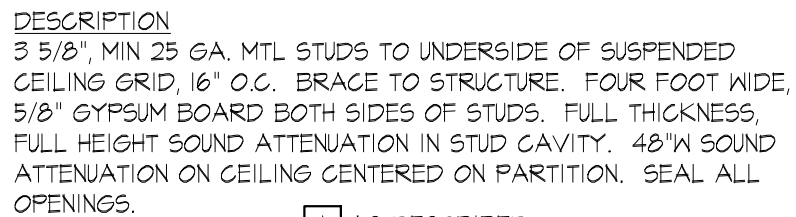
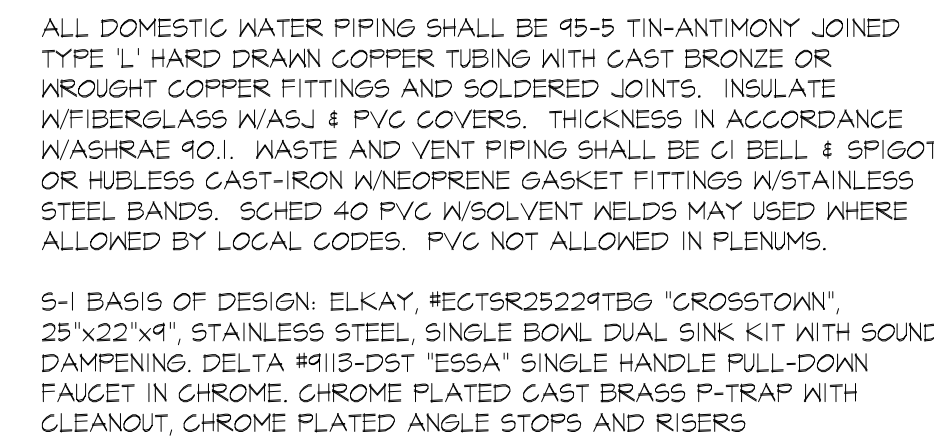


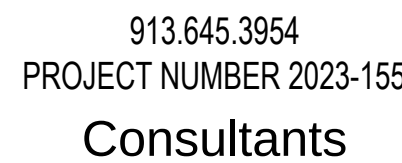
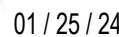
BUILDING DATA:
OCCUPANCY TYPE B - BUSINESS
CONSTRUCTION TYPE II-B
AUTOMATIC SPRINKLER FULLY SPRINKLERED PER NFPA 13

TENANT AREA DATA
EXISTING SUITE AREA 1583 SF,
OCCUPANCY 1583 SF x 1/150 SF = 11 OCCUPANTS
TOTAL 11 OCCUPANTS
EXITS REQUIRED - 1, PROVIDED - 1
MAX COMMON TRAVEL 76' (100' ALLOWED)



- GENERAL CONSTRUCTION NOTES:
- MECHANICAL EQUIPMENT IS PROVIDED AND DISTRIBUTED. CONTRACTOR TO MODIFY EXISTING DUCTWORK DISTRIBUTION AND TERMINATION AS REQUIRED TO CONFORM TO APPLICABLE CODES. PROVIDE NEW APPROPRIATELY SIZED AND RATED DAMPERS FOR ALL EXISTING PENETRATIONS OF RATED PARTITIONS. CONTRACTOR TO CONFIRM PRESENCE OF APPROPRIATE SMOKE DETECTION EQUIPMENT.
 - CONTRACTOR TO PROVIDE ALL NEW PLUMBING SUPPLY, WASTE AND VENT WORK AS REQUIRED TO CONFORM TO APPLICABLE CODES.
 - DOORS, FRAMES AND HARDWARE TO MATCH BUILDING STANDARD IN QUALITY AND FINISH. ALL DOOR HARDWARE TO CONFORM TO ACCESSIBILITY REQUIREMENTS.
 - CONTRACTOR TO EXTEND NEW ELECTRICAL AND TELEPHONE LOCATIONS AS INDICATED. COORDINATE EXACT LOCATIONS WITH TENANT AND OWNER. NEW ELECTRICAL WORK TO CONFORM TO ALL APPLICABLE CODES.
 - CONTRACTOR TO SUBMIT DEFERRED DESIGN/BUILD SPRINKLER MODIFICATION DRAWINGS FOR SEPARATE SUBMITTAL AND APPROVAL.
 - REMOVE ALL EXISTING BLANK ELECTRICAL BOXES NOT SHOWN TO BE UTILIZED AND PATCH/REWEAVE TO MATCH APPLICATION OF NEW FINISHES.
 - UTILIZE OWNER'S ACTI STOCK OF DOORS, FRAMES AND HARDWARE PRIOR TO ACQUIRING NEW.

