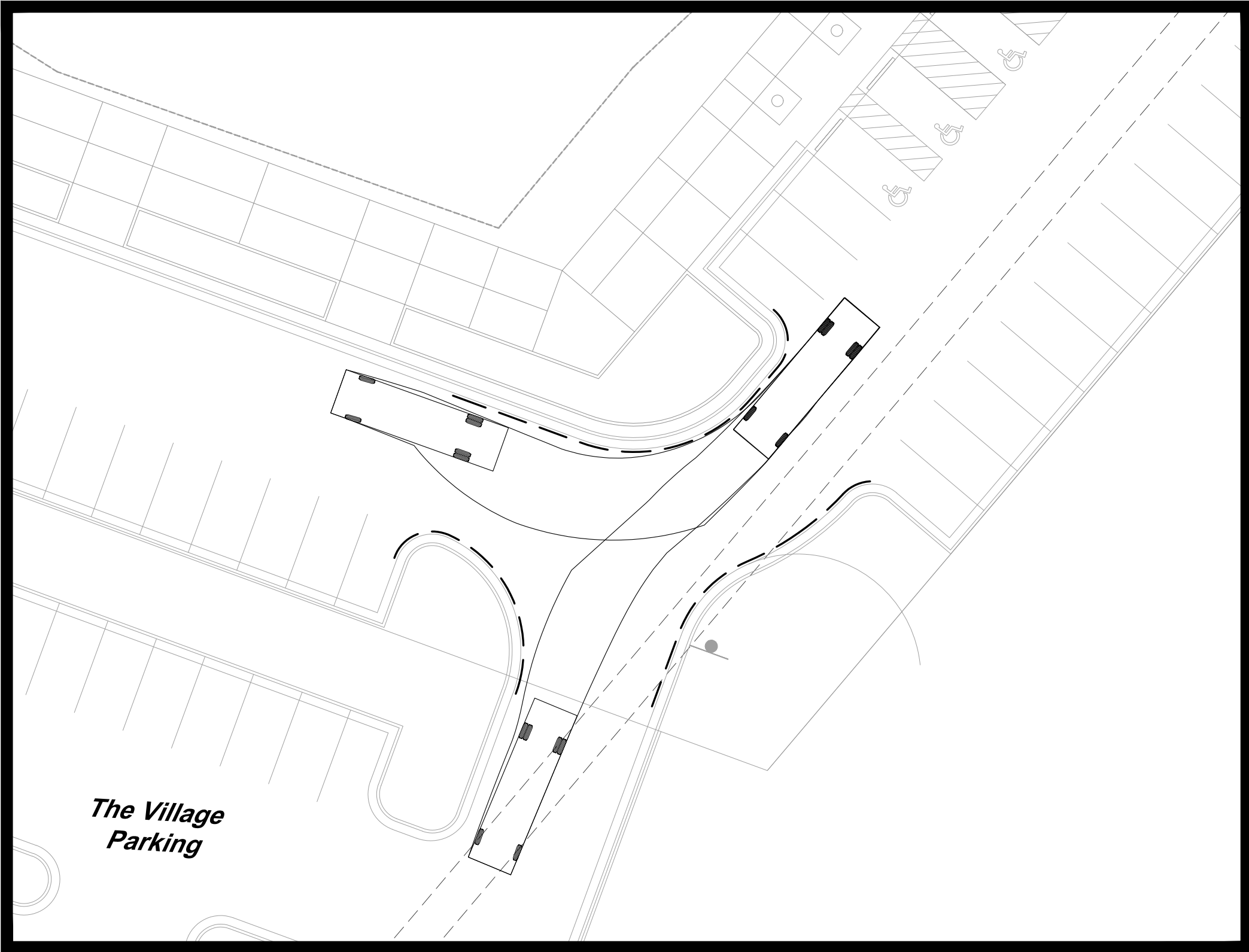
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Eastbound- Intersection 4



Northbound - Intersection 4



Southbound - Intersection 4

Legend

--- 2' offset from face of curb

Turning Movements using SU-30 Design Vehicle.
Movements to a 2' clearance from tire track and curb.

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Final Development Plan - Phase One (RESUBMITTAL)

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DRAWING TITLE:

