

CONSTRUCTION PLANS FOR:
30 SW Longview Blvd, Suite 200
Lee's Summit, MO 64081

GENERAL NOTES:

THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR DESIGNER.

CONSTRUCTION SHALL COMPLY WITH THE ALL APPLICABLE STATE, FEDERAL, & LOCAL CODES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & DESIGNER SHALL BE NOTIFIED IMMEDIATELY.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES. NOTIFY OWNER & DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

STORE MATERIALS IN SPACES DESIGNATED BY OWNER.

REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.

ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.

THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, DESIGNER, AND/OR ENGINEER.

DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND CORRECT STUD SPACING.

MECHANICAL CONTRACTOR TO VERIFY WITH DESIGNER ANY CHASE AREA NOT SHOWN ON DRAWINGS. ALL SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.

DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE SCALE AND SMALL SCALE DRAWINGS, CONTACT THE DESIGNER FOR CLARIFICATION.

CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY THE DESIGNER, OWNER, OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.

THE CONTRACTOR SHALL NOT STORE BUILDING MATERIALS, STAGE CONSTRUCTION OPERATIONS FROM, NOR GAIN ACCESS TO THE CONSTRUCTION SITE OVER ADJACENT PROPERTIES.





THIS FACILITY HAS BEEN DESIGNED WITH THE INTENT TO COMPLY WITH THE MISSOURI ACCESSIBILITY STANDARDS (TAS) AND THE AMERICANS WITH DISABILITIES ACT (ADA). GRAPHIC GUIDELINES FOR CLEARANCES AT DOORS AND TOILET ROOMS HAVE BEEN PROVIDED FOR REFERENCE. WHERE DIMENSIONS INDICATED OR PRODUCTS SPECIFIED HEREIN DO NOT COMPLY WITH GUIDELINES, NOTIFY THE DESIGNER IN WRITING PRIOR TO ORDERING THE ITEM IN QUESTION OR CONSTRUCTING THE AFFECTED ASSEMBLY.



BUILDING DATA:		YEAR BUILT 2022	
OCCUPANCY GROUP	B (BUSINESS)		
OCCUPANCY LOAD	150		
FLOOR AREA FOR 430	1800 SQUARE FOOTAGE		
PARKING RATIO	2.46/1000SQ.FT		
EXIT REQ'D	TWO		
EXIT PROV'D	ONE		
EXIT WIDTH REQ'D	24 INCHES		
EXIT WIDTH PROV'D	60-120 INCHES		

CODE DATA:	
APPLICABLE CODES:	
I.B.C.:	2021
I.F.C.:	2021
I.M.C.:	2021
N.E.C.:	2021
I.P.C.:	2021
I.E.C.C.:	2021

S.NO	SHEET INDEX
A0	COVER SHEET
A1	SURVEY
A2	SITE PLAN
A3	FLOOR PLAN
A4	EGREES/LIFE SAFETY PLAN
A5	ONE HOUR WALL DETAILS
A6	ADA BATHROOM DETAILS
A7	ADA DETAILS-1
A8	ADA DETAILS-2

WALL SCHEDULE					
<div> <div></div> DENOTES WALL </div>					
MK.	PLAN - SECTION	EXTERIOR	STUD SIZE & SPACE	WALL HEIGHT	GYP BD. & INSULATION
A1		EXTERIOR	2" x 6" WOOD @ 16" o.c.	FULL (STUDS TO B.O.R.)	5/8" GYP. BD. (Both Sides), R-23 BATT, U305 1 hr. rated
A2		INTERIOR / PLUMBING	2" x 6" WOOD @ 16" o.c.	B.O.J.	5/8" GYP. BD. (Both Sides)
A3		INTERIOR	2" x 4" WOOD @ 16" o.c.	B.O.J.	5/8" GYP. BD. (Both Sides)
A4		PARAPET	2" x 6" WOOD @ 16" o.c.	40"	5/8" GYP. BD. (Both Sides)

DOOR DETAILS

The diagram illustrates four door details, labeled D1, D2, D3, and D4, showing their dimensions and structural components. Each door has a height of 7'-0".

- D1:** Width is 3'-0".
- D2:** Width is 3'-0".
- D3:** Width is 2'-8".
- D4:** Width is 2'-6".

Each door detail shows a vertical door panel with a diagonal brace, set within a frame. The dimensions are indicated by arrows and text labels.

VICINITY MAP

A vicinity map showing the location of the development. The map includes the following labels and features:

- Streets:** SW Longview Blvd, SW Sensation Dr, and SW Longview Rd.
- Businesses and Landmarks:**
 - The Bicycle Shack
 - Long-Bell Pizza Co
 - Apothecary Wines & Spirits Liquor store
 - BoxDevCo Real Estate Development
 - GoodVets Lee's Summit
 - Ripple Glass Recycling Container
- Markers:** A red pin marks the development site, and a green pin marks the Ripple Glass Recycling Container.


BUILDING VIEW-FRONT

440 SW Longview Blvd

430 SW Longview Blvd

420 SW Longview Blvd

BUILDING VIEW-REAR



Rear View

This architectural rendering shows the rear elevation of a multi-unit building. The structure is composed of several interconnected volumes. From left to right, there is a light-colored section with dark window openings, a dark grey section, a reddish-brown section with a grid of windows, a white section with vertical green accents, and a large dark grey section with a flat roof and multiple windows. The building is set against a plain white background, and the text 'Rear View' is positioned to the right of the structure.

SHEET:		SHEET TITLE:		STAMP:		ISSUE RECORD		PROJECT:		Date: 03/16/2024
A-0	COVER SHEET				DATE:		ISSUED FOR:		430 SW Longview Blvd, Suite 200 Lee's Summit, MO 64081	Scale: N.O.T
										Drawn By: N.M
										Page: A-0
					Drawing File:	D:\snpd\proj\1440 SW LONGVIEW.dwg				

Plat for Record this day of
August 17, 2022
At 11 o'clock 08 Minutes AM.
Recorded in Book T 205 At Page 67
Instrument Number 2022RCOTLS 86
Director Recorder of Deeds
By C. Waterfield
Deputy
Recorder's Fee \$ 66.00

FINAL PLAT OF TOWER PARK, Lots 7A-1 thru 7A-3 and 7B-1

A REPLAT OF "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B" AND
PART OF SW. LONGVIEW BOULEVARD ROW AS PLATTED IN "NEW LONGVIEW ROADWAY PLAT, TRACTS J THROUGH U"
IN THE NORTHWEST 1/4 OF SEC. 10, TWP 47, R.32
IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DESCRIPTION:

A Replat of all of "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B", a subdivision in the City of Lee's Summit, Jackson County, Missouri, as recorded in Jackson County Recorder of Deeds as Instrument Number 2021E47728 and the Easterly 40.00 feet of SW. Longview Boulevard right-of-way adjacent to and parallel with "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B", as platted in "NEW LONGVIEW ROADWAY PLAT, TRACTS J THROUGH U", a subdivision in the said City of Lee's Summit, as recorded in Jackson County Recorder of Deeds as Instrument Number 2020D061432, both together being more particularly described as follows:

Beginning at the Northwest corner of said Lot 7A; thence along the North lines of said "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B" and "NEW LONGVIEW ROADWAY PLAT, TRACTS J THROUGH U" North 58 degrees 46 minutes 33 seconds East, a distance of 155.40 feet to a point 40.00 feet along said North line from the Northwest corner of said "NEW LONGVIEW ROADWAY PLAT, TRACTS J THROUGH U", thence along a line 40.00 feet East of and parallel with East line of said "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B" and the West line of said SW. Longview Boulevard right-of-way, South 31 degrees 13 minutes 27 seconds East, a distance of 252.81 feet; thence along the South line of said "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B" and its Easterly extension, South 58 degrees 46 minutes 33 seconds West, a distance of 74.95 feet to a point of curvature; thence continuing along said South line of "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B", along a curve to the left, tangent to the previous course and having a radius of 130.00 feet, a central angle of 38 degrees 13 minutes 43 seconds and an arc length of 86.74 feet to the Southwest corner of said "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B", thence along the West line of said "MINOR PLAT OF TOWER PARK LOTS 7A AND 7B" North 31 degrees 13 minutes 27 seconds West, a distance of 280.69 feet to the Point of Beginning, and containing 0.9182 acres, more or less.

DEDICATIONS:

The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "TOWER PARK, Lots 7A-1 thru 7A-3 and 7B-1".

Easements: An easement or license is hereby granted to the City of Lee's Summit, Missouri, to locate, construct and maintain, or to authorize the location, construction and maintenance of poles, wires, anchors, conduits, and/or structures for water, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any of or all of them, over, or under those areas outlined or designated upon this plat as "Utility Easements" (U.E.) or within any street or thoroughfare dedicated to public use on this plat. Grantor, on behalf of himself, his heirs, his assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, Section 527.188, RSMo. (2006), any right to request restoration of rights previously transferred and vacation of the easement herein granted.

