



LEE'S SUMMIT MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 112 Plat Title Hook Farms Address: 2207 SW Hook Farms Dr

County: Jackson State: Missouri

I, Elevate Design + Build, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 5 day of March, 2024.

By:

[Signature]
Mike Yancik
Printed or Typed Name

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 5th day of March, 2024, before me, a Notary Public, personally appeared:

Mike Yancik

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

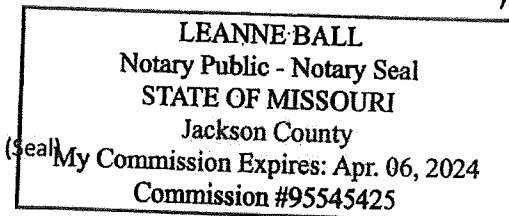
/s/

[Signature]
Notary Public Signature

Leanne Ball
Printed or Typed Name

My Commission Expires:

April 6, 2024



Revised 10/21/14

Digitally signed by:
 Andrea Spasini
 DN: cn=Andrea Spasini,
 o=CNES, ou=CNES,
 email=andrea.spasini@cn.es
 Date: 2023.11.16
 16:30:25 +0100

Address: 2207 SW Hook Farm Drive
Lot Area 10010 sf

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/09/2023 4:46:03

112

75' S88°21'16"W

38.5'

Top Walkup Wall EL 946.7

E947.55 F946.2

14

Door MLO 944.7 LAG 944.4

Cov. Deck over Patio

11.67

12

6.67

E945.58 F946.2

946

948

6' o/s Bars 64' x 60.67' 9' WALLS

35.67

10

55.67

13.5'

Top Egress well 950.5 Lag 950.0

950

11.5

21

10

1

20

8.67

8

11.67

E952.17 F954.1

105

30' B/L

14

E951.34 F953.0

15' u/c

34.00'

952

3'

5' Sidewalk

50' r/w

SW HOOK FARM DRIVE

INLET EL 950.92 ON N. SIDE OF STREET

LOT 113
Top Fdn 954.29
Gar Flr 953.24
Curb At Drive C/L 950.14
3.1 rise from Curb

PROPOSED
Fin Flr 954.4
Top 9' Wall 953.4
Gar Flr 954.4 slope to 954.1
Bas flr 944.7
Walkout Door 944.7
Retaining wall around walkup patio is 946.7
Walkout - Walkup basement

The MBOE on MDP is 946.9 rear Left
The MBOE on MDP is 944.72 rear Right

LAT STA 8+53±
EL OF MAIN 933.1±
LENGTH OF LATERAL
OR ANY ASBUILT INFO
WAS NOT ON SEWER
ASBUILT PLANS

Used as B.M.
MH 1-4, STA 10.00
TOP 952.71
INV 934.26

LAT STA 8+53±
EL OF MAIN 933.1±
LENGTH OF LATERAL
OR ANY ASBUILT INFO
WAS NOT ON SEWER
ASBUILT PLANS

This plot plan is not an "as-built" survey as the house was staked prior to being built and cannot be used in place of a "Surveyors Real Property Report". This plot plan was prepared for use before and during foundation construction only and should not be used to establish property lines for fences or other structures. House staked as shown on this plot plan. House dimensions may have been assumed and contractor must check house dimensions shown and compare to the final house plans. Contractor to verify all elevations at job site. Builder must make final decision as to cuts and foundation heights at the job site, any floor elevations shown are shown as a guide only. Sanitary sewer and lateral elevations cannot be verified at time of staking, and it may be necessary to expose sanitary sewer service connection prior to excavation for foundation. Underground utilities and un-platted easements may not be shown. This does not constitute a boundary survey and builder must check to make sure description shown is correct with the deed for the property. It is recommended that no work be done until building permits are obtained and plot plan has been verified by local building codes authorities to comply with all setback and other restrictions.

= DRAINAGE PATTERN

CONSTRUCTION ENGINEERING SERVICES, INC.

JOB NO: 18830

LEE BODENHEIMER, L.S.
Land Surveyor

