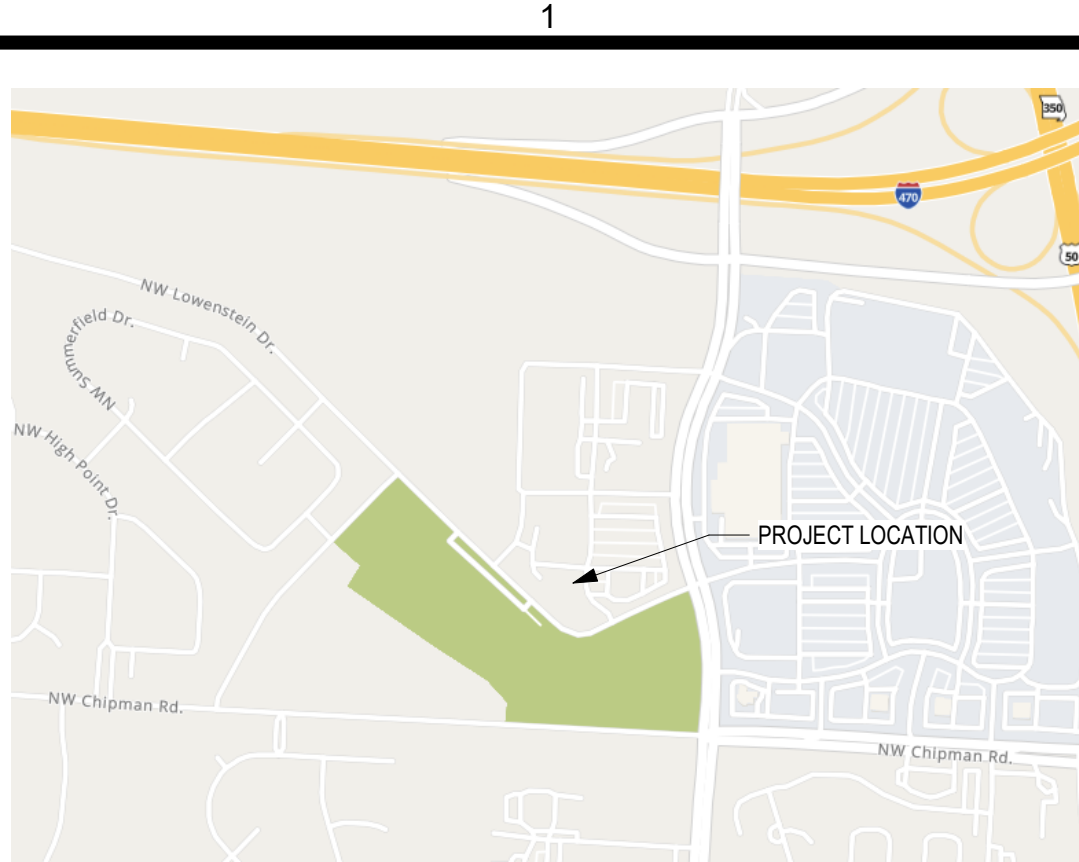


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## A1 LOCATION MAP

SCALE: NOT TO SCALE



## MATERIAL LEGEND

PLAN OR SECTION		RIGID INSULATION
ACOUSTIC TILE (SECTION)		
BATT INSULATION		SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT
BRICK		TILE (LARGE SCALE)
CARPET		WOOD BLOCKING
CONCRETE		WOOD MEMBER (CONTINUOUS)
CONCRETE MASONRY UNITS		WOOD STUDS, PARALAM, FINISHED
CONCRETE, PLASTER CUT STONE, STUCCO		
EARTH COMPACTED/DISTURBED		ELEVATION
METAL		BRICK
METAL STUDS		GLASS
PLYWOOD (LARGE SIZE)		WOOD

## ABBREVIATIONS

A	ABOVE FINISH FLOOR
ACC PNL	ACCESS PANEL
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ACOUS PNL	ACOUSTICAL PANEL
ADMIN	ADMINISTRATION
APC	ACOUSTICAL PANEL CEILING
AWT	ACOUSTICAL WALL TREATMENT
ADJ	ADJUSTABLE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
L	ANGLE
ANOD	ANODIZE / ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT

B	BASEMENT
BSMT	BEAM
BRG	BEARING
BRG PL	BEARING PLATE
BR	BEDROOM
BLW	BELOW
BTWN	BETWEEN
BITUM	BITUMINOUS
BD	BOARD
BF	BOTH FACES
BS	BOTH SIDES
BW	BOTH WAYS
BOT	BOTTOM
BRKT	BRACKET
BLDG	BUILDING
BUR	BUILT-UP ROOFING

C	CABINET
CAB	CABINET UNIT HEATER
CUH	CARPET
CPT	CAST-IN-PLACE
CIP	CAST STONE
CS	CEILING
CLG	CEMENT
CEM	CENTER
CTR	CENTER LINE
CL	CERAMIC TILE
CH BD	CHALKBOARD
C	CHANNEL
CLR	CLEAR
CLO	CLOSET
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CJ	CONSTRUCTION JOINT, CONTROL JOINT

D	DEAD LOAD
DL	DEMOLITION
DEMO	DEPARTMENT
DEPT	DEPTH
D	DETAIL
DET	DIAGONAL
DIAG	DIA
DIA	DIMENSION
DIM	

D	DISHWASHER
DR	DOOR
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
DF	DRINKING FOUNTAIN

E	EACH
EA	EACH WAY
ESMT	EASEMENT
E	ELECTRIC, ELECTRICAL
ELEC	ELEVATION
EL	ELEVATOR
ELEV	EQUAL
EQ	EQUIPMENT
EQUIP	EXHAUST FAN
EXH FN	EXISTING
EXIST	EXPANSION
EXP	EXPANSION JOINT
EJ	EXTERIOR
EXT	EXTERIOR INSULATION & FINISH SYSTEM
EIFS	

F	FACE BRICK
FC BRK	FACE OF FINISH
FOF	FIBERGLASS
FGL	FINISH
FIN	FINISH FLOOR ELEVATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIXT	FLASH
FLASH	FLOOR
FLR	FLOOR CLEANOUT
FCO	FLOOR DRAIN
FD	FLUORESCENT
FLUOR	FLOW LINE
FTL	FOOT
FTG	FOOTING
FDTN	FOUNDATION
FR	FRAME
FR	FRESH AIR
FA	FURN
FURN	FURRING
FURG	FULL SIZE
FS	

G	GAUGE
GA	GALVANIZED STEEL
GALV STL	GENERAL CONTRACTOR
GC	GLASS
GL	GRAB BAR
GB	GYP BD
GYP BD	

H	HANDICAPPED
HCP	HARDWARE
HDW	HARDWOOD
HDWD	HEATING, VENTILATION & AIR CONDITIONING
HVAC	
HT	HEIGHT
DEPT	HIGH
D	HIGHWAY
DET	HOLLOW METAL
DIAG	HORIZONTAL
DIA	HORSEPOWER
DIM	

H	HOT WATER
HW	HYD
HYD	
I	INCLUDED
INCL	INSIDE DIAMETER
ID	INSULATION
INSUL	INTERIOR

J	JANITOR
K	KITCHEN
L	ANGLE
LAB	LABORATORY
LAM	LAMINATE
LAU	LAUNDRY
LAV	LAVATORY
LWC	LIGHTWEIGHT CONCRETE
LCMU	LIGHTWEIGHT CONCRETE MASONRY
LF	LINEAR FOOT
LL	LIVE LOAD
LR	LIVING ROOM
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL

M	MAINTENANCE
MAINT	MANHOLE
MH	MANUFACTURED
MFD	MANUFACTURER
MFR	MANUFACTURING
MFG	MASONRY OPENING
MO	MATERIAL
MATL	MAXIMUM
MAX	MECHANICAL
MECH	METAL
MTL	MICROWAVE
MW	MINIMUM, MINUTE
MIN	MISC
MISC	MOISTURE RESISTANT
MR	MOUNTED
MTD	MULLION
MULL	

N	NOISE REDUCTION COEFFICIENT
NRC	NOMINAL
NOM	NORTH
N	NOT IN CONTRACT
NIC	NOT TO SCALE
NTS	
O	OFFICE
OFF	ON CENTER
OC	OPENING
OPNG	OPPOSITE
OPP	OUTSIDE DIAMETER
OD	OUT TO OUT
O/O	OVERALL
OA	OVERFLOW ROOF DRAIN
ORD	OVERHANG
OH	OWNER FURNISHED/ CONTRACTOR INSTALLED
OF/CI	OWNER FURNISHED/ OWNER INSTALLED
OF/OI	

P	PAINT
PT	PAIR
PR	PANEL
PNL	PAPER TOWEL DISPENSER
PTD	PARTICLE BOARD
PBD	PARTITION
PTN	PAVING
PVG	PERFORATED
PERF	PERIMETER
PERIM	PLASTER
PLAS	PERPENDICULAR
PERP	PLASTIC LAMINATE
PLAM	PLYWOOD
PLYWD	POLYVINYL CHLORIDE
PVC	POUND
LB	POUNDS PER CUBIC FOOT
PCF	POUNDS PER LINEAR FOOT
PLF	POUNDS PER SQUARE FOOT
PSF	POUNDS PER SQUARE INCH
PSI	PREFABRICATE
PCC	PREFINISH
PREFAB	PREFINISH
PREFIN	PROJECT
PROJ	PROPERTY LINE
PL	

Q	QUARRY TILE
QT	

R	REFERENCE, REFRIGERATOR
REF	REFLECTED CEILING PLAN
RCP	REINFORCE
REIN	REQUIRED
REQD	RESILIENT
RESIL	RESTROOM
REST	RETURN AIR
RA	REVISION
REV	RISER, RADIUS, RANGE
R	ROOF DRAIN
RD	ROOFING
RFG	ROOM
RM	ROUGH OPENING
RO	ROUGH SAWN
RS	

S	SANITARY NAPKIN DISPENSER
SNU	SANITARY NAPKIN DISPOSAL UNIT
SNDU	SANITARY SEWER
SS	SCHEDULE
SCHED	SECTION
SECT	SHEET
SHT	SHEET VINYL
SV	SHELVING
SHV	SHOWER
SHR	SIMILAR
SIM	SOLID CORE WOOD
SCWD	SOUND TRANSMISSION CLASS
STC	SOUTH
S	SPECIFICATION
SPEC	SPLASH BLOCK
SB	SQUARE FOOT
SF	SQUARE INCH
SO IN	SQUARE YARD
SO YD	STAINLESS STEEL
SST	STANDARD
STD	STEEL JOIST
STL JST	STORAGE
STOR	STORM DRAIN
SD	STREET
ST	

BEARING ELEVATION MARK	EL - FLOOR 100'-0"
MATCHLINE	A-101 / 1 A-101 / 1
DESCRIPTIVE ARROW	NEW EXISTING
CENTERLINE MARK	
SPOT ELEVATION	
DEMOLITION MARK	1
GENERAL NOTE MARK	1
NEW CONSTRUCTION MARK	1
REVISION MARK	1
EQUIPMENT TAG	1i

## GRAPHIC SYMBOLS

ELEVATION TAG	B3 A-202 B3
WALL SECTION TAG	B5 A-202 SIM
DETAIL CALLOUT	A2 A-303 SMALL REFERENCE NOTE A-101 / A1
PARTITION TYPE TAG	P2
WINDOW TAG	1t
DOOR TAG	0101B
ROOM TAG	ROOM NAME 101

## CODE SUMMARY

### PROJECT SCOPE:

CORE & SHELL DOCUMENTS. DRAWINGS FOR TENANT IMPROVEMENT WILL BE ISSUED A SEPARATE PERMIT AND PROVIDED BY OTHERS.

### JURISDICTIONAL BUILDING CODES:

INTERNATIONAL BUILDING CODE	2018
INTERNATIONAL MECHANICAL CODE	2018
NATIONAL ELECTRICAL CODE	2017
INTERNATIONAL PLUMBING CODE	2018
INTERNATIONAL FIRE CODE	2018
INTERNATIONAL FUEL GAS CODE	2018

ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2009

### CONSTRUCTION INFORMATION:

BUILDING TYPE:	NEW CONSTRUCTION
OCCUPANCY TYPES:	M (MERCANTILE)
CONSTRUCTION TYPE:	V-B (SPRINKLERED)
ALLOWABLE HEIGHT:	40 FT
ACTUAL HEIGHT:	28 FT
ALLOWABLE STORIES:	1
ACTUAL STORIES:	1
GROSS BUILDING AREA:	13,989 SF