A permanent easement is hereby granted to the City of Lee's Summit to locate, construct and maintain or to authorize the location, construction and maintenance of a sidewalk for pedestrian access over, along and across the strips of land designated as "Sidewalk Easement" or by abbreviation "S/E" on the accompanying plat.

Grantors, on behalf of themselves, their heirs, their assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, Section 527.188 RSMo. (2006), any right to request restoration of rights previously transferred and vacation of the easements herein granted.

RESTRICTIONS:

A perpetual easement of access upon, over and under the parking areas located within this subdivision is hereby granted to all lots within this subdivision and to all future lots within this subdivision to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of private drives, parking areas, walks, patios and similar facilities. Said areas are also reserved for the ingress and access of all owners within this subdivision, and the owners of future lots within this subdivision and their occupants, guests and invitees. Said access rights and maintenance responsibilities are further defined in the covenants and restrictions for this subdivision filed in the Recorder of Deeds Department of Jackson County, Missouri.

Individual lot owners shall not change or obstruct the drainage flow lines on the lots for "TOWER PARK, Lots 7A-1 thru 7A-3 and 7B-1", unless specific application is made and approved by the city engineer.

BUILDING SETBACKS:

FRONT 0.0 FEET
REAR 0.0 FEET
SIDE 0.0 FEET

This is to certify that the within plat of "TOWER PARK, Lots 7A-1 thru 7A-3 and 7B-1" was submitted to and duly approved by the Mayor and City Council of the City of Lee's Summit, Missouri, this 14 day of June, 2022 by Ordinance No. 9435.

William A. Baird Mayor Date 8/8/22
Theresa Fowler Azubui City Clerk Date 8-9-22
Cyrus Rader Planning Commission Sec. Date 7/2/22
Ryan A. Elam Director of Development Services Date 8/10/22
George M. Binger, III City Engineer Date 9/2/2022
Matthew S. Miller Jackson County Assessor Office Date 8/22/2022

DEVELOPER:
Box Real Estate Development, LLC
3152 SW Granddiana Circle
Lee's Summit, MO 64081

EXECUTION:

IN TESTIMONY WHEREOF, RUSSELL G. PEARSON, Sole Member of Box Real Estate Development, LLC, as Managing Member, of, NLVC, LLC, has caused this instrument to be executed, this 22 day of July, 2022.

NLVC, LLC: Owner of Lots 7A-1 thru 7A-3

Russell G. Pearson
By: Russell G. Pearson, Sole Member
Box Real Estate Development, LLC

ACKNOWLEDGMENT:

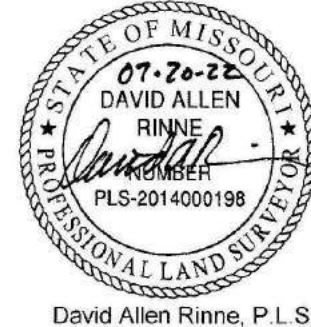
STATE OF Missouri)
COUNTY OF Jackson) ss.

BE IT REMEMBERED that on this 22 day of July, 2022, before me, the undersigned, a Notary Public in and for said County and State, came Russell G. Pearson, Sole Member of Box Real Estate Development, LLC, as Managing Member of, NLVC, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and such duly acknowledged the execution of the same to be the act and deed of same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal on the day and year last above written.

Maie Polley
Notary Public
Print Name
My Commission Expires 8-23-23

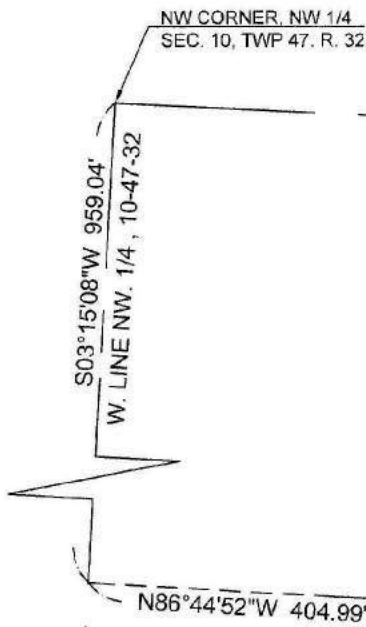
MAIE POLLEY
NOTARY PUBLIC-NOTARY SEAL
STATE OF MISSOURI
COUNTY OF JACKSON
MY COMMISSION EXPIRES 8/23/2023
COMMISSION # 10558730



I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION BASED ON A FIELD SURVEY PERFORMED ON 02-20-2022 AND THIS SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS. THE DETAILS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
Ph: (913) 492-5158 • Fax: (913) 492-6400 • WWW.SCHLAGELASSOCIATES.COM

DATE 03-30-2022
DRAWN BY JMT
CHECKED BY SCH
PROJ. NO. 20-106
FINAL PLAT OF
TOWER PARK
Lots 7A-1 thru 7A-3 and 7B-1
SHEET NO. 1



MISSOURI STATE PLANE COORDINATES
OF 1983 MISSOURI WEST ZONE,
2003 ADJUSTMENT
REFERENCE MONUMENT: JA-148
GRID FACTOR: 0.9999020
COORDINATES LISTED IN U.S. FEET
NORTH EAST
JA-148 999942.81 2807771.78

COORDINATE LIST		
Point #	Northing	Eastings
1	999061.5397	2803078.0168
2	999142.0962	2803210.9048
3	998925.9069	2803341.9585
4	998887.0516	2803277.8618
5	998821.5100	2803223.5224

LEGEND:

B/B - BACK TO BACK CURB DIMENSION
BL or B.L. - BUILDING LINE
ROW or R/W - RIGHT-OF-WAY
SW - SIDEWALK
--- EXISTING LOT AND R/W LINES
--- EXISTING PLAT LINES
● FOUND (+) PLUS IN SIDEWALK
UNLESS OTHERWISE NOTED
○ SET 1/2" REBAR W/LS-8859-F CAP
UNLESS OTHERWISE NOTED
--- CURB & GUTTER

SURVEYORS NOTES:

- Basis of bearings are the Plats of TOWER PARK COMMERCIAL PHASE 1, TOWER PARK COMMERCIAL PHASE 2, NEW LONGVIEW COMMERCIAL DISTRICT, AND NEW LONGVIEW ROADWAY PLATS.
- The common lot lines of Lots 7A-1 thru 7A-3 are centered on the center of the surveyed common walls of the existing building within said lots.
- Monumentation will be set upon completion of the construction activities within this plat or within 12 months following the recording of this plat, whichever is earlier. Two additional permanent monuments will be set as shown. 1/2" rebar with caps will be set as shown and at all lot corners.
- FLOOD NOTE: Subject Property lies within Zone X (Other Areas-Areas determined to be outside the 0.2% annual chance floodplain). Flood information taken from Flood Insurance Rate Map 29095C0412G prepared by the Federal Emergency Management Agency for Jackson County Missouri and Incorporated areas, dated January 20, 2017.
- OIL AND GAS WELL NOTE: There was no Oil or Gas Wells located on property per Missouri Department of Natural Resources Oil and Gas Permits website.
- All streets, roads and drives shown hereon are public unless otherwise noted.

EXECUTION:

IN TESTIMONY WHEREOF, DAVID A. BALTZ, PRESIDENT of DAVE'S ROE BODY SHOP, INC. has caused this instrument to be executed, this 22 day of July, 2022.

DAVE'S ROE BODY SHOP, INC. Owner of Lot 7B-1
David A. Baltz
By: DAVID A. BALTZ, PRESIDENT of DAVE'S ROE BODY

ACKNOWLEDGMENT:

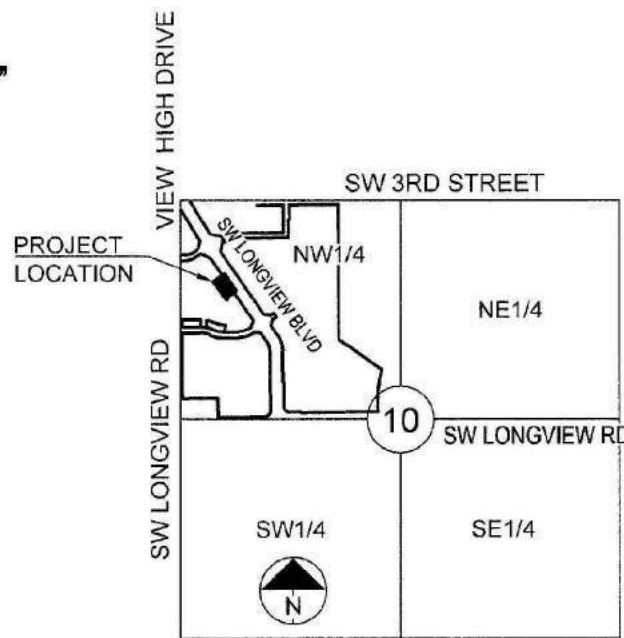
STATE OF Missouri)
COUNTY OF Jackson) ss.

