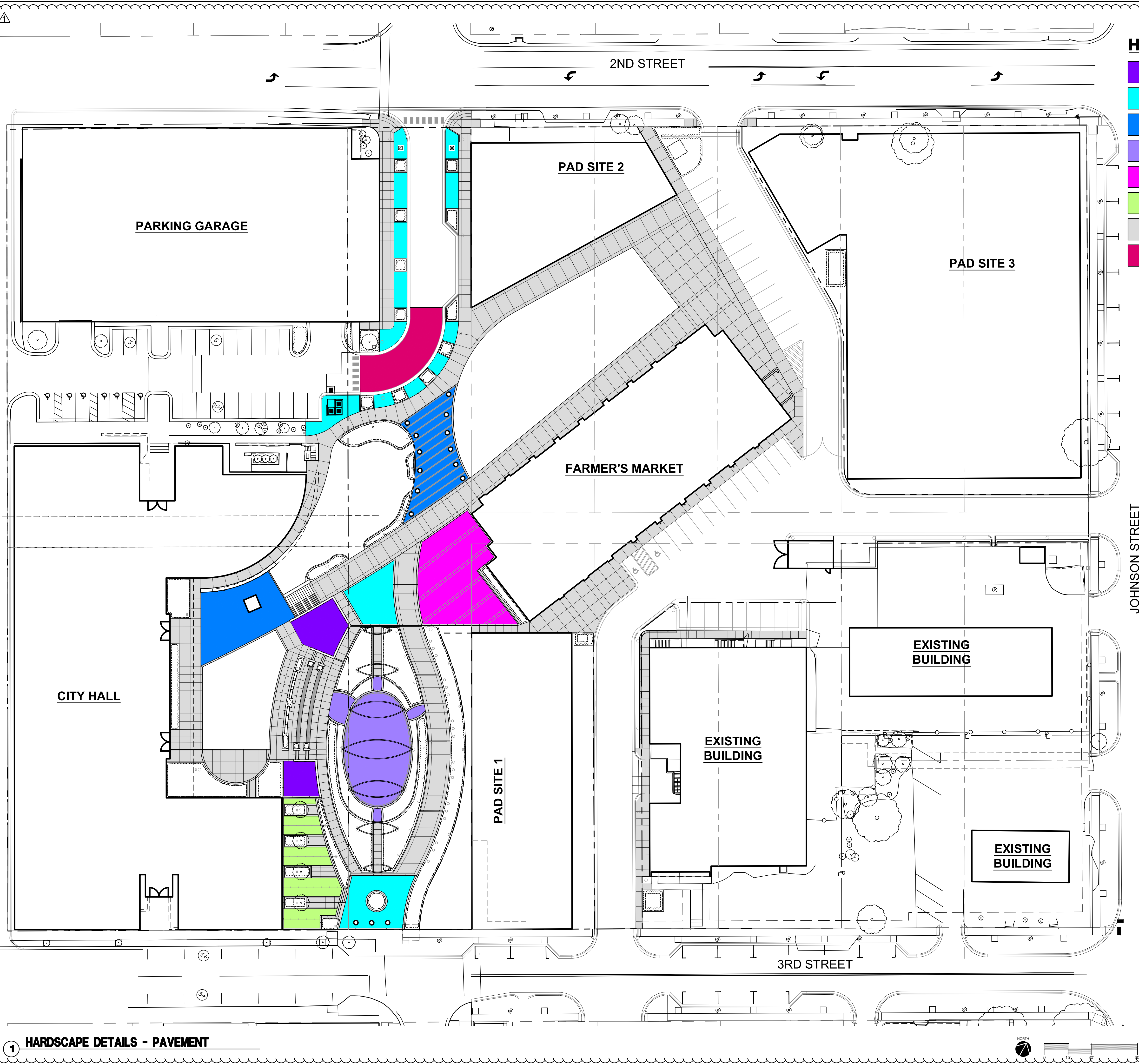


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HARDSCAPE PAVEMENT LEGEND:

- OVERLOOK PAVERS; REF: HARDSCAPE PLANS & 3/L303 (SALVAGED 8x8 PAVERS)
- STREETSCAPE PAVERS & GARDEN FORECOURT PLAZA PAVERS; REF: HARDSCAPE PLANS & L304 (SALVAGED KANSAS CITY BRICK)
- MARKET ENTRY PAVERS; REF: HARDSCAPE PLANS & 4/L302 AND CLOCK TOWER PLAZA PAVERS; REF: HARDSCAPE PLANS & 3/L302 (NEW KANSAS CITY BRICK)
- WICKET GARDEN PAVERS; REF: HARDSCAPE PLANS & 1/L302 (NEW CONCRETE PAVERS)
- MARKET PLAZA PAVERS; REF: HARDSCAPE PLANS & 2/L302 (NEW CONCRETE PAVERS)
- CITY LOUNGE PAVERS; REF: HARDSCAPE PLANS & 3/L303 (NEW CONCRETE PAVERS)
- NEW GRAY CONCRETE PAVING; REF: HARDSCAPE PLANS & 1 & 2/L303
- NEW INTEGRAL COLOR CONCRETE PAVING; REF: HARDSCAPE PLANS & 2/L303

NOTE: REFERENCE MATERIAL SCHEDULE (L004) FOR NEW AND SALVAGED PAVER COLORS. REFERENCE L200 FOR PEDESTRIAN OR VEHICULAR RATED AREAS

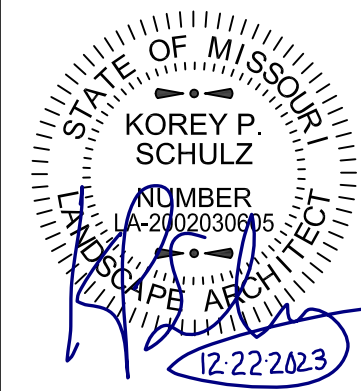
1 HARDSCAPE DETAILS - PAVEMENT

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Development Services Department
Lee's Summit, Missouri
01/24/2024

HARDSCAPE DETAILS - PAVEMENT			REVISIONS	
REV. NO.	DATE	REVISIONS DESCRIPTION	BY	
1	12-22-2023	ADDITION #1		
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET			2023	
LEE'S SUMMIT, MISSOURI				

drawn by: TS/TGEW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing: HSC-DTL01_02200393
date: 12/22/2023

SHEET
L301



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L_PBASE_RDWY_02200393

[illegible]

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

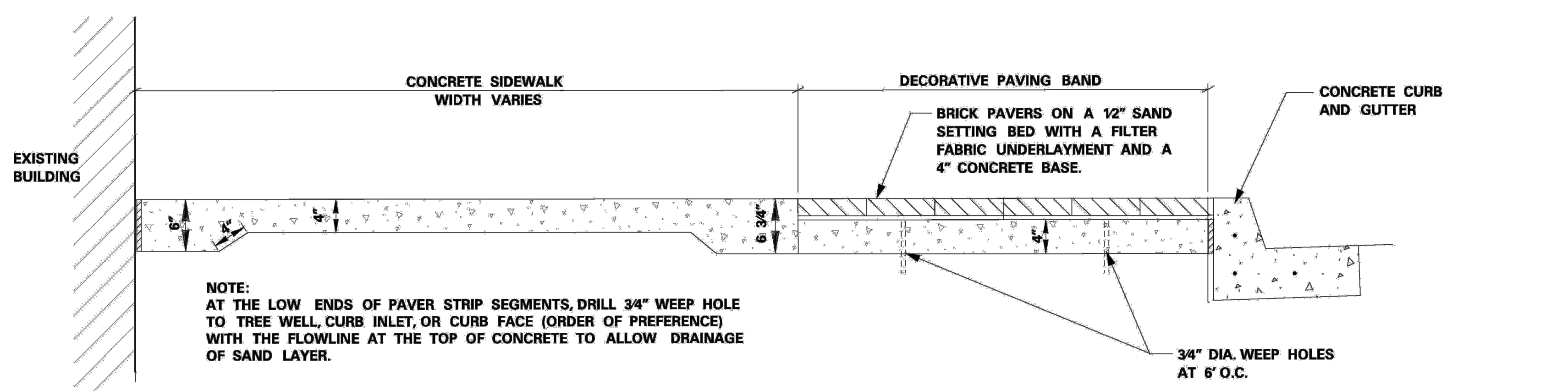
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2023

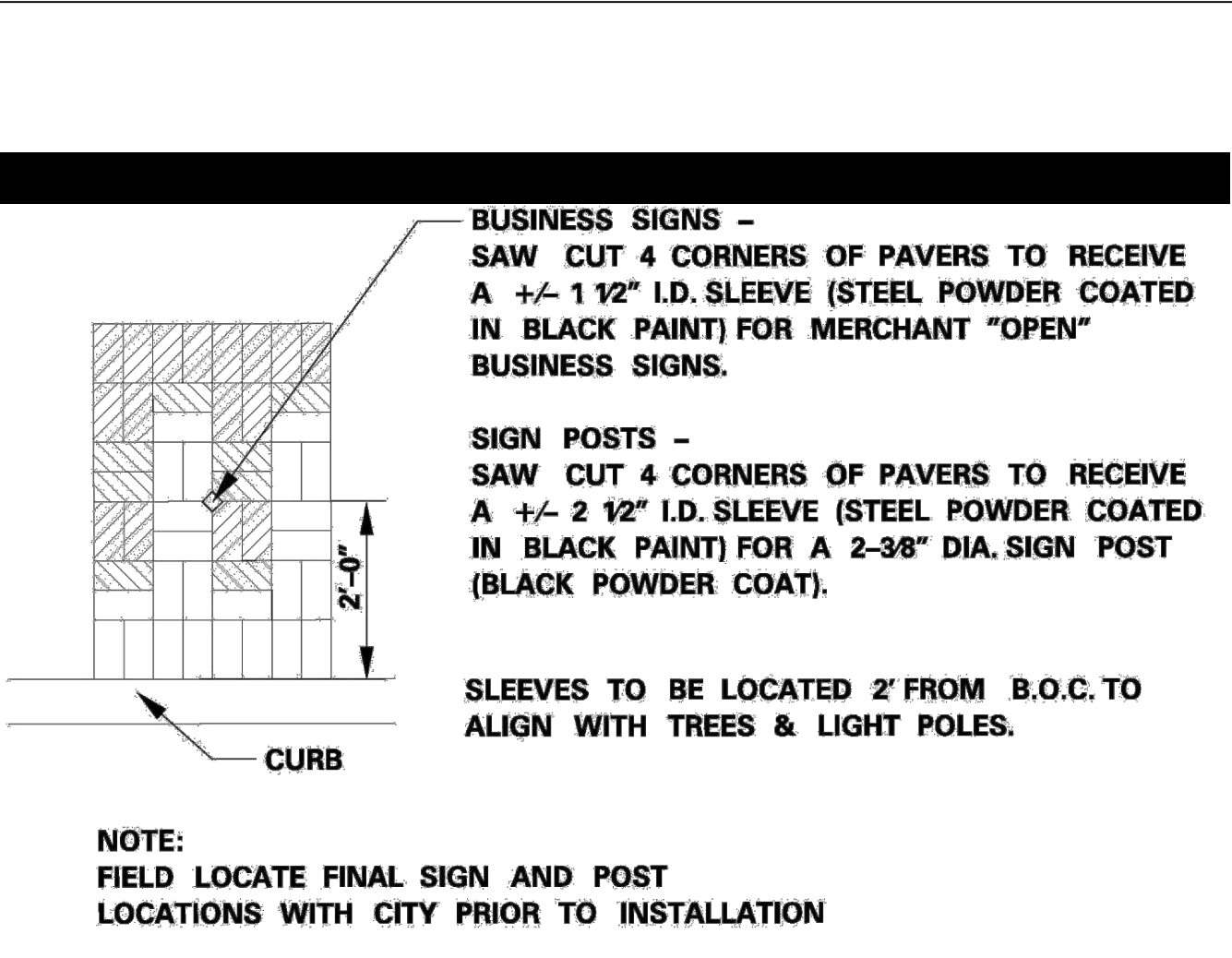
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drawing no.: _____ HSC DTL01 02200393
date: _____ 12/22/2023

SHEET
L302

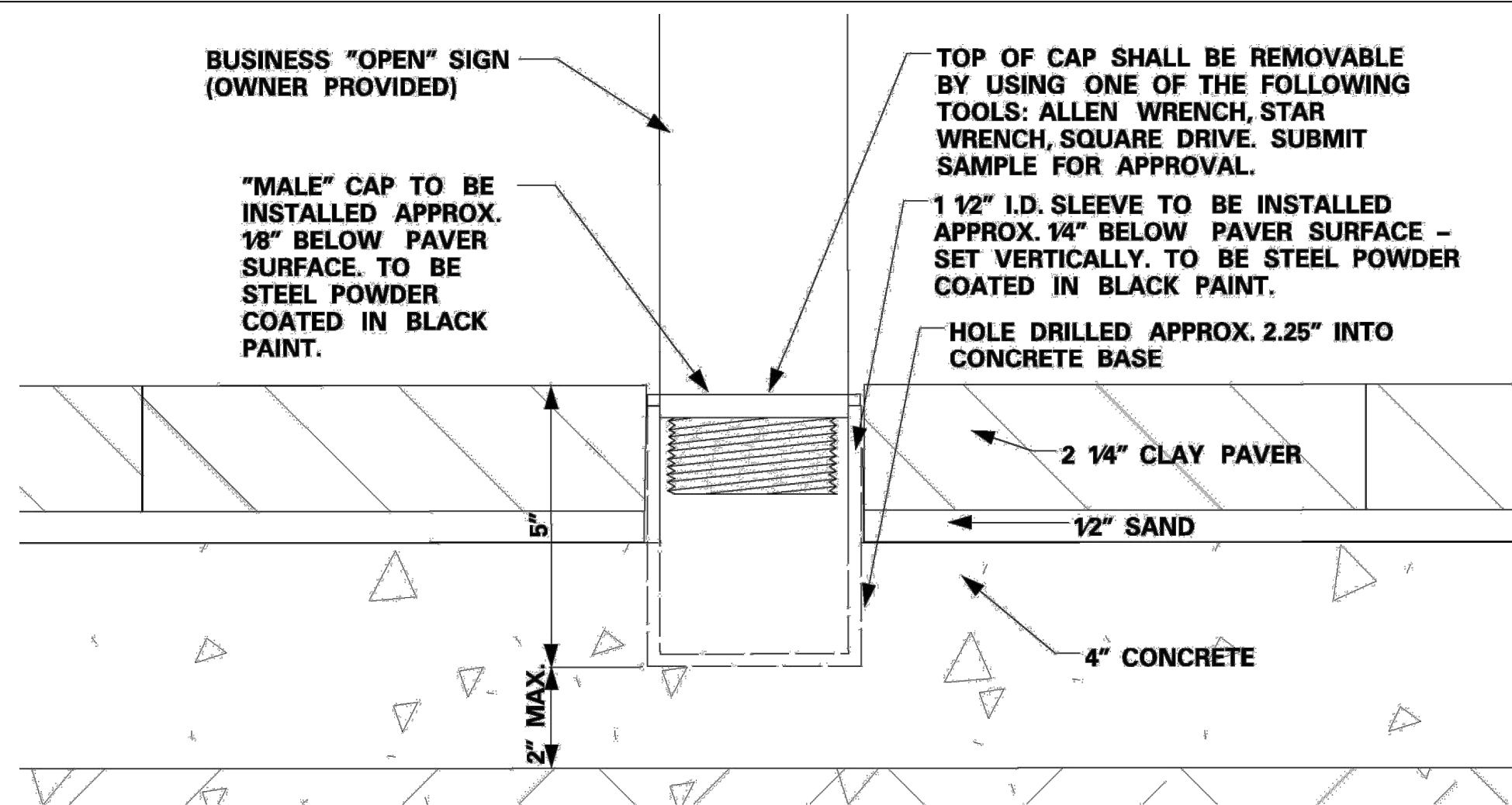
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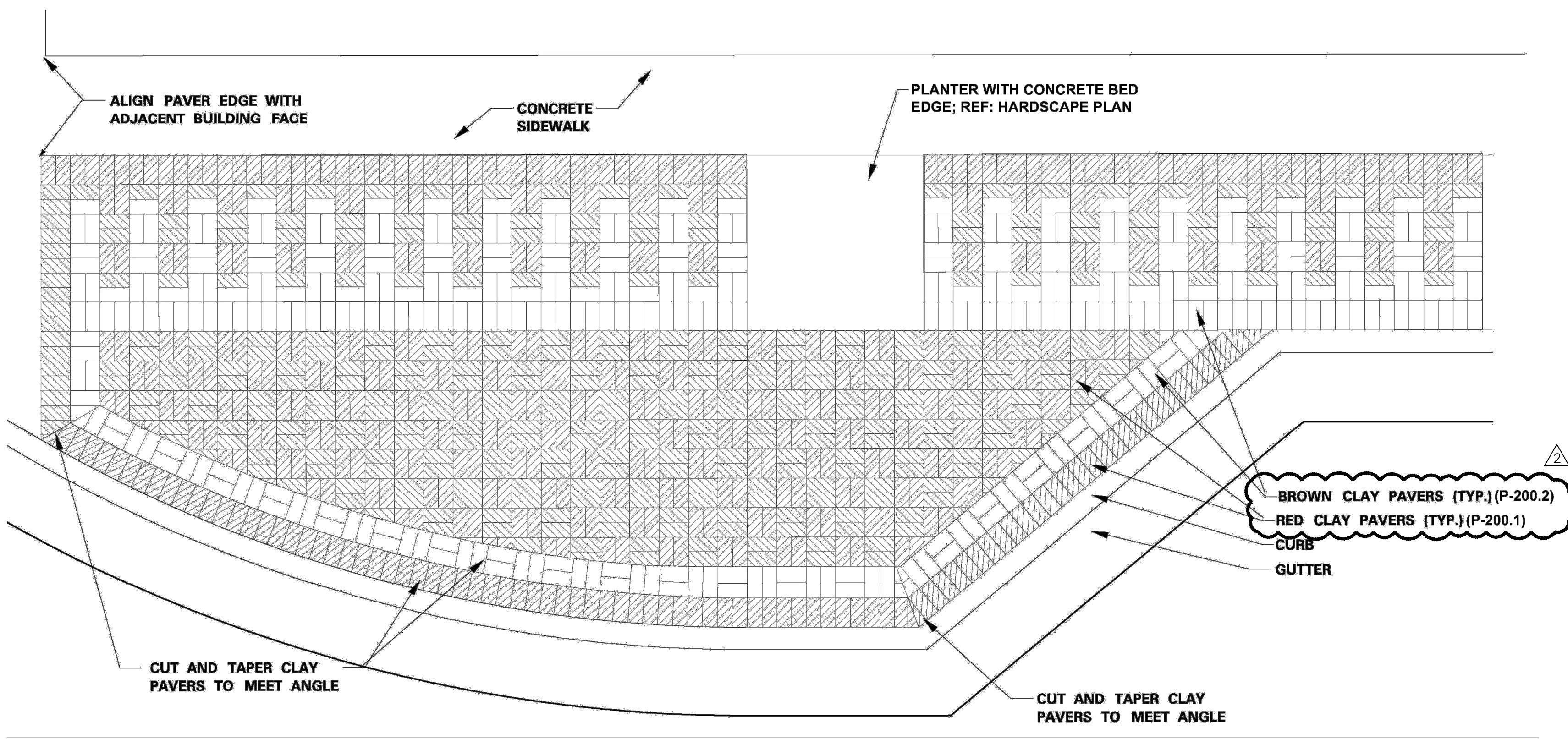
6 TYPICAL CLAY PAVER SECTION



5 TYPICAL PLAN - SLEEVE FOR BUSINESS SIGNS & SIGN POSTS



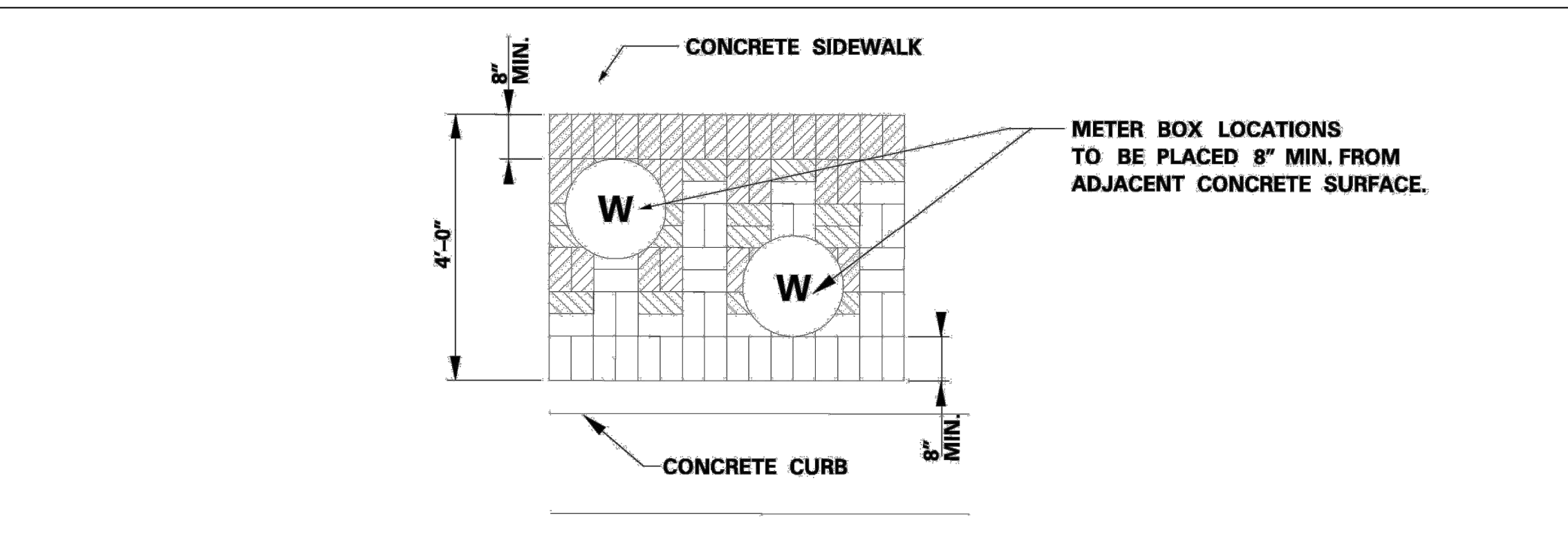
4 TYPICAL SLEEVE FOR BUSINESS SIGN



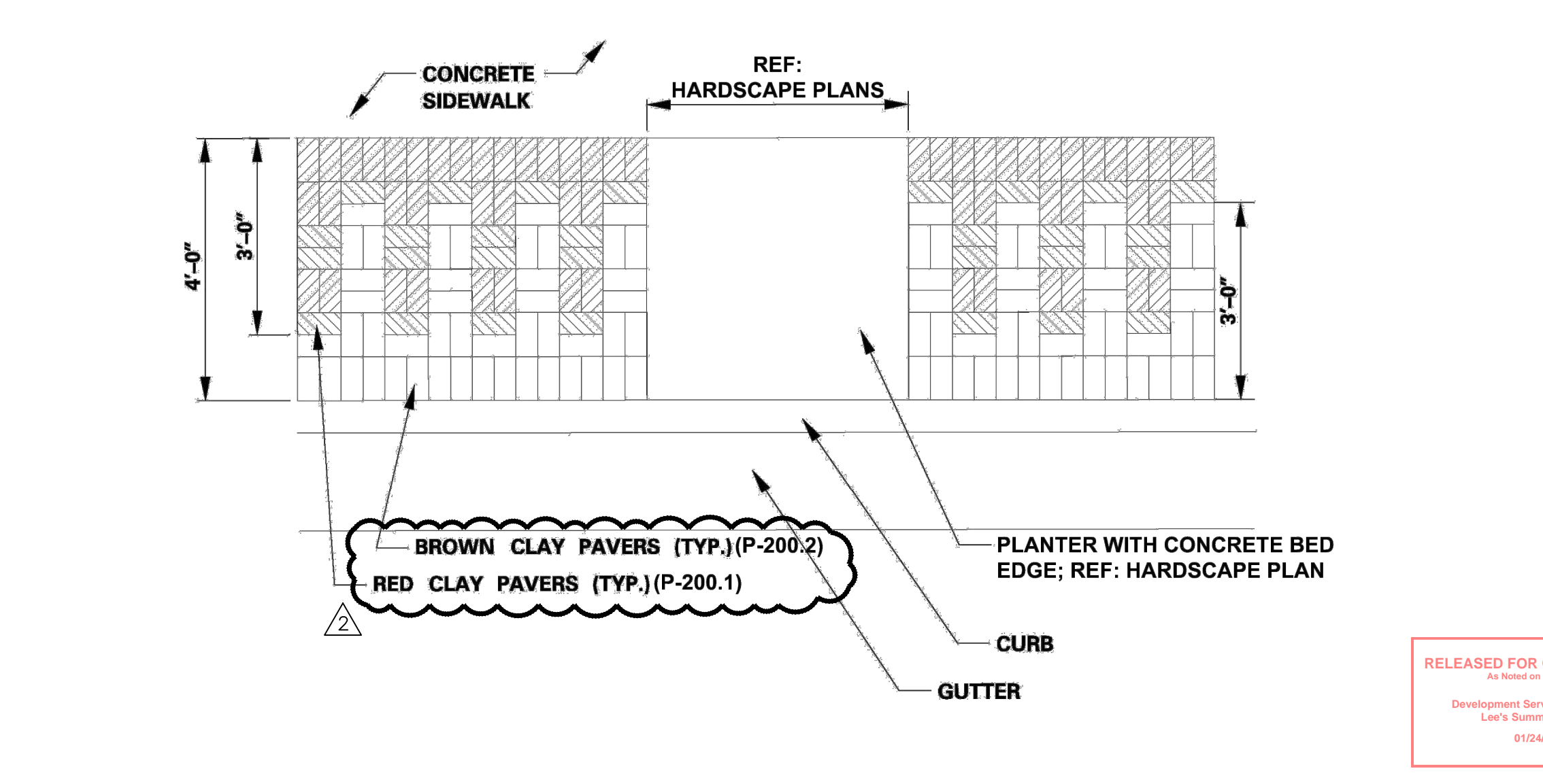
3 TYPICAL PAVING DETAIL - NW CORNER - 3RD ST. & MARKET

GENERAL STREETScape NOTES:

1. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. SHOULD A GRADE DIFFERENCE, UTILITY CONFLICT, OR OBSTRUCTION TO PLANTING OPERATIONS OCCUR, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK IN THE AREA. THE CONTRACTOR SHALL CONDUCT HIS WORK SO AS TO PREVENT INTERRUPTION OF UTILITY SERVICES OR DAMAGE TO THEM. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURES TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES AND STRUCTURES.
2. ALL PLANT MATERIALS DELIVERED TO THE SITE FOR APPROVAL AND INSTALLATION SHALL BE IDENTIFIED AND TAGGED, SO AS TO INSURE THE PLANTS PROVIDED ARE AS SPECIFIED AND APPROVED FOR USDA HARDINESS ZONE 5b.
3. PLANTING BED PREPARATION: INCORPORATE AN APPROVED COMPOSTED MATERIAL INTO EXISTING SOIL FOR ALL TREE PLANTING BEDS (AS INDICATED ON PLANS) BY PLACING A MINIMUM DEPTH OF 3" ORGANIC MATERIAL OVER ALL PLANTING AREAS, AND THOROUGHLY MIXING ORGANIC MATERIAL INTO EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 8".
4. MULCH MATERIAL SHALL BE AN EVEN GRADED 1/4" DIA. NATIVE COLOR PEA GRAVEL APPLIED AROUND EACH TREE TO A MINIMUM DEPTH OF 3" IN EACH TREE WELL. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING MATERIALS. MANUFACTURER: HOUSE OF ROCKS, 1725 MERRIAM LANE, KANSAS CITY, KANSAS 66106, 913-432-5990.
5. RED AND BROWN CLAY PAVERS TO BE 1 1/4" X 4" X 8" ENDICOTT FULL CLAY PAVERS, SQUARE EDGE, COLORS MEDIUM IRONSPOT #77 AND DARK IRONSPOT. MANUFACTURER: KANSAS CITY BRICK, 5717 KANSAS AVENUE, KANSAS CITY, KS 10666, 913-287-7200. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL.
6. AT THE LOW ENDS OF PAVER STRIP SEGMENTS, DRILL 3/4" WEEP HOLE TO TREE WELL, CURB INLET, OR CURB FACE (ORDER OF PREFERENCE) WITH THE FLOWLINE AT THE TOP OF CONCRETE TO ALLOW DRAINAGE OF SAND LAYER.



2 TYPICAL PLAN - WATER METER LOCATIONS WITHIN PAVER BAND



1 TYPICAL PAVING DETAIL - SIDEWALK PAVING PATTERN

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
01/24/2024

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STATE OF MISSOURI
KOREY P. SCHULZ
NUMBER
A-20203094
EXPIRATION DATE
01/11/2024

BY
REV. NO. 1 12-22-2023 ADENDUM #1
2 01-11-2024 ADENDUM #2

REVISIONS DESCRIPTION
DATE
12-22-2023
01-11-2024

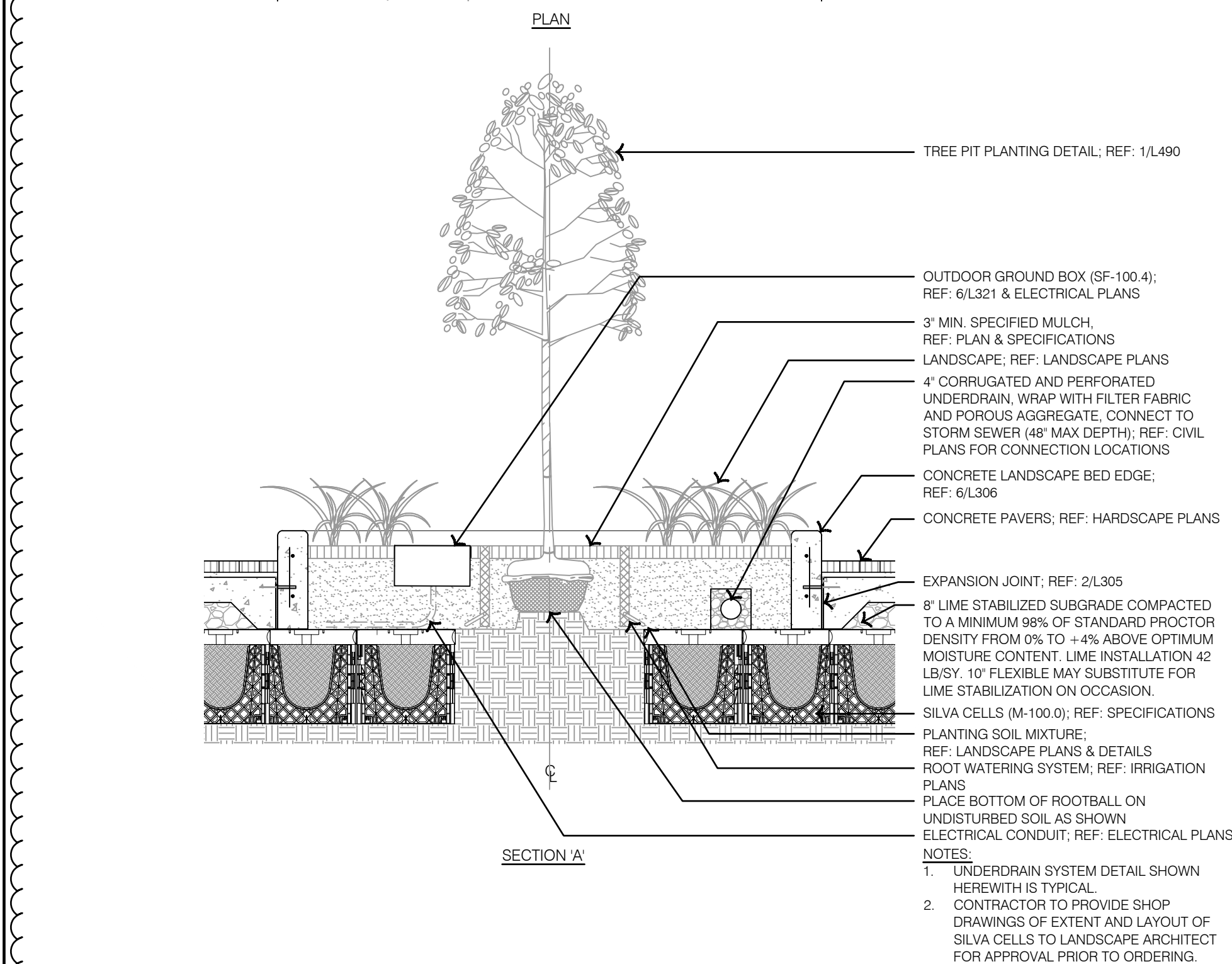
REVISIONS
2023

HARDSCAPE DETAILS - PAVEMENT

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing title: HSC-DTL01_02200393
date: 12/22/2023

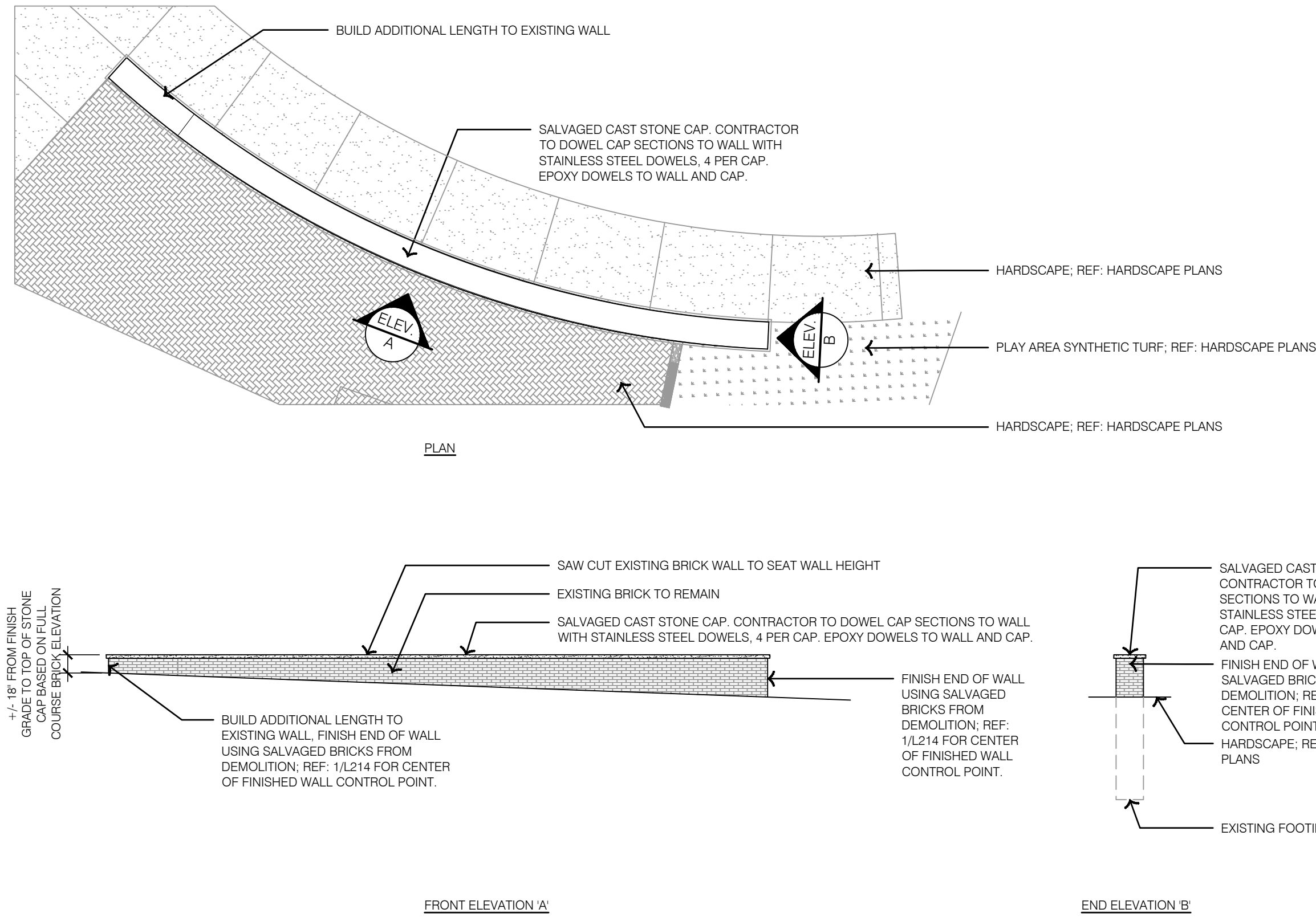
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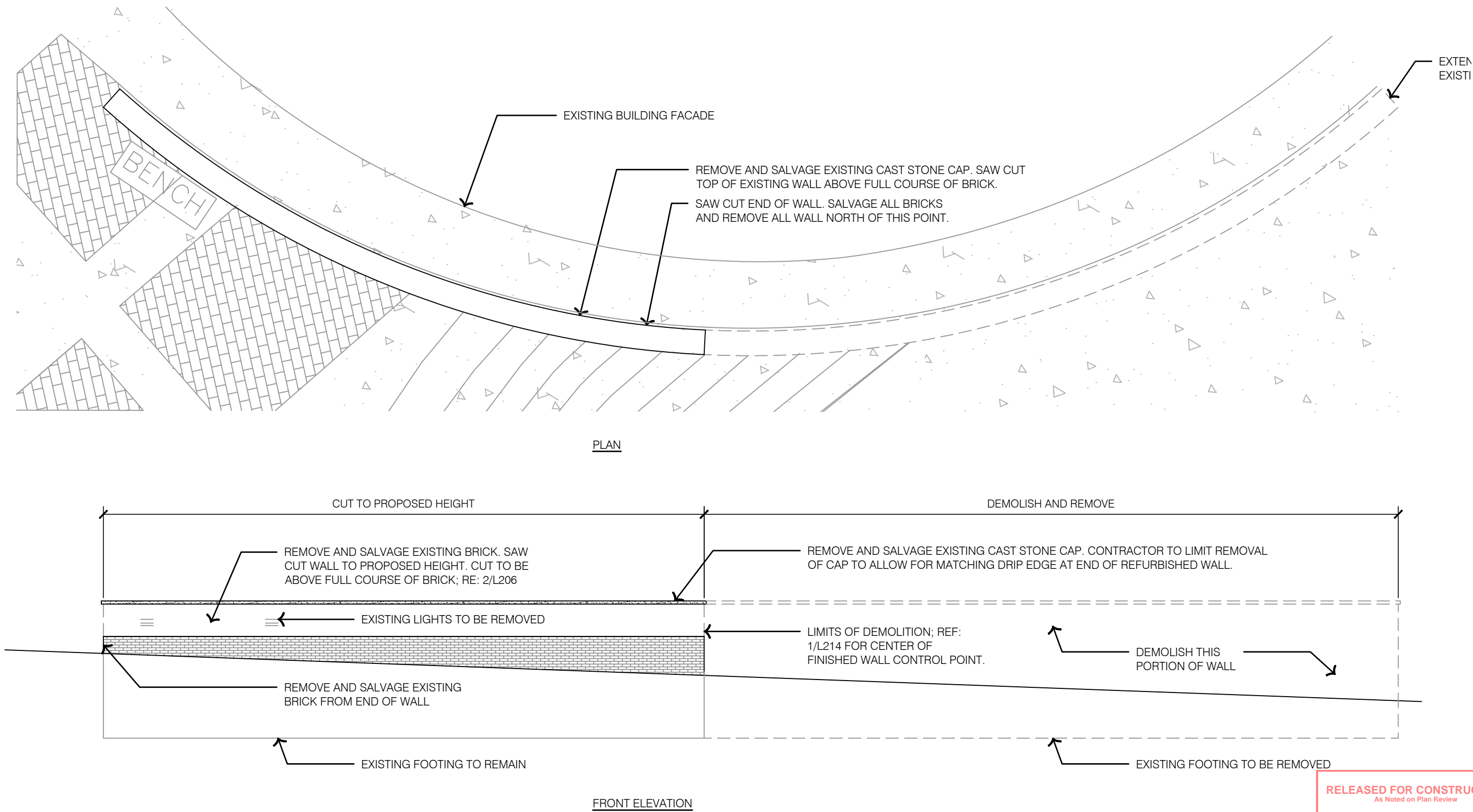
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3 WALL 1 - PROPOSED PERSPECTIVE RENDERING



2 WALL 1 - PROPOSED



1 WALL 1 - EXISTING CONDITIONS

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STATE OF MISSOURI
KOREY P. SCHULZ
LANDSCAPE ARCHITECT
NUMBER 000000006
12-22-2023

BY
REV. NO. 1
DATE 12-22-2023
REVISIONS DESCRIPTION
ADENDUM #1
REVISIONS
2023

HARDSCAPE DETAILS - WALLS
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

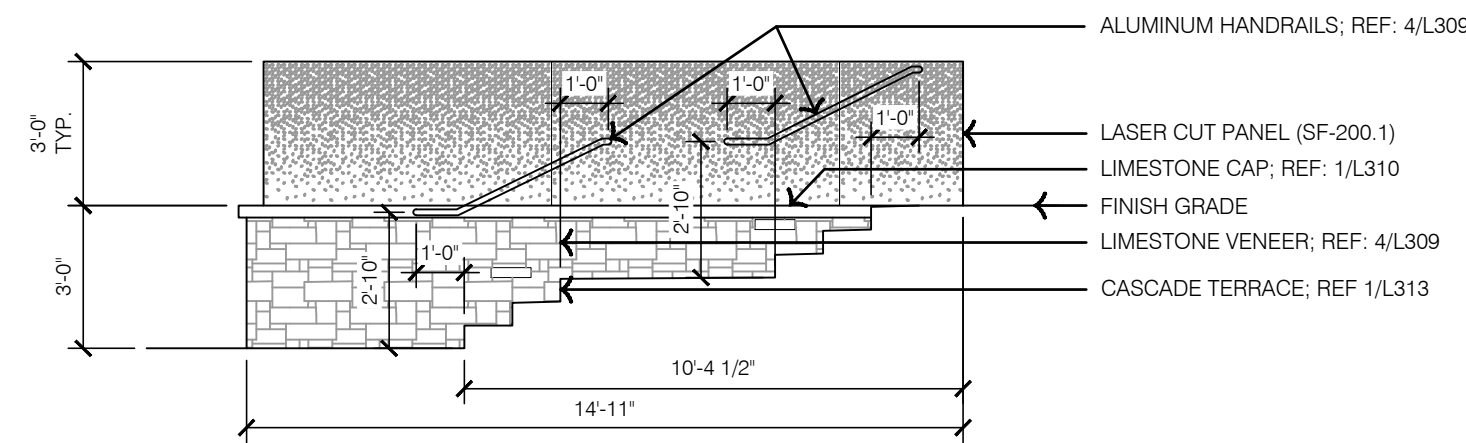
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SHEET
L307

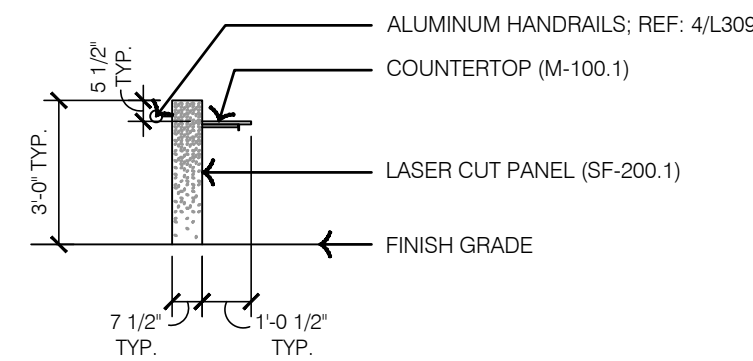
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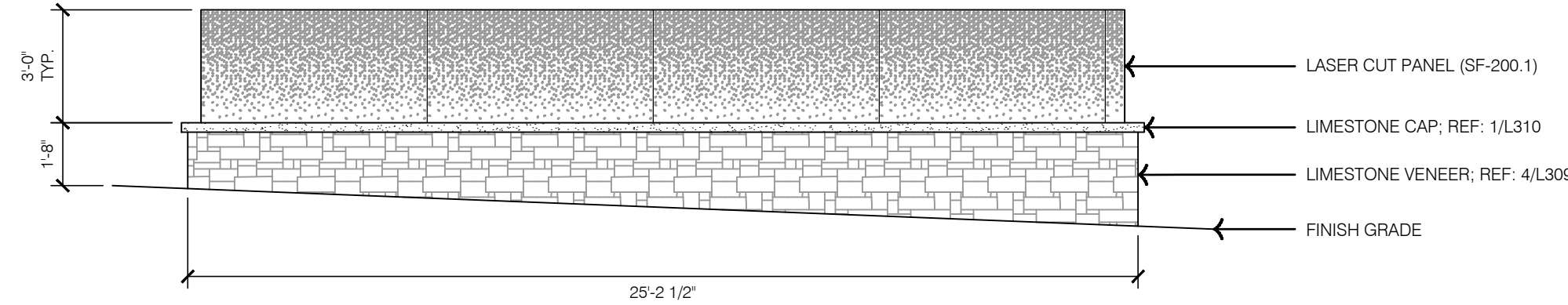
6 WALL TYPE 2 - PERSPECTIVE RENDERING