### ALLOWABLE FLOOR AREA:

ALLOWABLE FLOOR AREA (M): 9,000 SF  
\*FRONTAGE INCREASE N/A DUE TO ACTUAL AREA LESS THAN ALLOWABLE FLOOR AREA

### GROSS BUILDING AREA:

TENANT A:	2,494 SF
TENANT C:	1,999 SF
TENANT E:	2,499 SF
TENANT G:	6,997 SF

TOTAL GROSS AREA: 13,989 SF

### OCCUPANT LOAD CALCS:

TENANT B (M): IBC TABLE 1004.5	
TOTAL NET SF	13,989 SF
MERCANTILE	60 GROSS
OCCUPANTS	234 OCC

### EXITS REQUIRED:

TENANT A (M): IBC TABLE 1006.2.1	
EXITS REQUIRED	1 EXIT
EXITS PROVIDED	3 EXITS

TENANT C (M): IBC TABLE 1006.2.1	
EXITS REQUIRED	1 EXIT
EXITS PROVIDED	2 EXITS

TENANT E (M): IBC TABLE 1006.2.1	
EXITS REQUIRED	1 EXIT
EXITS PROVIDED	2 EXITS

TENANT G (M): IBC TABLE 1006.2.1	
EXITS REQUIRED	2 EXITS
EXITS PROVIDED	3 EXITS

### STRUCTURAL FIRE PROTECTION (IBC TABLE 601)

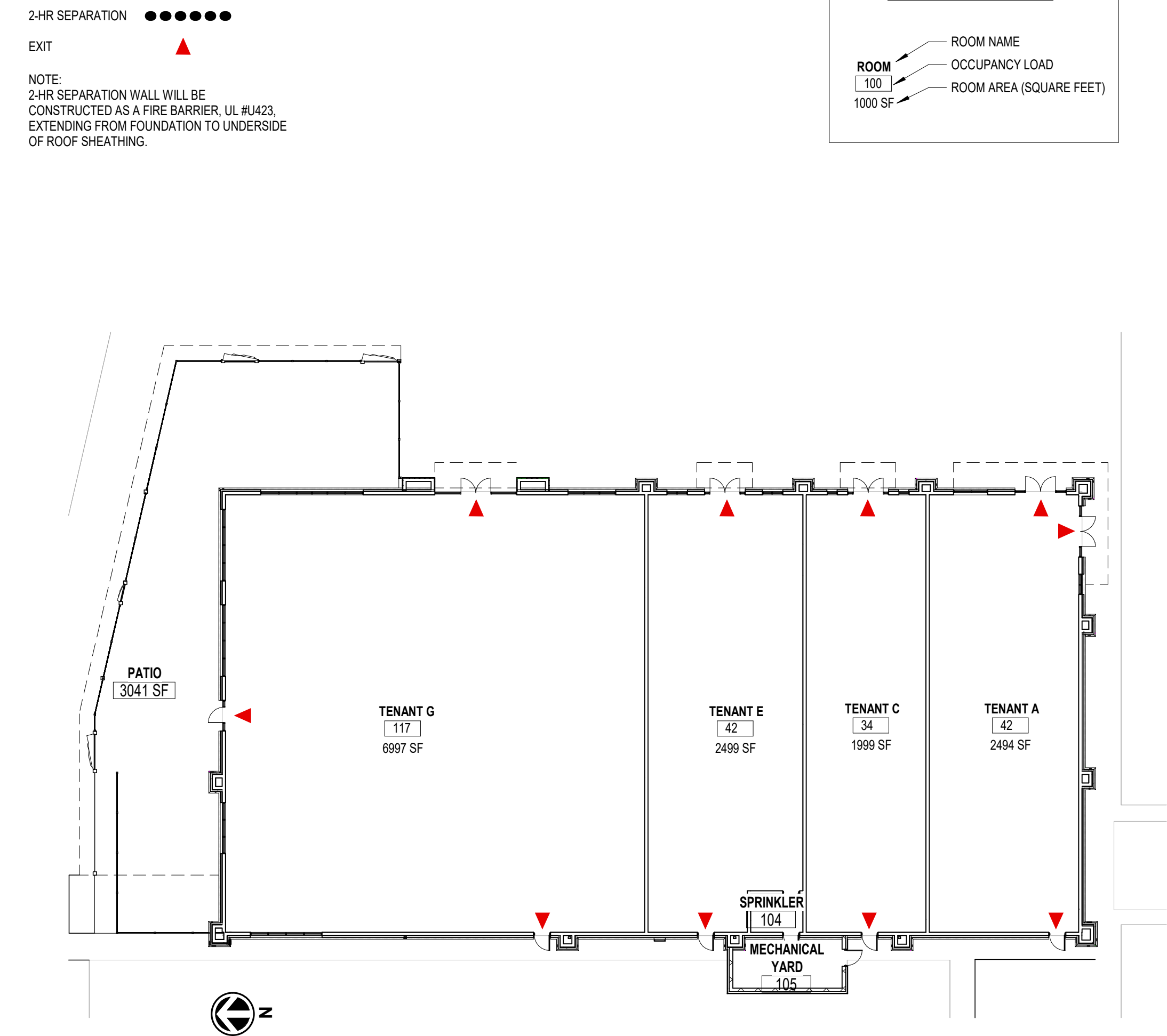
PRIMARY STRUCTURAL FRAME	(0) HOUR
EXTERIOR BEARING WALLS	(0) HOUR
INTERIOR BEARING WALLS	(0) HOUR
EXTERIOR NON-BEARING WALLS & PARTITIONS	N/A
INTERIOR NON-BEARING WALLS & PARTITIONS	(0) HOUR
STRUCTURAL FRAME	(0) HOUR
FLOOR CONSTRUCTION	(0) HOUR
ROOF CONSTRUCTION	(0) HOUR

### STRUCTURAL FIRE PROTECTION (IBC TABLE 601)

1. AUTOMATIC SPRINKLER SYSTEM (YES)
2. EXIT LIGHTING PROVIDED

### CODE PLAN ROOM TAG

ROOM	ROOM NAME
100	OCCUPANCY LOAD
1000 SF	ROOM AREA (SQUARE FEET)



## A3 FIRST FLOOR

SCALE: 1" = 20'-0"

## DESIGN TEAM

### ARCHITECTURAL DESIGN

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E-MAIL: BRYAN.LEINWETTER@PKMRENG.COM

### STRUCTURAL DESIGN

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### CIVIL DESIGN

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COLUMBIA, MISSOURI 65203

CONTACT: SAM MALINOWSKI, PE  
PHONE: 785-341-9747  
E-MAIL: SMCIVILENGR@GMAIL.COM

## SHEET INDEX

### ARCHITECTURAL

G-001 COVER SHEET

### ARCHITECTURAL

A-100	SITE PLAN & DETAILS
A-101	FIRST FLOOR PLAN
A-102	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ENLARGED ELEVATION & FENCE DTLs
A-301	WALL SECTIONS
A-302	WALL SECTIONS
A-501	BUILDING DETAILS
A-502	BUILDING DETAILS
A-503	BUILDING DETAILS
A-601	GLASS & DOOR SCHEDULES

### STRUCTURAL

S-001	GENERAL NOTES
S-101	FOUNDATION PLAN
S-102	CANOPY FOUNDATION & FRAMING PLANS
S-103	WALL FRAMING PLAN
S-104	ROOF FRAMING PLAN
S-201	NW FRAMING ISOMETRIC
S-202	SE FRAMING ISOMETRIC
S-301	CONCRETE DETAILS & SECTIONS 1
S-601	FRAMING DETAILS & SECTIONS 1
S-602	FRAMING DETAILS & SECTIONS 2
S-603	FRAMING DETAILS & SECTIONS 3

### MECHANICAL

M-101	PLUMBING PLAN
M-201	HVAC PLAN
M-301	MECHANICAL DETAILS & SCHEDULES
ME-101	MEP NOTES & SPECIFICATIONS

### ELECTRICAL

E-101	POWER PLAN
E-102	ELECTRICAL DETAILS & SCHEDULES
E-201	LIGHTING PLAN
E-202	SITE LIGHTING PLAN
E-203	SITE PHOTOMETRIC PLAN



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CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

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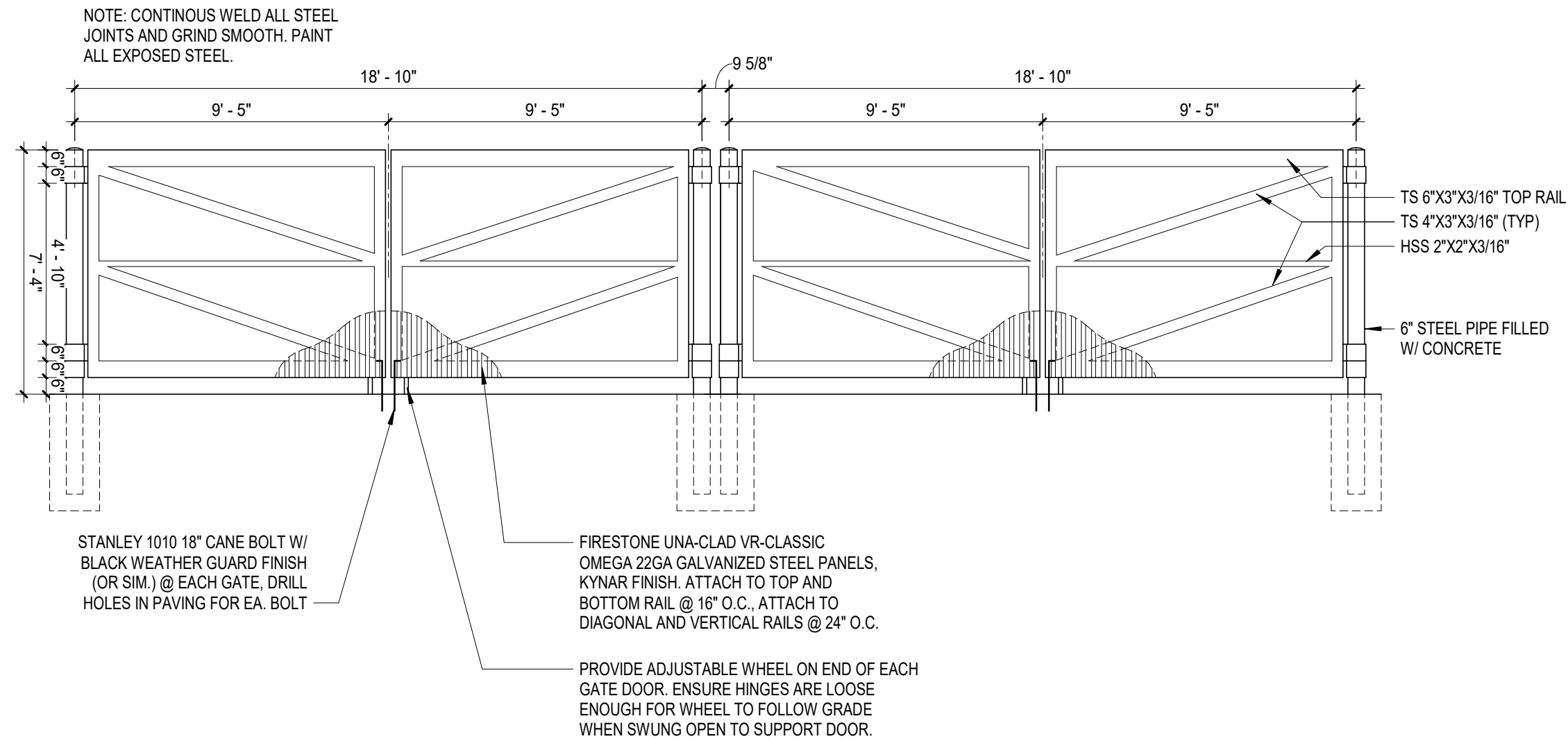
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COVER SHEET

PROJECT NUMBER  
235008

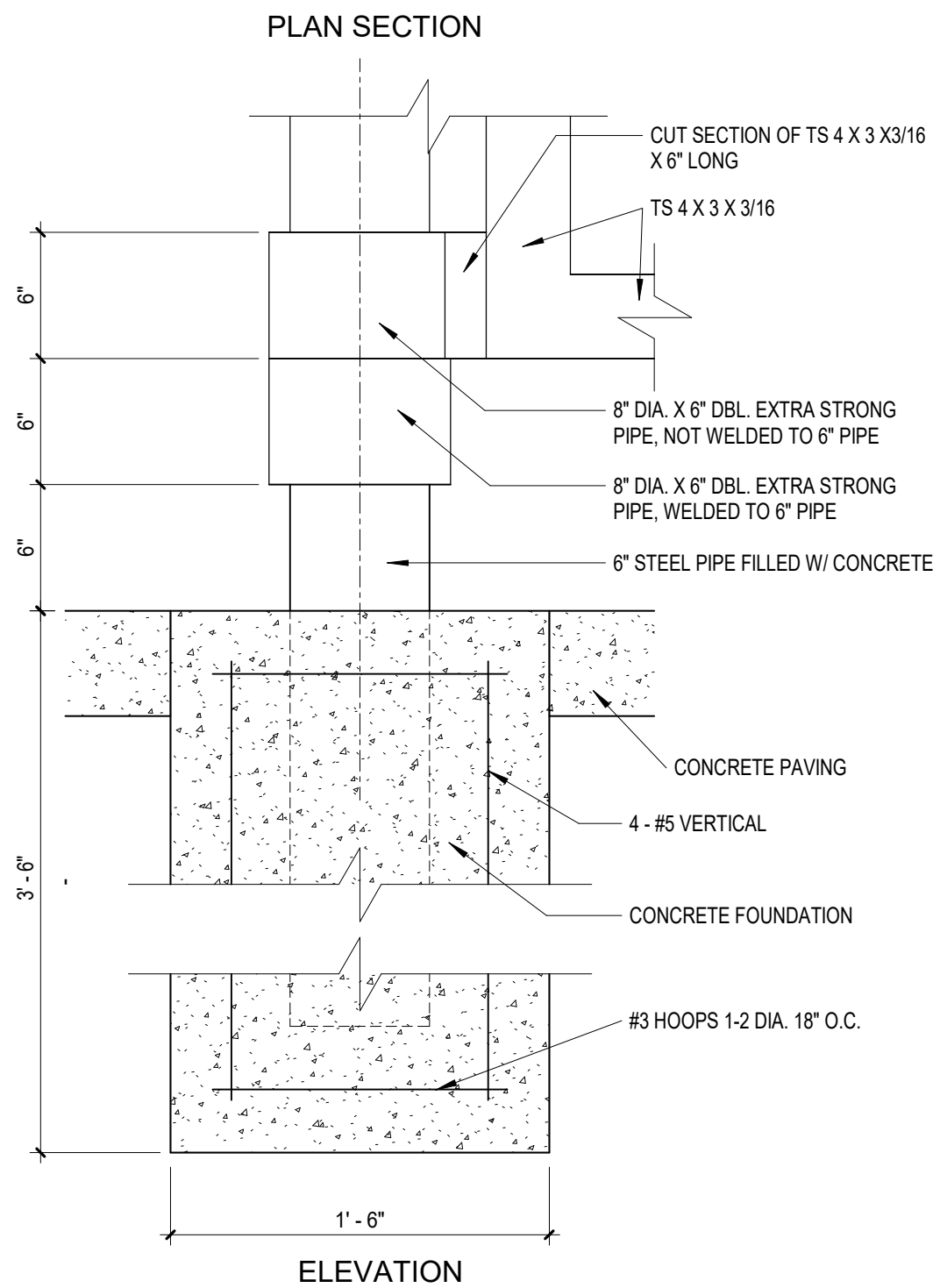
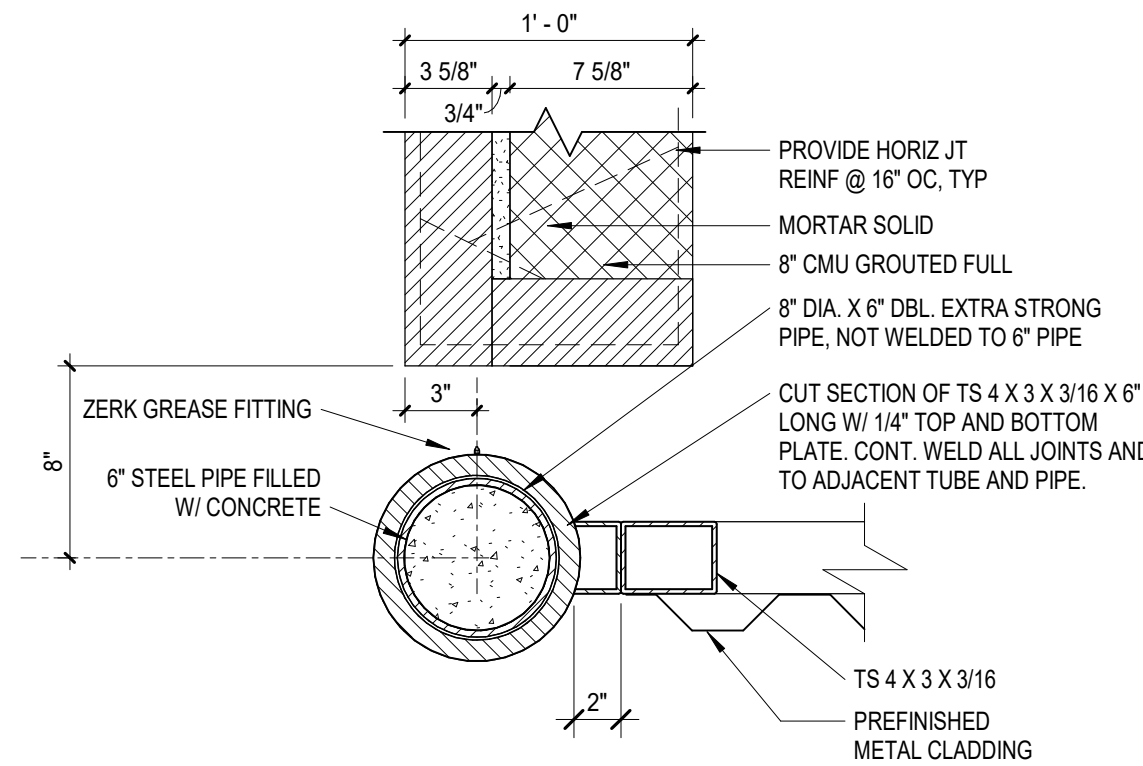
SHEET NUMBER  
G-001



