



LEE'S SUMMIT
MISSOURI

**RELEASE FOR LAWN SPRINKLER SYSTEM
IN CITY OF LEE'S SUMMIT RIGHT OF WAY
(RESIDENTIAL)**

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 10 Plat Title _____ Address: 804 NE Algonquin St
County: Jackson State: Missouri

I, Kevin Higdon, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 14 day of February, 2024.

By:

Kevin Higdon
Printed or Typed Name

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

ON THIS, The 14 day of February, 2024 before me, a Notary Public, personally appeared:
Kevin Higdon

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

MELISSA ZUROWSKI
Notary Public, Notary Seal
State of Missouri
Jackson County
Commission #15427247
My Commission Expires 08-26-2024
(Seal)

/s/

Melissa Zurowski
Notary Public Signature

Melissa Zurowski
Printed or Typed Name

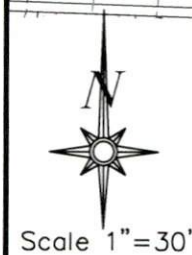
My Commission Expires:

August 26, 2024



RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
03/23/2022

Digitally signed by
Brandon Kallweil
DN: cn=Brandon
Kallweil, ou=Engineering,
dc=Lee's Summit, dc=MO, c=US
Date: 2022.03.23
09:29:44-08'00'



- LEGEND**
- Gas Meter
 - Telephone or Fiber-Optic Pedestal
 - Cable TV Pedestal
 - Electric Pedestal
 - Light Pole
 - Mailbox
 - Fire Hydrant
 - Water Valve

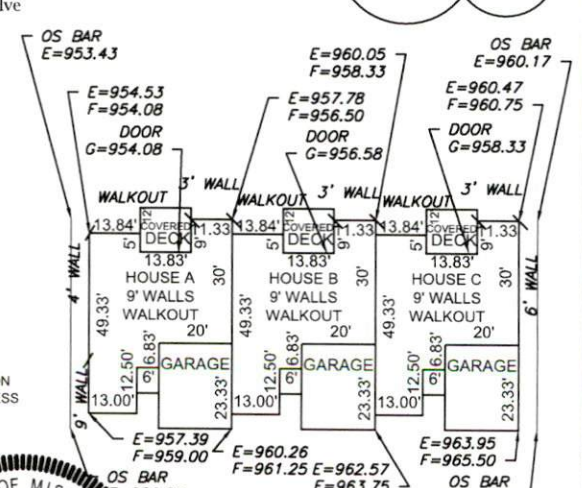
LOT INFORMATION
19,352.79 SQ. FT.
MBOE (LEFT) = 950.2
MBOE (RIGHT) = 959.1
MSFE (A) = 948.94
MSFE (B) = 950.57
MSFE (C) = 952.20
ADDRESS
HOUSE A: 804 NE ALGONQUIN ST
HOUSE B: 806 NE ALGONQUIN ST
HOUSE C: 808 NE ALGONQUIN ST
LEGAL DESCRIPTION
LOT 18, THE TOWNHOMES OF
CHAPEL RIDGE - 2ND PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.
NOTES
1. BUILDER TO VERIFY ALL
BUILDING ELEVATIONS AND
DIMENSIONS.
2. THIS PLOT PLAN DOES NOT
CONSTITUTE A BOUNDARY
SURVEY.
3. THE EASEMENTS SHOWN ON
THIS PLOT PLAN ARE TAKEN
FROM THE FINAL PLAT. OTHER
EASEMENTS MAY EXIST.

PROPOSED HOUSE A
TOP FOUNDATION = 963.25
GARAGE FLOOR = 961.25
TOP FOOTING = 954.25
BASEMENT FLOOR = 954.58
DRIVE SLOPE = 7.2%
PROPOSED HOUSE B
TOP FOUNDATION = 965.75
GARAGE FLOOR = 963.75
TOP FOOTING = 956.75
BASEMENT FLOOR = 957.08
DRIVE SLOPE = 6.6%
PROPOSED HOUSE C
TOP FOUNDATION = 967.50
GARAGE FLOOR = 965.50
TOP FOOTING = 958.50
BASEMENT FLOOR = 958.83
DRIVE SLOPE = 6.7%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

SWALE B-B		SWALE C-C	
100 YR	2.37 CFS	100 YR	3.60 CFS
BED SLOPE	6.67%	BED SLOPE	6.67%
BASE WIDTH	6 FT	BASE WIDTH	4 FT
SIDE SLOPE	1:5	SIDE SLOPE	1:5
100 YR WSE	0.13FT	100 YR WSE	0.20FT
SWALE D-D			
100 YR	2.50 CFS		
BED SLOPE	6.67%		
BASE WIDTH	6 FT		
SIDE SLOPE	1:5		
100 YR WSE	0.13FT		

AS-GRADED PLOT PLAN IS
REQUIRED PRIOR TO SODDING



ENGINEERING SOLUTIONS
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50 SE 30TH STREET
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STATE OF MISSOURI
MATTHEW SCHLIGT
PROFESSIONAL ENGINEER
PE-2006019708
03/23/2022

PLOT PLAN - LOT 18
THE TOWNHOMES OF CHAPEL RIDGE - 2ND PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
KEVIN HIGDON CONSTRUCTION
P.O. BOX 847
LEE'S SUMMIT, MO 64063

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 10, 18, TOWNHOMES OF CHAPEL RIDGE	2/7/22	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HEREIN.