- FINISH NOTES:**
1. PREP ALL NEW AND EXISTING WALL AND FLOOR SURFACES TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE AND FINISH MATERIAL MANUFACTURER'S RECOMMENDATIONS.
 2. REMOVE EXISTING FLOOR FINISHES AND BASE TO EXTENTS INDICATED AND PROVIDE NEW FLOORING AND RESILIENT COVE BASE AS SCHEDULED.
 3. FINISH ALL NEW AND EXISTING GYPSUM BOARD PARTITIONS TO LEVEL 4 FINISH.



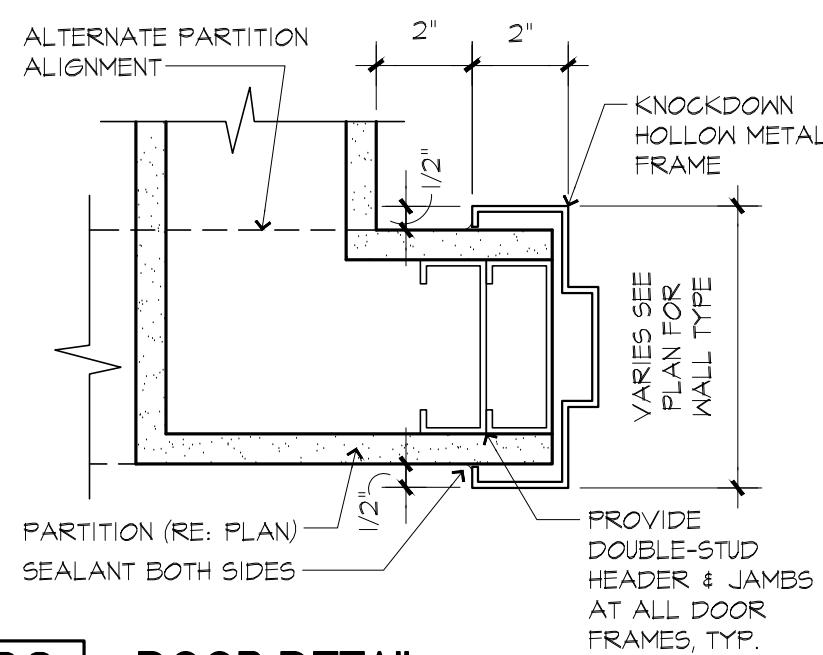
GAMEDAY MEN'S HEALTH
200 NE MISSOURI ROAD, SUITE 303
LEE'S SUMMIT, MO 64086

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Project Information, and Floor Plan