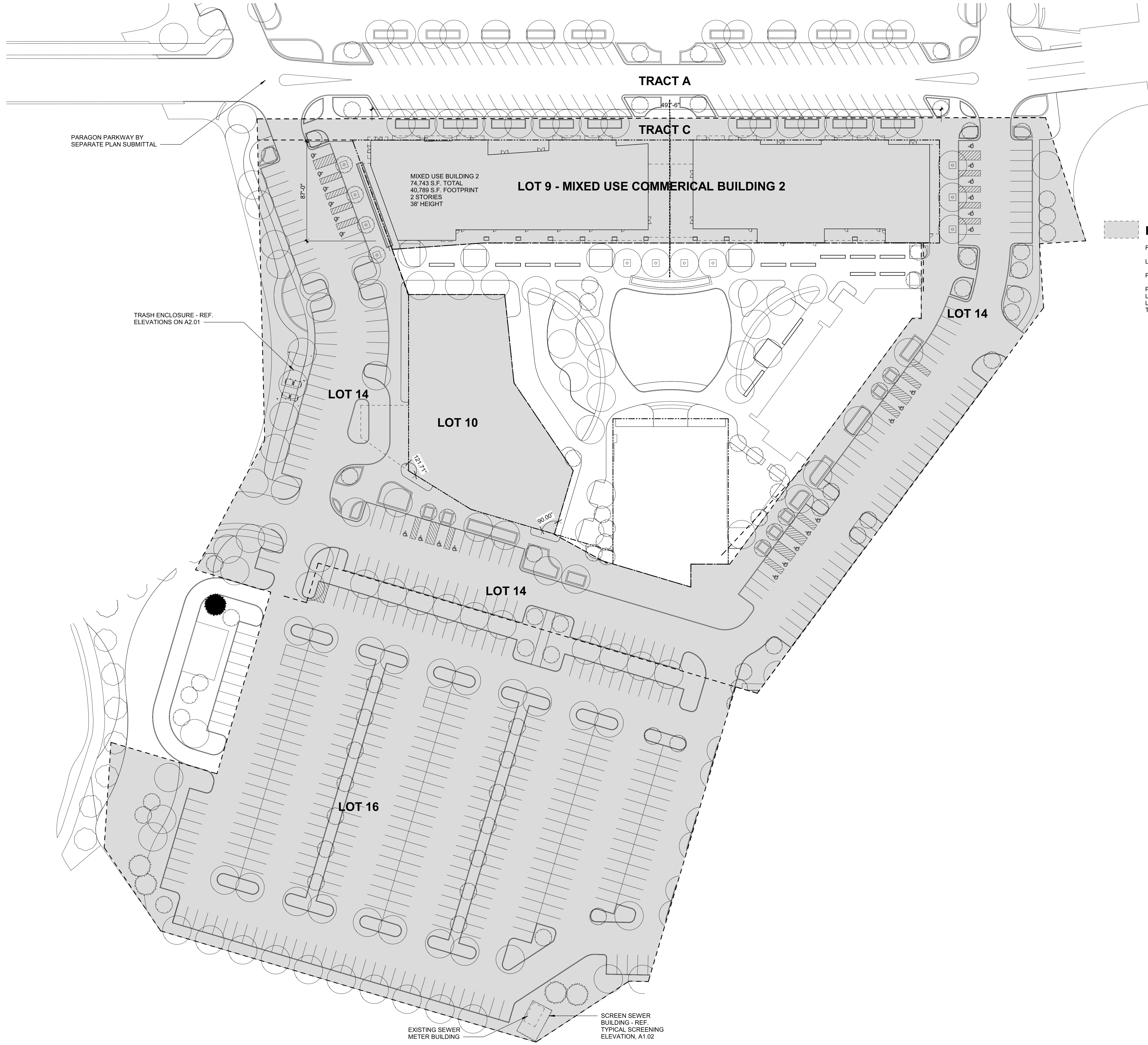
**Turning
Movements 4 -
SU 30**

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY:KNJ

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C041

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FDP PHASE ONE SUBMISSION

FDP PHASE ONE		
LOT 9 DAYTIME	390	LOT 9 EVENING/WEEKEND: 333
PARKING PROVIDED:		
PARAGON PARKWAY (TRACT A)	78	
LOT 14	156	
LOT 16	281	
TOTAL PARKING PROVIDED	515	

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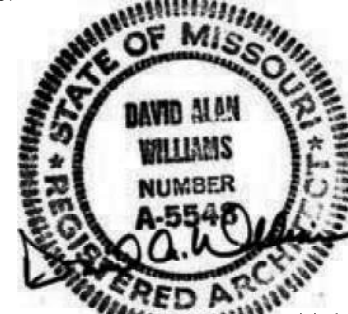
PROJECT:

Paragon Star Village

Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

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DRAWING TITLE:

ARCHITECTURAL
SITE PLAN

JOB NO: 19050.01

SCALE:

DATE: 11.4.2020

DRAWN BY:

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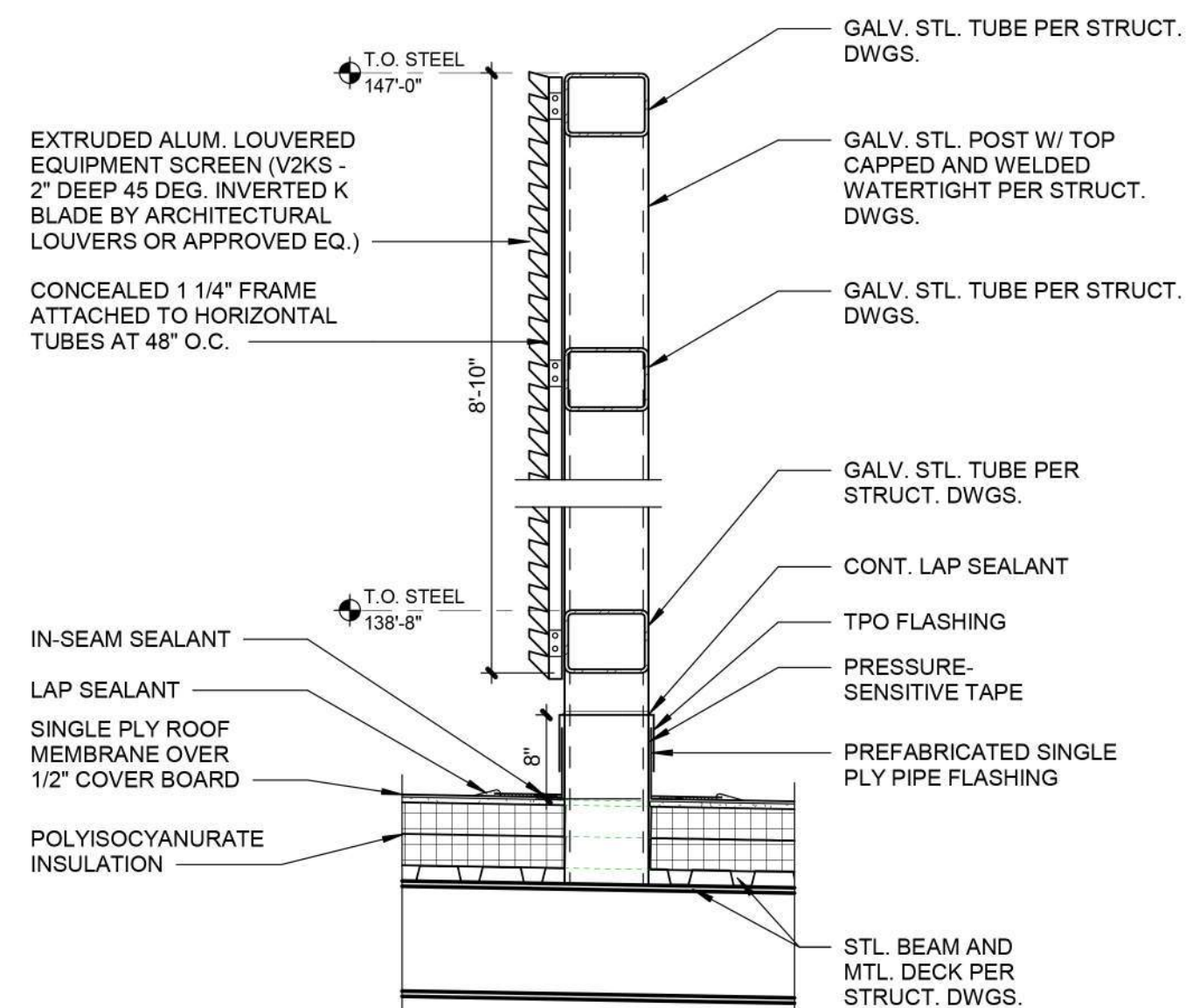
A1.01

