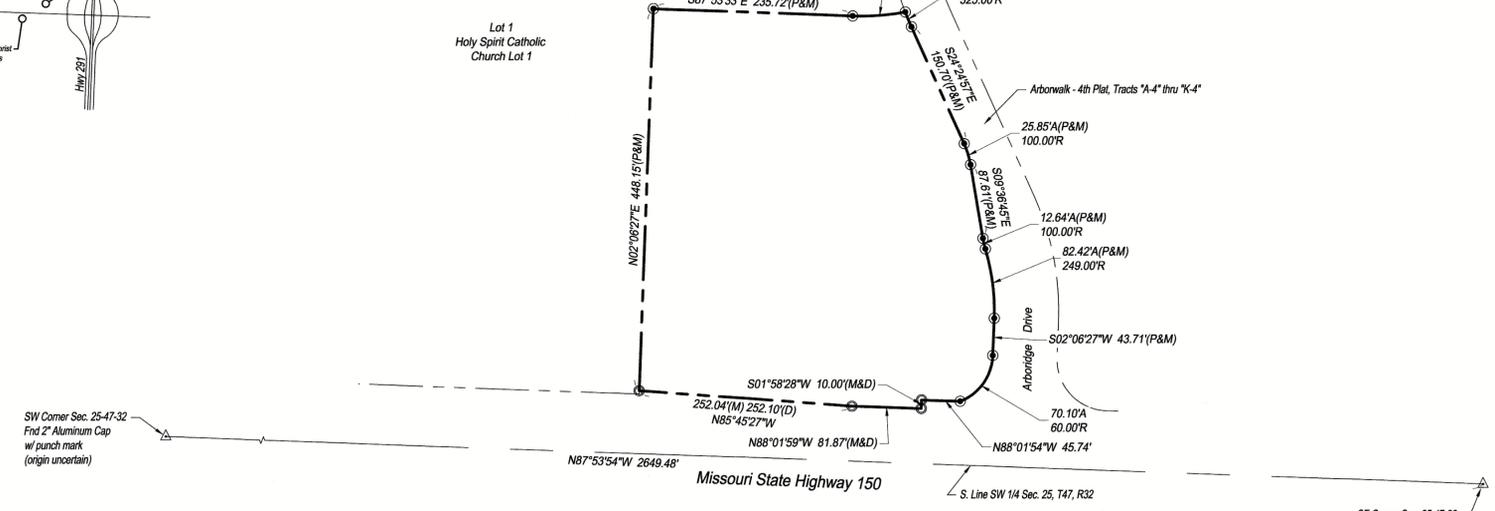
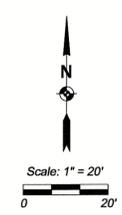


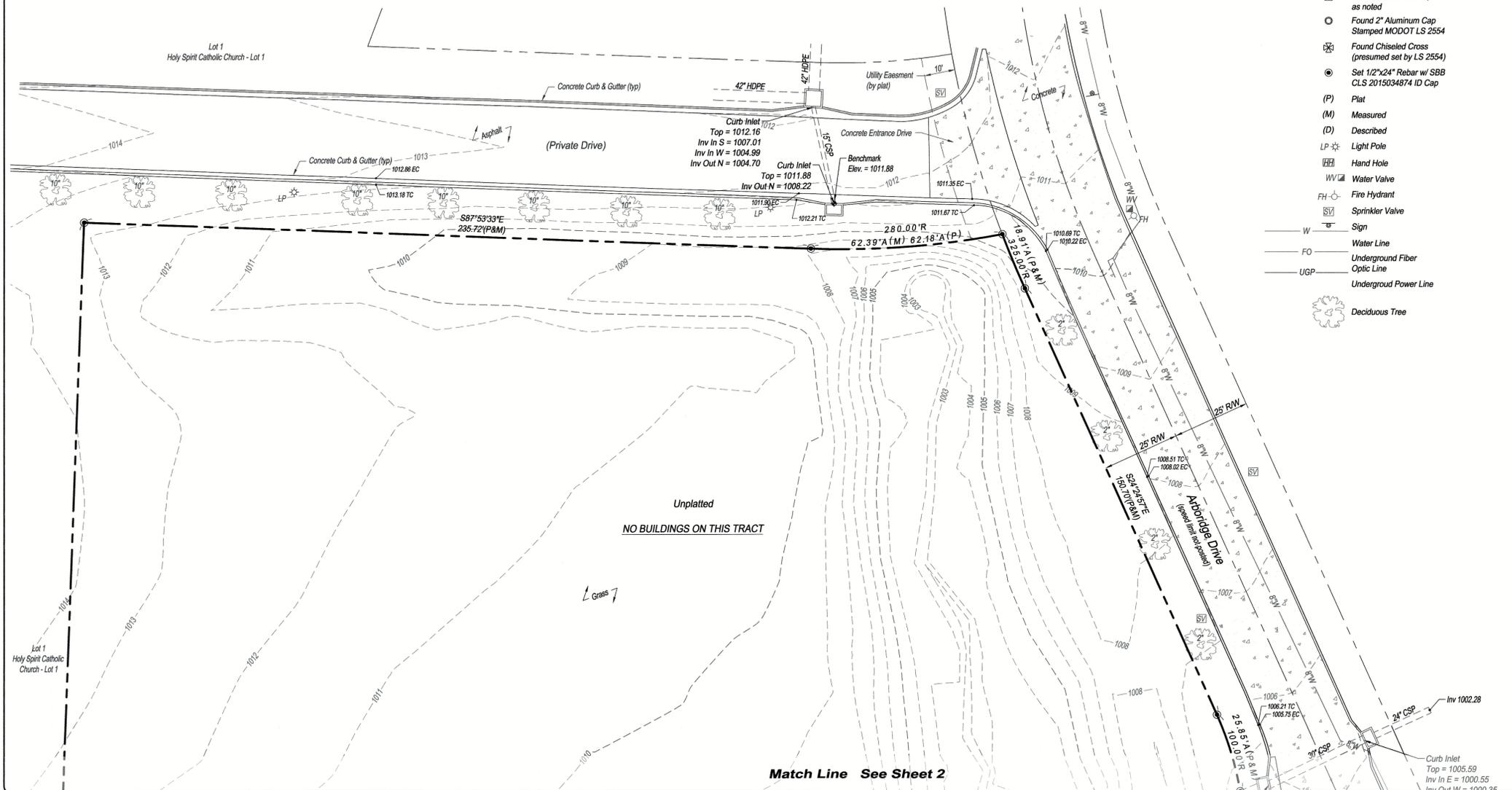
LOCATION MAP
NTS



RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
12/01/2023



Property Detail
Scale: 1" = 100'



LEGEND

△	Found Section Corner, as noted
○	Found 2" Aluminum Cap Stamped MODOT LS 2554
⊗	Found Chiseled Cross (presumed set by LS 2554)
●	Set 1/2"x24" Rebar w/ SBB CLS 2015034874 ID Cap
(P)	Plat
(M)	Measured
(D)	Described
LP	Light Pole
HH	Hand Hole
WV	Water Valve
FH	Fire Hydrant
SV	Sprinkler Valve
—	Sign
— W	Water Line
— FO	Underground Fiber
— UGP	Underground Power Line
⊗	Deciduous Tree

LEGAL DESCRIPTION:

All that part of the Southwest Quarter of Section 25, Township 47, Range 32, in Lee's Summit, Jackson County, Missouri, lying North of the North line of Missouri Highway 150, as presently established, lying West of the West line of SW Arbordrive Drive as shown on the plat of ARBORWALK 4TH PLAT, a subdivision in Lee's Summit, Jackson County, Missouri, and lying South and East of Lot 1, HOLY SPIRIT CATHOLIC CHURCH - LOT 1, a subdivision in Lee's Summit, Jackson County, Missouri.

COMMITMENT FOR TITLE INSURANCE:
Issuing Office: Chicago Title Insurance Company
Order Number: KCC213333
Commitment Date: January 12, 2022 at 08:00 AM

SCHEDULE B, PART II EXCEPTIONS:

- Items 1 through 5 and 12 are standard exceptions, not plottable survey matters.
Items 6, 7 and 13 are tax related items, not plottable survey matters.
- Water line easement granted to the City of Lee's Summit, recorded June 25, 2001 as Document No. 200110048744. (Does not affect subject tract)
 - Right of way and easement granted to the State of Missouri by Warranty Deed recorded February 25, 2009 as Document No. 2009E017354. (This document describes the centerline of Missouri State Highway No. 150)(Is plotted hereon)(Easements and Right-of-Way taken by this document does not affect subject tract)
 - Right-of-Way Location Survey for MO State Highway 150 recorded July 9, 2009 as Document No. 2009E0068194, in Survey Book 33, Page 54 (This document is a survey of the proposed Right-of-Way of Missouri State Highway No. 150)(Is plotted hereon)
 - Any adverse claim based on the assertion that the boundary line of said Land is other than as shown on a survey designated as Job No. 23 1267 04, dated May 27, 2005, prepared by E.T. Archer Corporation d.b.a Archer Total Project Management. (Not a survey matter)

SURVEYOR'S NOTES:

- The bearing system for this survey is based on Missouri State Plane, West Zone, NAD 83.
 - Addresses shown on this survey were observed during the performance of the fieldwork.
 - According to the Flood Insurance Rate Map "FIRM" Community Map Number 29085C0513G, effective date January 20, 2017, this property is in Flood Zone "X", area determined to be outside the 0.2% annual chance floodplain.
 - Vertical datum shown on this survey is based on NAVD 88 datum.
- Chiseled square at center front face of curb inlet, located on South side of private drive along the North line of subject tract.
Elev. = 1011.88
- Chiseled square at the Northeast corner of concrete headwall for 6'x4' RCB, located near the SE corner of subject tract.
Elev. = 996.91
- Client did not provide a current zoning report for subject tracts.
 - The location of objects shown on this survey are those that were observable during the performance of the fieldwork. No research or investigation has been made with regards to any objects and/or potential encroachments that are underground.
 - Utilities were field located through Missouri One Call Ticket No. 213571736, dated December 23, 2021, and through observable field evidence. Water line location and size is shown as per GIS information provided by the City of Lee Summit.
 - Property ownership information and parcel lines are shown as per the Jackson County, Missouri on-line GIS map.

Reference Surveys:

- ALTANSPPS Land Title Survey (unsigned), by Jason Roundbush, PLS 2002014092, dated June 21, 2021.
- Right of Way Location Survey, by Gary R. Summers, RLS No. 2554, dated June 22, 2009.
- Subdivision plats of Arbordrive - 4th Plat, Tracts "A-4" thru "K-4" and Holy Spirit Catholic Church Lot 1.

CERTIFICATION
CASEY'S MARKETING COMPANY AND
CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTANSPPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 8, 11 and 13 of Table A thereof. The field work was completed on January 5, 2022.

Date of Plat or Map: February 8, 2022

RICHARD T. SCHMIDT, P.S. 2628
SBB Engineering, LLC
101 South Kansas Avenue
Topeka, Kansas 66603
email: rick.schmidt@sbbeng.com
Corporate LS 2015034874



Rev.	By	Date	Description

PREPARED FOR:
Casey's Marketing Company
One SE Convenience Boulevard
Ankeny, Iowa 50021

SBB Engineering, LLC
transportation - site development - surveying
101 South Kansas Avenue
Topeka, Kansas 66603
Ph: (785) 215-9630 / www.sbbeng.com



SHEET TITLE: ALTANSPPS LAND TITLE SURVEY
PROJECT LOCATION: Northwest Corner Of Highway 150 And Arbordrive Drive Lee Summit, Missouri 64081
SBB Proj. No.: 21-288
Drawn by: JEM
Checked by: RS
Date: 2/11/2022
Drawing No.: C-003
Sh. 1 of 2

Match Line See Sheet 1

CERTIFICATION
CASEY'S MARKETING COMPANY AND
CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 8, 11 and 13 of Table A thereof. The field work was completed on January 5, 2022.

Date of Plat or Map: February 11, 2022

RICHARD T. SCHMIDT, P.S. 2628
SBB Engineering, LLC
101 South Kansas Avenue
Topeka, Kansas 66603
email: rick.schmidt@sbbeng.com
Corporate LS 2015034874



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As Noted on Plan Review
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Lee's Summit, Missouri
12/01/2023

Unplatted
NO BUILDINGS ON THIS TRACT

Total Area
3.96 Ac. ML

Overflow Structure
Top Grate = 1007.72
Top Structure = 1005.85
Inv Out SE = 997.42
Bottom Center = 996.28

Right-of-Way Location
(Doc. 2009E0068194 and
Deed Doc. 2009E017190)

Missouri State Highway 150
(RW Varies | 45 MPH)

Centerline Mo. State Hwy 150
(Doc. 2009E0017354)

Rev.	By	Date	Description

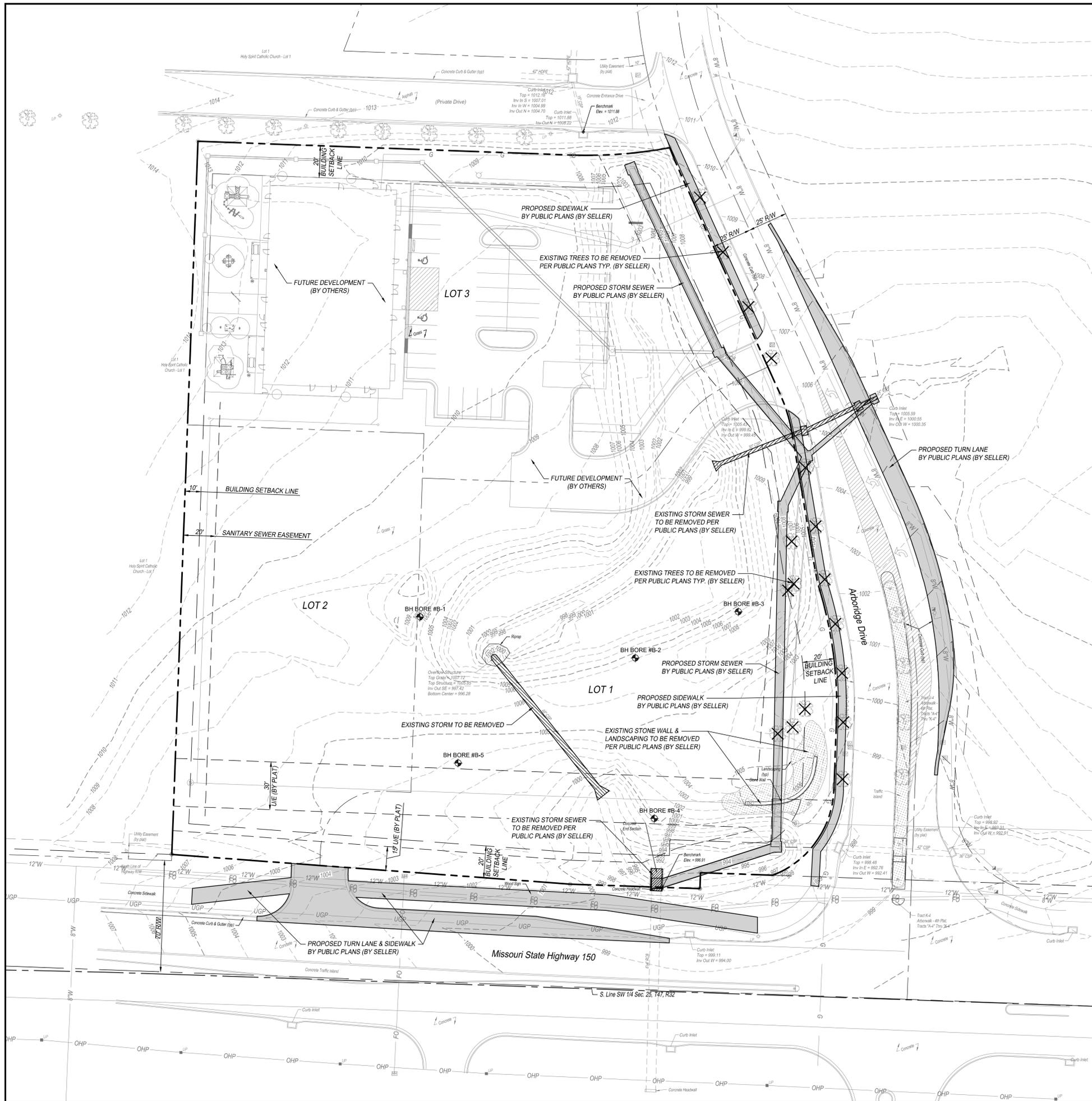
PREPARED FOR:
Casey's Marketing Company
One SE Convenience Boulevard
Ankeny, Iowa 50021

SBB Engineering, LLC
transportation - site development - surveying
301 South Kansas Avenue
Topeka, Kansas 66603
Ph: (785) 215-9630 / www.sbbeng.com



SHEET TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT LOCATION: Northwest Corner Of Highway 150
And Arbridge Drive
Lee Summit, Missouri 64081

SBB Proj. No.: 21-288
Drawn by: JEM
Checked by: RS
Date: 2/11/2022
Drawing No.: C-004



GENERAL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF LEE SUMMIT, MISSOURI.
2. UTILITIES WERE FIELD LOCATED THROUGH MISSOURI ONE CALL. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY VARY FROM WHAT IS INDICATED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNER TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WHETHER INDICATED OR NOT. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
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5. ALL PAVEMENT REMOVAL AREAS SHALL BE SAW CUT TO FORM A STRAIGHT AND UNIFORM LINE.
6. ALL WORK WITHIN THE MODOT RIGHT-OF-WAY SHALL COMPLY WITH MODOT STANDARDS AND SPECIFICATIONS. ALL WORK WITHIN THE CITY OF LEE'S SUMMIT RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS AND SPECIFICATIONS.

LEGEND:

-  PROPOSED PUBLIC PLANS (BY SELLER)
-  EXISTING TO BE REMOVED PER PUBLIC PLANS (BY SELLER)
-  EXISTING TO BE REMOVED

 BH BORE #X APPROXIMATE BORING LOCATIONS REFER TO GEOTECHNICAL REPORT BY KANSAS CITY TESTING AND ENGINEERING, LLC DATED SEPTEMBER 19, 2022. KCTE JOB #G20-22-107 FOR ADDITIONAL INFORMATION.

NOTES:

1. UTILITIES WERE FIELD LOCATED THROUGH MISSOURI ONE CALL TICKET NO. 213571736, DATED DECEMBER 23, 2021, AND THROUGH OBSERVABLE FIELD EVIDENCE. WATER LINE LOCATION AND SIZE IS SHOWN AS PER GIS INFORMATION PROVIDED BY THE CITY OF LEE SUMMIT.
2. ACCORDING TO THE FLOOD INSURANCE RATE MAP "FIRM" COMMUNITY MAP NUMBER 29095C0531G, EFFECTIVE DATE JANUARY 20, 2017, THIS PROPERTY IS IN FLOOD ZONE "X". AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARKS:

VERTICAL DATUM SHOWN ON THIS SURVEY IS BASED ON NAVD 88 DATUM.
 CHISELED SQUARE AT CENTER FRONT FACE OF CURB INLET, LOCATED ON SOUTH SIDE OF PRIVATE DRIVE ALONG THE NORTH LINE OF SUBJECT TRACT. ELEV. = 1011.88
 CHISELED SQUARE AT THE NORTHEAST CORNER OF CONCRETE HEADWALL FOR 6'X4' RCB, LOCATED NEAR THE SE CORNER OF SUBJECT TRACT. ELEV. = 996.91

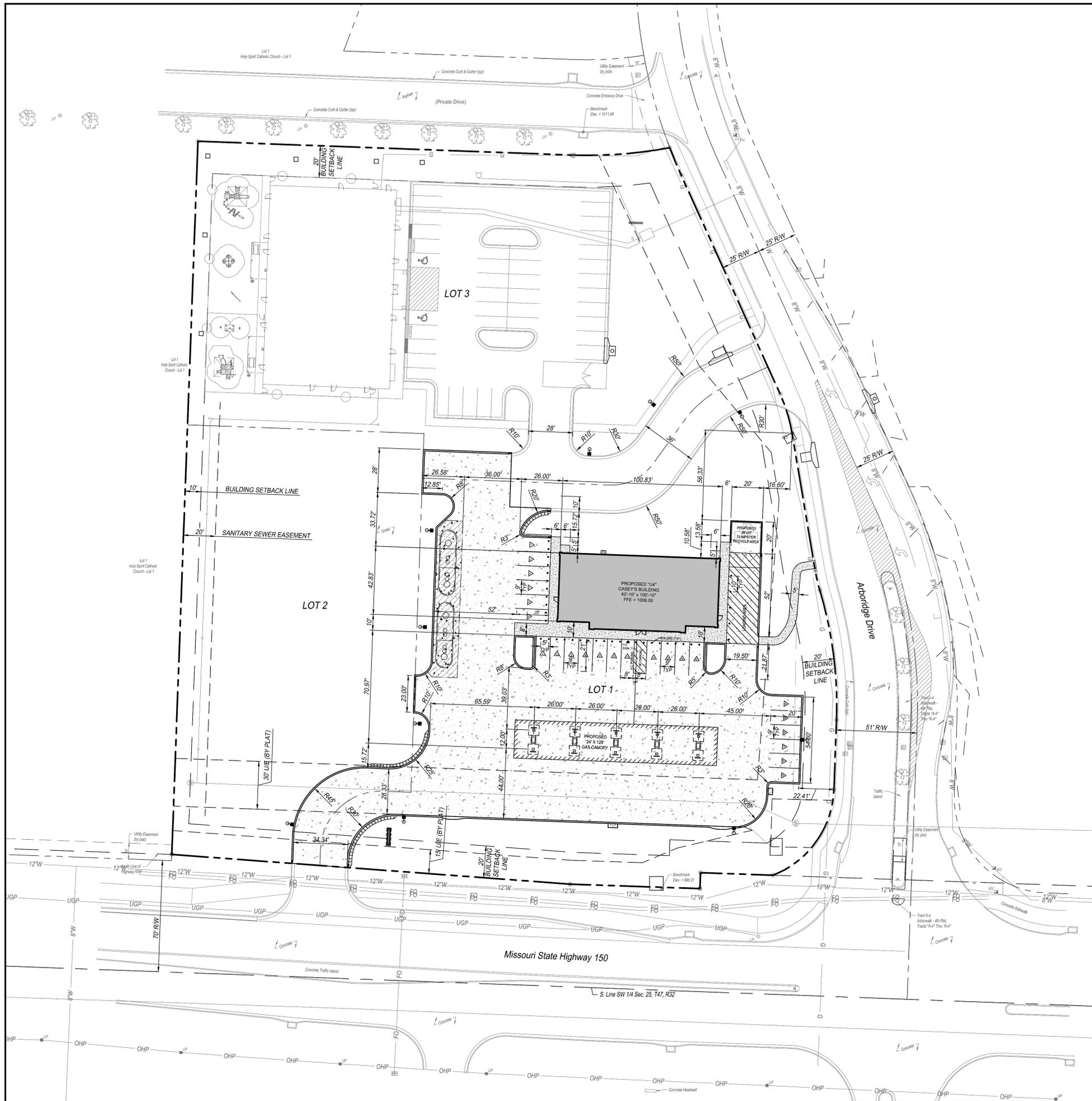
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 Lee's Summit, Missouri
 12/01/2023