A1



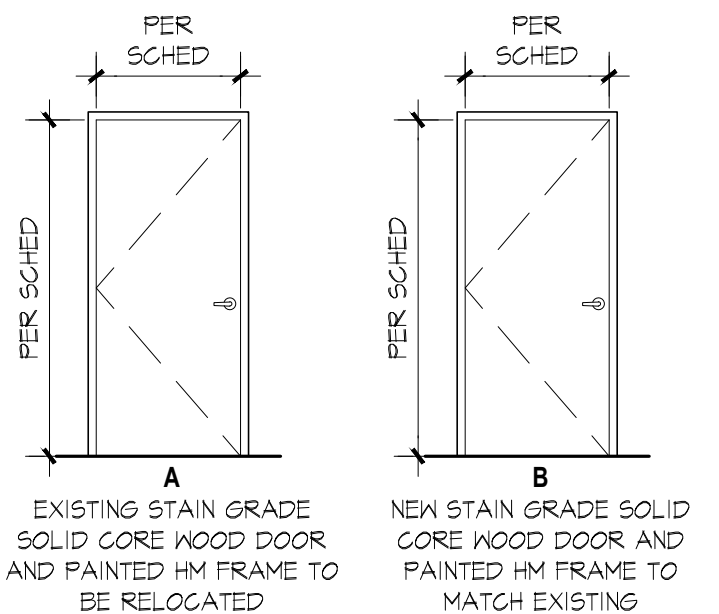
NO.	DOOR FRAME TYPE	DOOR SIZE	HEAD	JAMB	FIRE RATING	HDW. GROUP	DOOR NOTES
EX	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1
301	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1
305	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1
306	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1
307	B B	3'-0" x 1'-0"	P2/A2	P2/A2	--	2	
308	A A	EXISTING TO BE RELOCATED	P2/A2	P2/A2	--	1	2
309	B B	3'-0" x 1'-0"	P2/A2	P2/A2	--	2	
310	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1
311	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	1	1