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11/24/2020

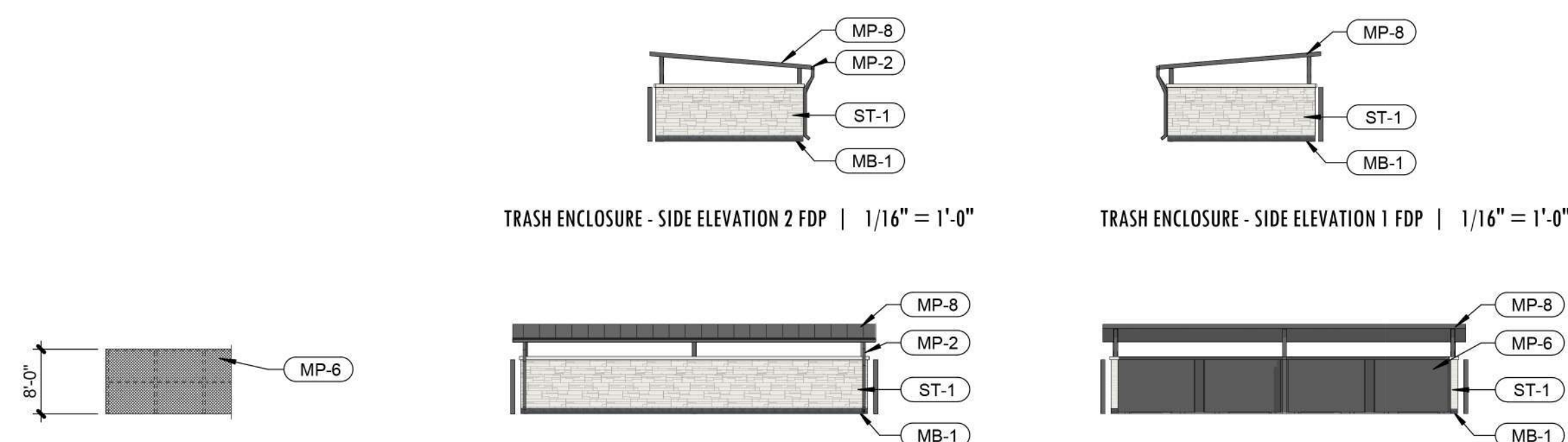


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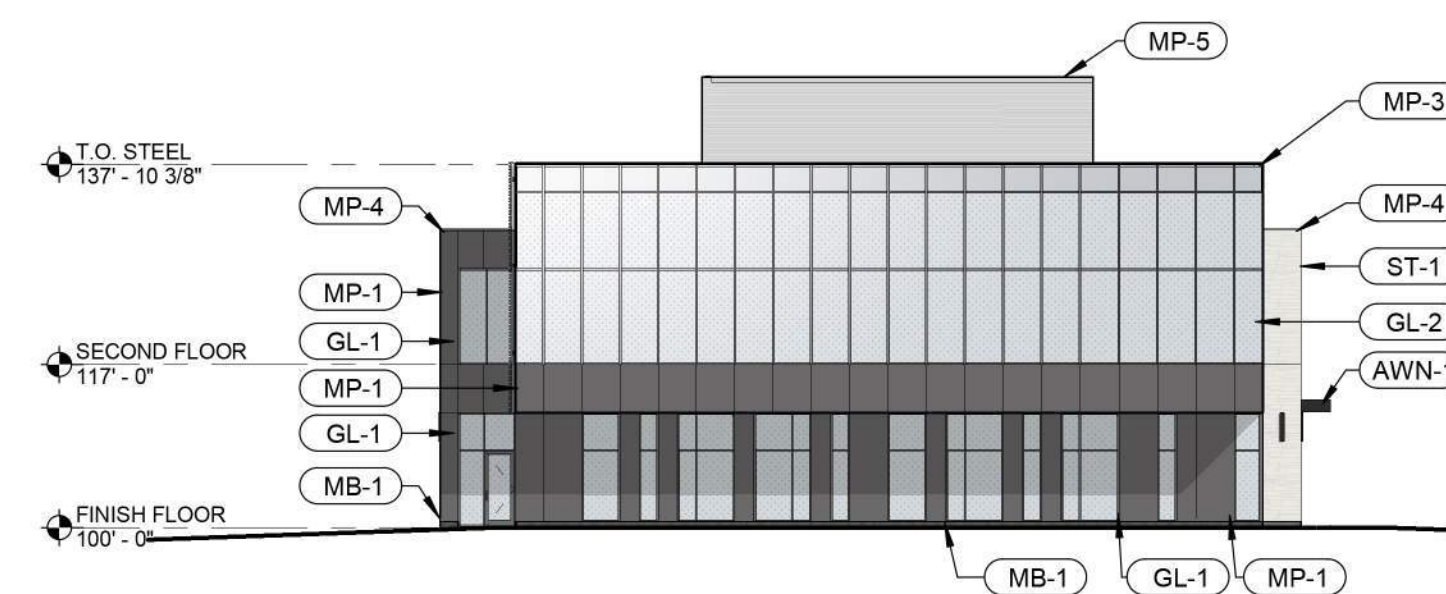
ROOF SCREEN DETAIL | 3/4" = 1'-0"



TYPICAL FENCE SCREENING PANEL | 1/16" = 1'-0"

TRASH ENCLOSURE - REAR ELEVATION FDP | 1/16" = 1'-0"

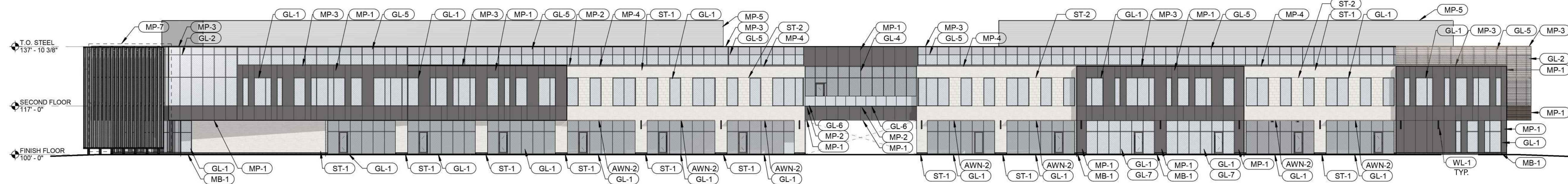
TRASH ENCLOSURE - FRONT ELEVATION FDP | 1/16" = 1'-0"