BE IT REMEMBERED that on this 22 day of July, 2022, before me, the undersigned, a Notary Public in and for said County and State, came DAVID A. BALTZ, PRESIDENT of DAVE'S ROE BODY, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and such duly acknowledged the execution of the same to be the act and deed of same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal on the day and year last above written.

Maie Polley
Notary Public
Print Name
My Commission Expires 8-23-23

MAIE POLLEY
NOTARY PUBLIC-NOTARY SEAL
STATE OF MISSOURI
COUNTY OF JACKSON
MY COMMISSION EXPIRES 8/23/2023
COMMISSION # 15558730



SECTION 10-T47-R32
LOCATION MAP
SCALE 1" = 2000'

BUILDING LAYOUT NOTES:

Control, Grades, and Elevation:

1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone and Brick):

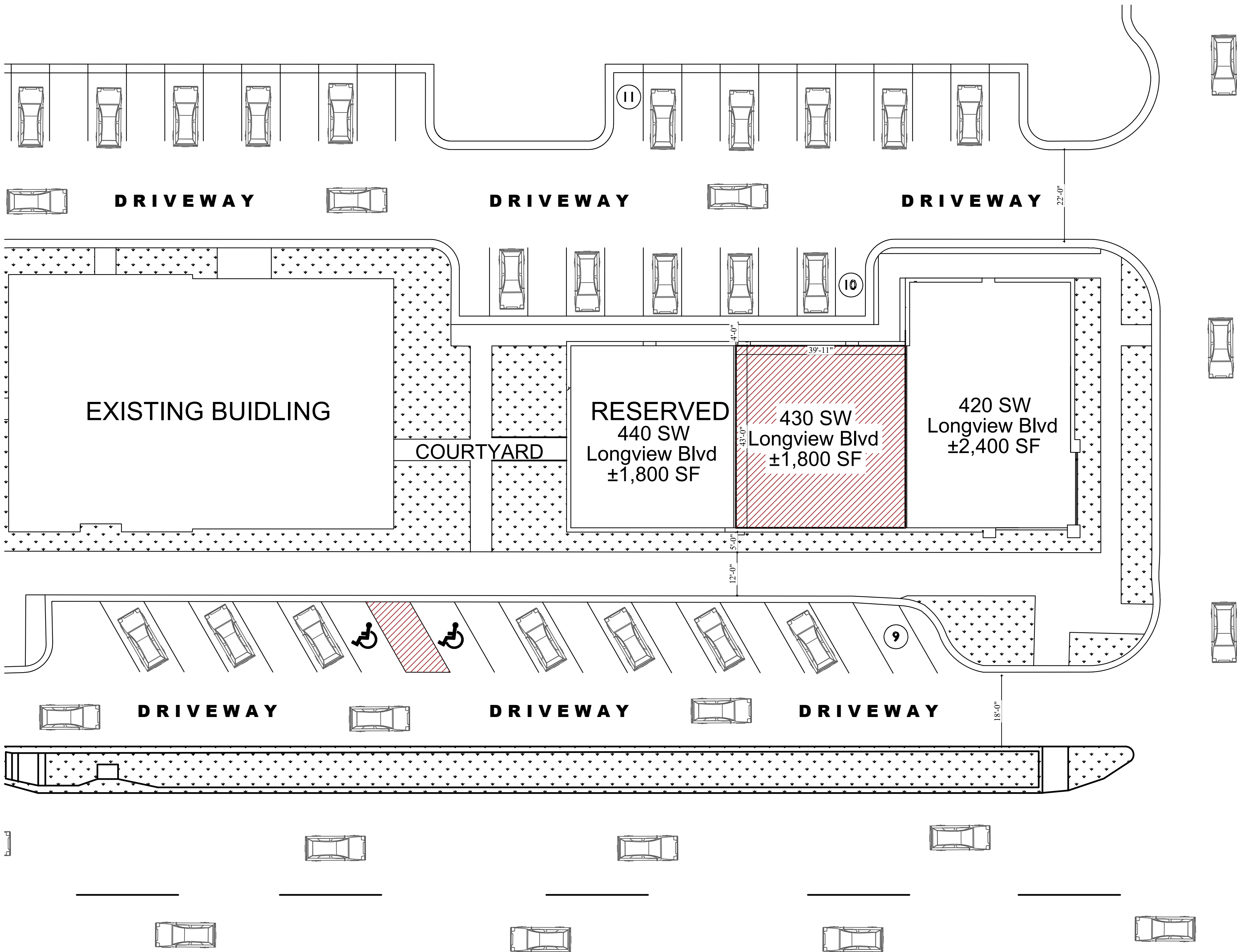
2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).
3. Stucco: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.
4. Tile: All exterior wall tile to be ceramic.
5. Place ladder type horizontal reinforcement at every other course.
6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.
7. Construction Joints: Vertical masonry movement joints to be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.
8. Approval: Architect reserves the right to reject any work that does not satisfy the design intent.
9. Cutting of masonry blocks: all cutting, trimming, or shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted.
10. Weep holes: Provide at 24" o.c. at the base of the masonry facade one course above the foundation and immediately above all other flashing.
11. Flashing: Provide stainless steel flashing at the base of the masonry facade one course above the foundation. Provide flashing above all bond beams and openings.
12. Sealant: All masonry surfaces to be coated with Behr Premium Waterproof and Protector No. 980 or equivalent.

Stud Walls:

13. Wood Studs: All exterior wall and demising wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.
14. Fasteners: All exterior stud screws and fasteners to be stainless steel with neoprene washers.
15. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
16. Vapor Barrier: Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.



1 SITE PLAN



SW LONGVIEW BLVD

SW SENSATION DR

EXISTING FEATURES LEGEND	
	SANITARY SEWER & MANHOLE
	STORM SEWER; END SECTION, INLET & M.H.
	GAS LINE
	WATER LINE
	ELECTRIC LINE (AERIAL)
	TELEPHONE LINE (AERIAL)
	CABLE TELEVISION (AERIAL)
	BURIED TELE. CABLE
	BURIED ELEC. CABLE
	FENCE LINE (FNC)
	BURIED CABLE TV
	GUARDRAIL
	RIGHT OF WAY LINE (R/W)
	EASEMENT LINE
	CENTER LINE
	SWALE LINE
	D. DEAD DIMENSION
	M. MEASURED DIMENSION
	P. PLAT DIMENSION
	R. RADIUS
	L. ARC LENGTH
	H.H. HANDHOLE
	FND. FOUND
	CONC. CONCRETE
	ASPH. ASPHALT
	TC TOP OF CASTING ELEVATION
	IE INVERT ELEVATION
	FFE FINISH FLOOR ELEVATION
	TBM TEMPORARY BENCHMARK
	POWER POLE
	GUY WIRE
	UTILITY RISER; TELE., ELEC. & CTV
	ELECTRIC TRANSFORMER
	AIR CONDITIONER UNIT
	STREET LIGHT
	LIGHT POLE
	FLOOD LIGHT
	TRAFFIC MANHOLE AND SIGNAL POLE
	FIRE HYDRANT
	VALVE; GAS & WATER
	STREET SIGN
	WATER, TELE. AND ELEC. MANHOLE
	SEWER CLEANOUT
	ELECTRIC, GAS AND WATER METER
	PIPELINE MARKER POST
	MAILBOX
	GUARD POST
	SPRINKLER HEAD
	IRRIGATION CONTROL BOX
	SPOT GRADE
	TOP CURB OVER GUTTER GRADE
	MONITORING WELL
	FIRE SERVICE STAND PIPE
	GAS VENT PIPE
	SEPTIC TANK LID
	WELL CAP
	SITE ADDRESS
	AIR RELIEF VALVE
	UNDERGROUND TANK FILLER PIPE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE WITHIN PLAT REPRESENTS A TOPOGRAPHIC SURVEY COMPLETED UNDER MY SUPERVISION ON SEPTEMBER 8, 2022. I FURTHER CERTIFY THAT THE ELEVATIONS SHOWN ARE ACCURATE WITHIN THE FOLLOWING LIMITS UNLESS OTHERWISE NOTED:

ELEVATIONS ON PAVEMENT, CURBS, OR OTHER HARD SURFACES: ±0.05 FEET
BUILDING FLOOR ELEVATIONS, MANHOLES AND OTHER STRUCTURES: ±0.10 FEET
ELEVATIONS ON SOIL, GRASS OR OTHER NATURAL SURFACES: ±0.10 FEET
CONTOUR LINES SHOWN ARE PLOTTED WITHIN ± ONE-HALF INTERVAL.

NOTES:

(1) THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS), AS WELL AS INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE OF THE SIZE, CAPACITY, OR IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE EXACT LOCATION, SIZES, AND CAPACITIES OF EXISTING UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

(2) EXCEPT AS EXPLICITLY SHOWN, DETAILED, OR LISTED ON THE FACE OF THIS DOCUMENT, PAUL I. CRIPE, INC. HAS NOT INVESTIGATED THIS SITE FOR FLOOD PLAINS, WETLANDS, ZONING, ENVIRONMENTAL CONTAMINATION, OR ANY OTHER ISSUES NOT SPECIFICALLY SET FORTH HEREIN. ANY ADDITIONAL ISSUES NOT EXPLICITLY DESCRIBED IN THE CONTRACTED SCOPE OF SERVICES FOR THE PREPARATION OF THE CURRENT VERSION OF THIS DOCUMENT WERE NOT INVESTIGATED.