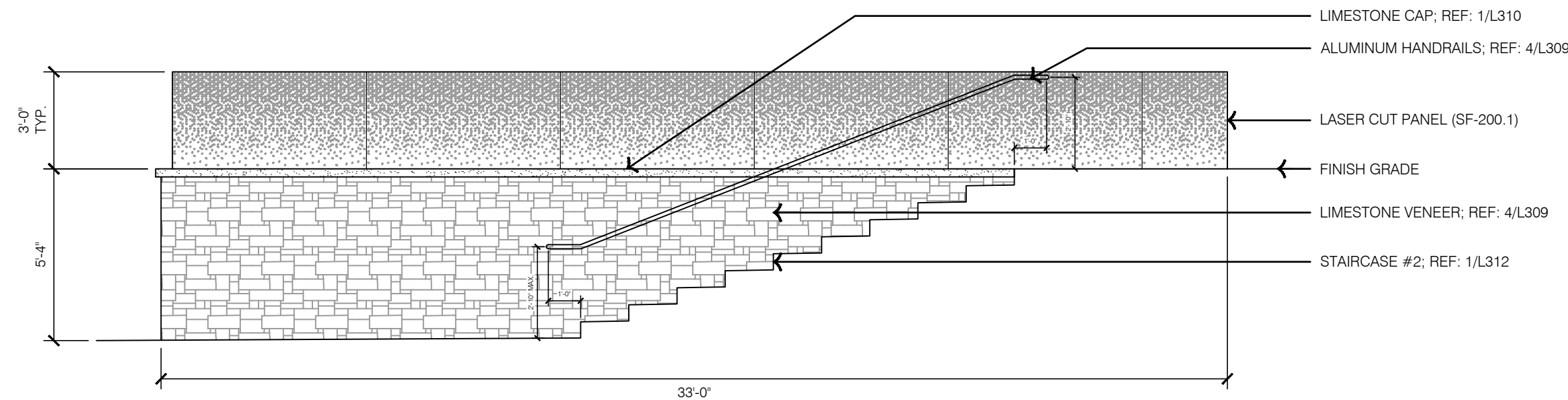
5 WALL TYPE 2 - ELEVATION 4



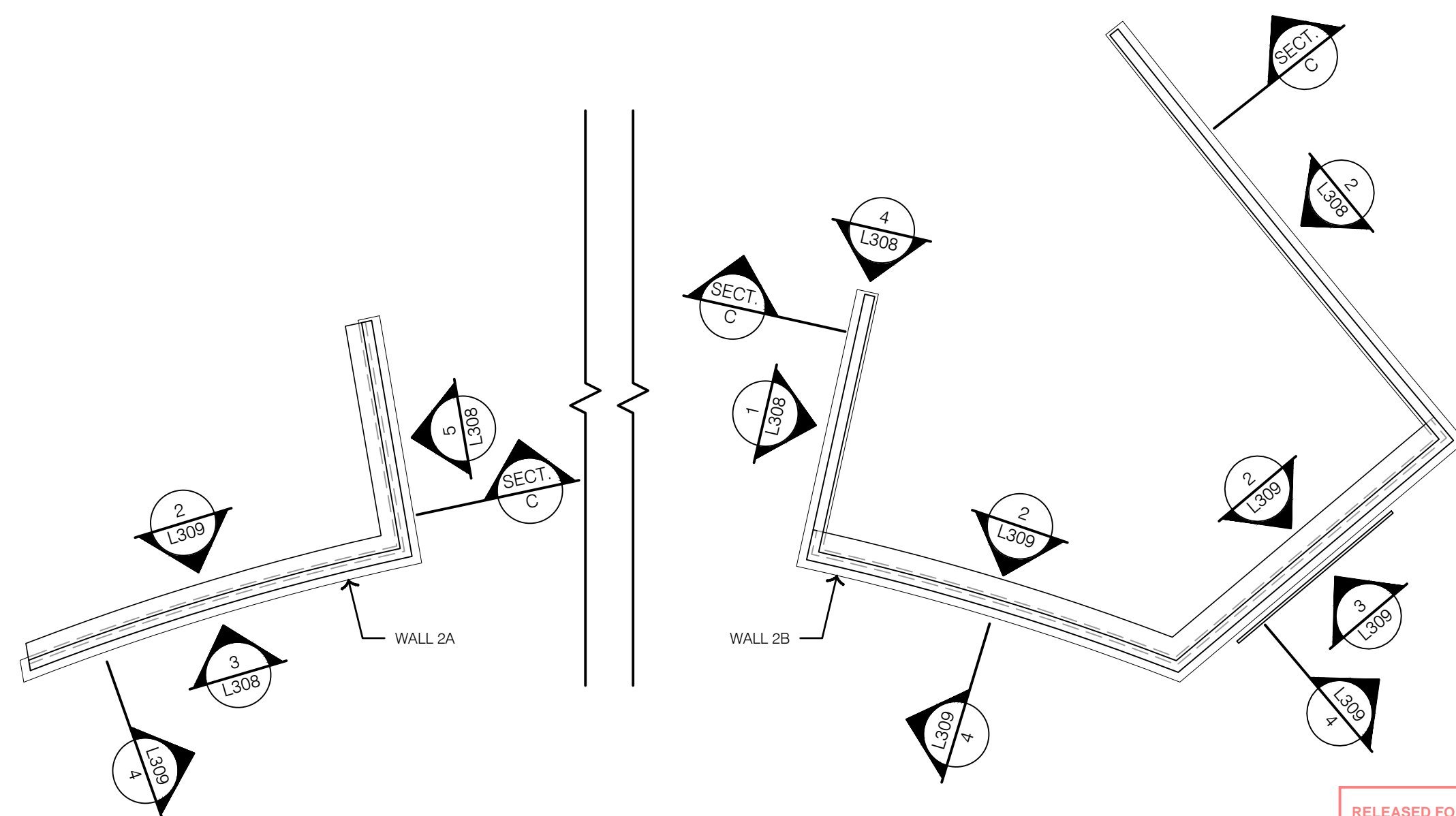
4 WALL TYPE 2 - ELEVATION 3



3 WALL TYPE 2 - ELEVATION 2



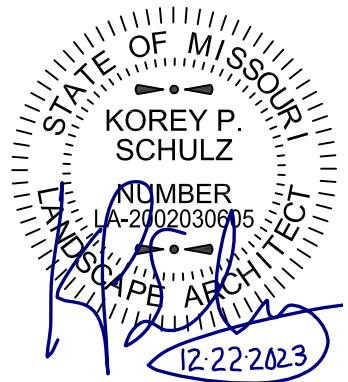
2 WALL TYPE 2 - ELEVATION 1



1 WALL TYPE 2 - LAYOUT

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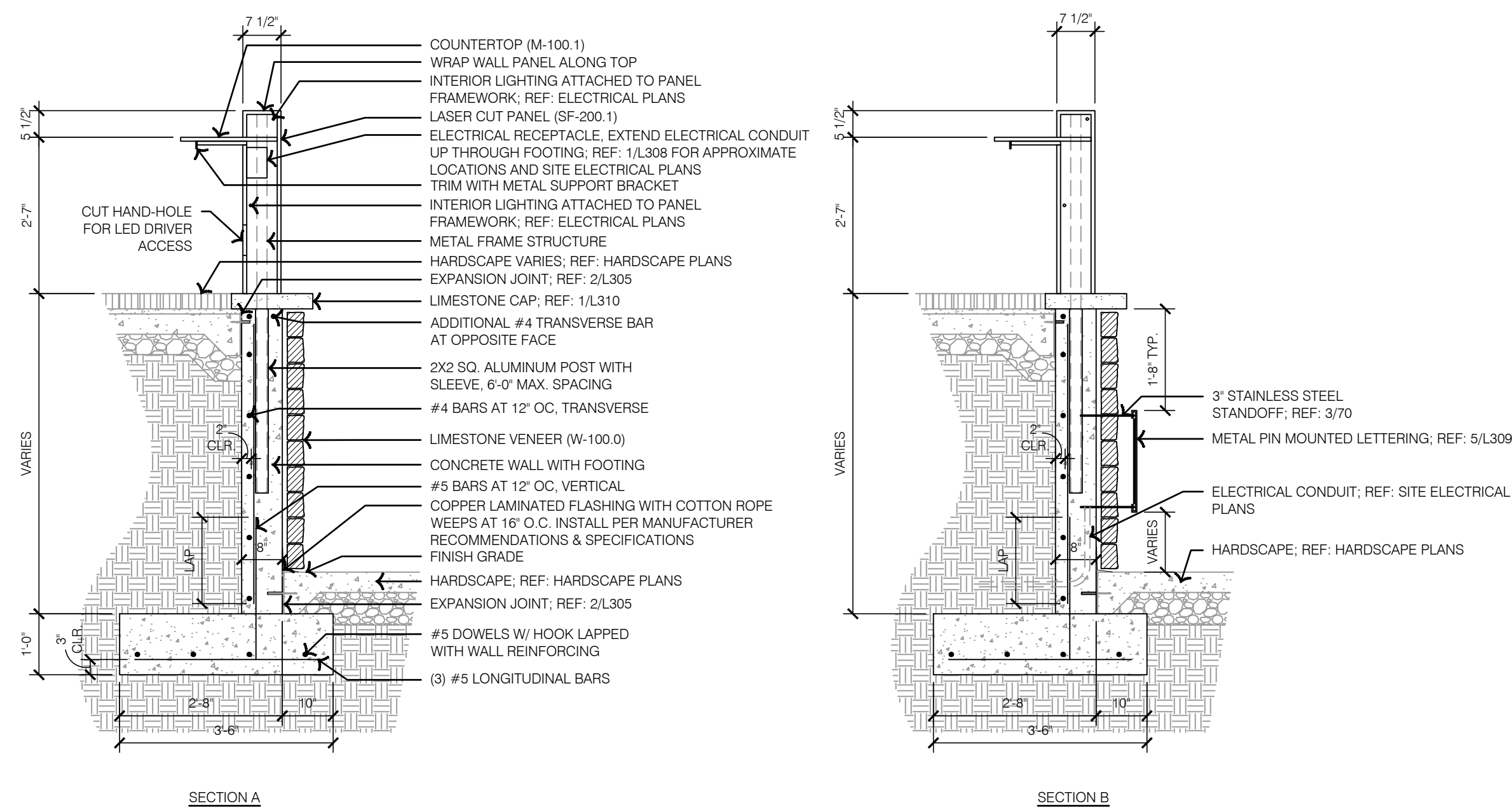
OLSSON - LANDSCAPE ARCHITECTURE
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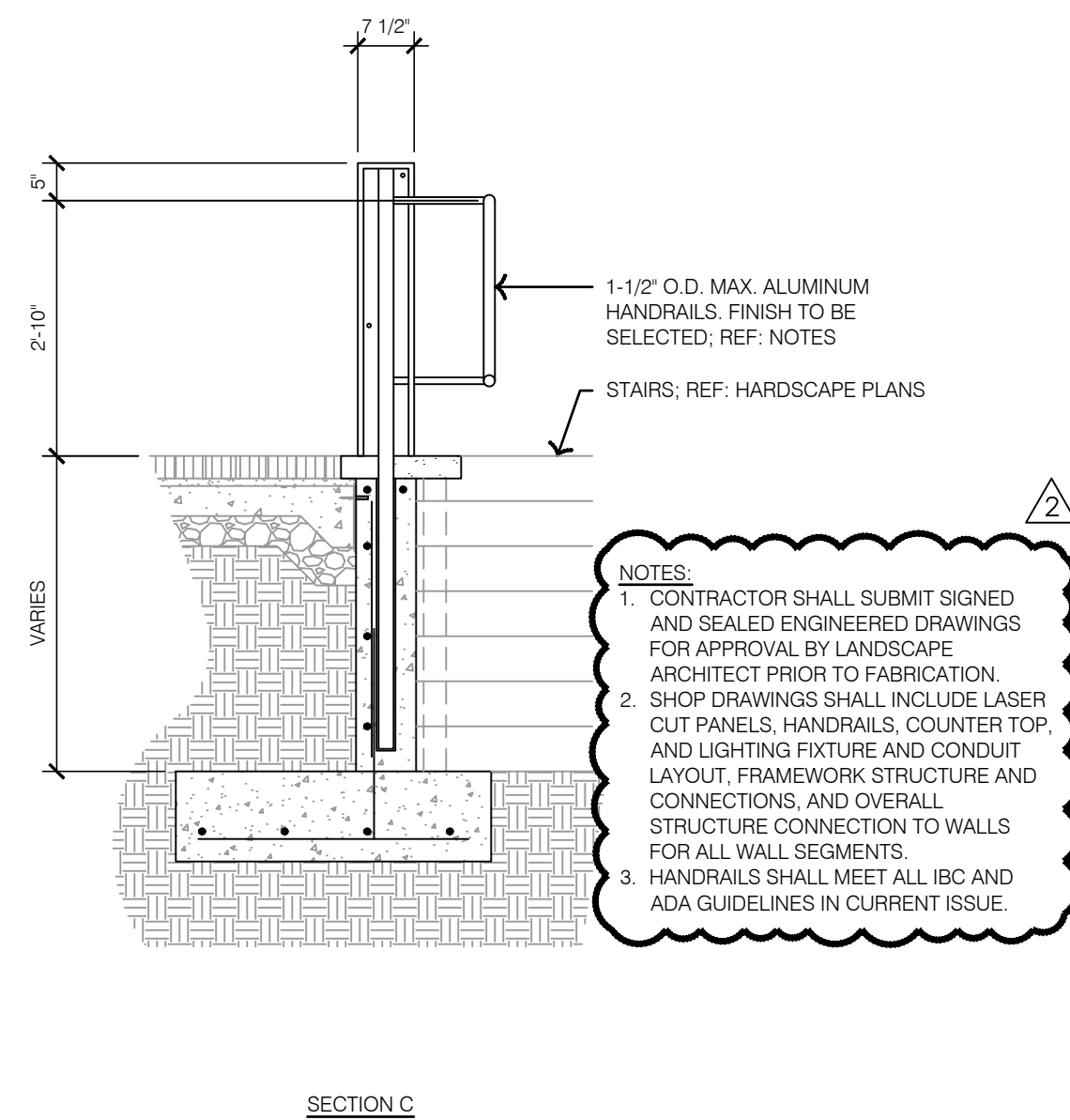
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drawn by: TS/TG/EW checked by: DV approved by: KPS QA/QC by: BM project no.: 022-00393 drawing: HSC-DTL01_02200393 date: 12/22/2023	
SHEET L308	

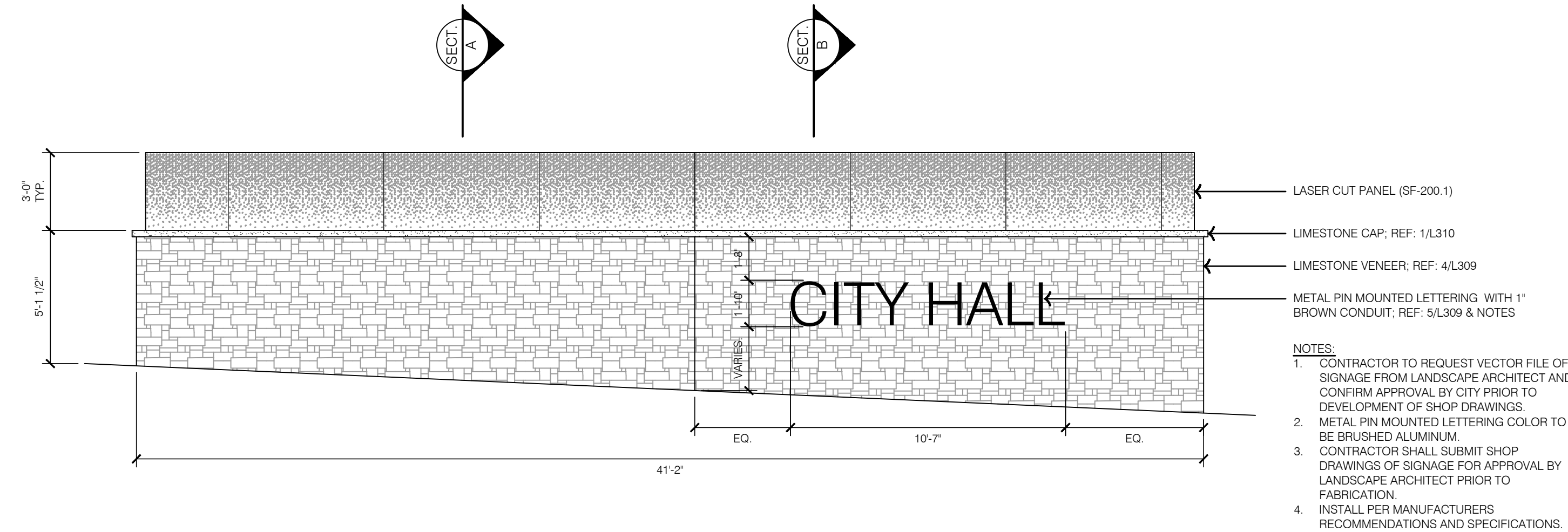
4 TYPICAL WALL SECTIONS



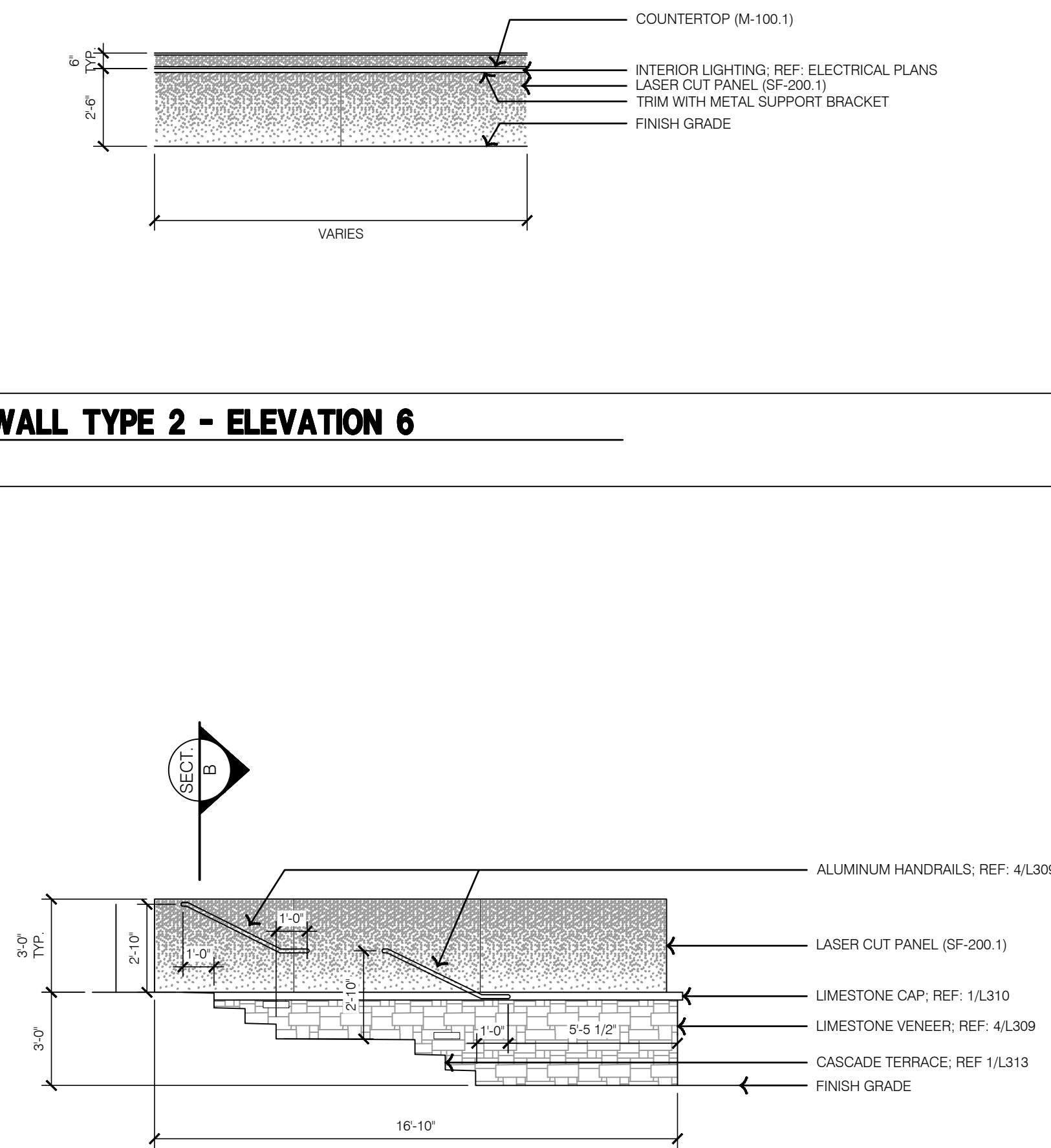
5 TYPICAL METAL PIN MOUNTING LETTERING DETAIL



3 WALL TYPE 2 - ELEVATION 7



2 WALL TYPE 2 - ELEVATION 6



1 WALL TYPE 2 - ELEVATION 5

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HARDSCAPE DETAILS - WALLS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

EE'S SUMMIT. MISSOURI

2023



drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: HSC DTL02 02200393
date: 12/22/2023

HARDSCAPE DETAILS - WALLS

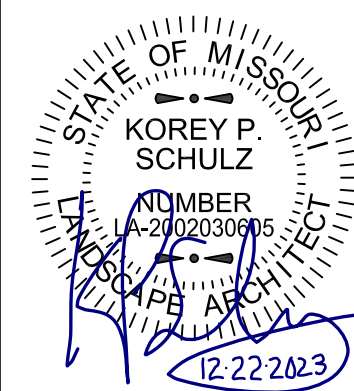
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GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	

REVISIONS

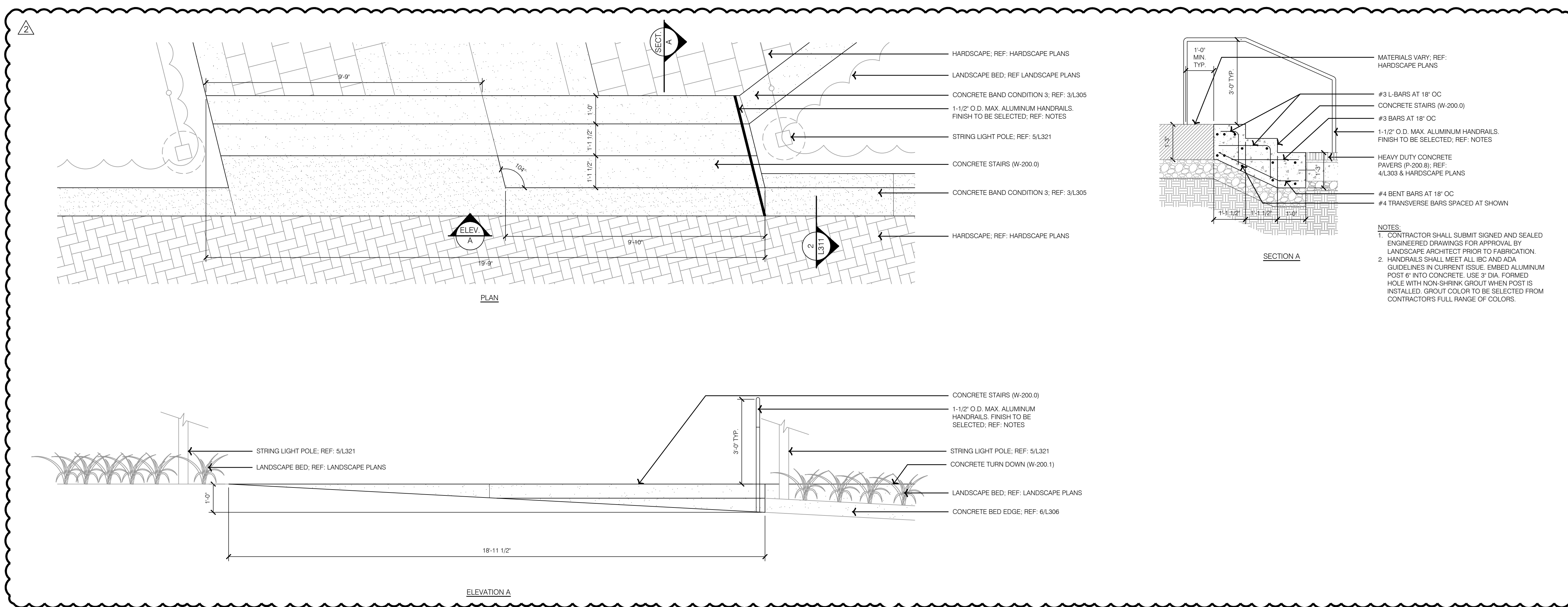


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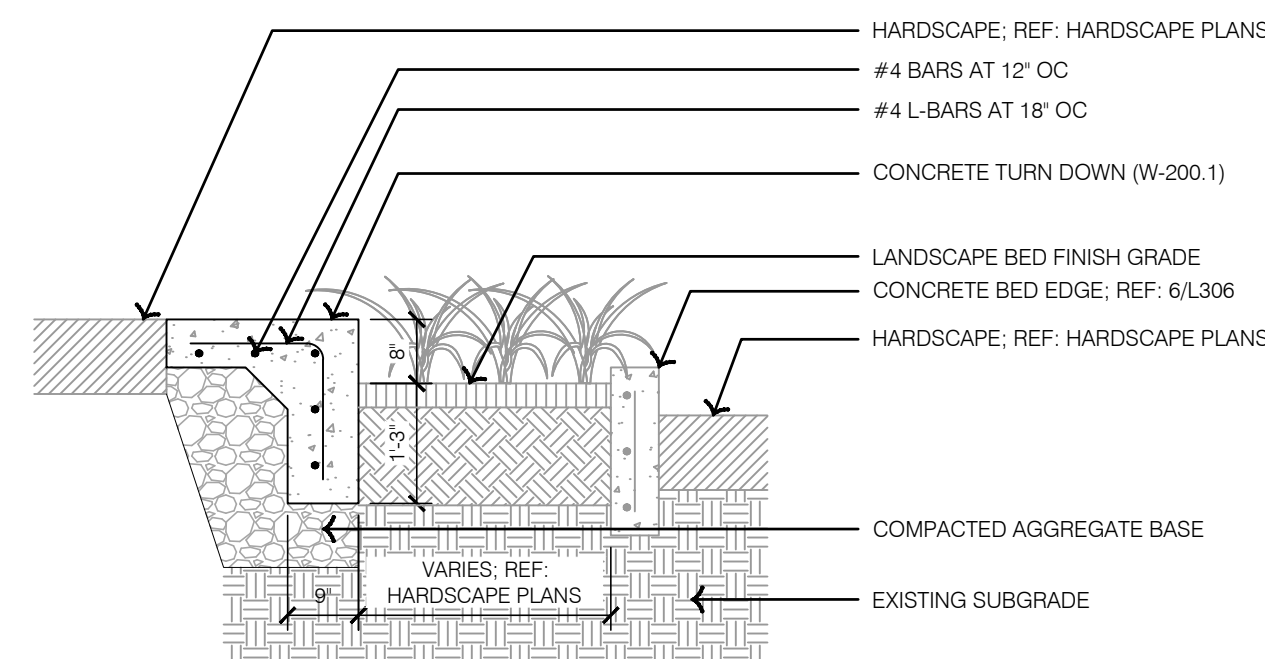
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MO CERTIFICATE OF AUTHORITY #2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8888

TEL 816.842.8844

1 STAIRCASE 1 DETAILS



2 TYPICAL CONCRETE TURN DOWN

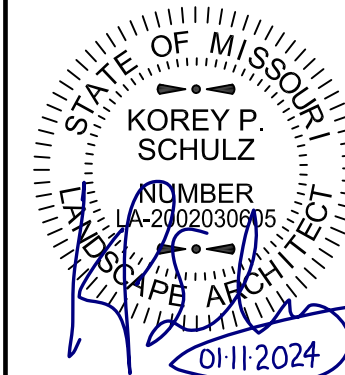


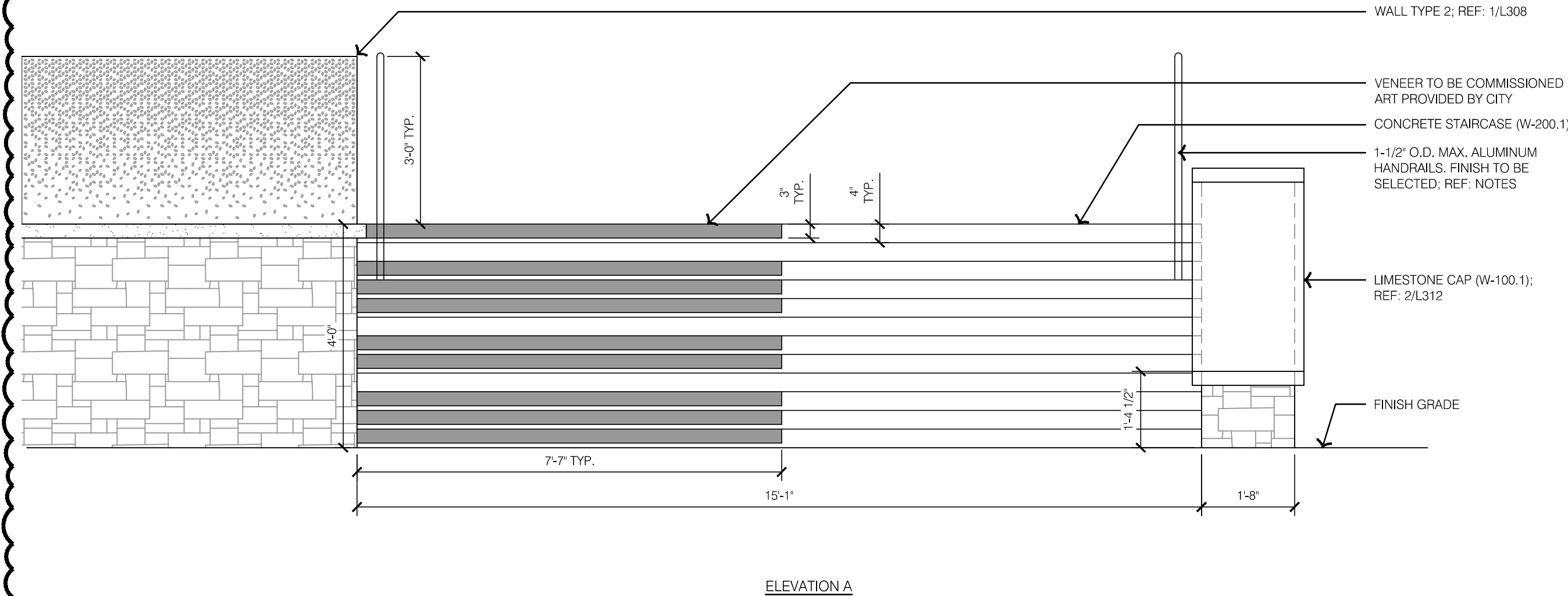
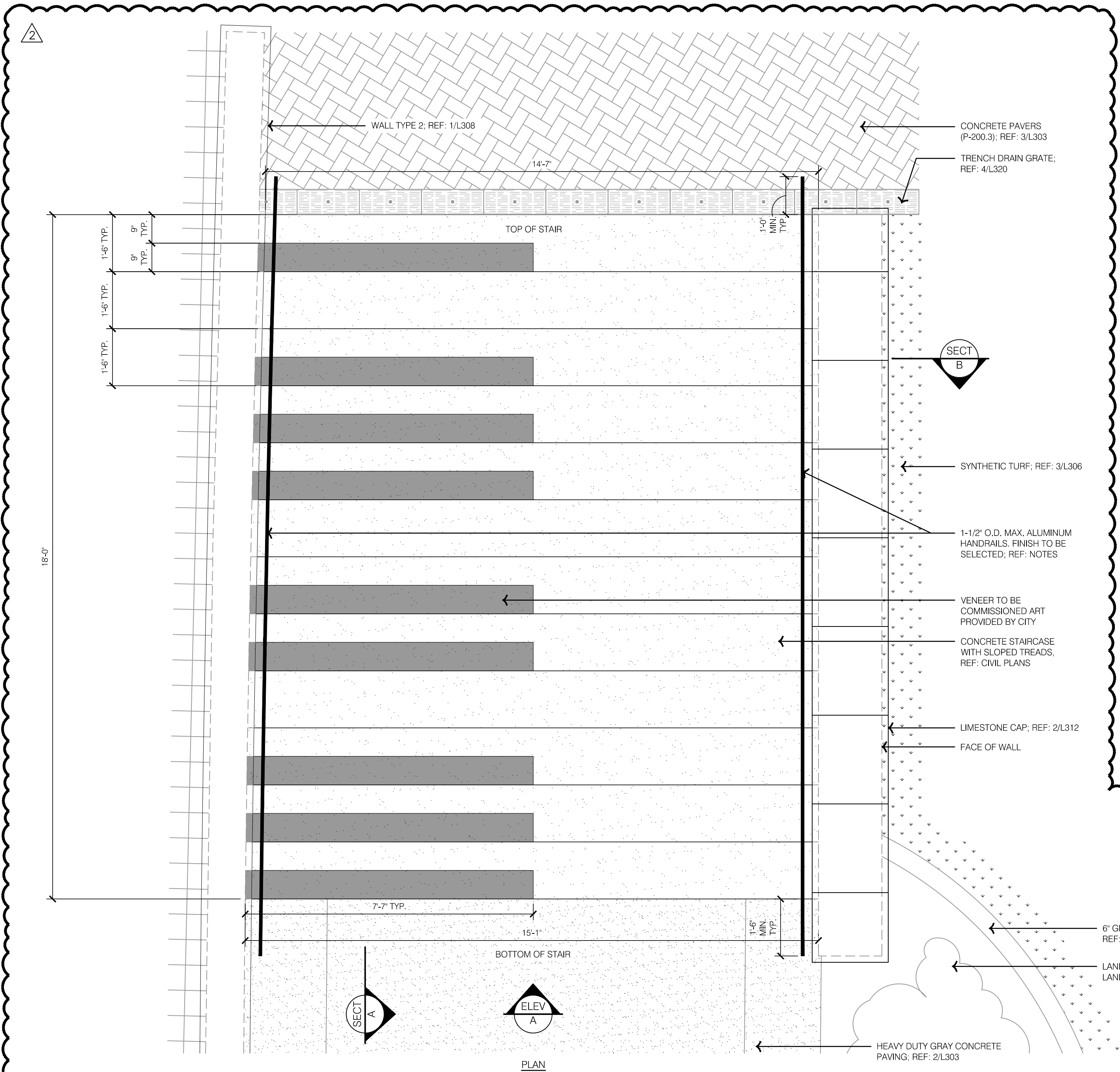
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HARDSCAPE DETAILS - STAIRS
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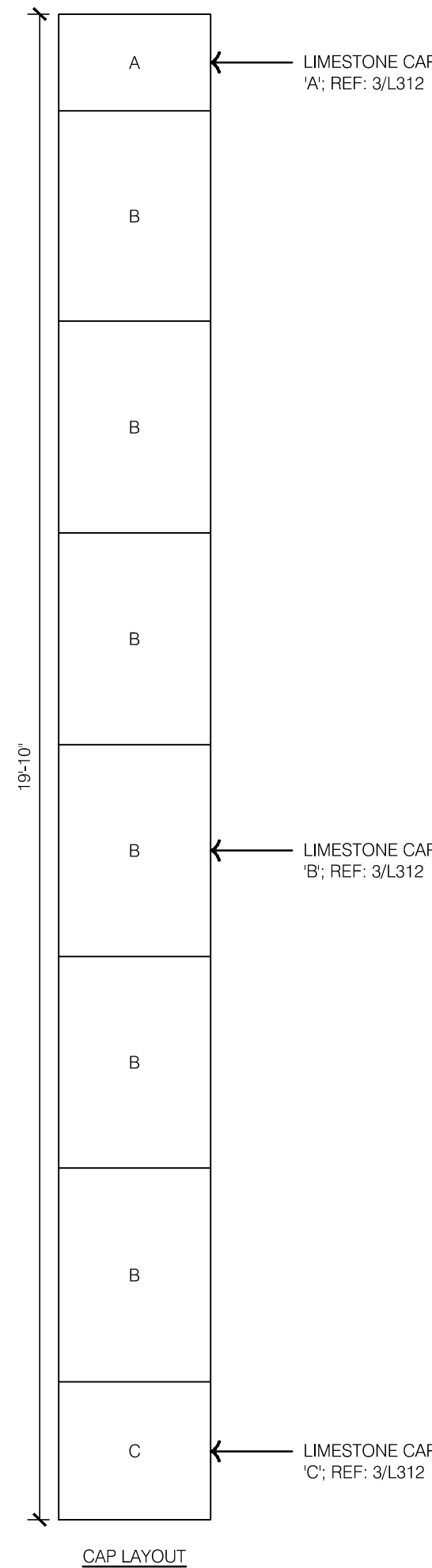
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project no.: _____ 022-003_____
drawing no.: _____ DTL02_022003_____
date: _____ 12/22/20____

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L311

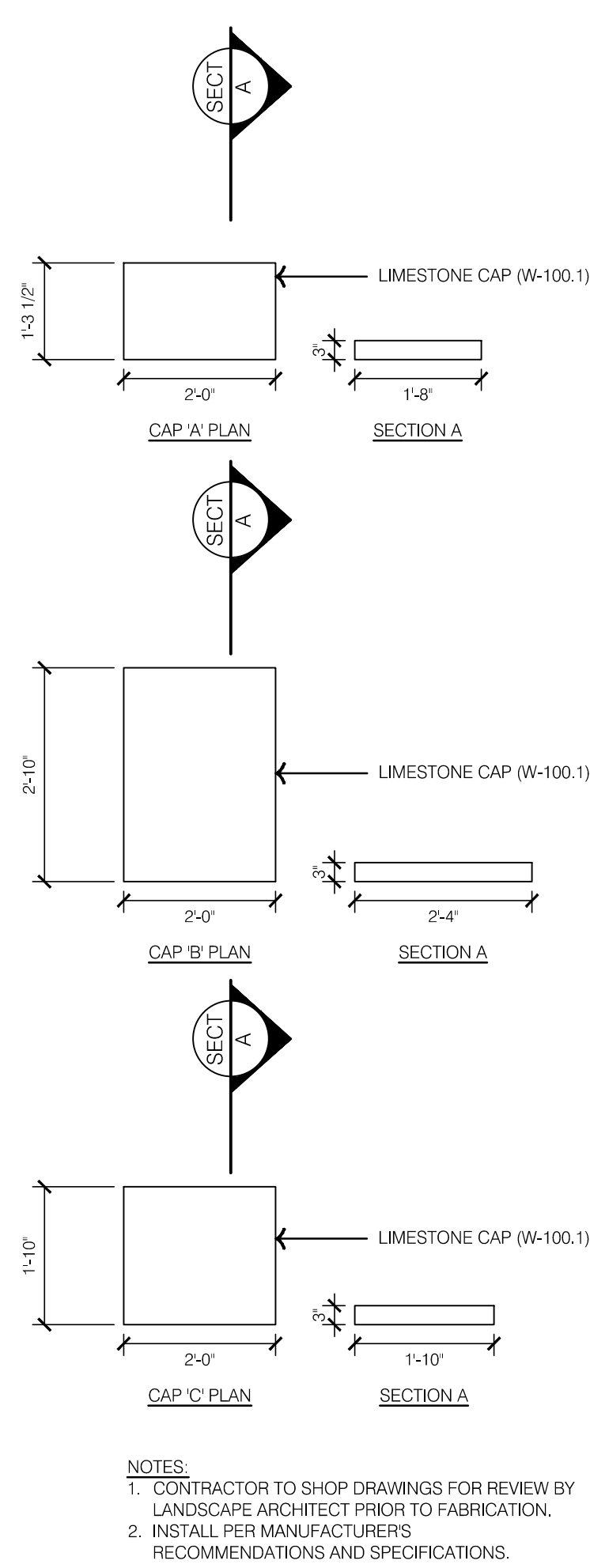
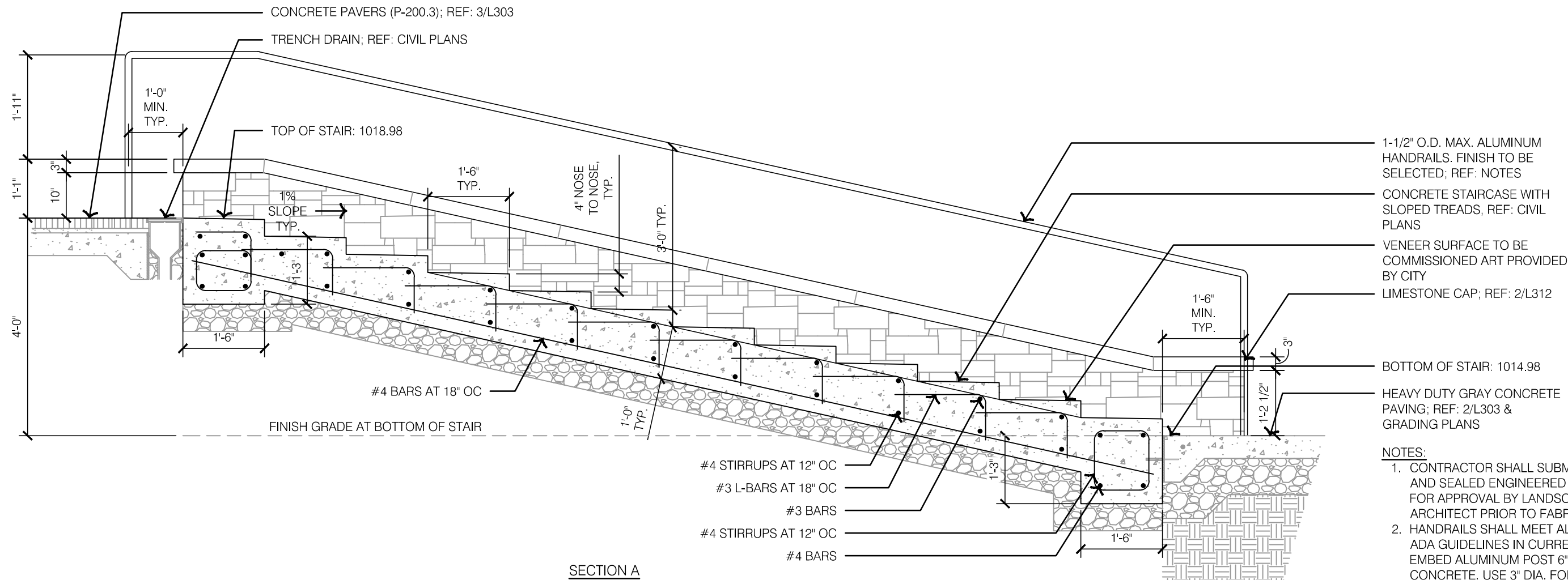
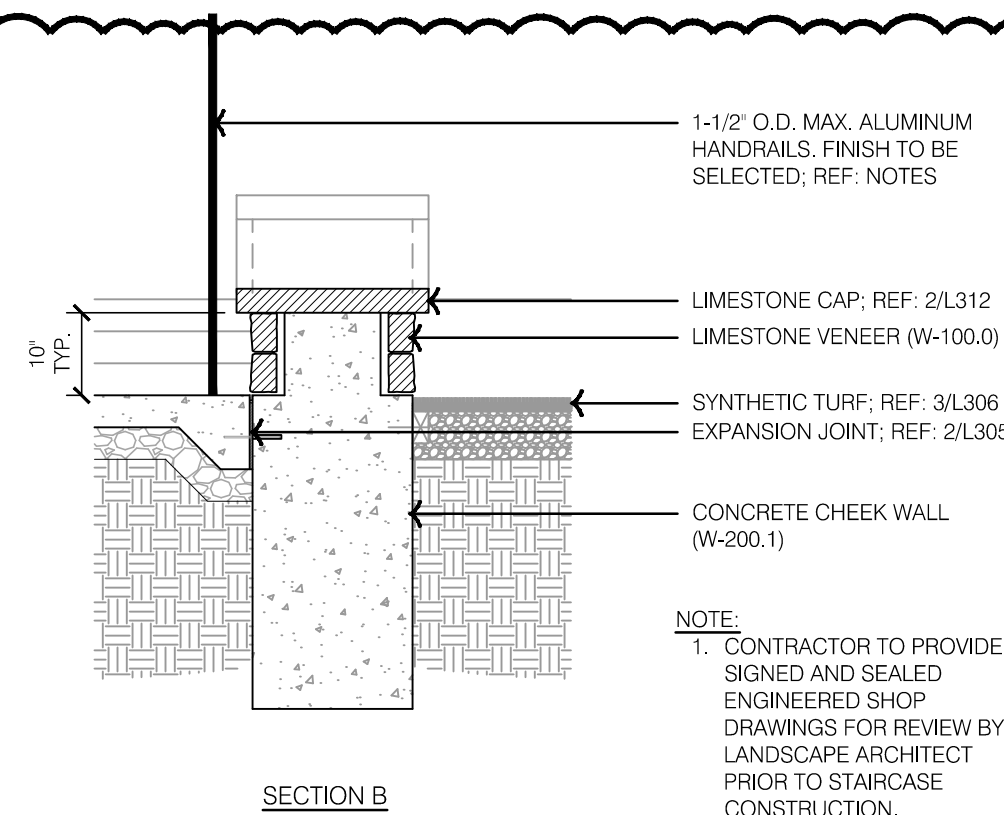




1 STAIRCASE 2 DETAILS



2 STAIRCASE 2 CAP DETAILS



- NOTES:
1. CONTRACTOR TO SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. INSTALL PER MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS.

RELEASED FOR CONSTRUCTION
4-11-2024
Development/Project Department
Lee's Summit, Missouri
01/11/2024

HARDSCAPE DETAILS - STAIRS

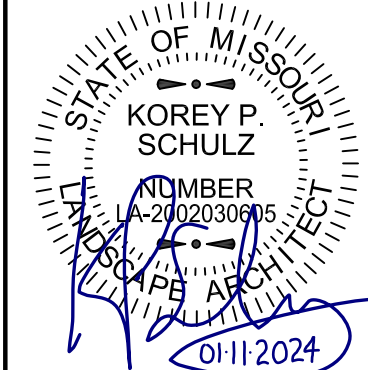
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
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2	01-11-2024	ADDENDUM #2	

REVISIONS

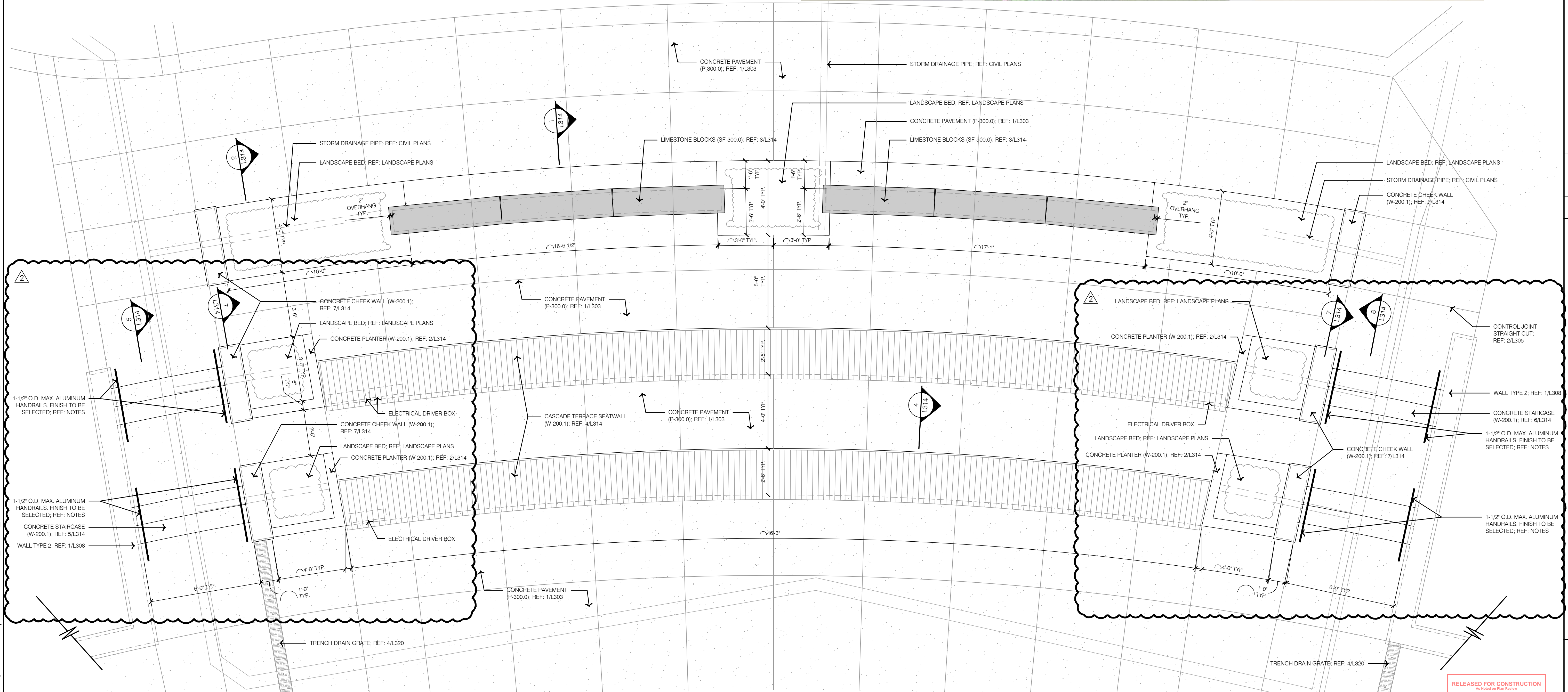


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Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing: HSC_DTL02_02200393
date: 12/22/2023

SHEET
L312



1 CASCADE TERRACE - LAYOUT

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

01/24/2024

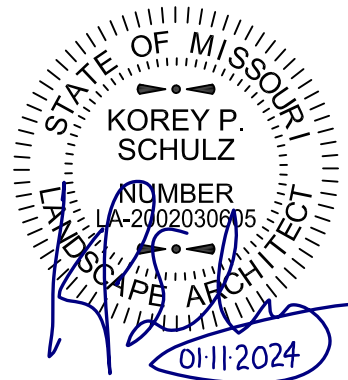
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project no.: 022-00393
drawing no.: HSC DTL03 02200393
date: 12/22/2023

SHEET
L313

HARDSCAPE DETAILS - CASCADE TERRACE

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

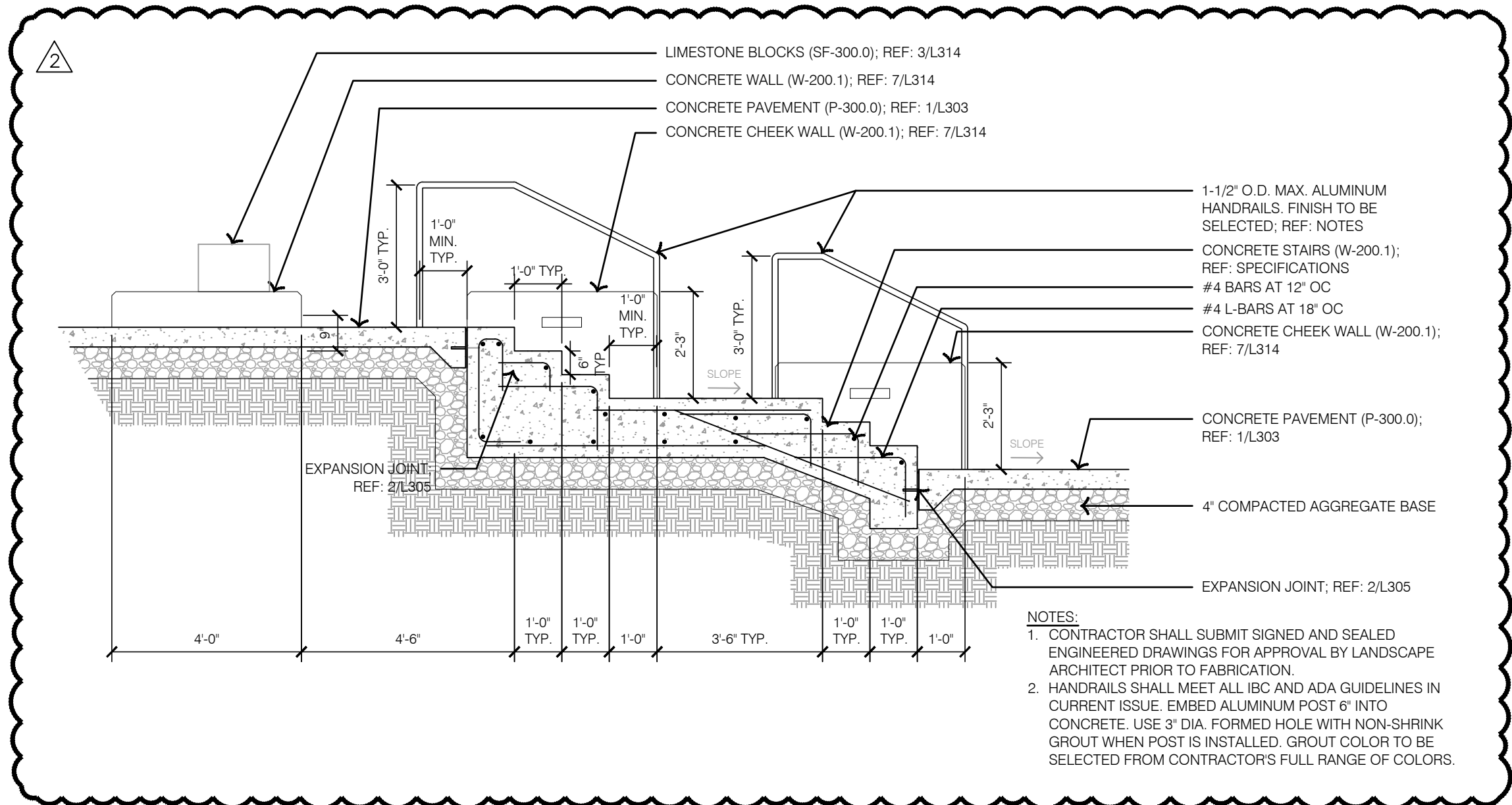
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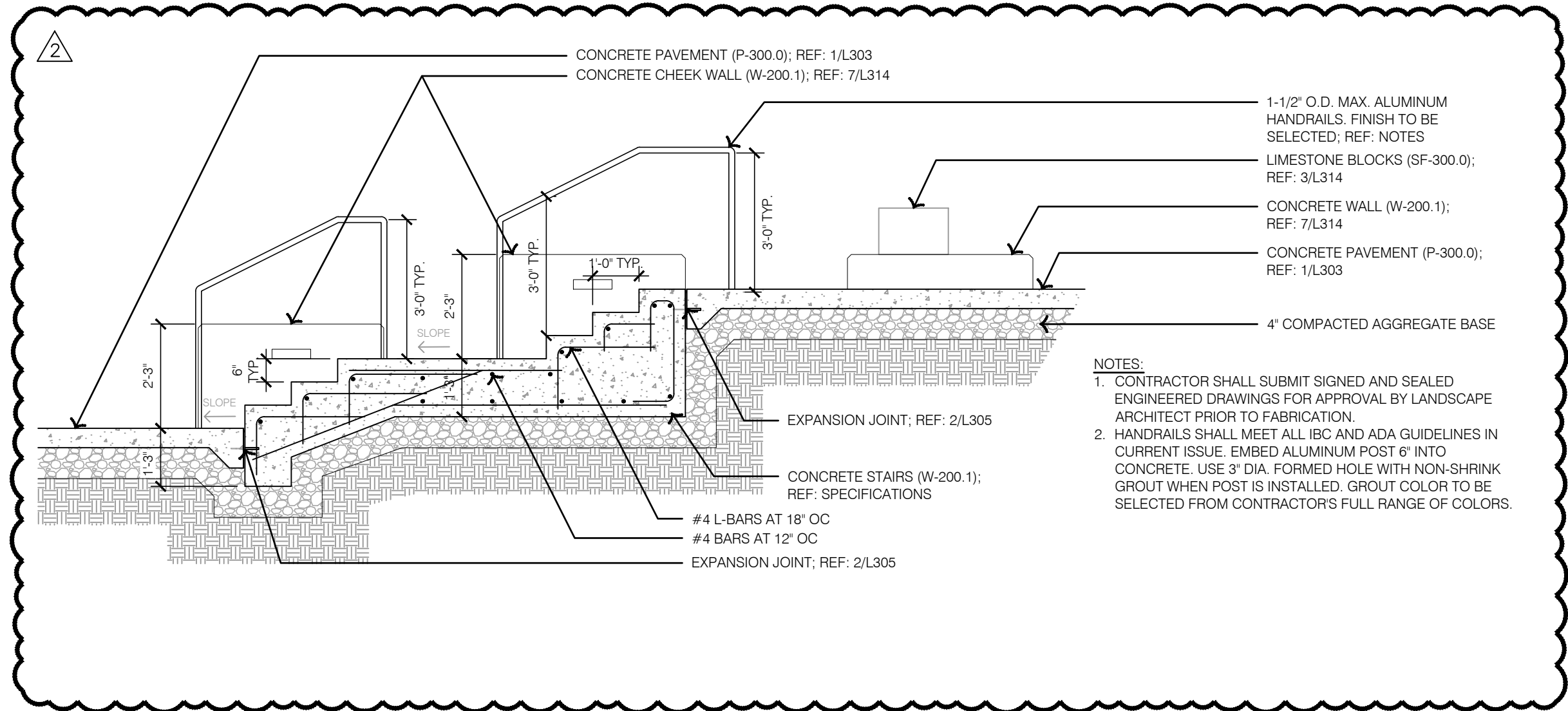
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MO CERTIFICATE OF AUTHORITY #2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816 842 8844
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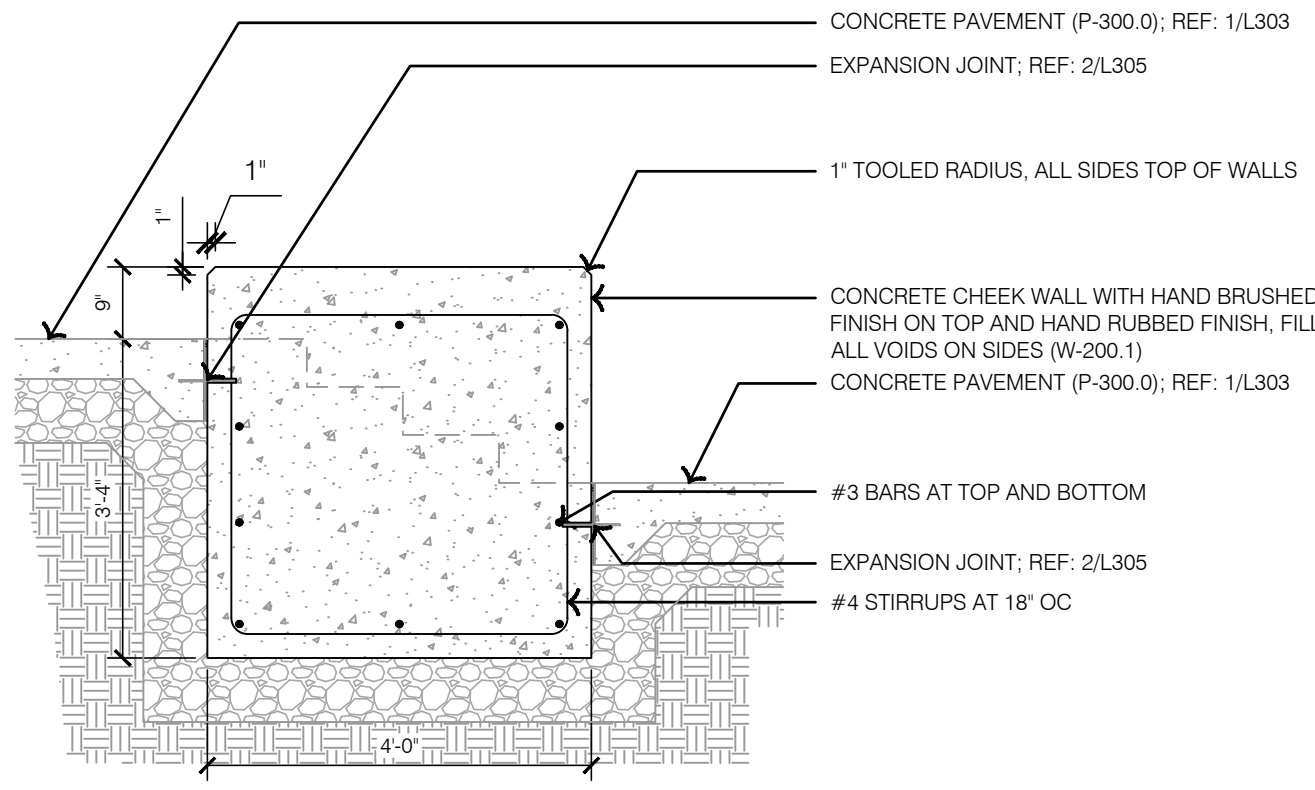
6 CASCADE TERRACE - STAIR SECTION