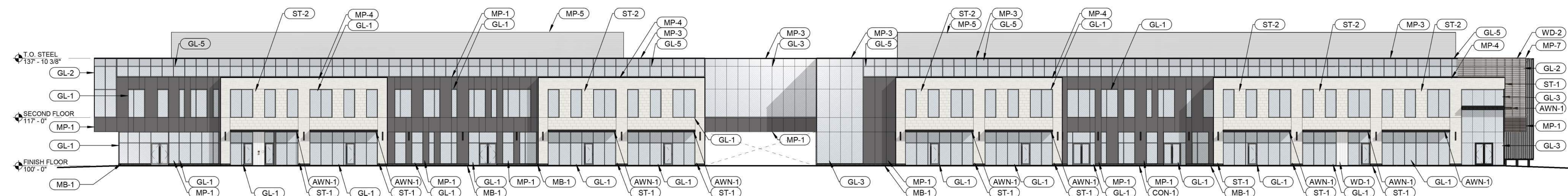
MIXED USE BUILDING 2 EAST ELEVATION FDP | 1" = 20'-0"



MIXED USE BUILDING 2 WEST ELEVATION FDP | 1" = 20'-0"



MIXED USE BUILDING 2 SOUTH ELEVATION FDP | 1" = 20'-0"



MIXED USE BUILDING 2 NORTH ELEVATION FDP | 1" = 20'-0"

EXTERIOR MATERIAL LEGEND

- | | |
|------|--|
| MP-1 | ALUMINUM COMPOSITE METAL (ACM) DRY SYSTEM; ALUCOBOND, COLOR: NATURAL BRUSHED CARBON; ACM PANEL JOINTS TO ALIGN W/ GLAZING PER ELEVATIONS |
| MP-2 | KYNAR-COATED BREAK METAL TRIM TO MATCH MP-1 |
| MP-3 | KYNAR COATED 24 GA BREAK METAL COPING TO MATCH MP-1 |
| MP-4 | KYNAR COATED 24 GA BREAK METAL COPING TO MATCH ST-1 |
| MP-5 | ALUMINUM LOUVERED RTU SCREEN; COLOR CLEAR ANODIZED |
| MP-6 | PERFORATED METAL PANEL ON STEEL TUBE GATE/FRAME AT TRASH ENCLOSURE/SCREEN FENCE TO MATCH MP-1 |
| MP-7 | PERFORATED METAL PANEL SHADE STRUCTURE WITH STEEL TUBE FRAME ON WEST END TO MATCH MP-1 |
| MP-8 | STANDING SEAM METAL ROOF TO MATCH MP-1 |

- | | |
|------|--|
| GL-1 | STOREFRONT TYPE 1: 2" x 4.5" KAWNEER PERMACOAT SMOKE GRAY ALUMINUM CENTER GLAZED STOREFRONT SYSTEM W/ 1" INSULATED LOW-E GLAZING UNIT |
| GL-2 | CURTAINWALL TYPE 1: 2.5" x 10.5" KAWNEER PERMACOAT SMOKE GRAY CURTAINWALL W/ 1" INSULATED LOW-E GLAZING UNIT* |
| GL-3 | CURTAINWALL TYPE 2: 2.5" x 10.5" KAWNEER PERMACOAT SMOKE GRAY SSG CURTAINWALL W/ 1" INSULATED LOW-E GLAZING UNIT* |
| GL-4 | CURTAINWALL TYPE 3: 2.5" x 7.5" KAWNEER PERMACOAT SMOKE GRAY CURTAINWALL STOREFRONT W/ 1" INSULATED LOW-E GLAZING UNIT* |
| GL-5 | CURTAINWALL TYPE 4: 2.5" x 6" KAWNEER PERMACOAT SMOKE GRAY CURTAINWALL CLERESTORY W/ 1" INSULATED LOW-E GLAZING UNIT* |
| GL-6 | LIVERS BRONZE GLASS FRAMELESS STRUCT-U-RAIL SYSTEM; CLEAR LAMINATED TEMPERED GLASS |
| | *TOP COURSE OF STOREFRONT / CURTAINWALL GLAZING AT CLERESTORY TO BE SPANDRL GLASS; PPG SOLARBAN 70XL SOLAR CONTROL LOW-E GLAZING UNIT W/ "SUBSIDED GLAZ" OPACIFIER ON 4TH SURFACE, OR APPROVED EQUAL |

- | | |
|------|--|
| WD-1 | GEOLAM VERTIGO 5010 COMPOSITE CLADDING, COLOR: MOLESKIN |
| WD-2 | GEOLAM SOLEO 6008 COMPOSITE TRIM, COLOR: MOLESKIN |
| WD-3 | GEOLAM SOLEO 6008 COMPOSITE TRIM, COLOR: MOLESKIN (HIDDEN FOR CLARITY) |
| ST-1 | ELDORADO CULTURED STONE VANTAGE 30, COLOR: WHITE ELM** |
| ST-2 | ELDORADO CULTURED STONE MARQUEEZ4, COLOR: DOVETAIL** |
- **PROVIDE CONTROL JOINT AT SECOND LEVEL ON ALL ST-1 AND ST-2 LOCATIONS PER MANUF. RECOMMENDATIONS

- | | |
|-------|--|
| MB-1 | GROUND FACE 8X16 MASONRY BLOCK PER STRUCTURAL DWGS, BURNISHED FINISH, COLOR: MIDWEST SLATE |
| AWN-1 | CANOPY TYPE 1: STEEL CHANNEL WRAP WITH GEOLAM VERTIGO 5010 SOFFIT (COLOR: MOLESKIN) |
| AWN-2 | CANOPY TYPE 2: CANTILEVERED GEOLAM 6008 TRIM (COLOR: MOLESKIN) |
| WL-1 | EXTERIOR WALL LIGHT PER RCP. MOUNT W/ TOP ALIGNED AT 12'-0" AFF; CENTER ON WALL SPACE PER ELEVATIONS UNO |

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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

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PROFESSIONAL SFAI:



11.4.2020

DRAWING TITLE:

BUILDING ELEVATIONS

JOB NO: 19050 01

SCALE:

DATE: 11.4.2020

DRAWN BY-

SHEET NO:

A1.02

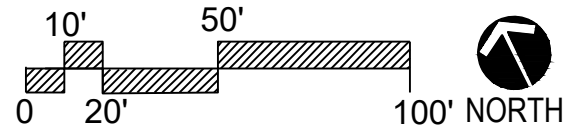
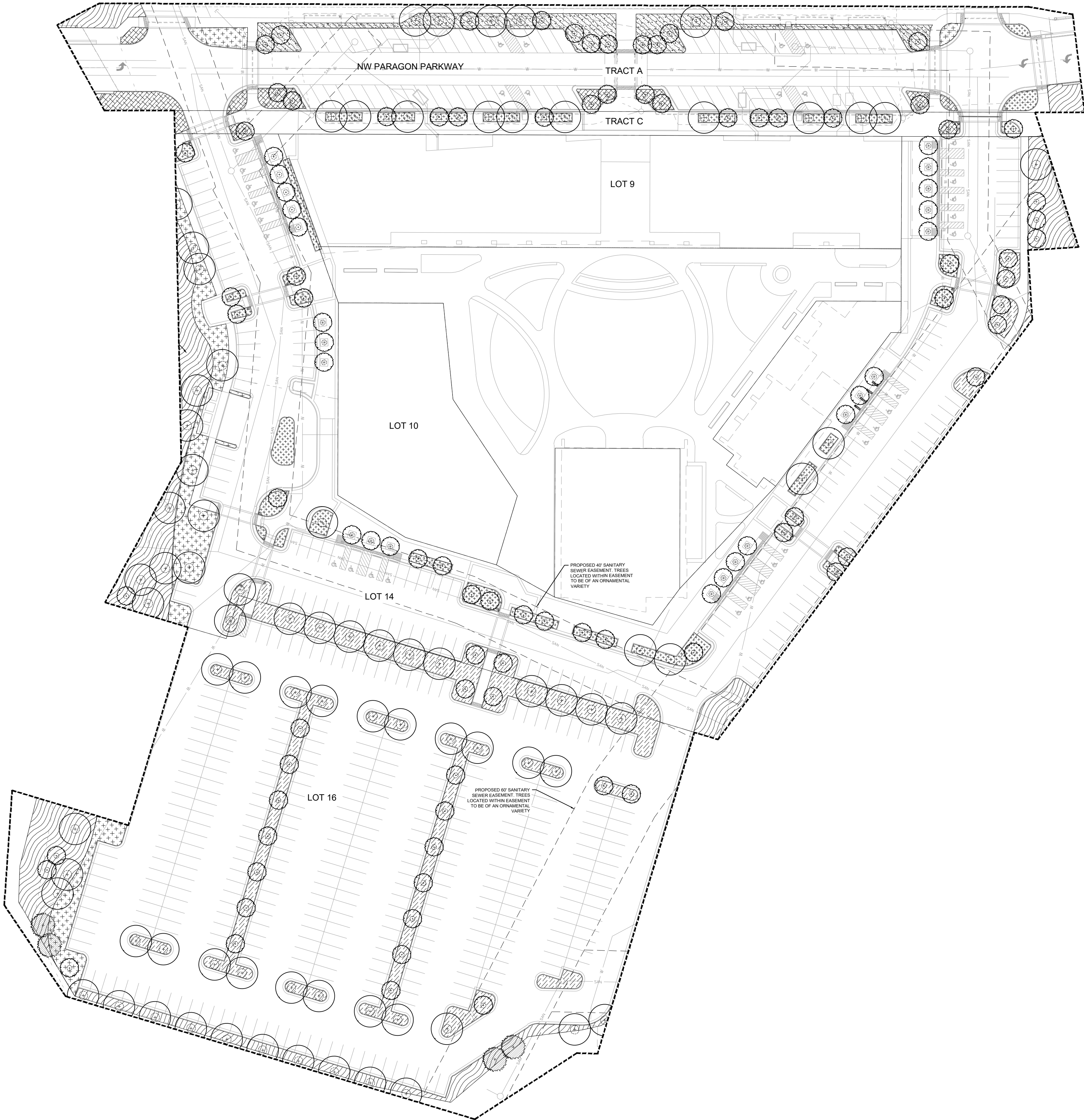
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
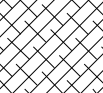

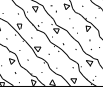




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A

LANDSCAPE PLAN
0'-1" = 50'-0"



PLANT SCHEDULE

	DECIDUOUS TREE MIN. *3" CALIPER SPECIES BELOW: ACER FREEMANII 'AUTUMN BLAZE' CELTIS OCCIDENTALIS GLEDITSIA TRIACANTHOS INERMIS QUERCUS BICOLOR		GROUNDCOVER MIX - FEATURED AREAS *VARYING CONTAINER SIZE; 1 - 5 GALLONS MIX OF SHRUBS, GRASSES, & PERENNIALS
	ORNAMENTAL TREES MIN. *3" CALIPER SPECIES BELOW: AMELANCHIER X GRANDIFLORA CERIS CANADENSIS MAGNOLIA X 'JANE' MALUS X 'ROYAL RAINDROPS'		DISTURBED AREA SEED MIX *AREA TO BE SEEDED TO LIMITS OF CONSTRUCTION DISTURBANCE
	EVERGREEN TREES MIN. *8 FT. IN HEIGHT SPECIES BELOW: JUNIPERUS CONFERTA 'GOLDEN PACIFIC' PICEA ABIES PINUS STROBUS		
	GROUNDCOVER MIX *VARYING CONTAINER SIZE; PLUGS TO 5 GALLONS MIX OF SHRUBS, GRASSES, & PERENNIALS SPECIES BELOW: BOUTELOUA CURTIPENDULA COREOPSIS VERTICILLATA 'MOONBEAM' ECHINACEA PURPUREA EUPATORIUM DUBIUM 'LITTLE JOE' HYDRANGEA PANICULATA PEROVSKIA ATRIPLICIFOLIA RHUS AROMATICA 'GRO-LOW' SPOROBOLUS HETEROLEPIS		
	PARKING ISLAND MIX *VARYING CONTAINER SIZE; PLUGS TO 5 GALLONS MIX OF SHRUBS, GRASSES, & PERENNIALS SPECIES BELOW: BOUTELOUA CURTIPENDULA PANICUM VIRGATUM 'SHENANDOAH' RHUS AROMATICA 'GRO-LOW' SCHIZACHYRIUM SCOPARIUM SOLIDAGO RUGOSA 'FIREWORKS'		
	NATIVE PRAIRIE MIX SEED MIX		