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 Incorporation • site development • surveying
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 Topeka, Kansas 66603
 Ph: (785) 215-8630 /
 www.sbbeng.com



Casey's		Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100			
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DATE: 10.23.23	REVISIONS: 	DRAWING INFORMATION: EXISTING CONDITIONS / DEMOLITION PLAN
DRAWING INFORMATION: CONSTRUCTION DIVISION		DRAWN BY: _____	
DRAWN BY: _____		CHECKED BY: _____	
			C-100



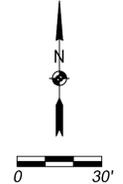
GENERAL NOTES:

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 Lee's Summit, Missouri
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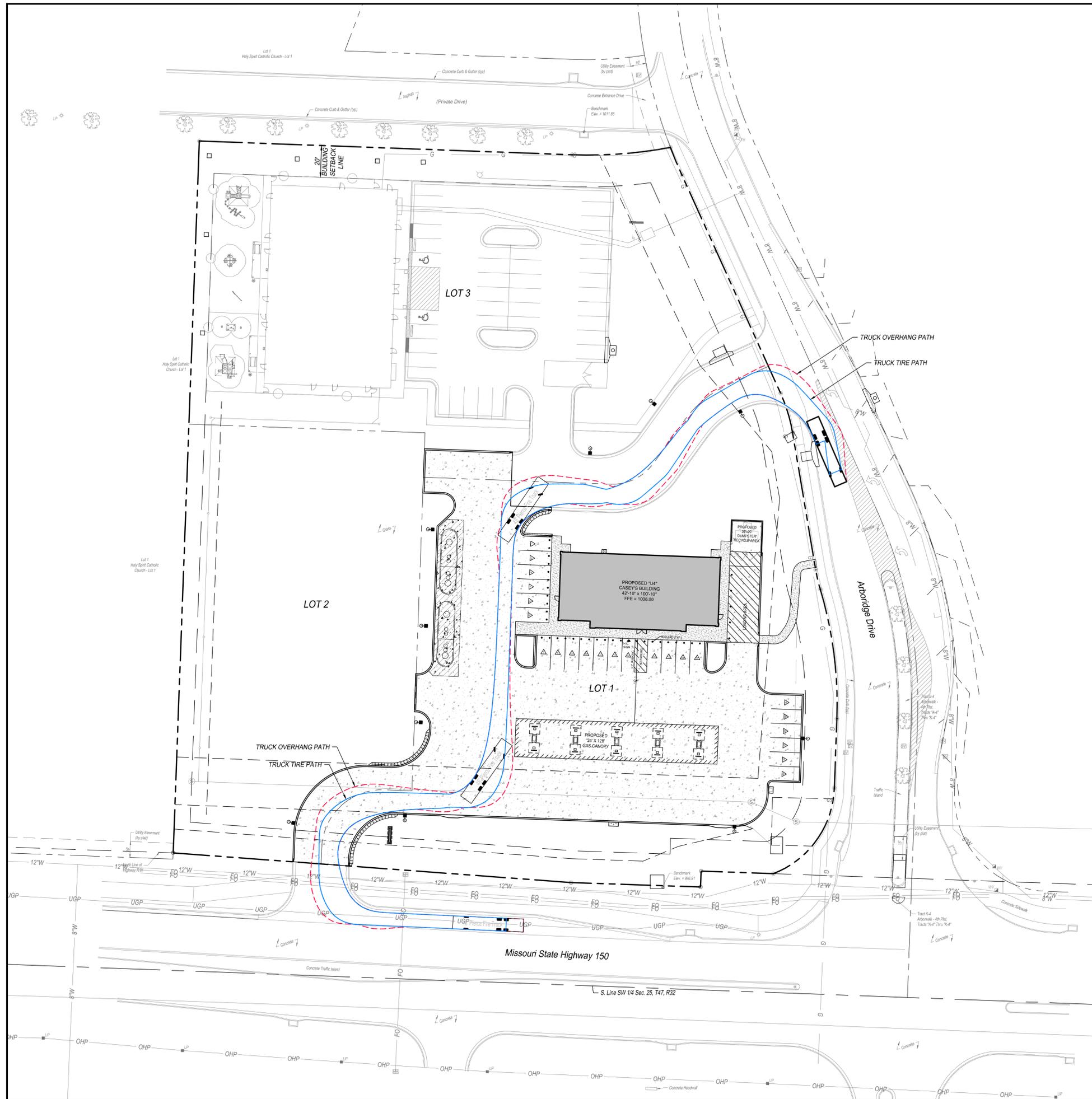
SBB Proj. No. 21-288



SBB ENGINEERING
 transportation • site development • surveying
 101 South Kansas Avenue
 Topeka, Kansas 66603
 Ph: (785) 215-8630 /
 www.sbbeng.com

 Casey's CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100									
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	RELEASED: 10.23.23 REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
DRAWING INFORMATION: CONSTRUCTION DIVISION									
DRAWN BY:	CHECKED BY:								
OVERALL SITE PLAN <hr/> C-101									

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 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 12/01/2023

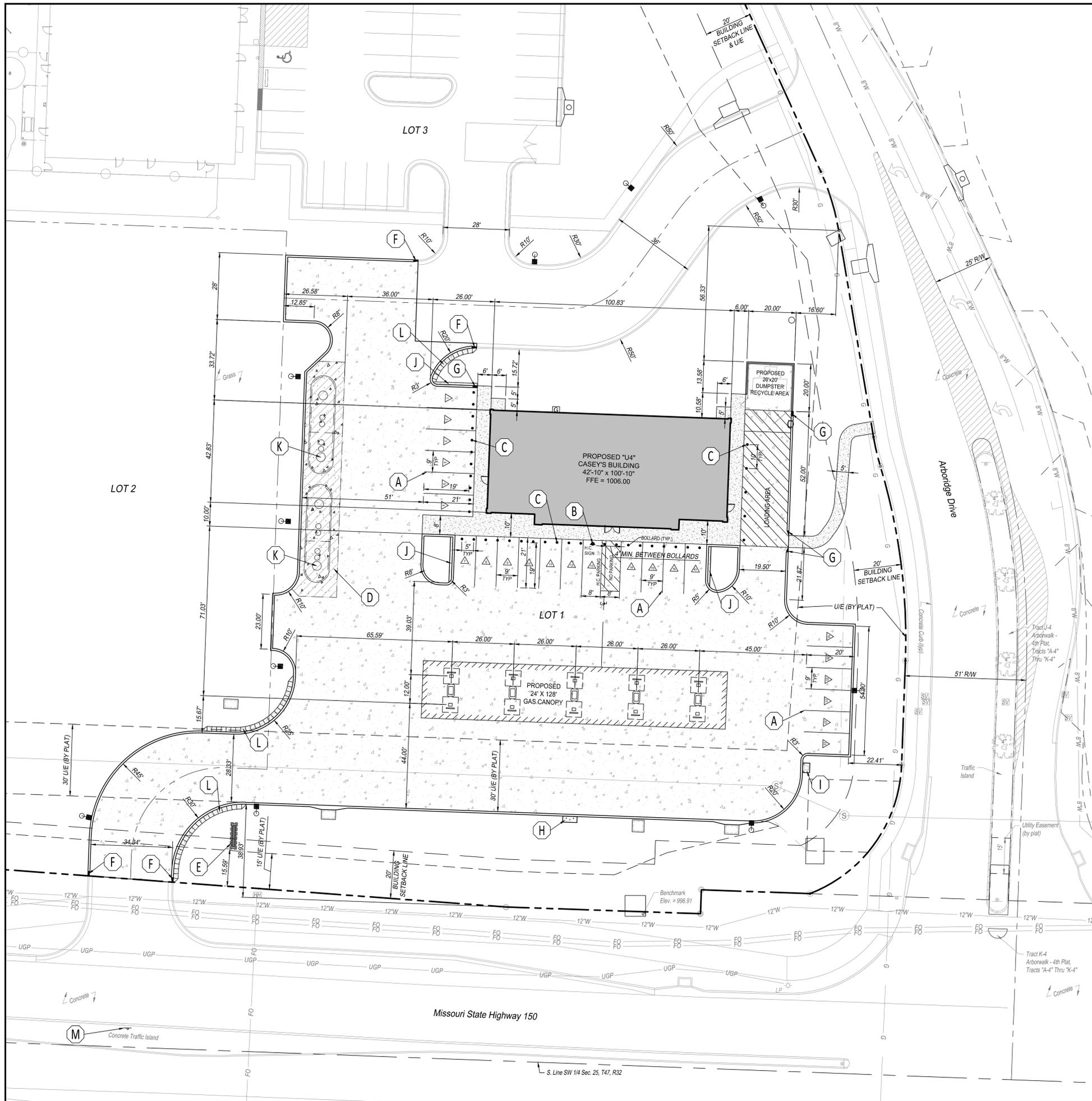


SBB Proj. No. 21-288



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CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100			
PROJECT:	LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	RELEASED ON:	10.23.23
CONSTRUCTION DIVISION		REVISIONS:	
CONSTRUCTION DIVISION		DATE:	
CONSTRUCTION DIVISION		BY:	
CONSTRUCTION DIVISION		CHECKED BY:	
			FIRE TRUCK MOVEMENT PLAN
			C-102



GENERAL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF LEE SUMMIT, MISSOURI.
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SITE PLAN KEY NOTES:

- | | |
|---|--|
| (A) PLACE PAVEMENT MARKING, 4" PAINTED, WHITE, 90° TO SIDEWALK (TYP.) OR CURB. | (G) CURB TRANSITION. (FULL HEIGHT TO ZERO HEIGHT CURB) |
| (B) INSTALL HANDICAP SIGN IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PLACE PAVEMENT MARKING, ACCESSIBLE PARKING SYMBOL, WHITE. REFER TO DETAILS 11 & 12 ON SHEET C-601. | (H) FUEL DISPENSER EMERGENCY SHUT-OFF SWITCH. REFER TO DETAIL 8 ON SHEET C-601. |
| (C) INSTALL BOLLARD (TYP.). REFER TO ARCHITECTURAL PLANS AND DETAIL 1 ON SHEET C-601. | (I) AIR COMPRESSOR BOX. REFER TO DETAIL 7 ON SHEET C-601. |
| (D) PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS. REFER TO DETAIL 4 ON SHEET C-602. | (J) PARKING LANDSCAPE ISLAND. REFER TO DETAIL 7 ON SHEET C-603. |
| (E) INSTALL MONUMENT SIGN. REFER TO SIGN PACKAGE. | (K) UGST MANHOLE. REFER TO DETAIL 6 ON SHEET C-602. |
| (F) 2' CURB TRANSITION. (FULL HEIGHT TO CURB (BY OTHERS)) | (L) LANDSCAPE PROTECTOR. REFER TO DETAIL 4 ON SHEET C-601. |
| | (M) INSTALL "ONE WAY" SIGN IN THE HIGHWAY MEDIAN. |

LEGEND:

- 6" CONCRETE PAVEMENT. REFER TO DETAIL 2 ON SHEET C-601 FOR CONCRETE PAVING.
- 8" REINFORCED CONCRETE PAVEMENT. REFER TO DETAIL 4 ON SHEET C-602 FOR PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS.
- 6" CONCRETE SIDEWALK. REFER TO DETAIL 1 ON SHEET C-601 FOR TYPICAL BUILDING SIDEWALK AND BOLLARD.
- CURB (MONOLITHIC). REFER TO DETAIL 2 ON SHEET C-601 FOR CURB.
- PROPOSED LIGHT POLE. REFER TO LIGHTING PLAN.

RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
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LEGAL DESCRIPTION:

LOT 1, ARBORWALK WEST ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

TANK BALLAST NOTE:

CITY DOES NOT HAVE ANY REQUIREMENTS FOR DISCHARGING WATER FROM UNDERGROUND STORAGE TANKS.

NOTES:

- UTILITIES WERE FIELD LOCATED THROUGH MISSOURI ONE CALL TICKET NO. 213571736, DATED DECEMBER 23, 2021, AND THROUGH OBSERVABLE FIELD EVIDENCE. WATER LINE LOCATION AND SIZE IS SHOWN AS PER GIS INFORMATION PROVIDED BY THE CITY OF LEE SUMMIT.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP "FIRM" COMMUNITY MAP NUMBER 29085C0531G, EFFECTIVE DATE JANUARY 20, 2017, THIS PROPERTY IS IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THERE ARE NO GAS/OIL WELLS ONSITE PER MDNR DATA BASE OF OIL AND GAS PERMITS.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE AN INSPECTION COORDINATION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

BENCHMARKS:

VERTICAL DATUM SHOWN ON THIS SURVEY IS BASED ON NAVD 88 DATUM.

CHISELED SQUARE AT CENTER FRONT FACE OF CURB INLET, LOCATED ON SOUTH SIDE OF PRIVATE DRIVE ALONG THE NORTH LINE OF SUBJECT TRACT. ELEV. = 1011.88

CHISELED SQUARE AT THE NORTHEAST CORNER OF CONCRETE HEADWALL FOR 6"x4" RCB, LOCATED NEAR THE SE CORNER OF SUBJECT TRACT. ELEV. = 996.91

SITE DATA

LOT	EXISTING / PROPOSED ZONING	LOT AREA (SF)	LOT AREA (ACRES)	BUILDING AREA SF (ENVELOPE)	FAR	NUMBER OF FLOORS	PARKING REQUIRED	PARKING PROVIDED
LOT 1	M-150 CORRIDOR DEVELOPMENT / PLANNED MIXED USE	71,267	1.64	4,562 SF	0.064	1	23 SPACES	23 SPACES

ADA SPACES REQUIRED (VAN)	ADA SPACES PROVIDED (VAN)	PARKING LOT COVERAGE	TOTAL IMPERVIOUS COVERAGE	OPEN SPACE
1 SPACE	1 SPACE	36,054 SF	45,474 SF	25,790 SF



SBB Proj. No. 21-288

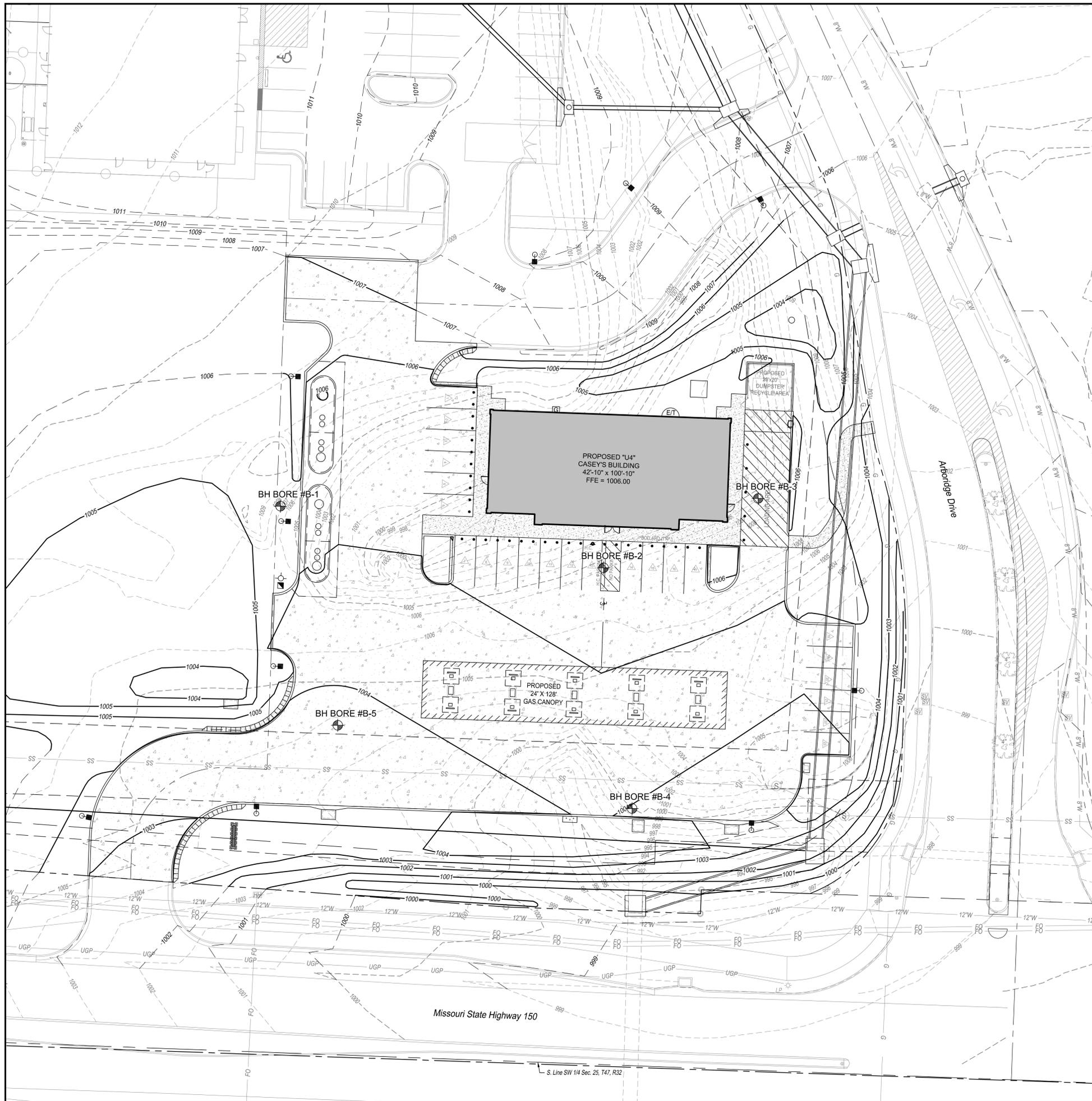


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Casey's

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORWALK DRIVE "U4" - STYLE STORE	DATE: 10.23.23 REVISIONS:	SITE PLAN
DRAWING INFORMATION: CONSTRUCTION DIVISION	DESIGNED BY:	C-103



GENERAL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF LEE SUMMIT, MISSOURI.
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LEGEND:

- 1005— PROPOSED CONTOURS
- - -1005- - PROPOSED CONTOURS BY OTHERS
- - -1004- - EXISTING CONTOURS
- <-X.X% SLOPE FLOW DIRECTION

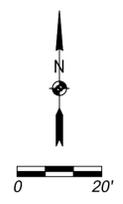
LIST OF ABBREVIATIONS:

- EX - EXISTING
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- TG - TOP OF GROUND
- TI - TOP OF INLET
- TP - TOP OF PAVEMENT
- TPE - TOP OF EXISTING PAVEMENT
- TS - TOP OF SIDEWALK
- BW - BOTTOM OF WALL
- TW - TOP OF WALL
- TM - TOP OF MANHOLE
- TF - TOP OF FOOTING

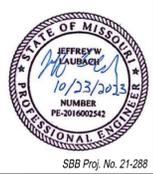
BH BORE # APPROXIMATE BORING LOCATIONS REFER TO GEOTECHNICAL REPORT BY KANSAS CITY TESTING AND ENGINEERING, LLC DATED SEPTEMBER 19, 2022. KCTE JOB #G20-22-107 FOR ADDITIONAL INFORMATION.