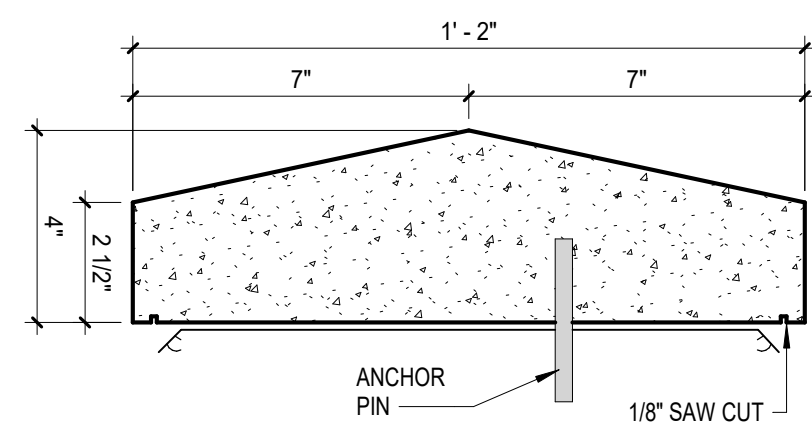
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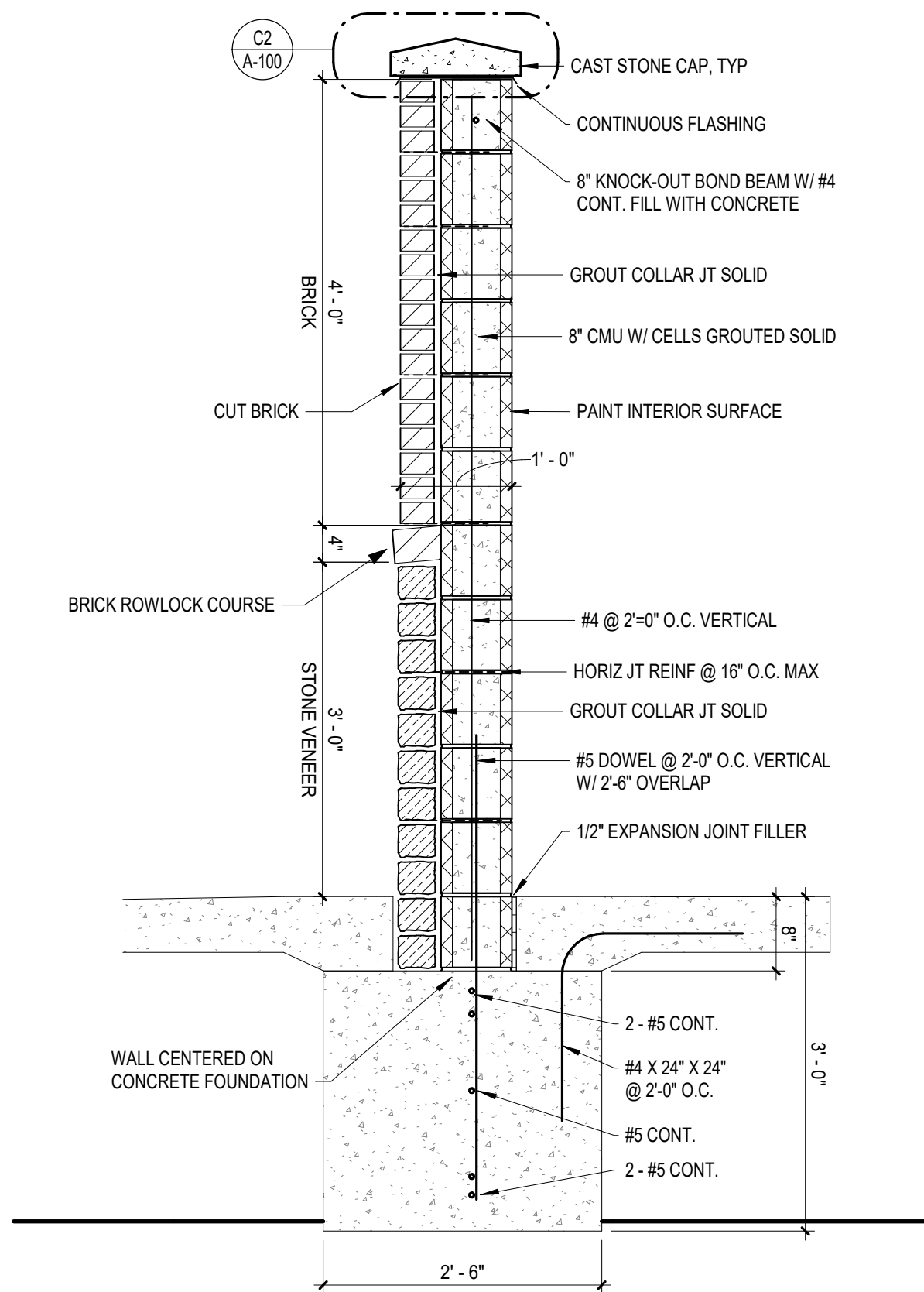
**D1 TRASH ENCLOSURE GATE ELEVATION**  
SCALE: 1/4" = 1'-0"



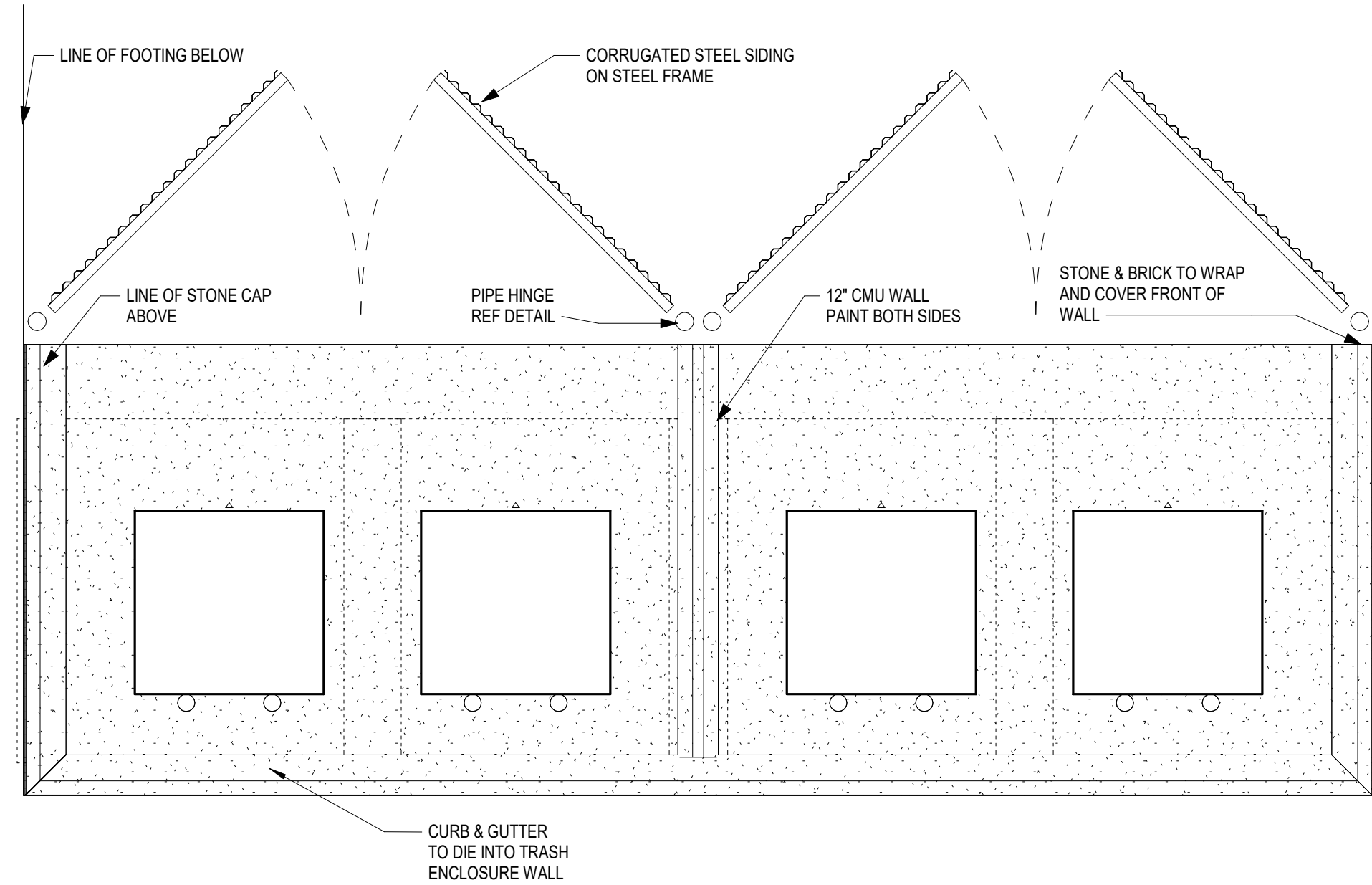
**A1 ENCLOSURE GATE HINDGE DETAIL**  
SCALE: 1 1/2" = 1'-0"



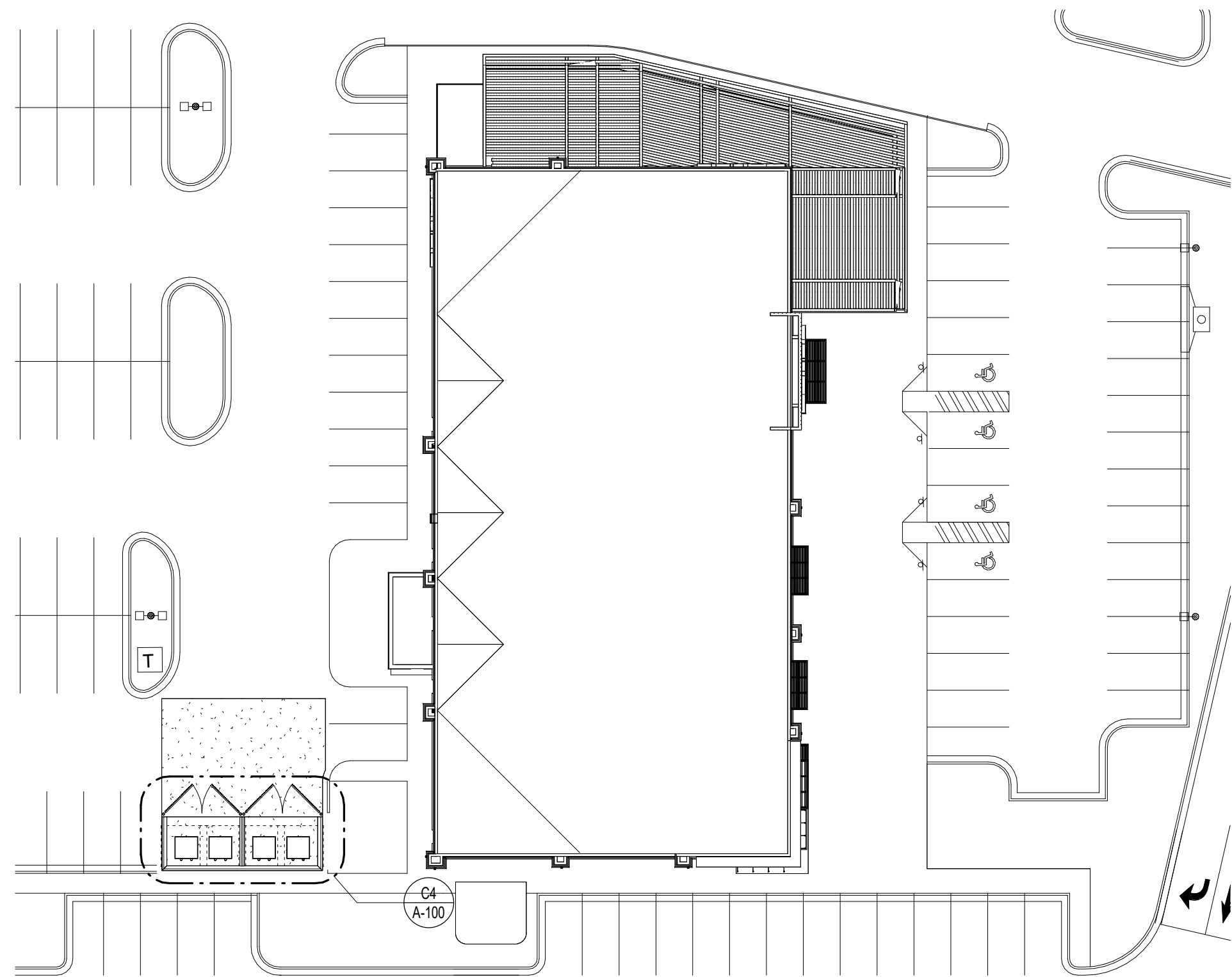
**C2 TRASH ENCLOSURE CAP DETAIL1**  
SCALE: 3" = 1'-0"



**A2 TRASH ENCLOSURE WALL SECTION**  
SCALE: 3/4" = 1'-0"

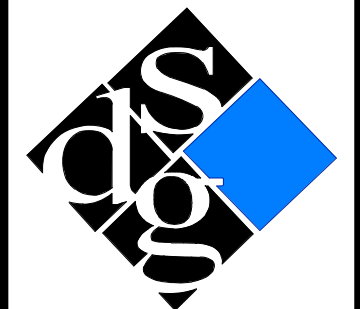


**C4 TRASH ENCLOSURE PLAN1**  
SCALE: 1/4" = 1'-0"



**A3 SITE PLAN**  
SCALE: 1" = 30'-0"

GENERAL NOTES:  
1. REFERENCE CIVIL FOR TRASH ENCLOSURE LOCATION.