* PLANT MATERIAL MEETS OR EXCEEDS THE UNIFIED DEVELOPMENT ORDINANCE 8.750 ACCEPTABLE PLANT MATERIAL

LANDSCAPE REQUIREMENTS

	Ordinance Requirement	Required for this Site	Proposed
8.790.A.1. Street Frontage Trees - Paragon Parkway	One tree shall be planted for each 30 feet of street frontage, public or private, within the landscaped setback abutting said street frontage. Such trees may be clustered or arranged within the setback if approved as part of the landscape plan. A minimum 20-foot-wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.	607 ft. of street frontage + 30 x 2 = 41 trees required	42 trees
8.790.A.2. Street Frontage Green Strip	In commercial and industrial districts, any parking or loading area visible from a street shall be separated from the street right-of-way with a landscape strip at least 20 feet wide.	20 feet	20 ft. requirement to be met except where a Modification has been requested.
8.790.A.3. Street Frontage Shrubs - Paragon Parkway	One shrub shall be provided for each 20 feet of street frontage, or portion thereof, within the landscaped setback abutting such frontage. Such shrubs may be clustered or arranged within the setback.	607 ft. of street frontage + 20 x 2 = 61 shrubs required	61 shrubs *provided within planting beds
8.790.B.1. Open Yard Areas	The minimum open yard area landscaping requirements shall be two shrubs per 5,000 square feet of total lot area (except for tracts of land for which this chapter imposes no yard requirements and permits 100 percent coverage of the lot by buildings), excluding building footprint area. For schools and churches/places of worship large sports/play fields and other areas specifically open to the public for use, i.e., tennis courts, paved play areas, paved parking lots etc. shall be excluded in the calculation of this requirement	416,244 sq. ft. of total lot area minus 58,097 sq. ft. of building footprint = 358,147 + 5000 x 2 = 144 shrubs required	144 shrubs
8.790.B.2. Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope.	-	Meets Requirement
8.790.B.3. Open Yard Areas	In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of one tree for every 5,000 square feet of lot area not covered by buildings/structures. For schools and churches/places of worship large open sports/play fields may be excluded in the calculation of lot area. The remaining open space shall be applied to the ratio for tree planting as stated herein.	416,244 sq. ft. of total lot area minus 58,097 sq. ft. of building footprint = 358,097 + 5000 = 72 trees required	191 trees
8.810.A. Parking Lot Landscape Islands	Landscape islands, strips or other planting areas shall be located within the parking lot and shall constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. Every four rows of parking shall include a landscape island of at least ten feet in width. Industrial zoned properties, PI-1, PI-2 and BP, shall be exempt from this requirement.	229,090 sq. ft. of parking area x .05 = 11,455 of landscape parking lot islands required	16,191 sq. ft.
8.810.B. Parking Lot Landscape Islands	As a minimum, a landscaping island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space. The island shall be planted in trees, shrubs, grass, or ground cover, except for those areas that are mulched.	-	Meets Requirement
8.810.C. Parking Lot Landscape Islands	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb. All parking lot landscape islands, strips or other planting areas shall be curbed with minimum six-inch high curbs of the type required by this chapter or other regulations for parking areas.		Meets Requirement
8.820.C.1. Parking Lot Screening, if required - NW View High Parkway	Planted only. A hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.	831 linear feet + 40 x 12 = 252 shrubs required	252 shrubs
8.820.C.1. Parking Lot Screening, if required - I-470		456 linear feet + 40 x 12 = 317 shrubs required	137 shrubs

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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Phase One (RESUBMITTAL)

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

LANDSCAPE
PLAN

JOB NO: 1249

SCALE: 1"=50'-0"

DATE: 11.04.2020

DRAWN BY: TB / AR

SHEET NO:

L-500

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Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

ISSUE

PROFESSIONAL SEAL

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PURPOSES

DRAWING TITLE:

LIGHTING PLAN

JOB NO: 1249 SCALE:
DATE: 11.04.2020 DRAWN BY: MAP

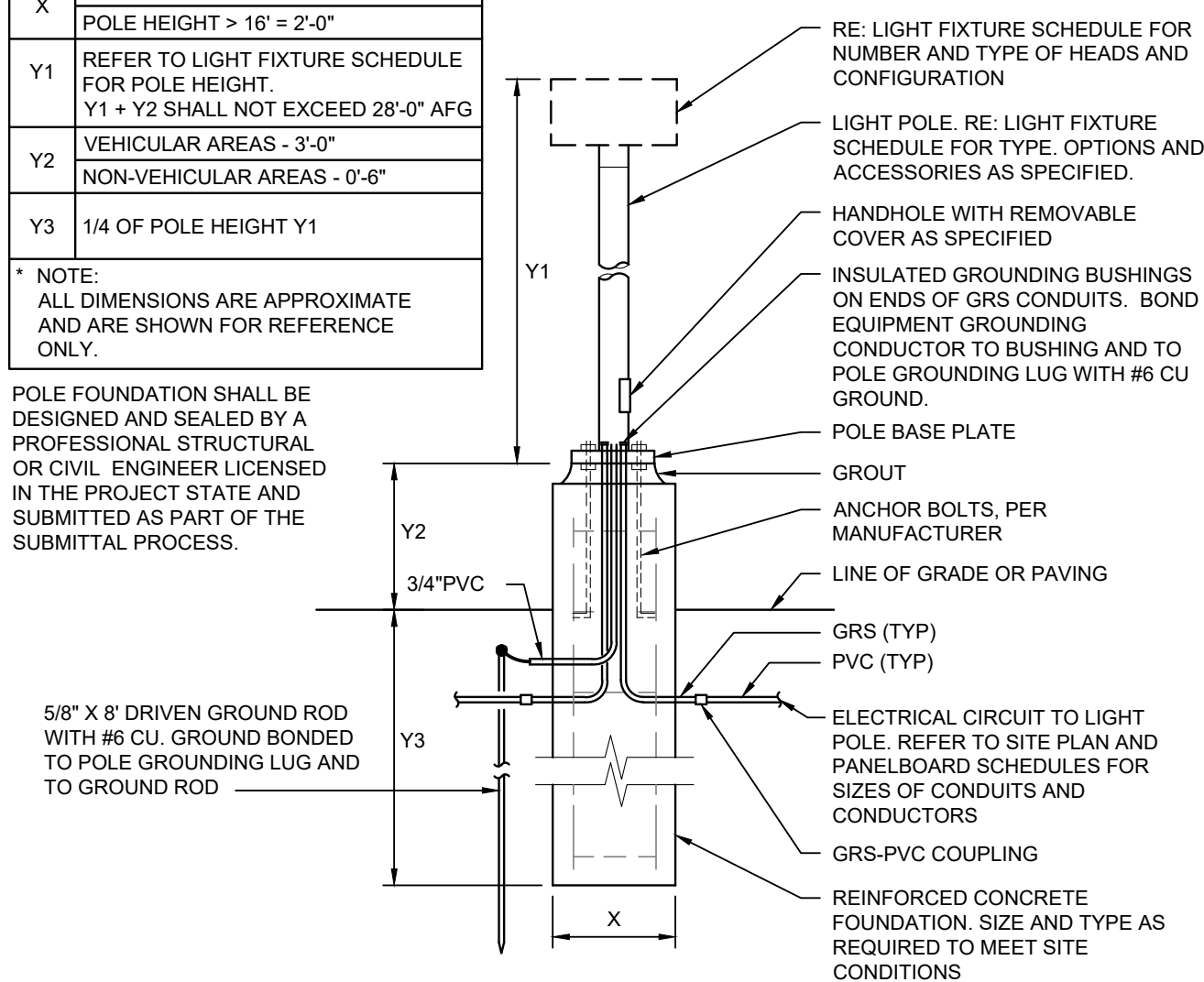
SHEET NO.

