



RESPONSE TO PLAN REVIEW COMMENTS

Date: 2024.03.19

Issued by: Kelman Architecture
3001 W. 50th Ter
Westwood, KS 66205

To: **City of Lee's Summit**
Development Services Department
220 SE Green Street
Lee's Summit, MO 64063

Attn: Joe Frogge

THE FOLLOWING IS A LIST OF THE REVISIONS TO THE DOCUMENTS IN RESPONSE TO DEVELOPMENT SERVICES DEPARTMENT – BUILDING SAFETY DIVISION PLAN REVIEW COMMENTS – NEW LONGVIEW BUILDING – 31ACCURSO AESTHETICS – 420 SW LONGVIEW BLVD, UNIT 100, LEE'S SUMMIT, MO; PERMIT NUMBER: PRCOM20240912

This resubmittal includes the following revisions:

REVISIONS:

LICENSED CONTRACTORS - REVIEWED BY JOE FROGGE

- LSDSD COMMENT #1 – “Lee's Summit Code of Ordinance, Section 7-130.10 - Business License. It shall be unlawful for any person to engage in the construction contracting business without first obtaining a business license as required under the applicable provisions of Chapter 28 of the Lee's Summit Code of Ordinances.

Action required: Either a Class A or Class B license is required. Provide the company name of the licensed general contractor and an email address & phone number for the on-site contact which is where inspection reports will be sent.”

- **KA Response – The general contractor will provide their information at the time of permit pickup.**

- LSDSD COMMENT #2 – “Lee's Summit Code of Ordinance, Section 7-130.4 - Business License. (excerpt) No person, other than a licensed contractor or employees of a licensed contractor, shall engage in electrical, plumbing or mechanical business, construction, installation or maintenance unless duly licensed in accordance with this section.

Action required: MEP subcontractors are required to be listed on permit. Provide company names of licensed MEP contractors.”

- **KA Response – See the following subcontractors and license numbers:**
 - **Electrical** – Steven D Roberts – License # 002053 – Class D Master Electrical Contractor License
 - **Plumbing** – Greg's Plumbing, LLC – License #LC23142164
 - **Mechanical** – Comfort Kings, LLC – DM #20235627

FIRE PLAN REVIEW - REVIEWED BY JIM EDEN

- LSDSD COMMENT #1 – “MEP drawings were not provided.”
 - KA Response – MEP design has been completed and provided as part of this response. Please refer to sheets M000, E000, E100, E101, P000, P100, P101.
- LSDSD COMMENT #2 – “2018 IFC 906.5- Conspicuous location. Portable fire extinguishers shall be located in conspicuous locations where they will be readily accessible and immediately available for use. These locations shall be along normal paths of travel, unless the fire code official determines that the hazard posed indicates the need for placement away from normal paths of travel.

Action Required: Travel distance to a fire extinguisher shall not exceed 75 feet from anywhere in the space.”

- KA Response – The fire extinguisher is located adjacent to the back egress door and is a maximum travel distance of 74 feet from anywhere in the space. The maximum travel distance shown on sheet. Please refer to sheet G104.
- LSDSD COMMENT #3 – “2018 IFC 505.1- Address numbers. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. In Multi-tenant commercial building where tenants have multiple entrances located on different sides of the building , each door shall be addressed. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4 inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm).

Action Required: The suite number shall be posted on the front and rear doors. Verified at inspection.”

- KA Response – Suite number posted in glass above front entry.

BUILDING PLAN REVIEW - REVIEWED BY JOE FROGGE

- LSDSD COMMENT #1 – “Inadequate information to complete review.

Action required: Provide complete MEP designs.”

- KA Response – MEP design has been completed and provided as part of this response. Please refer to sheets M000, E000, E100, E101, P000, P100, P101.
- LSDSD COMMENT #2 – “2018 IBC 1109.11 Seating at tables, counters and work surfaces. Where seating or standing space at fixed or built-in tables, counters or work surfaces is provided in accessible spaces, at least 5 percent of the seating and standing spaces, but not less than one, shall be accessible. (see code for exception)

Action required: Modify design to comply. Break room counter and sink must be no taller than 34".

