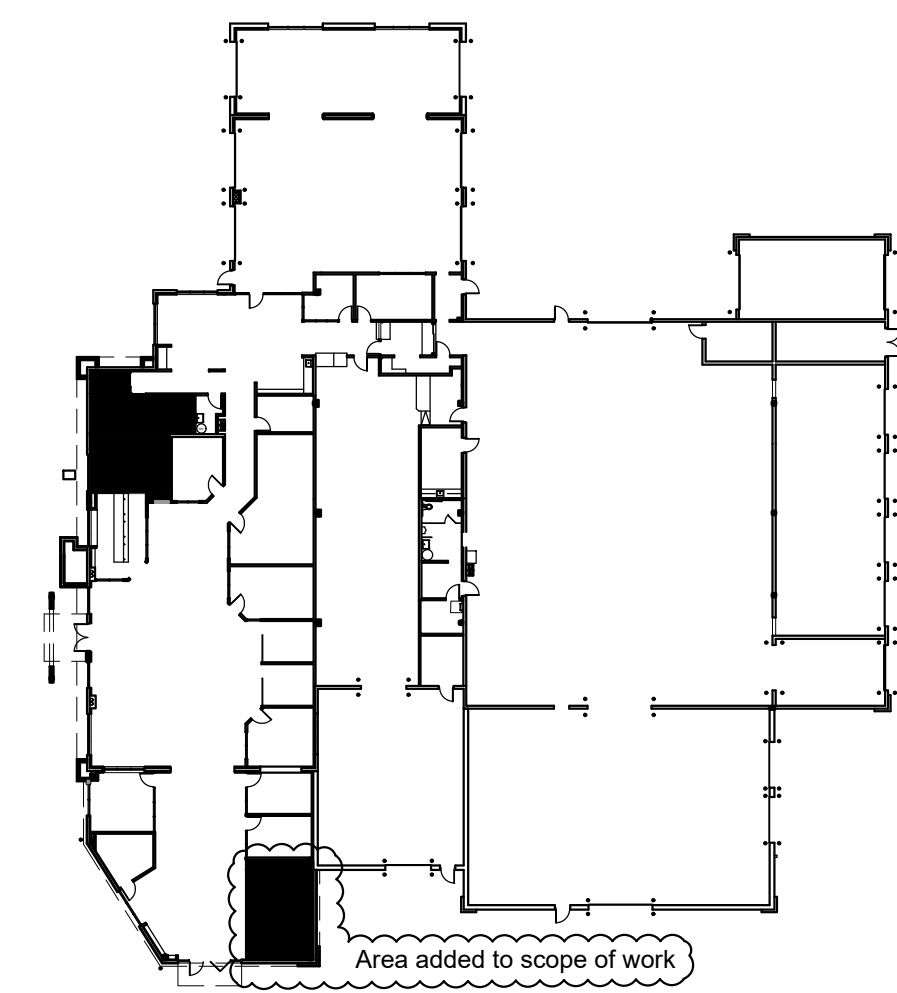


RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
02/14/2024

4301 Indian Creek Parkway
Overland Park, KS 66207
phone: 913.451.9390
www.davidsonae.com



Feb. 12, 2024



4 Building Key Plan
scale: NTS
north

Keyed Construction Notes: ##

- Walls & Doors**
- 1.1 Infill wall with similar construction; mud, tape and coat to smooth; paint wall from inside corner to outside corner full height to match existing paint color.
 - 1.2 Fur out wall over existing window, window shall be prepared to be enclosed.
 - 1.3 Install new tile flooring and base to match existing adjacent flooring in the new car display area.
 - 1.4 Installation of tile flooring where new meets existing shall be flush and continuous in appearance.
 - 1.5 Relocate existing fire extinguisher and cabinet in wall.

Reflected Ceiling Notes/Legend: #

- 2.1 Paint header and wall to match adjacent wall surfaces.
- 2.2 Install new 2'x2' acoustical panels to match existing ceiling where can lights were removed.