E100

TABLE OF DIMENSIONS*	
X	POLE HEIGHT > 16' = 1'-6" POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0" NON-VEHICULAR AREAS - 0'-6"
Y3	1/4 OF POLE HEIGHT Y1

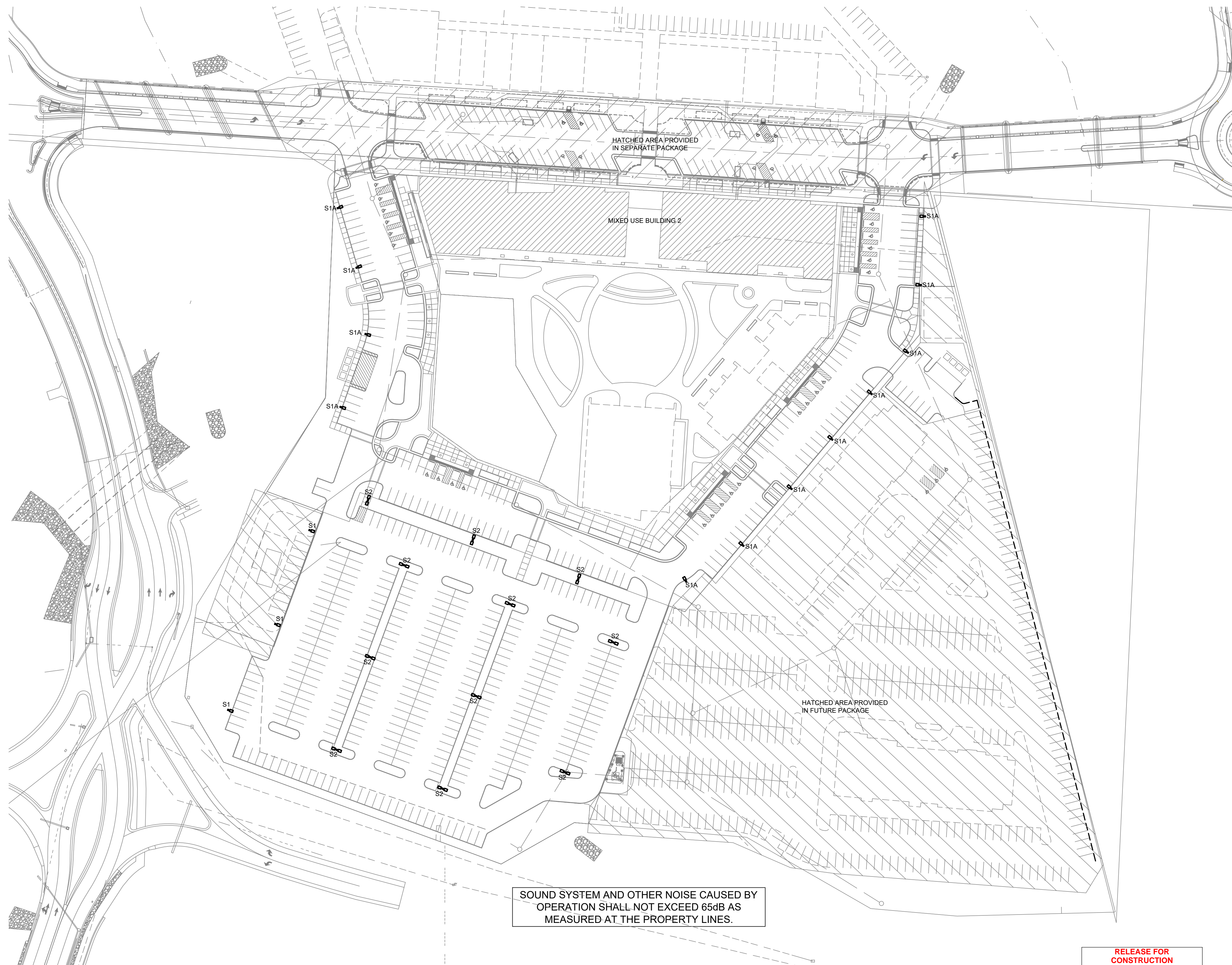
* NOTE:
ALL DIMENSIONS ARE APPROXIMATE
AND ARE SHOWN FOR REFERENCE
ONLY.

POLE FOUNDATION SHALL BE DESIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL OR CIVIL ENGINEER LICENSED IN THE PROJECT STATE AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS.



2 POLE BASE DETAIL

NO SCALE







SOUND SYSTEM AND OTHER NOISE CAUSED BY
OPERATION SHALL NOT EXCEED 65dB AS
MEASURED AT THE PROPERTY LINES.

**RELEASE FOR
CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI**

11/24/2020

1 ELECTRICAL SITE PLAN
SCALE: 1" = 64'

THE PROFESSIONAL WHOSE SEAL, SIGNATURE, AND PERSONAL SEAL APPEARS ON THIS PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THE PAGE, AND DISCLAIMS (P/ISSUANT TO SECTION 327.411, RSMo) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDING TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	11	S2	BACK-BACK	N.A.	0.720	GLNA-AF-03-LED-E1-T4W
	3	S1	SINGLE	N.A.	0.720	GLNA-AF-03-LED-E1-T4W
	12	S1A (PEDESTRIAN)	SINGLE	N.A.	0.720	GLNA-AF-01-LED-E1-T2
	12	S1A (STREET/PARKING)	SINGLE	N.A.	0.720	GLNA-AF-03-LED-E1-T4FT

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lots	Illuminance	Fc	1.84	5.5	0.4	4.60
Property Line East	Illuminance	Fc	0.60	3.0	0.0	N.A.
Property Line West	Illuminance	Fc	0.56	5.3	0.0	N.A.

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER/MODEL #	LAMPS		INPUT WATTS	INPUT VA	DESCRIPTION
		NO.	TYPE			
S1	MCGRRAW-EDISON GLNA-AF-03-LED-T4W-BK WW KWI INDUSTRIES RAP-25-6 0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	LED PARKING LOT FIXTURE. PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.
S1A	MCGRRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK WW VALMONT IDYLINE CURVES C5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166 34	LED PARKING LOT FIXTURE. PROVIDE WITH 25' ROUND TAPERED CURVED ALUMINUM POLE ON 3' BASE. LOWER LUMEN OUTPUT LIGHT FIXTURE MOUNTED ON OPPOSITE SIDE AT +10' FROM BASE OF POLE. HIGHER LUMEN OUTPUT LIGHT FIXTURE MOUNTED AT TOP OF POLE.
S2	MCGRRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK WW KWI INDUSTRIES RAP-25-6 0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	LED PARKING LOT FIXTURE. PROVIDE (2) HEADS PER POLE AT 180 DEGREES. PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.