DATE: 03/16/2024 SCALE: 1/16" = 1' DRAWN BY: N.M. PAGE: A-1		
	430 SW Longview Blvd, Suite 200 Lee's Summit, MO 64081	
SHEET TITLE: A-2	SITE PLAN	
	DRAWING FILE: 1144 SW LONGVIEW.DWG	

BUILDING LAYOUT NOTES:

Control, Grades, and Elevation:

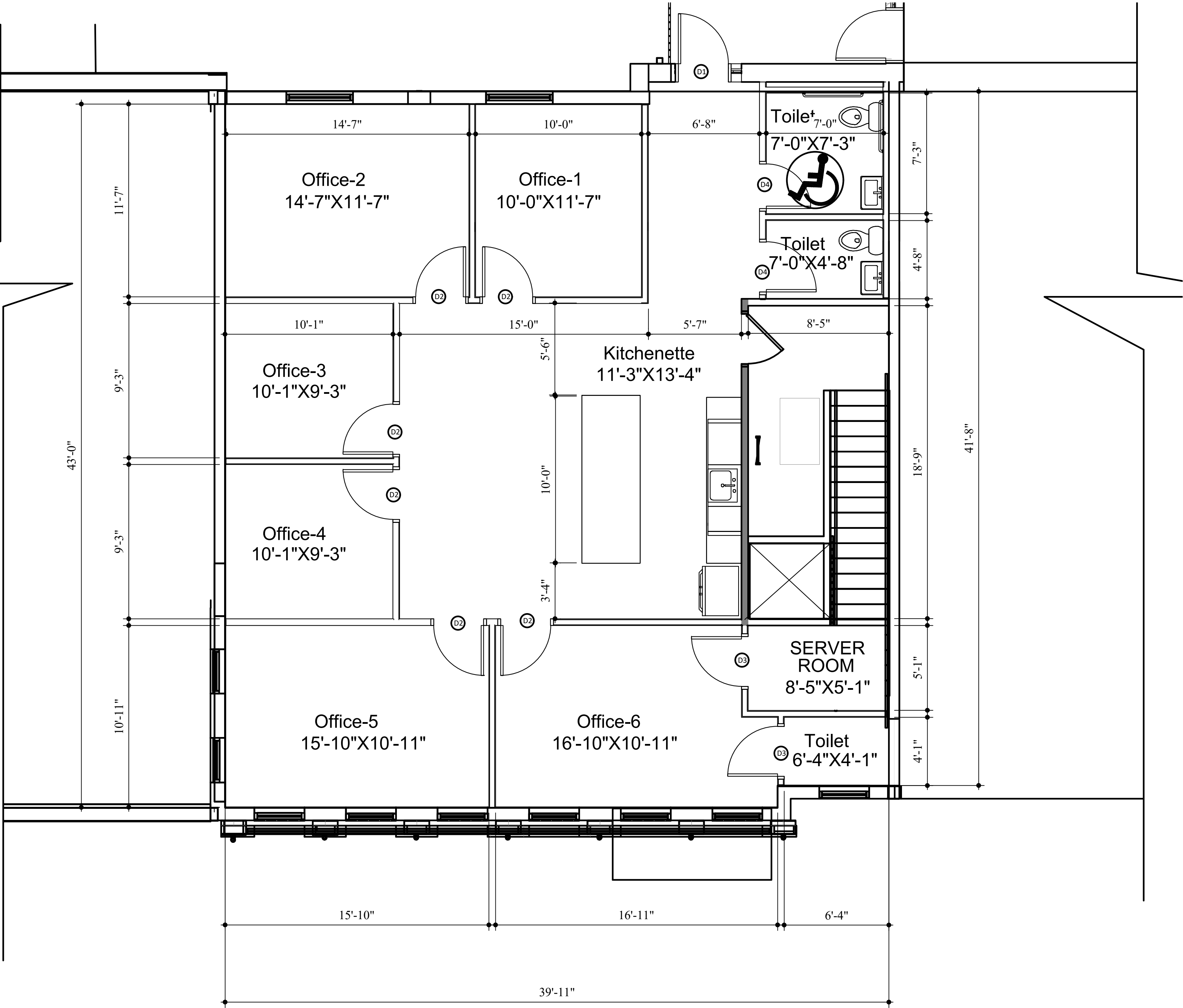
1. All finished concrete surfaces shall be a minimum of 1 inch above the finished grade.

Veneer Walls (Stone and Brick):

2. Brick: Modular thin veneer, Grade SW brick, alternately stacked (unless noted otherwise).
3. Stucco: Standard three coat with fine texture finish. Control joints according to elevations, 20' o.c. max.
4. Tile: All exterior wall tile to be ceramic.
5. Place ladder type horizontal reinforcement at every other course.
6. Mortar joints: all joints shall be a tuck point concave tooled joint with a 3/8" width.
7. Construction Joints: Vertical masonry movement joints to be 20' o.c. max, unless noted otherwise, and shall not cross lintels or brick shelf angles.
8. Approval: Architect reserves the right to reject any work that does not satisfy the design intent.
9. Cutting of masonry blocks: all cutting, trimming, or shaping shall be done by a motorized masonry saw. Breaking or splitting will not be accepted.
10. Weep holes: Provide at 24" o.c. at the base of the masonry facade one course above the foundation and immediately above all other flashing.
11. Flashing: Provide stainless steel flashing at the base of the masonry facade one course above the foundation. Provide flashing above all bond beams and openings.
12. Sealant: All masonry surfaces to be coated with Behr Premium Waterproofer and Protector No. 980 or equivalent.

Stud Walls:

13. Wood Studs: All exterior wall and demising wall studs to be 2"x6" spaced at 16" on center. All other interior walls to be 2"x4" studs spaced at 16" on center. Refer to Structural Drawings for load bearing stud layout, sections, and details.
14. Fasteners: All exterior stud screws and fasteners to be stainless steel with neoprene washers.
15. Sheathing: All exterior sheathing used in Cavity Walls to be Wood Structural Panel (ex: OSB).
16. Vapor Barrier: Vapor barrier used over sheathing to be wrapped above flashing at the base and above window locations.



FINISH SCHEDULE			
MAT./RM.	KITCHEN	OFFICE	TOILET
FLOOR			
TILE	18" x 18" Q.T.	18" x 18" C.T.	18" x 18" C.T.
CARPET			
CONC.			
RUBBER			
BASE			
VINYL	4" Cove	4" Cove	4" Cove
TILE			
WALL			
GYP. BD.	Painted	Painted	Painted
TILE			
F.R.P.	UP-8'-0"		
CEILING			
LAY IN	2' x 4' Grid	2' x 4' Grid	2' x 4' Grid
FLAT			
OPEN			

- LEGEND
- C. T. = Ceramic Tile
P. T. = Porcelin Tile
GYP. BD. = Gypsum Board
S. S. = Stainless Steel
H. M. = Hollow Metal
S.C. = Solid Core
ALUM. = Aluminum
ACC. = Handicap Accessible
F. R. = Fire Rated
W. G. = Wire Glass
DK. B. = Dark Bronze
CDO = Clear Door Opening
L.T. = Lever Type
P.B. = Panic Bar
L.V.T. = Luxury Vinyl Tile
Q.T. = Quarry Tile

- NOTES:
1. CERAMIC TILE ON WALL IN RESTROOM TO EXTEND UP TO AT LEAST 4'-0".
2. F.R.P. ON WALL IN KITCHEN TO EXTEND UP TO AT LEAST 8'-0" AND QUARRY TILES.
3. LAY-IN CEILING TILE IN KITCHEN & RESTROOM TO BE VINYL COATED GYPSUM BOARD.
4. ALL SIGNS TO COMPLY WITH SECTION 703 OF THE TAS-2012.
5. ALL OPEN CEILING TO BE PAINTED BLACK.
6. ALL WALLS TO BE PAINTED SHALL SW 6258 TRICORN BLACK & SW9582 WHITE SAND.
7. ALL MILLWORK AND CABINETRY TO BE OF NON-ABSORBANT AND EASILY CLEANABLE MATERIALS.
8. ALL FLOORING WILL BE BLACK EPOXY.