RELEASED FOR CONSTRUCTION
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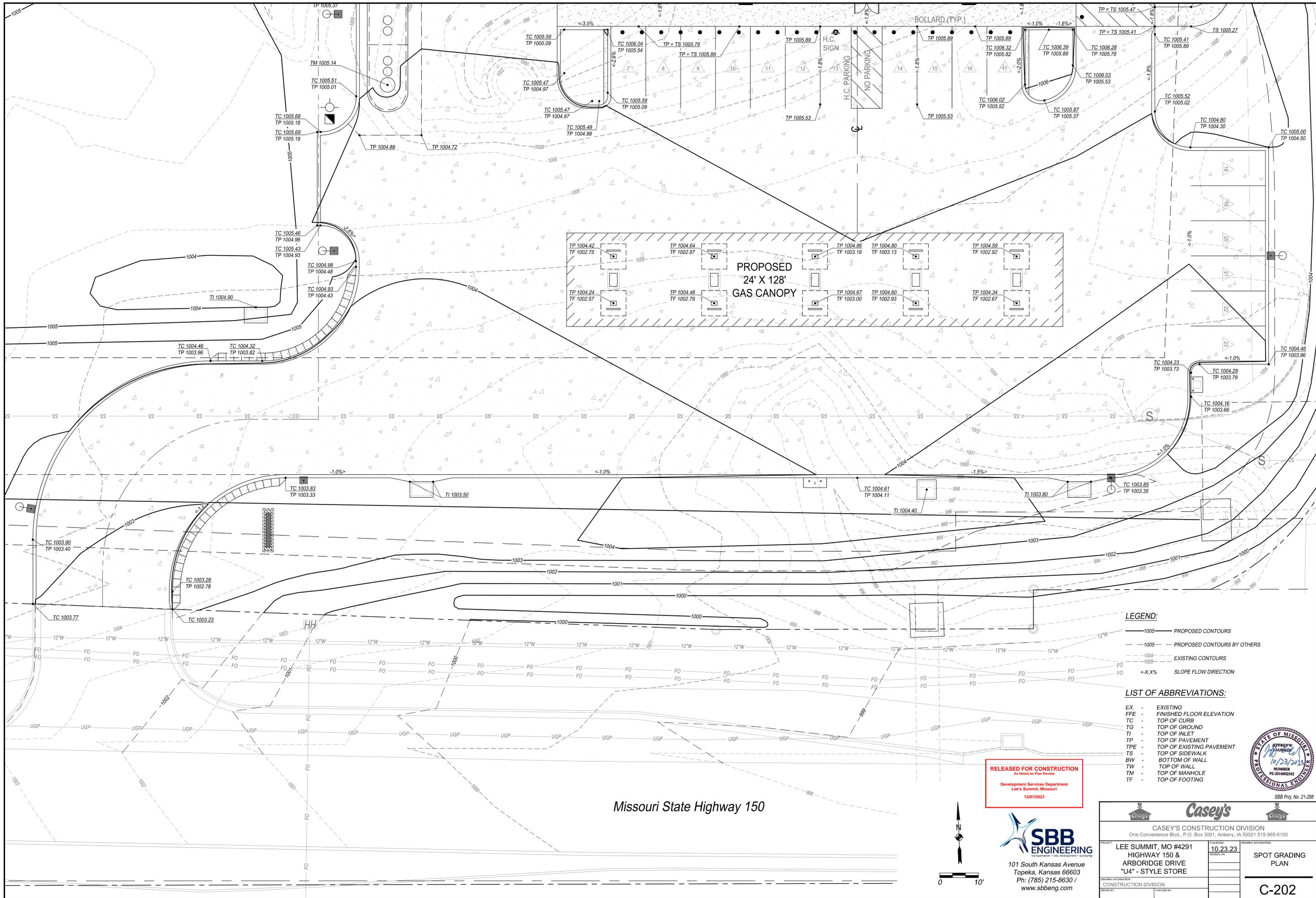
SITE GRADING
ANTICIPATE OVER EXCAVATION IN SOME AREAS OF 2-3 FEET DUE TO POOR SOIL CONDITION.
UNDERGROUND STORAGE TANKS
HARD ROCK EXCAVATION MAY BE PRESENT IN THE BOTTOM OF THE PIT; PERCHED WATER MAY ALSO BE ENCOUNTERED ABOVE ROCK STRATA.



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Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DRAWING INFORMATION: CONSTRUCTION DIVISION
DATE: 10.23.23	REVISIONS:
C-201	



Missouri State Highway 150

- LEGEND:**
- 1005 — PROPOSED CONTOURS
 - 1005 — PROPOSED CONTOURS BY OTHERS
 - 1004- EXISTING CONTOURS
 - 1005- EXISTING CONTOURS
 - <-X.X%> SLOPE FLOW DIRECTION

LIST OF ABBREVIATIONS:

- EX - EXISTING
- FPE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- TG - TOP OF GROUND
- TI - TOP OF INLET
- TP - TOP OF PAVEMENT
- TPE - TOP OF EXISTING PAVEMENT
- TS - TOP OF SIDEWALK
- BW - BOTTOM OF WALL
- TW - TOP OF WALL
- TM - TOP OF MANHOLE
- TF - TOP OF FOOTING

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 One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: LEE SUMMIT, MO #4291
 HIGHWAY 150 & ARBORIDGE DRIVE
 "U4" - STYLE STORE

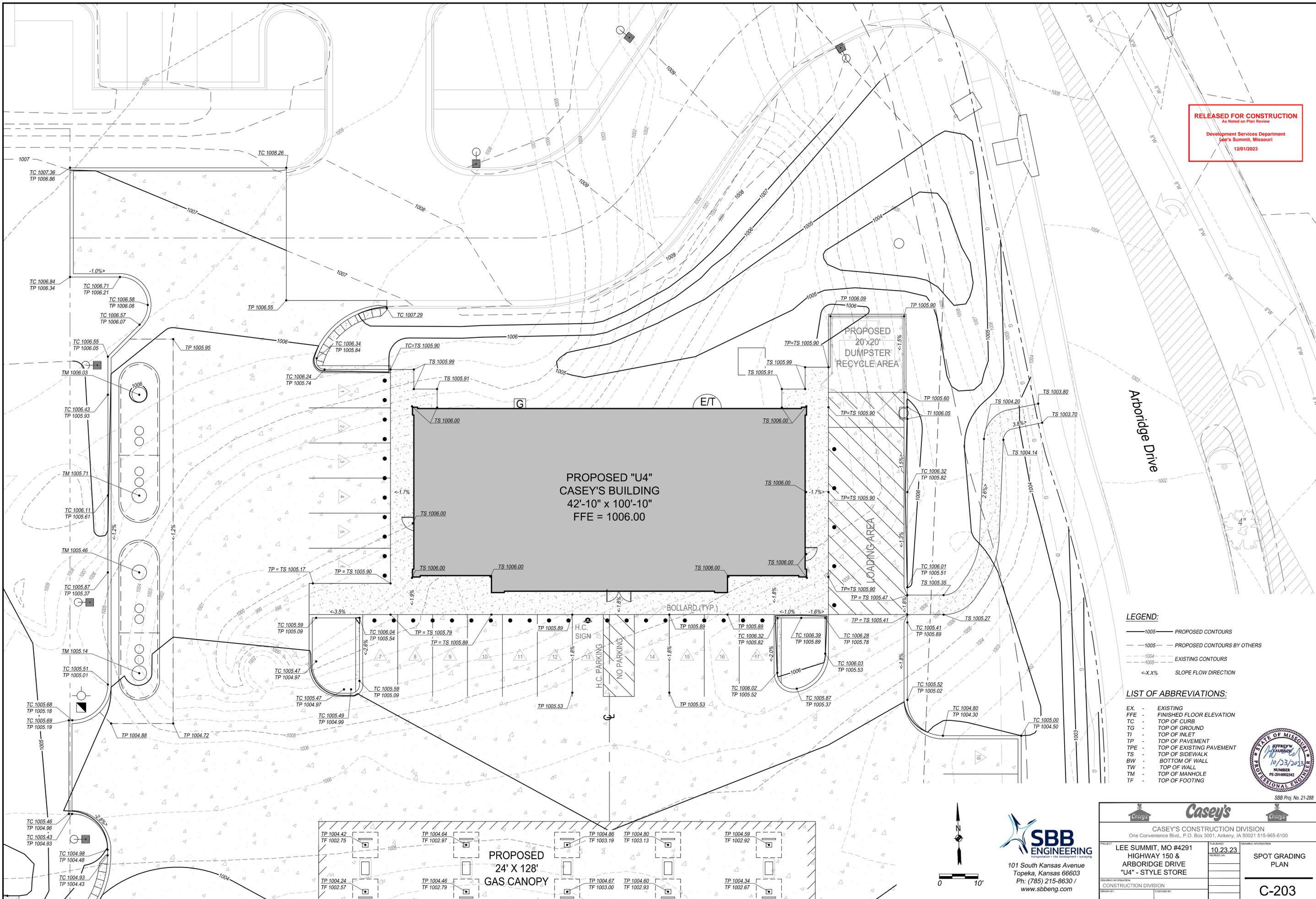
DATE: 10.23.23
 REVISIONS:

CONSTRUCTION DIVISION

C-202

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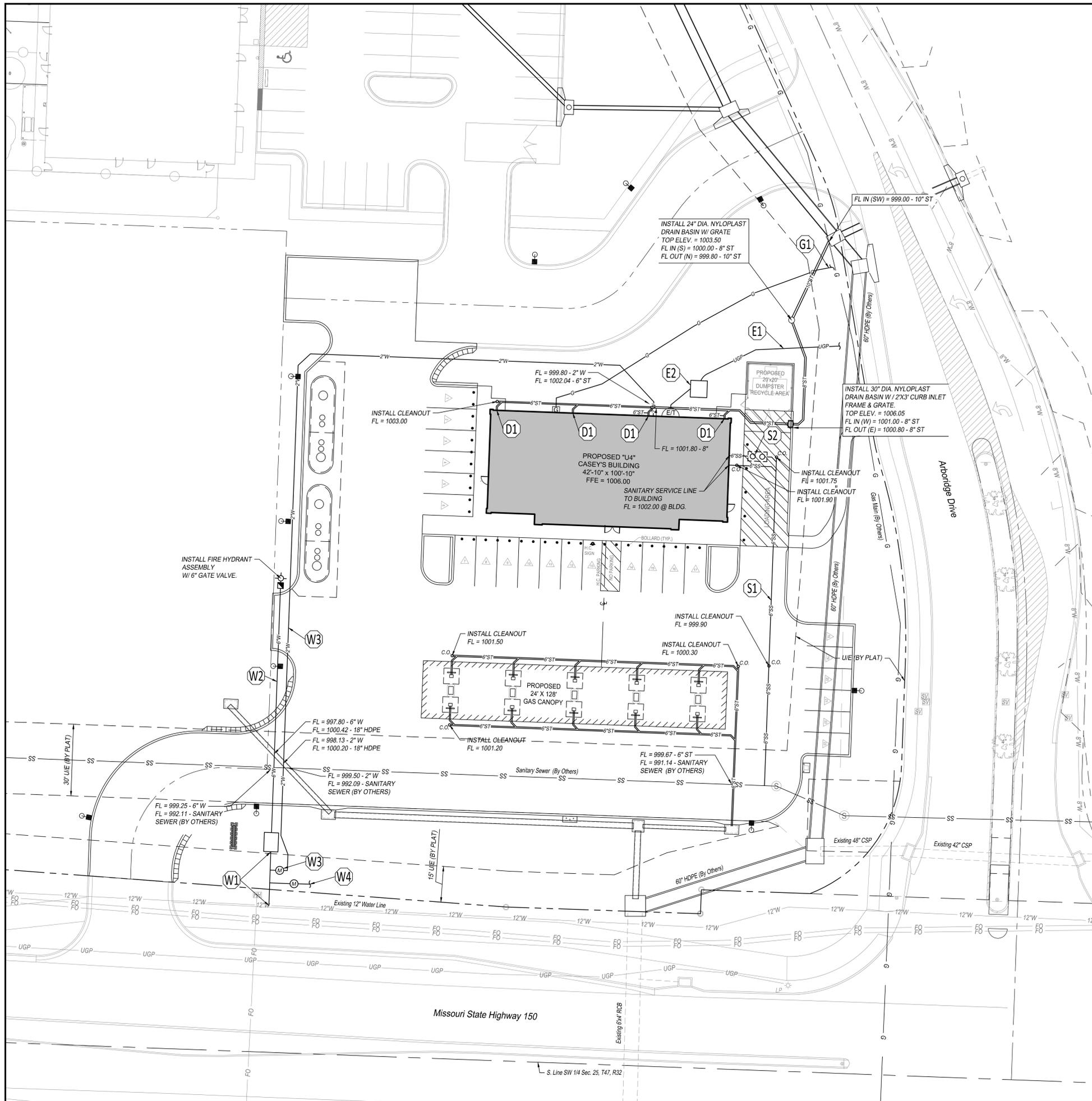
- LEGEND:**
- 1005 — PROPOSED CONTOURS
 - - - 1005 - - - PROPOSED CONTOURS BY OTHERS
 - - - 1004 - - - EXISTING CONTOURS
 - <math>< -X.X\% ></math> SLOPE FLOW DIRECTION
- LIST OF ABBREVIATIONS:**
- EX - EXISTING
 - FFE - FINISHED FLOOR ELEVATION
 - TC - TOP OF CURB
 - TG - TOP OF GROUND
 - TI - TOP OF INLET
 - TP - TOP OF PAVEMENT
 - TPE - TOP OF EXISTING PAVEMENT
 - TS - TOP OF SIDEWALK
 - BW - BOTTOM OF WALL
 - TW - TOP OF WALL
 - TM - TOP OF MANHOLE
 - TF - TOP OF FOOTING

STATE OF MISSOURI
 JEFFREY W. KAUBERT
 10/23/2013
 NUMBER
 PE-2016002542
 PROFESSIONAL ENGINEER

Casey's		Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100			
PROJECT:	LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DATE: 10.23.23	REVISIONS:
DRAWING INFORMATION:	CONSTRUCTION DIVISION	DRAWN BY:	SPOT GRADING PLAN
			C-203

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GENERAL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF LEE SUMMIT, MISSOURI.
2. UTILITIES WERE FIELD LOCATED THROUGH MISSOURI ONE CALL. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY VARY FROM WHAT IS INDICATED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNER TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WHETHER INDICATED OR NOT. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
3. ALL PERMITS AND FEES NECESSARY TO CONSTRUCT THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE SPECIFIED, ALL DISTURBED AREAS THAT ARE NON-HARDSCAPED SHALL BE EITHER LANDSCAPED OR SEEDED AND FERTILIZED.
5. ALL PAVEMENT REMOVAL AREAS SHALL BE SAW CUT TO FORM A STRAIGHT AND UNIFORM LINE.
6. ALL WORK WITHIN THE MODOT RIGHT-OF-WAY SHALL COMPLY WITH MODOT STANDARDS AND SPECIFICATIONS. ALL WORK WITHIN THE CITY OF LEE'S SUMMIT RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS AND SPECIFICATIONS.

SITE PLAN KEY NOTES:

- E1** PLACE ELECTRICAL AND TELEPHONE ENTRY INTO BUILDING. (RE: BUILDING ELECTRIC PLAN FOR SECONDARY CONDUIT ROUTING INSIDE BUILDING TO ELECTRIC METERS).
ELECTRIC: 3 PHASE, 800 AMP, 120/208 VOLTS, 4 WIRE.
TELEPHONE: 20 PAIR, 8 LINES.
- E2** PROPOSED LOCATION OF TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH POWER COMPANY PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONCRETE PAD, CONDUIT AND PIPE BOLLARDS AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY. FOLLOW ALL ELECTRIC COMPANY'S SERVICE STANDARDS.
- G1** INSTALL GAS LINE TO BUILDING ENTRY WITH 1 GAS METER. SIZE OF GAS MAIN SHALL BE AS DETERMINED BY UTILITY OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE AND METER.
- W1** CONNECT TO EXISTING 12" WATERLINE. INSTALL 6" WATER LINE (C900) AND INSTALL VAULT FOR DOUBLE DETECTOR CHECK. REFER TO DETAIL WAT-12 ON SHEET C-604. INSTALL SUMP PUMP TO DRAIN VAULT.
- W2** INSTALL 6" FIRE LINE (C900) TO FIRE HYDRANT ASSEMBLY.
- W3** CONNECT TO 6" FIRE LINE. INSTALL 1 1/2" METER SETTING AND METER PIT. INSTALL 2" WATER LINE BETWEEN TAP AND METER. INSTALL SOFT TYPE K COPPER WATER PIPE FROM TAP TO 10 FEET BEYOND THE WATER METER. INSTALL 2" DOMESTIC WATER LINE (HDPE SDR 9) TO BUILDING.
- W4** CONNECT TO 6" FIRE LINE. INSTALL 1 1/2" METER SETTING AND METER PIT. INSTALL 2" WATER LINE BETWEEN TAP AND METER. FOR IRRIGATION SERVICE.
- D1** TYPICAL STORM WATER DRAIN LINE FROM ROOF OR LANDSCAPE DRAIN. SEE BUILDING PLANS CONNECTION LOCATIONS. DRAIN LINES SHALL BE PVC SDR 35 OR HDPE N-12. MINIMUM SLOPE SHALL BE 1.0%.
- S1** 6" SANITARY SEWER SERVICE LINE PIPE TO BE SCHEDULE 40 PVC AND MAINTAIN A MINIMUM SLOPE OF 2.0%.
- S2** GREASE TRAP TO BE PROCURED AND INSTALLED BY CONTRACTOR. GREASE TRAP TO BE PROCURED FROM SCHIER PRODUCTS. UTILIZE THE FOLLOWING URL: [HTTPS://SCHIERPRODUCTS.COM/STOCKING-DEALERS](https://schierproducts.com/stocking-dealers). CONTACT SCHIER PRODUCTS WITH ANY QUESTIONS OR CASEY'S TEAM MEMBER IF THERE IS AN ISSUE.

LEGEND:

8"W	EXISTING WATERLINE
12"W	EXISTING UNDERGROUND POWER
UGP	EXISTING UNDERGROUND POWER
FO	EXISTING FIBER OPTIC LINE
Existing Storm Sewer	EXISTING STORM SEWER
G	PROPOSED GAS LINE (BY OTHERS)
SS	PROPOSED SANITARY SEWER (BY OTHERS)
2"W	PROPOSED WATERLINE
6"W	PROPOSED GASLINE
G	PROPOSED GASLINE
6"SS	PROPOSED SANITARY SEWER
UGP	PROPOSED UNDERGROUND POWER
6"ST	PROPOSED STORM SEWER

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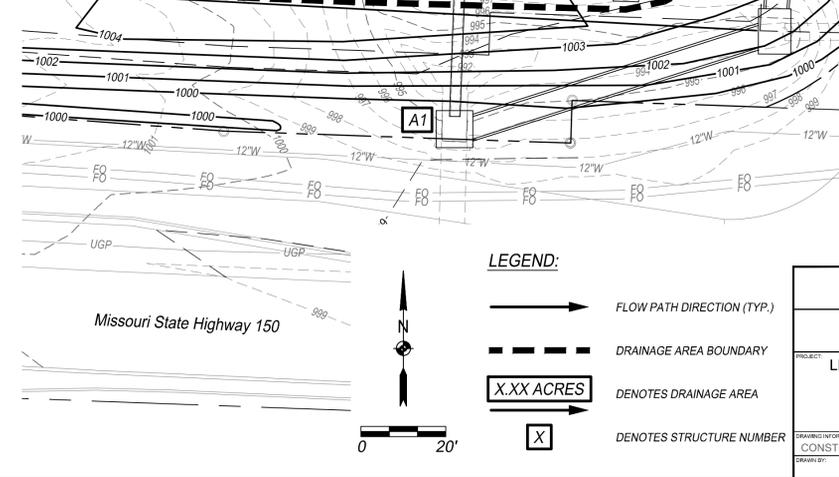
SBB Proj. No. 21-288

Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: _____ CHECKED BY: _____
RELEASED: 10.23.23 REVISIONS: _____	UTILITY PLAN C-301





RUNOFF						PIPE FLOW DATA														PIPE DESIGN (n = 0.012 HDPE, n = 0.022 CMP)				
STRUC ID	INCREMENTAL RUNOFF COEFFICIENT "C"	AREA "A" (AC.)	C X A	CUMULATIVE AREA "A" (AC.)	C X A	SYSTEM TIME OF CONCENTRATION "Tc" AT STRUCTURE (MIN)	RAINFALL INTENSITY "I _{2/10} /I ₁₀₀ " (IN/HR)		ANTECEDENT PRECIPITATION FACTOR "K _{2/10} /K ₁₀₀ "		RUNOFF "Q _{2/10} /Q ₁₀₀ "	UPSTREAM STRUCTURE NUMBER	DOWNSTREAM STRUCTURE NUMBER	DIAMETER "D" (IN)	LENGTH "L" (FT)	UPSTREAM INVERT ELEVATION	DOWNSTREAM INVERT ELEVATION	100-YR HGL UPSTREAM	100-YR HGL DOWNSTREAM	SLOPE "S" (FT/FT)	TRAVEL TIME IN PIPE "TT" (MIN)	VELOCITY FULL V _f (FPS)	RUNOFF "Q _{2/10} /Q ₁₀₀ "	FULL FLOW Q (CFS)
							5.41/7.35/10.32	1.00/1.00/1.25	1.00/1.00/1.25	5.8/7.9/13.9														
A4	0.81	1.33	1.08	1.33	1.08	5.0	5.41/7.35/10.32	1.00/1.00/1.25	5.8/7.9/13.9	A4	A3	18	61.89	1000.75	1000.00	1002.03	1001.30	0.0121	0.1	7	5.8/7.9/13.9	12.5		
A3	0.81	0.74	0.60	2.07	1.68	5.0	5.41/7.35/10.32	1.00/1.00/1.25	9.1/12.3/21.6	A3	A2	24	130.31	999.80	998.50	1001.30	999.81	0.0100	0.3	8	9.1/12.3/21.6	24.5		
A2	0.81	0.00	0.00	2.40	1.94	5.0	5.41/7.35/10.32	1.00/1.00/1.25	10.5/14.3/25.1	A2	A1	24	33.46	995.90	994.40	997.50	995.30	0.0448	0.0	17	10.5/14.3/25.1	51.9		
B1	0.81	0.33	0.27	0.33	0.27	5.0	5.41/7.35/10.32	1.00/1.00/1.25	1.4/2.0/3.4	B1	A2	15	39.36	999.35	998.50	1000.02	998.96	0.0216	0.1	8	1.4/2.0/3.4	10.3		
C0	0.81	0.05	0.04	0.05	0.04	5.0	5.41/7.35/10.32	1.00/1.00/1.25	0.2/0.3/0.5	C0	C1	6	65.00	1003.00	1002.00	1003.33	1002.28	0.0154	0.3	4	0.2/0.3/0.5	0.8		
C1	0.81	0.05	0.04	0.10	0.08	5.0	5.41/7.35/10.32	1.00/1.00/1.25	0.4/0.6/1.0	C1	C2	8	61.08	1001.80	1001.00	1002.23	1001.39	0.0131	0.2	4	0.4/0.6/1.0	1.5		
C2	0.81	0.03	0.02	0.13	0.11	5.0	5.41/7.35/10.32	1.00/1.00/1.25	0.6/0.8/1.4	C2	C3	8	48.79	1000.80	1000.00	1001.29	1000.79	0.0164	0.2	5	0.6/0.8/1.4	1.7		
C3	0.81	0.17	0.14	0.30	0.24	5.0	5.41/7.35/10.32	1.00/1.00/1.25	1.3/1.8/3.1	C3	C4	10	36.13	999.80	999.00	1000.49	999.55	0.0221	0.1	6	1.3/1.8/3.1	3.5		