DESCRIPTION

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI, Optional 2700K, 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleonaire LED luminaire is suitable for operation in -40°C to 40°C ambient environments. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall

mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.

McGraw-Edison

Catalog #	Type
Project	
Comments	
Prepared by	Date



GLNA GALLEONAIRE

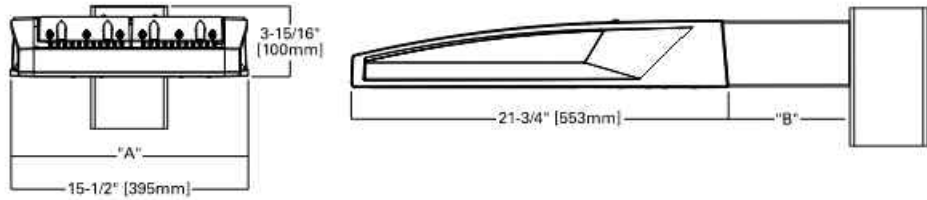
1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



WaveLinx

DIMENSIONS



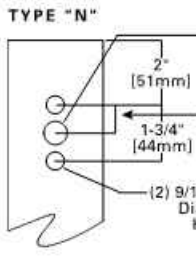
DIMENSION DATA

Number of Light Squares	"A" Width (394mm)	"B" Standard Arm Length (178mm)	"B" Optional Arm Length 1 (254mm)	Weight with Arm (lbs.) (12.7 kgs)	EPA with Arm 1 (50, F.L.)
1-4	15-1/2"	7"	10"	26	0.72
5-6	21-5/8"	7"	10"	38	0.77
7-8	27-5/8"	7"	13"	43	0.95
9-10	33-3/4"	7"	16"	69	1.13

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

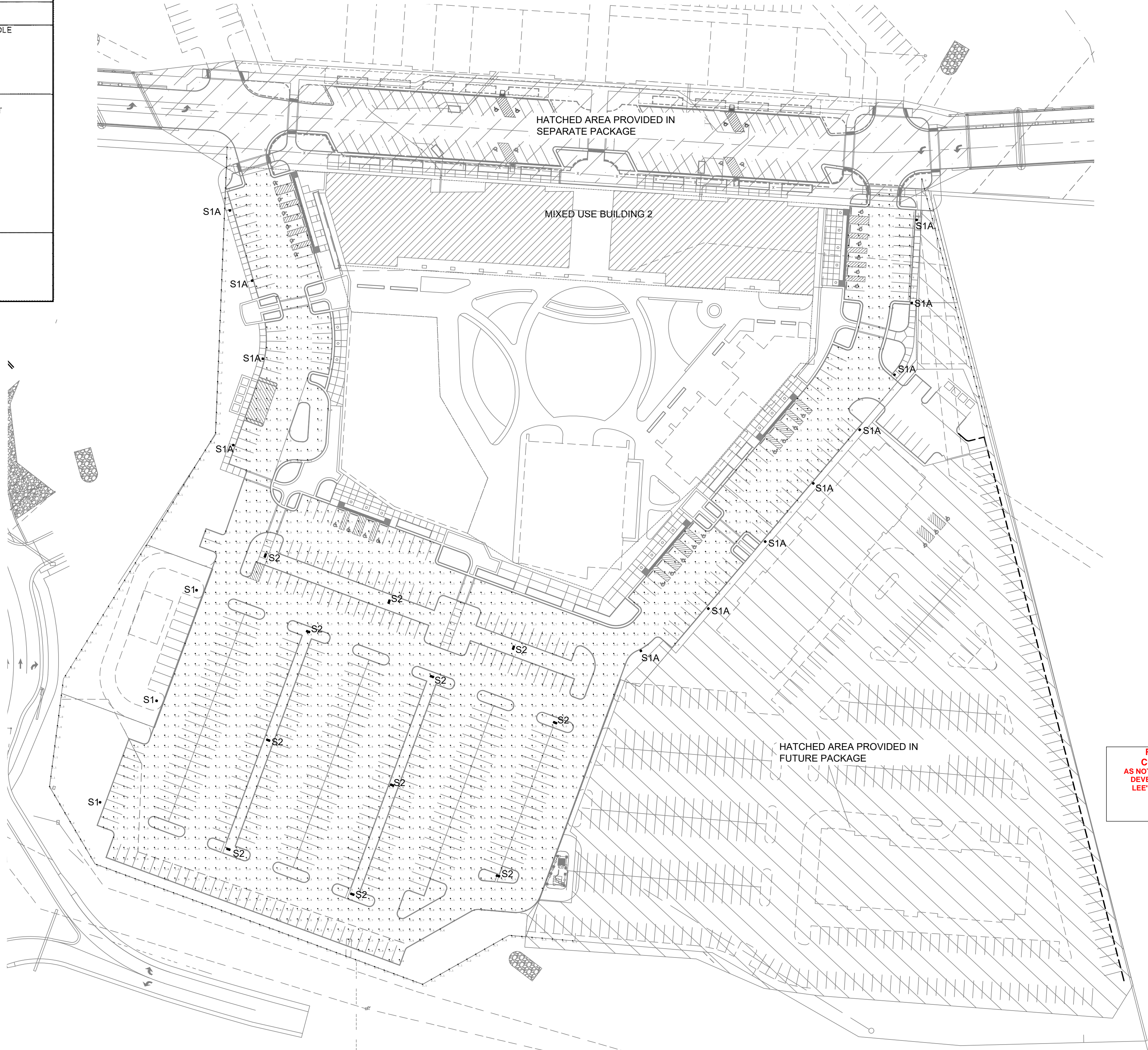
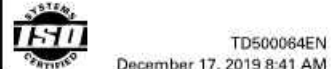


DRILLING PATTERN



CERTIFICATION DATA
3G Vibration Rated
IP66 Rated
800000
LM79 / LM80 Compliant
UL/cUL Wet Location Listed

ENERGY DATA
Electronic LED Driver
+0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V, 480V 60Hz
40°C Min. Temperature
60°C Max. Temperature



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AS NOTED ON PLANS REVIEW
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LEE'S SUMMIT, MISSOURI
11/24/2020

1

ELECTRICAL PHOTOMETRIC PLAN
SCALE: 1" = 64'



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JOB NO: 1249

SCALE:

DATE: 11.04.2020

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Final Development Plan - Phase One (RESUBMITTAL)