HARDWARE GROUP 1
ALL EXISTING HARDWARE TO REMAIN

HARDWARE GROUP 2
1.5 PAIR BUTT HINGES
1 ACCESSIBLE OFFICE FUNCTION
LOCKSET

DOOR NOTES:
1. EXISTING DOOR, FRAME AND
HARDWARE TO REMAIN
2. EXISTING DOOR, FRAME AND
HARDWARE TO BE RELOCATED

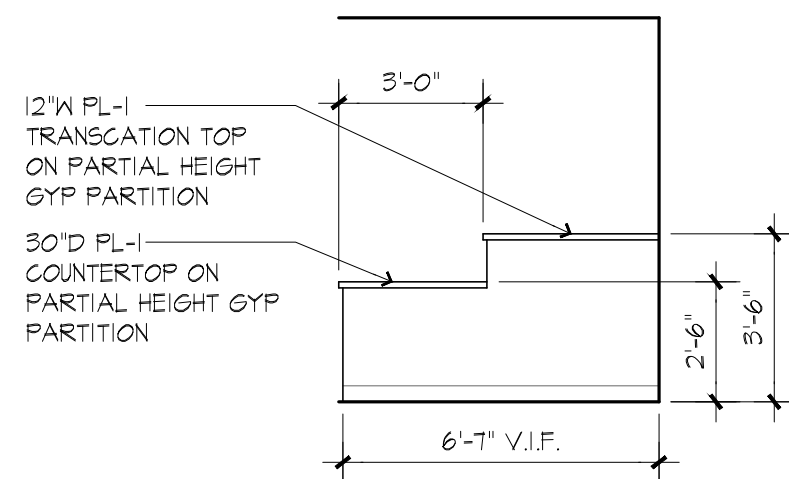
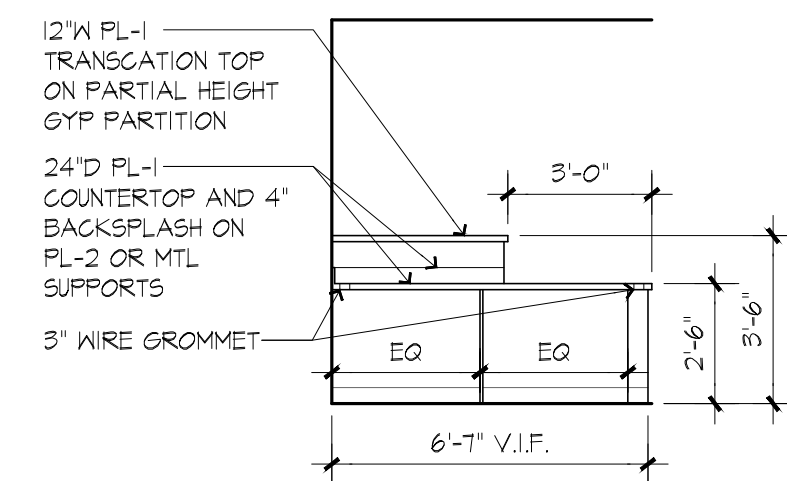
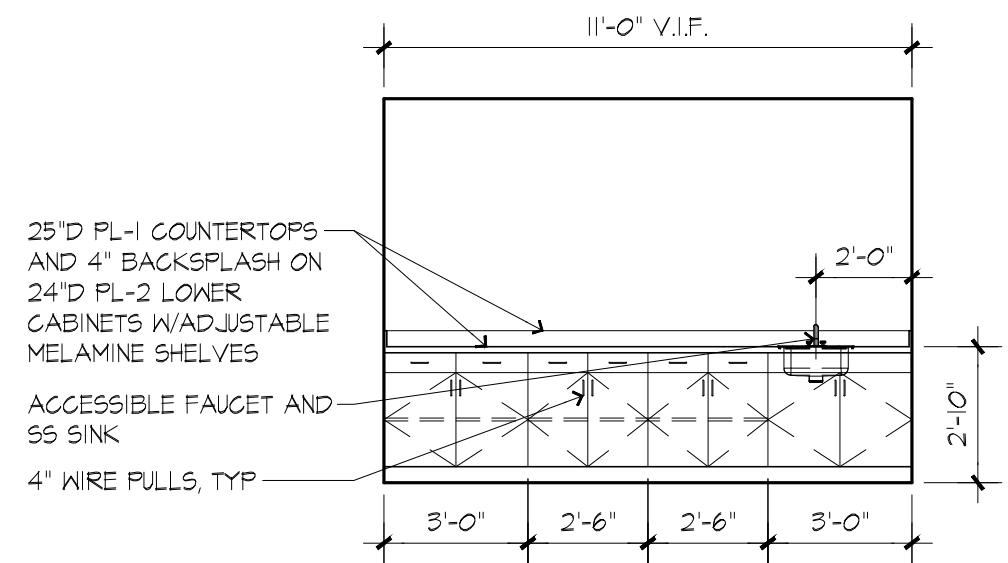
- GENERAL DOOR REQUIREMENTS:
- I. NEW WOOD DOORS TO BE AA GRADE, SPECIES, CUT AND FINISH TO MATCH EXISTING SUITE STANDARD.
2. ALL DOORS TO RECEIVE FULL ACCESSIBLE LEVER HARDWARE TO MATCH BUILDING STANDARD IN STYLE, QUALITY AND FINISH.
3. A NEW DOOR PAINTED HOLLOW METAL FRAMES TO MATCH BUILDING STANDARD.
4. INSTALL MINIMUM 3 DOOR SILENCERS PER LEAF AT NEW HOLLOW METAL FRAMES.
5. UTILIZE EXISTING DOORS, FRAMES AND HARDWARE FROM DEMOLITION SALVAGE TO GREATEST EXTENT FEASIBLE PRIOR TO ACQUIRING ADDITIONAL MATERIALS.
6. DOORS SHALL HAVE 1'-6" CLEAR ON THE STRIKE/PULL SIDE OF DOOR AND 1'-0" CLEAR ON THE STRIKE/PULL SIDE (IF THEY HAVE BOTH A LATCH AND A CLOSER) VERIFY AND ADVISE ARCHITECT OF EXISTENCE PRIOR TO CLOSING OUT PARTITIONS.
7. THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS.
8. UNDERCUT THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR BY 1/4" (MIN MAXIMUM, U.N.O.). VERIFY SLAB CONDITIONS AND TRIM EACH DOOR TO FIT CONDITION, WHERE RADICAL VARIATIONS IN FLOOR LEVEL EXIST, DOORS SHALL BE ORDERED WITH BOTTOM STYLE SIZED TO ACCOMMODATE THE WORST CASE CONDITIONS.
9. CAULK THE JOINT BETWEEN THE FRAME AND WALL, ALL SIDES, WITH PAINTABLE WHITE LATEX CAULK.
10. CONTRACTOR SHALL REVIEW KEYING WITH TENANT AND LANDLORD PRIOR TO FITTING CYLINDERS. KEY CYLINDERS AS DIRECTED BY TENANT AND LANDLORD.
11. AT EXISTING DOORS TO BE REFINISHED, PATCH/FILL DIVOTS, HOLES, CRACKS, SCRATCHES, GOUGES, ETC. PRIOR TO PRIME/PAINTING/REFINISHING. CONTRACTOR TO COORDINATE THE REUSE OF EXISTING DOORS, FRAMES AND HARDWARE AND IDENTIFY RELOCATIONS ON THE DOOR SCHEDULE.
12. NEW DOOR HARDWARE IS TO MATCH THE EXISTING, CONTRACTOR IS TO FIELD VERIFY THE EXISTING HARDWARE.