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Lee's Summit, Missouri
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CASEY'S CONSTRUCTION DIVISION
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PROJECT: LEE SUMMIT, MO #4291
HIGHWAY 150 & ARBORIDGE DRIVE
"U4" - STYLE STORE

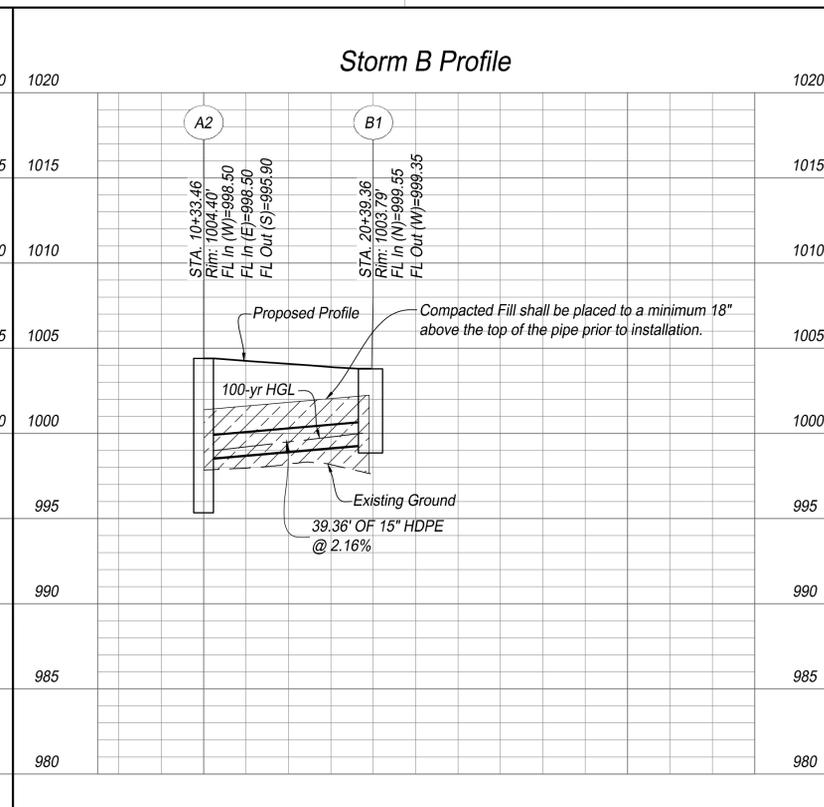
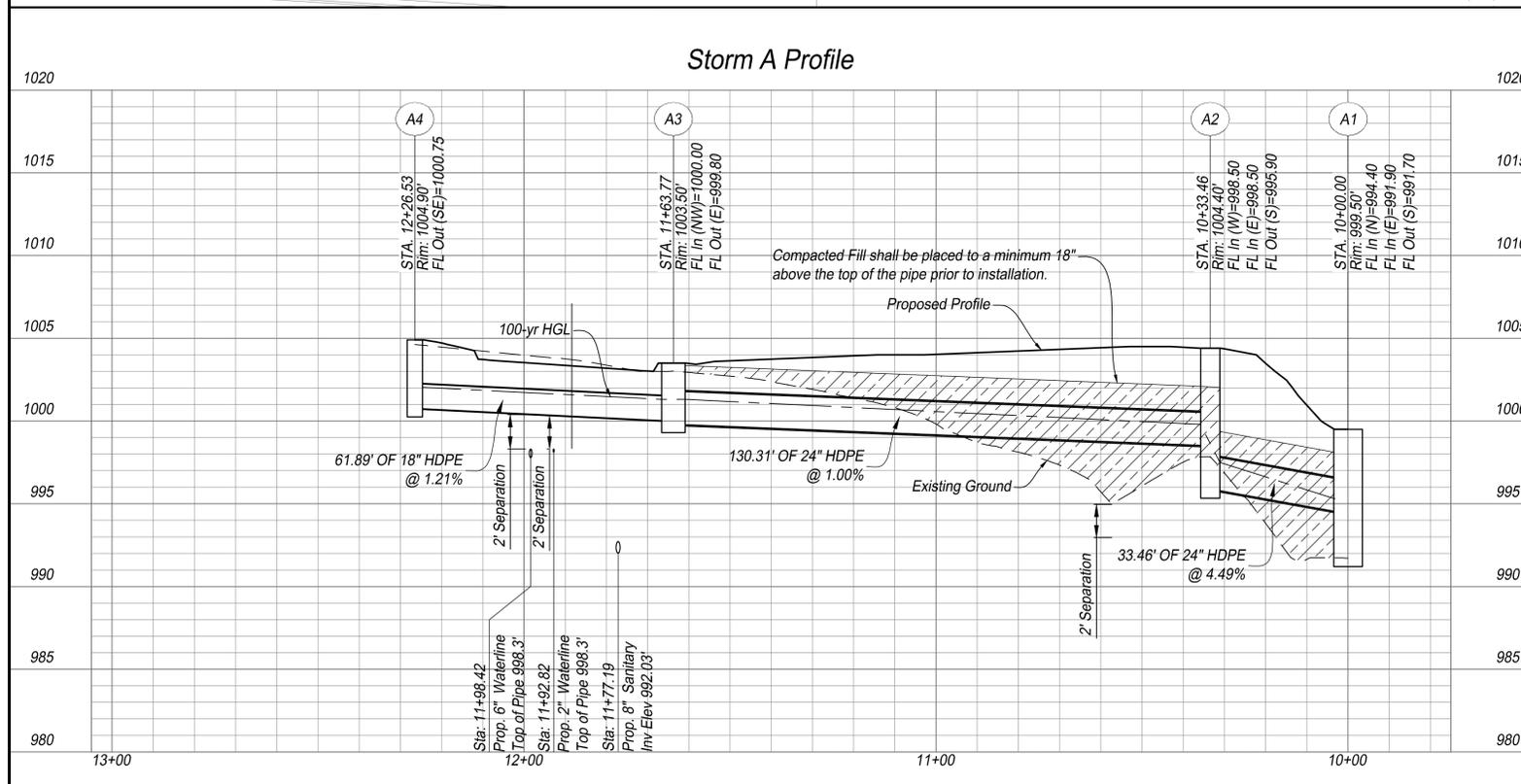
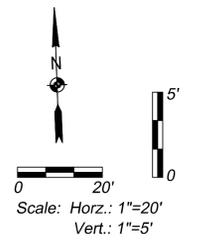
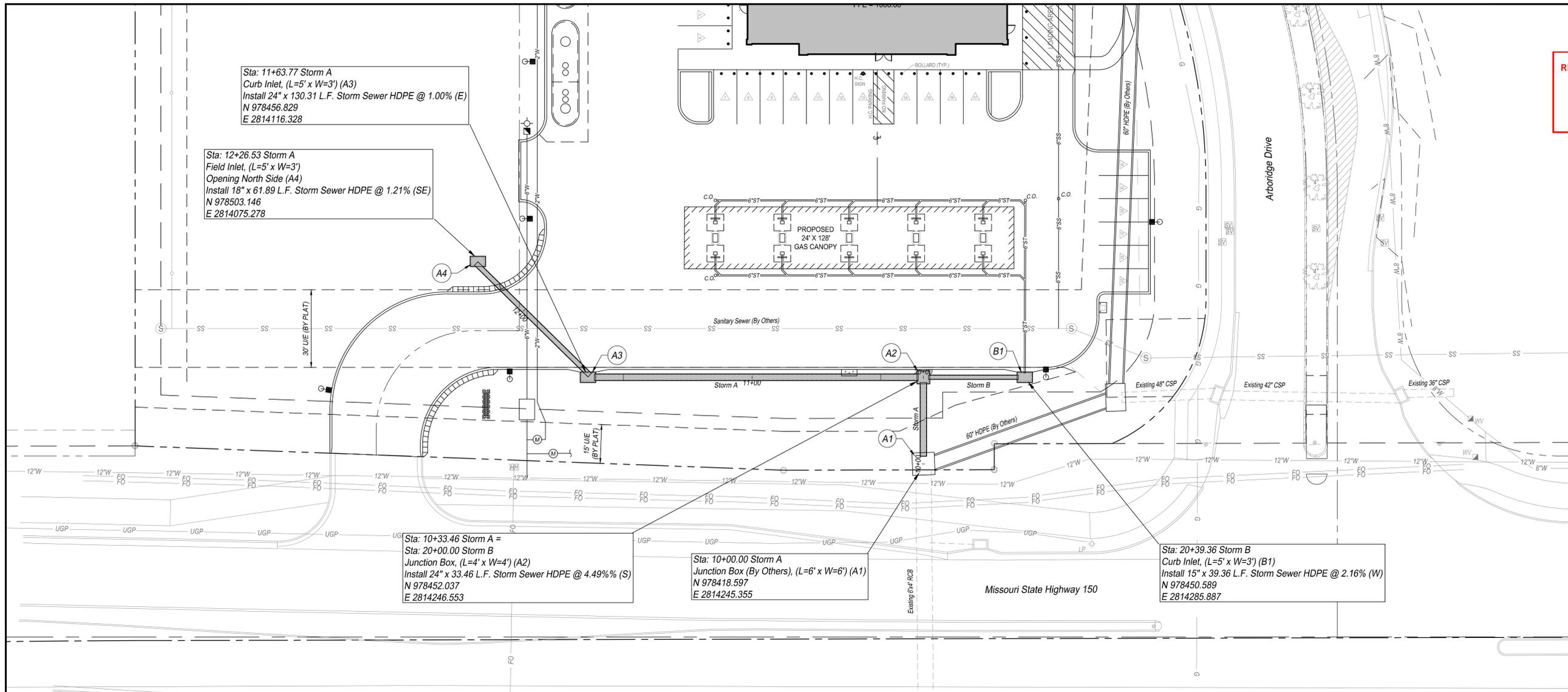
DATE: 10.23.23
REVISIONS: 10/23/2023

DRAWING INFORMATION:
CONSTRUCTION DIVISION
DRAWN BY: [] CHECKED BY: []

DRAINAGE MAP

C-302

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STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 NUMBER PE-2016002542
 10/23/2013

SBB Proj. No. 21-288

Casey's
 CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

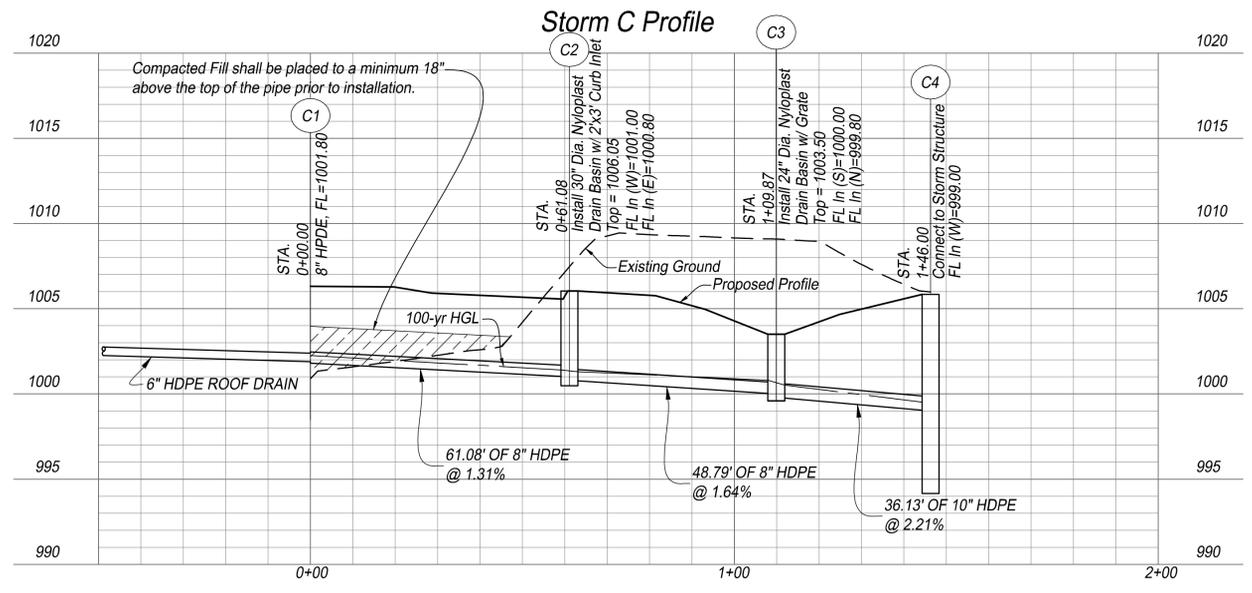
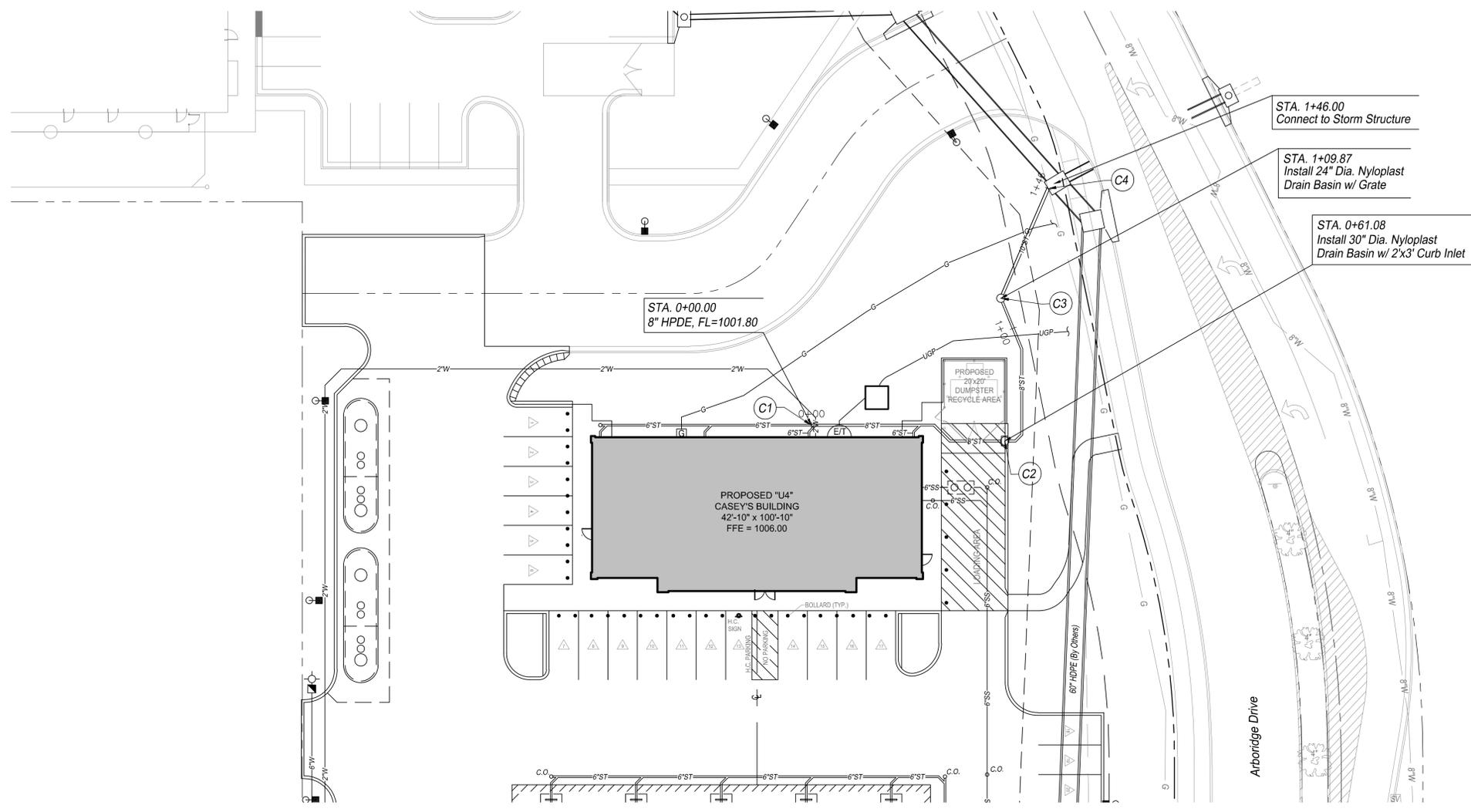
PROJECT: LEE SUMMIT, MO #4291
 HIGHWAY 150 &
 ARBORIDGE DRIVE
 "U4" - STYLE STORE

DATE: 10.23.23

CONSTRUCTION DIVISION

C-303

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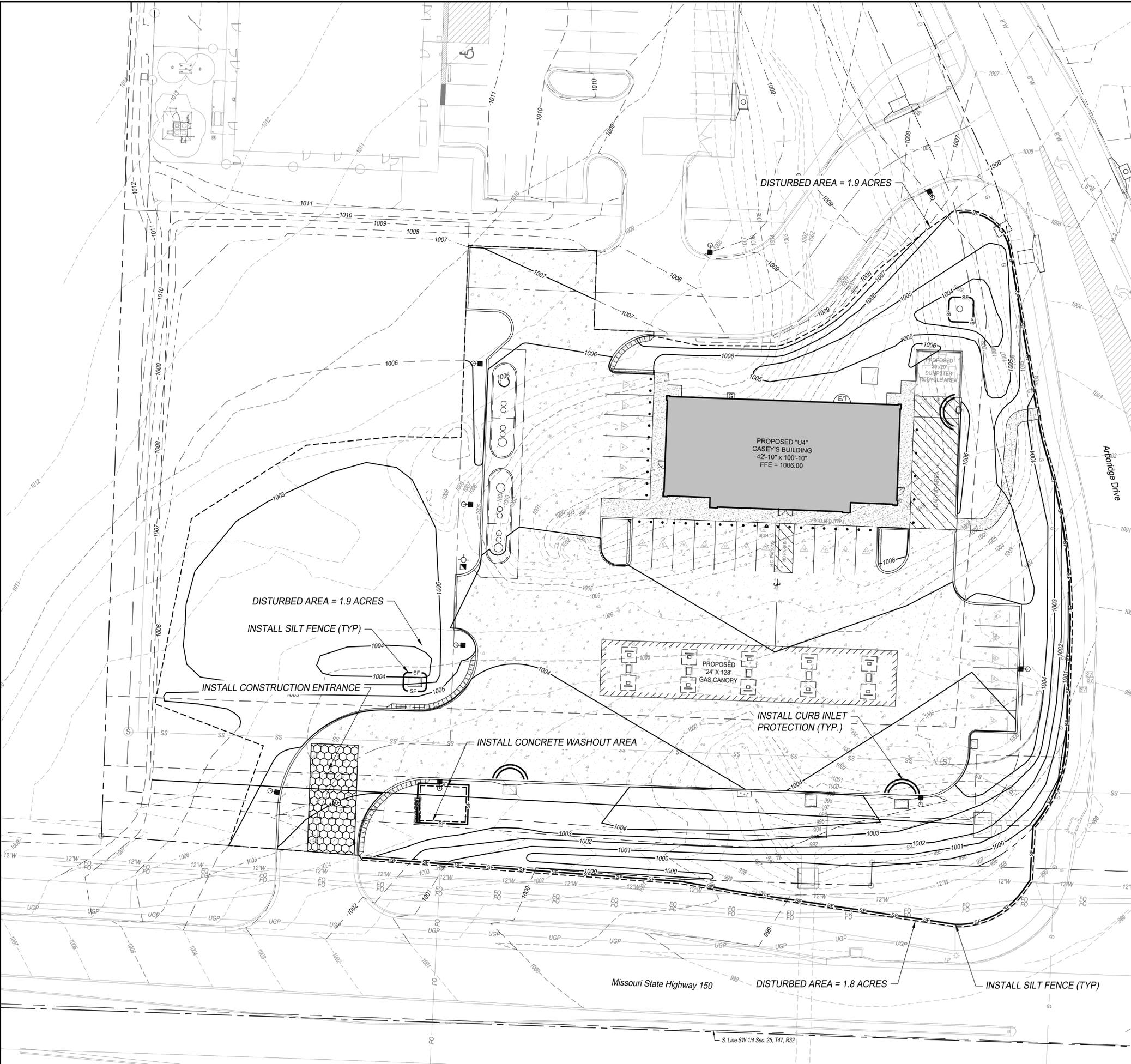


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JEFFREY W. LAUBACH
 10/23/2023
 NUMBER
 PE-2016002542
 PROFESSIONAL ENGINEER

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Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DATE: 10.23.23
CONSTRUCTION DIVISION	DRAWING INFORMATION: STORM SEWER LINE C PLAN & PROFILES
DRAWN BY:	C-304



GENERAL NOTES:

1. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY VARY FROM WHAT IS INDICATED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNER TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WHETHER INDICATED OR NOT. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
2. ALL DISTURBED AREAS THAT ARE NOT PAVED OR LANDSCAPED SHALL BE SEED, FERTILIZED AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS. SOIL STABILIZATION SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.