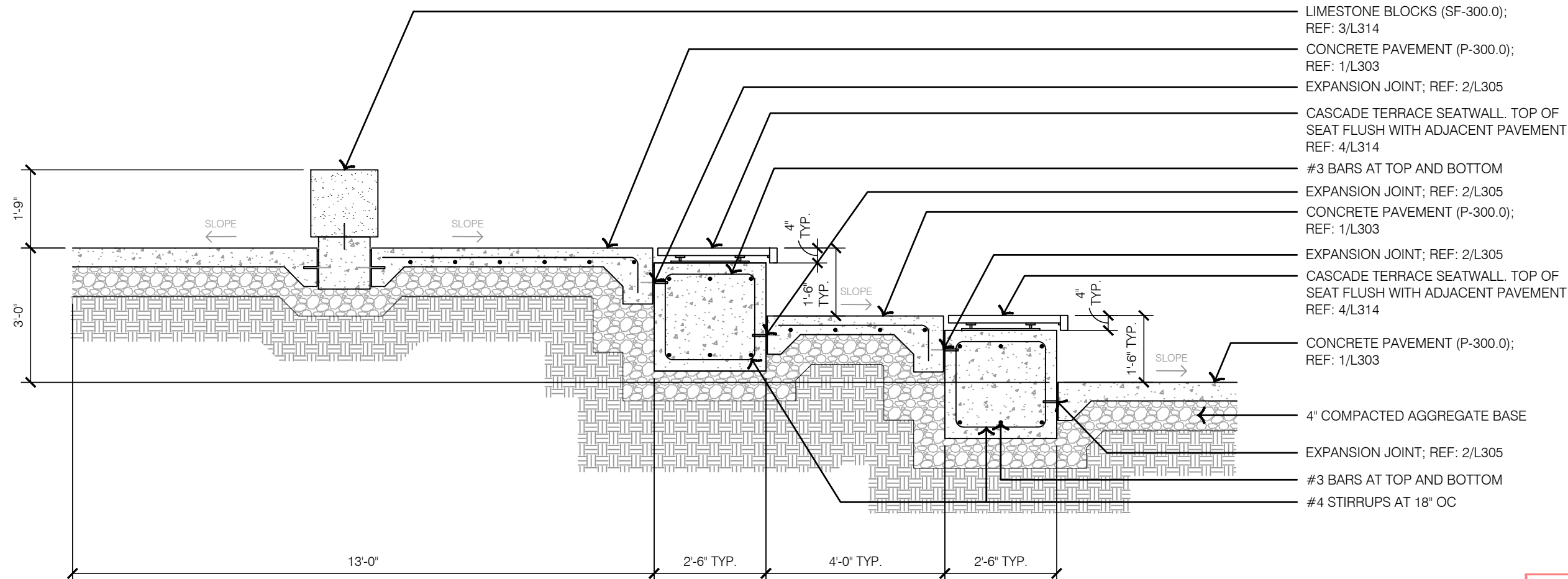
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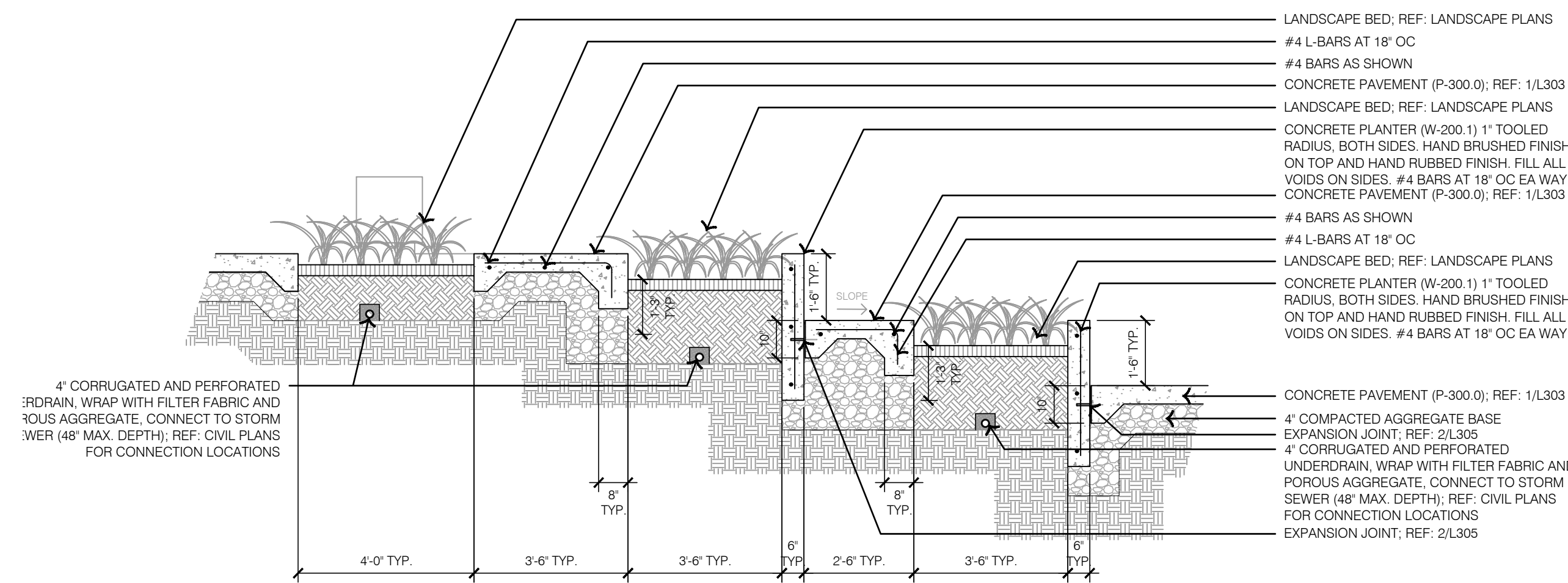
7 CASCADE TERRACE - CHEEK WALL SECTION



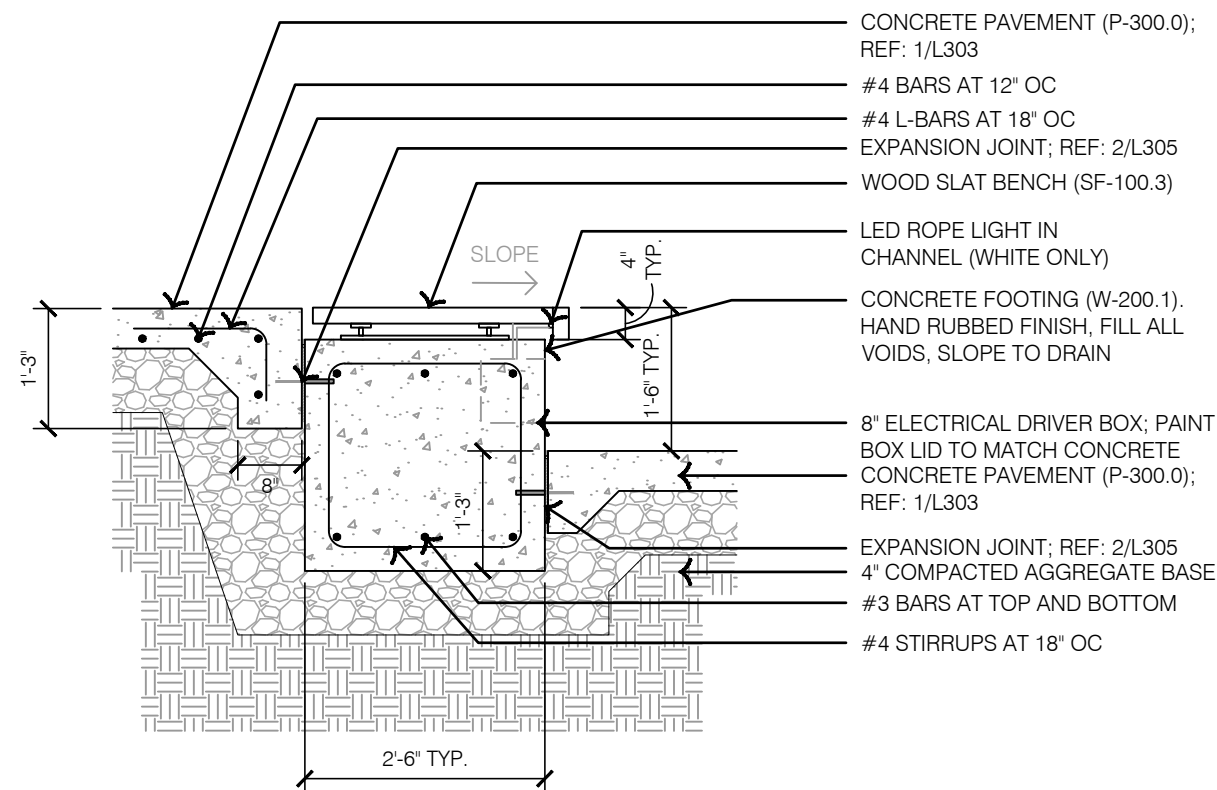
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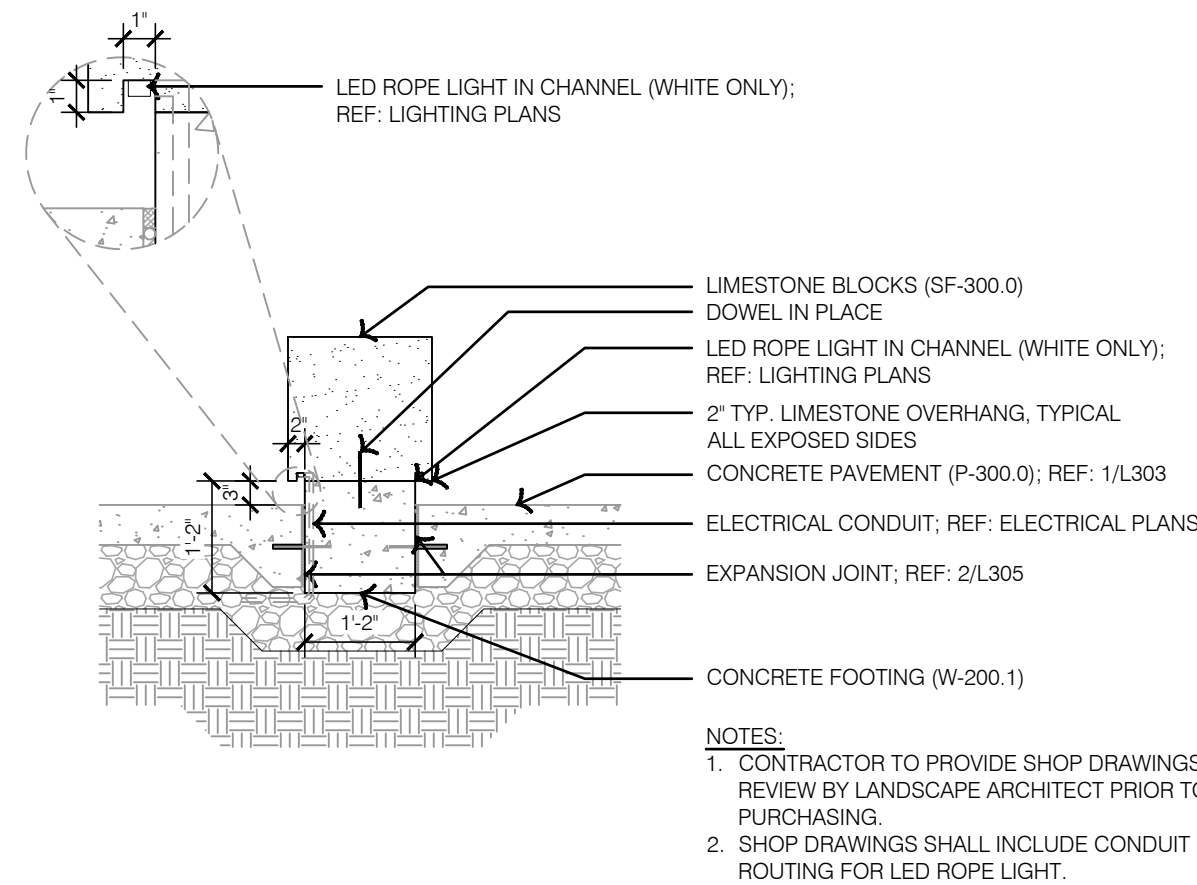
2 CASCADE TERRACE - SECTION



4 CASCADE TERRACE - SEATWALL SECTION



3 CASCADE TERRACE - LIMESTONE BLOCK



HARDSCAPE DETAILS - CASCADE TERRACE

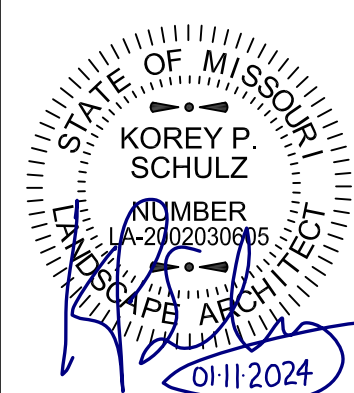
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM #1	
2	01-11-2024	ADDENDUM #2	

REVISIONS



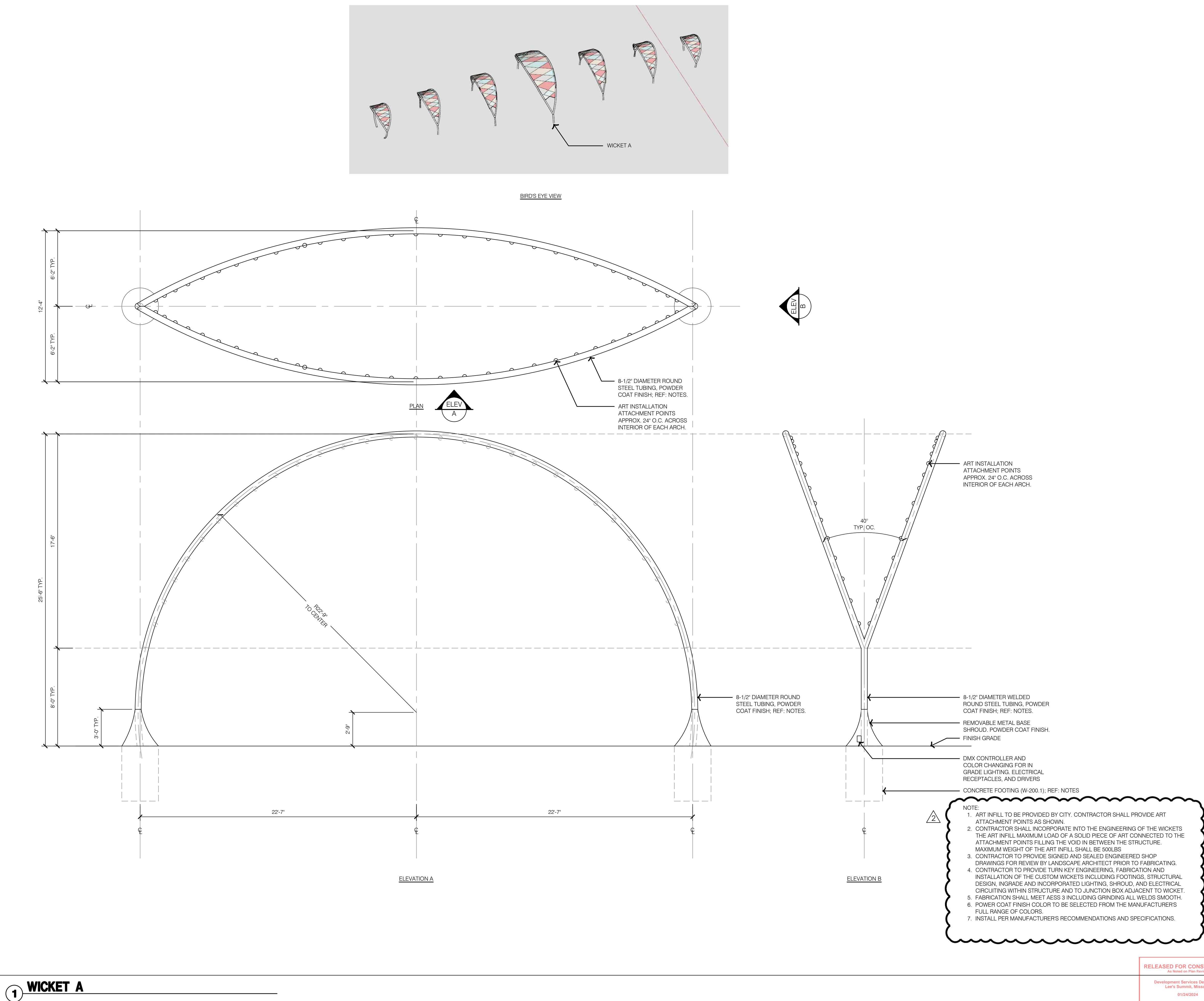
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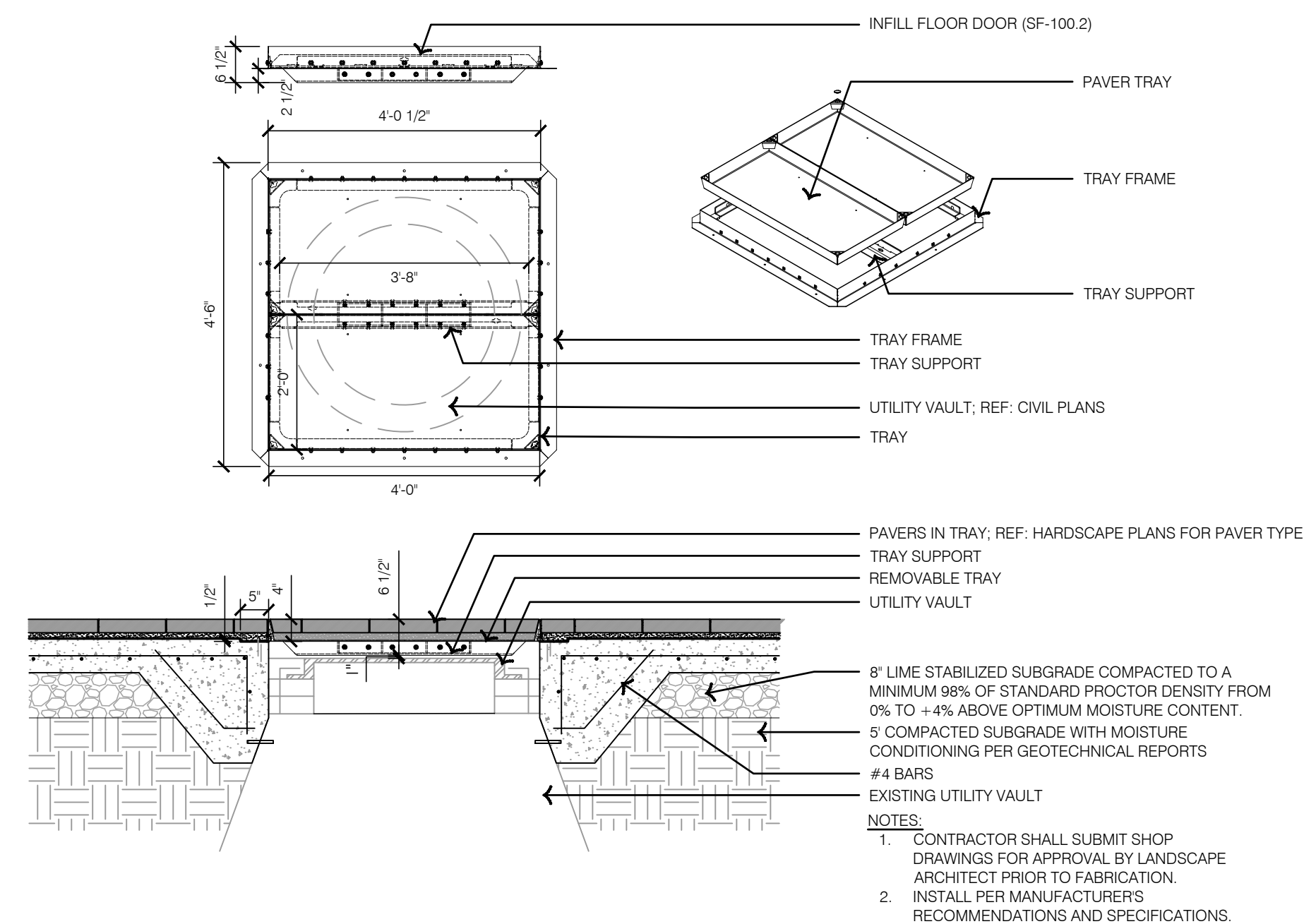
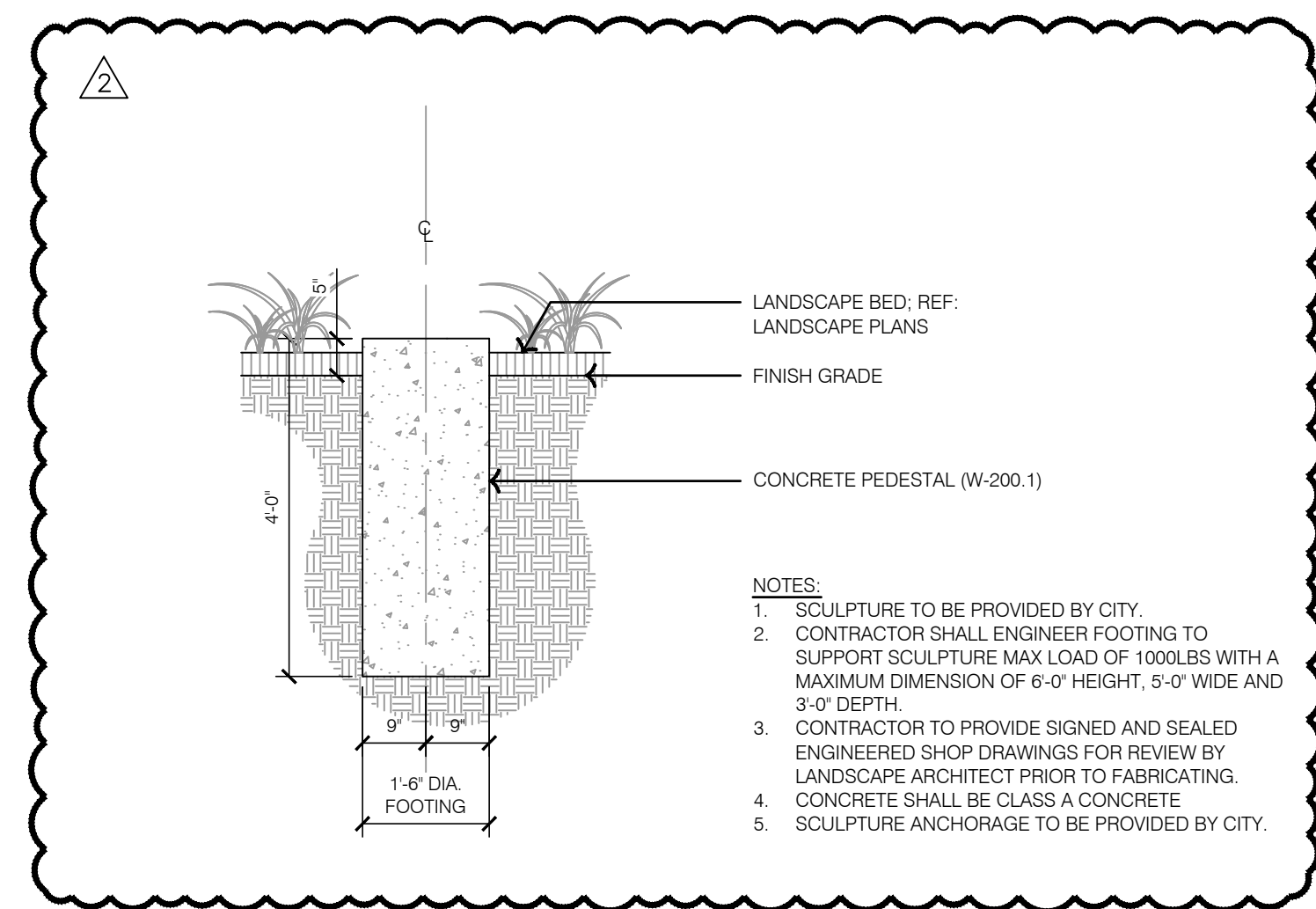
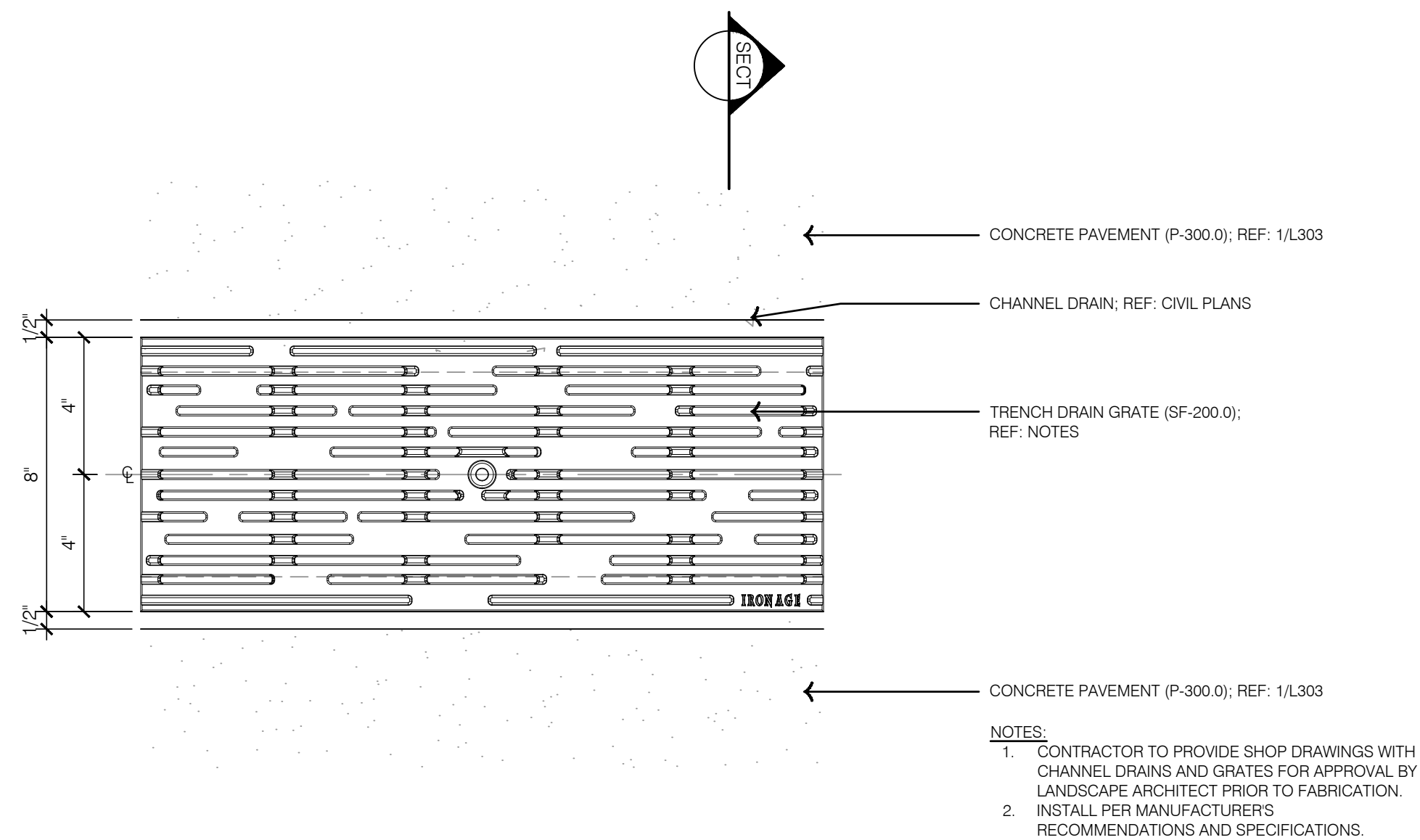
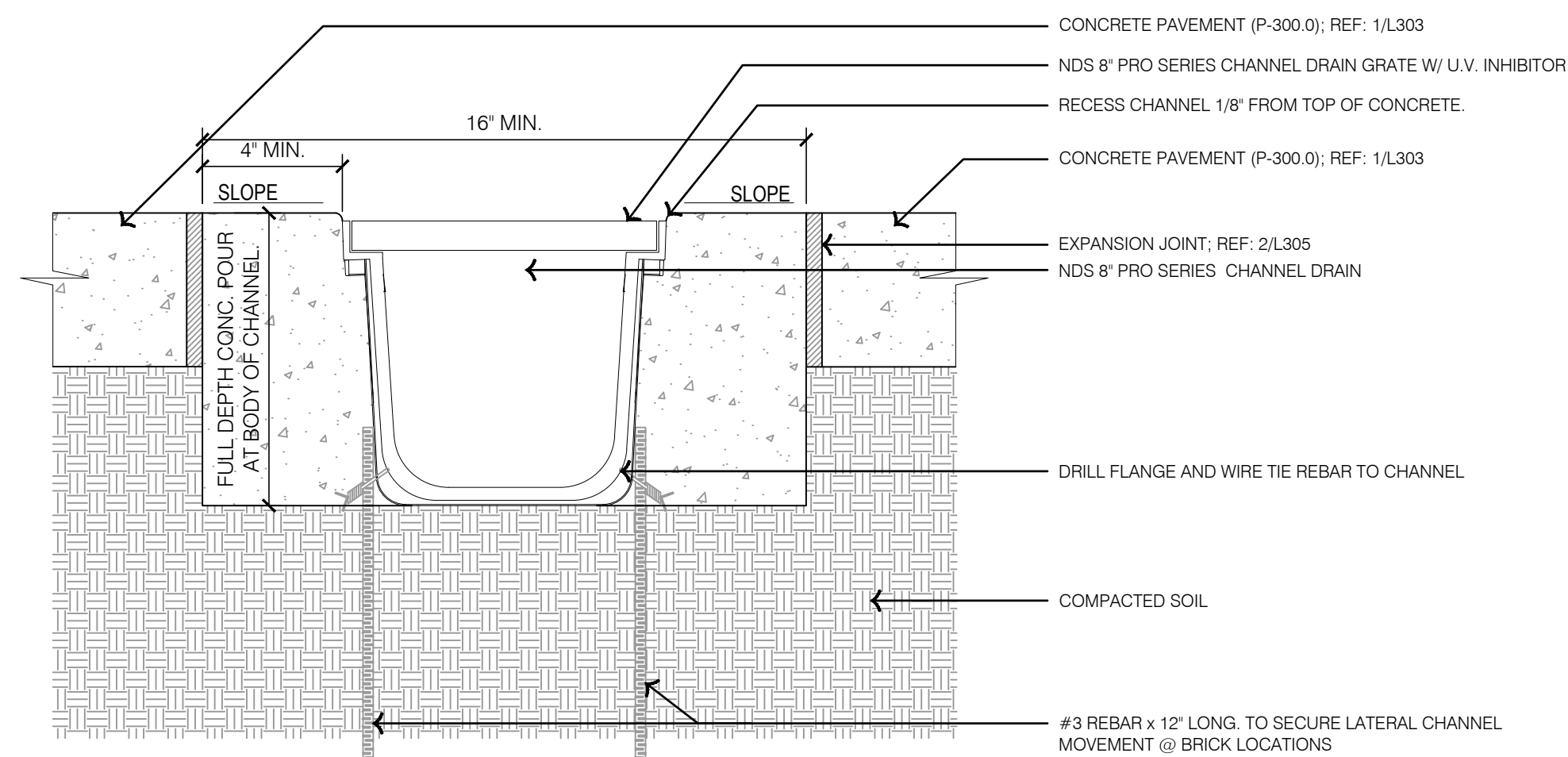
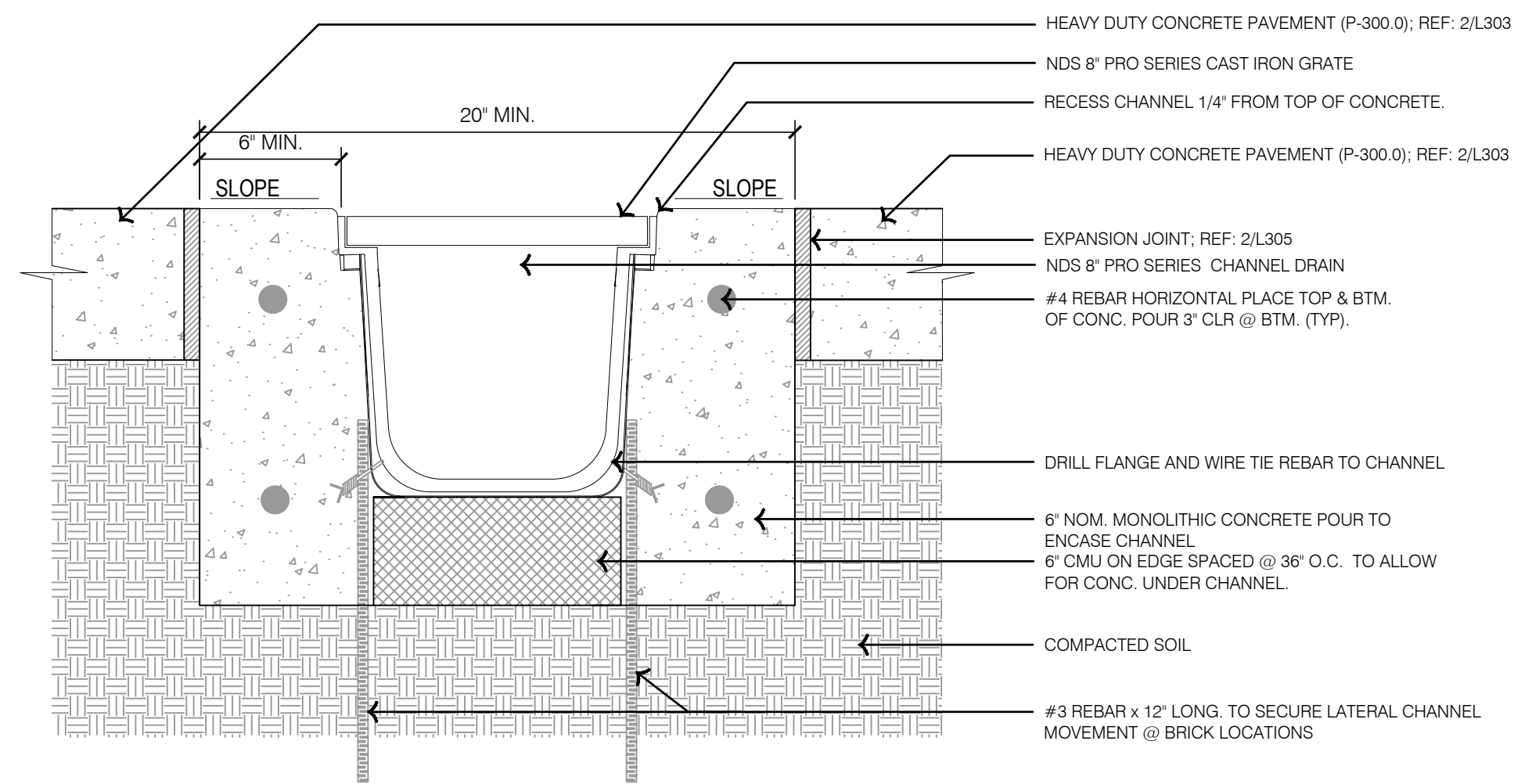
OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108
TEL 816.842.8844
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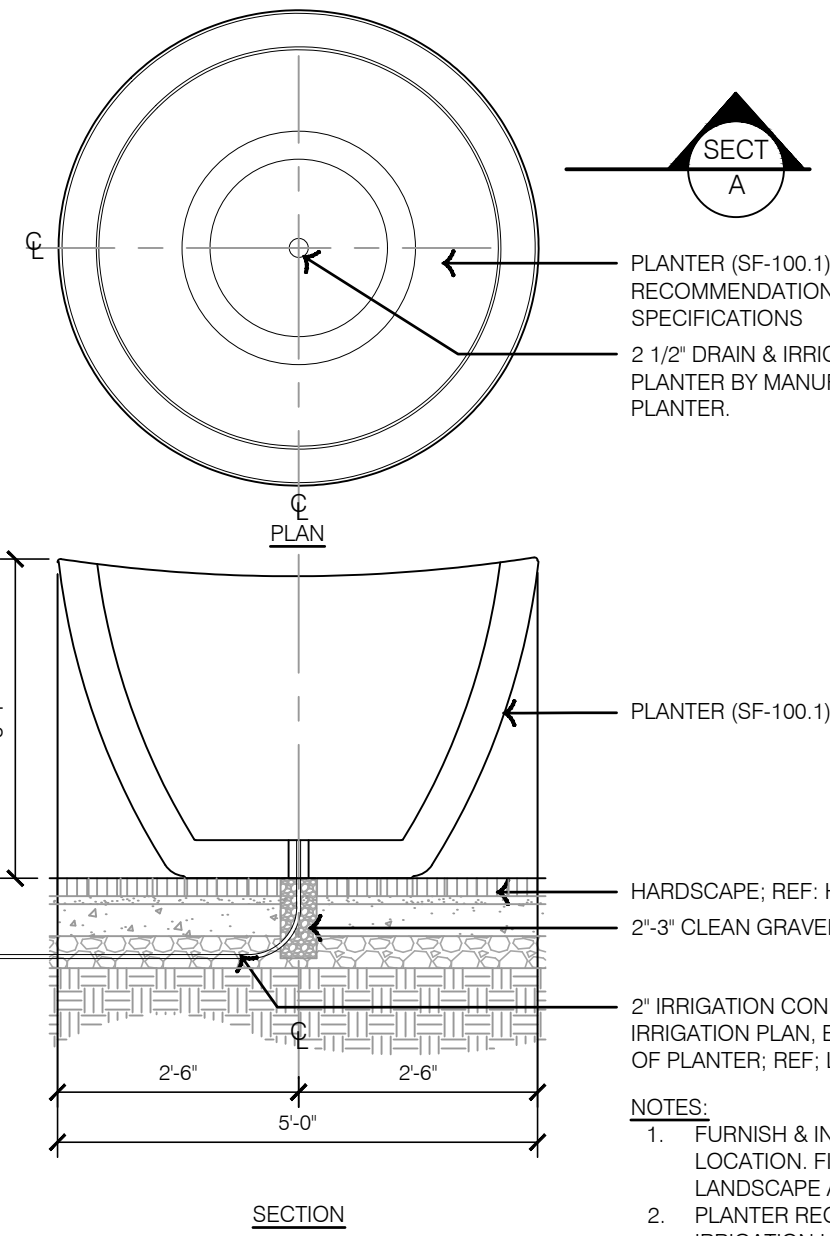
SHEET
L314

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing title: HSC_DTL03_02200393
date: 12/22/2023

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As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
01/24/2024

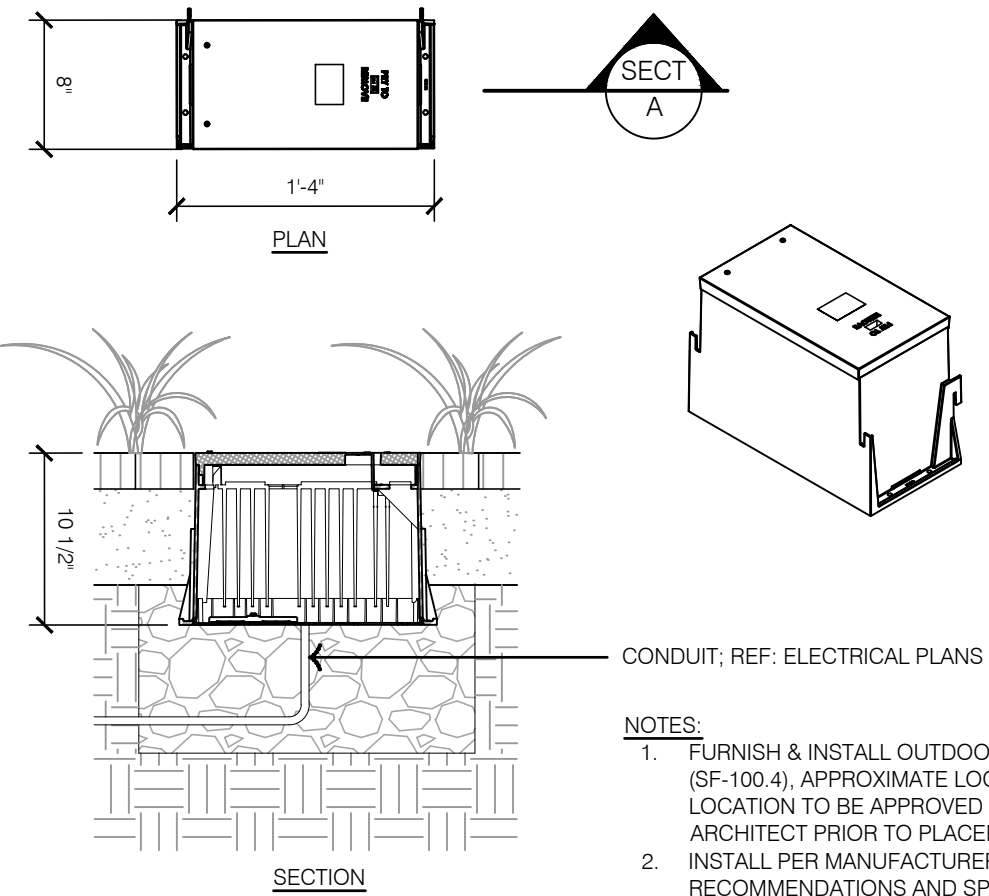






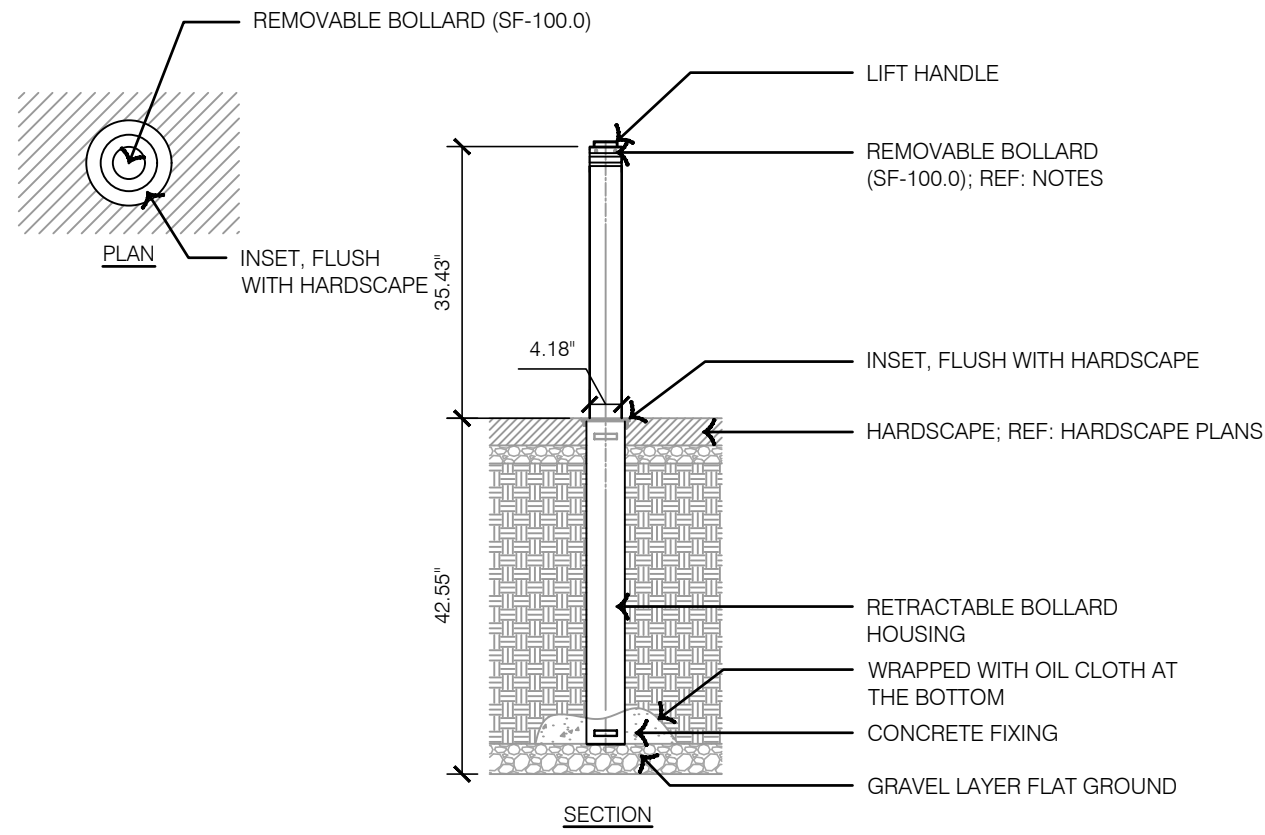
- PLANTER (SF-100.1) INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS; REF: SPECIFICATIONS
2 1/2" DRAIN & IRRIGATION CONDUIT HOLE PLACED IN PLANTER BY MANUFACTURER. LOCATE IN CENTER OF PLANTER.
- PLANTER (SF-100.1)
HARDSCAPE; REF: HARDSCAPE PLANS
2"-3" CLEAN GRAVEL SUMP, 12" DEPTH
2" IRRIGATION CONDUIT WITH 90 DEG. SWEEP ROUTE PER IRRIGATION PLAN. EXTEND 12" ABOVE INTERIOR BOTTOM OF PLANTER. REF: LANDSCAPE & IRRIGATION PLANS
- NOTES:
1. FURNISH & INSTALL PLANTER (SF-100.1), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
2. PLANTER REQUIRED TO HAVE BOTTOM HOLE FOR IRRIGATION LINE ACCESS.