Demolition - General Notes:

- These plans are for a specific project as designed by Davidson Architecture and Engineering. They are not to be used in any way, whole or in part for any other project or purpose.
- Davidson Architecture and Engineering specifically disclaims any existing building conditions or dimensions; new or existing mechanical, electrical, or plumbing systems.
- Shaded areas/walls are not to be affected by demolition work. Dashed lines and areas annotated are to be removed per demolition notes.
- General contractor and all sub-contractors shall familiarize themselves with the project construction documents and the project site and notify the Architect and building Owner of any discrepancies with each.
- General contractor and all related sub-contractors shall be familiar with and understand all local codes, laws, and agencies that govern the work to be performed.
- The General contractor shall verify the locations of all utilities prior to any demolition or construction and verify disconnection with all utility companies as required.
- General contractor to be responsible for appropriate forms of waste removal and disposal.
- Existing mechanical, electrical, and plumbing not affected by this project shall remain in working order and shall remain unaffected.
- Existing light fixtures shall be removed in affected areas.
- Existing plumbing and associated fixtures, where newly exposed and unused, shall be removed, stubbed, and capped as required.
- Existing low voltage wiring and associated fixtures, where newly exposed and unused, shall be removed, stubbed, and capped as required.
- Existing electrical wiring and receptacles, where newly exposed and unused, shall be removed, stubbed, and capped as required.
- Existing mechanical system and ductwork, where newly exposed and unused, shall be removed, stubbed, and capped per MEP.
- All doors and frames in demolished walls shall be removed in affected areas.
- It is the intent of the demolition to remove all existing construction which conflicts with the new work.
- General contractor shall coordinate the removal/rework of electrical/plumbing/mechanical affecting adjacent tenant and provide temporary services as necessary.
- The general contractor shall be responsible for patching any materials disturbed due to construction/renovation to match existing conditions.
- The general contractor to remove all wall mounted accessories (toilet accessories, mirrors, bulletin boards, etc.) in areas scheduled for demolition and turn over to owner.
- Contractor to salvage all light fixtures, door hardware, and AVV equipment and turn over to owner.
- Electrical contractor shall provide temporary wiring as required to maintain continued operation of adjacent clients during demolition and construction.