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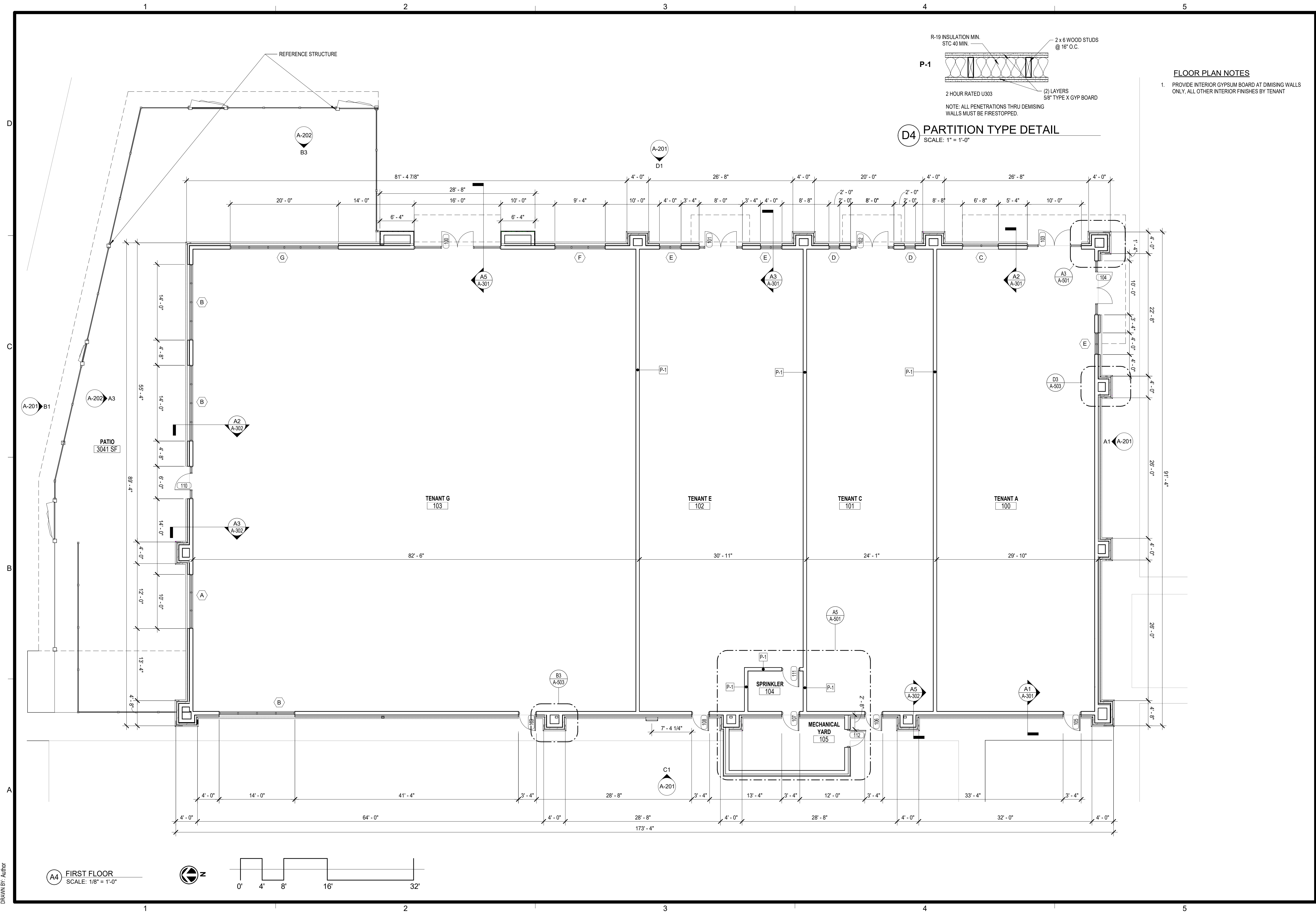
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SHEET TITLE  
SITE PLAN & DETAILS

PROJECT NUMBER  
**235008**

SHEET NUMBER  
**A-100**


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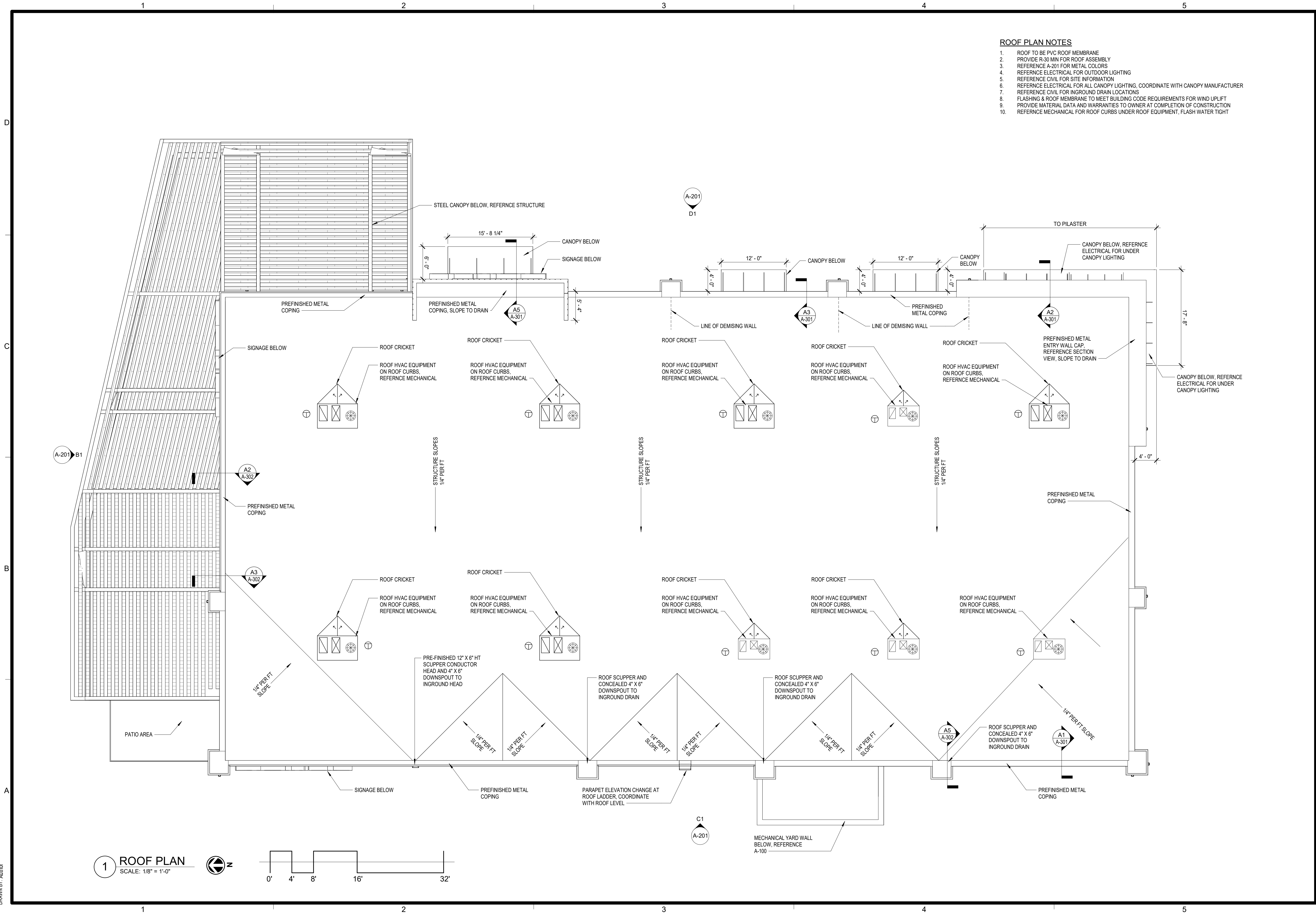
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PROJECT NUMBER  
**235008**

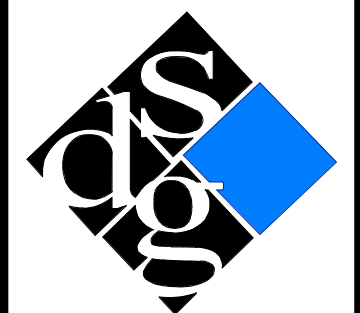
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- ROOF PLAN NOTES**
1. ROOF TO BE PVC ROOF MEMBRANE
  2. PROVIDE R-30 MIN FOR ROOF ASSEMBLY
  3. REFERENCE A-201 FOR METAL COLORS
  4. REFERENCE ELECTRICAL FOR OUTDOOR LIGHTING
  5. REFERENCE CIVIL FOR SITE INFORMATION
  6. REFERENCE ELECTRICAL FOR ALL CANOPY LIGHTING, COORDINATE WITH CANOPY MANUFACTURER
  7. REFERENCE CIVIL FOR INGROUND DRAIN LOCATIONS
  8. FLASHING & ROOF MEMBRANE TO MEET BUILDING CODE REQUIREMENTS FOR WIND UPLIFT
  9. PROVIDE MATERIAL DATA AND WARRANTIES TO OWNER AT COMPLETION OF CONSTRUCTION
  10. REFERENCE MECHANICAL FOR ROOF CURBS UNDER ROOF EQUIPMENT, FLASH WATER TIGHT



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**CORE & SHELL BUILDING**  
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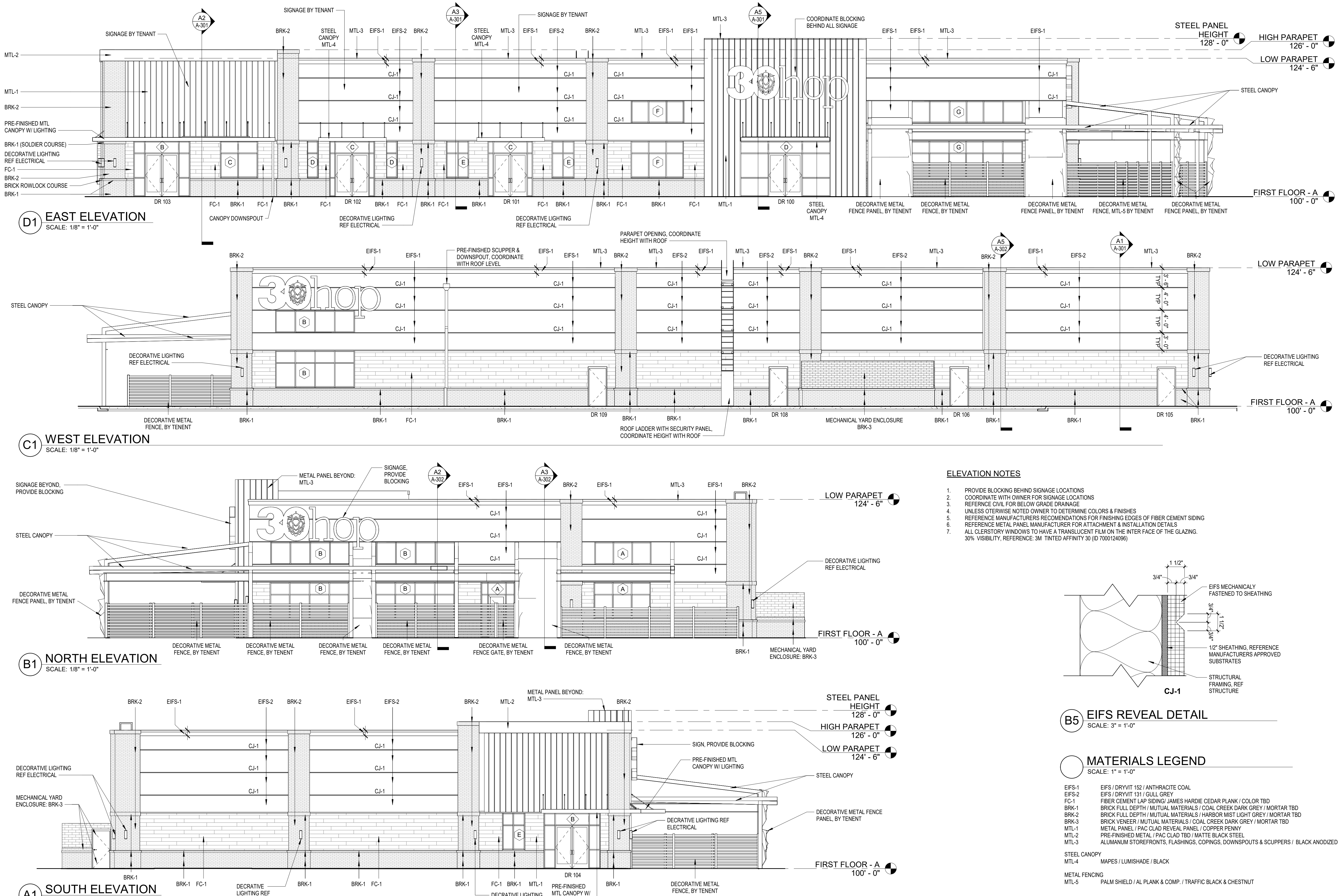
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ROOF PLAN

PROJECT NUMBER  
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SHEET NUMBER  
**A-102**