7 TYPICAL PLANTER



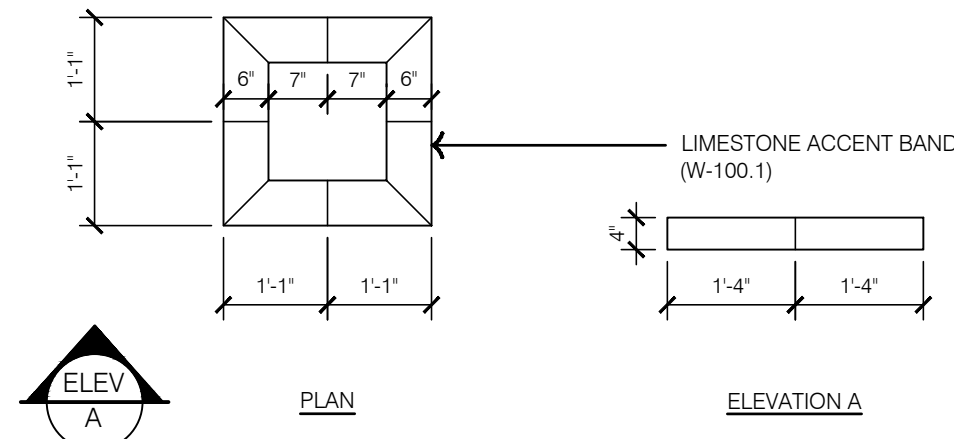
- CONDUIT; REF: ELECTRICAL PLANS
- NOTES:
1. FURNISH & INSTALL OUTDOOR GROUND BOX (SF-100.4), APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
2. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

6 OUTDOOR GROUND BOX

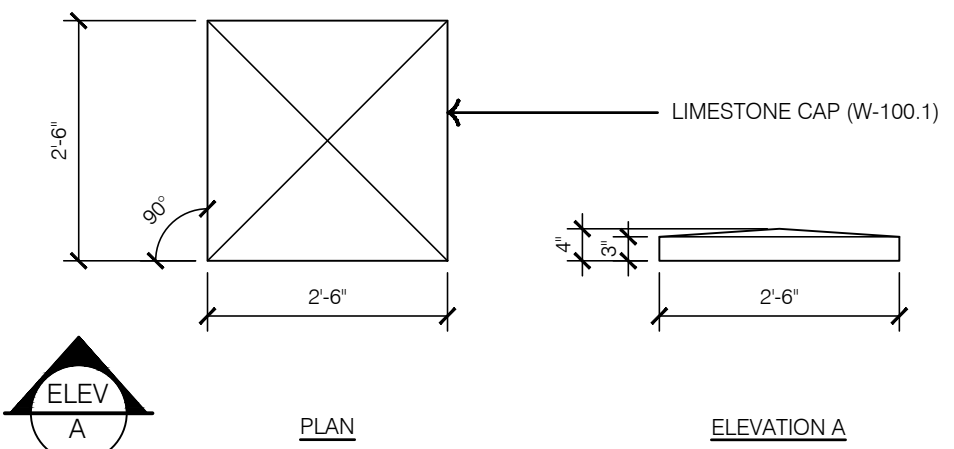


- RETRACTABLE BOLLARD HOUSING
WRAPPED WITH OIL CLOTH AT THE BOTTOM
CONCRETE FIXING
GRAVEL LAYER FLAT GROUND
- NOTES:
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2. INSTALL PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

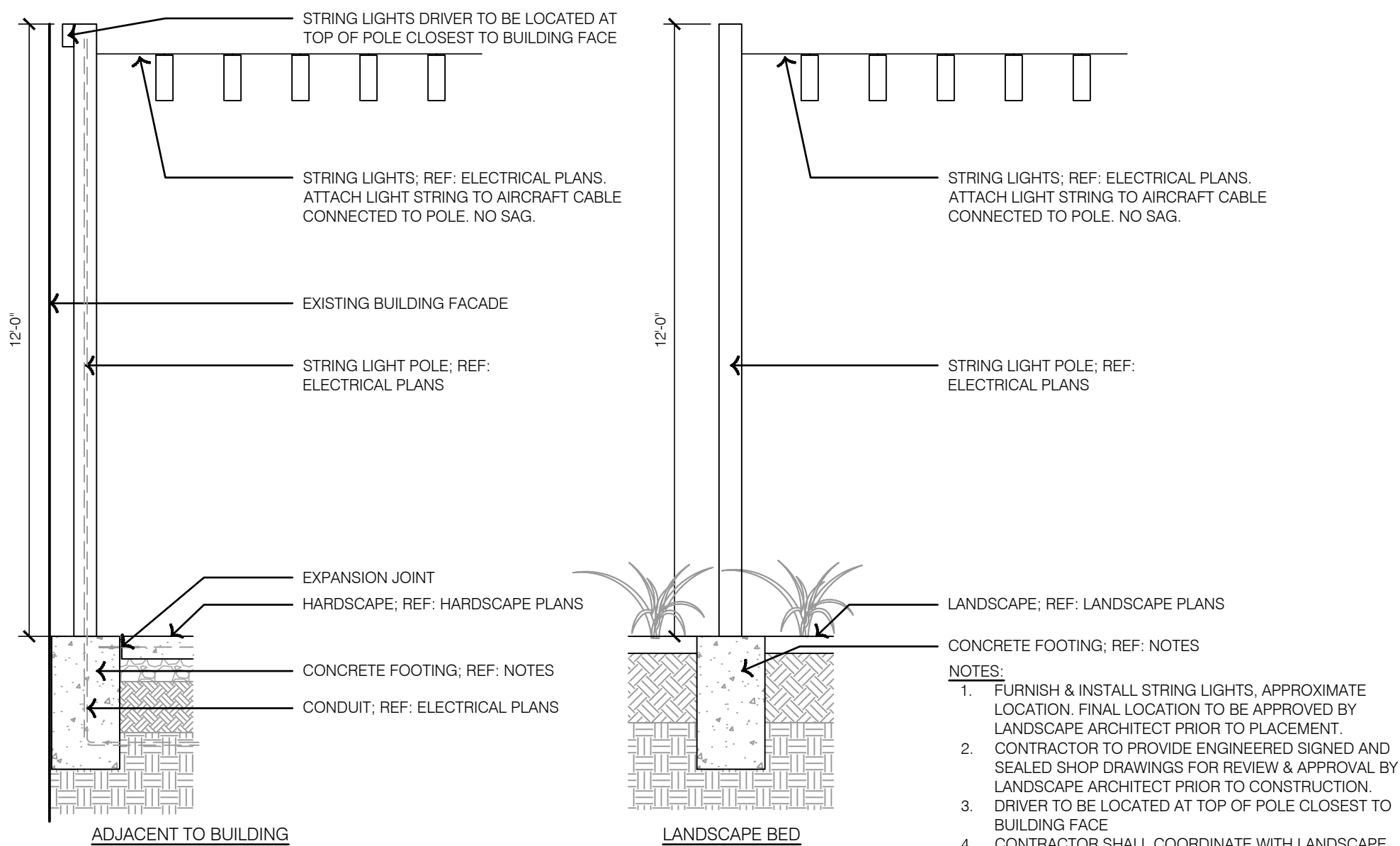
4 TYPICAL REMOVABLE BOLLARD



3 GATEWAY COLUMN ACCENT BAND

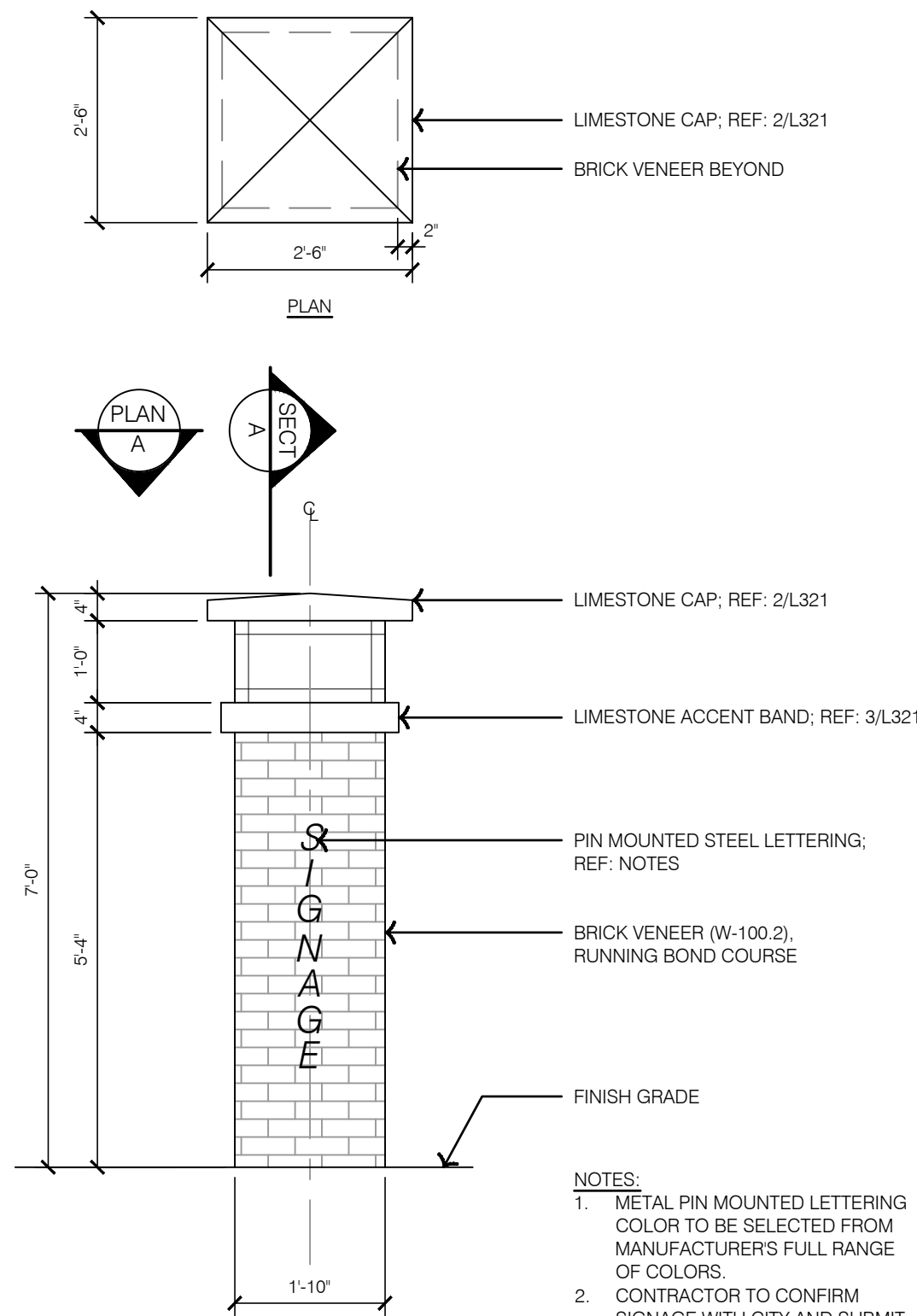


2 GATEWAY COLUMN CAP PLAN A



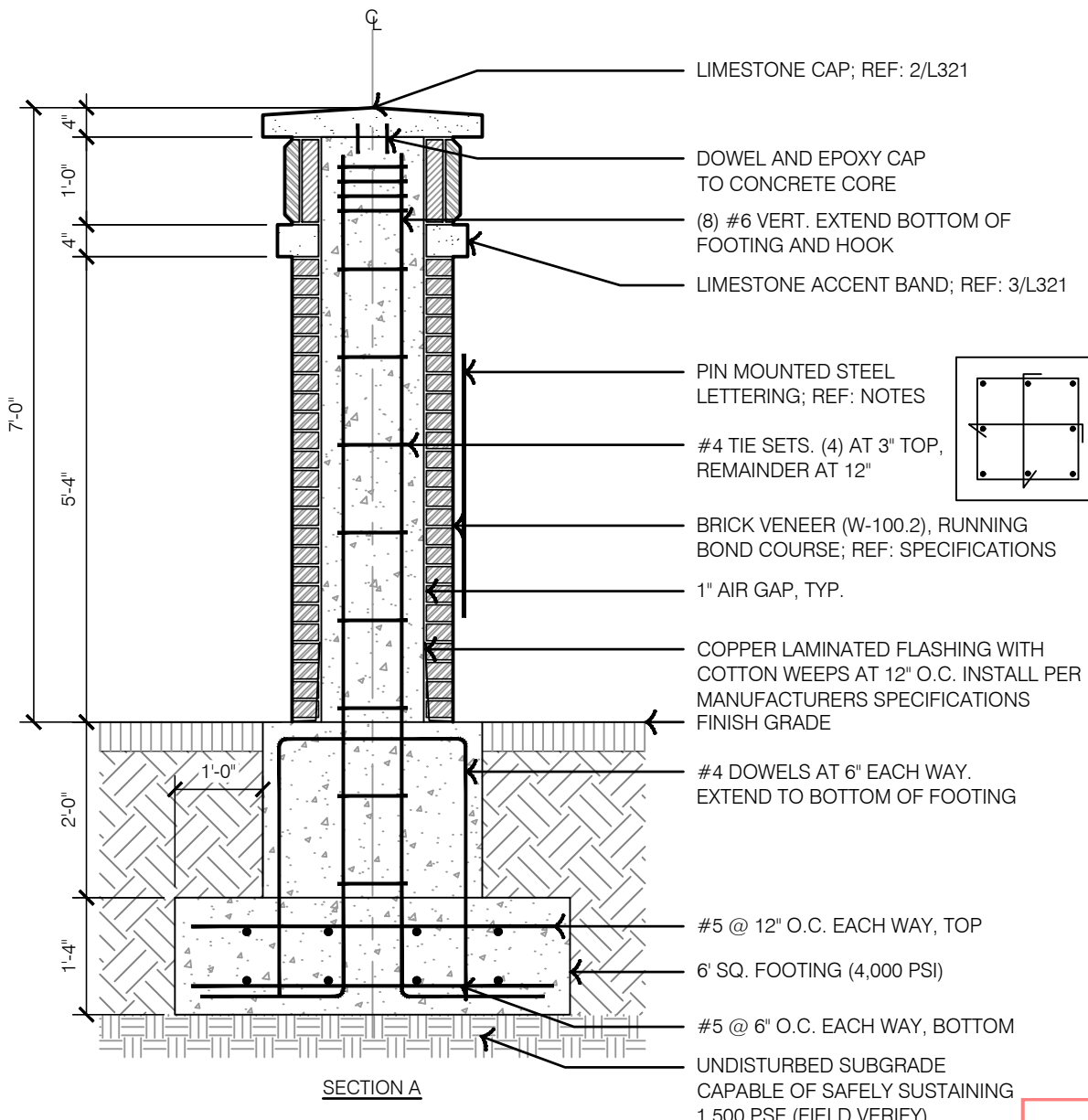
- CONCRETE FOOTING; REF: NOTES
- NOTES:
1. FURNISH & INSTALL STRING LIGHTS, APPROXIMATE LOCATION. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
2. CONTRACTOR TO PROVIDE ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. DRIVER TO BE LOCATED AT TOP OF POLE CLOSEST TO BUILDING FACE.
4. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR DEVELOPMENT OF POLE FOOTINGS ADJACENT TO BUILDING. INFORM LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO SHOW DRAWINGS DEVELOPMENT.

5 TYPICAL STRING LIGHT POLE



- NOTES:
1. METAL PIN MOUNTED LETTERING COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS.
2. CONTRACTOR TO CONFIRM SIGNAGE WITH CITY AND SUBMIT SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
3. INSTALL PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

1 GATEWAY COLUMN DETAILS



- LIMESTONE CAP; REF: 2/L321
DOWEL & EPOXY CAP TO CONCRETE CORE
(8) #6 VERT. EXTEND BOTTOM OF FOOTING AND HOOK
LIMESTONE ACCENT BAND; REF: 3/L321
PIN MOUNTED STEEL LETTERING; REF: NOTES
#4 TIE SETS. (4) AT 3" TOP, REMAINDER AT 12"
BRICK VENEER (W-100.2), RUNNING BOND COURSE; REF: SPECIFICATIONS
1" AIR GAP, TYP.
COPPER LAMINATED FLASHING WITH COTTON WEEPS AT 12" O.C. INSTALL PER MANUFACTURERS SPECIFICATIONS FINISH GRADE
#4 DOWELS AT 6" EACH WAY. EXTEND TO BOTTOM OF FOOTING
#5 @ 12" O.C. EACH WAY, TOP
6" SQ. FOOTING (4,000 PSI)
#5 @ 6" O.C. EACH WAY, BOTTOM
UNDISTURBED SUBGRADE CAPABLE OF SAFELY SUSTAINING 1,500 PSF (FIELD VERIFY)

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As Noted on Plans Review
Prepared and Sealed in accordance with
Lee's Summit, Missouri
01/24/2024

HARDSCAPE DETAILS - AMENITIES

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
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L321

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DATE 12-22-2023
REVISIONS DESCRIPTION
ADDITION #1

BY

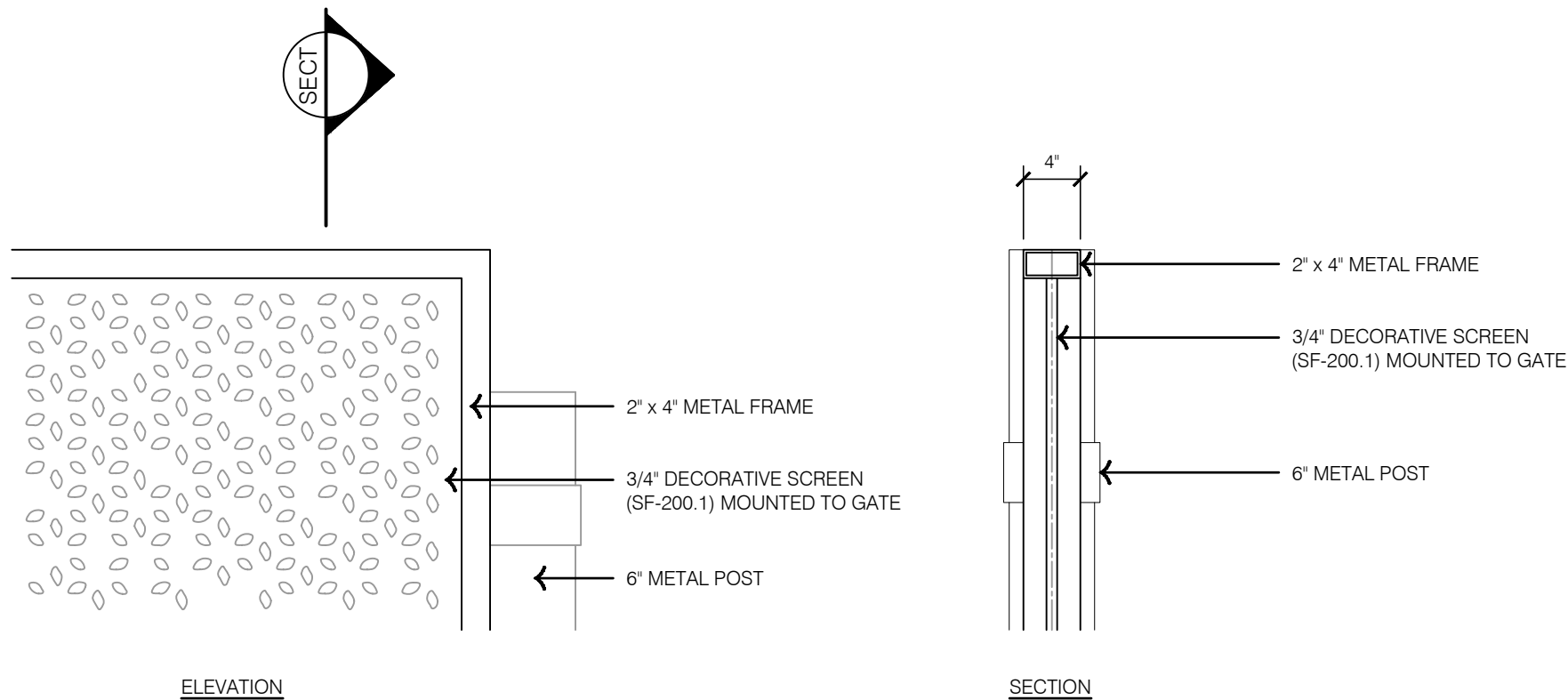
STATE OF MISSOURI
KOREY P. SCHULZ
NUMBER 12-22-2023
12-22-2023

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MO CERTIFICATE OF AUTHORITY # 2005000285
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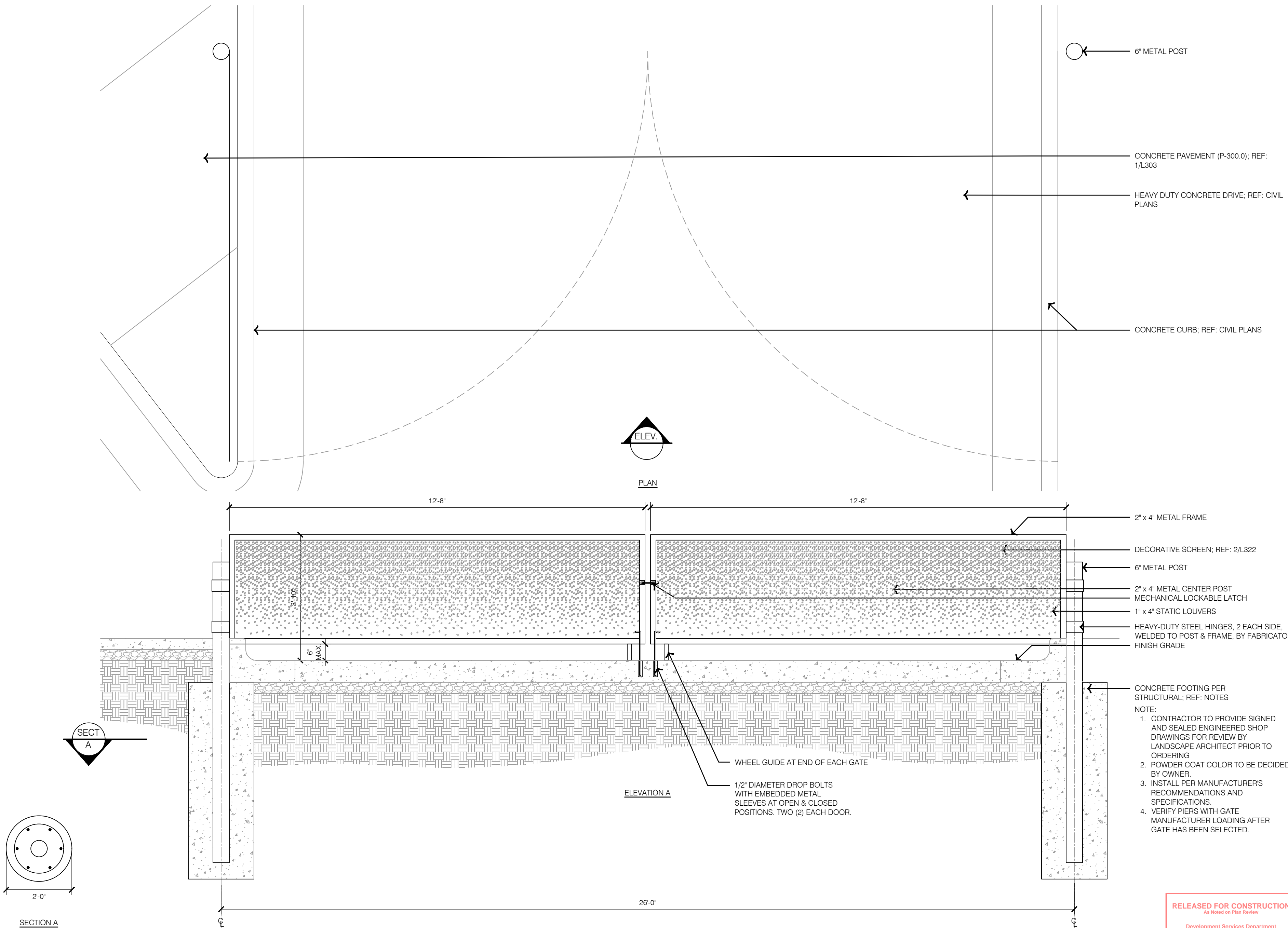
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2 TYPICAL DECORATIVE SCREEN



1 GATE TYPE 1



- NOTE:
1. CONTRACTOR TO PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
 2. POWDER COAT COLOR TO BE DECIDED BY OWNER.
 3. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
 4. VERIFY PIERS WITH GATE MANUFACTURER LOADING AFTER GATE HAS BEEN SELECTED.

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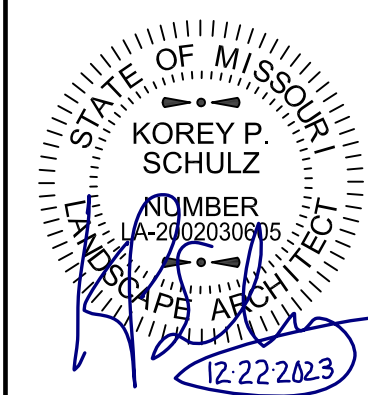
HARDSCAPE DETAILS - GATES

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
checked by: DV
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SHEET
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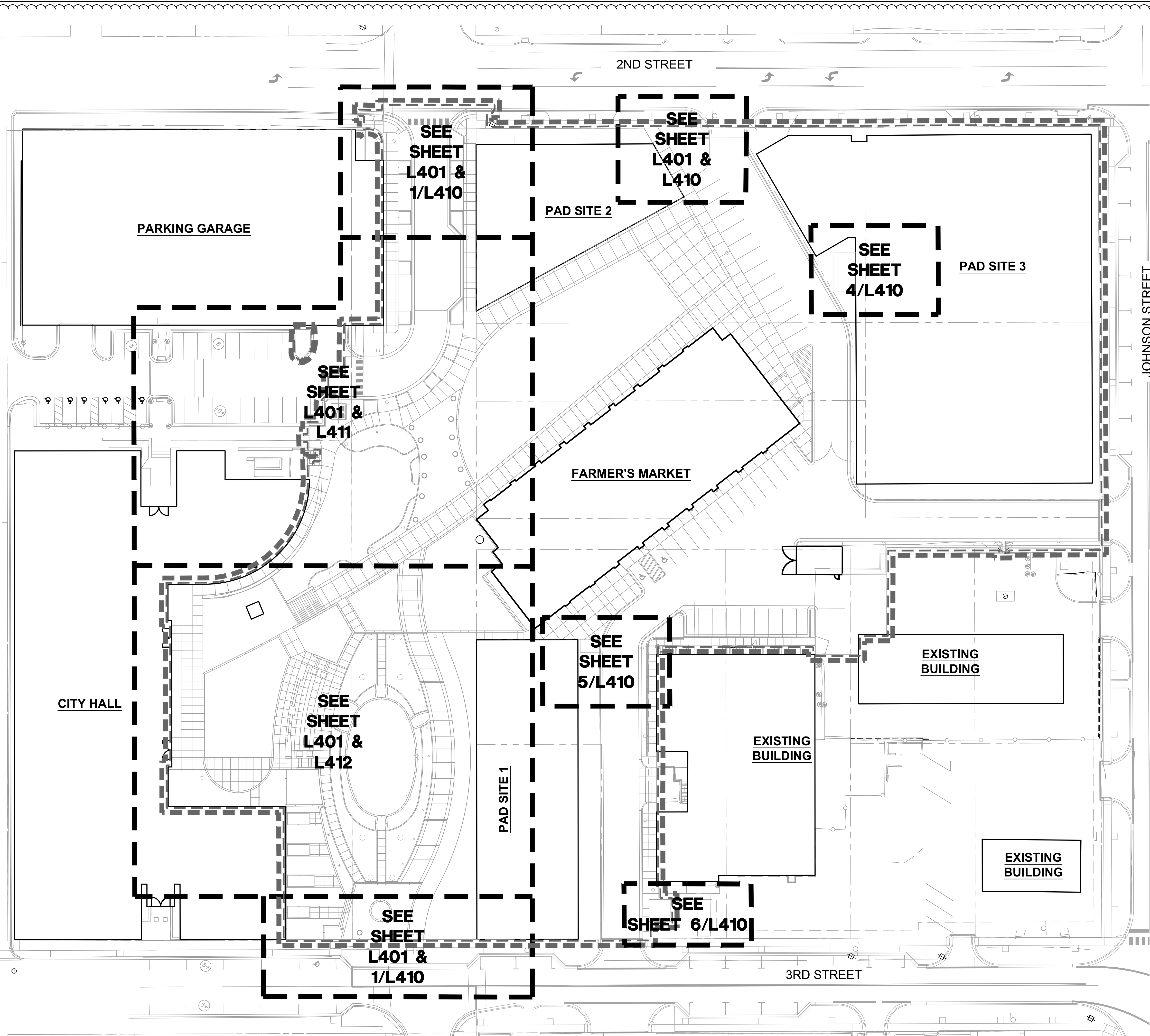
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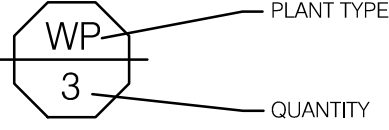
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LANDSCAPE GENERAL NOTES:

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
- DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
- ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
- ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
- PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
- PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
- ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNERS FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
- PLANT KEY DESCRIPTION.



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Lee's Summit, Missouri
01242024

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olsson-studio.com

STATE OF MISSOURI
KOREY P. SCHULZ
12-22-2023
12-22-2023

BY

REV. NO. 1

DATE 12-22-2023

REVISIONS DESCRIPTION

ADENDUM #1

REVISIONS

2023

OVERALL LANDSCAPE PLAN

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW

checked by: DV

approved by: KPS

QA/QC by: BM

project no.: 022-00393

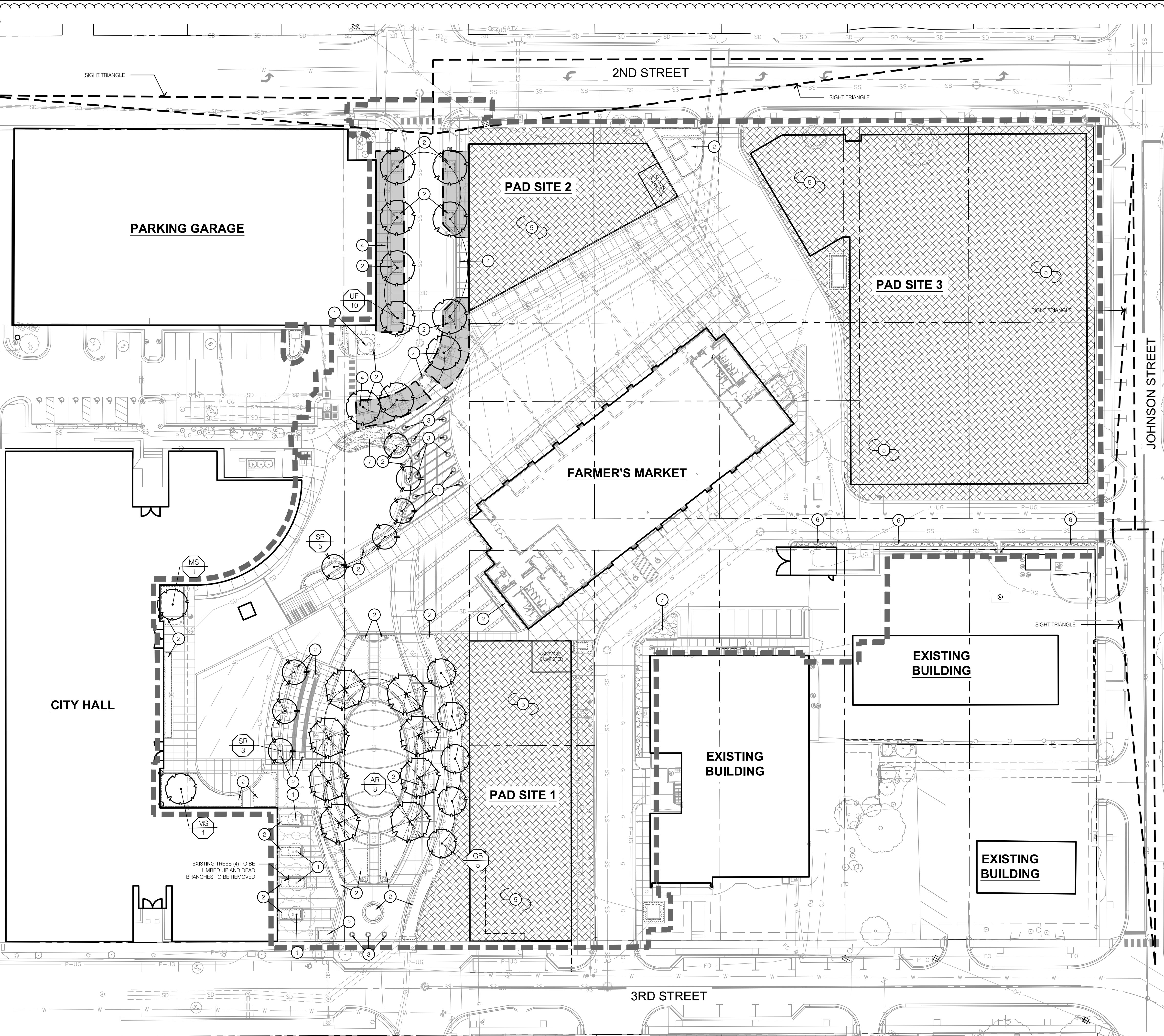
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LANDSCAPE OVERSTORY PLAN



LANDSCAPE LEGEND:

- LIMITS OF CONSTRUCTION
- SIGHT DISTANCE TRIANGLES
- RIGHT OF WAY / PROPERTY LINE
- EXISTING TREE
- OVERSTORY TREE
- ORNAMENTAL TREE
- PERENNIALS & GRASSES
- EXTENT OF SILVA CELLS
- TURF TYPE FESCUE SEED
- DECORATIVE ROCK MULCH #1
- DECORATIVE ROCK MULCH #2

LANDSCAPE OVERSTORY PLAN NOTES:

- EXISTING TREE TO REMAIN (SELECTIVE PRUNING)
- PLANTING BED, REF: LANDSCAPE GENERAL NOTES & DETAILS
- INSTALL PLANTER, REF: 7/L490
- INSTALL SILVA CELLS, REF: 8/L490
- AREA TO BE SEEDDED WITH TURF TYPE FESCUE SEED, REF: SPECIFICATIONS
- INSTALL DECORATIVE ROCK MULCH #1 (SF-300.1), 6/L490
- INSTALL DECORATIVE ROCK MULCH #2 (SF-300.2), 6/L490

PRELIMINARY PLANT SCHEDULE

STREET FRONTAGE TREE TOTAL: 10
DECIDUOUS: B&B, 3' CAL
DECIDUOUS: B&B, 5' CAL
ORNAMENTAL: B&B, 3' CAL
EVERGREEN: B&B, 8' HT.

OPEN YARD AREA TREE TOTAL: 23
DECIDUOUS: B&B, 3' CAL
DECIDUOUS: B&B, 10' CAL
ORNAMENTAL: B&B, 3' CAL
EVERGREEN: B&B, 8' HT.

OVERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES				
AR	ACER RUBRUM 'BRANDYWINE'	BRANDYWINE MAPLE	6-8' CAL	B&B
GB	GINKGO BILOBA 'PNI 2720'	PRINCETON SENTRY GINKGO	3' CAL	B&B
MS	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3' CAL	B&B
UF	ULMUS 'FRONTIER'	FRONTIER ELM	5' CAL	B&B
ORNAMENTAL TREES				
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3' CAL	B&B

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LANDSCAPE OVERSTORY PLAN

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

drawn by: TST/GJEW
checked by: DV
approved by: KPS
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project no.: 022-00393
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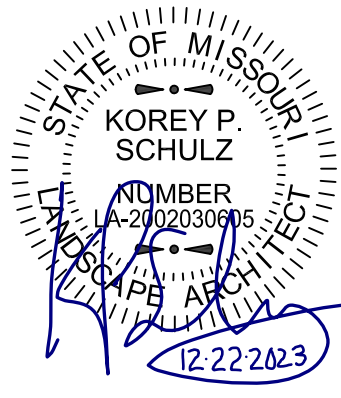
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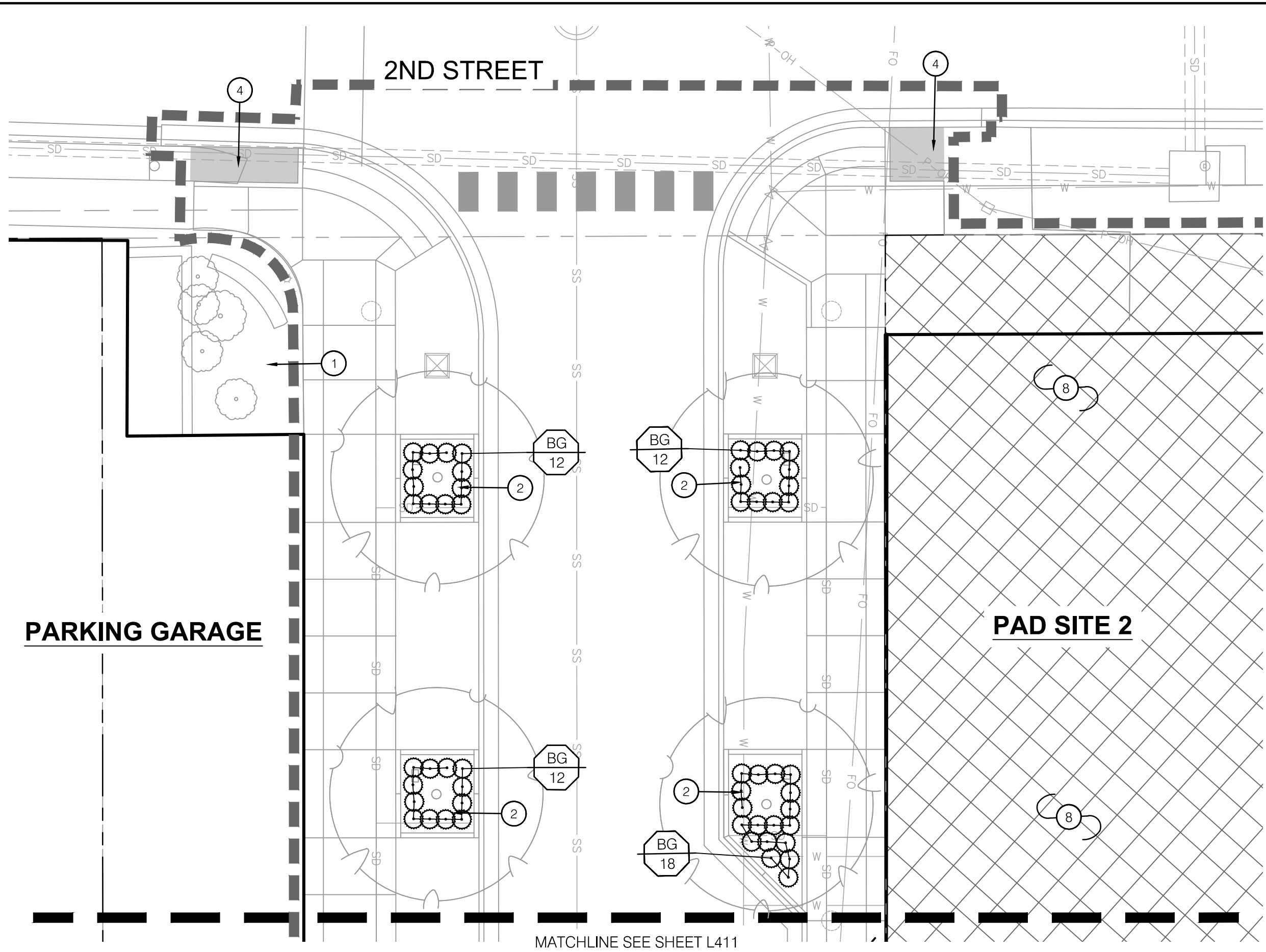
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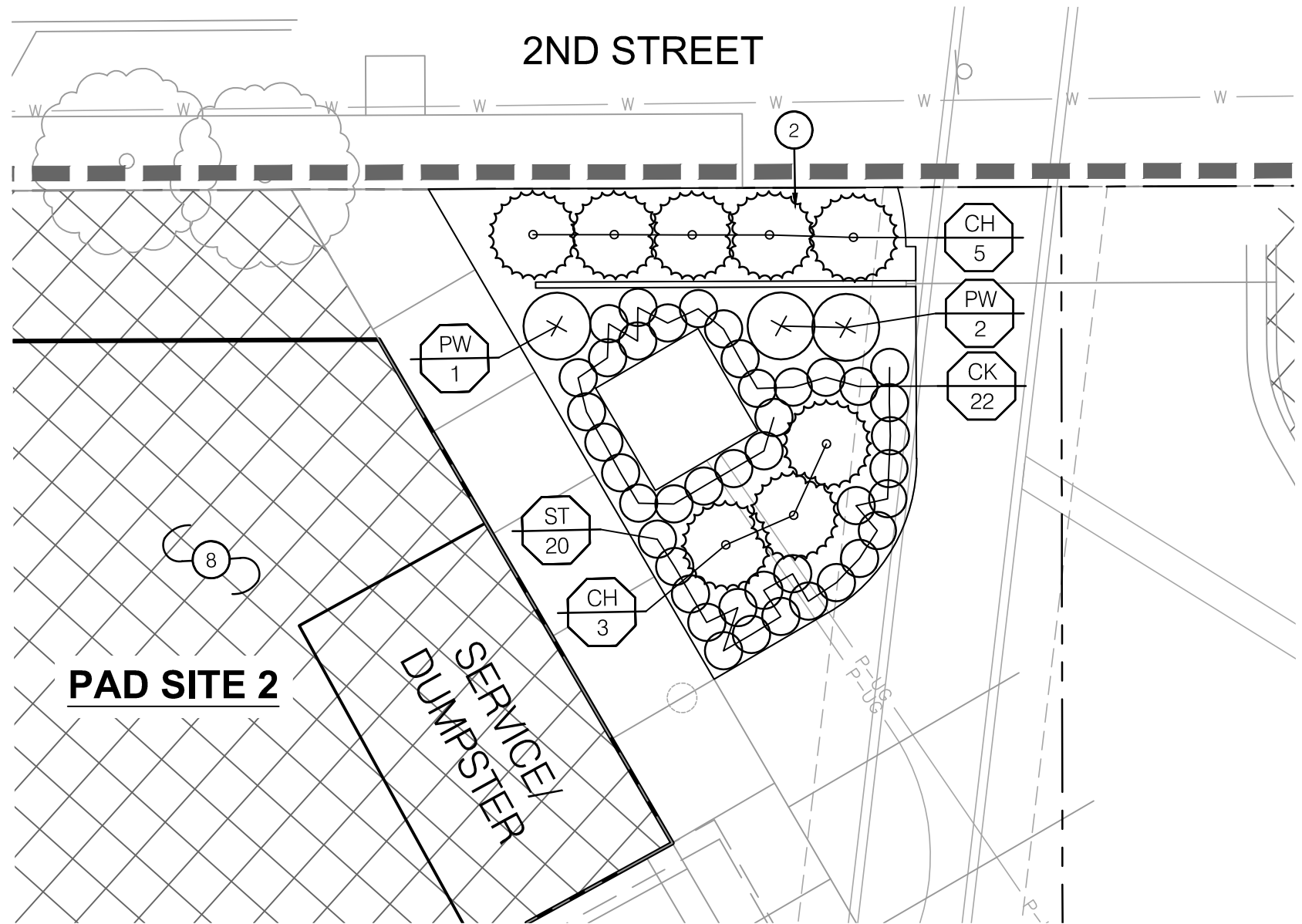
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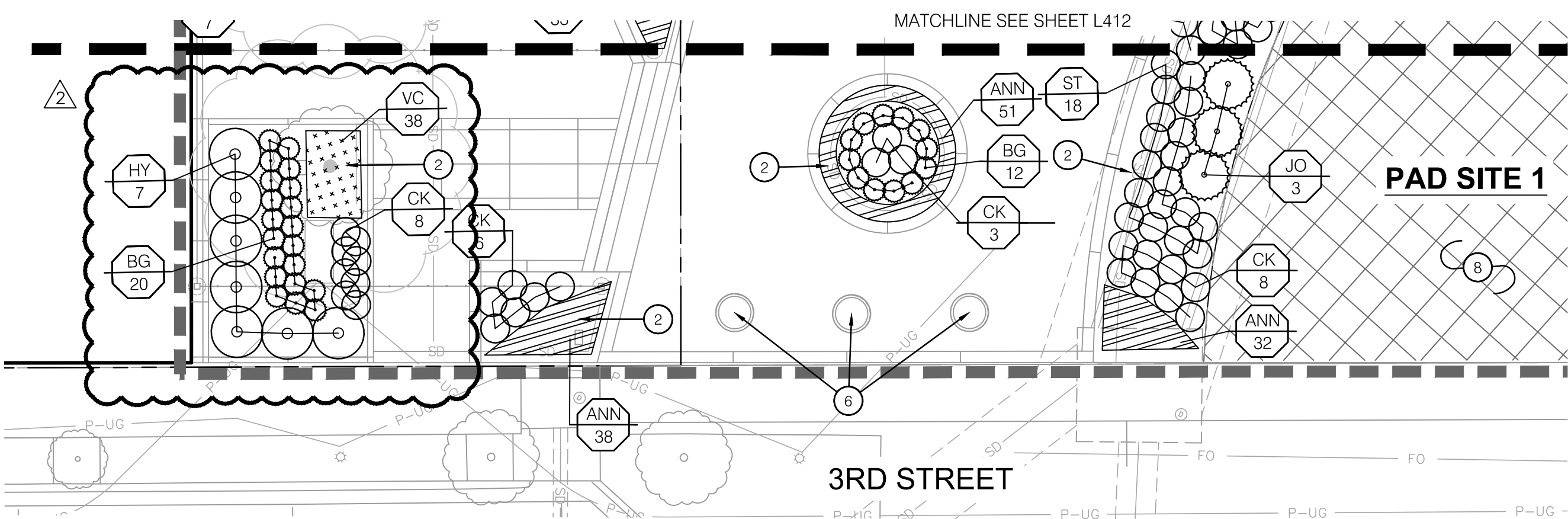
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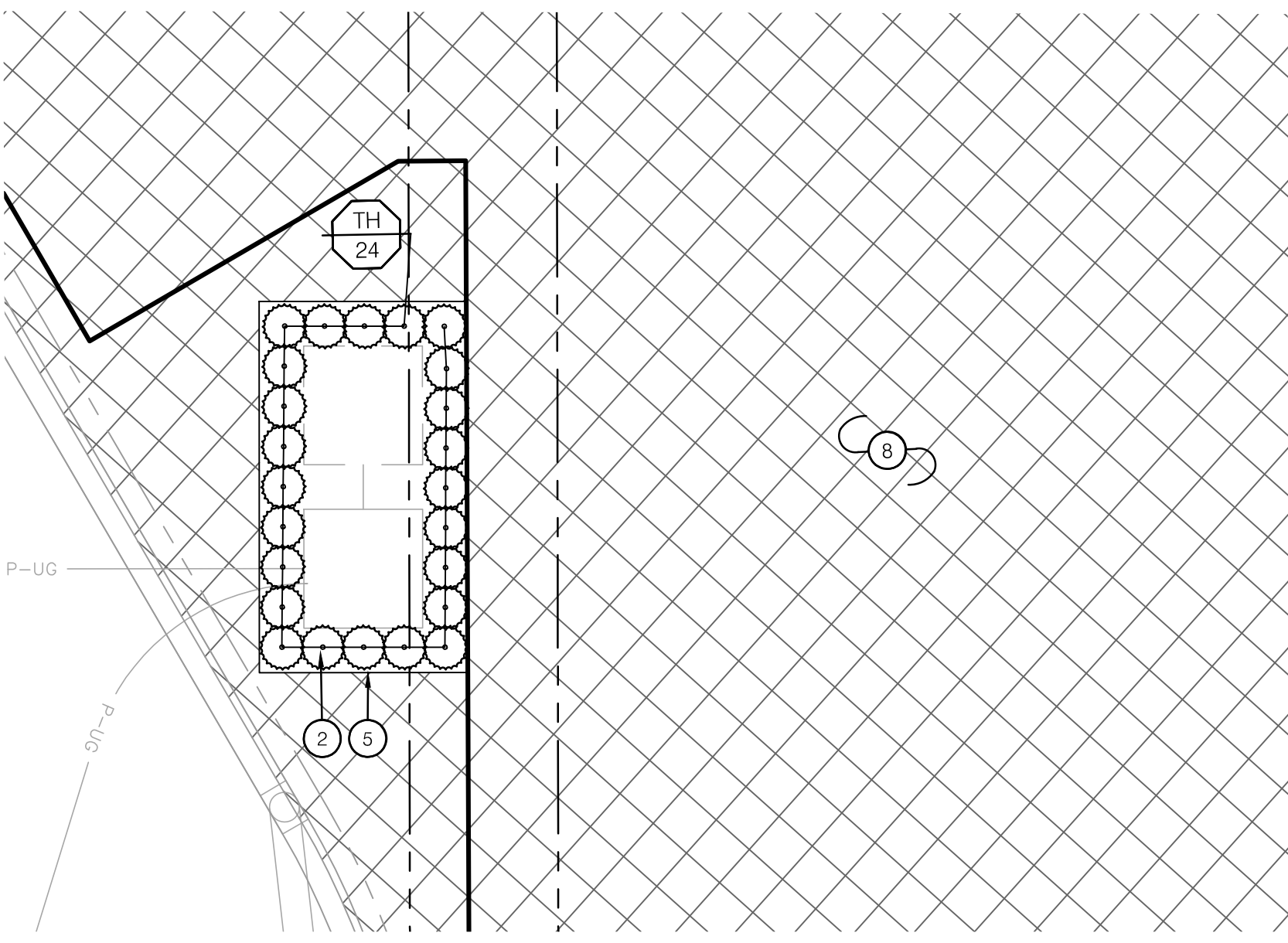
1 LANDSCAPE UNDERSTORY PLAN