EROSION CONTROL GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING, MONITORING AND MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) AT ALL TIMES DURING THE CONSTRUCTION ON THIS PROPERTY.
2. PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS, CONTRACTOR SHALL INSTALL PERIMETER WATTLES AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. THE INLET PROTECTION AND ADDITIONAL WATTLES WITHIN WORK AREA SHALL BE INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE INLETS AND COMPLETION OF ROUGH GRADING.
3. EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR NOT LESS THAN WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO SEDIMENT REMOVAL AND SILT FENCE REPAIR AND/OR REPLACEMENT. FIELD ADJUSTMENTS MAY BE MADE AS NECESSARY TO ENSURE OPTIMAL PERFORMANCE.
4. CONTRACTOR SHALL CLEAR ALL SURROUNDING PARKING LOTS AND STREETS OF ANY TRACKED DEBRIS BY SWEEPING OR SCRAPING THE EXISTING PAVEMENT BY THE END OF EACH WORKDAY AND THE CONTRACTOR SHALL CLEAN UP SOIL WASHED OFF THE CONSTRUCTION SITE AFTER A STORM BY THE END OF THE NEXT WORKDAY.
5. DURING ALL SOIL DISTURBING ACTIVITIES, THE CONTRACTOR WILL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO MINIMIZE THE TIME OF EXPOSURE OF UNPROTECTED SOIL AND OTHER CONSTRUCTION MATERIALS TO RAINFALL.
6. CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED AND REPAIRED.
7. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL GRASS COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY ENGINEER.
8. ALL AREAS SHALL BE GRADED TO FINISHED GRADE PRIOR TO SEEDING AND MULCHING. ALL AREAS NOT PART OF THE HARDSCAPE OR OTHER NOTED LANDSCAPING SHALL BE PERMANENTLY SEED, FERTILIZED AND MULCHED.
9. ALL WATTLES SHALL BE STRAW WATTLE WS-12 AS MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL. THE WATTLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR MAY USE WATTLES AND SILT FENCE INTERCHANGEABLY IN AREAS IDENTIFIED ON THE DRAWINGS.
10. THE CONTRACTOR HAS THE OPTION TO MODIFY THE LOCATION OF THE CONSTRUCTION ENTRANCE TO FIT THE PREFERRED WORK PATTERN.

WASTE DISPOSAL:

1. WASTE MATERIALS: ANY WASTE AND OTHER UNUSABLE MATERIALS WILL BE REMOVED FROM THE SITE ON A REGULAR BASIS AND PROPERLY DISPOSED OF IN AN APPROVED SITE.
2. CHEMICAL WASTE: ALL CHEMICAL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A TIGHTLY SEALED METAL OR OTHER CHEMICAL RESISTANT CONTAINER. THE CONTAINER WILL MEET ALL LOCAL AND ANY STATE SOLID WASTE MANAGEMENT REGULATIONS. THE WASTE MATERIALS AND ALL DISPOSABLE MATERIALS WILL BE TRANSPORTED TO A COMMERCIAL CHEMICAL DISPOSAL FACILITY CAPABLE OF EITHER RECYCLING OR PROPERLY DISPOSING OF THE POLLUTANTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. THE STATE WASTE MANAGEMENT SECTION CONTACT NUMBER IS (573) 751-3176.
3. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS, SUCH AS OIL FILTERS, PETROLEUM PRODUCTS, EQUIPMENT MAINTENANCE FLUIDS AND PAINTS, SHALL NOT BE STORED ON SITE AND WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE AND/OR FEDERAL REGULATIONS. IF THERE ARE QUESTIONS REGARDING THE PROPER HANDLING OF HAZARDOUS WASTE THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HAZARDOUS WASTE PROGRAM AT (573) 751-3176.
4. SANITARY WASTE: PORTABLE TOILET FACILITIES WILL BE PROVIDED ON THE PROJECT SITE AND SERVICED BY THE PROVIDER ON A REGULAR BASIS.

MATERIAL MANAGEMENT PRACTICES:

- GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING CONSTRUCTION.
1. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN ORIGINAL CONTAINERS IF APPROPRIATE.
 2. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABELS.
 3. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

SPILL PREVENTION:

1. PETROLEUM PRODUCTS: ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
2. FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. FERTILIZER SHALL NOT BE STORED ON-SITE.
3. CONCRETE TRUCKS: CONCRETE TRUCKS ARE LIMITED TO A DESIGNATED AREA TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. PROPER SIGNAGE SHALL BE INSTALLED AND MAINTAINED ON SITE DEFINING DIRECTIONS TO AND LOCATIONS OF THE SPECIFIED WASH OUT AREA. IF A WASH OUT AREA CANNOT BE DESIGNATED OR MAINTAINED ON SITE, CONCRETE WASH OUT AND DISPOSAL MAY BE PROHIBITED AT THE OWNERS DISCRETION.

LEGEND:

- 1005 — PROPOSED CONTOURS
- - - 1005 - - - PROPOSED CONTOURS BY OTHERS
- - - 1004 - - - EXISTING CONTOURS
- - - SF - - - SILT FENCE
- () — CURB INLET PROTECTION
- - - - - DISTURBED AREA = 1.9 ACRES
- [] — CONSTRUCTION ENTRANCE
- - - - - CONCRETE WASHOUT AREA

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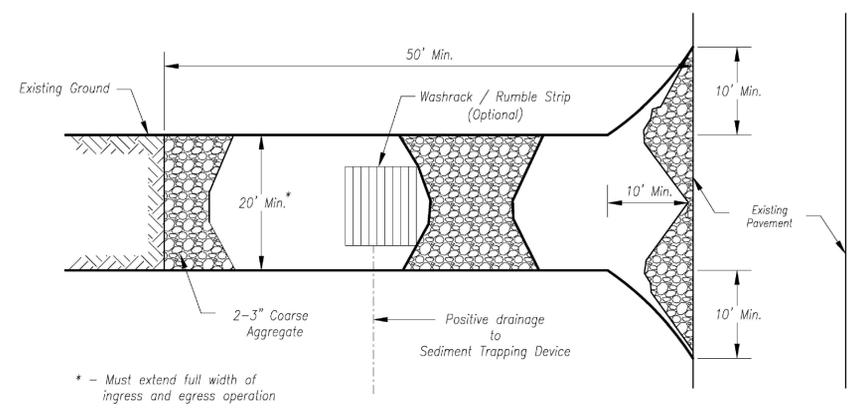
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: _____ CHECKED BY: _____
DATE: 10.23.23 REVISIONS: _____	EROSION CONTROL PLAN <div style="text-align: center; font-size: 24pt; font-weight: bold;">C-401</div>



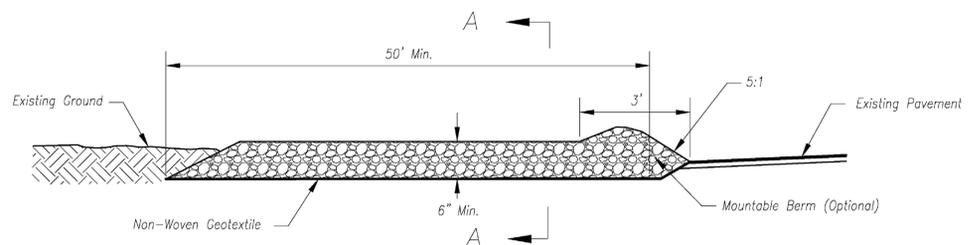
Missouri State Highway 150 DISTURBED AREA = 1.8 ACRES INSTALL SILT FENCE (TYP)

S. Line SW 1/4 Sec. 25, T47, R32

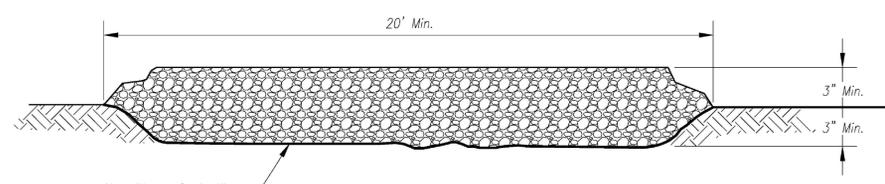
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 Lee's Summit, Missouri
 12/01/2023



Plan View
 Not to Scale



Side Elevation
 Not to Scale



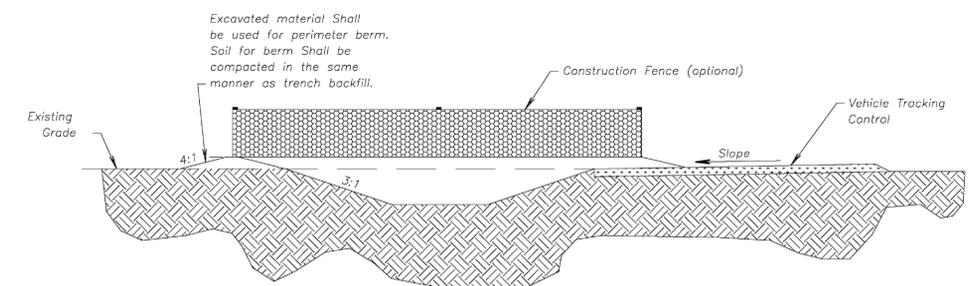
Section A-A
 Not to Scale

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

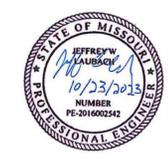
Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

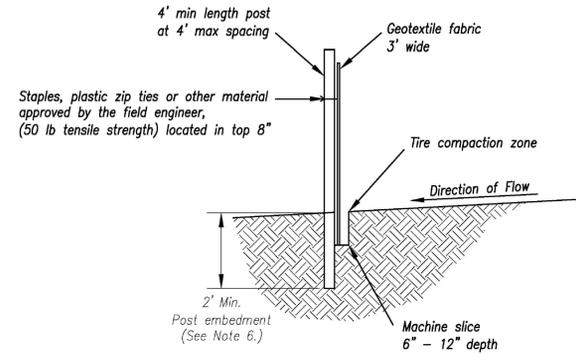
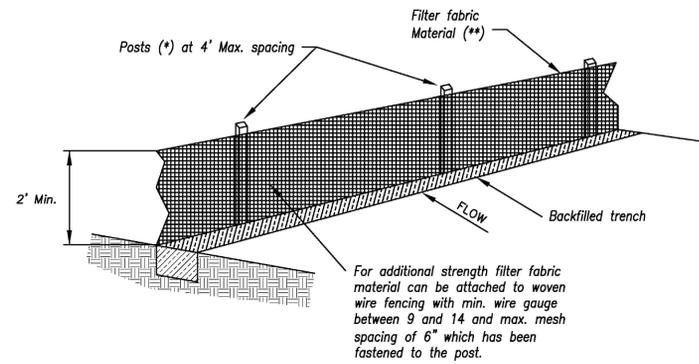
CONSTRUCTION ENTRANCE

AMERICAN PUBLIC WORKS ASSOCIATION	
 Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.



Casey's									
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100									
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DRAWING INFORMATION: RELEASED: 10.23.23 REVISIONS: <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
DRAWING INFORMATION: CONSTRUCTION DIVISION	EROSION CONTROL DETAILS C-402								



- (*) POSTS**
- MIN. LENGTH 4'
 - HARDWOOD 1 3/16" x 1 3/16"
 - NO.2 SOUTHERN PINE 2 3/8" x 2 3/8"
 - STEEL 1.33 LB/FT

()** - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS
Not to Scale

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

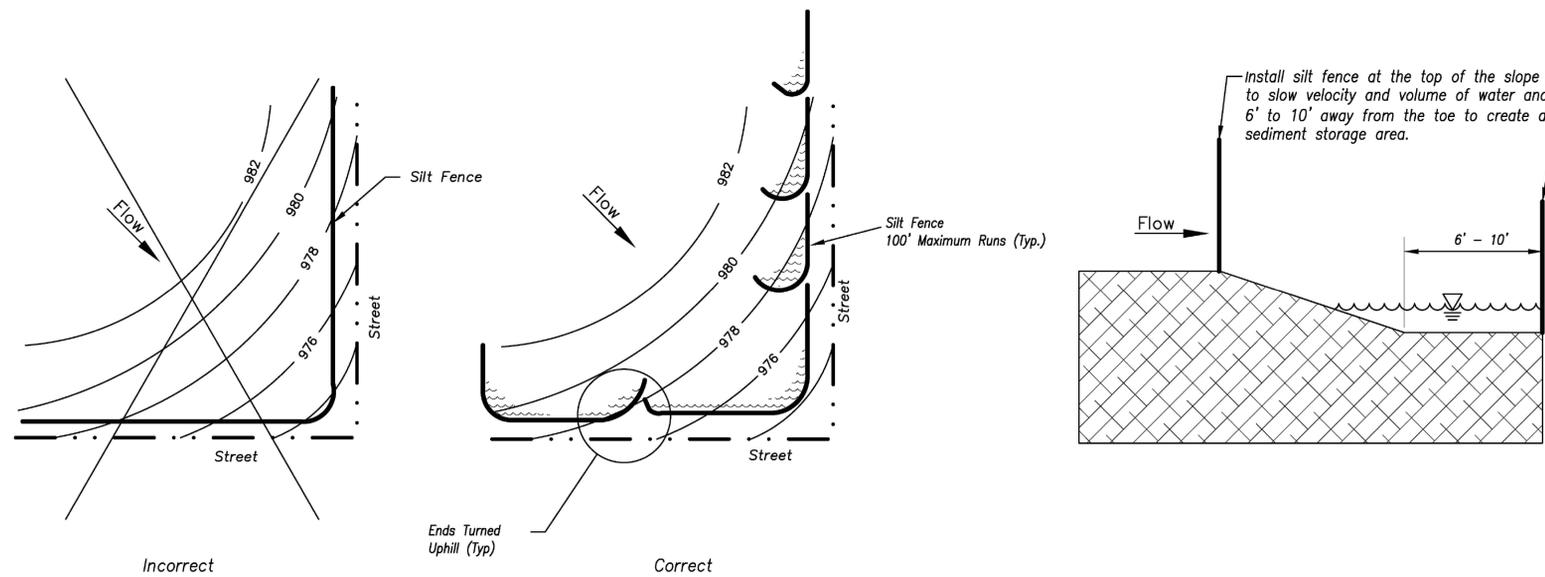
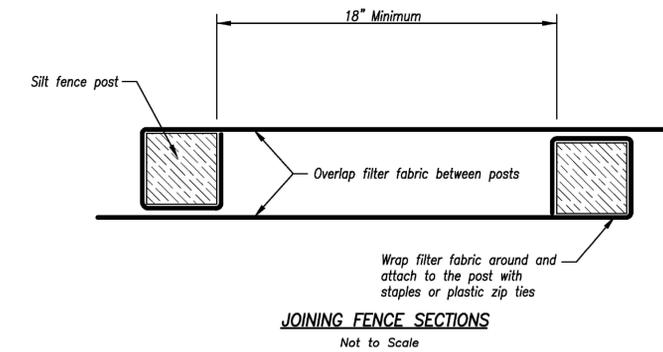


Figure A

SILT FENCE LAYOUT
Not to Scale



JOINING FENCE SECTIONS
Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

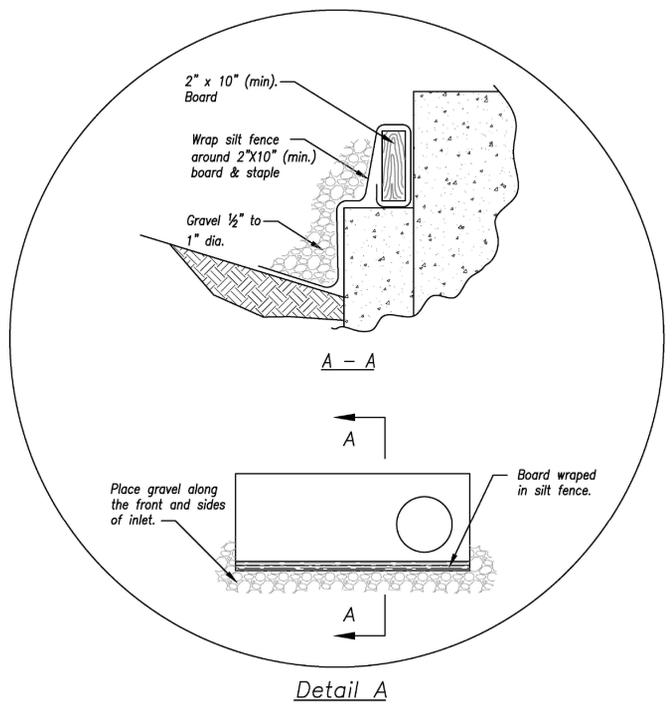
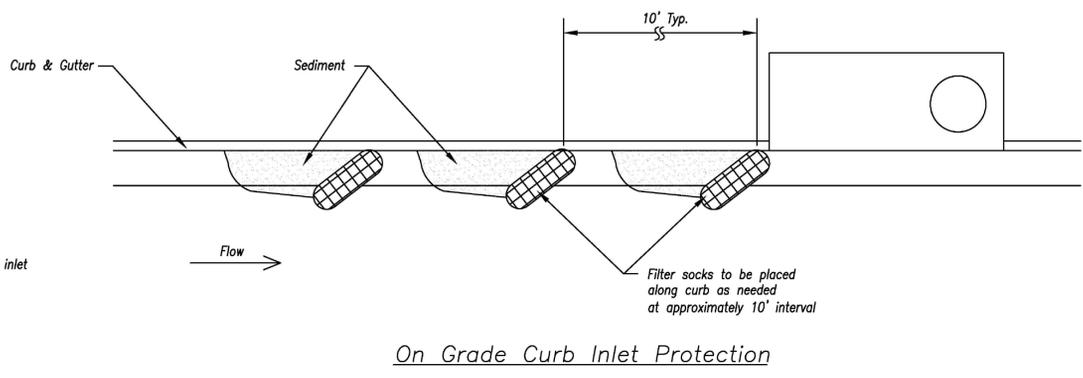
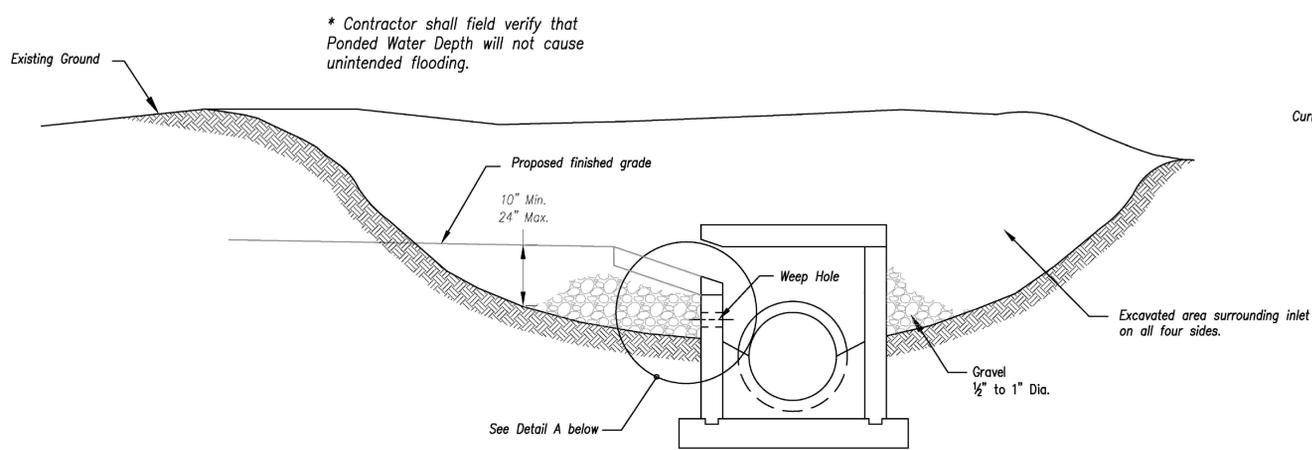
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



SBB Proj. No. 21-288

Casey's							
CASEY'S CONSTRUCTION DIVISION <small>One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100</small>							
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	RELEASED: 10.23.23 REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>						
DRAWING INFORMATION: CONSTRUCTION DIVISION	EROSION CONTROL DETAILS C-403						

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 12/01/2023



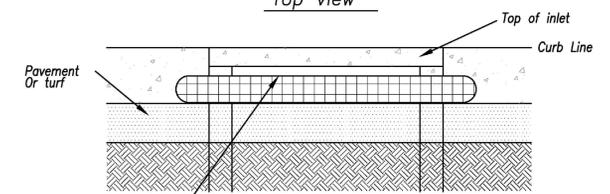
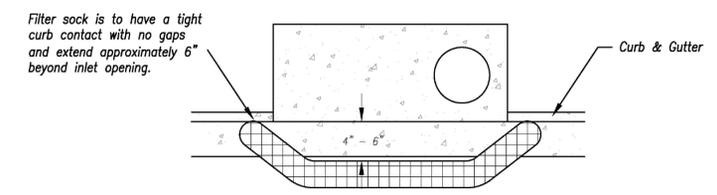
EARLY STAGE CURB INLET
 (Open Box and Prior to Pouring
 Curb and Inlet Throat)

Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
 (After Pouring Curb and Inlet Throat)

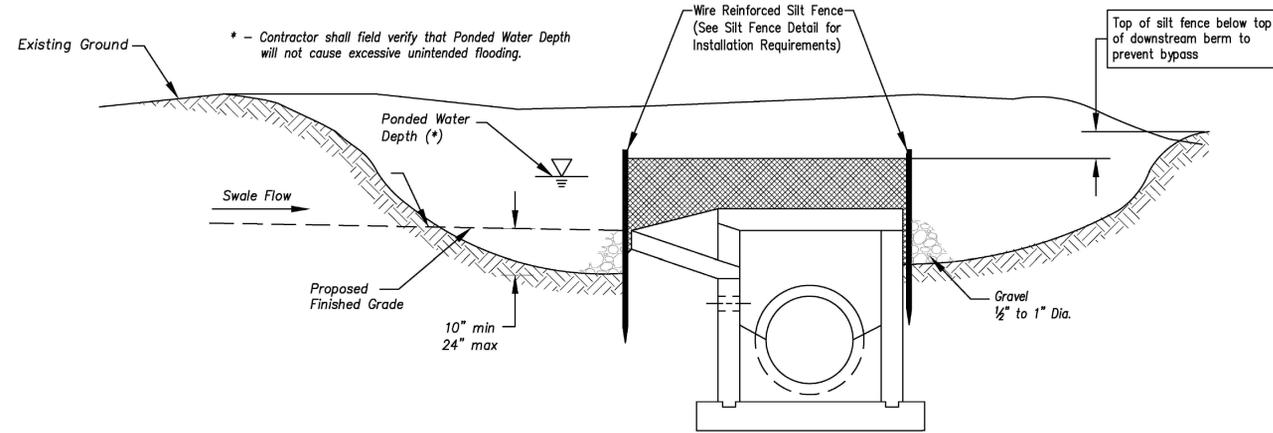
AMERICAN PUBLIC WORKS ASSOCIATION	
 Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details
 for Erosion and Sediment Control.