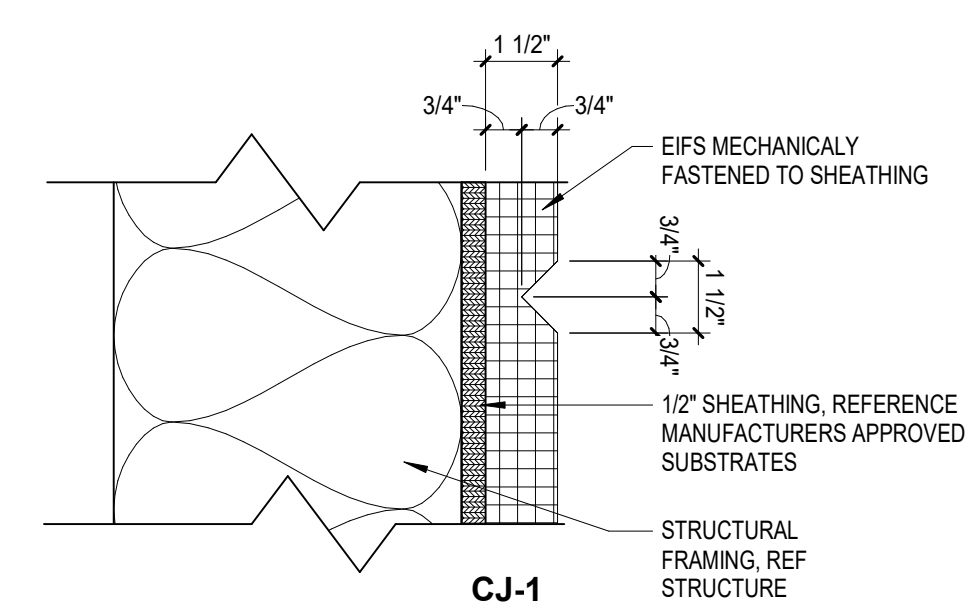


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ELEVATION NOTES

1. PROVIDE BLOCKING BEHIND SIGNAGE LOCATIONS
2. COORDINATE WITH OWNER FOR SIGNAGE LOCATIONS
3. REFERENCE CIVIL FOR BELOW GRADE DRAINAGE
4. UNLESS OTHERWISE NOTED OWNER TO DETERMINE COLORS & FINISHES
5. REFERENCE MANUFACTURERS RECOMMENDATIONS FOR FINISHING EDGES OF FIBER CEMENT SIDING
6. REFERENCE METAL PANEL MANUFACTURER FOR ATTACHMENT & INSTALLATION DETAILS
7. ALL CLERSTORY WINDOWS TO HAVE A TRANSLUCENT FILM ON THE INTER FACE OF THE GLAZING. 30% VISIBILITY, REFERENCE: 3M TINTED AFFINITY 30 (ID 7000124096)



B5 EIFS REVEAL DETAIL  
SCALE: 3" = 1'-0"

MATERIALS LEGEND  
SCALE: 1" = 1'-0"

- |               |                                                                                  |
|---------------|----------------------------------------------------------------------------------|
| EIFS-1        | EIFS / DRYVIT 152 / ANTHRACITE COAL                                              |
| EIFS-2        | EIFS / DRYVIT 131 / GULL GREY                                                    |
| FC-1          | FIBER CEMENT LAP SIDING / JAMES HARDIE CEDAR PLANK / COLOR TBD                   |
| BRK-1         | BRICK FULL DEPTH / MUTUAL MATERIALS / COAL CREEK DARK GREY / MORTAR TBD          |
| BRK-2         | BRICK FULL DEPTH / MUTUAL MATERIALS / HARBOR MIST LIGHT GREY / MORTAR TBD        |
| BRK-3         | BRICK VENEER / MUTUAL MATERIALS / COAL CREEK DARK GREY / MORTAR TBD              |
| MTL-1         | METAL PANEL / PAC CLAD REVEAL PANEL / COPPER PENNY                               |
| MTL-2         | PRE-FINISHED METAL / PAC CLAD TBD / MATTIE BLACK STEEL                           |
| MTL-3         | ALUMINUM STOREFRONTS, FLASHINGS, COPINGS, DOWNSPOUTS & SCUPPERS / BLACK ANODIZED |
| STEEL CANOPY  | MAPES / LUMISHADE / BLACK                                                        |
| MTL-4         |                                                                                  |
| METAL FENCING |                                                                                  |
| MTL-5         | PALM SHIELD / AL PLANK & COMP. / TRAFFIC BLACK & CHESTNUT                        |

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**CORE & SHELL BUILDING**  
**STREETS OF WEST PRYOR LOT 13**  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

SUBMISSION DATES  
PROGRESS PRINT ONLY

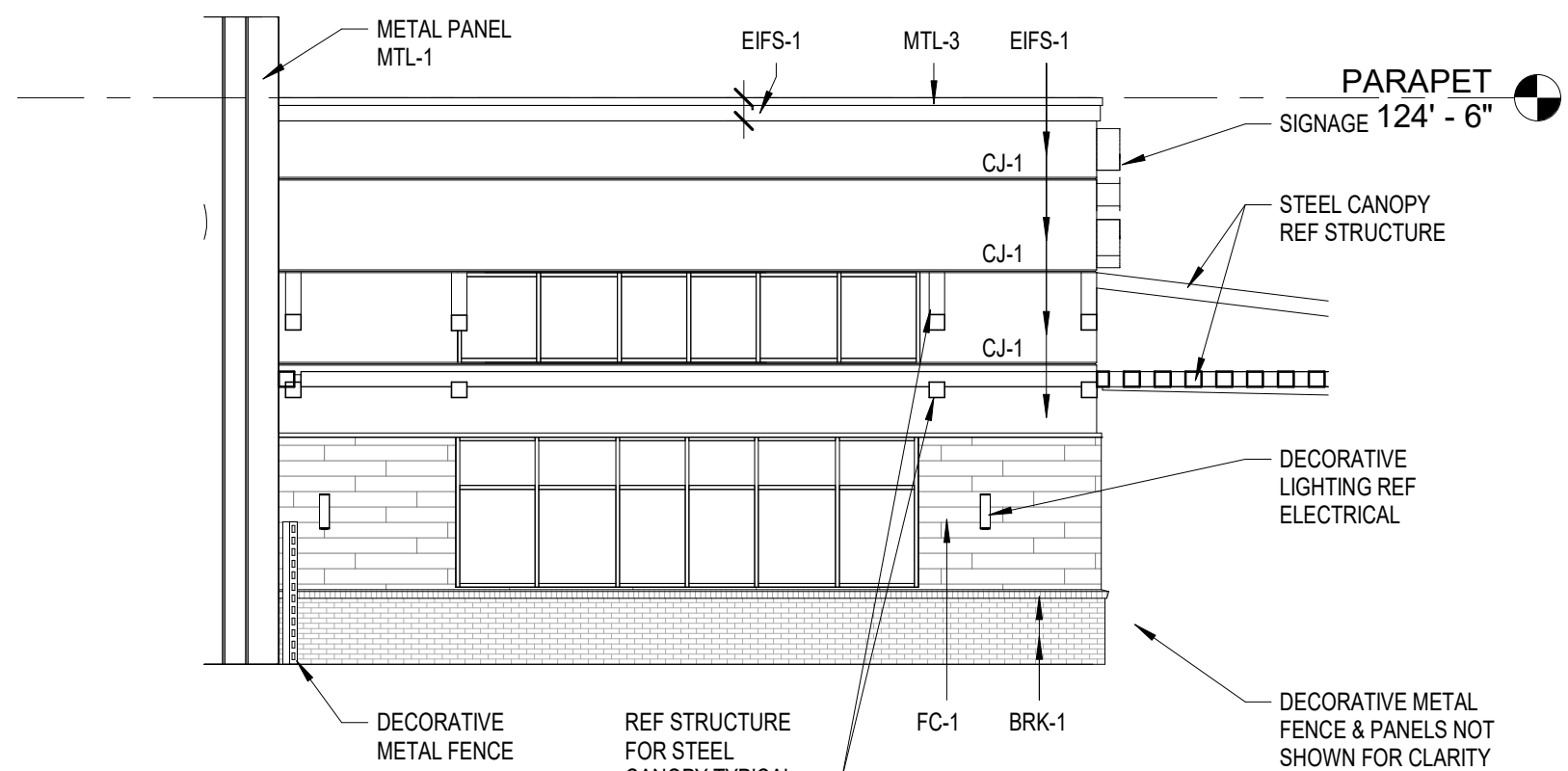
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PROJECT NUMBER  
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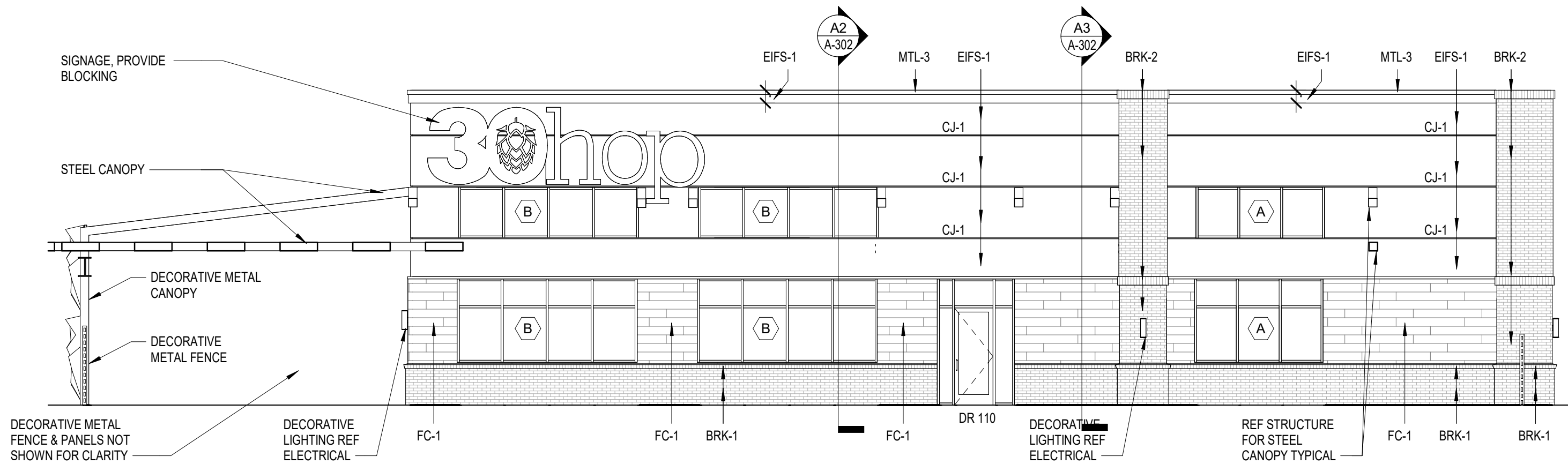
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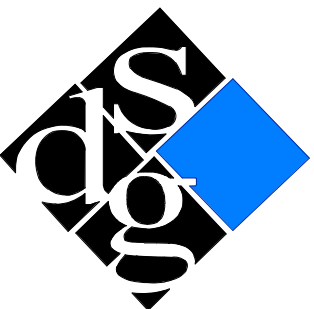
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DATE: 12/27/2023 4:09:10 PM  
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**B3** PARTIAL EAST ELEVATION AT BUILDING  
SCALE: 1/8" = 1'-0"  
( CANOPY OMITTED FOR CLARITY)



**A3** NORTH ELEVATION AT BUILDING ( CANOPY OMITTED FOR CLARITY)  
SCALE: 1/8" = 1'-0"



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**STREETS OF WEST PRYOR LOT 13**  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

SUBMISSION DATES

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SHEET TITLE

EXTERIOR ENLARGED

ELEVATION & FENCE DTLS

PROJECT NUMBER

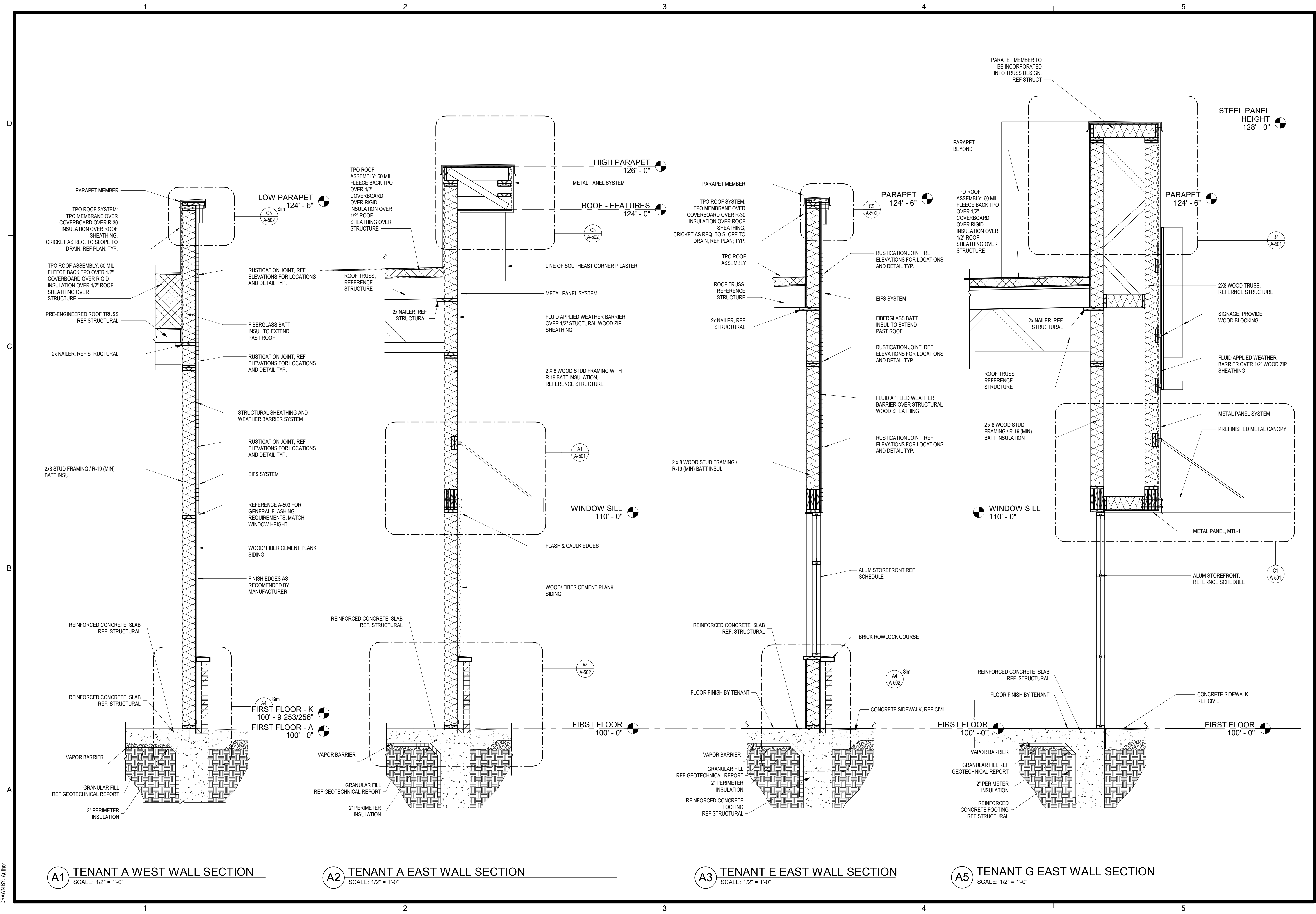
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**A1** TENANT A WEST WALL SECTION  
SCALE: 1/2" = 1'-0"