P2	DOOR DETAIL
A2	SCALE: 3" = 1'-

L2	DOOR/FRAME TYPES
A2	SCALE: 1/4" = 1'-0"

L6	DOOR SCHEDULE
A1	SCALE: NO SCALE



H 1	MILLWORK ELEVATION
A 1	SCALE: 1/4" = 1'-0"

H6	MILLWORK ELEVATION
A1	SCALE: 1/4" = 1'-0"

H 10	MILLWORK ELEVATION
A1	SCALE: 1/4" = 1'-0"

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS N	E	S	W	CEILING	CEILING HEIGHT	REMARKS
EX	VARIOUS	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	--	1
301	WAITING	LVT-I	RBI	PTI	PTI	PTI	PT2	ACTI	EXIST	
302	WAITING	LVT-I	RBI	PTI	PTI	PTI	PT3	ACTI	EXIST	2
303	ADMIN	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	
304	OPEN OFFICE	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	
305	CONSULT	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	2
306	CONSULT	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	2
307	OFFICE 	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	2
308	EXAM	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	2
309	OFFICE	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	2
310	BREAK	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	
311	LAB	LVT-I	RBI	PTI	PTI	PTI	PTI	ACTI	EXIST	

MATERIALS LEGEND:

LV1T	KARDEAN, VAN GOGH BLUE-DOWN LVT - VGNB6T 'CLASSIC OAK'
REN1	NEW 4" RESILIENT COVE BASE AS SELECTED BY TENANT
PT1	(FIELD PAINT) BEHR PFU26-02 'IMPERIAL GRAY'
PT2	(ACCENT PAINT, ALL INTERIOR DOORS) BEHR PITO-T 'COOMPH'
PT3	(ACCENT PAINT, ALL DOOR FRAMES) BEHR PFU26-01 'SATIN BLACK'
ACT1	EXISTING CEILING GRID AND TILE TO REMAIN. REPLACE ANY DAMAGED OR STAINED TILE W/NEW TO MATCH