03/16/2024

3/16" = 1'

N.M

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430 SW Longview Blvd, Suite 200
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FLOOR PLAN

ISSUE RECORD

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SHEET TITLE:

FLOOR PLAN

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1 FLOOR PLAN



Control, Grades, and Elevation:

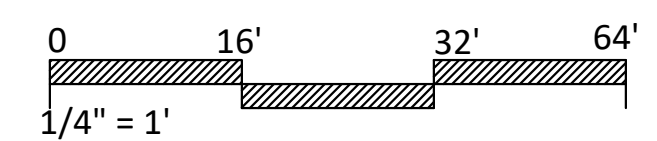
- ### Veneer Walls (Stone and Brick):

- ### Stud Walls:



Fire Extinguisher - Class K, 6.1

INSPECTOR:
Ernie Simble (TOLR RAS No. 1226)
1303 Meadow Creek Dr., Princeton, TX 75407
800-444-1226



① EGREES/LIFE SAFETY PLAN

Date: 03/16/2024
Scale: 1/4" = 1'
Drawn By: N.M
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430 SW Longview Blvd, Suite 200
Lee's Summit, MO 64081

EGREES/LIFE SAFETY PLAN

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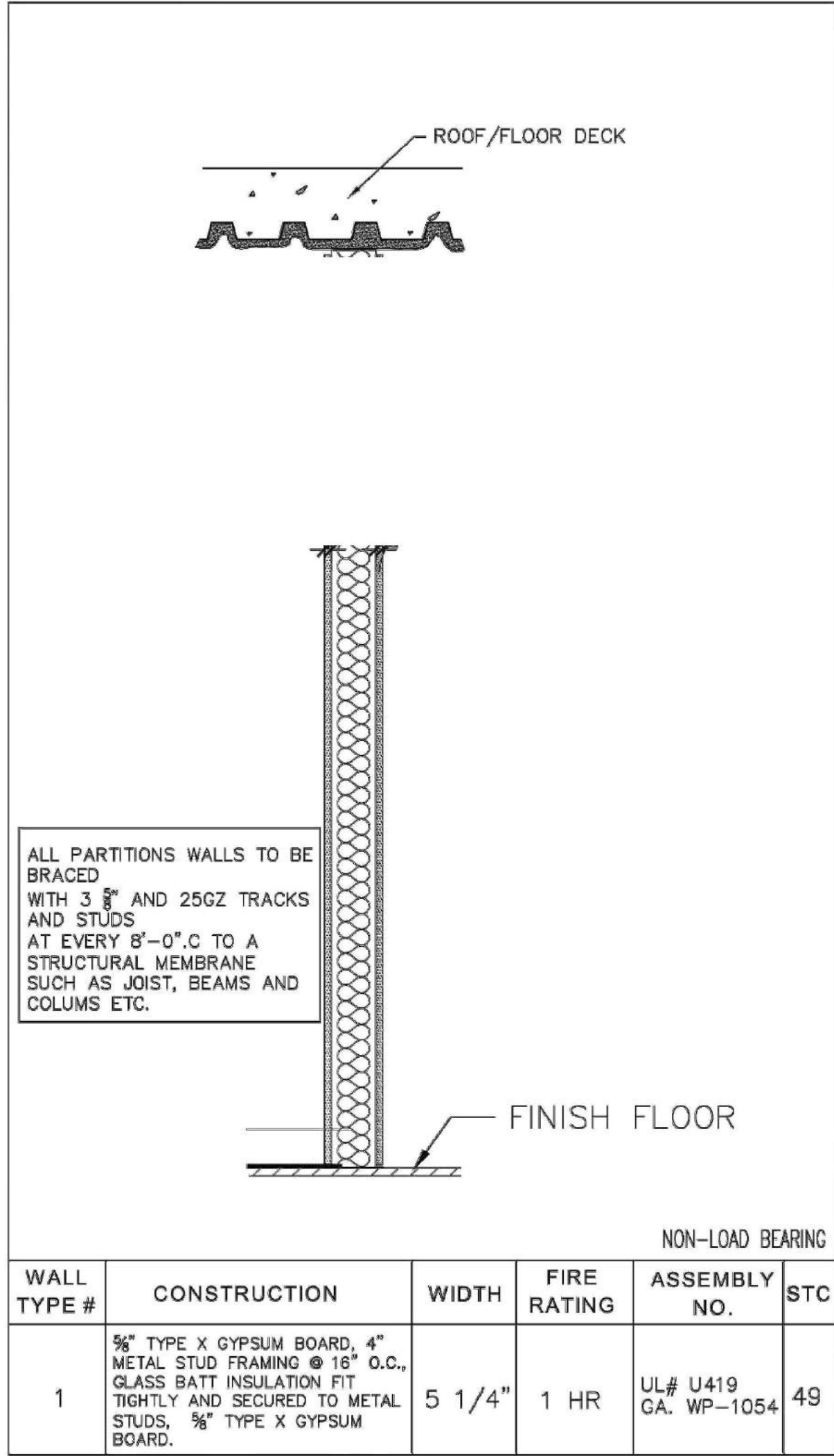
ISSUE RECORD	
ISSUED FOR:	COMMENTS:

ISSUE	ISSUED FOR:
DATE:	

EGREES/LIFE SAFETY PLAN

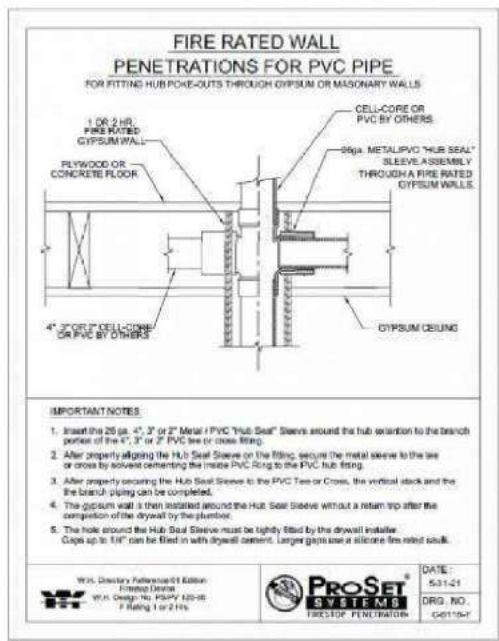
A-4

SHEET:



1A 1-HR FIRE-RATED WALL INTERIOR

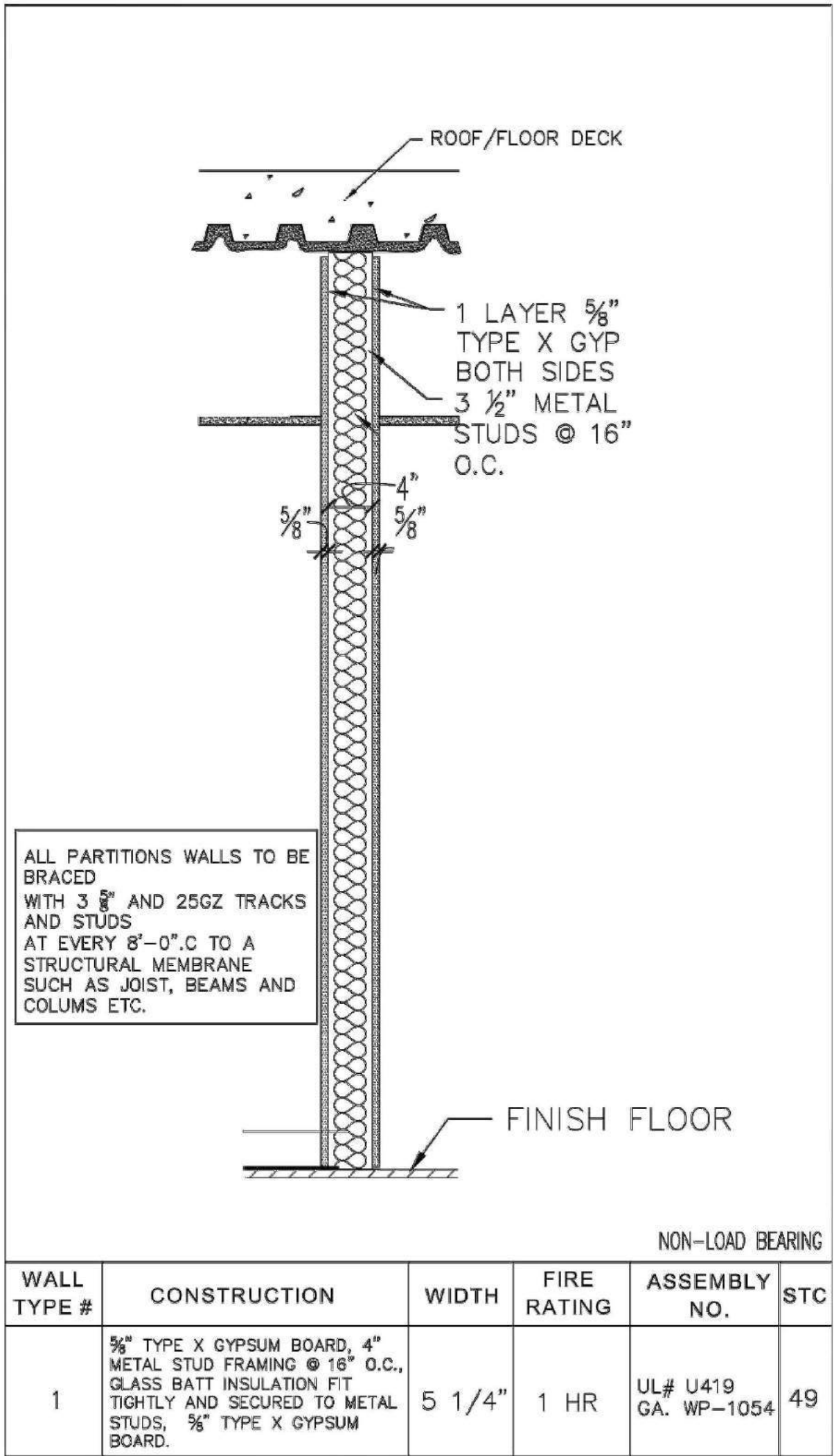
Fire Rated Wall Penetrations for PVC Pipe Thru Gypsum or masonry