**A2** TENANT A EAST WALL SECTION  
SCALE: 1/2" = 1'-0"

**A3** TENANT E EAST WALL SECTION  
SCALE: 1/2" = 1'-0"

**A5** TENANT G EAST WALL SECTION  
SCALE: 1/2" = 1'-0"

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**CORE & SHELL BUILDING**  
**STREETS OF WEST PRYOR LOT 13**  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

SUBMISSION DATES  
PROGRESS PRINT ONLY

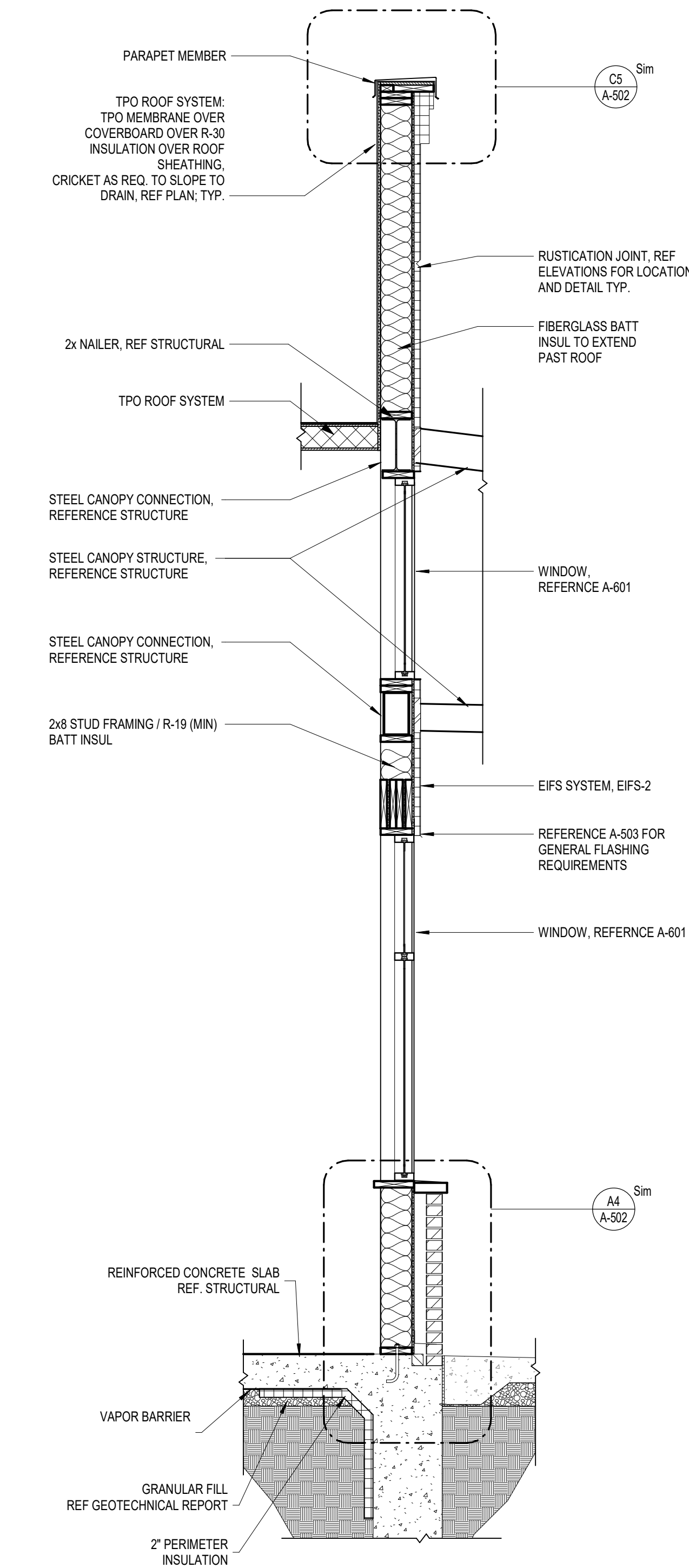
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WALL SECTIONS

PROJECT NUMBER  
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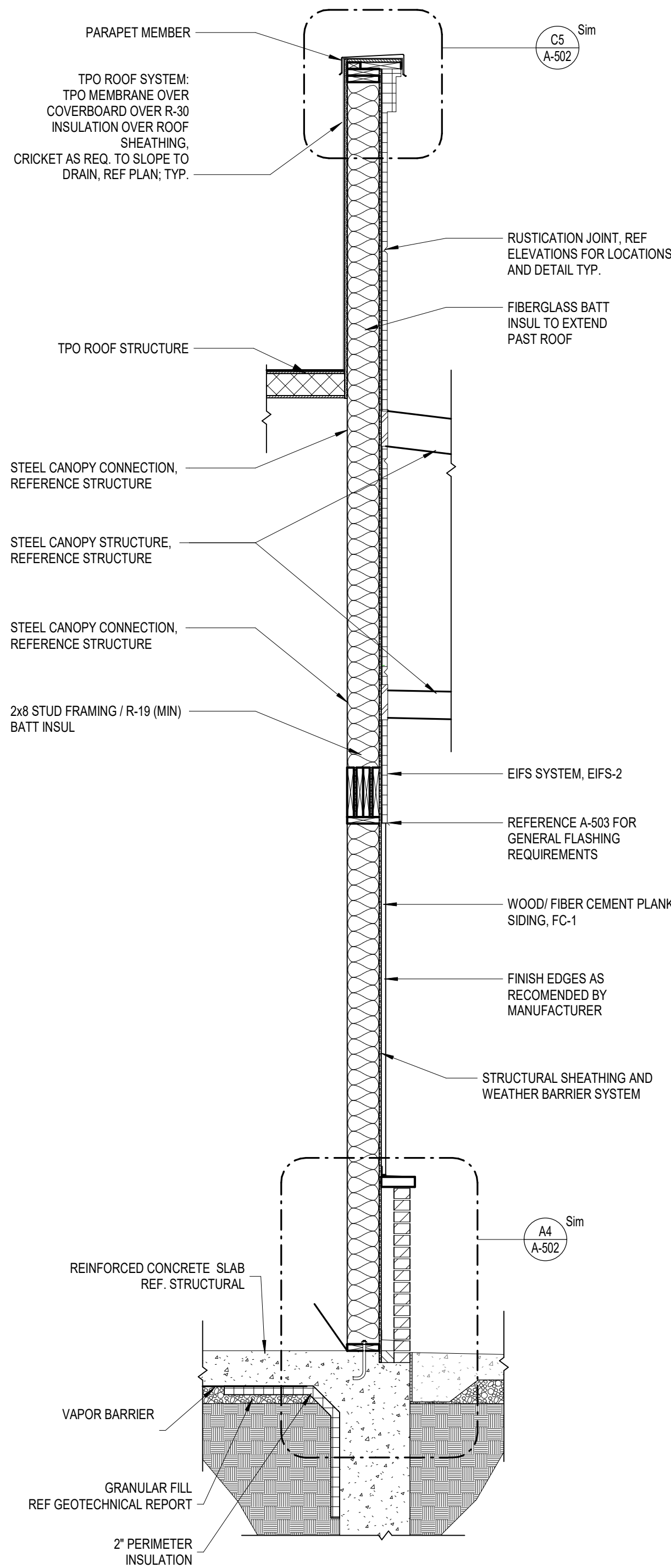
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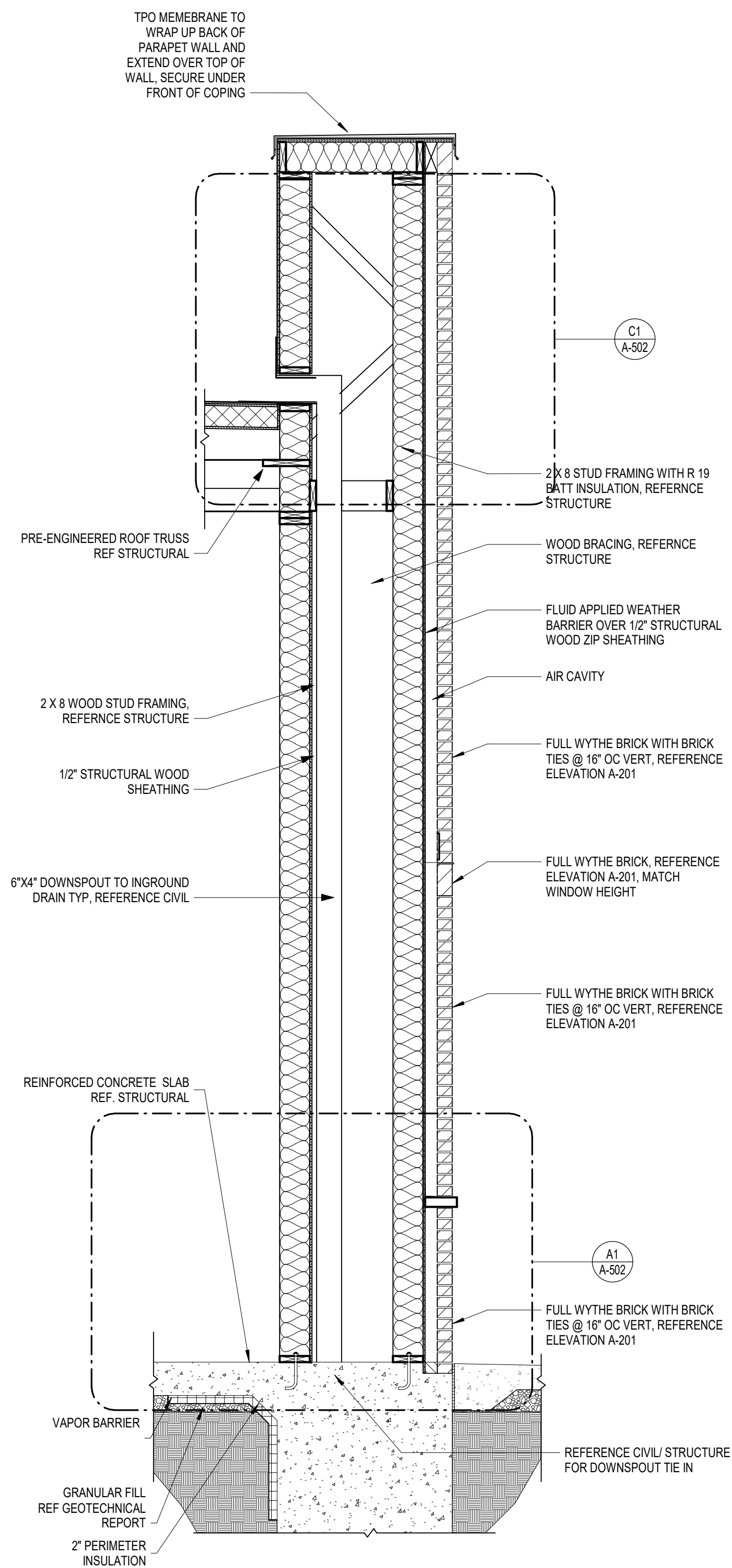
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**A2** TENANT A NORTH WALL SECTION @ WINDOWS  
SCALE: 1/2" = 1'-0"



**A3** TEANAT A NORTH WALL SECTION  
SCALE: 1/2" = 1'-0"




**A5** TENANT C WEST WALL SECTION  
SCALE: 1/2" = 1'-0"



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**CORE & SHELL BUILDING**  
**STREETS OF WEST PRYOR LOT 13**  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

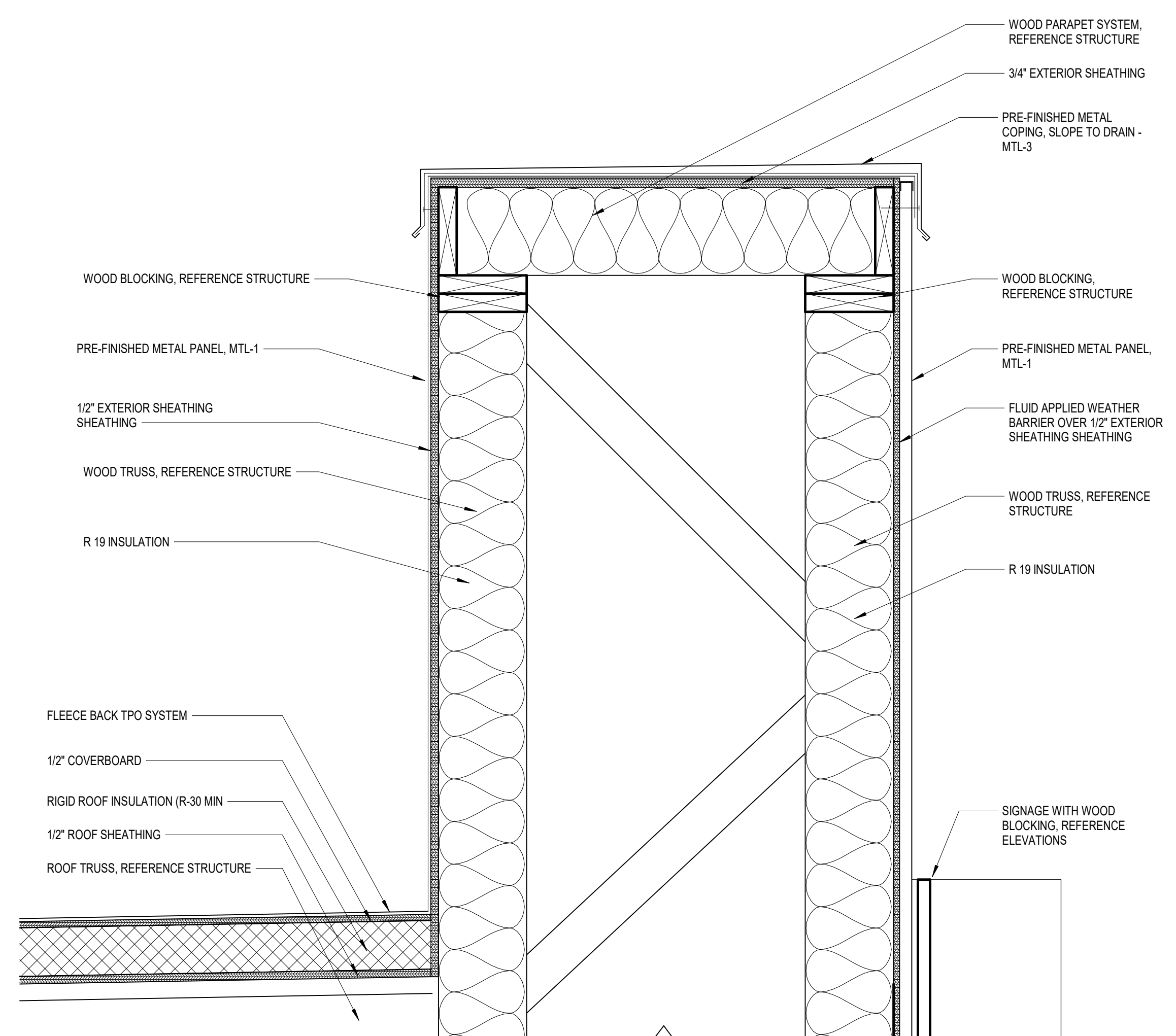
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WALL SECTIONS