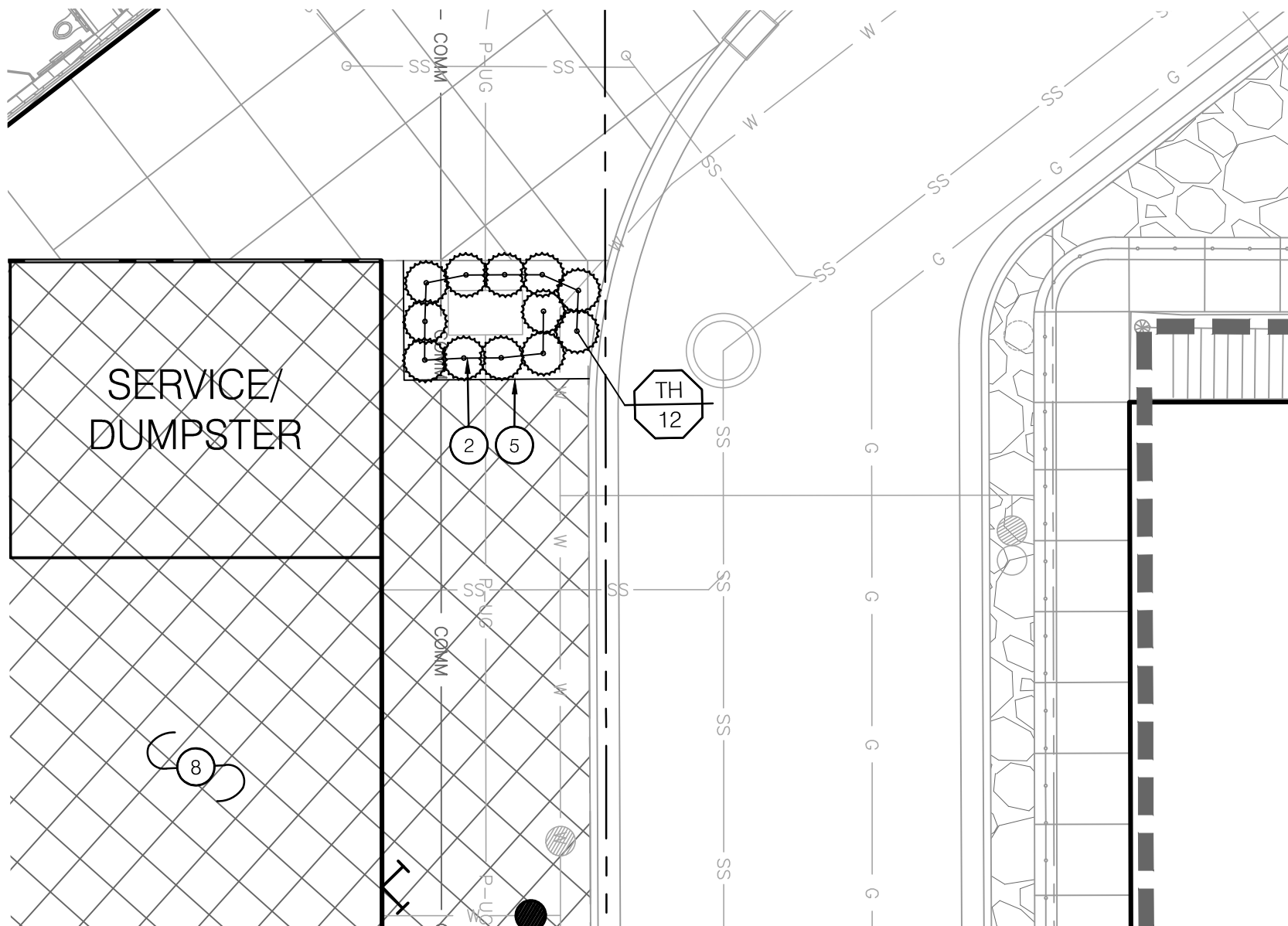
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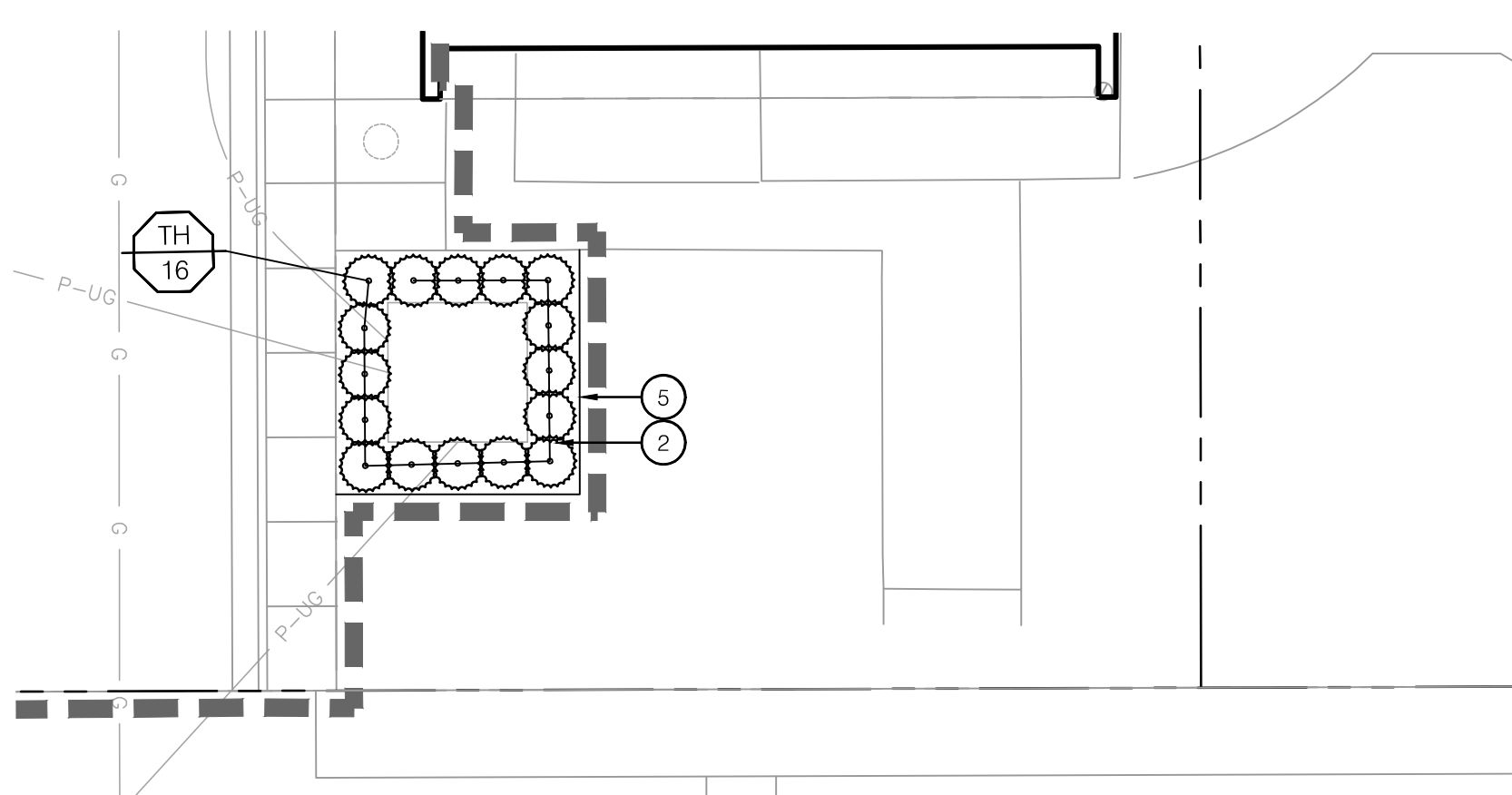
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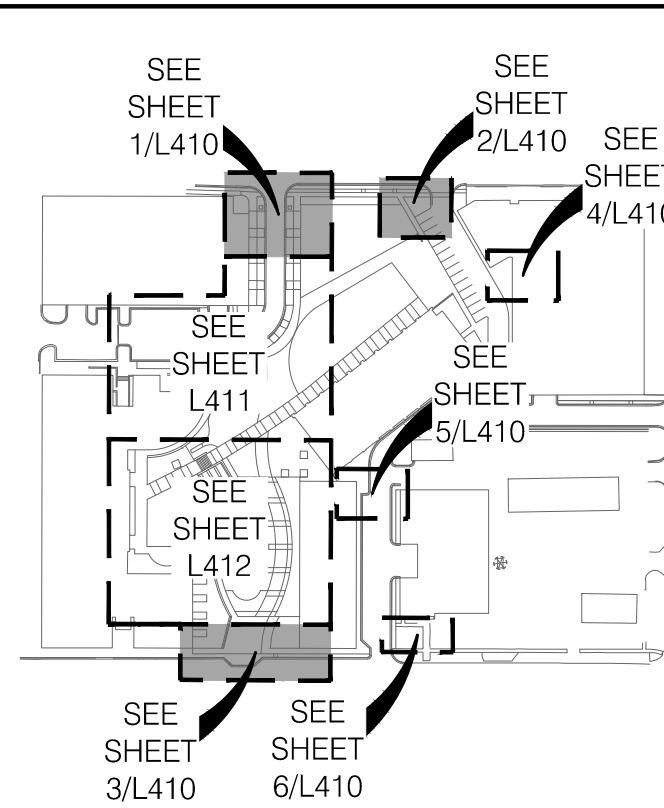
4 LANDSCAPE UNDERSTORY PLAN



5 LANDSCAPE UNDERSTORY PLAN

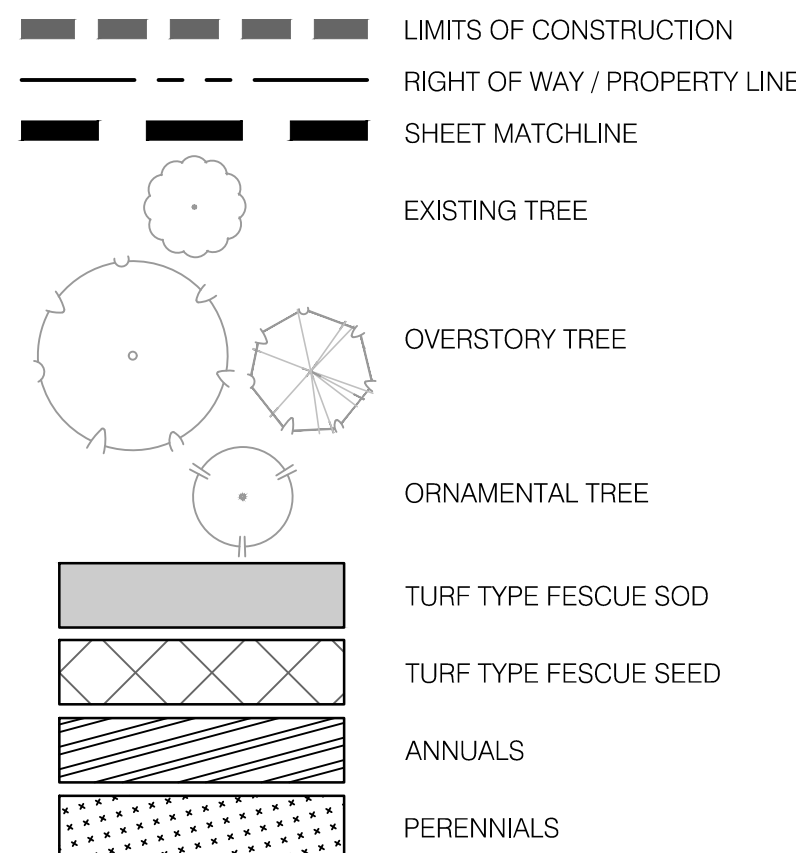


6 LANDSCAPE UNDERSTORY PLAN



KEYMAP

LANDSCAPE LEGEND:



LANDSCAPE UNDERSTORY PLAN NOTES:

- EXISTING PLANTING BED TO REMAIN
- PLANTING BED WITH DOUBLE-GROUND HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
- PLANTING BED WITH ROCK MULCH (SF-300.2); REF: LANDSCAPE GENERAL NOTES, DETAILS, & SPECIFICATIONS
- AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD; REF: SPECIFICATIONS
- INSTALL STEEL BED EDGE; REF: 4/L490
- PLANTER; REF: 7/L490
- INSTALL LANDSCAPE DRAIN INLET; REF: CIVIL PLANS
- AREA TO BE SEEDED WITH TURF TYPE FESCUE SEED; REF: SPECIFICATIONS

UNDERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
DECIDUOUS SHRUBS					
HY	HYDRANGEA ARBORESCENS 'ARCTIC'	INCREDIBALL® HYDRANGEA	5 GAL	CONT.	
HB	HYDRANGEA PANICULATA 'LVOBO'	BOBO® PANICLE HYDRANGEA	5 GAL	CONT.	
HQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	5 GAL	CONT.	
HF	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	5 GAL	CONT.	
HT	HYPERICUM KALMIANUM 'SM-KBF'	BLUES FESTIVAL® ST. JOHN'S WORT	5 GAL	CONT.	
PW	PHYSCARPUS OPULIFOLIUS 'SM-PMS'	SUMMER WINE® BLACK NINEBARK	5 GAL	CONT.	
SD	SPIRAEA X 'NCSX2'	DOUBLE PLAY DOOZIE® SPIREA	5 GAL	CONT.	
SY	SYRINGA X 'SMNSDT'	BABY KIM® DWARF LILAC	5 GAL	CONT.	
EVERGREEN SHRUBS					
BG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	5 GAL	CONT.	
CH	CEPHALOTAXUS HARRINGTONIA	PLUM YEW	5 GAL	CONT.	
JO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR	5 GAL	CONT.	
TH	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	5 GAL	CONT.	
ORNAMENTAL GRASSES					
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL	CONT.	
PS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	CONT.	
PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	3 GAL	CONT.	
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	3 GAL	CONT.	
PERENNIALS					
AL	ALLIUM X 'MILLENIUM'	MILLENIUM ORNAMENTAL ONION	1 GAL	CONT.	
HA	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.	
HO	HOSTA X 'MINUTEMAN'	MINUTEMAN HOSTA	1 GAL	CONT.	
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANNUALS	ANNUALS		14" POT		12" o.c.
PERENNIALS					
CK	CAREX FLACCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.	15" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	18" o.c.
LV	LIRIOPE MUSCARI VARIEGATA	VARIEGATED LILYTURF	1 GAL	CONT.	18" o.c.
RS	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
VC	VINCA MINOR 'BOWLES'	BOWLES PERIWINKLE	1 GAL	CONT.	12" o.c.

LANDSCAPE UNDERSTORY PLAN

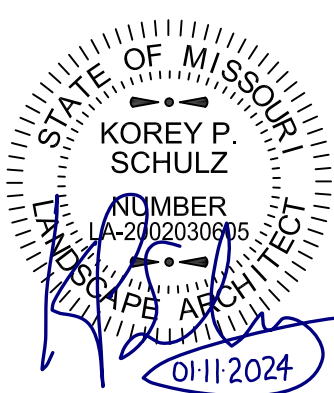
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

RELEASED FOR CONSTRUCTION
Date: 01/24/2024
By: [Signature]

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing: LSC_UND01_02200393
date: 12/22/2023

SHEET
L410

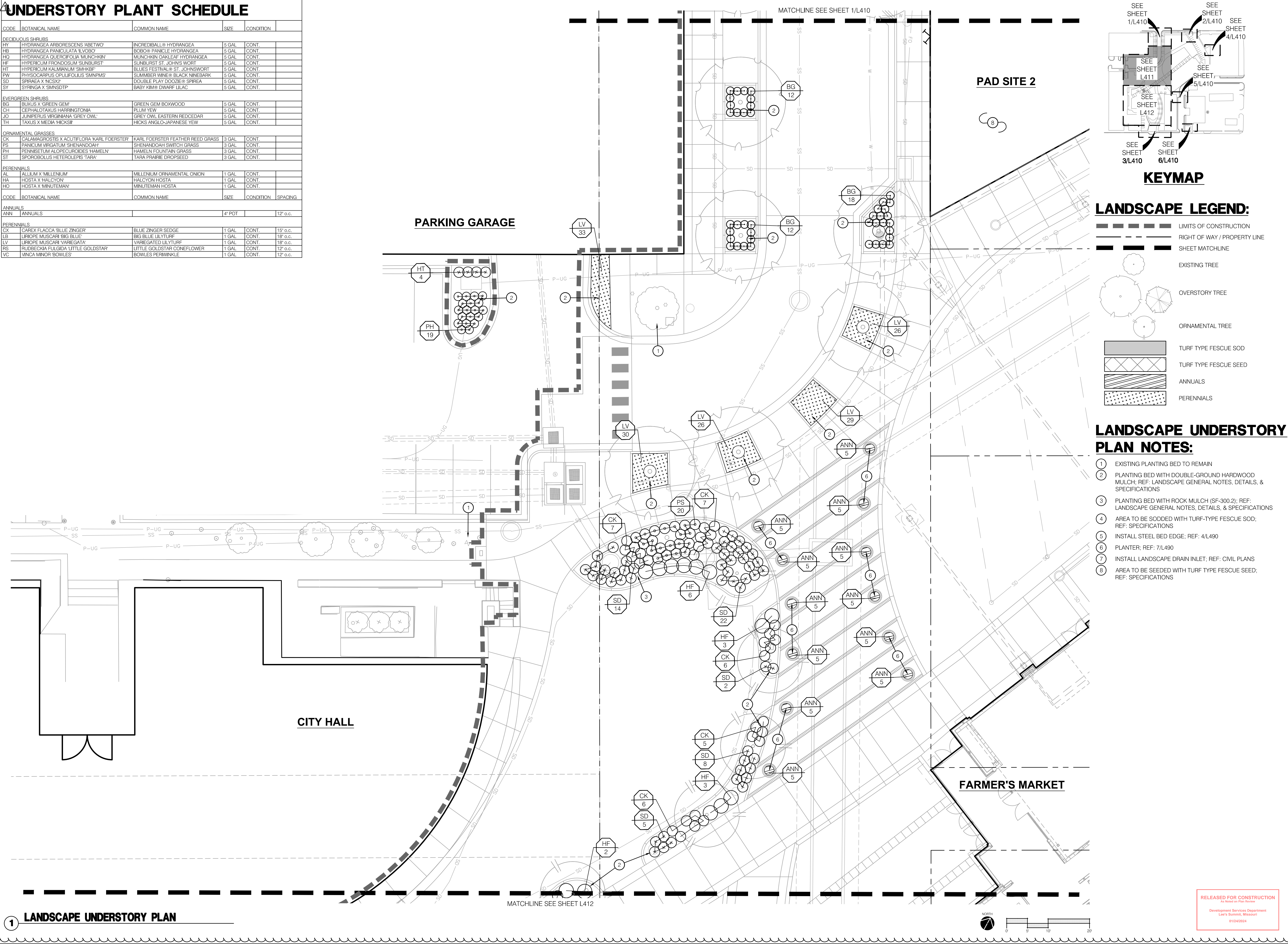


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2	01-11-2024	ADDENDUM #2	

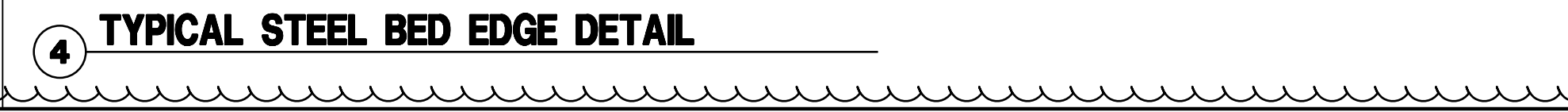
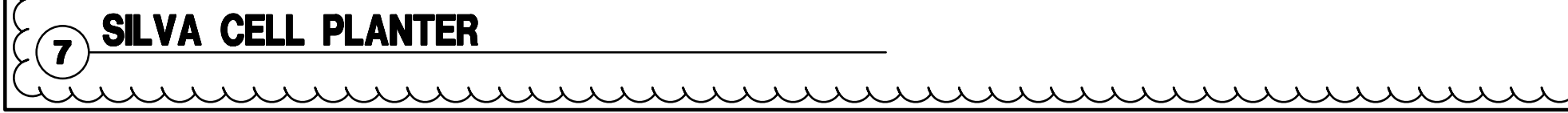
REVISIONS

UNDERSTORY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
DECIDUOUS SHRUBS					
HY	HYDRANGEA ARBORESCENS 'ABETWO'	INCREDIBALL® HYDRANGEA	5 GAL	CONT.	
HB	HYDRANGEA PANICULATA 'LVOBO'	BOBO® PANICLE HYDRANGEA	5 GAL	CONT.	
HO	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	5 GAL	CONT.	
HF	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	5 GAL	CONT.	
HT	HYPERICUM KALMANUM 'SM-HKB'	BLUES FESTIVAL® ST. JOHN'S WORT	5 GAL	CONT.	
PW	PHYSCARPUS OPIULIFOLIUS 'SMNPM'S'	SUMMBER WINE® BLACK NINEBARK	5 GAL	CONT.	
SD	SPIRAEA X 'NCSK2'	DOUBLE PLAY DOOZIE® SPIREA	5 GAL	CONT.	
SY	'SYRINGA' X 'SMNSDTP'	BABY KIM® DWARF LILAC	5 GAL	CONT.	
EVERGREEN SHRUBS					
BG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	5 GAL	CONT.	
CH	CEPHALOTAXUS HARRINGTONIA	PLUM YEW	5 GAL	CONT.	
JO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR	5 GAL	CONT.	
TH	TAXUS X MEDIA 'HICKSII'	HICKS ANGLO-JAPANESE YEW	5 GAL	CONT.	
ORNAMENTAL GRASSES					
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL	CONT.	
PS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	CONT.	
PH	PENNISETUM ALOPECUROIDES 'HAMELIN'	HAMELIN FOUNTAIN GRASS	3 GAL	CONT.	
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	3 GAL	CONT.	
PERENNIALS					
AL	ALLIUM X 'MILLENIUM'	MILLENIUM ORNAMENTAL ONION	1 GAL	CONT.	
HA	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.	
HO	HOSTA X 'MINUTEMAN'	MINUTEMAN HOSTA	1 GAL	CONT.	
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ANNUALS					
ANN	ANNUALS		4" POT		12" o.c.
PERENNIALS					
CX	CAREX FLACCA BLUE ZINGER'	BLUE ZINGER SEDGE	1 GAL	CONT.	15" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	18" o.c.
LV	LIRIOPE MUSCARI 'VAREGATA'	VAREGATED LILYTURF	1 GAL	CONT.	18" o.c.
RS	RUDEBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
VC	VINCA MINOR BOWLES	BOWLES PERIWINKLE	1 GAL	CONT.	12" o.c.

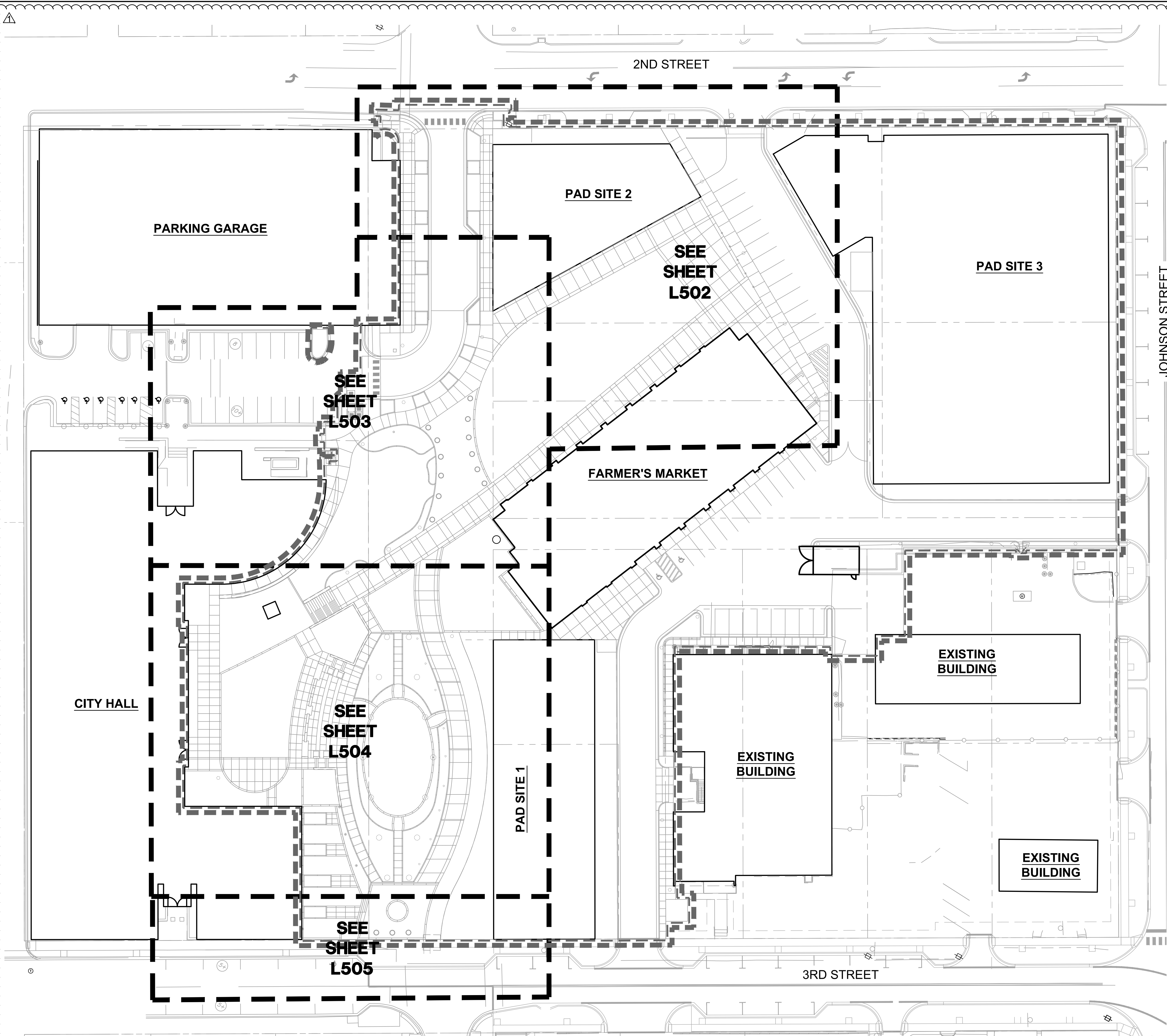


RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
01/24/2024



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1 OVERALL IRRIGATION PLAN



- IRRIGATION GENERAL NOTES:**
1. THIS DESIGN IS SHOWN IN A DIAGRAMMATIC FORM. ALL COMPONENTS ARE SHOWN FOR THE PURPOSE OF CLARIFICATION AND LEGIBILITY. ALL WORK SHALL CONFORM TO SPECIFICATIONS AND DETAILS INCLUDED IN THIS PACKAGE. IRRIGATION MAINLINE, LATERALS, CONTROL VALVES, SUB-METER, BACKFLOW PREVENTER AND OTHER IRRIGATION CONTROL EQUIPMENT SHALL BE INSTALLED IN LANDSCAPE BEDS OR TURF AREAS UNLESS CONTAINED IN PVC SLEEVING UNDER PAVEMENT OR OTHER HARDSCAPE AS INDICATED ON PLANS.
 2. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
 3. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
 4. IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AT ALL TAP LOCATIONS PRIOR TO THE INSTALLATION OF ANY COMPONENTS OF THE IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF THE MINIMUM REQUIREMENTS FOR FLOW AND PRESSURE NOTED IN THE IRRIGATION SCHEDULES CAN NOT BE MET.
 5. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES AND SPECIFICATIONS FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
 6. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
 7. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTORS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
 8. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
 9. IRRIGATION CONTRACTOR RESPONSIBLE TO COORDINATE 110 ELECTRICAL SERVICE FOR CONTROLLER WITH BUILDING GENERAL CONTRACTOR. POWER SUPPLY CONNECTION BY IRRIGATION CONTRACTOR.
 10. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL PRS-DIAL PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 5 PSI FROM OPERATION PSI AS STATED IN THE CONTROLLER SCHEDULES FOR EACH ZONE.
 11. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
 12. CONTRACTOR SHALL PLACE ALL ZONE CONTROL VALVES AND QUICK COUPLER VALVES IN LANDSCAPE BEDS, AS POSSIBLE. PLACE VALVE BOXES A MINIMUM OF 1'-0" FROM ANY PAVEMENT AND PARALLEL TO PAVEMENT EDGE. GROUPED VALVES TO BE EQUALLY SPACED.
 13. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
 14. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
 15. ALL SPRINKLER HEADS AND TURF ROTORS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, RETAINING WALLS, BUILDINGS OR THE PLAZA AREAS.
 16. THE IRRIGATION SYSTEM IS DESIGNED TO BE DRAINED AND BLOWN OUT WITH PRESSURIZED AIR PRIOR TO FREEZING TEMPERATURES IN FALL/WINTER. THE CONTRACTOR SHALL DRAIN AND BLOW OUT THE SYSTEM AS NECESSARY UNTIL SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BLOW OUT THE SYSTEM AND INSTRUCT THE OWNER ON THE PROCEDURES FOR THE FIRST FALL/WINTER FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
 17. THE CONTRACTOR SHALL PRESSURIZE AND MAKE OPERATIONAL THE SYSTEM IN THE SPRING, AFTER ALL CHANCES OF FREEZING TEMPERATURES PASSES, UNTIL NOTICE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL ALSO PRESSURIZE AND MAKE THE SYSTEM OPERATIONAL AND INSTRUCT THE OWNER ON PROCEDURES FOR THE FIRST SPRING FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
 18. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
 19. ALL IRRIGATION EQUIPMENT INCLUDING VALVES, MAINLINES AND LATERALS SHALL BE LOCATED ON THE OWNERS PROPERTY.

RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
01/24/2024

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
NO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816-842-8844
olsson-studio.com

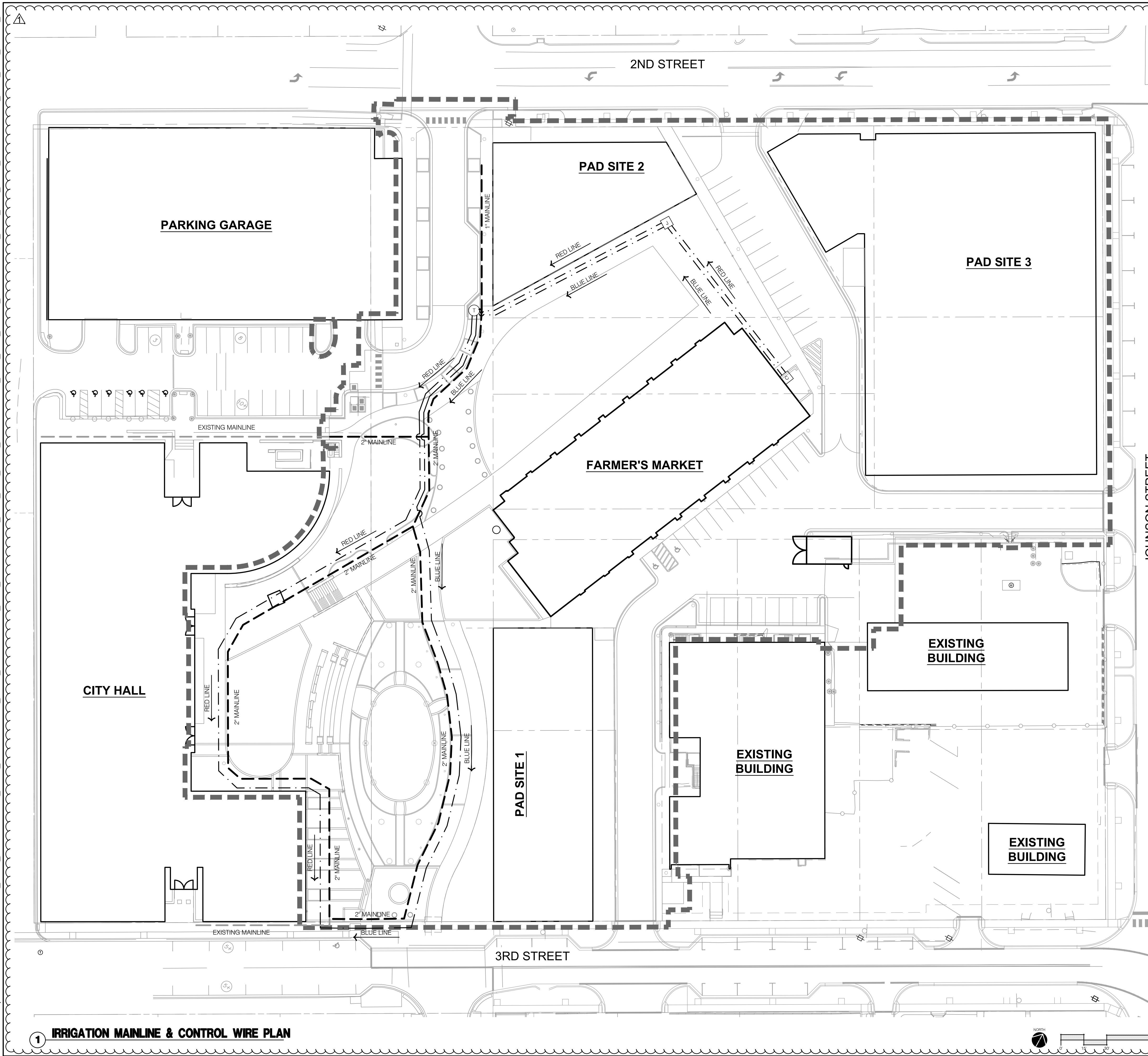
STATE OF MISSOURI
KOREY P. SCHULZ
LANDSCAPE ARCHITECT
NUMBER 000000006
12-22-2023

BY
REV. NO. 1
DATE 12-22-2023
REVISED DESCRIPTION
ADENDUM #1
REVISIONS










OVERALL IRRIGATION PLAN
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI
2023

drawn by: TS/TGEW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: L_OVR01_02200393
date: 12/22/2023

SHEET
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IRRIGATION OVERALL PLAN LEGEND:

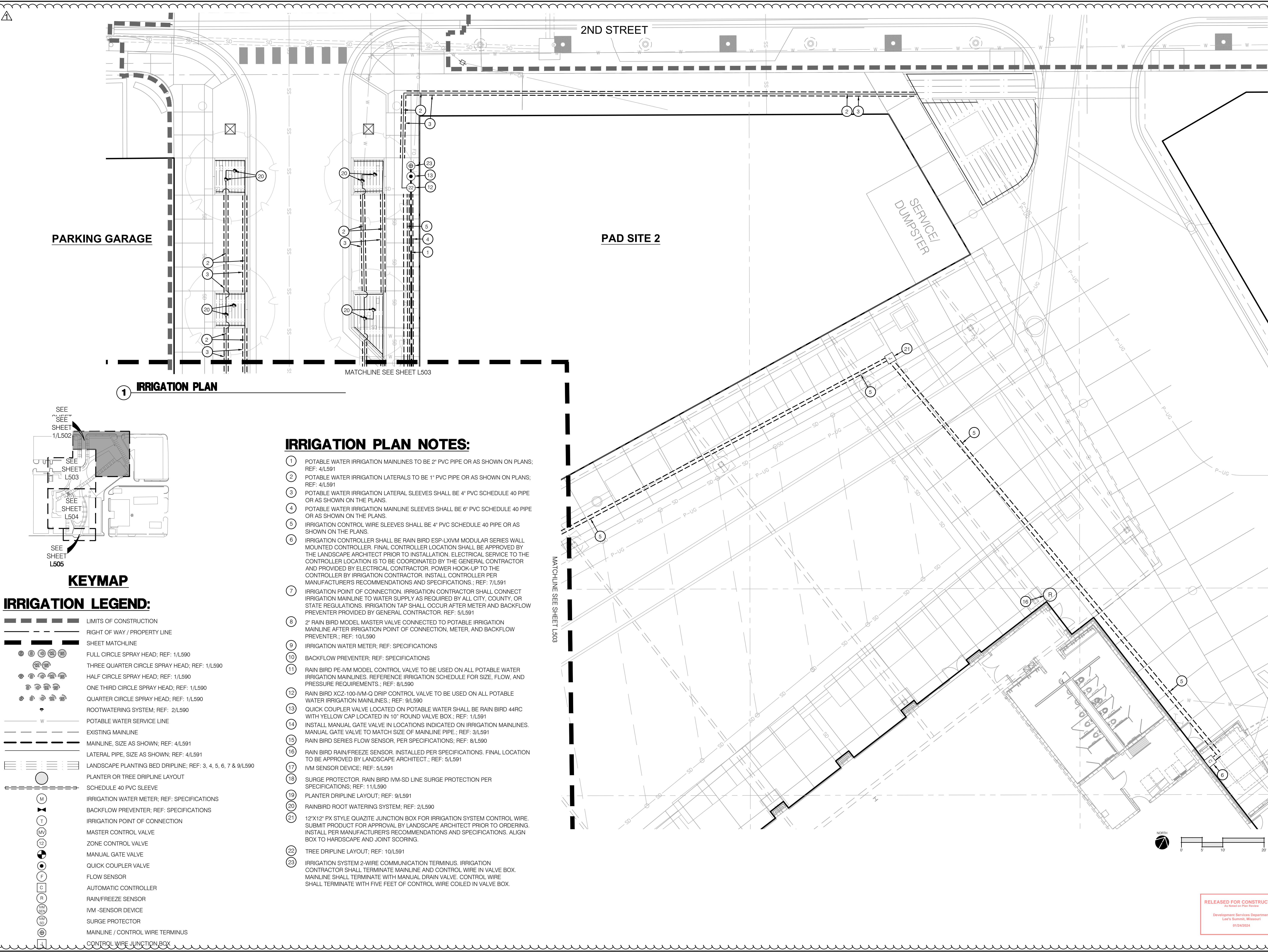
- | | |
|---|--------------------------------|
|  | LIMITS OF CONSTRUCTION |
|  | RIGHT OF WAY / PROPERTY LINE |
|  | POTABLE WATER SERVICE LINE |
|  | EXISTING MAINLINE |
|  | MAINLINE, SIZE AS SHOWN |
|  | TWO-WIRE PATH LINE |
|  | IRRIGATION POINT OF CONNECTION |
|  | IRRIGATION CONTROLLER |
|  | CONTROL WIRE JUNCTION BOX |

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

01/24/2024

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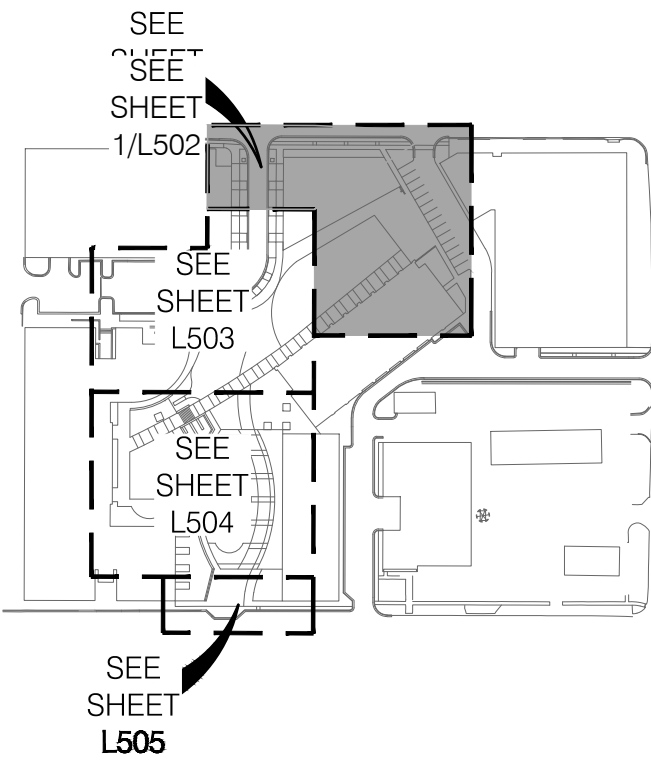


PARKING GARAGE

PAD SITE 2

SERVICE DUMPSTER

1 IRRIGATION PLAN



KEYMAP

IRRIGATION LEGEND:

- LIMITS OF CONSTRUCTION
- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- FULL CIRCLE SPRAY HEAD; REF: 1/L590
- THREE QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- HALF CIRCLE SPRAY HEAD; REF: 1/L590
- ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
- QUARTER CIRCLE SPRAY HEAD; REF: 1/L590
- ROOTWATERING SYSTEM; REF: 2/L590
- POTABLE WATER SERVICE LINE
- EXISTING MAINLINE
- MAINLINE, SIZE AS SHOWN; REF: 4/L591
- LATERAL PIPE, SIZE AS SHOWN; REF: 4/L591
- LANDSCAPE PLANTING BED DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L590
- PLANTER OR TREE DRIPLINE LAYOUT
- SCHEDULE 40 PVC SLEEVE
- IRRIGATION WATER METER; REF: SPECIFICATIONS
- BACKFLOW PREVENTER; REF: SPECIFICATIONS
- IRRIGATION POINT OF CONNECTION
- MASTER CONTROL VALVE
- ZONE CONTROL VALVE
- MANUAL GATE VALVE
- QUICK COUPLER VALVE
- FLOW SENSOR
- AUTOMATIC CONTROLLER
- RAIN/FREEZE SENSOR
- IVM - SENSOR DEVICE
- SURGE PROTECTOR
- MAINLINE / CONTROL WIRE TERMINUS
- CONTROL WIRE JUNCTION BOX

IRRIGATION PLAN NOTES:

- POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 7/L591
- IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR. REF: 5/L591
- 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER.; REF: 10/L590
- IRRIGATION WATER METER; REF: SPECIFICATIONS
- BACKFLOW PREVENTER; REF: SPECIFICATIONS
- RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590
- RAIN BIRD XCZ-100-IVM-Q DRIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L590
- QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 1/L591
- INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591
- RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 8/L590
- RAIN BIRD RAIN/FREEZE SENSOR. INSTALLED PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 5/L591
- IVM SENSOR DEVICE; REF: 5/L591
- SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590
- PLANTER DRIPLINE LAYOUT; REF: 9/L591
- RAINBIRD ROOT WATERING SYSTEM; REF: 2/L590
- 12"x12" PX STYLE QUARTZITE JUNCTION BOX FOR IRRIGATION SYSTEM CONTROL WIRE. SUBMIT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALIGN BOX TO HARDSCAPE AND JOINT SCORING.
- TREE DRIPLINE LAYOUT; REF: 10/L591
- IRRIGATION SYSTEM 2-WIRE COMMUNICATION TERMINUS. IRRIGATION CONTRACTOR SHALL TERMINATE MAINLINE AND CONTROL WIRE IN VALVE BOX. MAINLINE SHALL TERMINATE WITH MANUAL DRAIN VALVE. CONTROL WIRE SHALL TERMINATE WITH FIVE FEET OF CONTROL WIRE COILED IN VALVE BOX.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
9/12/2024

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
KOREY P. SCHULZ
NUMBER 0000000006
12-22-2023

BY
REV. NO. 1
DATE 12-22-2023
REVISIONS DESCRIPTION
ADDENDUM #1
REVISIONS
2023

IRRIGATION PLAN
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: L_IRR01_02200393
date: 12/22/2023

SHEET
L502

1 IRRIGATION PLAN NOTES:

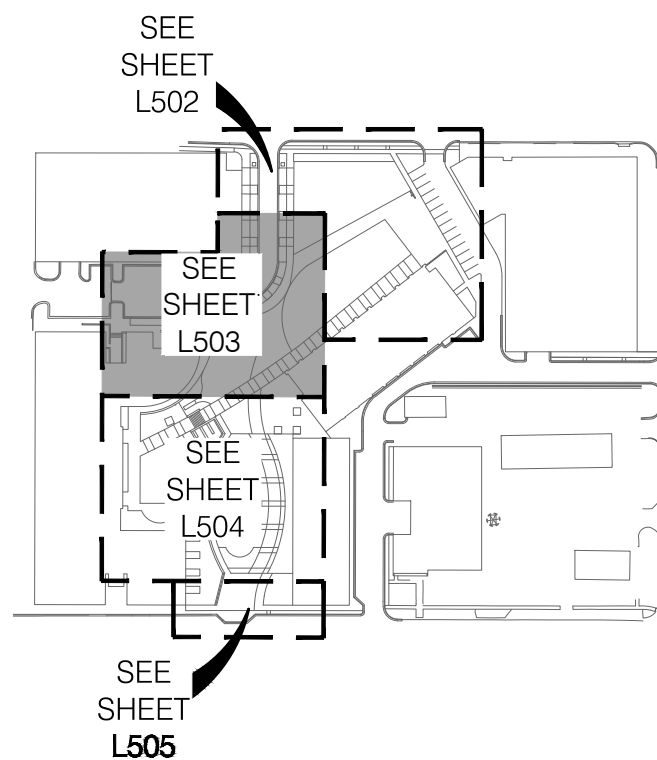
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|----|---|----|---|
| 1 | POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591 | 12 | RAIN BIRD XCCZ-100-IVM-Q DRIIP CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES.; REF: 9/L590 |
| 2 | POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591 | 13 | QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 1/L591 |
| 3 | POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS | 14 | INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591 |
| 4 | POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS | 15 | RAIN BIRD SERIES FLOW SENSOR, PER SPECIFICATIONS; REF: 8/L590 |
| 5 | IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS | 16 | RAIN BIRD RAIN/FREEZE SENSOR. INSTALL PER SPECIFICATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.; REF: 5/L591 |
| 6 | IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR. INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.; REF: 7/L591 | 17 | IVM SENSOR DEVICE; REF: 5/L591 |
| 7 | IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SUPPLY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR. REF: 5/L591 | 18 | SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590 |
| 8 | 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION. METER, AND BACKFLOW PREVENTER.; REF: 10/L590 | 19 | PLANTER DRIP LAYOUT; REF: 9/L591 |
| 9 | IRRIGATION WATER METER; REF: SPECIFICATIONS | 20 | RAINBIRD ROOT WATERING SYSTEM; REF: 2/L590 |
| 10 | BACKFLOW PREVENTER; REF: SPECIFICATIONS | 21 | 12X12" PX STYLE QUAZITE JUNCTION BOX FOR IRRIGATION SYSTEM CONTROL WIRE. SUBMIT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALIGN BOX TO HARDCAPE AND JOINT SCORING. |
| 11 | RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590 | 22 | TREE DRIPLINE LAYOUT; REF: 10/L591 |
| | | 23 | IRRIGATION SYSTEM 2-WIRE COMMUNICATION TERMINUS. IRRIGATION CONTRACTOR SHALL TERMINATE MAINLINE AND CONTROL WIRE IN VALVE BOX. MAINLINE SHALL TERMINATE WITH MANUAL DRAIN VALVE. CONTROL WIRE SHALL TERMINATE WITH FIVE FEET OF CONTROL WIRE COILED IN VALVE BOX. |
- ## PARKING GARAGE

PARKING GARAGE

CITY HALL

PAD SITE 2

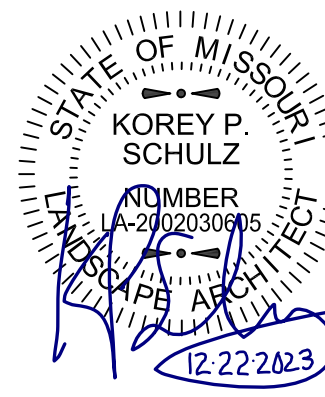
FARMER'S MARKET



KEYMAP

IRRIGATION LEGEND:

- | | |
|--|--|
| | LIMITS OF CONSTRUCTION |
| | RIGHT OF WAY / PROPERTY LINE |
| | SHEET MATCHLINE |
| | FULL CIRCLE SPRAY HEAD; REF: 1/L590 |
| | THREE QUARTER CIRCLE SPRAY HEAD; REF: 1/L590 |
| | HALF CIRCLE SPRAY HEAD; REF: 1/L590 |
| | ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590 |
| | QUARTER CIRCLE SPRAY HEAD; REF: 1/L590 |
| | ROOTWATERING SYSTEM; REF: 2/L590 |
| | POTABLE WATER SERVICE LINE |
| | EXISTING MAINLINE |
| | MAINLINE, SIZE AS SHOWN; REF: 4/L591 |
| | LATERAL PIPE, SIZE AS SHOWN; REF: 4/L591 |
| | LANDSCAPE PLANTING BED DRIPLINE; REF: 3, 4, 5, 6, 7 & 9/L590 |
| | PLANTER OR TREE DRIPLINE LAYOUT |
| | SCHEDULE 40 PVC SLEEVE |
| | IRRIGATION WATER METER; REF: SPECIFICATIONS |
| | BACKFLOW PREVENTER; REF: SPECIFICATIONS |
| | IRRIGATION POINT OF CONNECTION |
| | MASTER CONTROL VALVE |
| | ZONE CONTROL VALVE |
| | MANUAL GATE VALVE |
| | QUICK COUPLER VALVE |
| | FLOW SENSOR |
| | AUTOMATIC CONTROLLER |
| | RAIN/FREEZE SENSOR |
| | I/M - SENSOR DEVICE |
| | SURGE PROTECTOR |
| | MAINLINE / CONTROL WIRE TERMINUS |
| | CONTROL WIRE JUNCTION BOX |

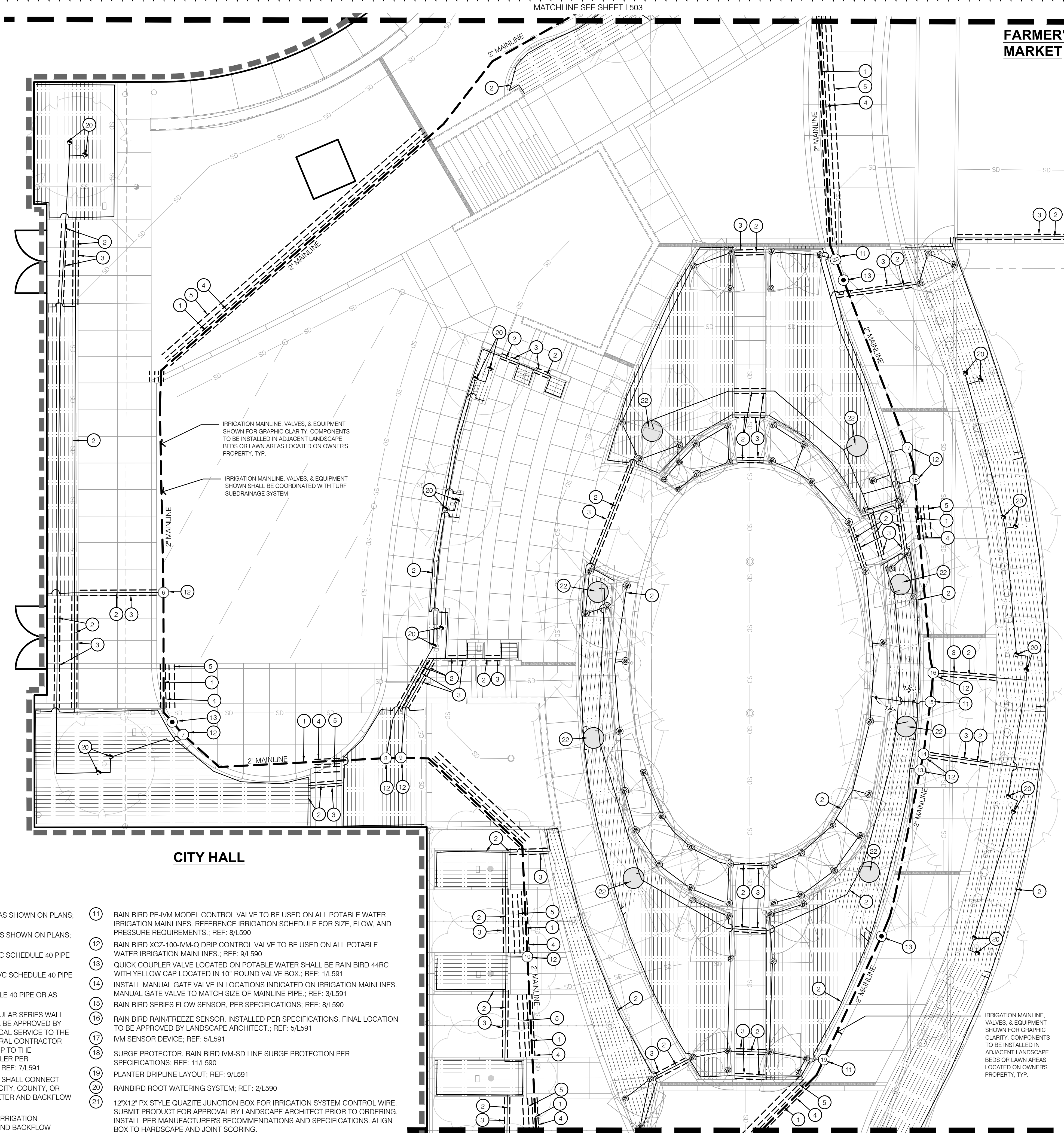
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IRRIGATION PLAN	LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET
drawn by: _____ checked by: _____ QA/QC by: _____ project no.: _____ drawing no.: _____ date: _____	TS/TG/VE/_____ _____ D _____ KP _____ B 022-0030 L IRR01 0220030 12/22/2022
SHEET L503	