Keyed demolition notes #

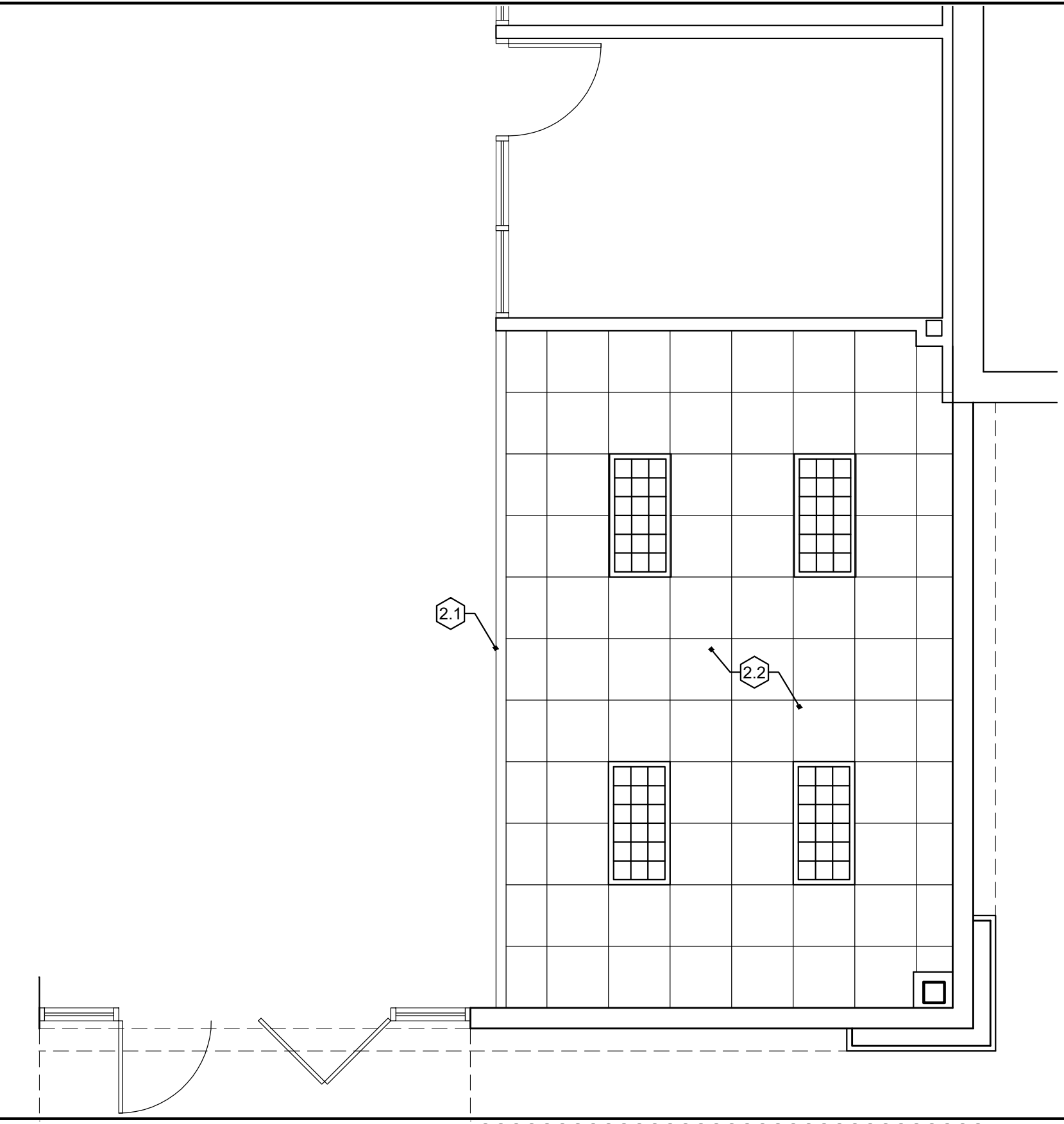
1. Remove existing door and frame, infill opening. Match existing wall construction/assembly.
2. Remove portion of existing stud & gypsum board wall in its entirety including wall base & accessories. Cap and/ or reconfigure electrical, plumbing, etc. per MEP.
3. Remove existing floor finish in its entirety and prep for new flooring. Floor to be smooth and free from bumps, ready for new flooring installation.
4. Remove existing wall base and prepare wall for new specified wall base.
5. Remove existing acoustic ceiling tile and grid in its entirety as required for new specific ceiling.
6. Remove existing sink, reconfigure plumbing as required & patch floor and wall as required.
7. Remove existing toilet/urinal, reconfigure plumbing as required and patch floor and wall as required.
8. Remove existing door and frame.
9. Remove existing wall construction up to 11'-8" and install bulkhead. Finish gyp. bd. around and paint to match existing wall surfaces. Remove and cap all mechanical and electrical in wall.
10. Remove existing can lights in ceiling. Other fixtures to remain.

Demolition Legend	
	existing wall to remain
	existing wall to be demolished
	existing door to remain
	existing door to be demolished
	existing floor to be demolished