- KA Response – The cabinet and counter has been revised to 34". Please refer to sheet A600.
- LSDSD COMMENT #3 – “2018 IPC 403.1 Minimum number of fixtures. Plumbing fixtures shall be provided in the minimum number shown in Table 403.1, based on the actual use of the building or space. Uses not shown in Table 403.1 shall be considered individually by the code official. The number of occupants shall be determined by the International Building Code.

Action required: Provide drinking fountain or approved equivalent. (water dispenser, bottled water, etc)”

- KA Response – Bottled water will be provided at all times by owner.
- LSDSD COMMENT #4 – “ICC A117.1 Section 904.3 Sales and service counters and windows. Sales and service counters and windows shall comply with Section 904.3.1 and either 904.3.2 or 904.3.3. Where counters are provided, the accessible portion of the countertop shall extend the same depth as the public portion of the sales and service countertop provided for standing customers. (see code for exception) 904.3.1 Vertical barriers. At service windows or service counters, any vertical barrier between service personnel and customers shall be at a height of 43 inches maximum above the floor. (see code for exception regarding security glazing) 904.3.2 Parallel Approach. A portion of the public use side of the counter surface 36 inches minimum in length and 26 inches minimum and 36 inches maximum in height above the floor shall be provided. A clear floor space positioned for a parallel approach adjacent to the accessible counter shall be provided. The space between the accessible counter surface and any projecting objects above the accessible counter shall be 12 inches minimum. (see code for exception) 904.3.3 Forward Approach. A portion of the public use side of the counter surface 30 inches minimum in length and 36 inches maximum in height above the floor shall be provided. A clear floor space positioned for a forward approach to the accessible counter shall be provided. Knee and toe clearance complying with Section 306 shall be provided under the accessible counter. The space between the accessible counter surface and any projecting objects above the accessible counter shall be 12” minimum.

Action required: Modify design to show that reception desk will have at least 3 linear feet of surface no taller than 36”.”

- KA Response – The owner has selected this code compliant reception desk at this link: <https://www.modernofficefurniture.com/emerge-l-ada-desk-y13605.html>; Refer to sheet A100.
- LSDSD COMMENT #5 – “2018 IBC 1209.2 Finish Materials. Walls, Floors and partitions in toilet and bathrooms shall comply with Sections 209.2.1 through 1209.2.4. 2018 1209.2.1 Floors and wall bases. In other than dwelling units, toilet, bathing and shower room floor finish materials shall have a smooth, hard, nonabsorbent surface. The intersections of such floors with walls shall have a smooth, hard, nonabsorbent vertical base that extends upward onto the walls not less than 4 inches. 2018 1209.2.2 Walls and partitions. Walls and partitions within 2 feet of service sinks, urinals and water closets shall have a smooth, hard, nonabsorbent surface, to a height of not less than 4 feet above the floor, and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture. (See code section for possible exceptions.)

Action required: Modify design to show compliant wall finish materials at walls surrounding mop sink. If paint is used it must be epoxy based."

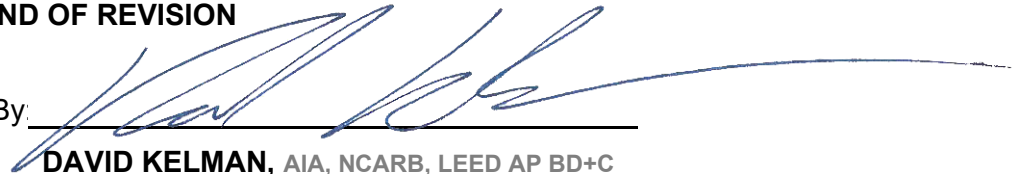
- KA Response – FRP has been added to the walls on either side of the mop sink. Refer to sheet A100.

REVISED DOCUMENTS:

- Cover, G104, AD101, A100, A110, A200, A600, E000, E100, E101, M100, P000, P100, P101

END OF REVISION

Issued By: _____



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