IRRIGATION PLAN NOTES:

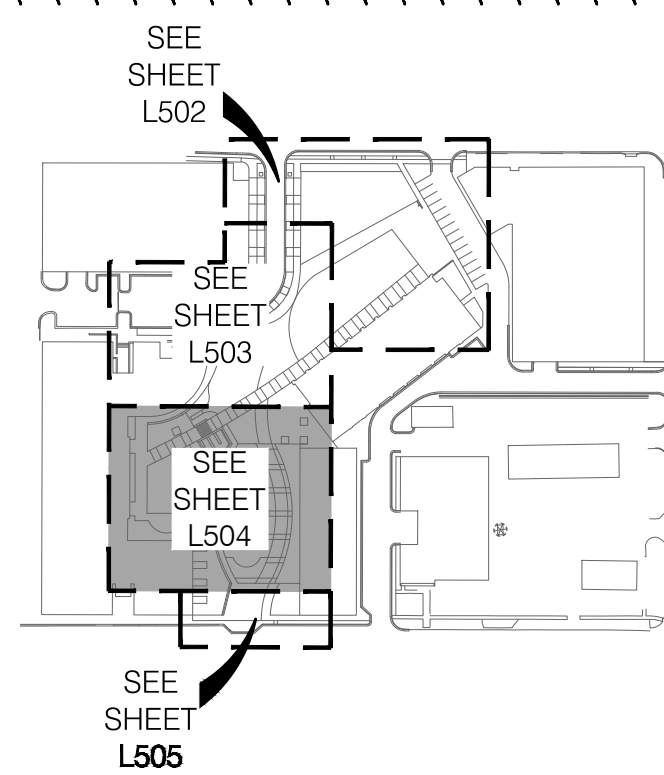
- POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
- POTABLE WATER IRRIGATION LATERAL SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
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- IRRIGATION WATER METER; REF: SPECIFICATIONS
- BACKFLOW PREVENTER; REF: SPECIFICATIONS

- RAIN BIRD PE-IVM MODEL CONTROL VALVE TO BE USED ON ALL POTABLE WATER IRRIGATION MAINLINES. REFERENCE IRRIGATION SCHEDULE FOR SIZE, FLOW, AND PRESSURE REQUIREMENTS.; REF: 8/L590
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- QUICK COUPLER VALVE LOCATED ON POTABLE WATER SHALL BE RAIN BIRD 44RC WITH YELLOW CAP LOCATED IN 10" ROUND VALVE BOX.; REF: 1/L591
- INSTALL MANUAL GATE VALVE IN LOCATIONS INDICATED ON IRRIGATION MAINLINES. MANUAL GATE VALVE TO MATCH SIZE OF MAINLINE PIPE.; REF: 3/L591
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- IVM SENSOR DEVICE; REF: 5/L591
- SURGE PROTECTOR. RAIN BIRD IVM-SD LINE SURGE PROTECTION PER SPECIFICATIONS; REF: 11/L590
- PLANTER DRIPLINE LAYOUT; REF: 9/L591
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1 IRRIGATION PLAN

FARMER'S MARKET



KEYMAP

IRRIGATION LEGEND:

- LIMITS OF CONSTRUCTION
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- ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
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- IVM - SENSOR DEVICE
- SURGE PROTECTOR
- MAINLINE / CONTROL WIRE TERMINUS
- CONTROL WIRE JUNCTION BOX

RELEASED FOR CONSTRUCTION
As Shown on Plan Review
Development Services Department
Lee's Summit, Missouri
61/24/2024

IRRIGATION PLAN

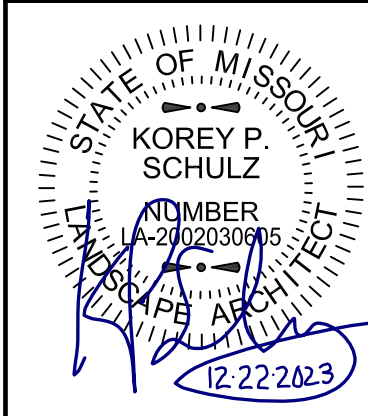
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

2023

REV. NO.	DATE	REVISIONS DESCRIPTION
1	12-22-2023	ADDITION #1

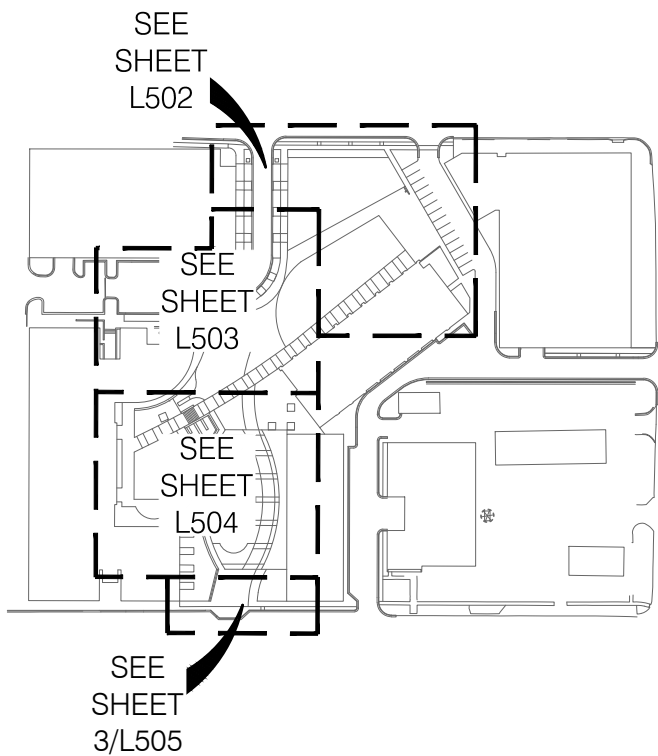
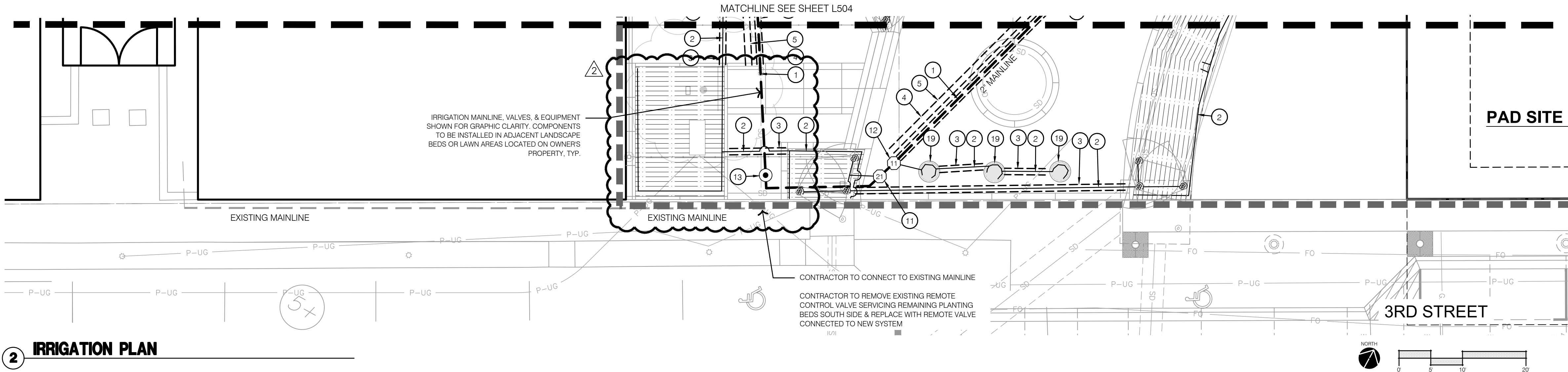
BY



olsson studio
OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

SHEET
L504

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: L_IRR01_02200393
date: 12/22/2023



IRRIGATION LEGEND:

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- [Symbol] SHEET MATCHLINE
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- [Symbol] HALF CIRCLE SPRAY HEAD; REF: 1/L590
- [Symbol] ONE THIRD CIRCLE SPRAY HEAD; REF: 1/L590
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- [Symbol] MANUAL GATE VALVE
- [Symbol] QUICK COUPLER VALVE
- [Symbol] FLOW SENSOR
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- [Symbol] RAIN/FREEZE SENSOR
- [Symbol] IVM - SENSOR DEVICE
- [Symbol] SURGE PROTECTOR
- [Symbol] MAINLINE / CONTROL WIRE TERMINUS
- [Symbol] CONTROL WIRE JUNCTION BOX

IRRIGATION PLAN NOTES:

- [1] POTABLE WATER IRRIGATION MAINLINES TO BE 2" PVC PIPE OR AS SHOWN ON PLANS; REF: 4/L591
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RELEASED FOR CONSTRUCTION
Development Services Department
Lee's Summit, Missouri
01/24/2024

olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

STATE OF MISSOURI
KOREY P. SCHULZ
NUMBER A-202030001
EXPIRATION DATE 01/11/2024

BY

REV. NO. DATE REVISIONS DESCRIPTION

1 12-22-2023

2 01-11-2024

REVISIONS

2023

IRRIGATION PLAN

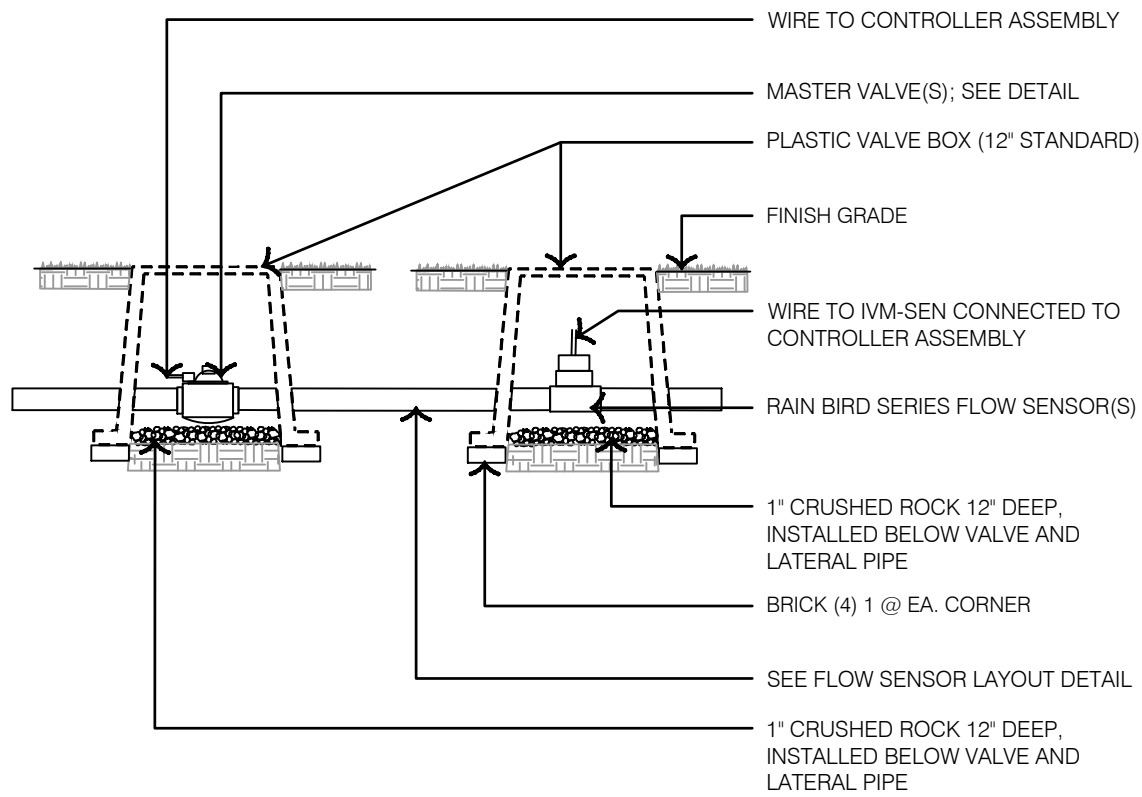
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MISSOURI

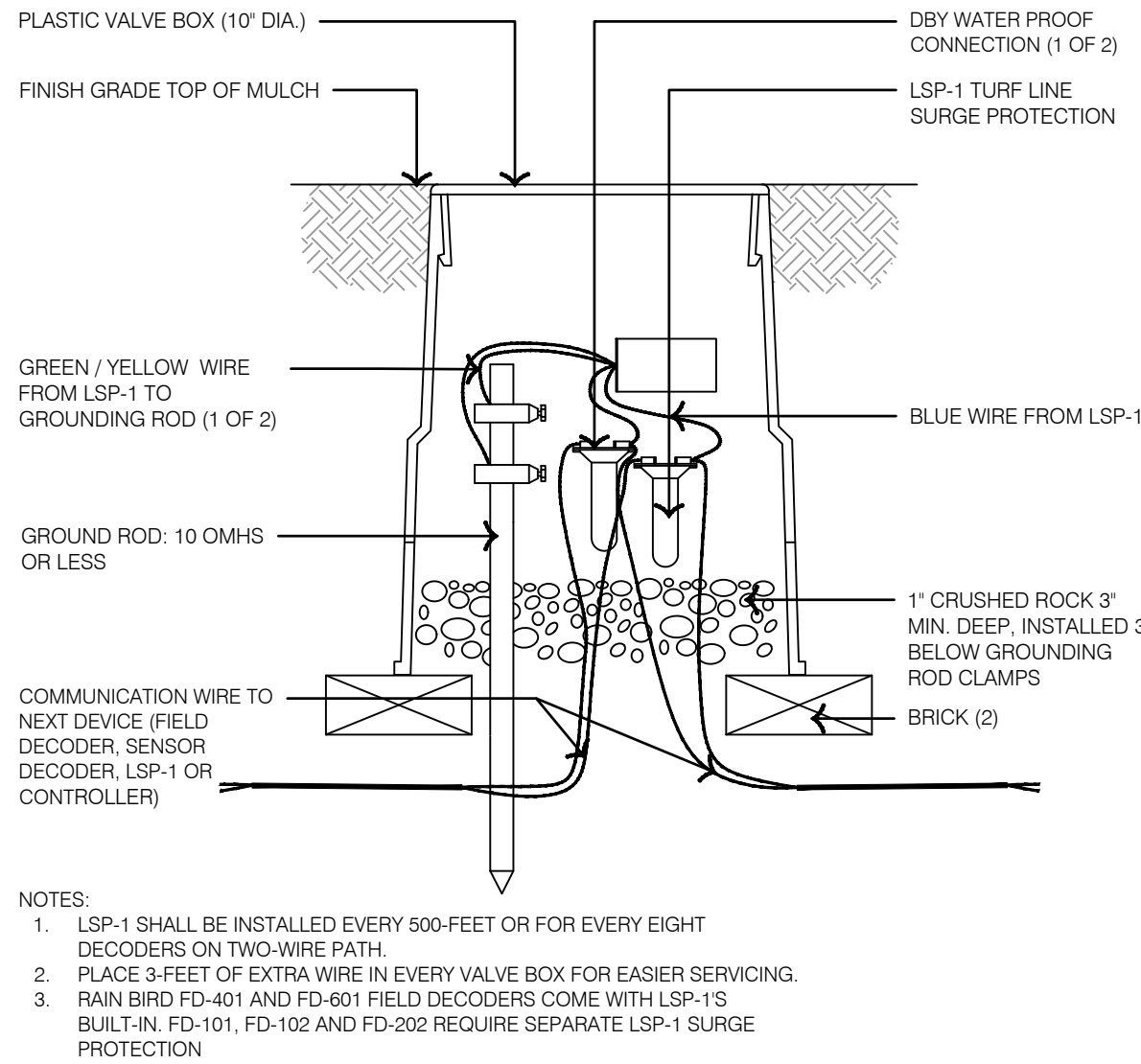
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checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: IRR01_02200393
date: 12/22/2023

SHEET
L505

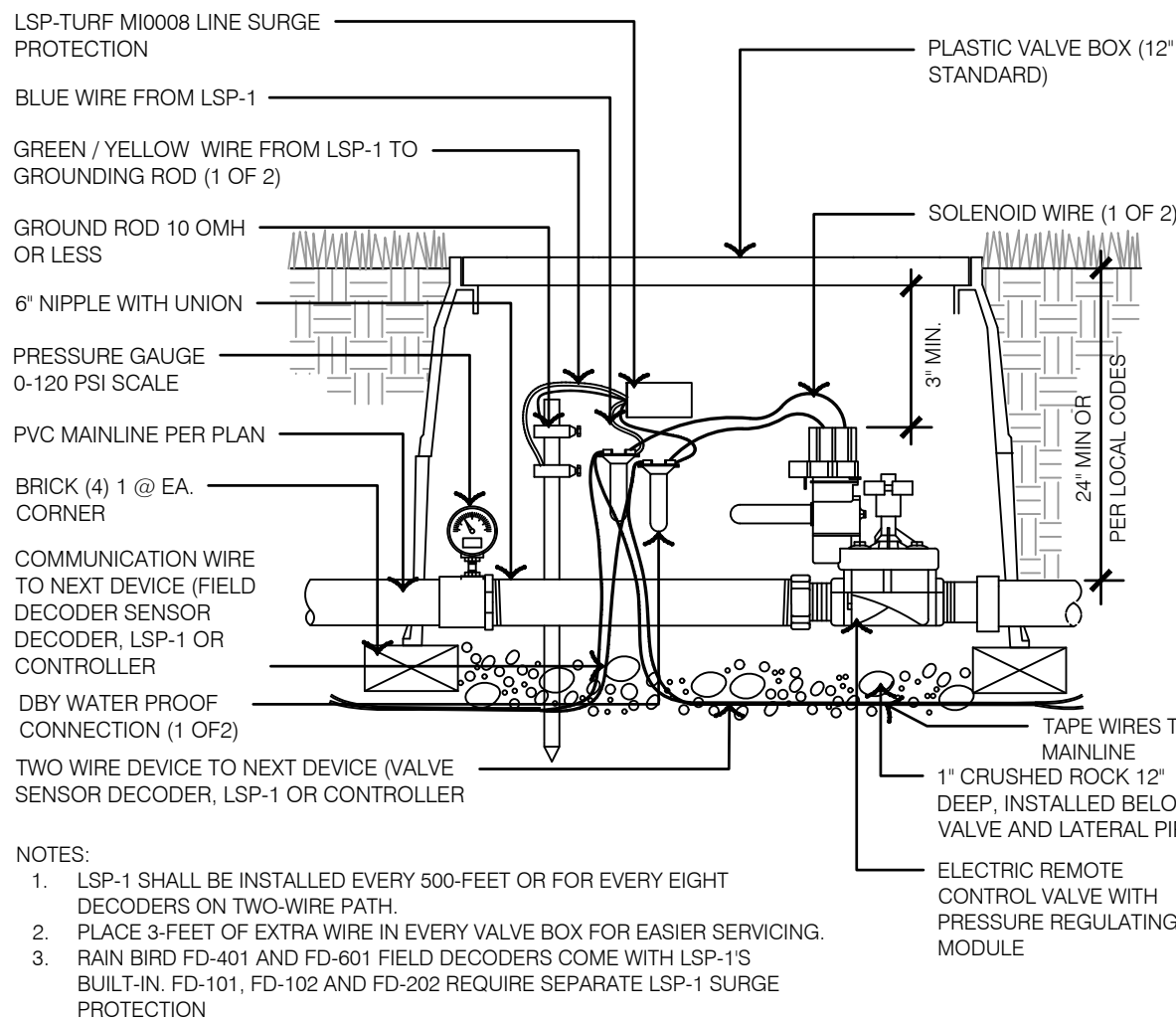
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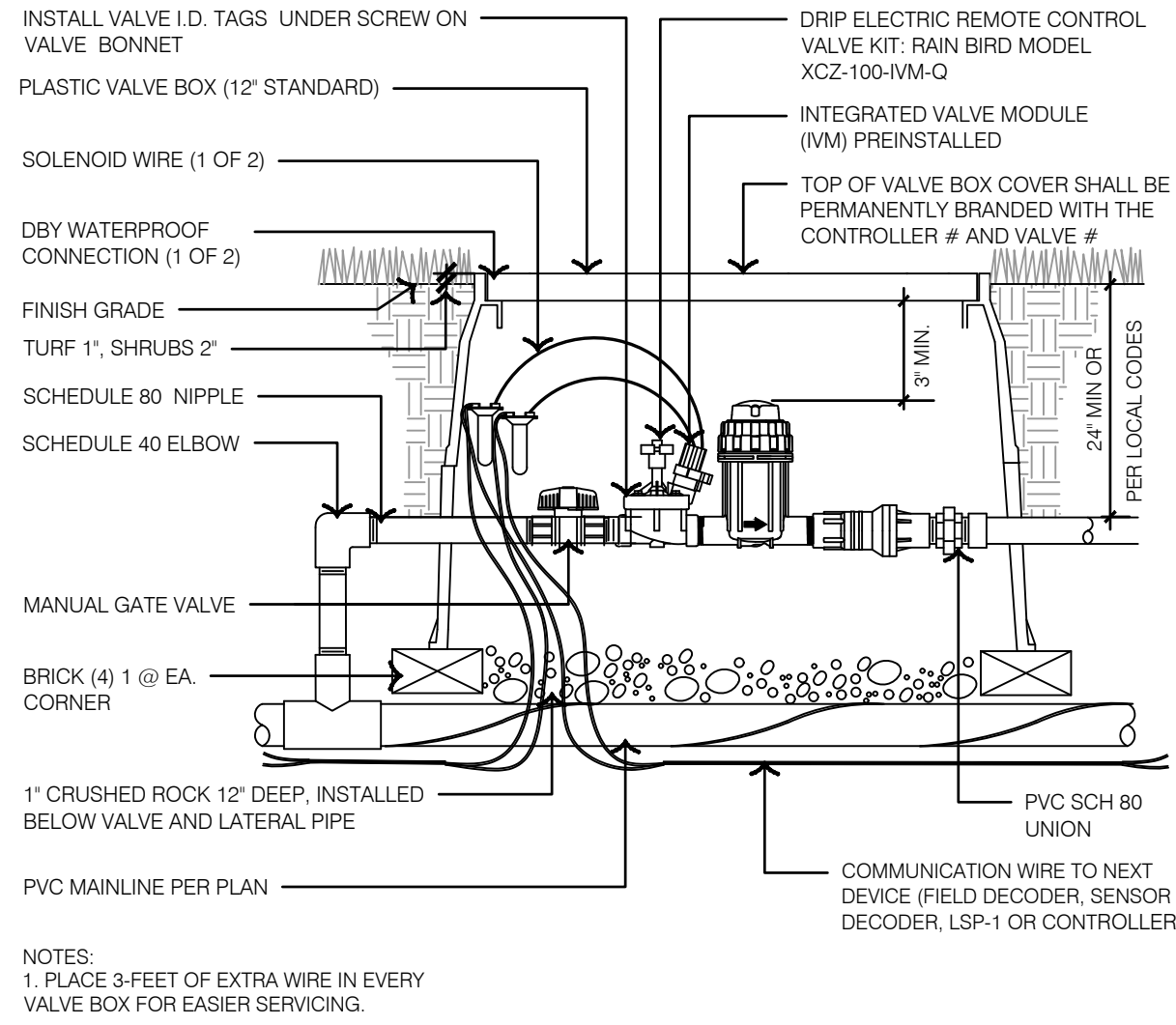
12 MASTER VALVE & FLOW SENSOR TYPICAL POTABLE WATER



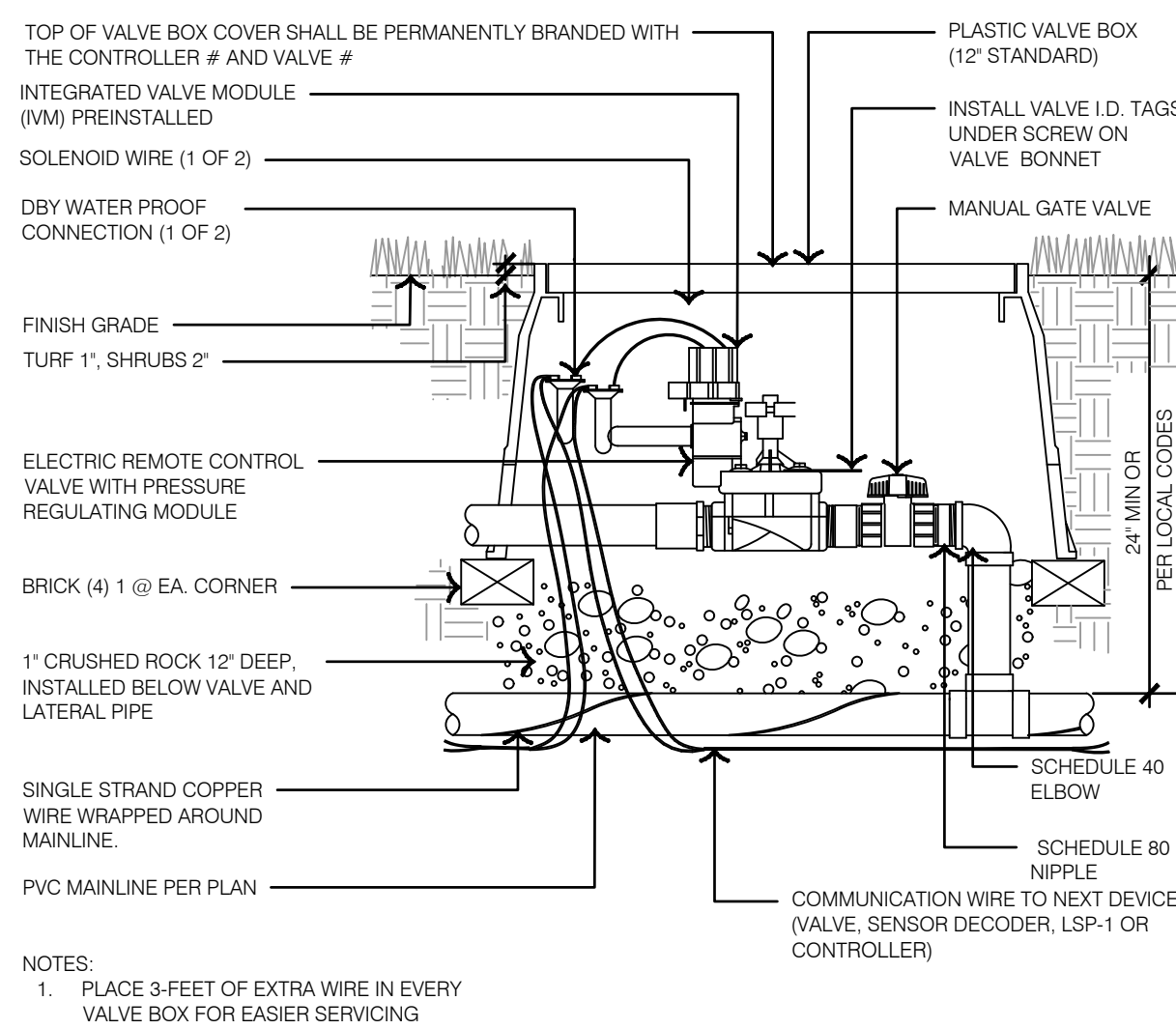
11 LINE SURGE PROTECTION



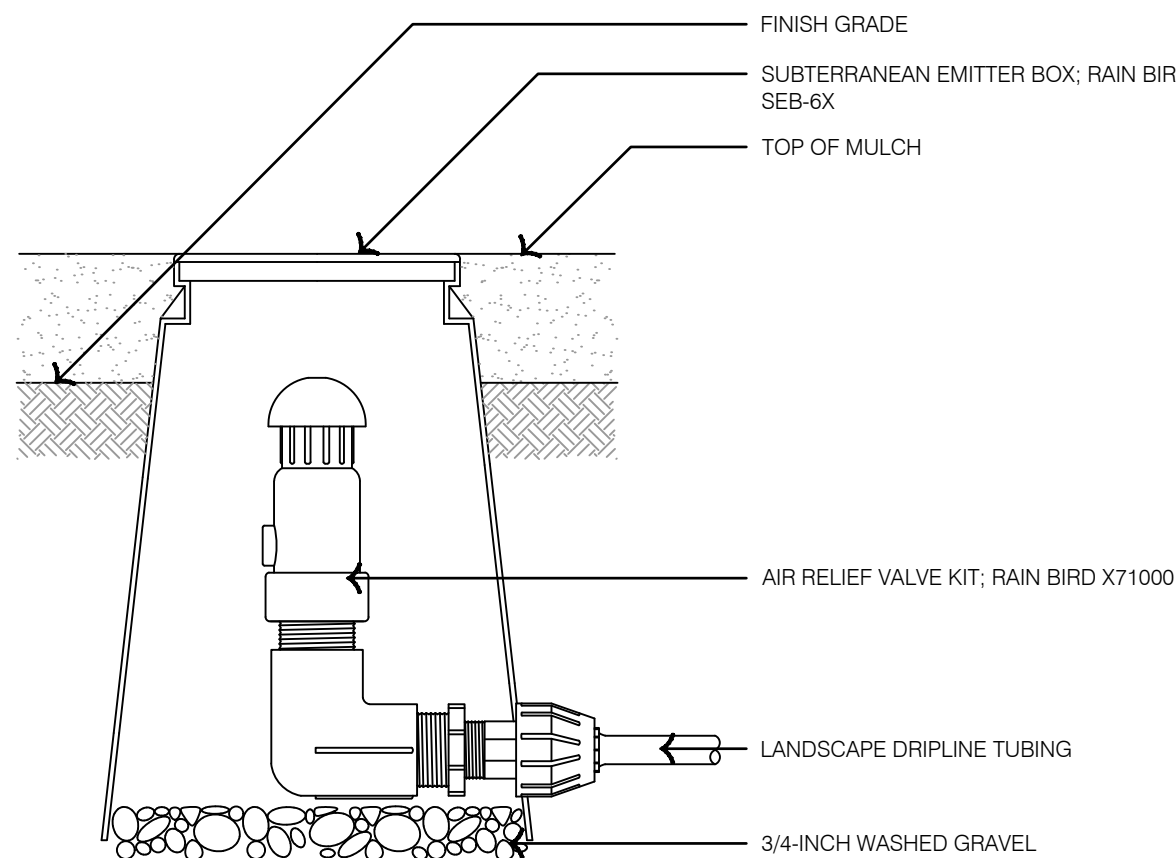
10 MASTER VALVE - POTABLE WATER



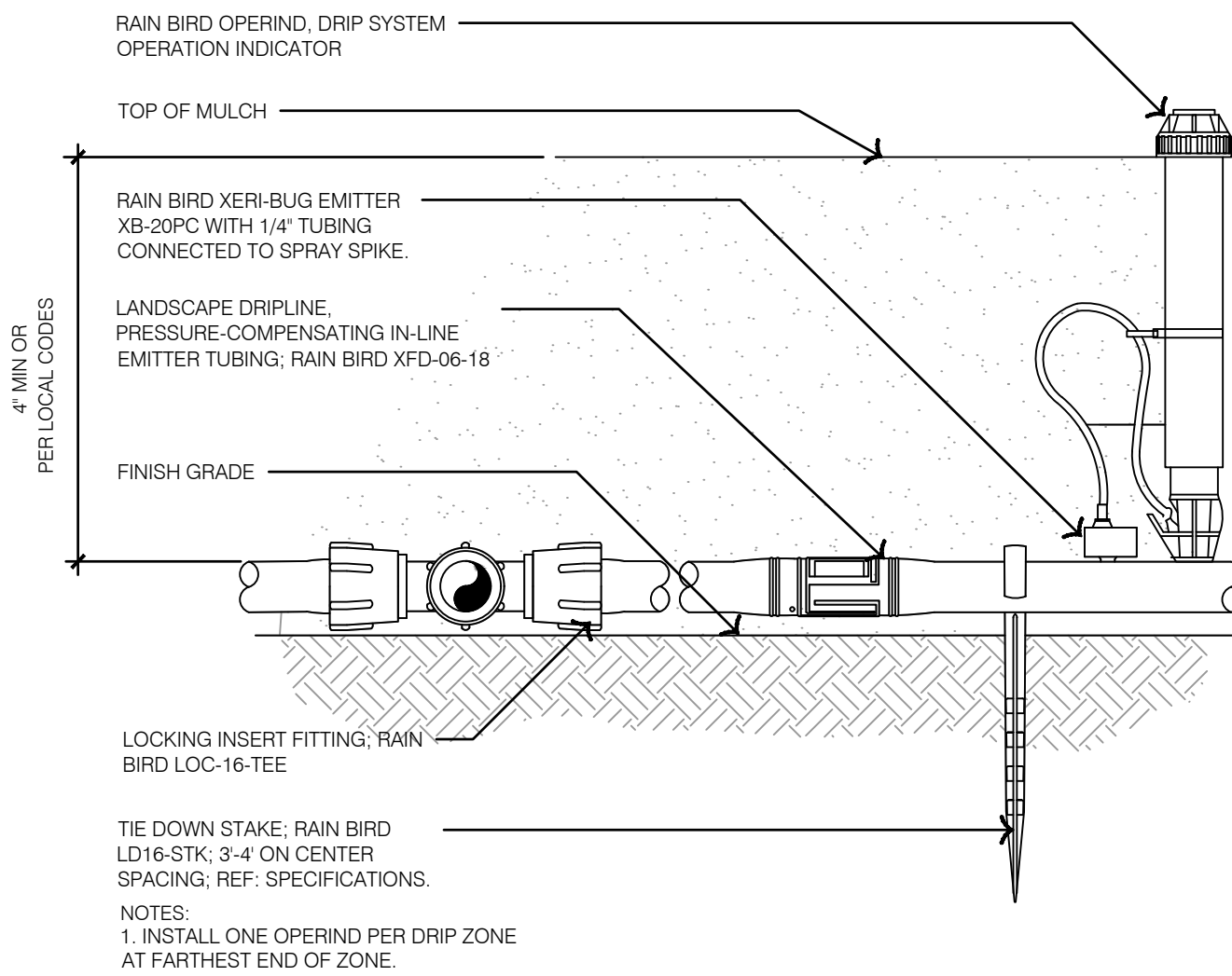
9 DRIP REMOTE CONTROL VALVE - POTABLE WATER



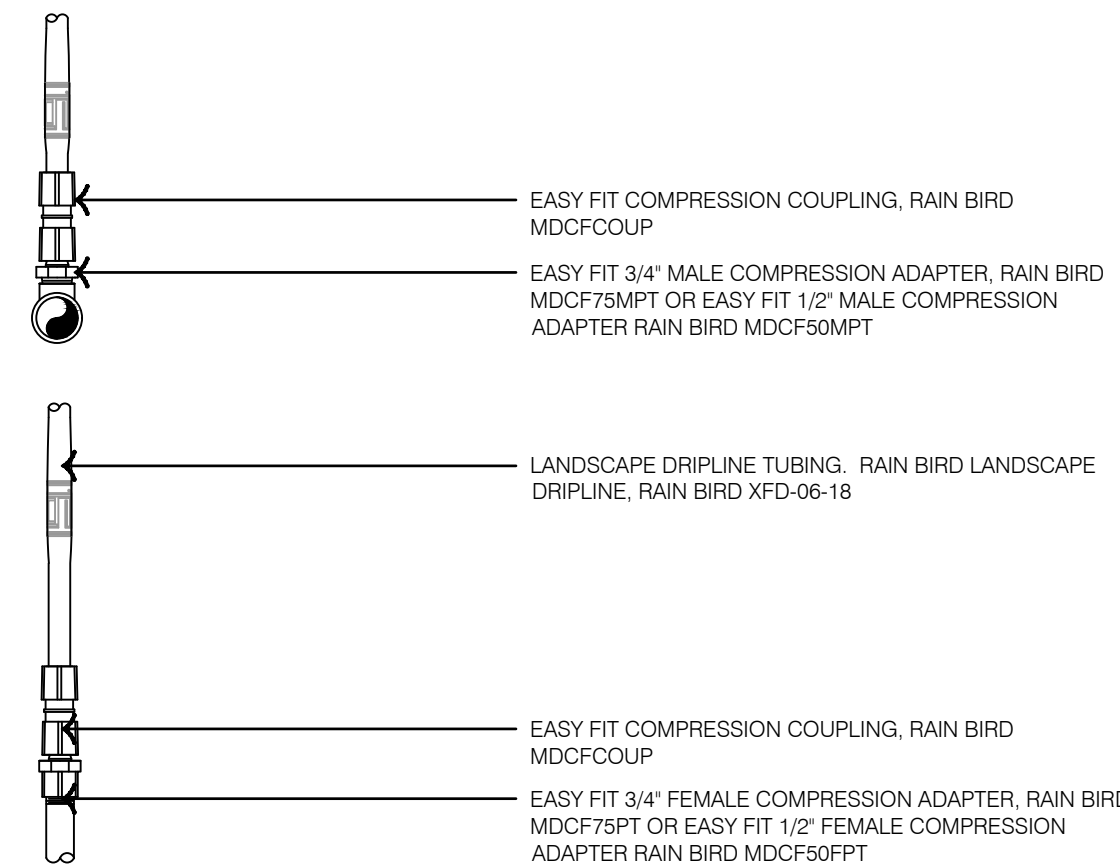
8 REMOTE CONTROL VALVE - POTABLE WATER



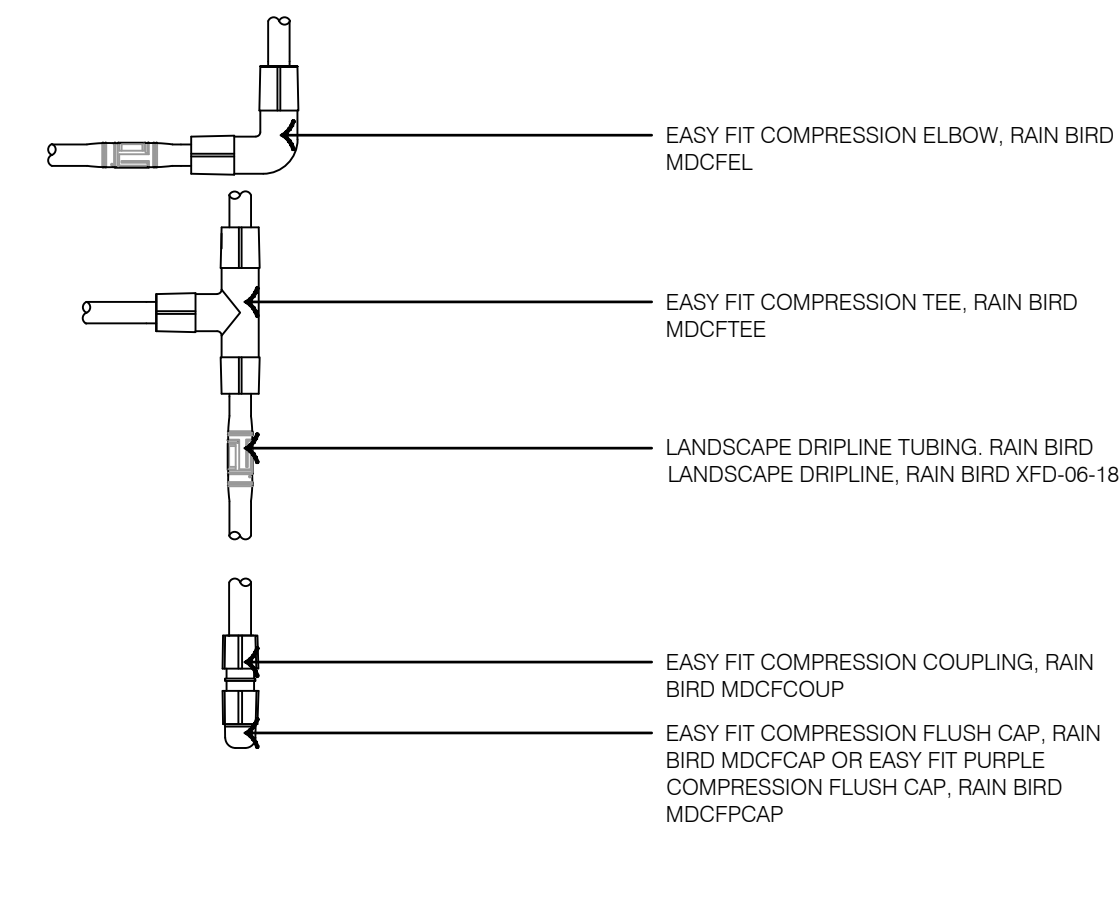
7 LANDSCAPE DRIPLINE AIR VALVE KIT - POTABLE WATER



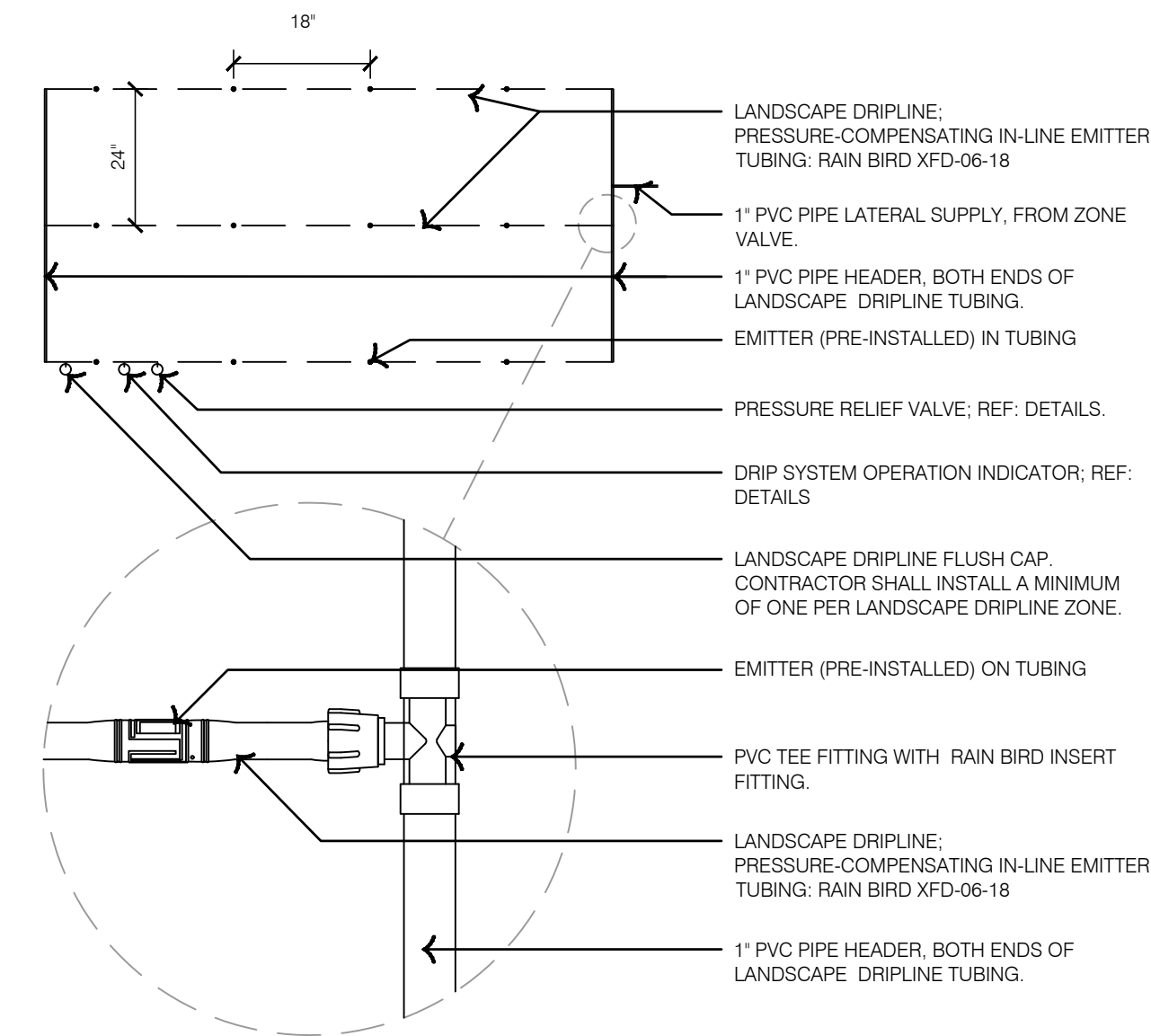
6 LANDSCAPE DRIPLINE CONNECTION - POTABLE WATER



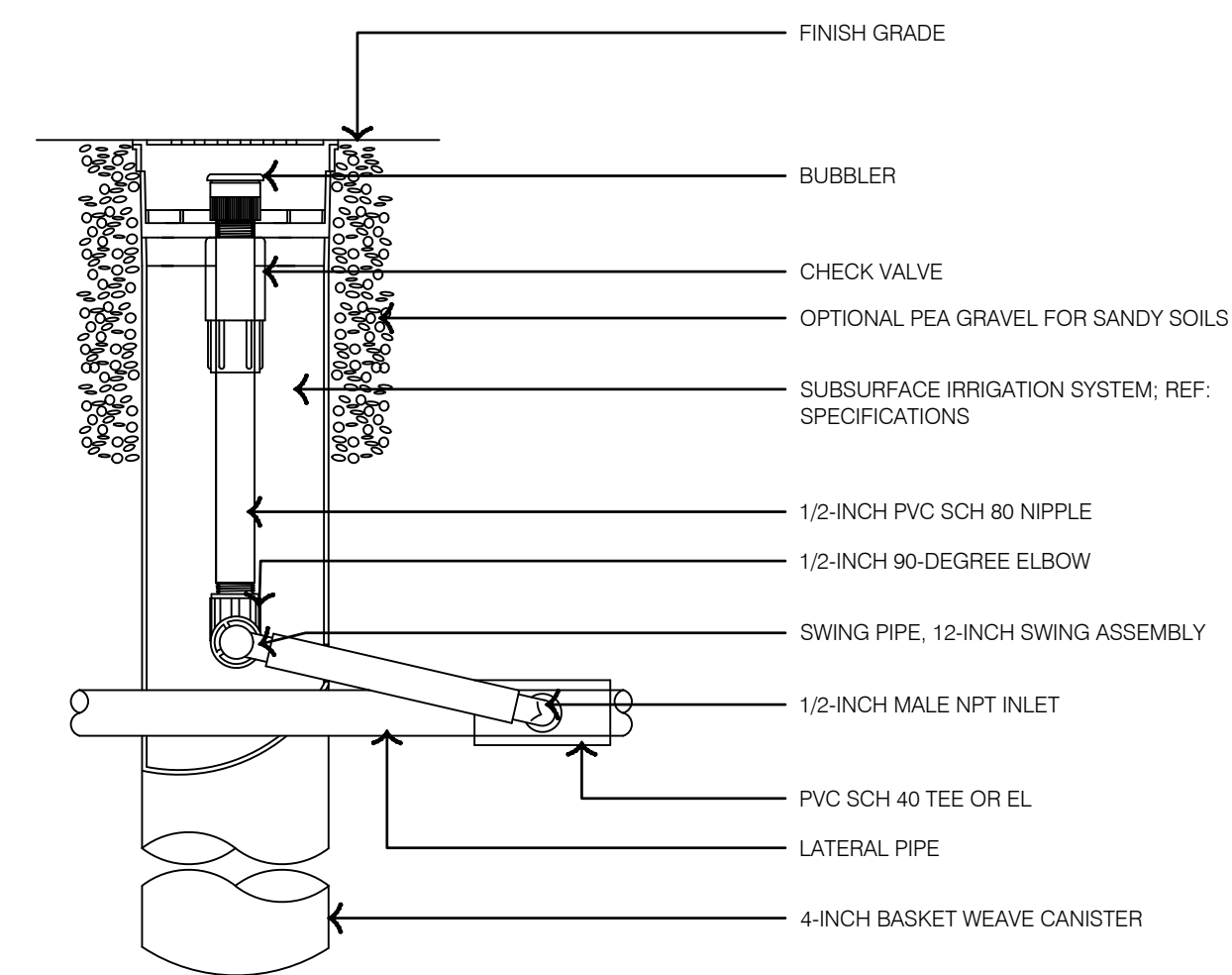
5 LANDSCAPE DRIPLINE EASY FIT COMPRESSION ADAPTERS POTABLE WATER



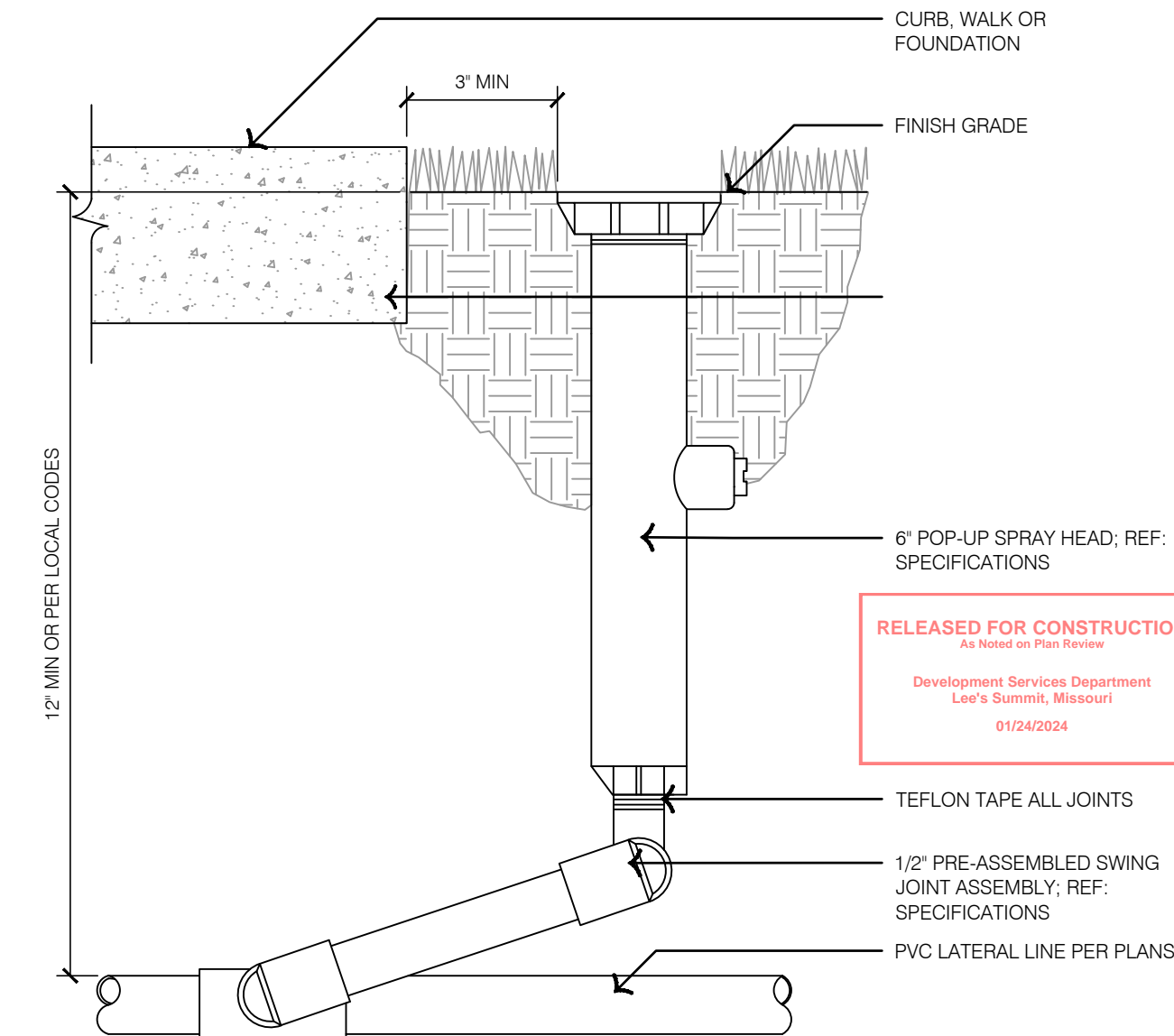
4 LANDSCAPE DRIPLINE EASY FIT COMPRESSION FITTINGS POTABLE WATER



3 LANDSCAPE DRIPLINE LAYOUT TYPICAL - POTABLE WATER



2 ROOT WATERING SYSTEM - POTABLE WATER



1 6 IN. POP-UP SPRAY HEAD - POTABLE WATER

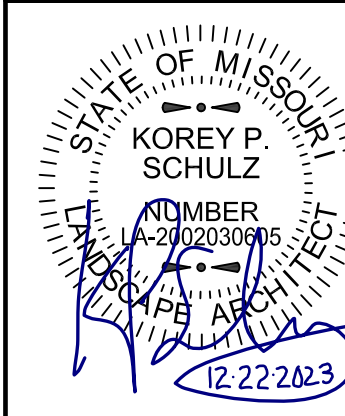
IRRIGATION DETAILS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