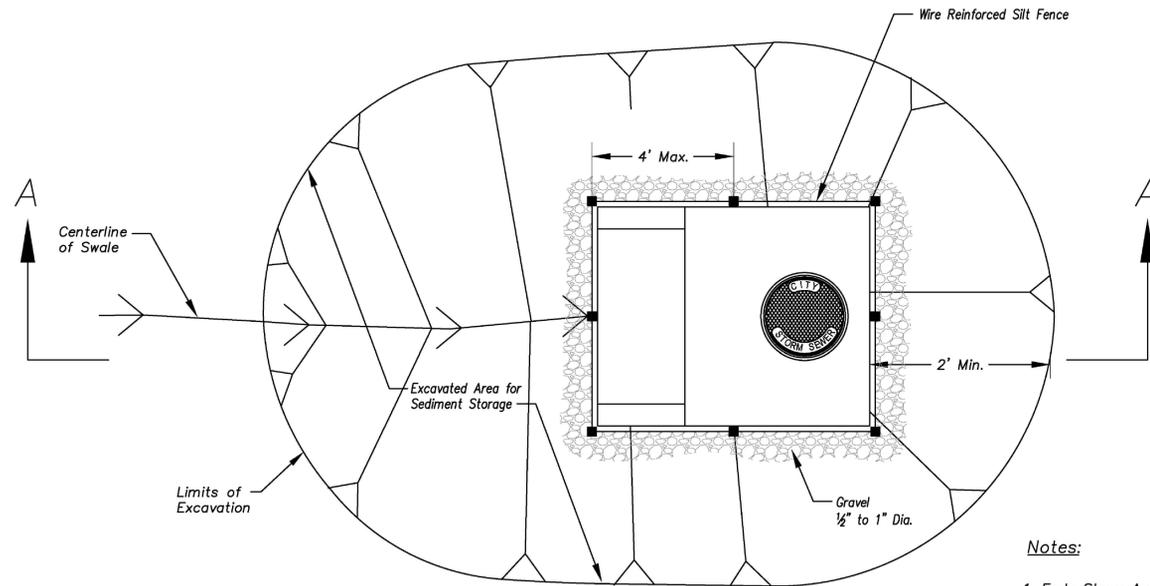


	
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PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	RELEASED: 10.23.23 REVISIONS:
DRAWING INFORMATION: CONSTRUCTION DIVISION	EROSION CONTROL DETAILS <hr/> C-404

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 Lee's Summit, Missouri
 12/01/2023



Section A-A
 Not to Scale

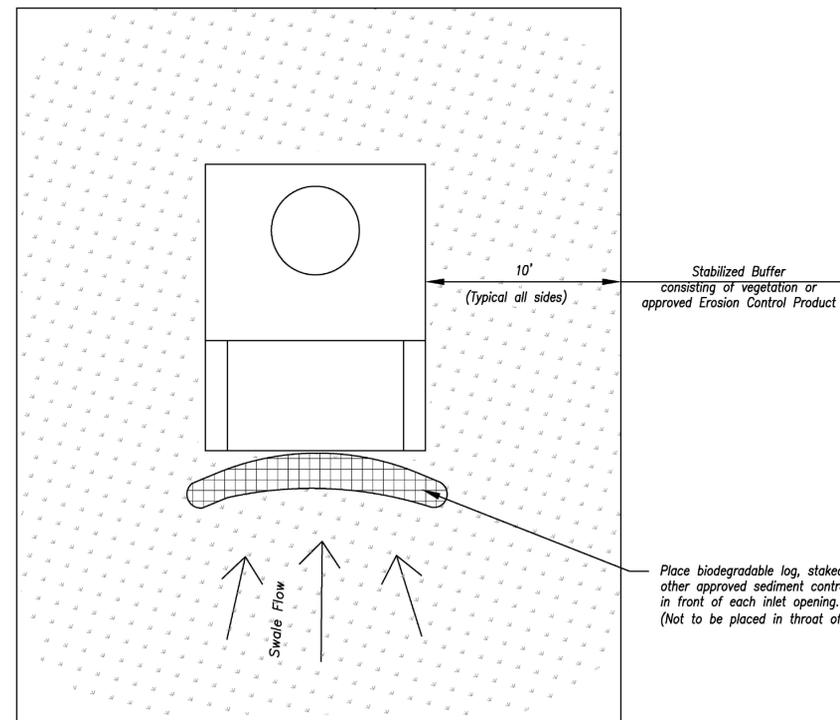


Plan
 Not to Scale

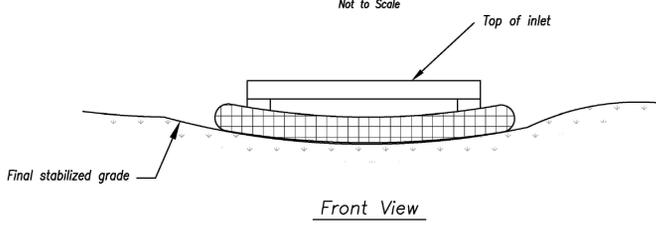
EARLY STAGE AREA INLET
 (All open boxes and inlets not at final grade)

Notes:

1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.



Plan
 Not to Scale



Front View

LATE STAGE AREA INLET
 (Area inlets at final grade and existing inlets)

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

AMERICAN PUBLIC WORKS ASSOCIATION



KANSAS CITY
 METRO CHAPTER

AREA INLET AND
 JUNCTION BOX PROTECTION

STANDARD DRAWING
 NUMBER ESC-07

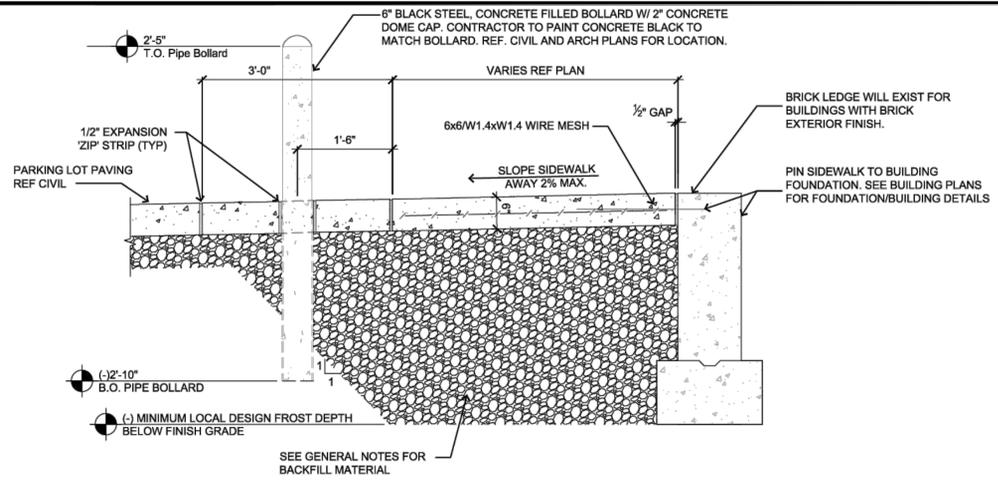
ADOPTED:
 10/24/2016

Modified from 2015 Overland Park Standard Details
 for Erosion and Sediment Control.



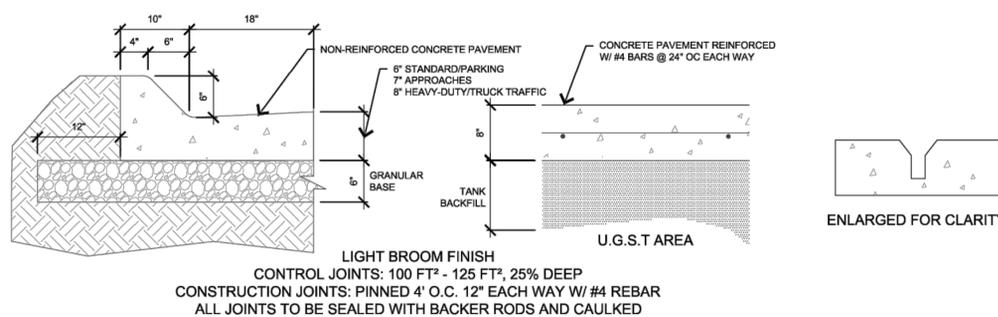
SBB Proj. No. 21-288

Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	DATE: 10.23.23
DRAWING INFORMATION: CONSTRUCTION DIVISION	EROSION CONTROL DETAILS
DRAWN BY:	CHECKED BY:
C-405	



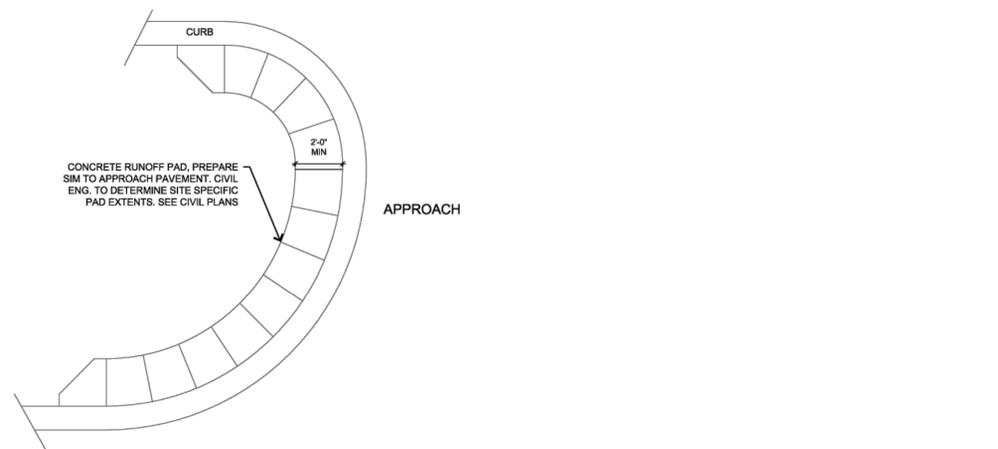
1 TYPICAL BUILDING SIDEWALK AND BOLLARD

3/4" = 1'-0" ***SUBGRADE AGGREGATE SECTION TO BE DESIGNED BASED ON SITE SOILS AND USE***



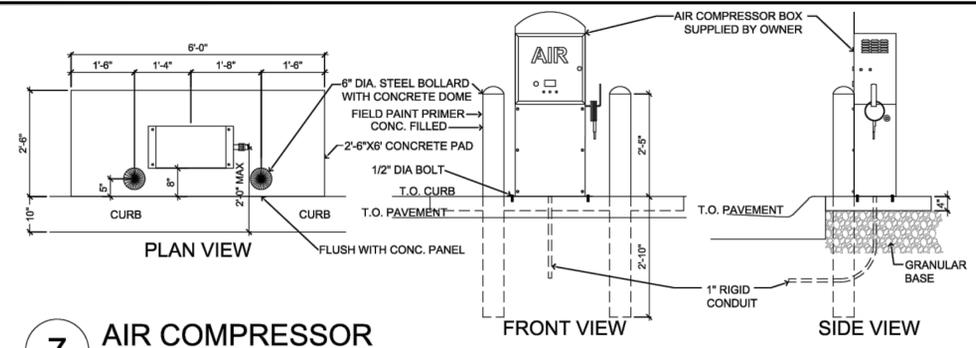
2 CONCRETE PAVING AND CURB

Not to Scale



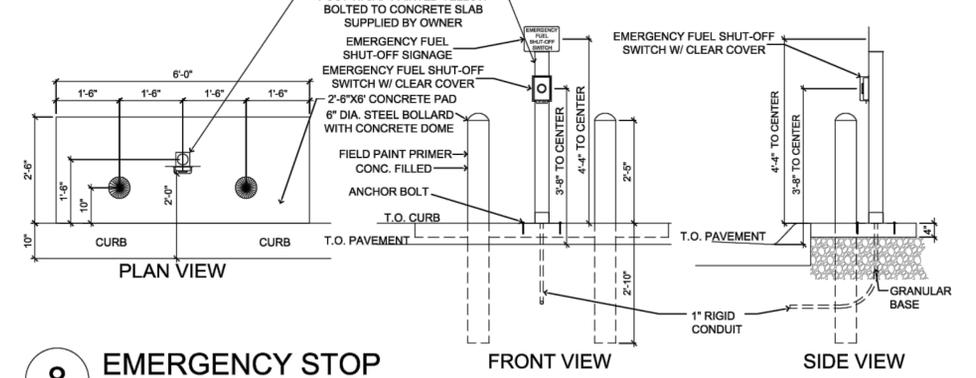
4 LANDSCAPE PROTECTOR

Not to Scale



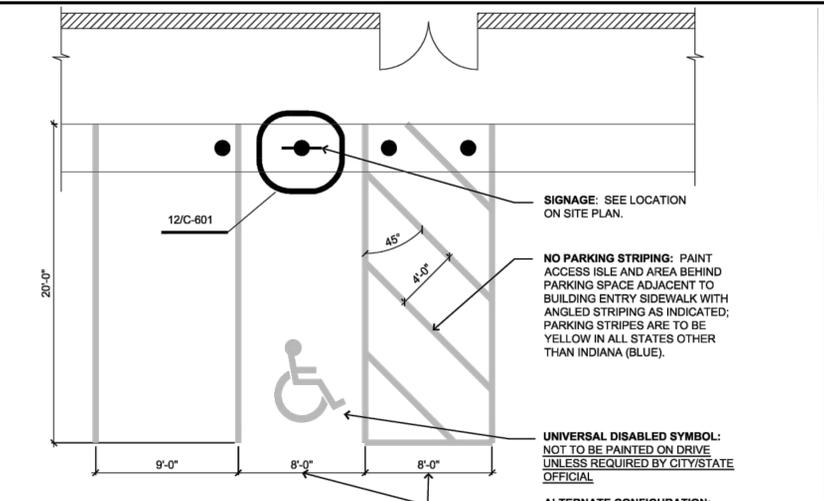
7 AIR COMPRESSOR

1/2" = 1'-0"



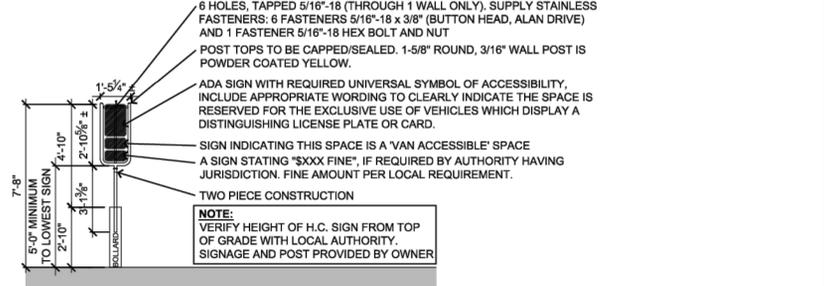
8 EMERGENCY STOP

1/2" = 1'-0"



11 ADA PARKING SPACES

3/16" = 1'-0"



12 ADA PARKING SIGN

1/4" = 1'-0"

*** THE STATE OF TENNESSEE REQUIRES LANGUAGE BELOW THE UNIVERSAL SYMBOL LISTING OUT THE FINE AMOUNT FOLLOWED BY THE BUSINESS NAME AND BUSINESS TELEPHONE NUMBER. THE VAN ACCESSIBLE SIGN IS TO REMAIN BELOW THE MAIN SIGN.***

GENERAL NOTES

- Concrete:**
- All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's "Standard Building Code Requirements for Reinforced Concrete," (ACI 318) and "Specifications for Structural Concrete for Buildings," (ACI 301).
 - Concrete shall use type II cement. Concrete mix designs shall meet the following requirements:

	MINIMUM 28-DAY f_c	MAXIMUM W/C RATIO	SLUMP	AIR ENTRAIN.
Exterior exposed concrete	4,000 psi	0.42	4" ± 1"	6% ± 1%
 - If Contractor desires to increase slump above allowable limits to facilitate placement or pumping, this shall be done utilizing a superplasticizer approved by the Ready Mix Designer at a dosage rate provided by Ready Mix Designer.
 - The Contractor shall reject any concrete that exceeds the slump limits noted above (prior to adding superplasticizer) or concrete that can not be placed within ninety (90) minutes of batch time.
 - No aluminum shall be placed in concrete.
 - All concrete is reinforced unless specifically noted as Unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar sections or areas.
 - During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations ACI-305 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI-306 "Cold Weather Concreting".
 - The concrete mix designs are to be submitted as a formal submittal to the Owner for acceptance PRIOR to concrete being delivered to the site.
 - Verify with local authorities the required thickness of poured concrete for approaches and parking lot.
- Sub-Base And Aggregate:**
- Sub-base Course Under Exterior Concrete Paved Surfaces: Spread and compact sub-base in 6"-9" lifts compacted to 98% Standard Proctor.
 - Aggregate backfill as follows or approved equal by Casey's:
 - Building Slab - 3/4" to 1-1/2" max. clean stone
 - Building Sidewalk - 3/4" to 1-1/2" max. clean stone
 - Pavement - 1" to 1-1/2" max. stone with fines
 - Sidewalk Not Adjacent to Building - Same as pavement
 - Tank pit - See QF sheets

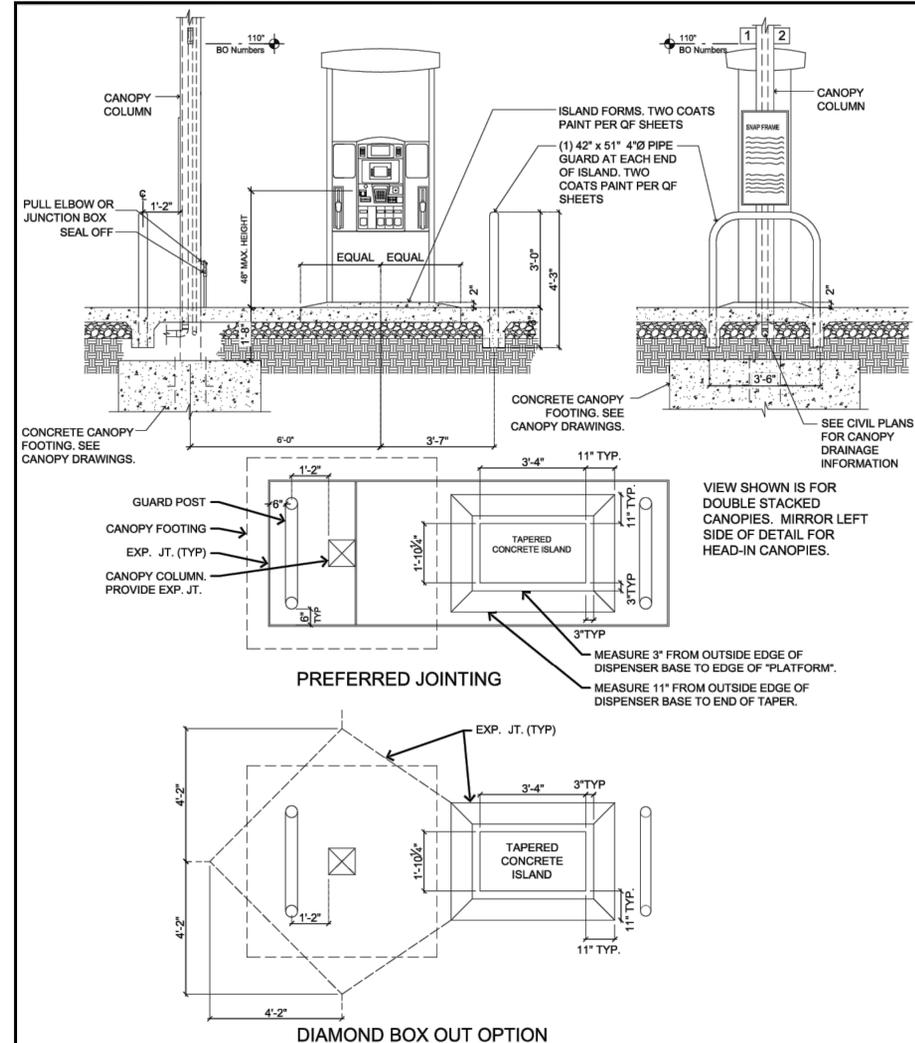
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101 South Kansas Avenue
Topeka, Kansas 66603
Ph: (785) 215-8630 / www.sbbeng.com

