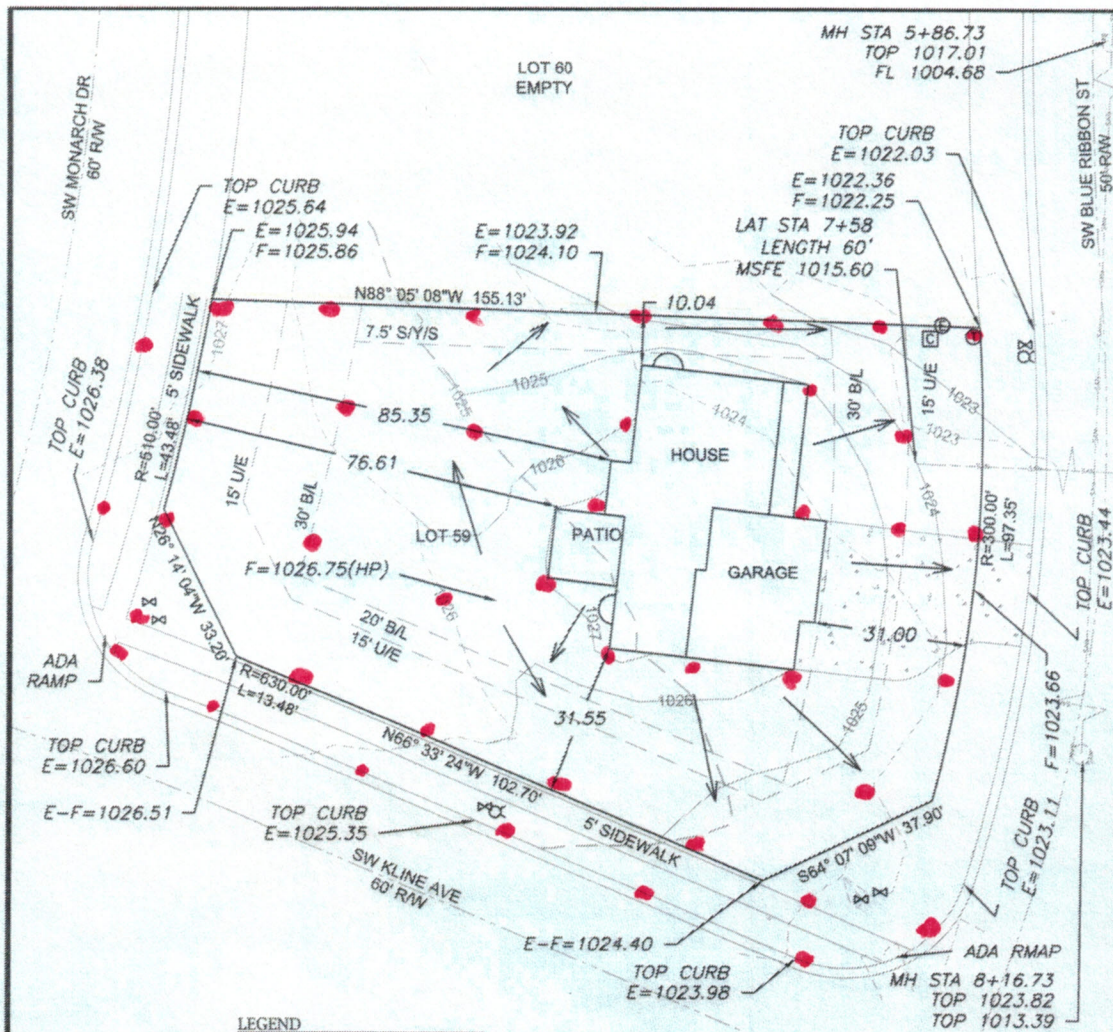




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1028.00
GARAGE FLOOR = 1026.00
TOP FOOTING = 1019.00
BASEMENT FLOOR = 1019.33
DRIVEWAY SLOPE = 7.5%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



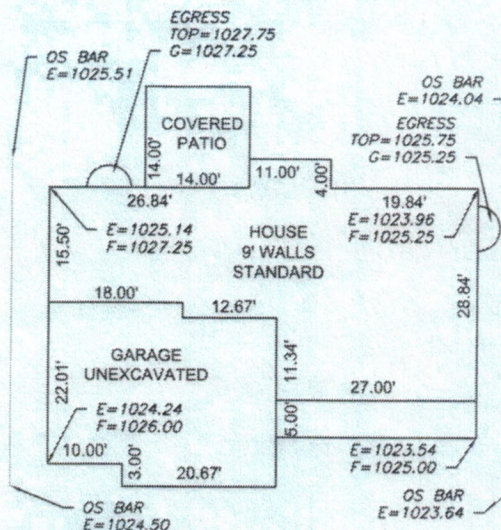
Scale 1"=30'

LOT INFORMATION

14,864 SQ. FT.
MBOE = 1024.50
MSFE = 1015.60
ADDRESS
3130 SW BLUE RIBBON ST

LEGAL DESCRIPTION

LOT 59, SUMMIT VIEW FARMS 3RD PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



Scale 1"=20'

ENGINEERING SOLUTIONS ENGINEERING & SURVEYING 30 SE 10TH STREET LEE'S SUMMIT, MO 64082 P:(816) 621-9888 F:(816) 621-0649 WWW.ENGINEERING SOLUTIONS MO.COM		PLOT PLAN - LOT 59 SUMMIT VIEW FARMS 3RD PLAT LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BILL KENNEY HOMES PO BOX 292 LEE'S SUMMIT, MO 64063	
		PROJECT NO. 1 FILE NAME LOT 59, SUMMIT VIEW FARMS	DATE 2/25/21 SHEET 1 OF 1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.

SUPERVISOR HEADS