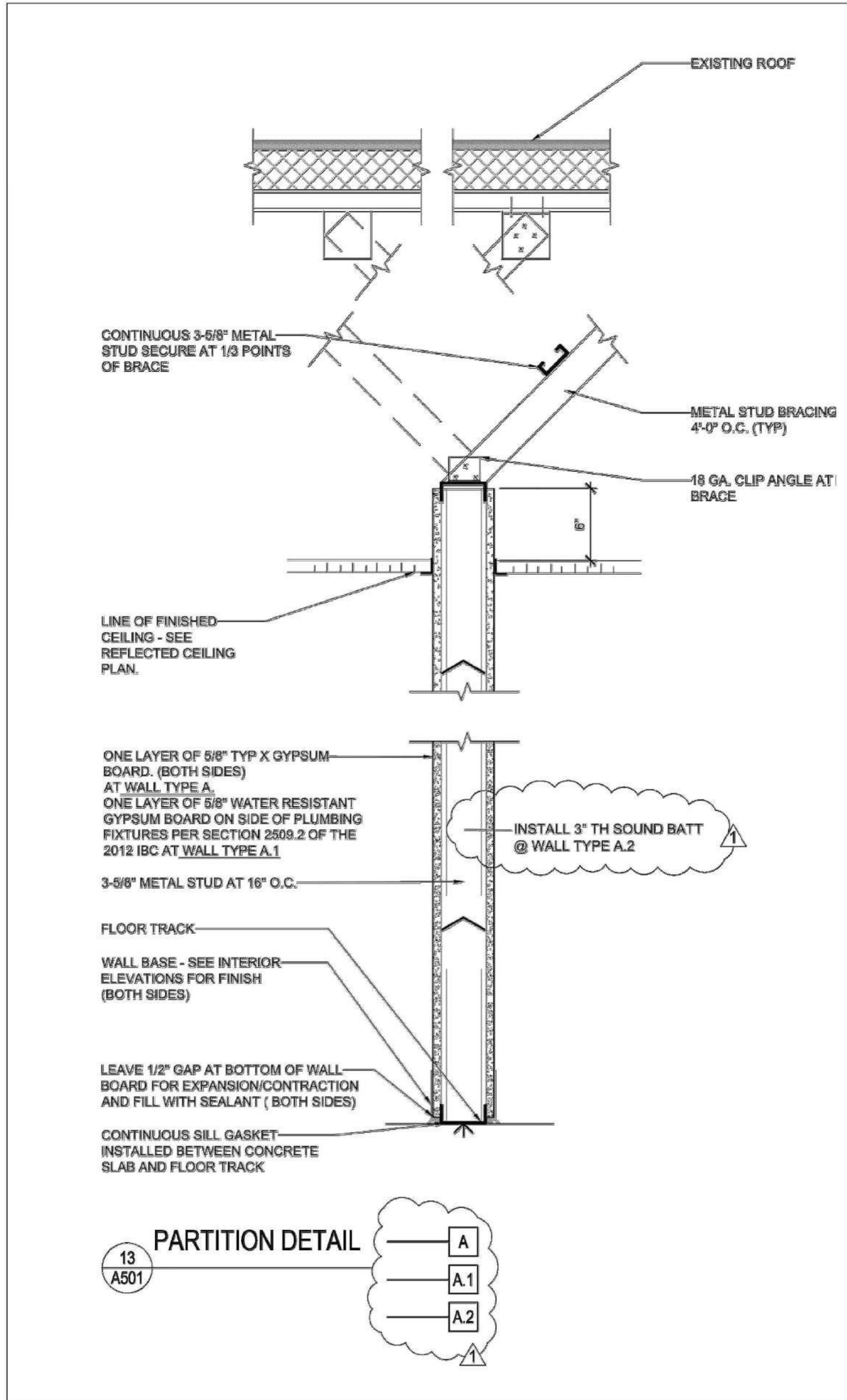
Firestop Specifications:
Use ProSet Firestop penetrators or equal for all pipe penetrations and future openings through fire rated floors and walls. Building required system numbers by Vitawock Hersey testing shall be submitted to the build.



1 ONE HOUR WALL DETAILS



1B 1-HR FIRE-RATED WALL INTERIOR



13 A501 PARTITION DETAIL



ADA CODE COMPLIANCE:

THE FOLLOWING ARE SPECIFIC GUIDELINES TO FOLLOW.
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING TOTAL COMPLIANCE
WITH TAS AND ADA STANDARDS.

604 Water Closets and Toilet Compartments

604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum to 18" (455 mm) maximum from the side wall or partition, except that the water closet shall be 17" (430 mm) minimum and 19" (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Water closets shall be arranged for a left-hand or right-hand approach.

604.3.1 Size. Clearance around a water closet shall be 60" (1525 mm) minimum measured perpendicular from the side wall and 56" (1420 mm) minimum measured perpendicular from the rear wall.

604.4 Seats. The seat height of a water closet above the finish floor shall be 17" (430 mm) minimum and 19" (485 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a lifted position.

604.5 Grab Bars. Grab bars for water closets shall comply with 609. Grab bars shall be provided on the side wall closest to the water closet and on the rear wall.

604.5.1 Side Wall. The side wall grab bar shall be 42" (1065 mm) long minimum, located 12" (305 mm) maximum from the rear wall and extending 54 inches (1370 mm) minimum from the rear wall.

604.5.2 Rear Wall. The rear wall grab bar shall be 36" (915 mm) long minimum and extend from the centerline of the water closet 12" (305 mm) minimum on one side and 24" (610 mm) minimum on the other side.

604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.8.2.

604.7 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7" (180 mm) minimum and 9" (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15" (380 mm) minimum and 48" (1220 mm) maximum above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow.