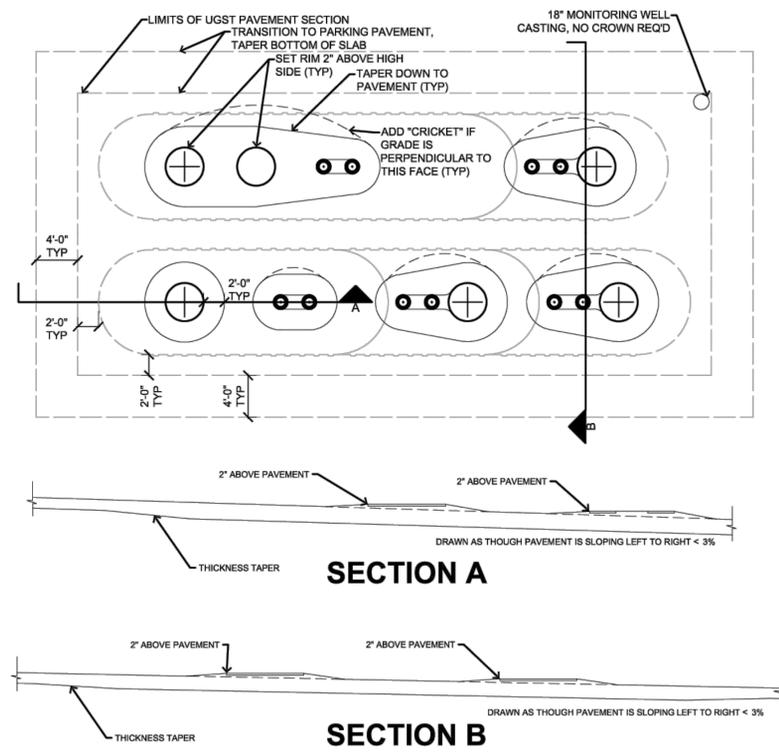
Casey's
CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

2023 CIVIL DETAILS		DRAWING INFORMATION	
DATE: 01/10/23	PROJECT: LEE SUMMIT, MO #4291	DATE: 10.23.23	STANDARD DETAILS
REVISION: 03/08/23	HIGHWAY 150 & ARBORIDGE DRIVE	REVISION: 10.23.23	
DRAWING INFORMATION		DRAWING INFORMATION	
CONSTRUCTION DIVISION		CONSTRUCTION DIVISION	
DRAWN BY:		CHECKED BY:	
C-601			

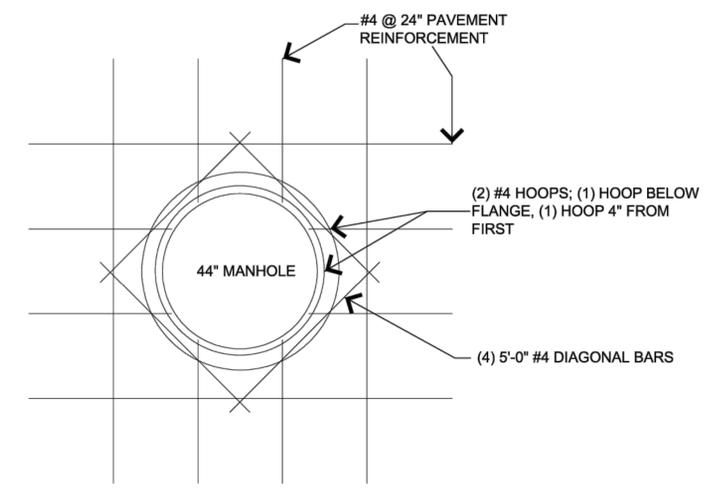
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 Lee's Summit, Missouri
 12/01/2023



1 GAS TAPERED FUEL ISLAND (PREFERRED OPTION)
 Not to Scale



4 UGST PAVING FOR PAVEMENT SLOPE < 3%
 Not to Scale



General Notes:
 1 ALL REINFORCING IS CENTER OF SLAB.

6 UGST Manhole Detail
 1/2\"/>

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 Topeka, Kansas 66603
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		Casey's	
2023 CIVIL DETAILS			
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100			
PUBLISHED: 01/10/23	PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	PUBLISHED: 10.23.23	DRAWING INFORMATION: STANDARD DETAILS
DRAWING INFORMATION: CONSTRUCTION DIVISION		C-602	

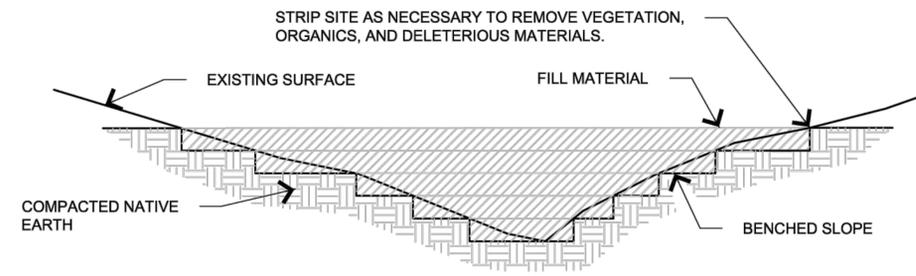


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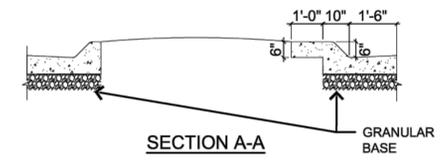
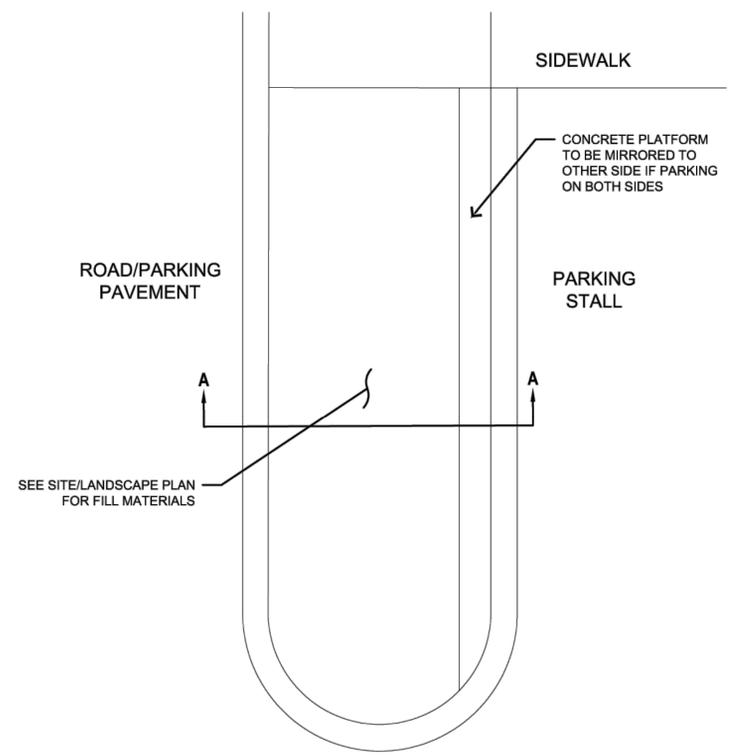
Development Services Department
Lee's Summit, Missouri

12/01/2023

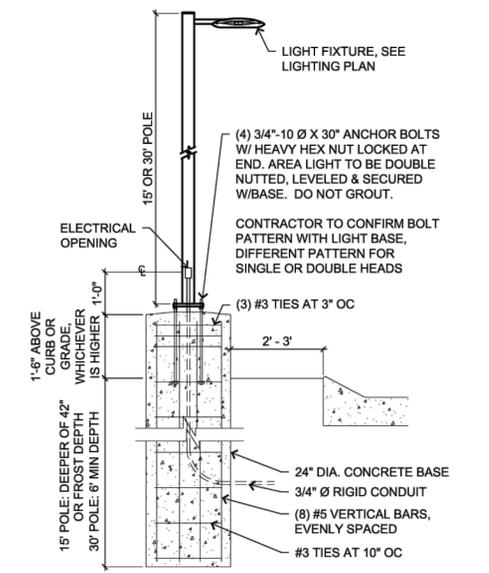


- NOTES:**
1. BENCH SLOPES TO MAINTAIN VERTICAL SIDE SLOPES AT FILL LIMITS +/- 3' VERTICAL TO +/- 8' HORIZONTAL.
 2. COMPACTION SHALL BE IN 8" LIFTS TO 95% STANDARD PROCTOR OR OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
 3. SCARIFY ORIGINAL GROUND AND BLEND WITH FIRST LIFT ON EACH BENCH.
 4. ALL FILL MATERIALS, INCLUDING FILL GENERATED ON-SITE, SHALL BE OF SUITABLE MATERIAL. UNSUITABLE FILL MATERIAL INCLUDES, BUT IS NOT LIMITED TO, SOIL THAT CONTAINS LARGE ROCKS, TREE AND PLANT ROOTS, CONCRETE, TRASH, ETC.

2 TYPICAL FILL SECTION
Not to Scale



7 PARKING LANDSCAPE ISLAND DETAIL
3/8" = 1'-0"



8 AREA LIGHTING
1/2" = 1'-0"

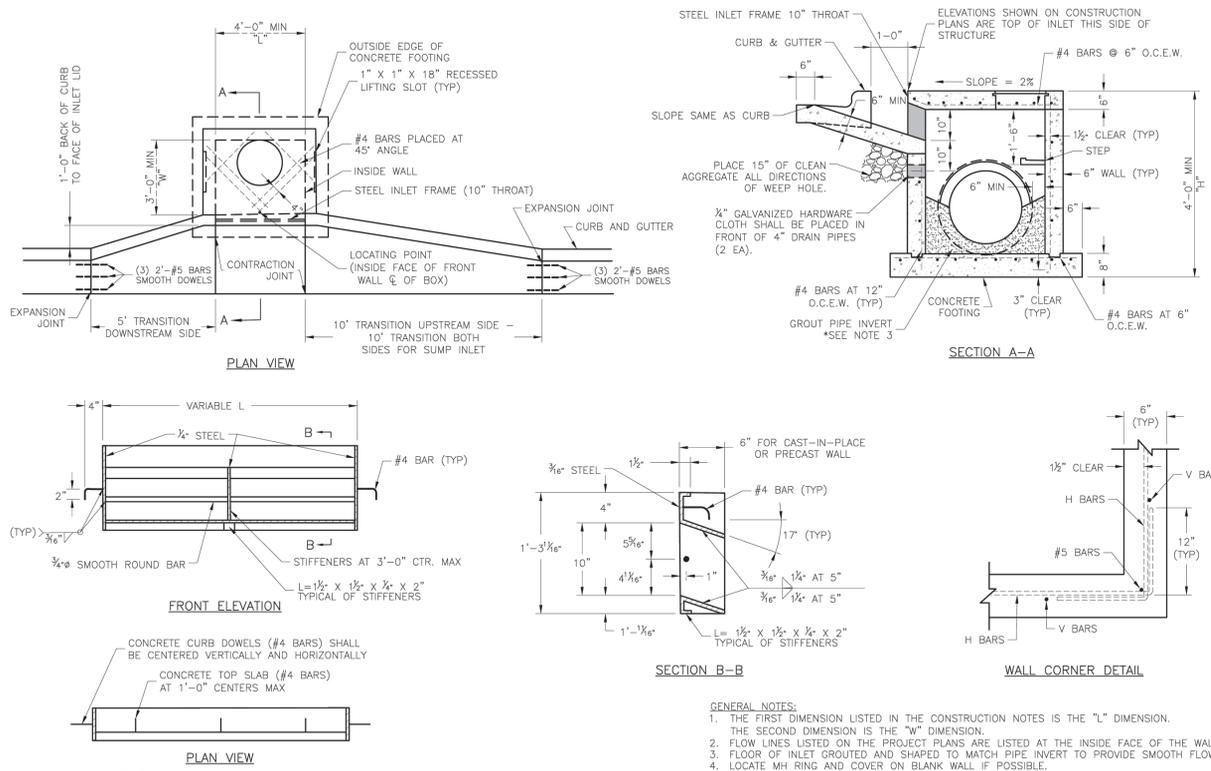


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Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
2023 CIVIL DETAILS	PROJECT: LEE SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE
PUBLISHED: 01/10/23 REVISIONS:	REVISIONS: 10.23.23 STANDARD DETAILS
DRAWING INFORMATION: CONSTRUCTION DIVISION	DRAWN BY: _____ CHECKED BY: _____
C-603	



STEEL FRAME NOTES:

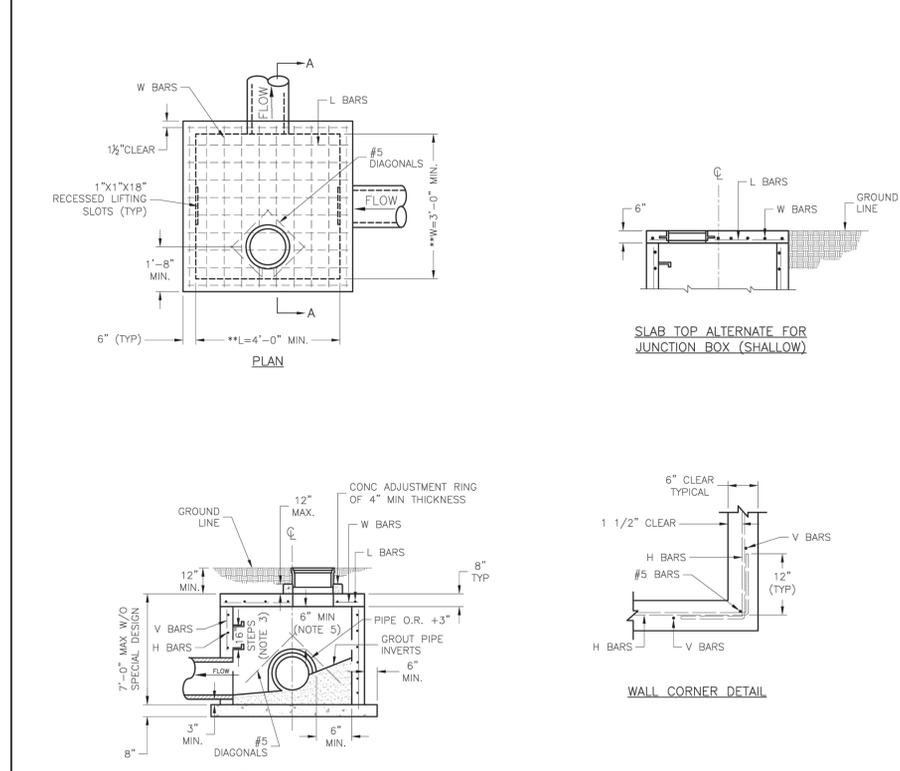
1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
2. ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
3. THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.

GENERAL NOTES:

1. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
2. FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.
3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
5. STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
6. BEVEL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLED EDGE.
7. ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
CURB INLET DETAIL
STM-1



** INCREASE IN MULTIPLES OF 6" (7'-0") MAX WITHOUT SPECIAL DESIGN. (SEE PROJECT PLANS FOR DETAILS)

REINFORCING

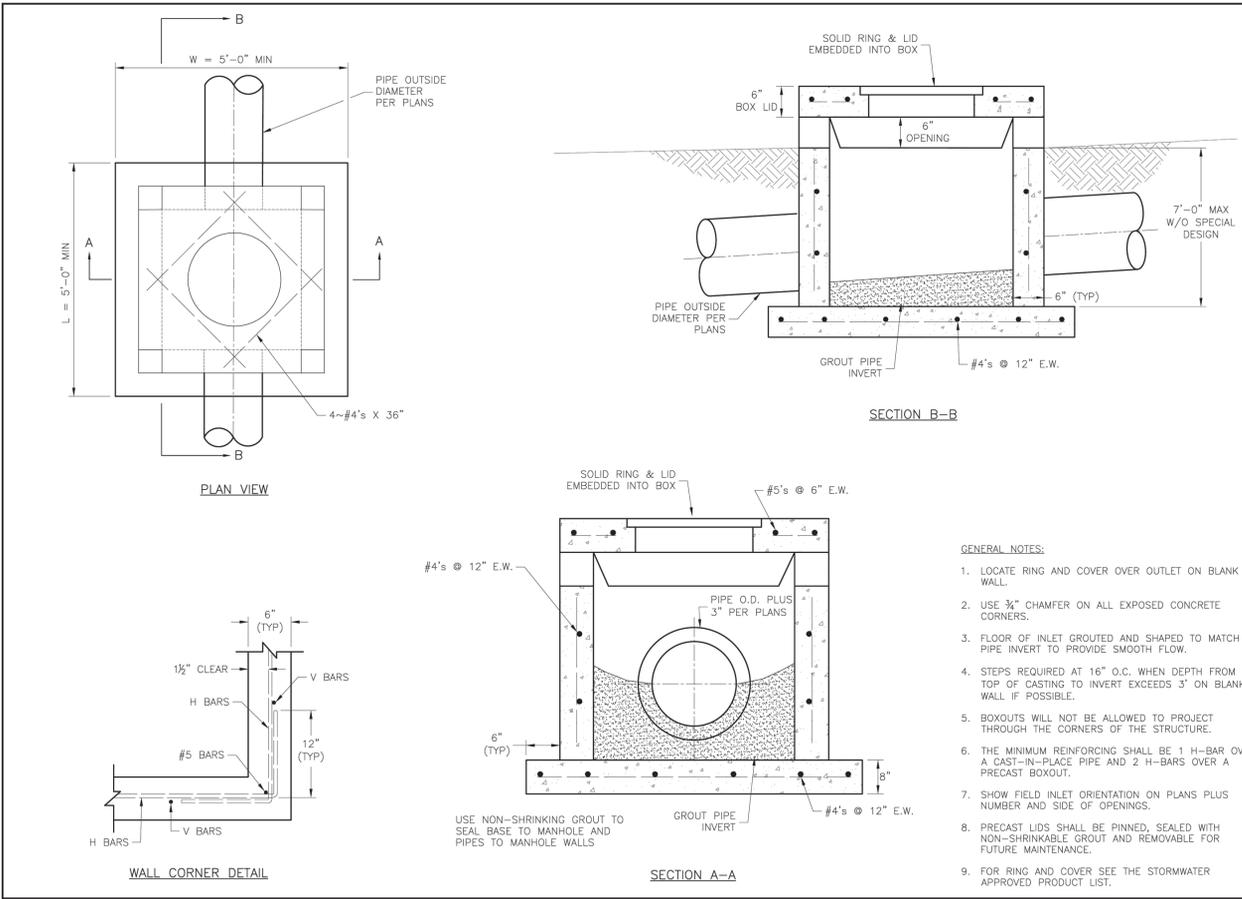
BARS	BAR SIZE	SPACING (IN.)
H	4	12
V	4	12
L	5	6
W	5	6

GENERAL NOTES:

1. LOCATE RING AND COVER ON BLANK WALL.
2. USE 3/4" CHAMFER STRIP OR 1/2" R EDGER TOOL ON ALL EXPOSED CONCRETE CORNERS.
3. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 4' ON BLANK WALL IF POSSIBLE.
4. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE AND THE MINIMUM DISTANCE BETWEEN BOXOUTS IS 6".
5. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
6. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
7. REINFORCING OF COVERS IN STREETS REQUIRE SPECIAL DESIGN.
8. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
JUNCTION BOX DETAIL
STM-3

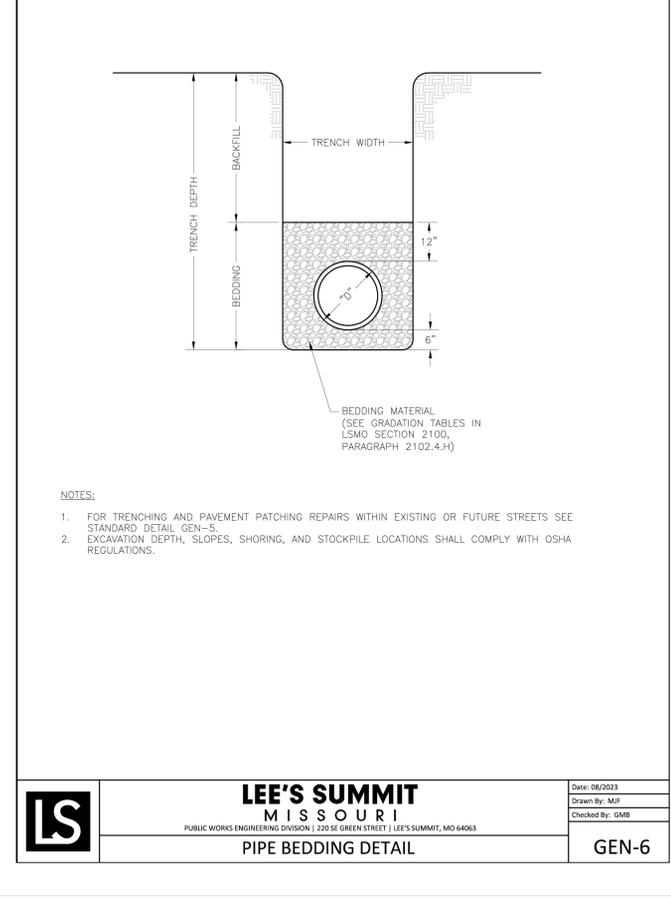


GENERAL NOTES:

1. LOCATE RING AND COVER OVER OUTLET ON BLANK WALL.
2. USE 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 3' ON BLANK WALL IF POSSIBLE.
5. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE.
6. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
7. SHOW FIELD INLET ORIENTATION ON PLANS PLUS NUMBER AND SIDE OF OPENINGS.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
FIELD INLET DETAIL
STM-2



NOTES:

1. FOR TRENCHING AND PAVEMENT PATCHING REPAIRS WITHIN EXISTING OR FUTURE STREETS SEE STANDARD DETAIL GEN-5.
2. EXCAVATION DEPTH, SLOPES, SHORING, AND STOCKPILE LOCATIONS SHALL COMPLY WITH OSHA REGULATIONS.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64663
PIPE BEDDING DETAIL
GEN-6

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
12/01/2023

SBB ENGINEERING
101 South Kansas Avenue
Topeka, Kansas 66603
Ph: (785) 215-8630 /
www.sbbeng.com

Casey's
CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: LEE SUMMIT, MO #4291
HIGHWAY 150 & ARBORIDGE DRIVE
"U4" - STYLE STORE

DATE: 08/2023
DRAWN BY: MIF
CHECKED BY: DK
PROJ. #: 2016002542

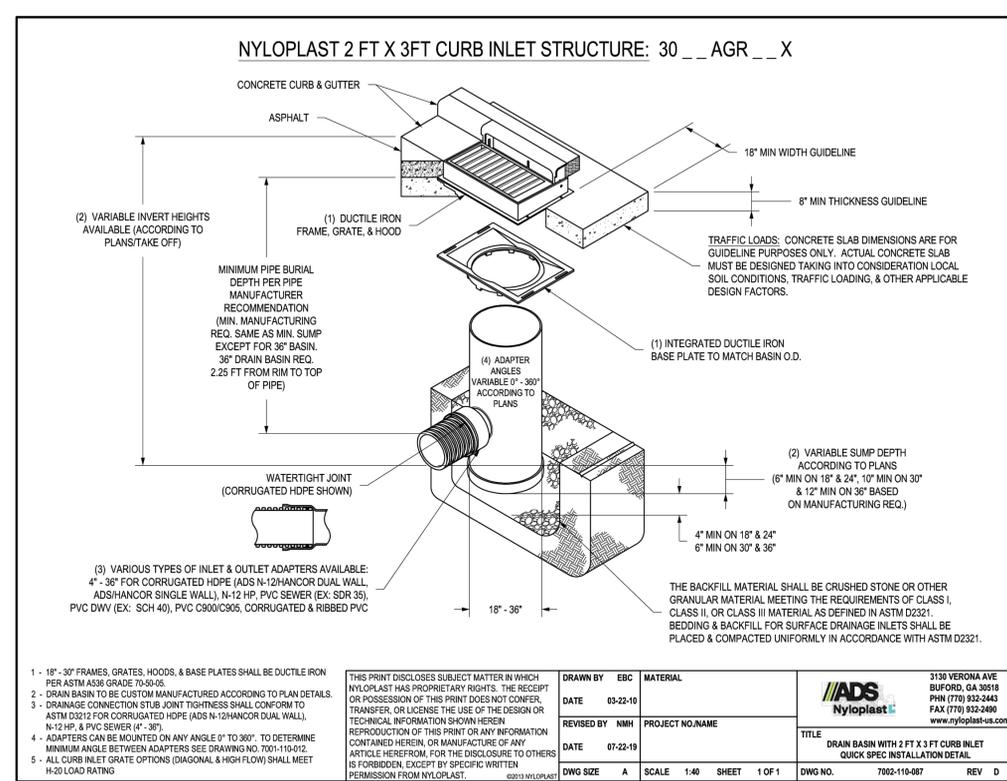
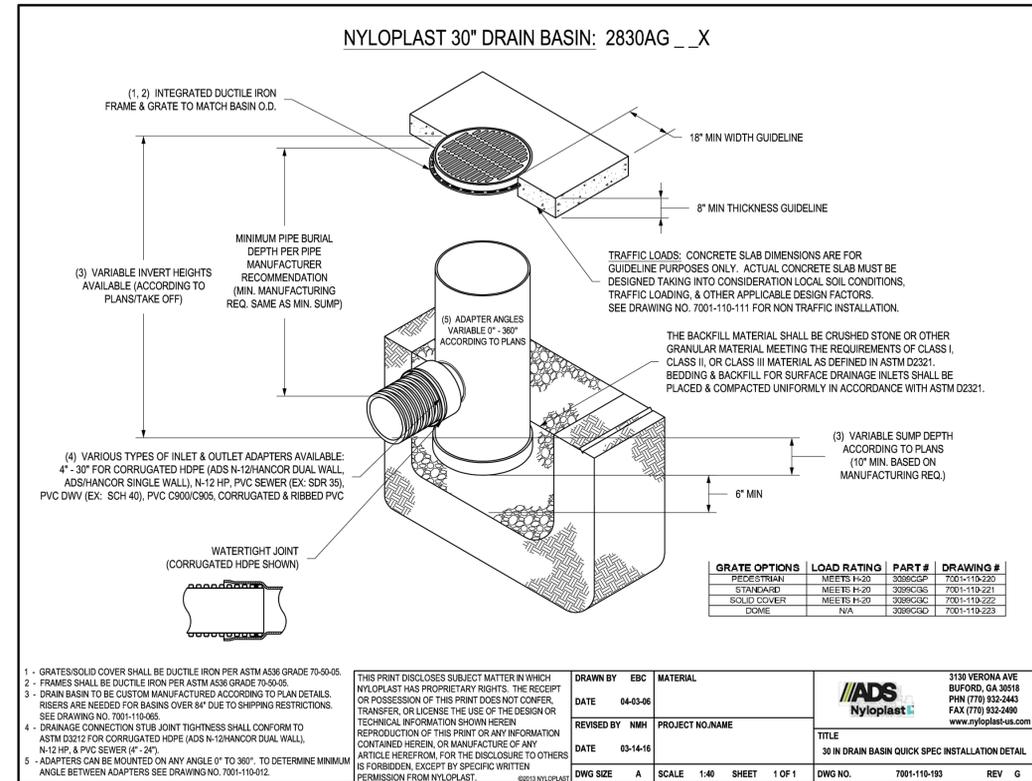
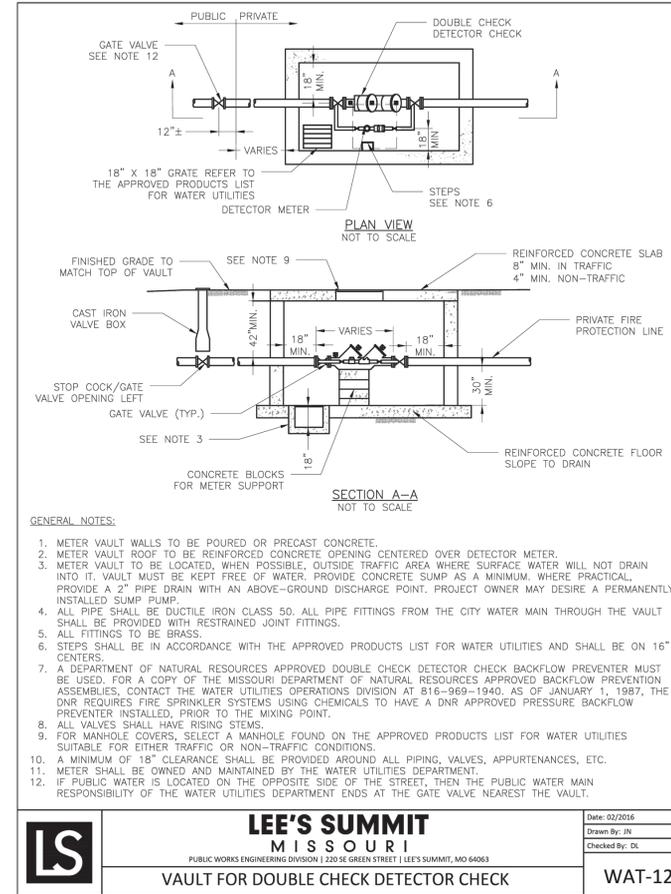
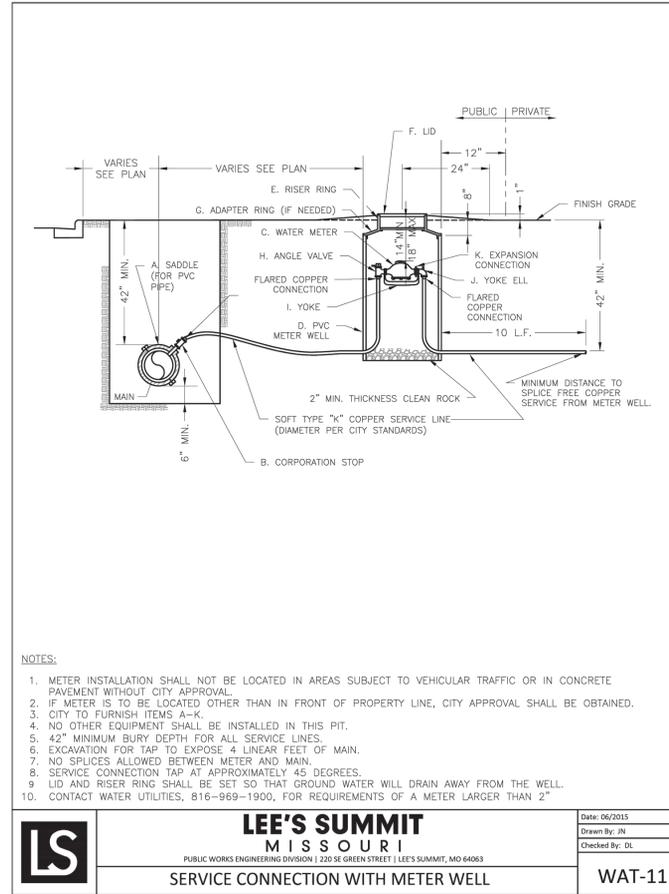
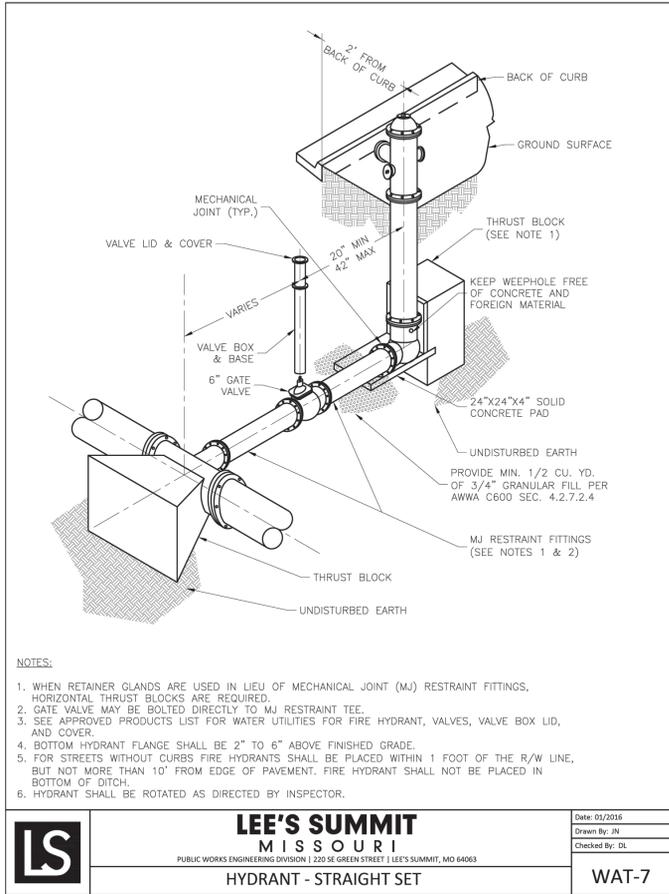
REVISIONS:
10.23.23
REVISED ON:

STANDARD DETAILS
C-604



RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri
12/01/2023

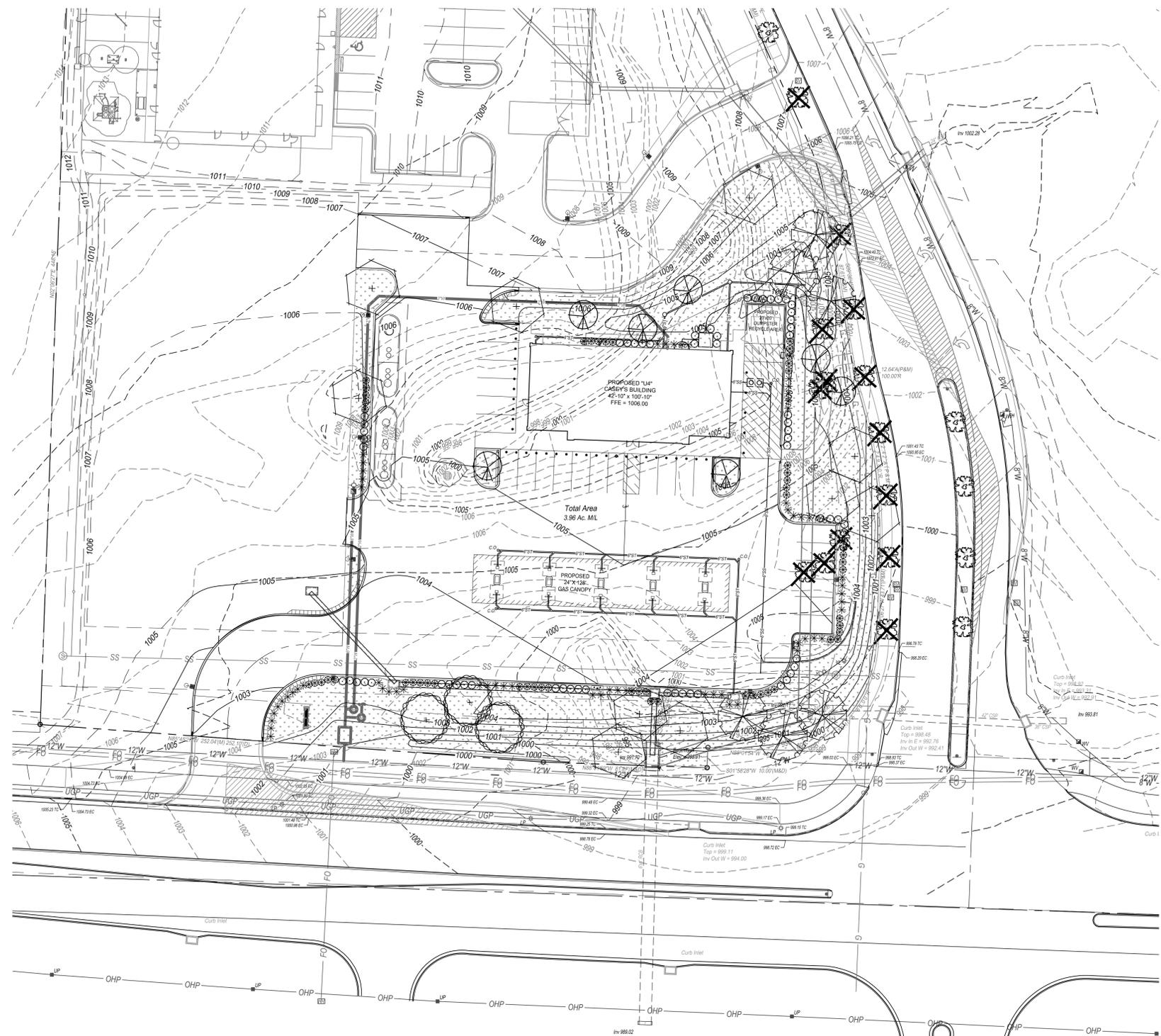


1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST. ©2013 NYLOPLAST	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.		ADDITIONAL INFORMATION
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.		DATE 04-03-06
4 - DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL, N-12HP, & PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC		REVISED BY NMH PROJECT NO. NAME
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.		DATE 03-14-16

1 - 18" - 30" FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST. ©2013 NYLOPLAST	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.		ADDITIONAL INFORMATION
3 - DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL, N-12HP, & PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC		DATE 03-22-10
4 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.		REVISED BY NMH PROJECT NO. NAME
5 - ALL CURB INLET GRATE OPTIONS (DIAGONAL & HIGH FLOW) SHALL MEET H-20 LOAD RATING.		DATE 07-22-19



		Casey's CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT:	LEE'S SUMMIT, MO #4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE	RELEASED:	10.23.23
DRAWING INFORMATION:	CONSTRUCTION DIVISION	REVISIONS:	STANDARD DETAILS
DRAWN BY:			C-605



LOT 1 SITE DATA:

HWY 150 264'
 REQUIRED:
 STREET TREES 1/30' = 9
 PARKING LOT SHRUBS 12/40' = 79

PROVIDED:
 SHADE TREES = 9
 SHRUBS = 80

ARBOR RIDGE DRIVE 188'
 REQUIRED:
 STREET TREES 1/30' = 6
 PARKING LOT SHRUBS 12/40' = 56

PROVIDED:
 SHADE TREES = 6
 SHRUBS = 56

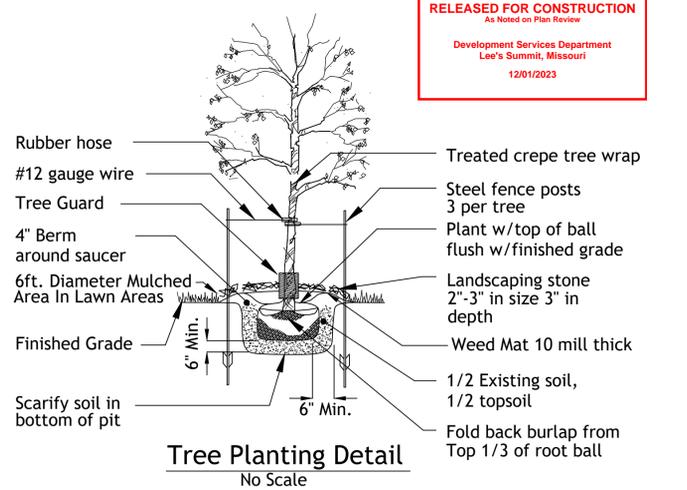
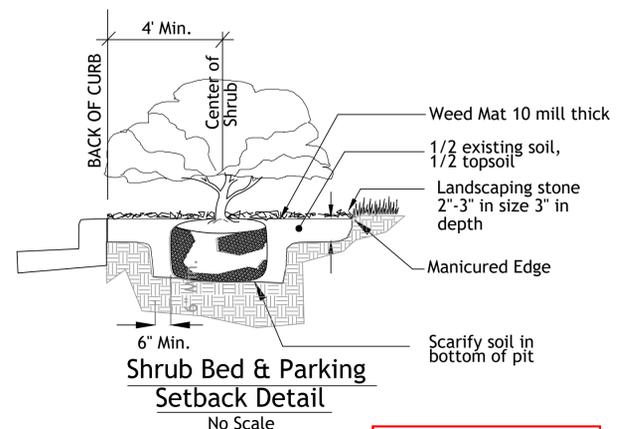
INTERIOR PARKING
 TOTAL PARKING SURFACE = 13,869sf
 REQUIRED
 5% LANDSCAPE AREA = 693sf
 PROVIDED = 992sf

OPEN SPACE TREES
 TOTAL SITE 1.51ac (65,775sf)
 BUILDING AREA 4,569sf
 OPEN SPACE 61,206sf

REQUIRED TREES
 1 / 5,000sf = 12

PROVIDED
 SHADE TREES = 5
 ORNAMENTALS = 7

OPEN SPACE SHRUBS
 REQUIRED 2 / 5,000sf = 24
 PROVIDED = 41



RELEASED FOR CONSTRUCTION
 As Noted on Plan Review
 Development Services Department
 Lee's Summit, Missouri
 12/01/2023

LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with landscaping stone 2"-3" in size and 3" in depth. Color to be selected by owner.

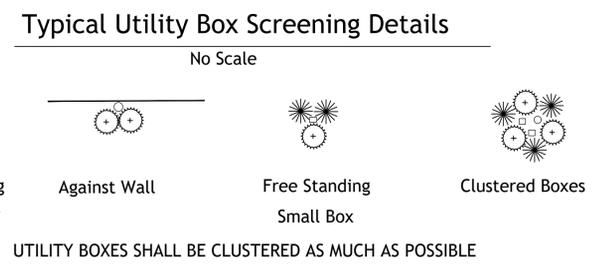
All areas within the property line to be fertilized, sodded, and irrigated. Sod shall be Turf-Type-Tall Fescue and seed blend.

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊙	61	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
⊗	55	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
*	60	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊕	3	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	10	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
⊕	6	Swamp White Oak	Quercus Bicolor	3" cal	BB	As Shown
⊕	7	Golden Raintree	Koelreuteria Paniculata	3" cal	BB	As Shown



Garrett Ochs, Landscape Architect
 No Licence 2008000587

SBB
 Schmidt, Beck & Boyd
 Engineering / Surveying
 101 S. Kansas Ave.
 Topeka, KS 66603
 Ph: (785) 215-8630

SBB Proj. No. 21-288

Casey's

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: LEE SUMMIT, MO # 4291 HIGHWAY 150 & ARBORIDGE DRIVE "U4" - STYLE STORE
 DRAWING INFORMATION: 8-02-23
 LANDSCAPE PLAN

CONSTRUCTION DIVISION
 C-701