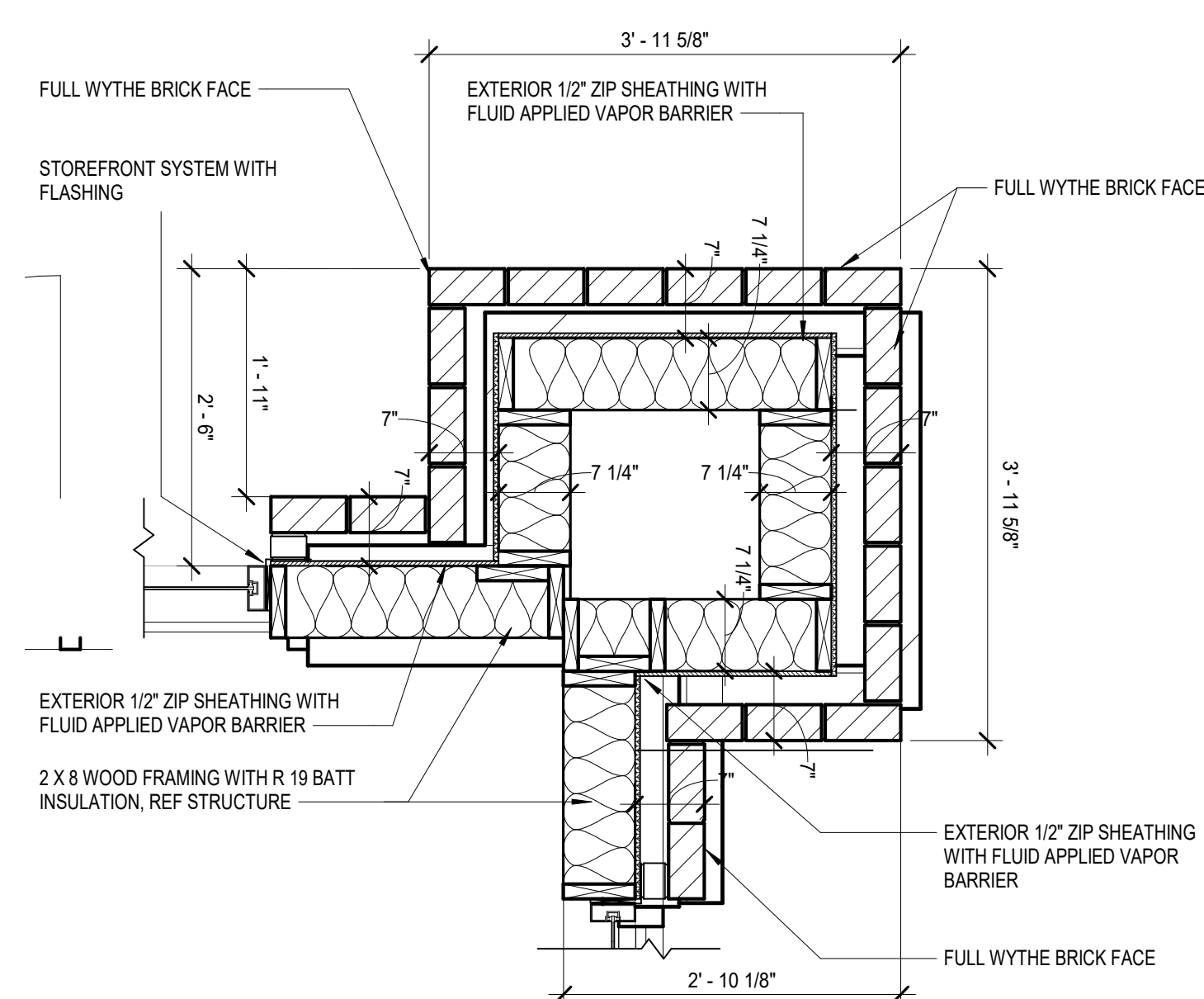
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SHEET NUMBER  
**A-302**