2023

REV. NO. 1
DATE 12-22-2023
REVISIONS DESCRIPTION
ADDENDUM #1

BY



olsson studio
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olsson-studio.com

SHEET
L590

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no: IRR_DTL01_02200393
date: 12/22/2023

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	TWO WIRE PATH
1	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	4.75	709 F.L.F.	40	RED
2	RAIN BIRD PEB-PRS-D	1-1/2"	BUBBLER	11	22	30	RED
3	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	0.72	753 F.L.F.	40	RED
4	RAIN BIRD PEB-PRS-D	1-1/2"	BUBBLER	3	6	30	RED
5	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	4.48	6712 F.L.F.	40	RED
6	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	8.73	1,310 F.L.F.	40	RED
7	RAIN BIRD PEB-PRS-D	1"	BUBBLER	2	4	30	RED
8	RAIN BIRD PEB-PRS-D	1"	BUBBLER	3	6	30	RED
9	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	0.683	1250 F.L.F.	40	BLUE
10	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	3.58	534 F.L.F.	40	BLUE
11	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	0.18	188 F.L.F.	40	BLUE
12	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	8.27	1,241 F.L.F.	40	BLUE
14	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	10.09	1,513 F.L.F.	40	BLUE
15	RAIN BIRD PEB-PRS-D	1-1/2"	TURF SPRAY	20.26	35	30	BLUE
16	RAIN BIRD PEB-PRS-D	1-1/2"	BUBBLER	5	10	30	BLUE
17	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	6.32	847 F.L.F.	40	BLUE
18	RAIN BIRD KCZ-100-1/WMO	1"	AREA FOR DRIPLINE	0.96	992 F.L.F.	40	BLUE
19	RAIN BIRD PEB-IVM	1"	TURF SPRAY	3.99	15	30	BLUE
20	RAIN BIRD PEB-IVM	1"	TURF SPRAY	6.66	21	30	BLUE
21	RAIN BIRD PEB-IVM	1"	TURF SPRAY	1.65	6	30	BLUE

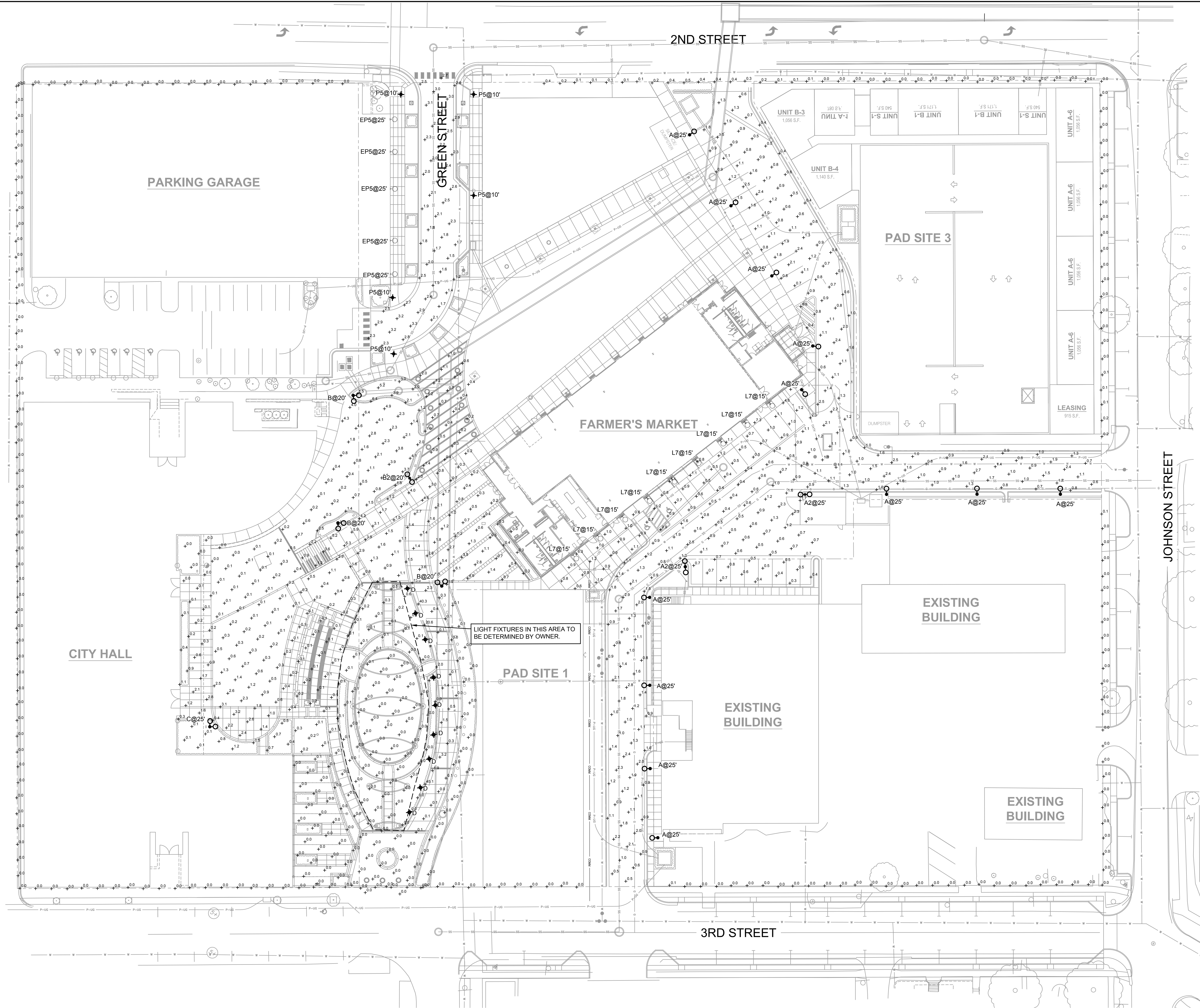
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P.O.C. NUMBER: 01	
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Slope at Connection Size:	2'
Flow Available:	77.18 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	79 PSI
Pressure Available:	79 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	20.26 GPM
Flow Available at POC:	77.18 GPM
Residual Flow Available:	56.92 GPM
Critical Station:	
Design Pressure:	40 PSI
Friction Loss for Critical Station:	0.56 PSI
Fittings Loss:	0.06 PSI
Elevation Loss:	0 PSI
Loss through Valve:	7.4 PSI
Loss for Critical Station:	8.02 PSI
Loss for Fittings:	0.06 PSI
Loss for Main Line:	0.19 PSI
Loss for Backflow Valve Elevation:	0.00 PSI
Loss for Backflow:	12.3 PSI
Loss for Master Valve:	2.3 PSI
Critical Station Pressure at POC:	62.8 PSI
Pressure Available:	79 PSI
Residual Pressure Available:	16.2 PSI



- ## 9 TYPICAL PLANTER DRIPLINE LAYOUT

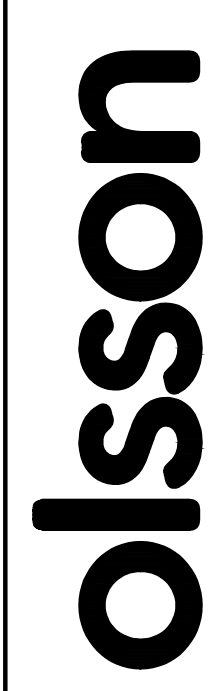


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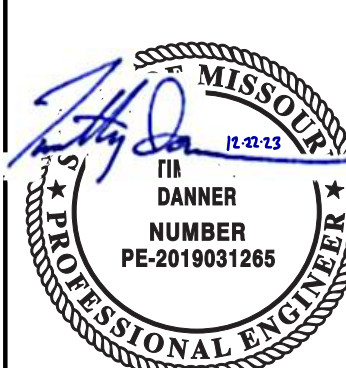


 1
SITE LIGHTING PHOTOMETRICS PLAN
SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEY	+	1.1 fc	2.9 fc	0.3 fc	9.7:1	3.7:1
GREEN STREET	+	2.3 fc	3.3 fc	1.2 fc	2.8:1	1.9:1
PROPERTY LINE	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A




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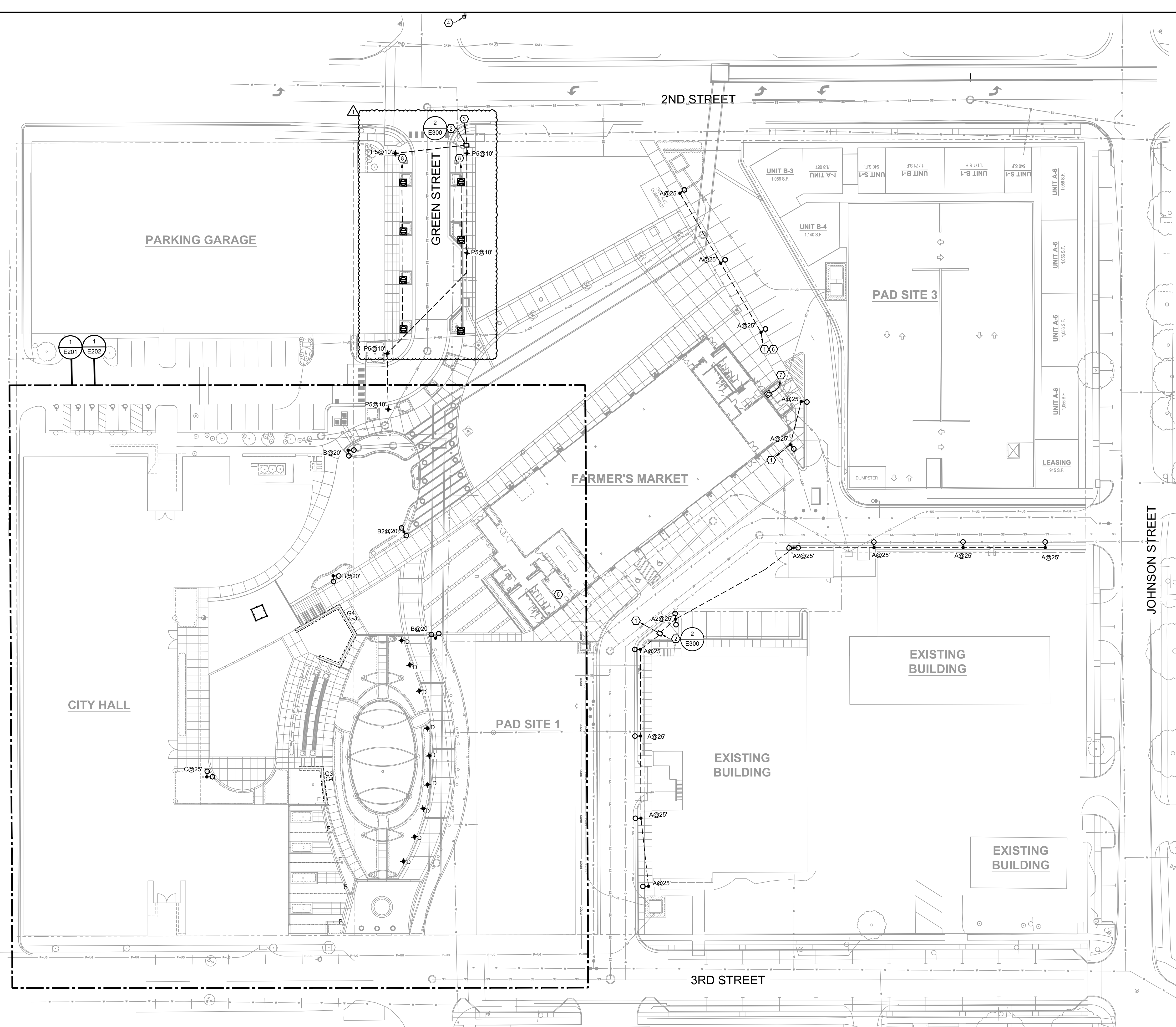


REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	12-22-2023	ADDENDUM 1	

SITE LIGHTING PHOTOMETRICS PLAN	LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	2023
		REVISIONS

drawn by: _____ SH
checked by: _____ TB
approved by: _____ TB
QA/QC by: _____ TB
project no.: 022-00393
drawing no.: E_NSIT_02200393
date: 12/22/2023





GENERAL NOTES

A. WHERE IN GROUND BOX DUPLEX RECEPTACLE SYMBOL IS SHOWN, PROVIDE LEGRAND® XBB14C520CBK RECESSED GROUND BOX. ROUTE RECEPTACLE CIRCUIT TO A GFCI BREAKER. COORDINATE WITH INTERIOR BUILDING PANELBOARD SUBMITTAL. REFER TO HARDSCAPE PLANS FOR EXACT LOCATION AND DETAILS. INSTALL 6 INCHES OF CA-5 CLEAN ROCK BELOW BOX FOR WATER TO DRAIN.

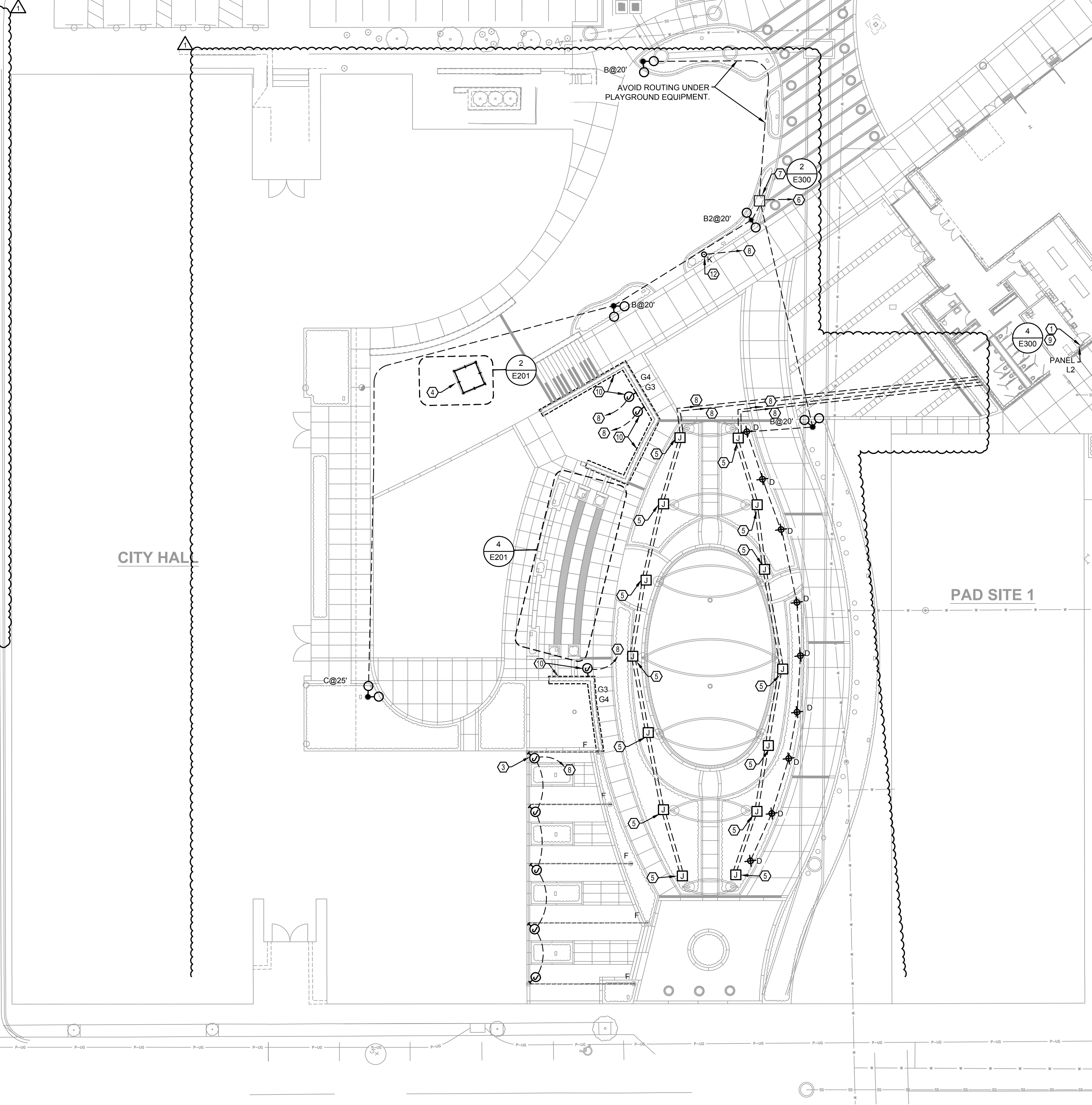
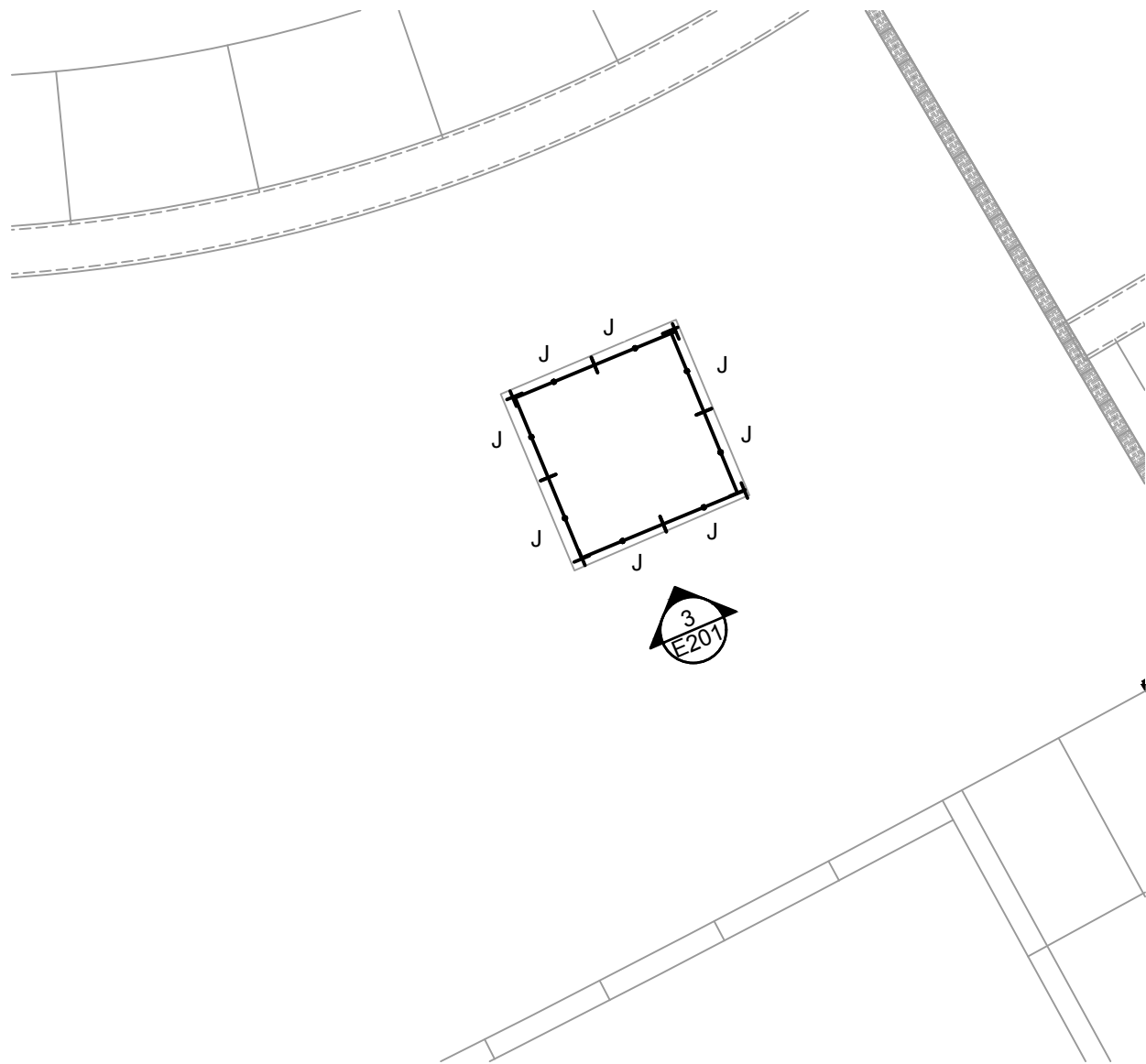
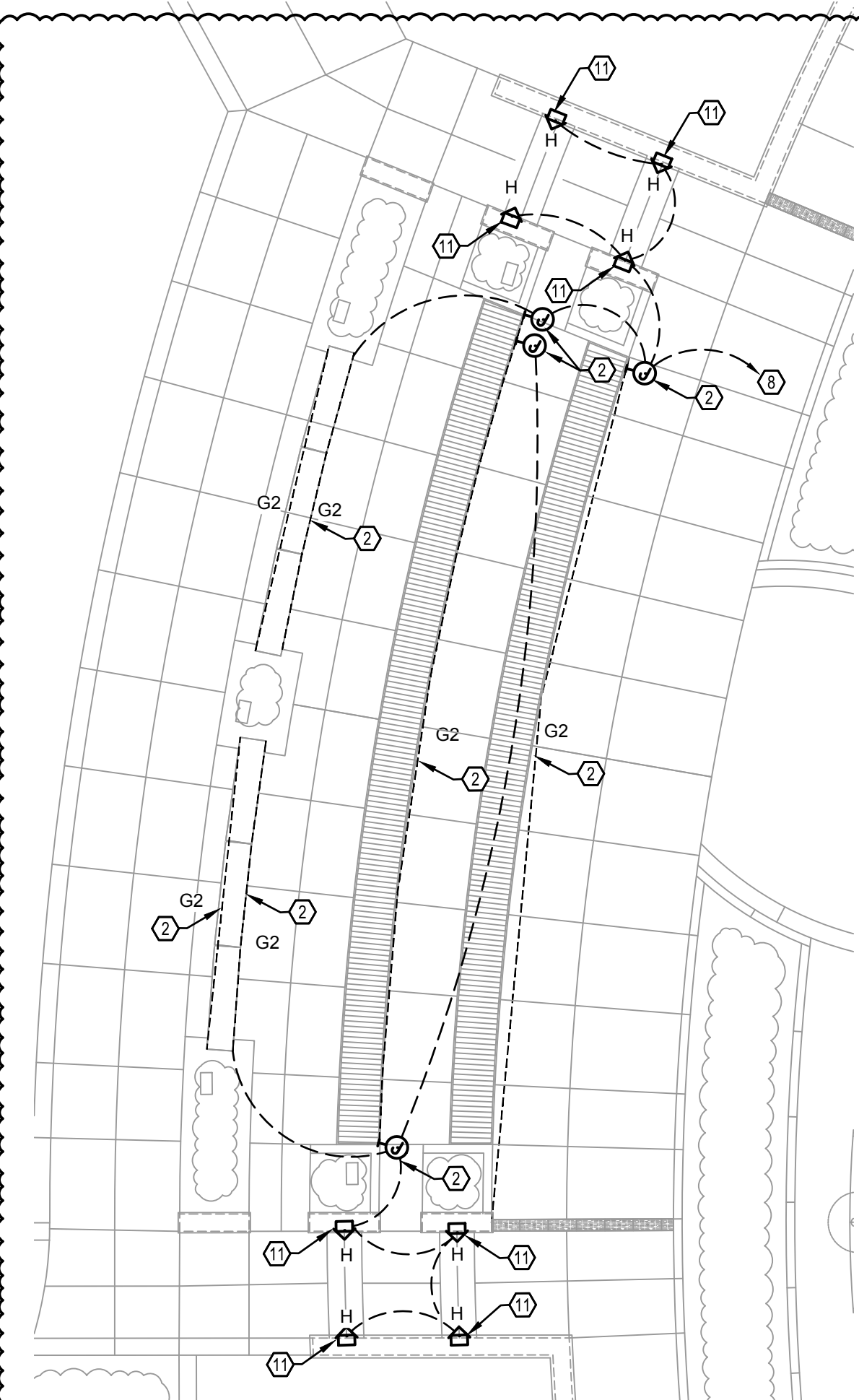
SHEET KEYNOTES

1. ROUTE EXTERIOR LIGHTING CIRCUITS TO INTERIOR PANELBOARD L2 IN FARMERS MARKET BUILDING. EXTERIOR LIGHTING SHALL BE CONTROLLED BY TIMECLOCK. REFER TO INTERIOR BUILDING PLANS FOR EXACT LOCATION AND CONTROL SCHEME.
2. IN-GRADE JUNCTION BOX. REFER TO JUNCTION BOX DETAILS FOR ADDITIONAL INFORMATION. DETERMINE EXACT LOCATION AND QUANTITY.
3. ROUTE EXTERIOR LIGHTING CIRCUIT TO 20A/2P CIRCUIT BREAKER IN NEAREST STREET LIGHTING PEDESTAL. LIGHTING CIRCUIT SHALL BE ROUTED THROUGH EXISTING PHOTOCELL. PROVIDE CONTACTORS AS REQUIRED. BORE UNDER STREET.
4. APPROXIMATE LOCATION OF EXISTING STREET LIGHTING POWER PEDESTAL. FIELD VERIFY EXACT LOCATION.
5. APPROXIMATE LOCATION OF INTERIOR PANELBOARD L2 IN FARMERS MARKET BUILDING.
6. PROVIDE 0-10V DIMMING CABLE FOR EXTERIOR LIGHTING CIRCUIT.
7. PROVIDE 120V POWER TO IRRIGATION CONTROLLER. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. ROUTE (2) #12 AND (1) #12 GROUND IN 1" CONDUIT TO 20A/1P CIRCUIT BREAKER IN NEAREST PANELBOARD IN FARMERS MARKET BUILDING.
8. ROUTE RECEPTACLE HOMERUN TO 20A/1P CIRCUIT BREAKER IN EXISTING POWER PEDESTAL. RECEPTACLE SHALL BE CONTROLLED BY PHOTOCELL

SITE LIGHTING PLAN					
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET					
LEE'S SUMMIT.MO					
2023					
drawn by: _____ SH					
checked by: _____ TD					
approved by: _____ TD					
QA/QC by: _____ TD					
project no.: _____ 022-00393					
drawing no.: E NSIT 02200393					
date: 12/22/2023					
SHEET E200					

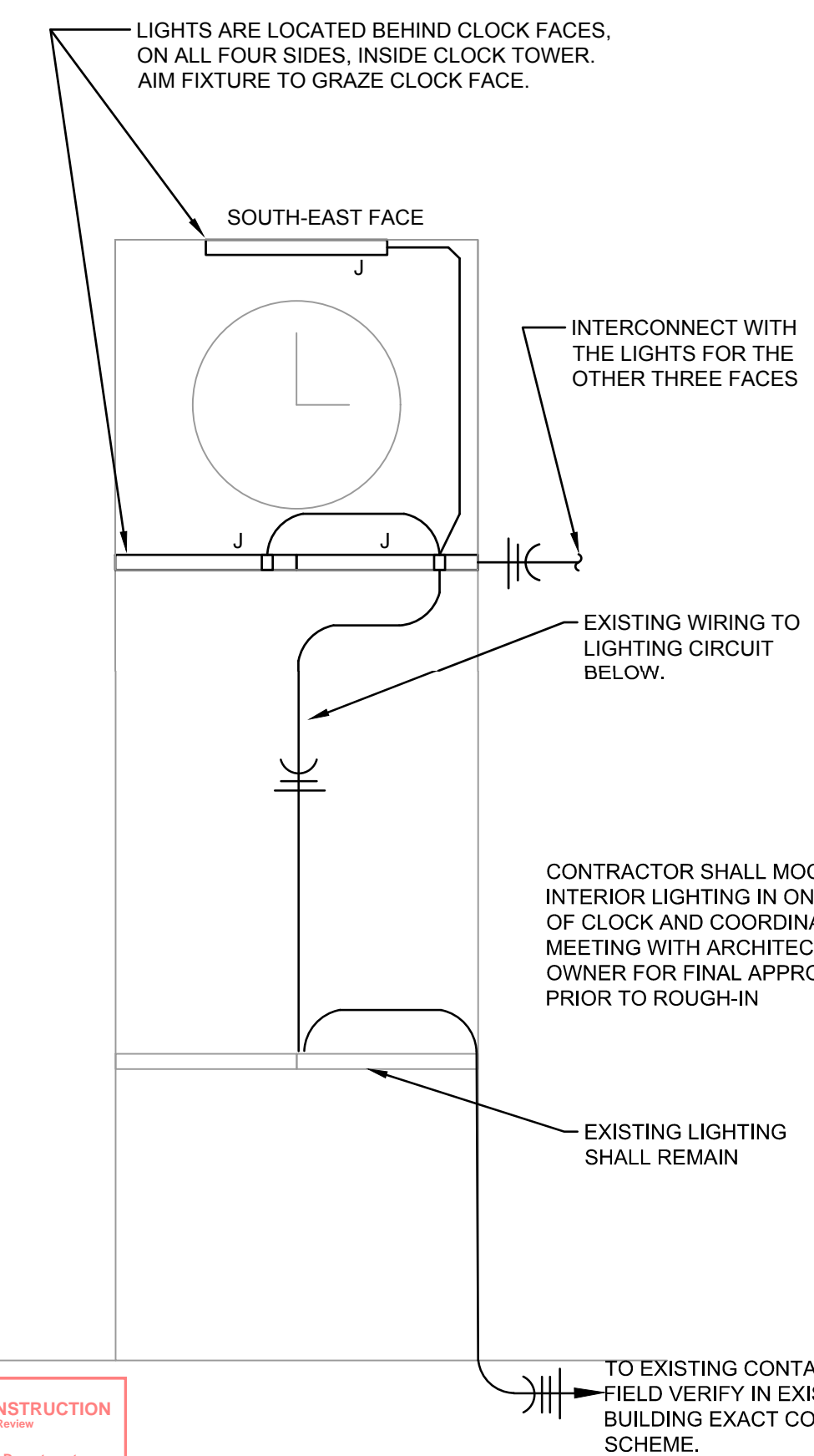
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checked by: _____ TD
approved by: _____ TD
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project no.: _____ 022-00393
drawing no.: E NSIT 02200393
date: _____ 12/22/2023

SHEET
E200

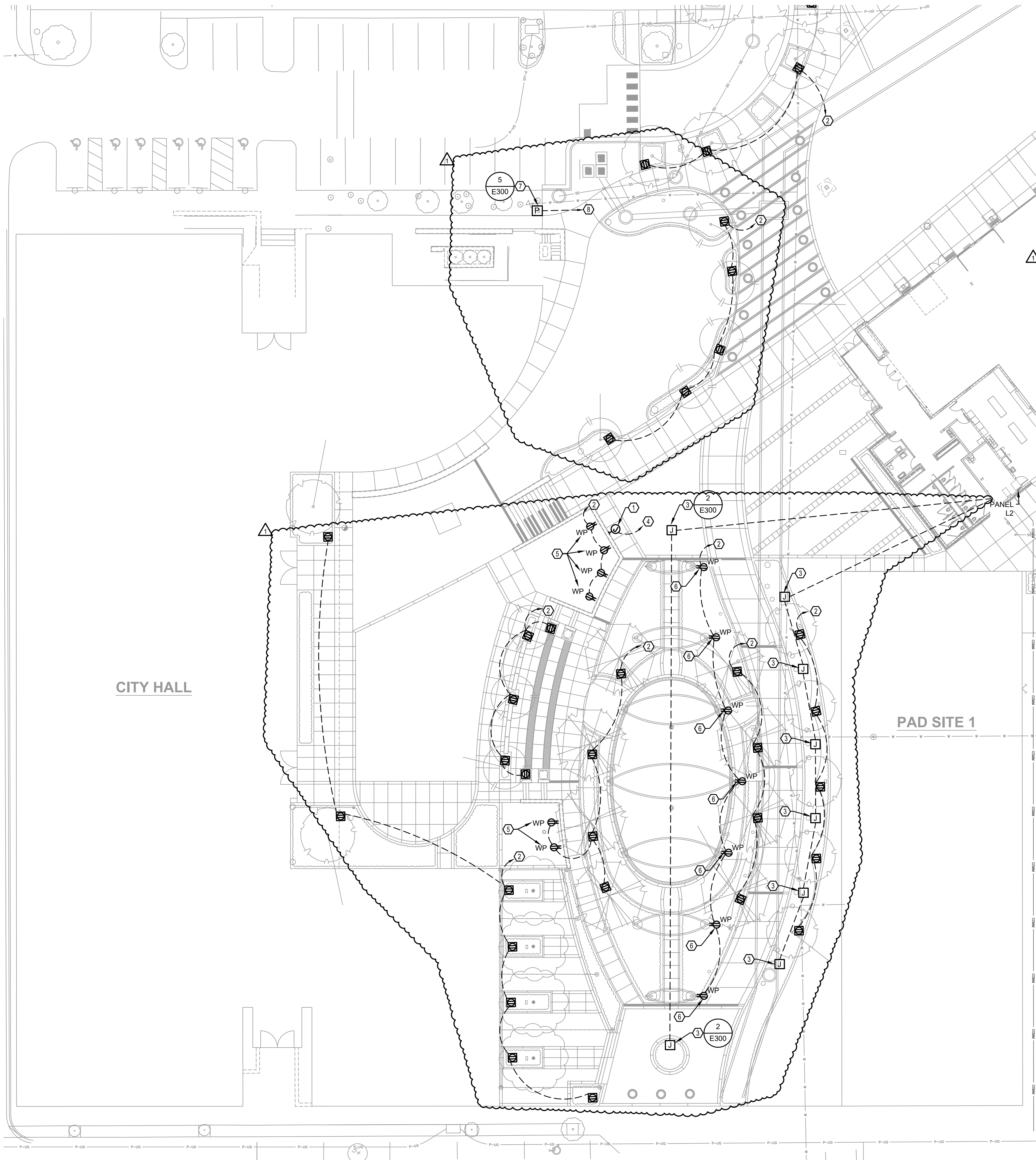


9

1. APPROXIMATE LOCATION OF INTERIOR PANELBOARD IN FARMERS MARKET BUILDING.
2. LED ROPE MOUNTED IN ALUMINUM CHANNEL TO LANDSCAPE BENCH. REFER TO LANDSCAPE DRAWINGS/DETAILS FOR ADDITIONAL INFORMATION. BASIS OF DESIGN IS TO MOUNT DRIVER IN NEMA 3R ENCLOSURE AND RECESS IN CONCRETE SEAT WALL. BOX SHALL BE PAINTED TO MATCH SEAT WALL CONCRETE. PROVIDE ADDITIONAL BOXES FOR BLOCK SEAT LIGHTING AND ROUTE CONDUIT BELOW GRADE TO BLOCK SEAT.
3. MOUNT LOW VOLTAGE TRANSFORMER IN NEMA 3R ENCLOSURE FOR LED STRUNG LIGHTING ON TOP OF POLE. COORDINATE EXACT LOCATION WITH POLE MANUFACTURER. REFER TO LANDSCAPE DRAWINGS/DETAILS AND LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
4. REPLACE EXISTING INTERIOR LIGHTING IN THE CLOCK TOWER WITH RGBW LED LIGHTING VERIFY EXISTING VOLTAGE, WIRING, AND CONDUIT TO REMAIN TO BE REUSED PRIOR TO ORDERING NEW FIXTURE.
5. ROUTE (2) 2-1/2" CONDUITS WITH #10 WIRE AND TERMINATE IN-GRADE JUNCTION BOX FOR WICKET LIGHTING. PROVIDE DMX CABLEING AND LINE TERMINATOR PER MANUFACTURER WIRING DIAGRAMS.
6. ROUTE CIRCUIT TO 20A/2P CIRCUIT BREAKER IN PANELBOARD L2. REFER TO LIGHTING CONTROL SEQUENCE FOR ADDITIONAL INFORMATION.
7. IN-GRADE JUNCTION BOX FOR ROUTING EXTERIOR LIGHTING CIRCUITS. REFER TO JUNCTION BOX DETAILS FOR ADDITIONAL INFORMATION. DETERMINE EXACT LOCATION AND QUANTITY.
8. ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANELBOARD L2. REFER TO LIGHTING CONTROL SEQUENCE FOR ADDITIONAL INFORMATION.
9. PROVIDE MTS GRAPHICAL TOUCH SCREEN WITH FOUR POST EQUIPMENT RACK. EQUIPMENT RACK TO HAVE NETWORK SWITCH, (8) 4-PORT GATEWAYS, AND DMX OPTO-SPLITTER. PROVIDE ECHO ERP24-FIT RELAY PANEL FOR ROUTING EXTERIOR LIGHTING AND RECEPTACLE CIRCUITS. REFER TO SITE LIGHTING CONTROL SCHEMATIC FOR ADDITIONAL INFORMATION AND LIGHTING SEQUENCES.
10. LED ROPE MOUNTED IN ALUMINUM CHANNEL TO UPPER BAR AND LOWER BAR PER LANDSCAPE DETAIL. FIXTURE TYPE G3 IS UPPER BAR AND TYPE G4 IS LOWER BAR. POWER SOURCES SHALL BE IN NEMA 3R ENCLOSURES MOUNTED WITHIN BAR WITH ACCESS PANEL. LED ROPE SHALL BE CONTINUOUS RUN WITH NO GAPS.
11. RECESSED STEP LIGHT TO BE MOUNTED IN CONCRETE WALL. REFER TO LANDSCAPE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
12. IN-GRADE LIGHT FIXTURE SHALL BE MOUNTED MINIMUM OF 3'-0" FROM LIGHT POLE AND AIMED AT FLAG.



SCALE: 1" = 20'-0"



ENLARGED SITE POWER PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES

- A. WHERE IN GROUND BOX DUPLEX RECEPTACLE SYMBOL IS SHOWN, PROVIDE LEGRAND# XBB14C520CBK RECESSED GROUND BOX UNLESS OTHERWISE NOTED. ROUTE RECEPTACLE CIRCUIT TO A GFCI BREAKER. COORDINATE WITH INTERIOR BUILDING PANELBOARD SUBMITTAL. REFER TO HARDSCAPE PLANS FOR EXACT LOCATION AND DETAILS. INSTALL 6 INCHES OF CA-5 CLEAN ROCK BELOW BOX FOR WATER TO DRAIN.

SHEET KEYNOTES

- ROUTE 1" CONDUIT FOR POWER TO WALL MOUNTED SIGN. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANEL L2. CIRCUIT SHALL BE ROUTED THROUGH TIME CLOCK. RECEPTACLE CIRCUITS SHALL BE ROUTED TO GFCI BREAKER.
- ROUTE 1" EMPTY CONDUIT FOR POWER TO IN-GRADE JUNCTION BOX FOR SCULPTURE/ART FEATURE. STUB UP CONDUIT IN ELECTRICAL ROOM OF FARMER MARKET BUILDING AND CAP WITH PULL STRINGS.
- ROUTE CIRCUIT TO 20A/1P CIRCUIT BREAKER IN PANEL L2. CIRCUIT SHALL BE ROUTED THROUGH TIME CLOCK.
- REFER TO LANDSCAPE WALL DETAILS FOR LOCATION OF WEATHER RESISTANT RECEPTACLE WITH WHILE-IN-USE COVER MOUNTED TO BAR.
- RECEPTACLE MOUNTED IN BASE OF WICKET.
- PROVIDE OUTDOOR POWER PEDESTAL. REFER TO POWER PEDESTAL DETAIL FOR ADDITIONAL INFORMATION. COORDINATE FINAL PLACEMENT WITH CIVIL AND LANDSCAPE DRAWINGS PRIOR TO ROUGH-IN.
- ROUTE (2)-#3 AND (1)-#8 GROUND IN 1-1/4" CONDUIT TO 75A/2P CIRCUIT BREAKER FOR POWER PEDESTAL.

ENLARGED SITE POWER PLAN

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

2023

BY

REV. NO.

DATE

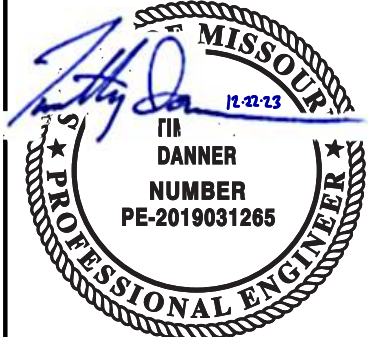
REVISIONS DESCRIPTION

ADENDUM 1

REVISIONS

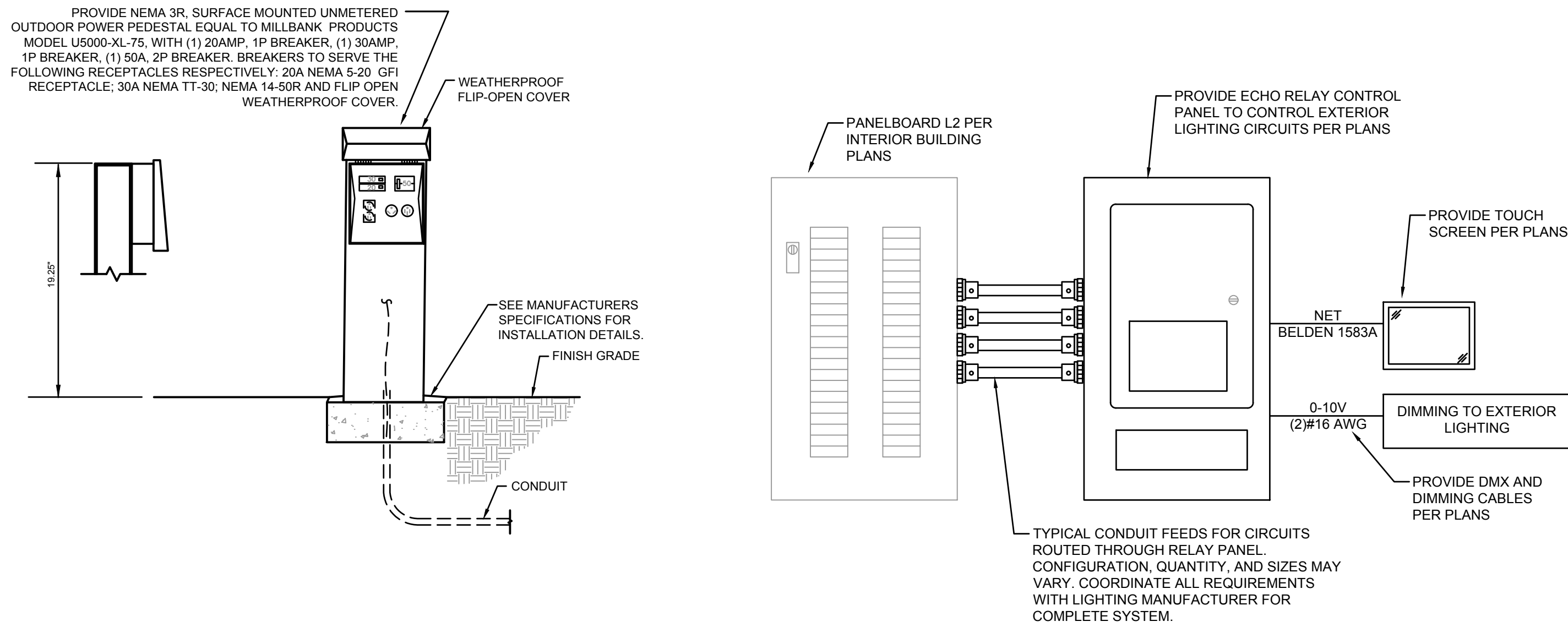
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QA/QC by: TB
project no.: 022-00393
drawing no.: E_NSIT_02200393
date: 12/22/2023

SHEET
E202

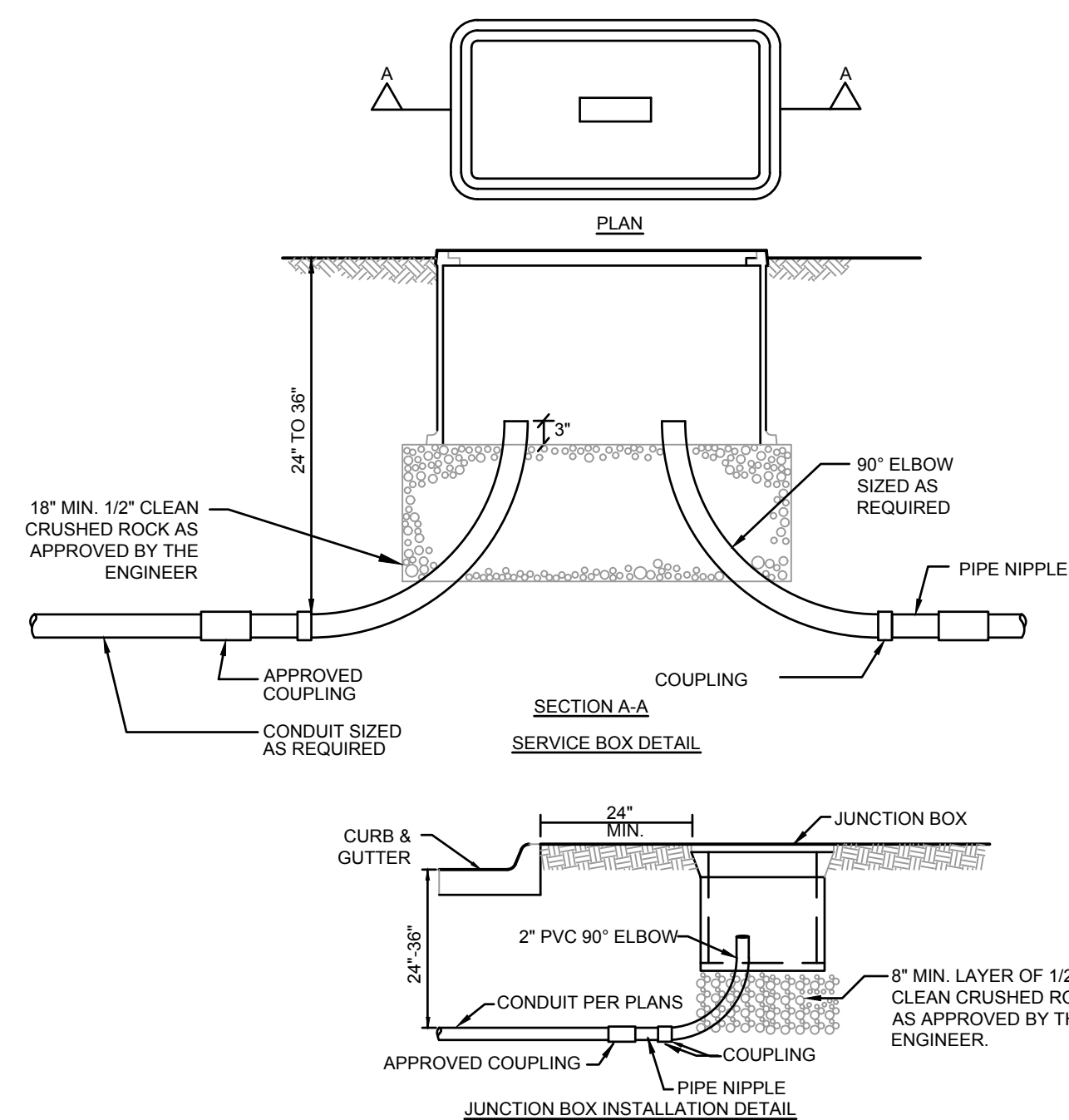


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Development Services Department
Lee's Summit, Missouri
9/12/2024



5 POWER PEDESTAL DETAIL
SCALE: NOT TO SCALE



3 BOLLARD BASE DETAIL

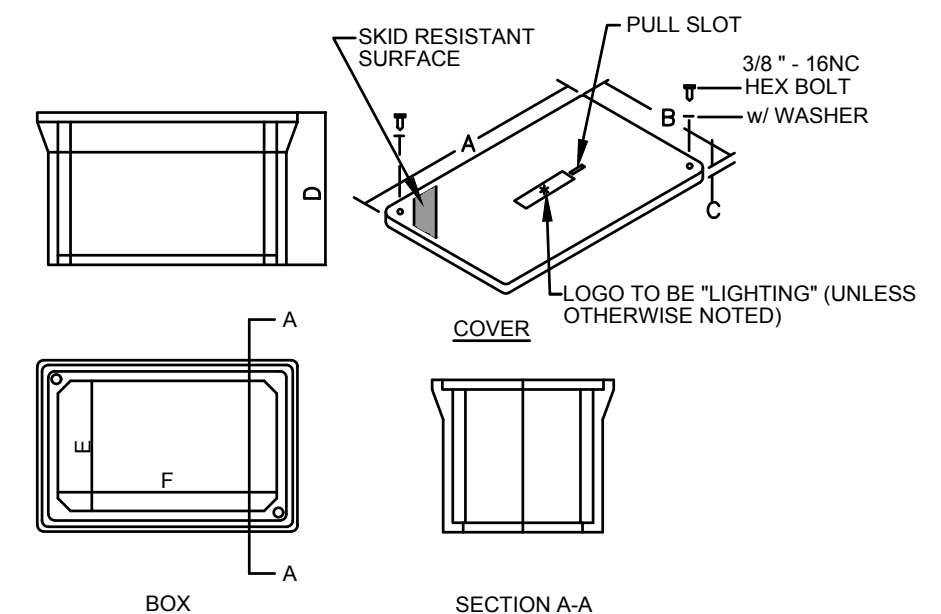
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LIGHTING CONTROL SEQUENCE SCHEDULE

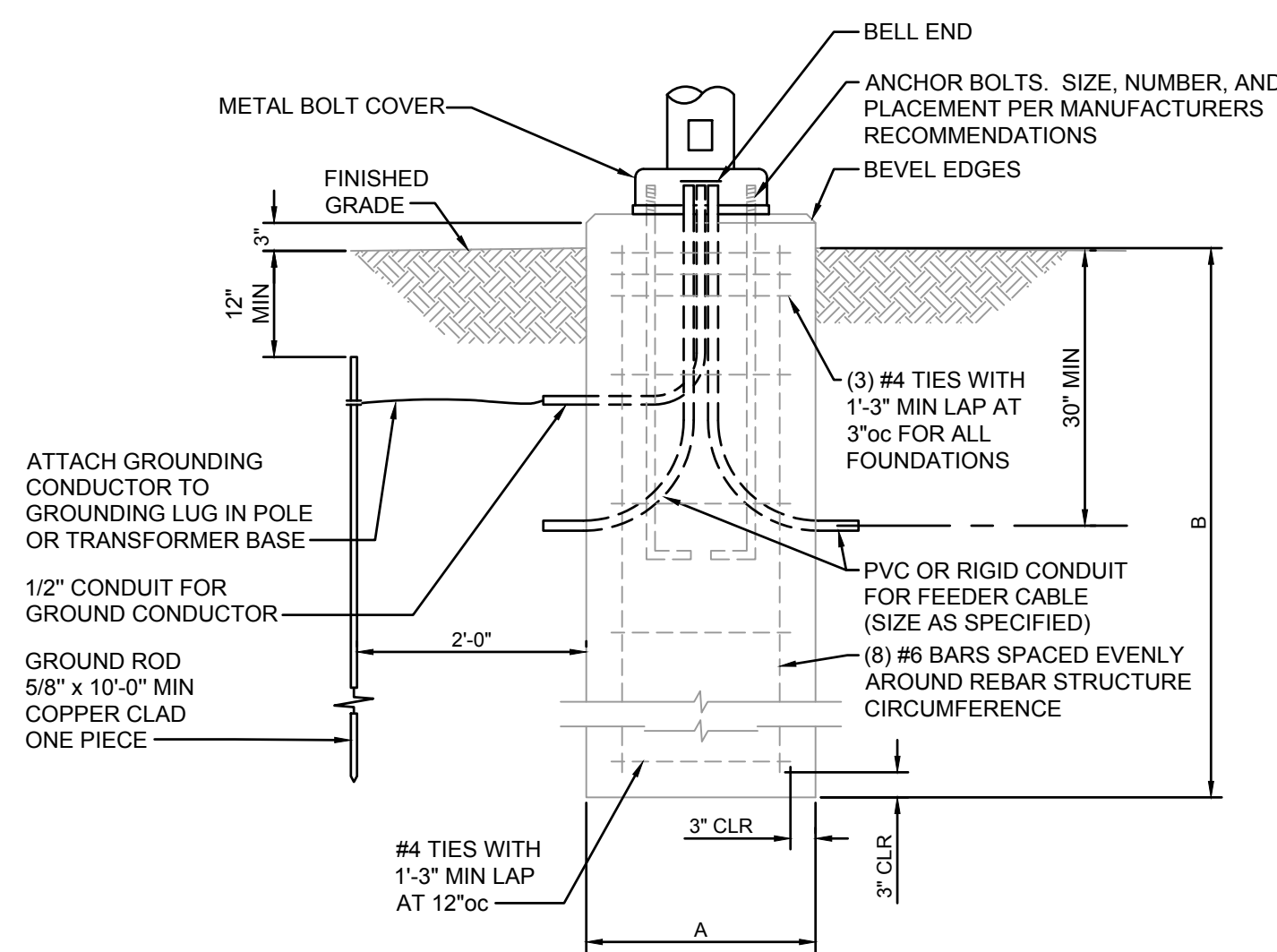
FIXTURE TYPE	DESCRIPTION	TIME CLOCK	PHOTOCELL	DIMMING	SEQUENCE OF OPERATION
A	POLE LIGHTS	X		0-10V	1
B	POLE LIGHTS	X		0-10V	1
C	POLE LIGHTS	X		0-10V	1
D	BOLLARD	X		0-10V	2
F	MESH LTG	X		DMX	2
G2	ROPE LIGHT	X		DMX	2
G3	ROPE LIGHT	X		DMX	2
G4	ROPE LIGHT	X		DMX	2
H	POLE LIGHTS	X		0-10V	1
P5	POLE LIGHTS	X		0-10V	1
J	LINEAR	X	X	DMX	3
K	IN-GRADE	X		0-10V	2

SEQUENCE OF OPERATION:
1. FIXTURE SHALL BE CONTROLLED BY TIME CLOCK. FIXTURE TO DIM TO 70% OUTPUT FROM MIDNIGHT TO 6 A.M.

