



LEE'S SUMMIT MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 185 Plat Title Highland Meadows Address: 2772 SW 11th Street
County: Jackson State: Missouri

I, Kyle King, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents with the City's right of way for any purpose whatsoever,

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 11th day of March, 2024

By:

Kyle King
Printed or Typed Name

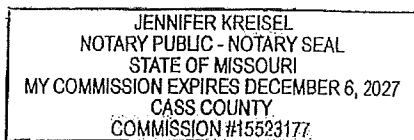
INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 11th day of March, 2024 before me, a Notary Public, personally appeared Kyle King

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



/s/

Jennifer Kreisel
Notary Public Signature

Jennifer Kreisel
Printed or Typed Name

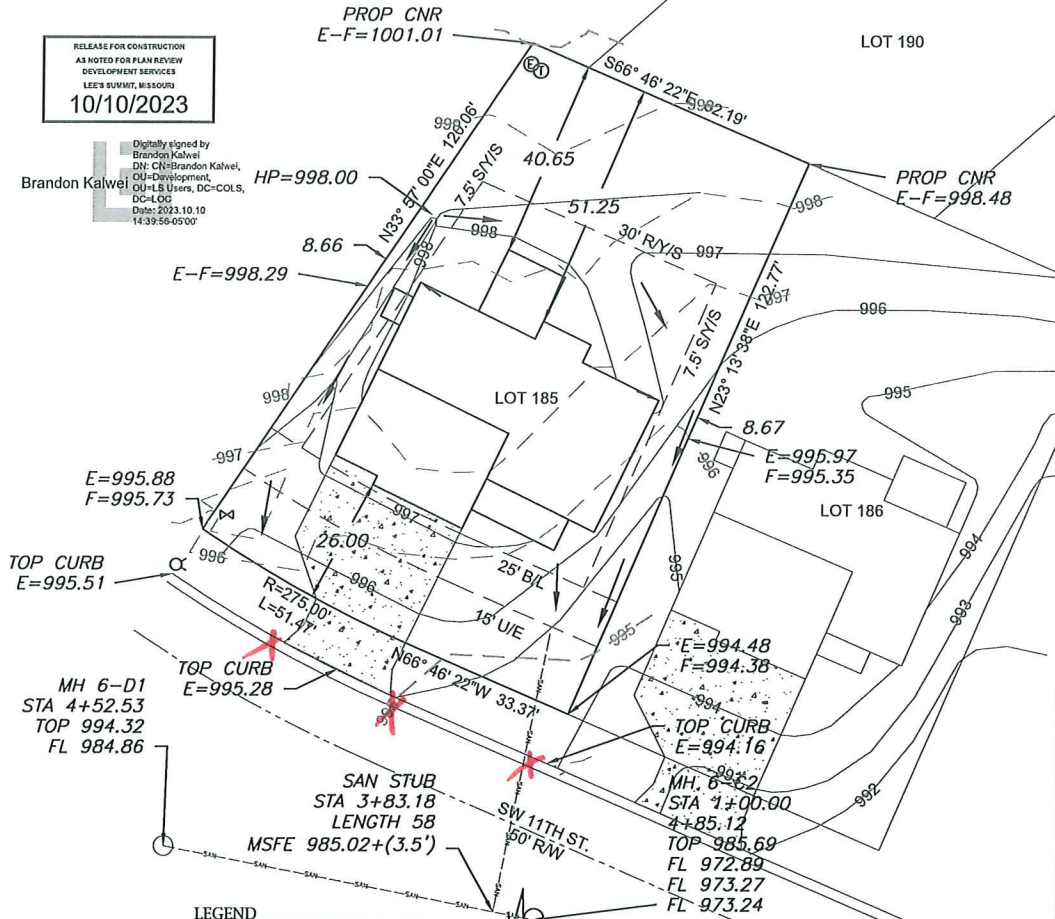
My Commission Expires:

December 6, 2027

(Seal)

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/10/2023

Digitally signed by
Brandon Kalwei
DN: CN=Brandon Kalwei,
OU=Development,
OU=LS Users, DC=COLS,
DC=LS
Date: 2023.10.10
14:39:56-0500



LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

NOTE: DECK APPROVAL WILL BE
REQUIRED PRIOR TO (FUTURE) DECK
CONSTRUCTION

EXTENDED LOT AREA = 9,924.1 SF
DRIVE AREA = 761.1 SF
APPROACH AREA = 231.3 SF
SIDEWALK AREA = N/A



Scale 1"=30'

LOT INFORMATION

8,978 SQ. FT.
MSFE = 988.52
ADDRESS
2772 SW 11TH ST.

LEGAL DESCRIPTION

LOT 185, HIGHLAND MEADOWS,
SIXTH PLAT, A SUBDIVISION AS
RECORDED IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI.

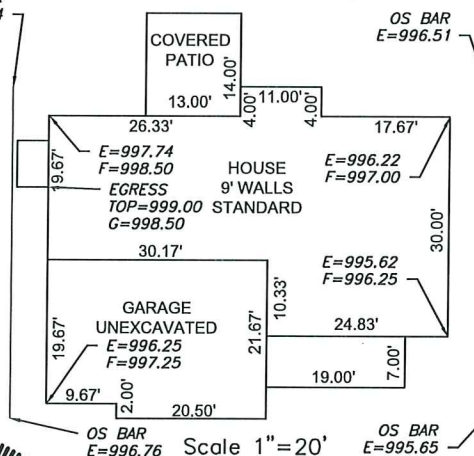
PROPOSED HOUSE

TOP FOUNDATION = 999.25
GARAGE FLOOR = 997.25
TOP FOOTING = 990.25
BASEMENT FLOOR = 990.58
DRIVE SLOPE = 6.7%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL
BUILDING ELEVATIONS AND
DIMENSIONS.
2. THIS PLOT PLAN DOES NOT
CONSTITUTE A BOUNDARY
SURVEY.
3. THE EASEMENTS SHOWN ON
THIS PLOT PLAN ARE TAKEN
FROM THE FINAL PLAT.
EASEMENTS MAY EXIST.



ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P.(816) 623-9888 F.(816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF
THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS
BEEN AFFIXED HERETO.



PLOT PLAN - LOT 185

HIGHLAND MEADOWS - SIXTH PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082

PROJECT NO. 1	FILE NAME LOT 185, HIGHLAND MEADOWS	DATE 8/23/23	SHEET 1	OF 1
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