FINISH REMARKS

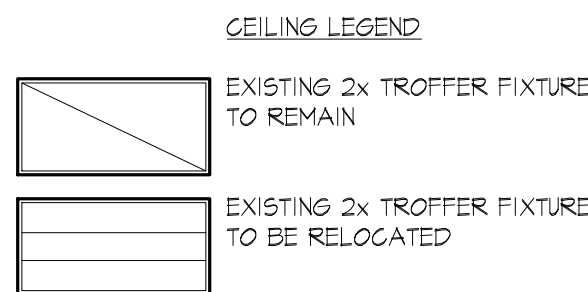
1. NO NEW FINISHES THIS SPACE
2. PROTECT EXISTING WINDOW TREATMENTS DURING CONSTRUCTION. REPAIR ANY NON-FUNCTIONING UNITS AND CLEAN ALL AT SUBSTANTIAL COMPLETION

B5	FINISH SCHEDULE
A1	SCALE: NO SCALE



J 1 4 **CEILING PLAN**

SCALE: 1/4" = 1'-0"



 BLDG STANDARD COMBO
EXIT/EMERGENCY FIXTURE

BLDG STD HORN/ STROBE
FIXTURE

 BLDG STD EMERGENCY FIXTURE

X EXISTING FIXTURE/DEVICE TO
REMAIN

N NEW BLDG STD FIXTURE/DEVICE

M NEW OCCUPANCY SENSOR
SWITCH

LEGEND

E 1 4	CEILING LEGEND
A2	SCALE: NO SCALE

GENERAL CEILING NOTES

A. THIS PLAN IS FOR REFERENCE ONLY.

- A. THIS PLAN IS FOR REFERENCE ONLY.
- B. THE REFLECTED CEILING PLAN INDICATES CEILING HEIGHTS, LIGHT FIXTURE LOCATIONS AND ASSOCIATED ITEMS. ALL MEP/FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND FIELD MEASUREMENTS, THE ARCHITECT'S REFLECTED CEILING PLAN SHALL PREVAIL.
- C. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEP/FP AND STRUCTURAL ELEMENTS. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED. INSTALL DUCTWORK TIGHT TO UNDERSIDE OF BEAMS, WITH A SMALL SPACE TO AVOID VIBRATION. INSTALLATION AND/OR ALTERATION OF DUCTWORK, PIPING OR OTHER EQUIPMENT THAT WILL REQUIRE FASCIAS, SOFFITS AND OTHER TRANSITIONS IN CEILING HEIGHT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR TO PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT AND ENGINEER'S REVIEW.
- D. MULTIPLE ENTRIES AT ONE LOCATION SHALL BE GANGED TOGETHER WITHIN ONE COVER PLATE (U.N.O.).
- E. ALL FIXTURES AND DEVICES TO BE UNDERWRITERS LABORATORIES INC. (UL) LABELED.
- F. LIGHT FIXTURES, REGISTERS, SPEAKERS, RECESSED FIXTURES AND SIMILAR CEILING ELEMENTS, AND LIFE-SAFETY DEVICES SHALL BE LOCATED IN THE CENTER OF CEILING TIE IN BOTH DIRECTIONS AND SHALL ALIGN WITH ADJACENT FIXTURES, DEVICES OR HEADS IN A RUN OR ROW, TYPICAL U.N.O.
- G. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, ETC.
- H. PROVIDE BRACKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- I. CONTRACTOR SHALL REPAIR AND/OR REPLACE CEILING WALLS WHICH ARE REMOVED TO FACILITATE PLENUM SYSTEMS INSTALLATION.
- J. COLOR OF CONTROL DEVICES AND COVER-PLATES TO BE COORDINATED WITH TENANT AND OWNER.
- K. REPLACE STAINED OR DAMAGED CEILING TIE W/NEW TO MATCH.

E 18	CEILING NOTES
A2	SCALE: NO SCALE



01 / 25 / 2



913.645.3954
PROJECT NUMBER 2023-155
Consultants

GAMEDAY MEN'S HEALTH
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REV:	ISSUED FOR:	DATE:
	BUILDING PERMIT	25 OCTOBER 2023
	PERMIT RESUBMITTAL	20 DECEMBER 2023
	ASI-1	25 JANUARY 2024

Ceiling Plan, Schedules and Details

A2