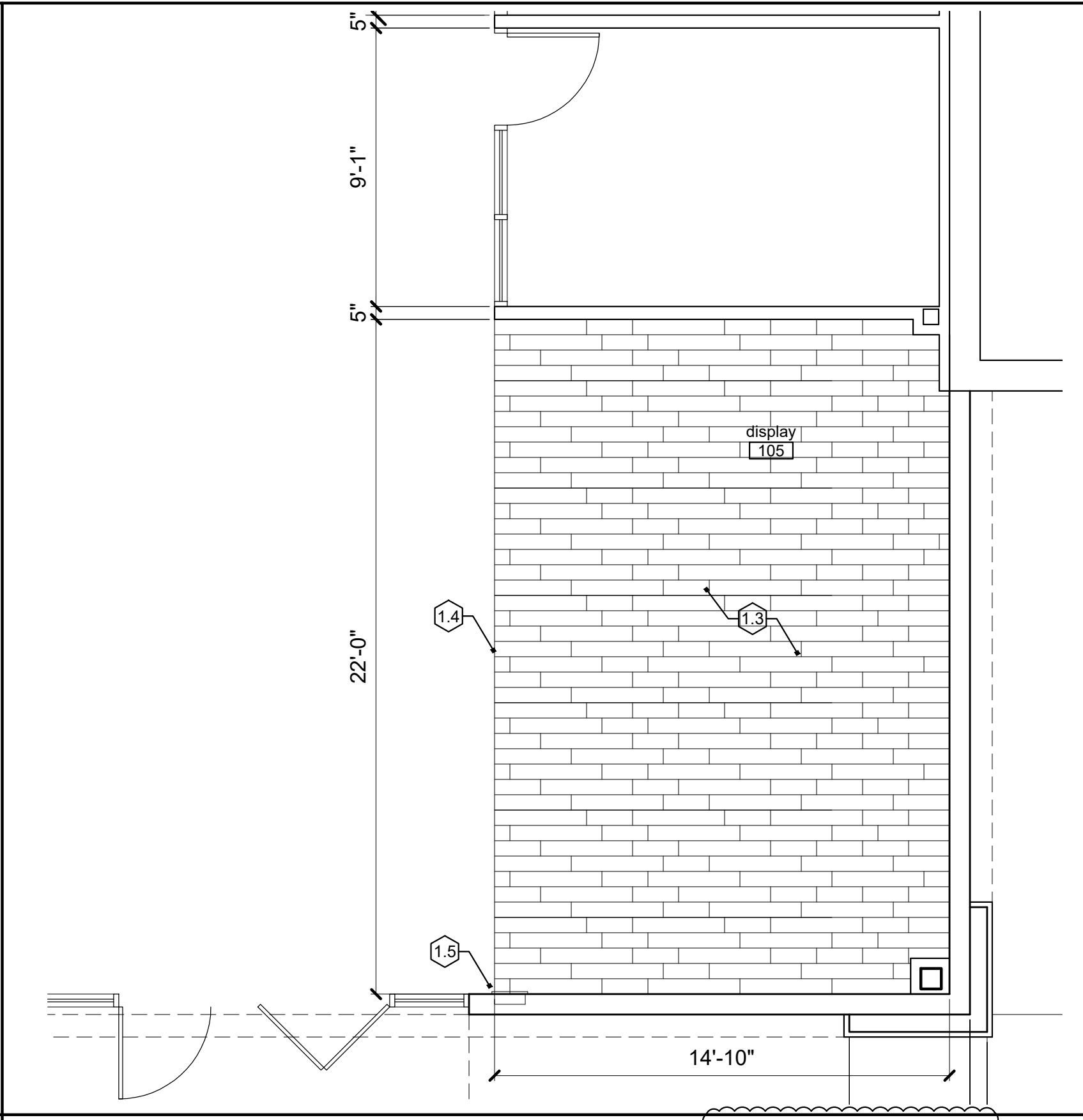
a bathroom remodel for
Lee's Summit Subaru
2101 NE Independence Ave.
Lee's Summit, Missouri 64064