GENERAL NOTE:
TIME CLOCK SHALL BE CAPABLE OF BEING PROGRAMMED FOR 7 DAYS, SET FOR 7
DIFFERENT DAY TYPES PER WEEK, INCORPORATE AN AUTOMATIC HOLIDAY SETBACK
FEATURE AND HAVE BACKUP PROGRAM CAPABILITIES.



2 FIBERGLASS REINFORCED POLYMER CONCRETE JUNCTION BOX DETAILS



1 CONCRETE LIGHT POLE BASE
SCALE: NOT TO SCALE

FOUNDATION DESIGN LIMITATIONS

- L1. THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL DEFORMATION MODULUS OF 0.50 KSI
- L2. THIS FOUNDATION WAS DESIGNED FOR A MINIMUM LATERAL SOIL UNDRAINED SHEAR STRENGTH OF 0.50 KSF
- L3. THIS FOUNDATION WAS DESIGNED FOR A MAXIMUM ALLOWABLE LATERAL DEFLECTION OF 1/2 INCH OVERALL AT GRADE ELEVATION
- L4. THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED DEPTH TO ROCK GREATER THAN TWENTY FEET FROM FINISHED GRADE
- L5. THIS FOUNDATION WAS DESIGNED WITH AN ASSUMED WATER TABLE LOCATED AT THE SOIL SURFACE.
- L6. THIS FOUNDATION WAS NOT DESIGNED TO WITHSTAND THE EFFECTS OF SCOURING.
- L7. IF CONDITIONS OTHER THAN THOSE SPECIFIED HEREIN ARE PRESENT AT THE SITE, INCLUDING NON-COHESIVE SOILS FOUND IN BORINGS, PLEASE CONTACT THE ENGINEER OF RECORD.

STRUCTURAL CONCRETE

CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF:

- ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- ACI 302 - "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
- ACI 304 - "ACI MANUAL OF CONCRETE INSPECTION"
- ACI 311 - "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE"
- ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
- ACI 318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
- ACI 347 - "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK"

ALL HOOKS SHALL BE "STANDARD" PER ACI SPECIFICATIONS

EARTHWORK

- E1. THE CONTRACTOR MUST PROVIDE SURFACE DRAINAGE AND PUMPS TO PROTECT ALL EXCAVATION FROM FLOODING. FLOODING OF ANY EXCAVATION AFTER APPROVAL OF THE SUBGRADE WILL BE CAUSE FOR RE-PREPARATION OF THE SUBGRADE.
- E2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER FROST, OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING AND CURING CONCRETE. UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT STRUCTURE.
- E3. REFER TO THE GEOTECH REPORT FOR SUBSURFACE CONDITIONS AND CONSTRUCTION CONSIDERATIONS.

LIGHT FOUNDATION DATA		
MOUNTING HEIGHT	A	B
UP TO 30'	2'-0"	5'-0"

CONCRETE CLASS "KCMMB 4000"

HEAVY HEX GALVANIZED NUTS: (AASHTO M291, GR A)
FLAT WASHERS GALVANIZED: (AASHTO M293)

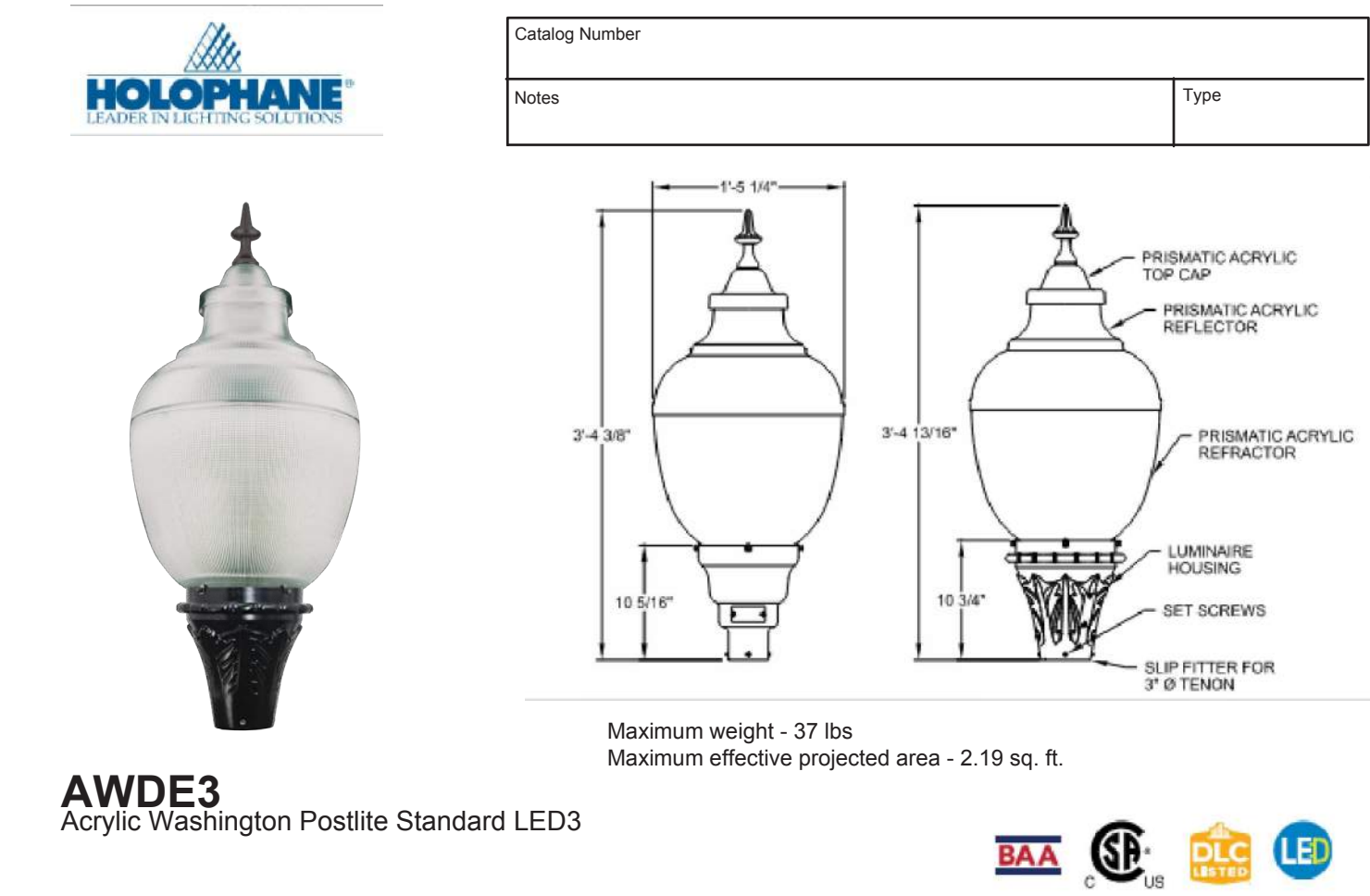
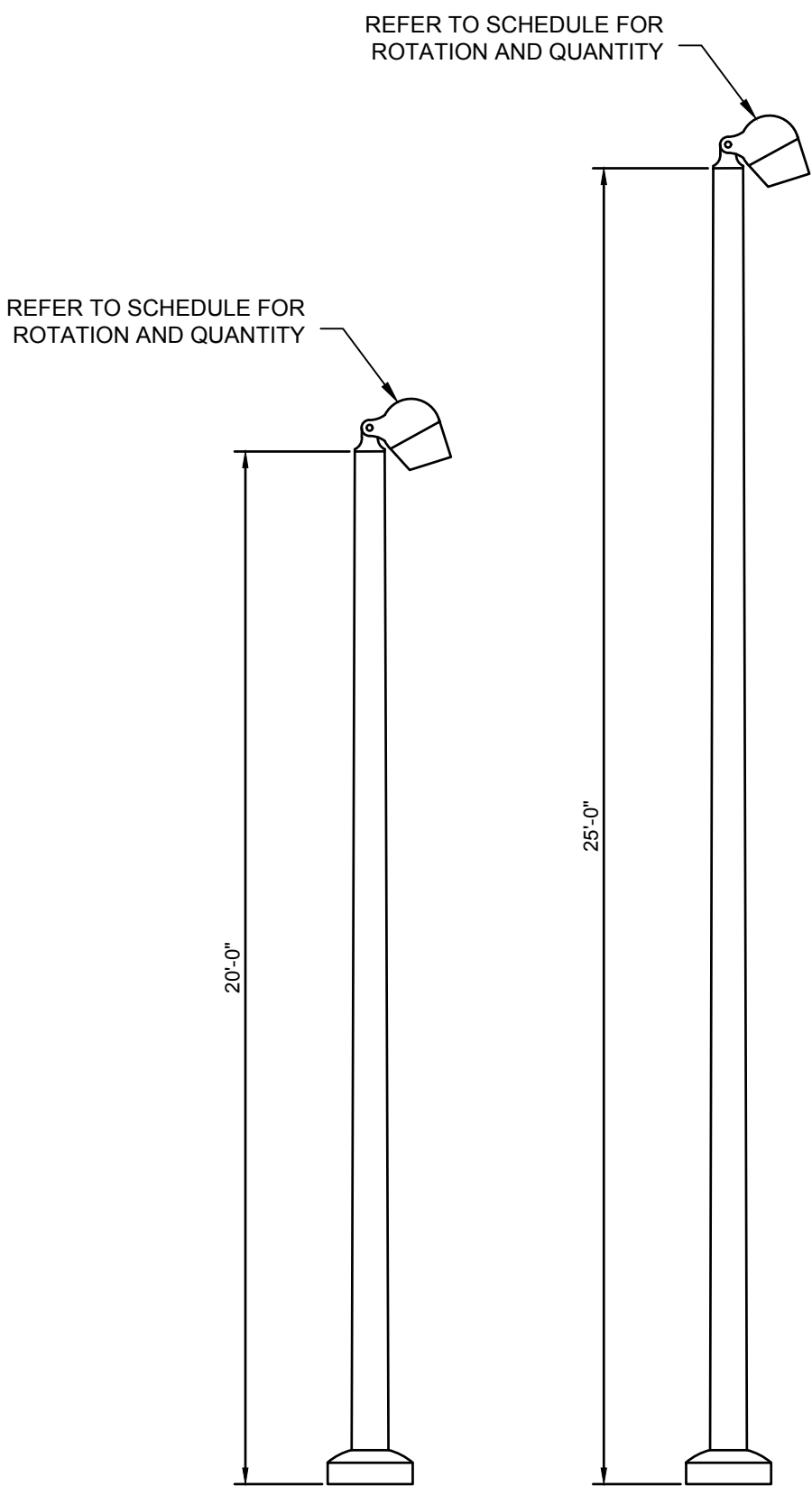
GENERAL NOTES

- G1. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UNDERGROUND STRUCTURES AND UTILITIES BEFORE CONSTRUCTING NEW FOUNDATIONS.
- G2. THE CONTRACTOR SHALL FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
- G3. EXCAVATE SHAFTS FOR DRILLED FOUNDATIONS TO INDICATED ELEVATIONS. REMOVE LOOSE DEBRIS, MATERIALS AND/OR MUCK TO MAKE BOTTOM SURFACES LEVEL WITHIN ACI 336.1 TOLERANCES.
- G4. CONSTRUCTION TOLERANCES:
 - A. BOTTOM DIAMETER: MINUS ZERO, PLUS 6 INCHES, MEASURED IN ANY DIRECTION.
 - B. MAXIMUM VARIATION FROM PLUMB: 1/40.
 - C. MAXIMUM BOTTOM LEVEL: PLUS OR MINUS 2 INCHES.
- G5. AT NO ADDITIONAL COST, CASE PIER SHAFTS AS NECESSARY. PROTECT EXCAVATED WALLS WITH TEMPORARY WATERTIGHT STEEL CASINGS OF SUFFICIENT LENGTH TO PREVENT WATER INTRUSION, CAVE-INS, DISPLACEMENT OF SURROUNDING EARTH, INJURY TO PERSONNEL AND DAMAGE TO CONSTRUCTION OPERATIONS. MAINTAIN EXCAVATIONS IN ESSENTIALLY DRY CONDITION, USING PUMPS WHERE NECESSARY. REMOVE WATER TO A MAXIMUM DEPTH OF 6 INCHES FROM EXCAVATED SHAFT PRIOR TO CONCRETE PLACEMENT.
- G6. CONVEY CONCRETE FROM THE MIXER TO PLACE OF DEPOSIT BY BEST INDUSTRY METHODS THAT WILL PREVENT SEGREGATION AND LOSS OF MATERIAL. SIZE AND DESIGN THE EQUIPMENT FOR CONVEYING CONCRETE TO ENSURE UNIFORM, CONTINUOUS PLACEMENT OF CONCRETE. PLACE CONCRETE IN ACCORDANCE WITH ACI 318. PLACE CONCRETE IN A CONTINUOUS OPERATION AND WITHOUT SEGREGATION INTO DRY EXCAVATIONS WHENEVER POSSIBLE. USE ALL PRACTICABLE MEANS TO OBTAIN A DRY EXCAVATION BEFORE AND DURING CONCRETE PLACEMENT.
- G7. WHEN PULLING CASING, MAINTAIN LEVEL OF CONCRETE ABOVE BOTTOM OF CASING GREATER OR EQUAL TO LEVEL OF GROUND KEEP BOTTOM OF CASING AT LEAST 10 FEET BELOW TOP OF CONCRETE. PREVENT IN-SITU MATERIALS FROM FALLING INTO AND MIXING WITH CONCRETE. PULL CASING IN SHORT SLOVE VERTICAL LIFTS (ESSENTIALLY CONTINUOUS), MAINTAINING PLUMB ALIGNMENT AND SUFFICIENT HEAD OF CONCRETE.
- G8. ALL CONCRETE SHALL BE CLASS KCMBB 4000
- G9. ALL REINFORCING SHALL BE STRUCTURAL GRADE 60 PER ASTM-A615 AND HAVE AT LEAST 3" OF CONCRETE COVER.
- G10. ANCHOR BOLTS ARE TO BE FURNISHED BY THE FOUNDATION CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PLACE ALL REBAR SO AS TO NOT INTERFERE WITH ANCHOR BOLTS.
- G11. ALL ABOVE GRADE FOUNDATION SURFACES SHALL BE STEEL TROWEL FINISHED UNLESS OTHERWISE NOTED.
- G12. EACH PIER FOUNDATION SHALL BE CONSTRUCTED IN A SINGLE CONTINUOUS POUR.
- G13. NO EXCAVATION OR VIBRATION-INDUCING ACTIVITIES ARE ALLOWED WITHIN 3 PIER DIAMETERS OF A SUBJECT PIER UNTIL AT LEAST 24 HOURS HAVE ELAPSED SINCE THE TIME OF CONCRETE PLACEMENT. COVER ALL EXCAVATIONS BETWEEN OPERATIONS. REMOVE FOREIGN AND LOOSE MATERIAL FROM APPROVED EXCAVATION.
- G14. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND/OR SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS DURING EXCAVATION AND FOUNDATION CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES IS THE RESPONSIBILITY OF THE CONTRACTOR.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

01/24/2024



AWDE3
Acrylic Washington Postlite Standard LED3

SPECIFICATIONS
General Description
The Acrylic Washington Postlite Standard LED3 is designed for use with traditional applications fitting 3" tenon post. The large acorn-shaped luminaire, while reminiscent of the 1920's, contains a powerful, stalk-mounted Chip-On-Board LED platform with a precision optical system that maximizes post spacings while maintaining uniform illumination.

Mechanical Specifications
The luminaire housing shall: • Be heavy grade A360 cast aluminum (aluminum with <1% copper) • IP65 rated housing, provides enclosure for the electrical module • Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon • Provide four uniquely designed stainless steel spring clips, enclosed in a clear polyvinyl chloride sleeve and adjusted by 1/4-20 hex-head bolts that securely cradle the prismatic acrylic refractor. The same 1/4-20 bolts also support the decorative rib and banding assembly The finish shall: • Utilize a polyester power coat paint to ensure maximum durability • Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options. • RAL (RALxxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Electrical Specifications
The driver shall meet the following requirements: • Certified by UL or CSA for wet locations • A factory programmable electronic driver with 0-10V dimming control leads • LEDs shall have a minimum of 70 CRI and available in 2700K, 3000K, 4000K, and 5000K CCT • The electrical system shall be designed to meet ANSI/IEEE C62.41.2 and shall offer a 10kV/5kA surge protection, fail off, as standard with an upgradable 20kV/10kA surge protection, fail off with indicator light, option • Lumen output can be customized prior to manufacturing by way of FDPDx Options • The electrical components are mounted on an aluminum plate that is removable with minimum use of tools.

Optical Specifications
The optical system is IP66 rated and consists of a precisely molded thermal resistant acrylic refractor and top reflector mounted within the decorative acrylic optic. The top reflector redirects over 50% of the upward light into the controlling refractor while allowing a soft up-light component to define the traditional acorn shape of the luminaire. The lower refractor uses precisely molded prisms to maximize the pole spacings while maintaining uniform illuminance. Two refractors are available, designed for IES type III and V distributions.

Control Options
The control options shall include, but not limited to, the following: • Three (3) choices of button-style photocell kits that, specified to match voltage requirements, 120V, 208-277V, and 347V, and colored to match housing color (no 480V options).

Certification and Standards
• Luminaire shall be UL or CSA listed. • Suitable for operation in an ambient temperature up to 40°C / 105°F per UL or CSA certification • LM79 compliant • DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Buy American Act
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty – 5 Years Limited
This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25° C.

Acuity Brands | Holophane | One Lithonia Way, Conyers, GA 30012 | Phone: 866-HOLOPHANE | www.holophane.com | Page 1 of 7
techsupportinf@acuitybrands.com © 2020-2023 Acuity Brands Lighting, Inc. All rights reserved. Rev. 08/08/23 Specifications
Customer to change without notice.

Olivo Medio LED
Universal Mount



Order Code: OLML _____

Pole Order Code: _____

Series OLML _____

Optics S09 Spot, 90 S20 Spot, 200 F40 Flood Medium, 410 F80 Flood, 780 ASM Asymmetric (no SLH or SLV option) _____

Mounting U Universal T1 Single Pole Top _____

Light Engine 2G350 15W / 1325lm 2G525 22W / 1915lm 2G700 31W / 2615lm 2G105 40W / 3941lm _____

CCT 27* 2700K 301 3000K 35* 3500K 40 4000K 50* 5000K _____

Finish WH White BK Black BL Matte Black BZ Bronze SV Silver SP Spectra Premium Color _____

Voltage UNV 120-277V 120V 208V 240V 277V _____

Options DS2 Dark Sky On TB Option DM Dimming, 0-10V SLH Spread Lens Horizontal (fixed) SLV Spread Lens Vertical (fixed) HL503.5 High - low switching, low output 95% HX4 Micro Hazeall (consult factory) CF Color Filter (consult factory) _____

Product Modifications Please list modification requirements for review by factory _____

Approvals _____

Date: _____

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In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selus.us are the most recent versions and supersede all other printed or electronic versions.

1 LIGHT POLE/FIXTURE DETAILS
SCALE: NOT TO SCALE

LIGHTING FIXTURE SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER AND MODEL	LAMPS	LUMENS	COLOR TEMP / CRI	DRIVER / BALLAST	VOLTAGE / WATTAGE	LOCATION
	A	SINGLE HEAD AND DOUBLE HEAD LED FLOOD LIGHT, ASYMMETRIC DISTRIBUTION WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE.	SELUX# OLML-ASM-T1-2G105-35-BK-U-DM-SLH POLE: O-AT635-25-BK	LED	3671	3500K / 80	0-10V DIMMING	MVOLT 46W	STREET
	A2	SEE NOTE A AND B BELOW.	OLML-ASM-C2-2G105-35-MK-U-DM POLE: AT524-25-BK					92W	
	B	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 20'-0" POLE AND CONCRETE BASE.	SELUX# OLML-F40-C2-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-20-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
	B2	SEE NOTE A AND B BELOW.	OLML-F40-C2A-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-20-BK						
	C	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE. SEE NOTE A AND B BELOW.	SELUX# OLML-F40-C2-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-25-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
	D	4.5" DIA. x 31.5" LED BOLLARD WITH ALUMINUM FINISH. SEE NOTE A AND B BELOW.	LOUIS POULSEN# FLINDT#10000162762	LED	784	4000K / 80	0-10V DIMMING	MVOLT 15W	PEDESTRIAN WALKWAY
	F	LED MESH LIGHTING WITH ACRYLIC CYLINDER 2'-0" O.C. RGBW COLOR CHANGING.	CARL STAHL# X-LED-DOT-B-RGB POLE: KW INDUSTRIES# RSP12-4-0-11-BLK-BC-OTC-WPRP-58HH POWER SUPPLY: X-LED-PS-6	LED		3500K / 80	0-10V DIMMING	24VOLT 1.5W/FT	ABOVE SEATING
	G2	LED ROPE LIGHT WITH WHITE FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# PL27K-WR-24 CHANNEL: CH-409-SWH-CP-EC LV DRIVER: HLV192	LED	148LM/FT	2700K / 80	0-10V DIMMING	24VOLT 2W/FT	BENCHES
	G3	LED ROPE LIGHT WITH FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# RGBW-3-WR-24V CHANNEL: LV DRIVER: HLV192 DMX DECODER: DMXD-4C-5A-WP	LED	131LM/FT	3000K / 80	0-10V DIMMING	24VOLT 2W/FT	BAR(TOP)
	G4	LED ROPE LIGHT WITH FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL. PROVIDE 24V HLV192 POWER SUPPLY IN NEMA 3R ENCLOSURE.	KELVIX# RGBW-1-WR-24V CHANNEL: LV DRIVER: HLV192 DMX DECODER: DMXD-4C-5A-WP	LED	426LM/FT	3000K / 80	0-10V DIMMING	24VOLT 8W/FT	BAR (LOWER)
	H	RECESSED FLUSH LED WALL LIGHT WITH WHITE FINISH.	WE-EF# ST1134LED-190-9009-RAL9016-190-9031	LED	178	3000K / 80	0-10V DIMMING	MVOLT 6W	STEPS
	PS	LED PEDESTRIAN POST TOP ON 10'-0" POLE AND CONCRETE BASE, BLACK FINISH. SEE NOTE A, B, AND C BELOW.	HALOPHANE# AWDE3-P30-40K-MVOLT-MS-AL5-BK-FNT-TBK 20KV-UJ POLE: PSA-10-AC018D-C03-BK-ABG-GRD	LED	8,000	4000K / 80	0-10V DIMMING	MVOLT 61W	PEDESTRIAN WALKWAY
	J	4" LINEAR LED LUMINAIRE WITH RGBW COLOR CHANGING AND BLACK FINISH.	GRIVEN# PDL4MC-RGBW30K-DMX/RDM-C-UNV-WB-BL	LED	2,500	3000K / 80	0-10V DIMMING	MVOLT 74W	CLOCK TOWER
	K	1" DIA. INGROUND LED LUMINAIRE WITH TUNABLE FINISH.	WE-EF# ETC140-GB-TW	LED	4,080	3000K / 80	0-10V DIMMING	MVOLT 30W	FLAG POLE

NOTES:
A. PROVIDE ALL COMPONENTS TO MAKE A COMPLETE ASSEMBLY. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO, ARM, MOUNTING BRACKETS, POLE BASE COVER, ANCHOR BOLTS, TEMPLATE, BASE, HAND HOLE, SEPARATE CIRCUIT OUTLET, ETC.
B. PROVIDE CONCRETE BASE, PER DETAIL.
C. NO EQUALS SHALL BE ALLOWED FOR THIS FIXTURE, UNLESS APPROVED BY OWNER.

Specification sheet 1/3

FLINDT BOLLARD

Product name: _____

Project type: _____

Notes: _____

Design
Christian Flindt

Product description
Recently refitted bollard with a curved surface that is gently illuminated. Top section conceals downward facing LEDs that are positioned for wide distribution. Two horizontal connection lines underline the three parts of the bollard. A fixed increases the visibility of the connection lines. Available in two heights, 43.3 IN and 31.5 IN. Available in three different mounting methods: with an 11 inch base plate and visible anchor bolts, with internally hidden anchor bolts, or direct burial in soil or gravel. Part of a family.

Mounting options: Direct burial, outer flange, or hidden anchorage. Flange includes 16 anchor bolts Ø1/2" x 10" long. Generalized Steel. To be set in concrete pad on Ø11" template with Ø8.7" hole circle at 80". Hidden anchorage includes 16 anchor bolts M8 x 14" long. Customized Steel. To be set in concrete pad on Ø11" hole circle, not evenly spaced. Flange Head includes horizontally w/5".

Variant options

Dimension	Color	Mounting	Light source	Lumen	Voltage frequency
31.5 IN	Corten color	Post w/anchorage unit	LED 3000K	707	120-277V/60HZ
43.3 IN	Natural paint aluminum	Post w/base plate	LED 4000K	757	
		Post w/direct burial		762	

Specification notes
A. Direct burial mounting only available with 43.3" size.

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Lee's Summit, Missouri
01/04/2024

olsson
Olsson - Civil Engineering
Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olsson.com

PROFESSIONAL ENGINEER
DANIEL R. DANNEBERG
NUMBER PE-2019031265

BY _____

REVISIONS DESCRIPTION

REV	NO.	DATE	DESCRIPTION
1	1	12-22-2023	ADDENDUM 1

REVISIONS

SITE LIGHTING DETAILS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

2023

drawn by: _____ SH
checked by: _____ TD
approved by: _____ TD
QA/QC by: _____ TD
project no.: 022-00393
drawing no.: E_NDET_02200393
date: 12/22/2023

SHEET
E301

3. SCOPE OF WORK:

A. WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL AND ASSOCIATED SERVICES REQUIRED TO COMPLETELY CONSTRUCT AND LEAVE ALL SYSTEMS OPERATIONAL AS SHOWN ON THE

E. THIN WALL TUBING SHALL BE REPUBLIC "ELECTRUNITE E.M.T." OR APPROVED EQUAL. SHALL BE INSTALLED INDOORS.

A. WET-LOCATION, WEATHERPOOF COVER PLATES: NEMA 250, COMPLYING WITH TYPE 3R, EXTRA DUTY, RATED "WHILE-IN-USE" WEATHER-RESISTANT DIE-CAST ALUMINUM WITH LOCKABLE COVER.

[illegible]

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
LEE'S SUMMIT, MO

2	ADDENDUM 2	01/11/24
1	ADDENDUM 1	12/22/23
1	DESCRIPTION	DATE
PROJECT NO: 1822SR21006		
STATUS:		PERMIT SET
DATE:		11/01/2023
DRAWN BY:		B. VINCENT
CHECKED BY:		C. PRUENTE

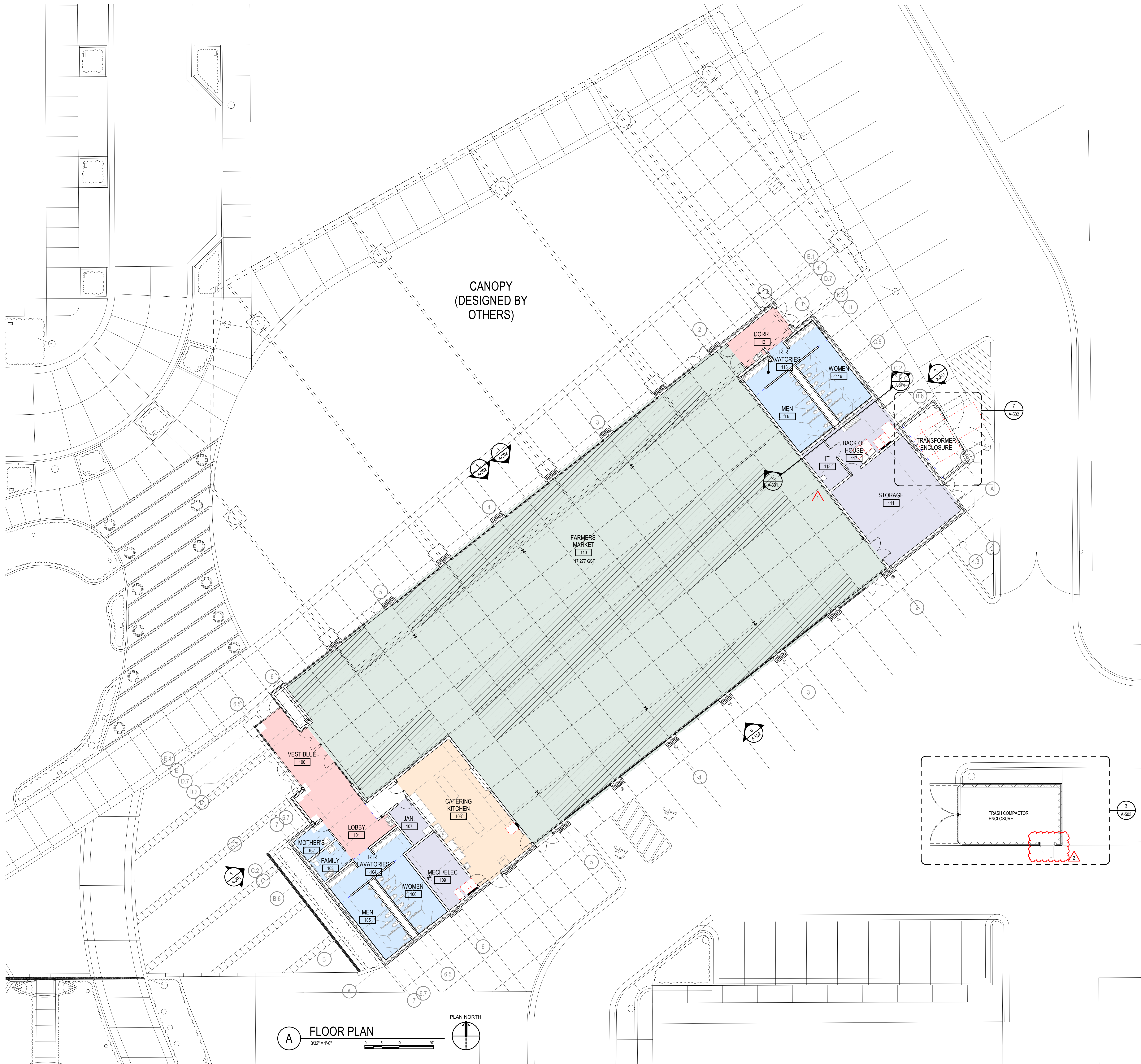
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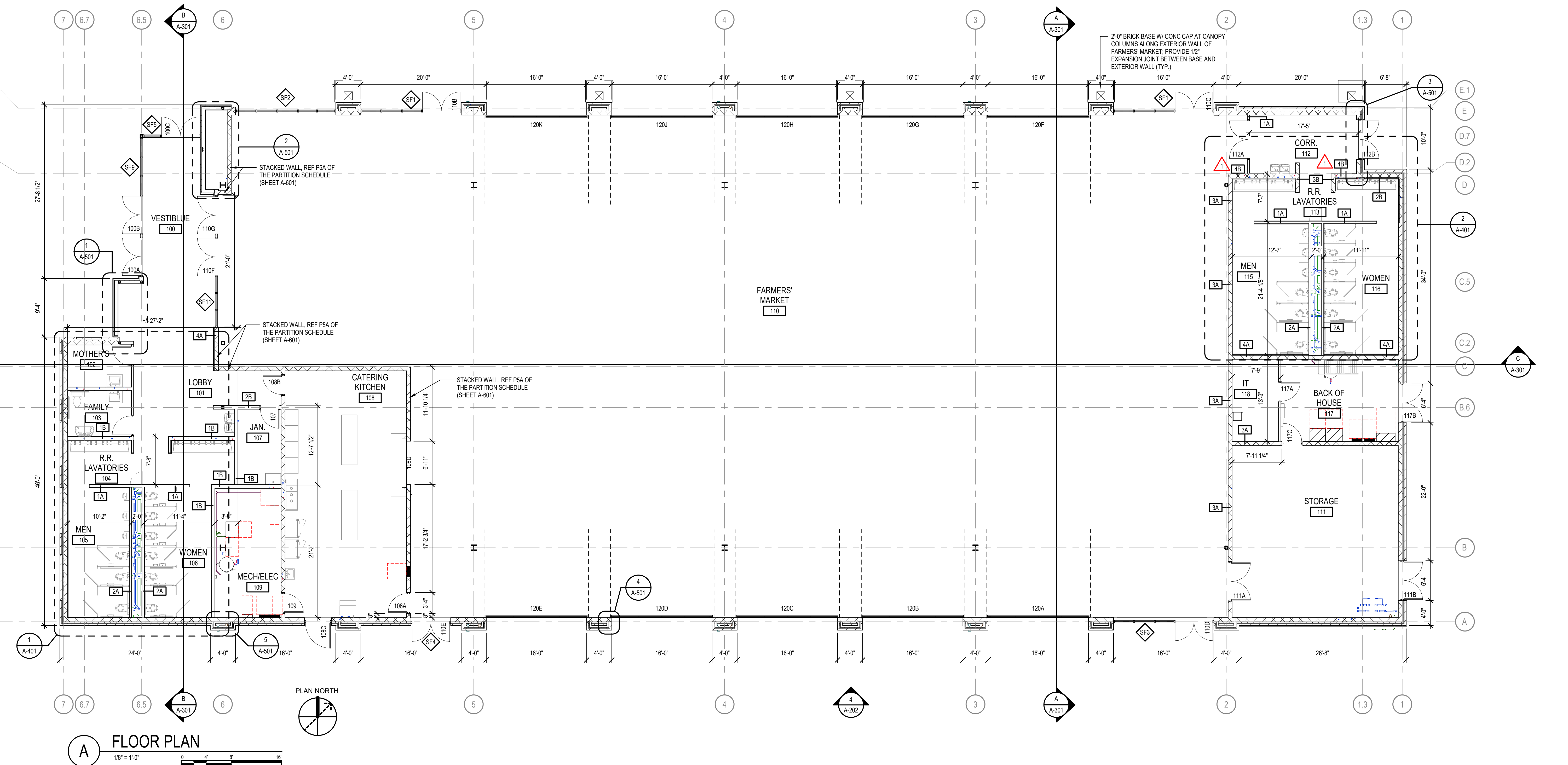
CONTEXTUAL
FLOOR PLAN

A-100

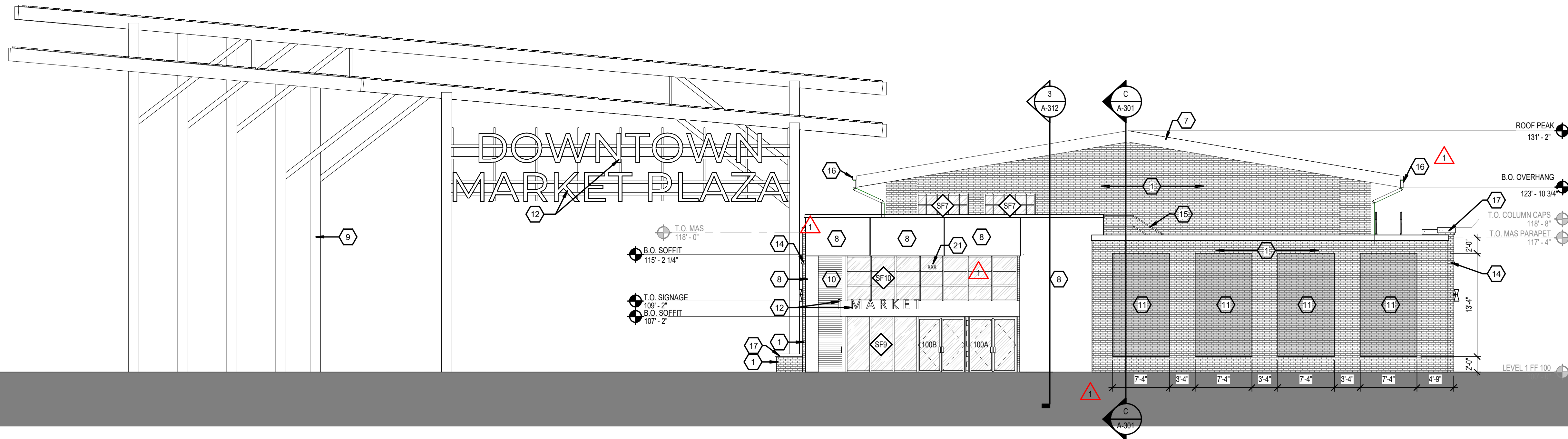
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Lee's Summit, Missouri
01/04/2024

PLOT DATE: 1/10/2024 2:04:25 PM
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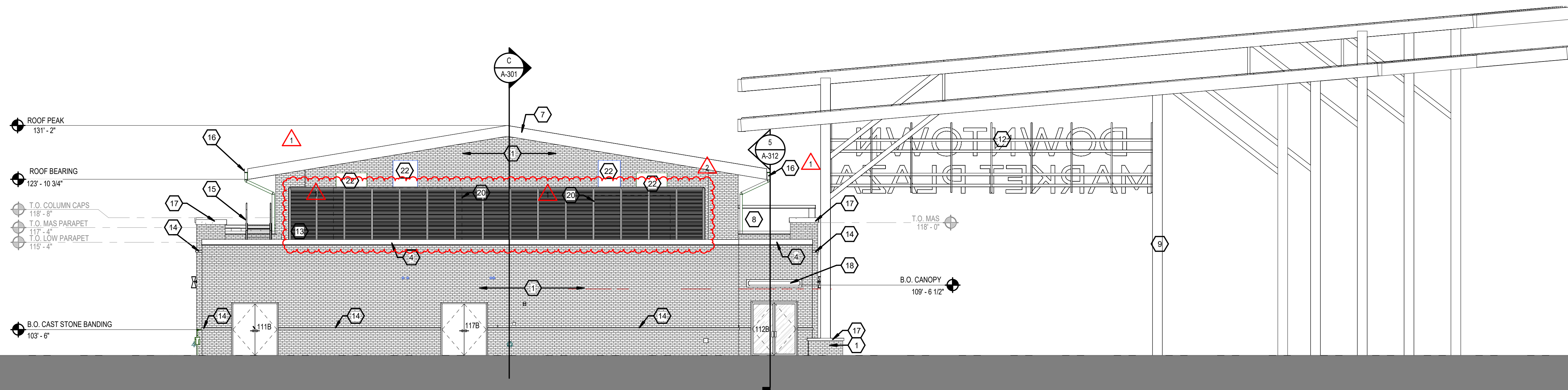




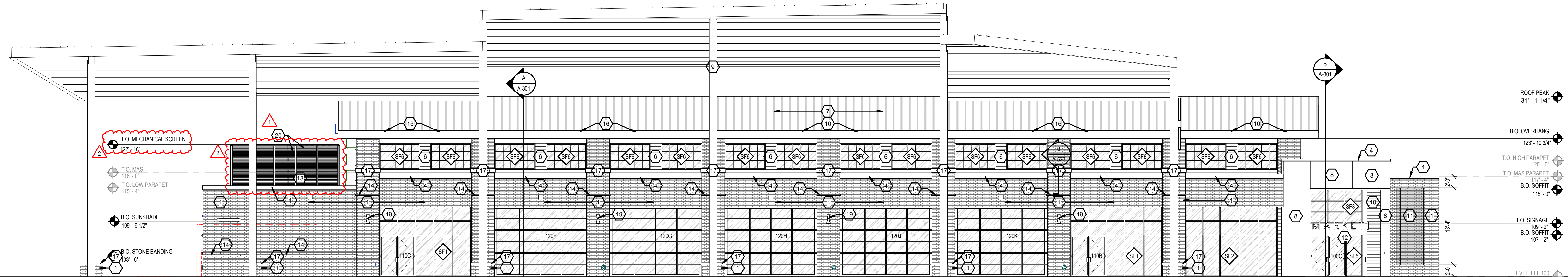
ELEVATION KEYNOTES	
NUMBER	MATERIAL
1	BRICK - MODULAR BERWICK BLEND
2	STOREFRONT SYSTEM - DARK BRONZE
3	STOREFRONT - DARK BRONZE
4	PRE MANUFACTURED CONTINUOUS CLEAT COPING CAP
5	OVERHEAD GARAGE DOOR
6	FIBER CEMENT PANEL - BASIS OF DESIGN NICHHA; RIBBED; INDIGO
8	STANDING SEAM METAL ROOF
9	BACK LIT RAINSCREEN - BASIS OF DESIGN MOZ DESIGNS (BACKLIT METAL PANEL (CUSTOM); LASER CUT - SKYLINE PATTERN; CLASSIC ELECTRIC RED FOG
10	PAINTED STEEL - DARK BRONZE
11	EXTRUDED ALUMINUM - LIGHT CHERRY WOOD GRAIN
12	CHANGEABLE ART INSTALLATION - BRICK ACCENT
13	SIGNAGE - INTERNAL ILLUMINATED CHANNEL LETTERS
14	MECHANICAL SCREEN - BASIS OF DESIGN: CITYSCAPES (SENSOR PERIMETER WALL; LOUVER; ACRYLIC CAP ABS; STACKED 52" PANELS; 3-SIDED SYSTEM; STACKED PANEL W/3" FLAT BAND; DARK BRONZE
15	CAST STONE PARAPET
16	PREFAB STAIR, REF SPECS
17	PREFINISHED 6"x8" MTL GUTTER & 4" DOWNSPOUTS. PROVIDE SPLASH BLOCKS AT BOTTOM OF DOWNSPOUTS
18	CAST STONE COLUMN CAP
19	PREFABRICATED CANOPY
20	EXTERIOR WALL SCONCE, REF ELEC.
21	RTU - REF MECH
22	ADDRESS SIGNAGE - 4" MIN VINYL ARABIC NUMBERS, MIN. STROKE WIDTH OF 0.5". APPEARANCE AND ADDRESS CONTINGENT ON CITY APPROVAL REQ.
23	MECHANICAL RECTANGULAR DUCT



1 SOUTHWEST ELEVATION
1/8" = 1'-0"



2 NORTHEAST ELEVATION
1/8" = 1'-0"



3 NORTHWEST ELEVATION
1/8" = 1'-0"

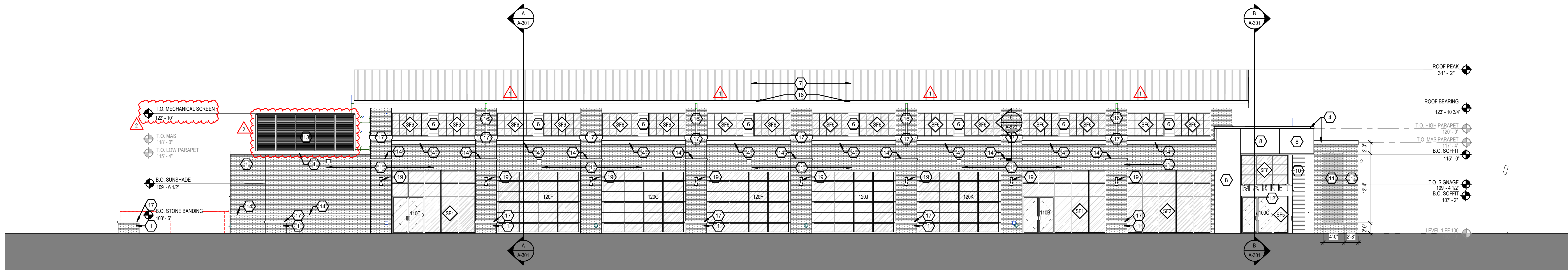
CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
LEE'S SUMMIT, MO

2 ADDENDUM 2 01/11/24
1 ADDENDUM 1 12/22/23
PROJECT NO: 1822SR21006
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CHECKED BY: C. PRUENTE

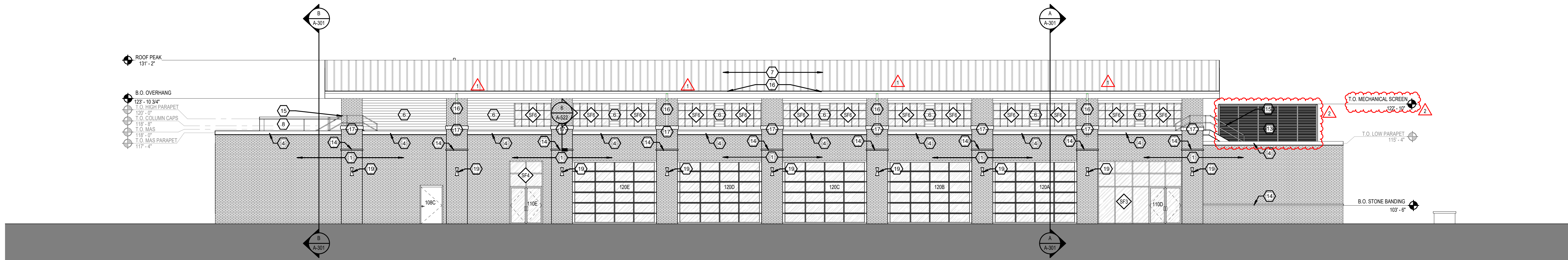
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EXTERIOR ELEVATIONS

A-201



3 NORTHWEST ELEVATION W/O CANOPY
1/8" = 1'-0"



4 SOUTHEAST ELEVATION W/O CANOPY
1/8" = 1'-0"

ELEVATION KEYNOTES	
NUMBER	MATERIAL
1	BRICK - MODULAR BERWICK BLEND
2	STOREFRONT SYSTEM - DARK BRONZE
3	STOREFRONT - DARK BRONZE
4	PRE MANUFACTURED CONTINUOUS CLEAT COPING CAP
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7	STANDING SEAM METAL ROOF
8	BACK LIT RAINTSCREEN - BASIS OF DESIGN MOZ DESIGNS BACKLIT METAL PANEL (CUSTOM) LASER CUT - SKYLINE PATTERN; CLASSIC ELECTRIC RED FOG
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22	MECHANICAL RECTANGULAR DUCT

2	ADDENDUM 2	01/1/24
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