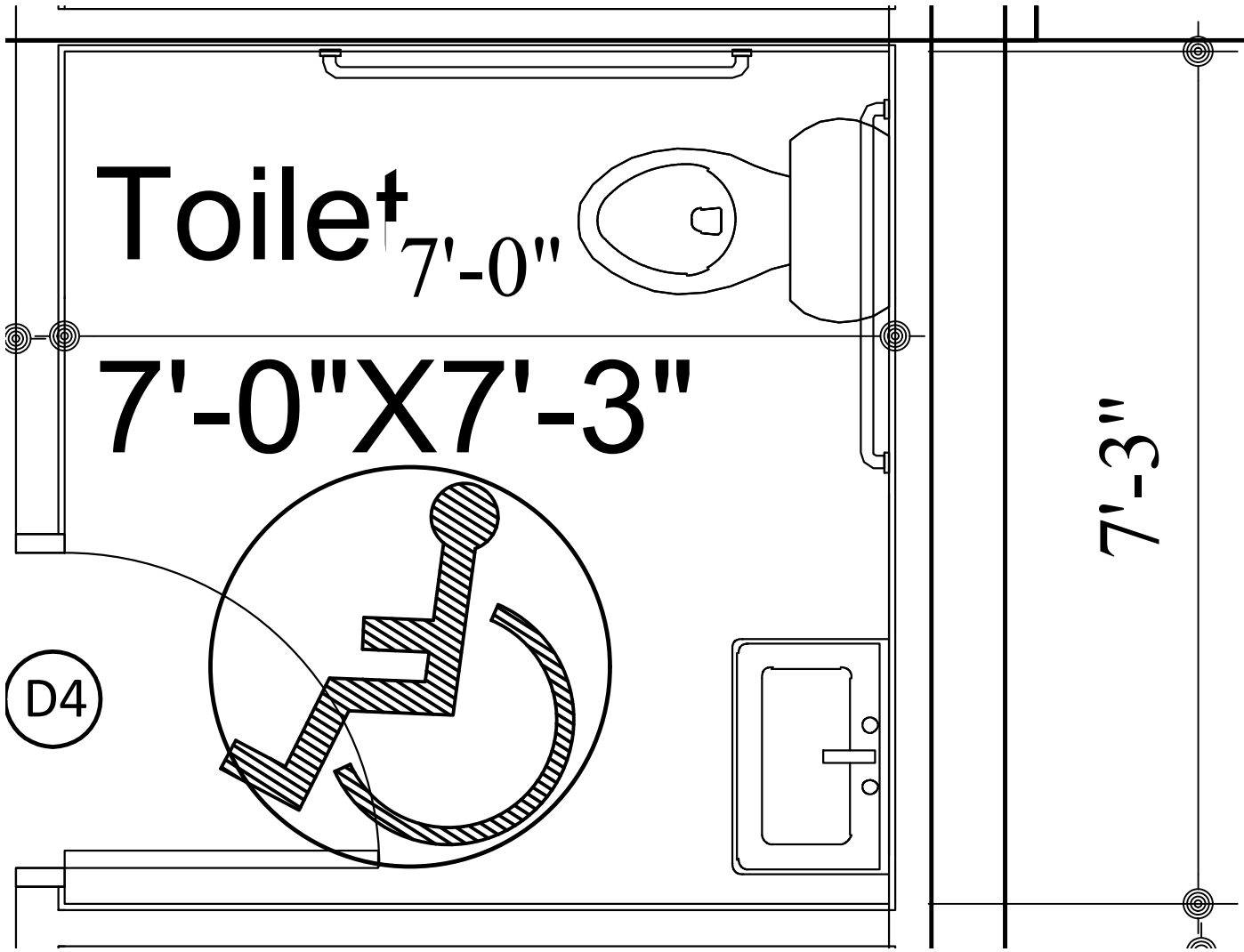
606 Lavatories and Sinks

606.2 Clear Floor Space. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided.

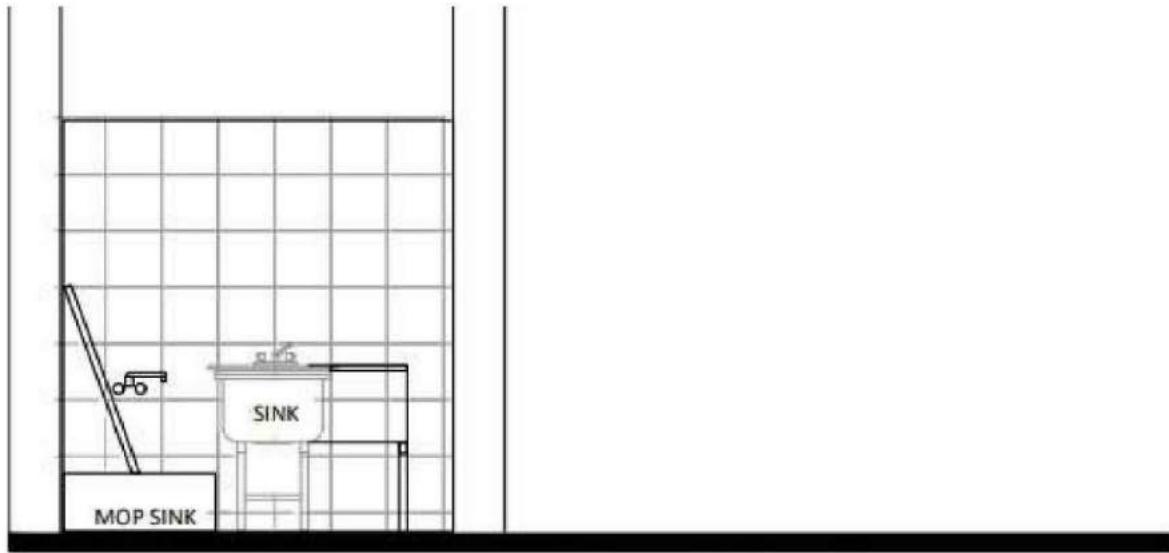
606.3 Height. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34" (865 mm) maximum above the finish floor or ground.

606.4 Faucets. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open for 10 seconds minimum.

606.5 Exposed Pipes and Surfaces. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks



1 ADA TOILET



SAME REQUIREMENTS FOR CLOSETS AND SPACES

Notes: Finishes must be installed in accordance with the manufacturer's recommendations. If a new finish or texture is proposed, a sample of the material and spec sheets may be requested.

FLOORS

- All floor coverings in food preparation, food storage, animal handling areas, walk-in refrigeration units, dressing rooms, locker rooms, toilet rooms and vestibules must be smooth, non-absorbent, easily cleanable and durable.
- Flow wall junctions must be covered.
- Trapped floor drains shall be provided in floors that are water flooded for cleaning or that receive discharges of water or other fluid waste from equipment or in areas where pressure spray methods for cleaning equipment are used. Drains should be sloped to the drain at least 1/8" per foot.
- Grouting should be non-absorbent and comprised of epoxy, silicone or polyurethane.

WALLS

- The walls, including non-supporting partitions, wall coverings and ceilings of walk-in refrigerating units, food preparation areas, equipment washing and animal washing areas, toilet rooms and vestibules shall be smooth, non-absorbent, and capable of withstanding repeated washing. Light colors are recommended for walls and ceilings. Stubs, joints and refiles shall not be exposed in walk-in refrigeration units, food preparation areas, equipment washing and animal washing areas, toilet rooms and vestibules. Where permitted to be exposed, stubs, joints and refiles must be finished to provide an easily cleanable surface.
- Grouting should be non-absorbent and comprised of epoxy, silicone or polyurethane.

CEILING

- Plushes shall be smooth, durable, easily cleanable, and nonabsorbent for areas subject to moisture such as food preparation areas, walk-in refrigerators, warewashing areas, toilet rooms, mobile food establishment servicing areas (where mobile units are cleaned etc.), and areas subject to flooding or spray cleaning methods. Acoustic tiles may be used in wall vestibules, dry areas where there is no food preparation being done such as during rains.

BATHROOM FINISHOUT AND MATERIALS

Bathroom sinks as follows:

American Standard Design 18-1/2" Rectangular Vitreous China Wall Mounting Bathroom Sink with 3 Faucet Holes - Left Overflow



floor ceramic anti slip surface as follows:



WALL MATERIAL FOR KITCHEN AND FOOD PREPARATION AREA:

4 ft. x 8 ft. White .090 FRP Wall Board
Model #1000WTT4806CF

Waterproof wall FRP, in compliance with sanitation department. Food preparation areas are waterproof and in compliance with sanitation department and the city of Farmers Branch requirements



APPROVED BATHROOM FINISH SCHEDULES

Food Protection Approved Finish Schedule – Floors, Walls, Ceilings			
ROOM/AREA	FLOOR	WALL	CEILING
COOKING (areas exposed to high heat)	Quarry tile Porcelain enameled epoxy Commercial grade vinyl composition tile	Stainless steel Aluminum Ceramic tile	Stainless steel Plastic coated or metal clad Sheetrock Dry-wall epoxy Glossed surface Plastic laminate
FOOD PREP	Same as above	Same as above plus approved wall panels (FRP, Fiberglass Reinforced Polyester Panels)	Same as above
BAR	Same as above	Same as above for and behind sinks	Meets building codes
FOOD STORAGE	Same as above plus smooth sealed concrete	Approved wall panels (FRP, Fiberglass Reinforced Polyester Panels) Drywall sealed with an epoxy finish Concrete block filled with epoxy paint or a glossed surface	Acoustic tile Painted sheetrock
OTHER STORAGE	Same as above	Painted sheetrock	Same as above
TOILET ROOM	Quarry tile Porcelain enameled epoxy Commercial grade vinyl composition tile	Ceramic Tile Approved wall panels (FRP, Fiberglass Reinforced Polyester Panels) Drywall sealed with an epoxy finish Concrete block filled with epoxy paint or a glossed surface	Plastic coated or metal clad Sheetrock Drywall sealed with an epoxy finish Plastic laminate Glossed surfaces
DRESSING ROOMS	Quarry tile Porcelain enameled epoxy Commercial grade vinyl composition tile Smooth sealed concrete	Painted sheetrock	Plastic coated or metal clad Sheetrock Drywall sealed with an epoxy finish Plastic laminate Glossed surfaces Painted sheetrock

COMPLIANCE WITH TEXAS DEPT. OF STATE
HEALTH SERVICES.