date 10.13.23
drawn by DAE
checked by DAE
revisions 01
02.12.2024

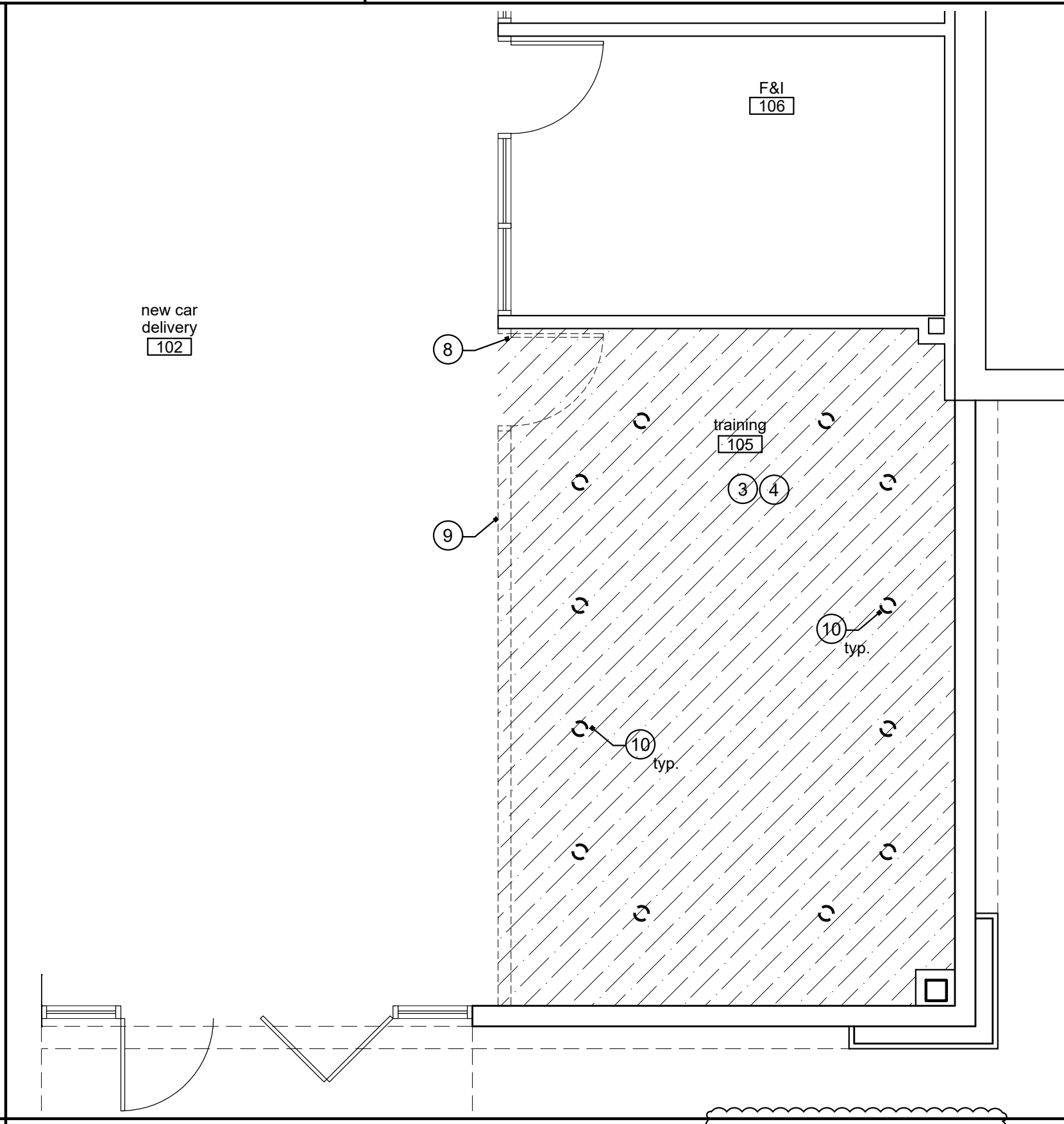
sheet number
A1.2
drawing type permit
project number 23144



3 Reflected Ceiling Plan
scale: 1/4" = 1'-0"
north



2 Floor Plan
scale: 1/4" = 1'-0"
north



1 Demo Plan
scale: 1/4" = 1'-0"
north