TEXAS

Health and Human
Services

TEXAS

Department of State
Health Services

Statutes and Laws - Retail Food Establishments

TEXAS LAWS

Health and Safety Code

- Chapter 437 - Regulation of Food Service Establishments, Retail Food Stores, Mobile Food Units, & Roadside Vendors
- Chapter 438 - Public Health Measures Relating To Food

Rules & Regulations

TEXAS ADMINISTRATIVE CODE, TITLE 25

- Chapter 218 - Texas Food Establishments Rules (TFER)
- Chapter 225 (a) - Permitting Retail Food Establishments
- Chapter 225 (b) - Inspection Fees For Retail Food Establishments/Vendors

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ADA DETAILS

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DATE:

ADA BATHROOM DETAILS

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SHEET:

SHEET TITLE:

Drawing File: 134509 LONGVIEW.DWG



1 ADA BATHROOM DETAILS





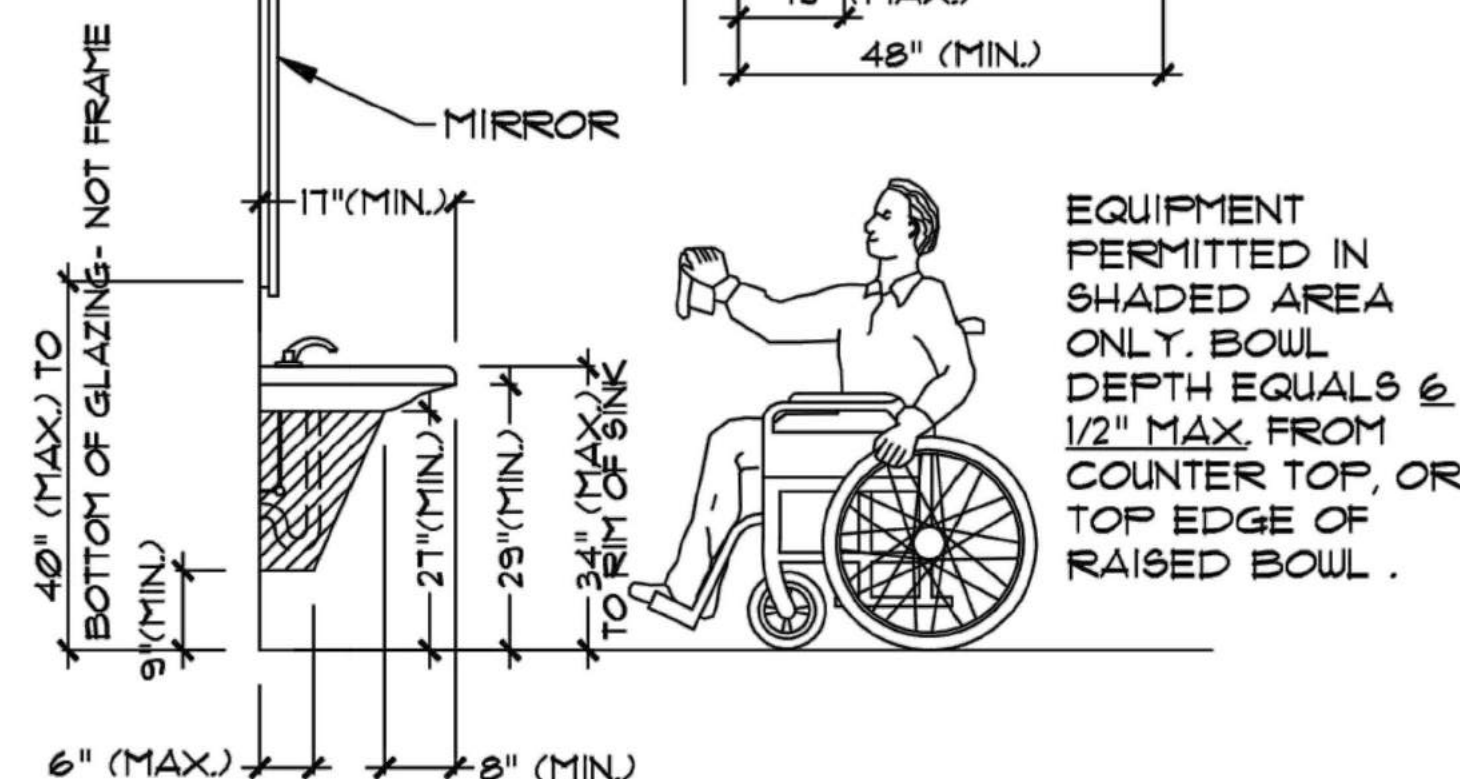
SEE 2012 T.A.S. SECTION 307.3 FOR POST-MOUNTED OBJECTS

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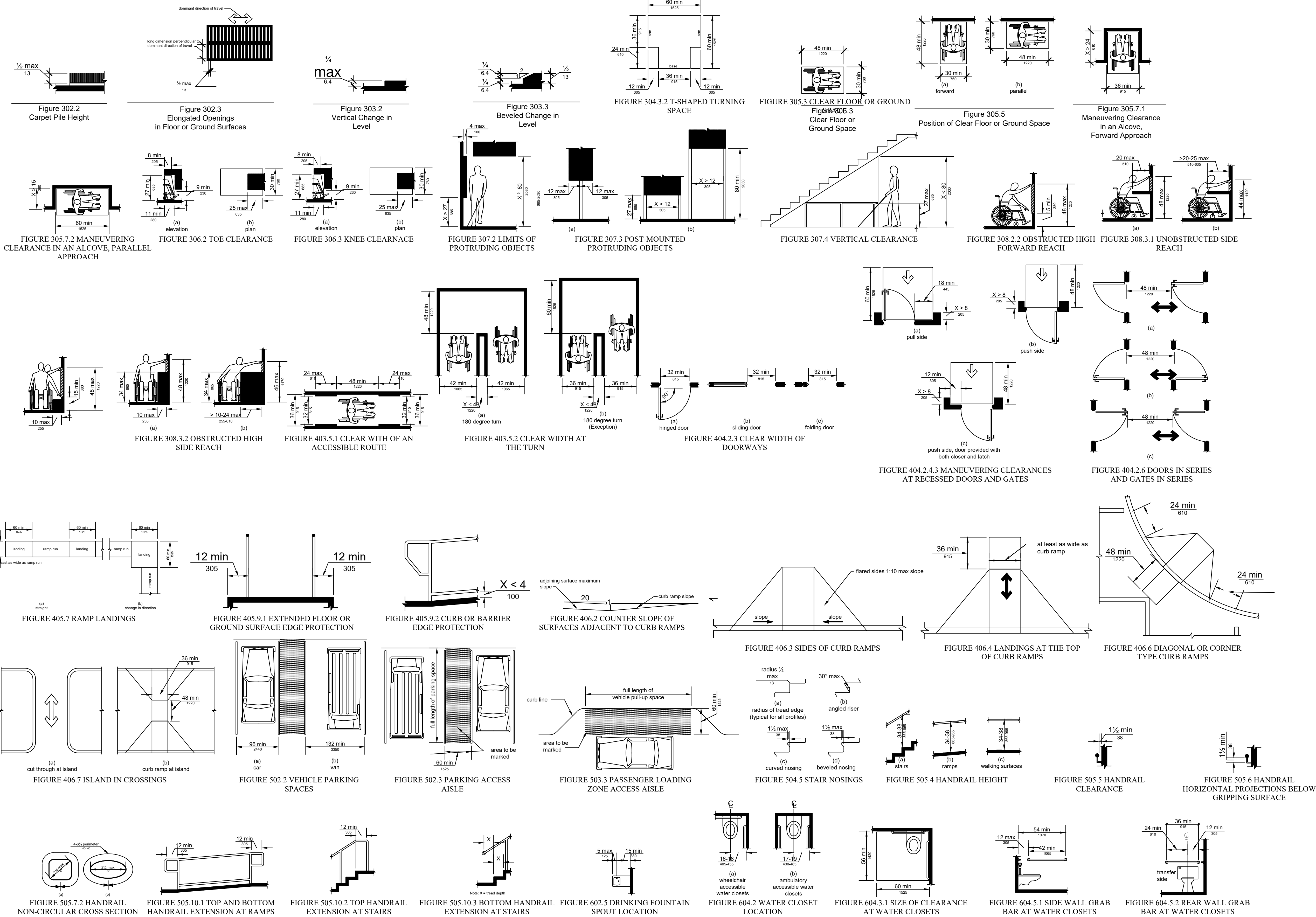
ADA SIGNAGE CRITERIA:


1. CHARACTERS: HEIGHT = 5/8" MIN.
TO 2" MAX. BASED ON THE
UPPER-CASE "I"
- STROKE: WIDTH/ HEIGHT RATIO
OF 15% OF CHARACTER HEIGHT
RANGE USING AN UPPER-
CASE "I" FOR MEASURE.
LOWER CASE LETTERS PERMITTED.
2. RAISED & BRAILLED CHARACTERS
& PICTOGRAMS - RAISED MIN. OF
1/32" MIN. ABV. SURFACE, UPPER
CASE, SANS SERIF ONLY
RAISED CHARACTERS
SIZE = 5/8" - 2" MAX.
PICTOGRAMS MUST BE
ACCOMPANIED BY EQ. VERBAL
DESCRIPTION DIRECTLY BELOW.
PICTOGRAM BORDER
DIMENSION = 6" MIN.
3. FINISH SHALL BE MATTE OR
NON-GLARE. CHARACTER SHALL
CONTRAST W/ BACKGROUND.
4. PLACE SIGNS ON WALL ADJ. TO
LATCH SIDE OF DOOR. WITH NO
WALL SPACE, PLACE ON NEAREST
ADJ. WALL. PLACE SIGN
CENTER ± 60" AFF. 8" FROM
LEADING EDGE TO DOOR TRIM



SCALE: N.T.S.





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A-8	ADA DETAILS-2		DATE:	ISSUED FOR:	COMMENTS:	430 SW Longview Blvd, Suite 200 Lee's Summit, MO 64081		Scale:	N.O.S
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