**B4** EAST PARAPET @ TENANT G  
SCALE: 1 1/2" = 1'-0"

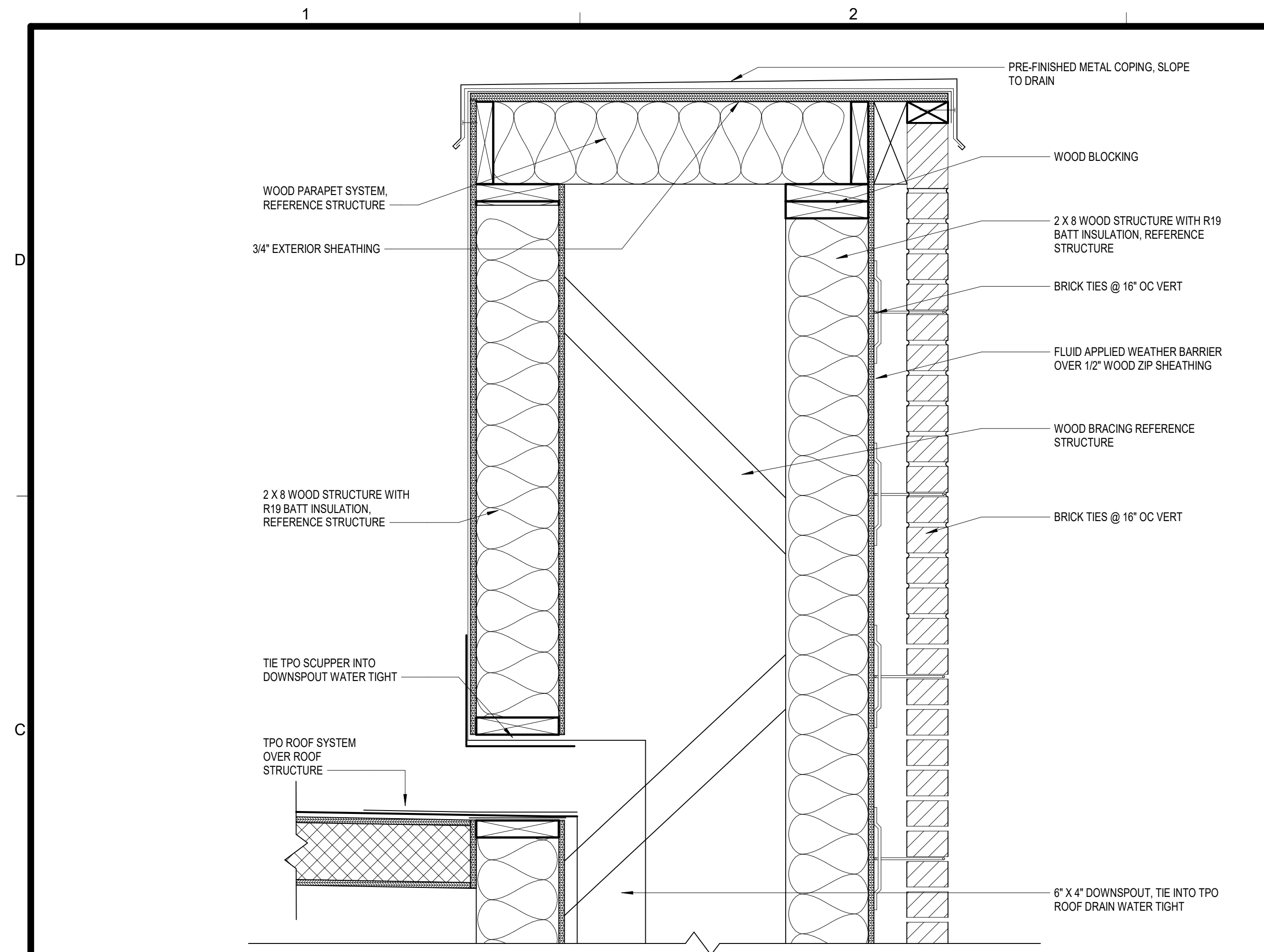


**A3 SOUTHEAST BUILDING CORNER ENLARGED PLAN**  
SCALE: 3/4" = 1'-0"

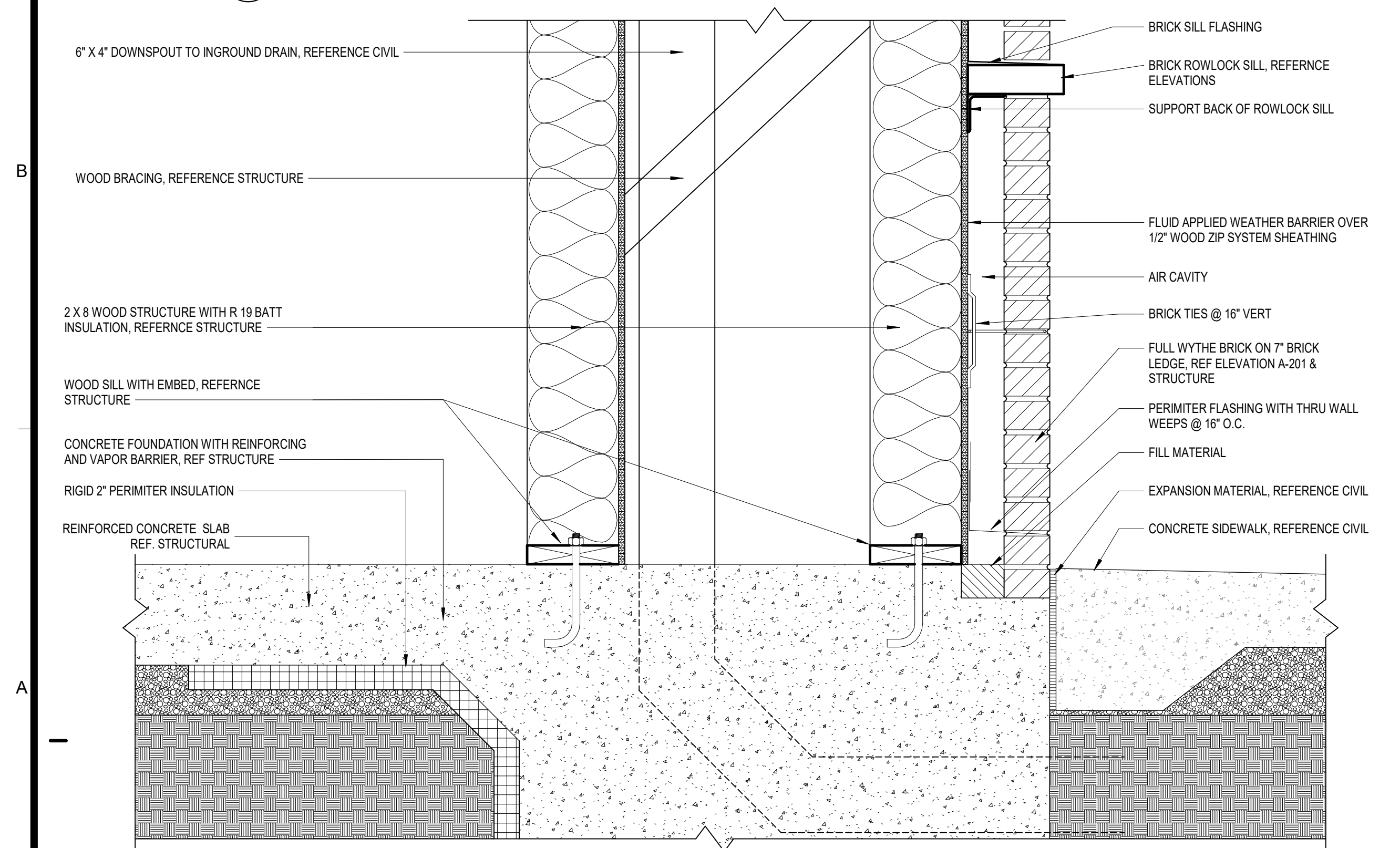




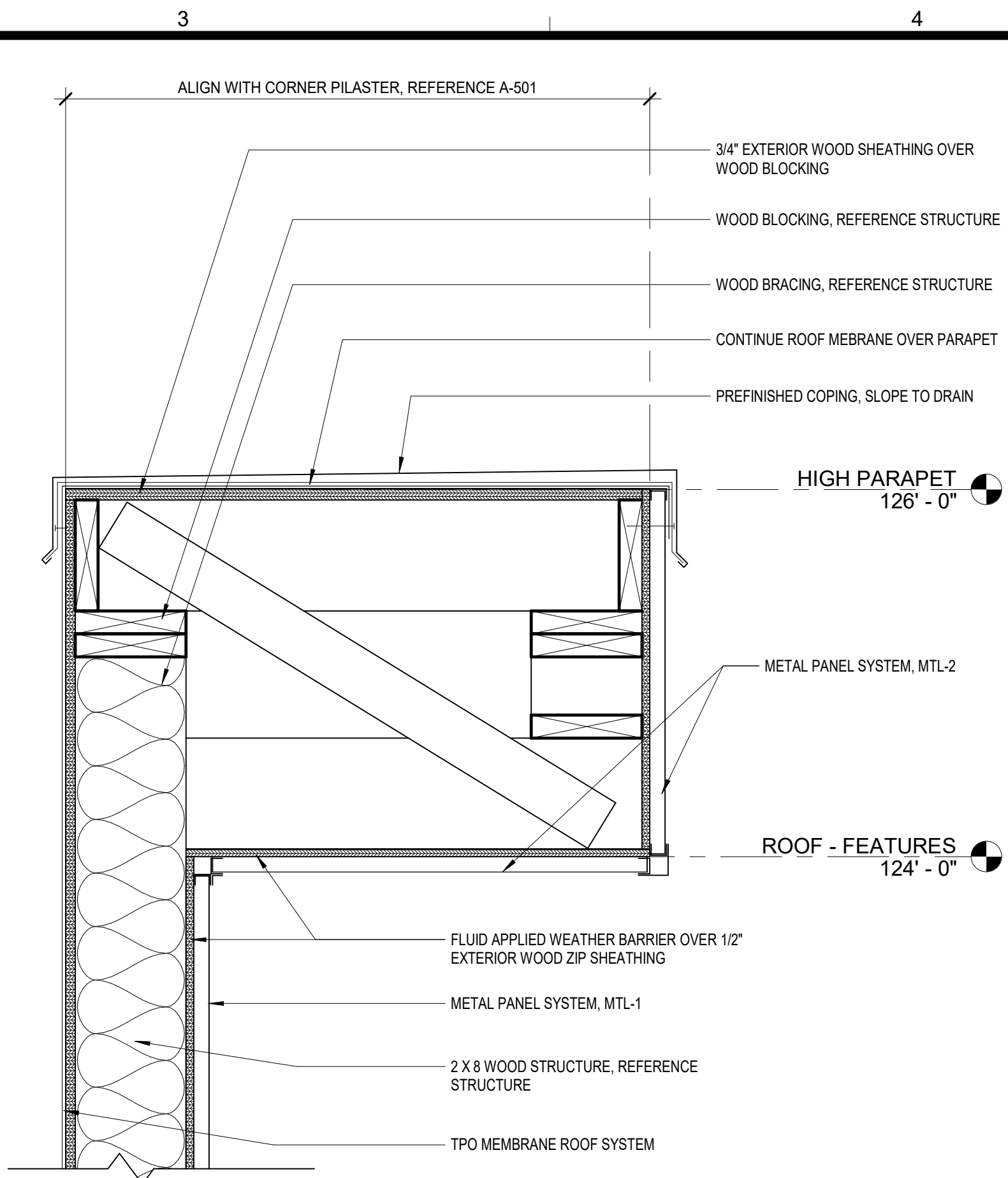
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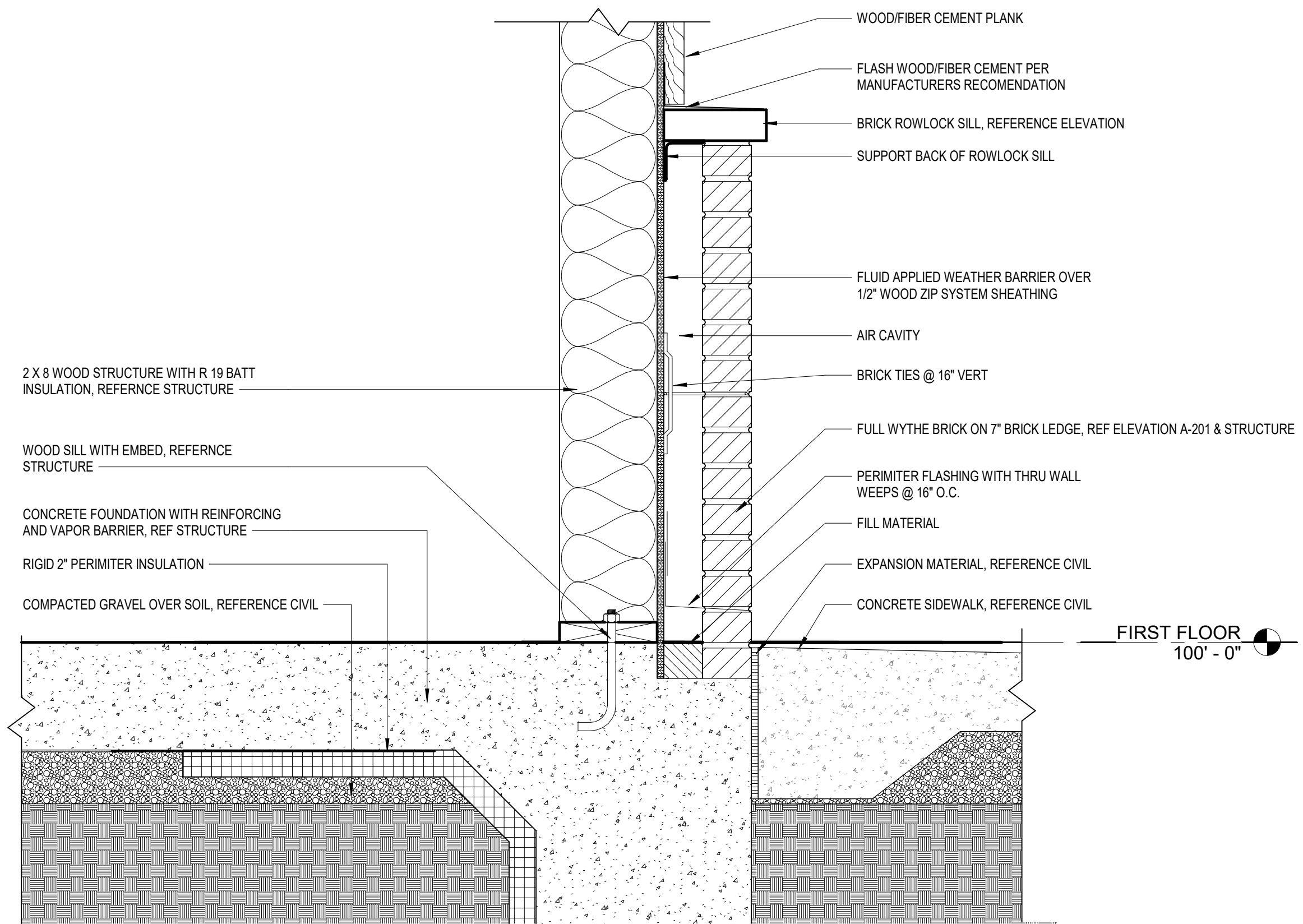
**C1 PILASTER PARAPET @ WEST WALL**  
SCALE: 1 1/2" = 1'-0"



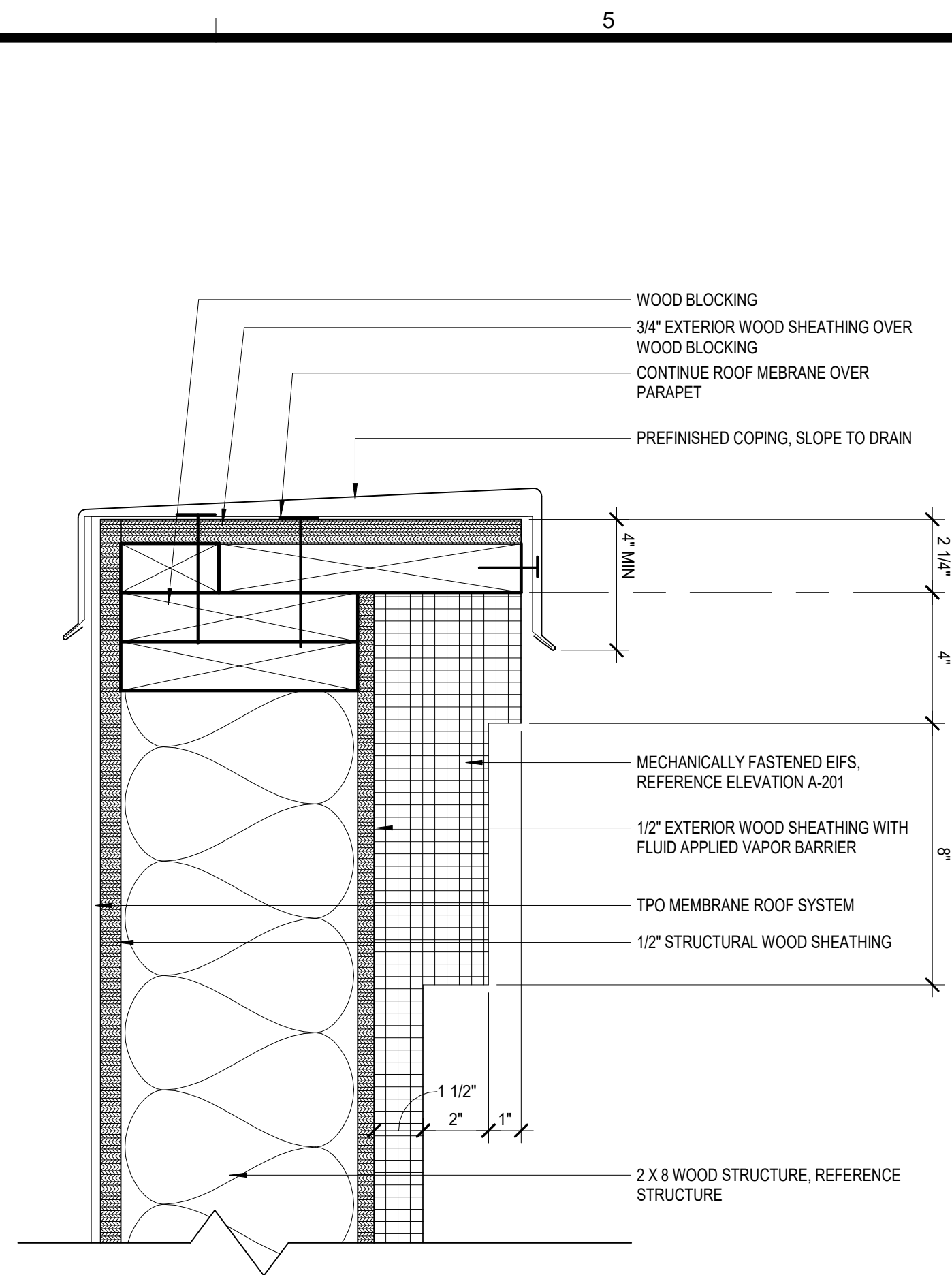
**A1 PILASTER BASE @ WEST WALL**  
SCALE: 1 1/2" = 1'-0"




**C3 TENANT A PARAPET @ EAST WALL**  
SCALE: 1 1/2" = 1'-0"




**A4 WALL BASE SECTION**  
SCALE: 1 1/2" = 1'-0"



**C5 TYPICAL EIFS PARAPET**  
SCALE: 3" = 1'-0"



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**CORE & SHELL BUILDING**  
**STREETS OF WEST PRYOR LOT 13**  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI

SUBMISSION DATES  
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SHEET TITLE  
BUILDING DETAILS

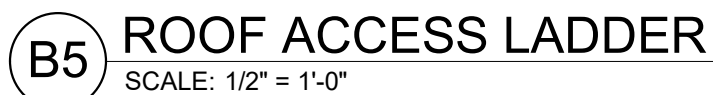
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SHEET NUMBER  
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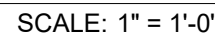
- D4** GENERAL FLASHING DETAIL  
SCALE: 12" = 1'-0"



**CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
1020 NW PRYOR ROAD, LEES SUMMIT, MISSOURI**

SHEET NUMBER  
**A-503**





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STRUCTURAL GENERAL NOTES

GENERAL NOTES:

ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE OTHER PROJECT DRAWINGS AND SPECIFICATIONS. THE MATERIAL REQUIREMENTS IN THESE NOTES ARE TO BE CONSIDERED AS MINIMUM. SPECIFICATIONS SHALL GOVERN WHEN MORE STRINGENT.

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND MAKE NECESSARY INVESTIGATIONS AND FIELD MEASUREMENTS. INFORM ENGINEER OF ALL DISCREPANCIES.

THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATIONS OF PENETRATIONS AND EMBEDDED ITEMS THROUGH THE STRUCTURE FOR ALL TRADES. PENETRATIONS SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

SEE MECHANICAL, ELECTRICAL, ARCHITECTURAL DRAWINGS FOR ANCHORS, PIPE SLEEVES, CONDUITS OR OTHER ITEMS TO BE EMBEDDED IN OR PASS THROUGH CONCRETE. IN GENERAL, EMBEDMENTS AND PENETRATIONS LESS THAN 12 INCHES IN DIAMETER ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS.

SEE ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS AND WALL OPENING DIMENSIONS.

STRUCTURAL ELEMENTS ARE NON-SELF SUPPORTING AND REQUIRE INTERACTION WITH OTHER ELEMENTS FOR STABILITY. FRAMING AND WALLS SHALL BE TEMPORARILY BRACED BY THE CONTRACTOR UNTIL PERMANENT BRACING, FLOOR AND ROOF DECKS AND WALLS HAVE BEEN INSTALLED AND CONNECTIONS BETWEEN THESE ELEMENTS HAVE BEEN MADE.

SUPPORT OF ALL NON-STRUCTURAL ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NON-STRUCTURAL ELEMENTS ARE THOSE THAT DO NOT CONTRIBUTE TO THE DIRECT LOAD PATH OF BOTH THE GRAVITY AND LATERAL FORCE RESISTING SYSTEMS. THESE ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO PARTITIONS, FINISHES, MILLWORK, MECHANICAL EQUIPMENT, DUCTWORK, PIPING, LIGHT FIXTURES, ELECTRICAL CONDUIT, STORAGE RACKS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THESE ELEMENTS ARE ADEQUATELY CONNECTED TO THE STRUCTURE TO RESIST ALL APPLIED LOADS. NOTIFY THE STRUCTURAL ENGINEER OF RECORD IF UNUSUAL SUPPORT CONDITIONS EXIST.

WORK REQUIRING SPECIAL INSPECTIONS SHALL BE INSPECTED ACCORDING TO THE BUILDING CODE AND INCLUDES: CONCRETE, REINFORCING STEEL, STRUCTURAL WELDING, HIGH-STRENGTH BOLTING, AND MASONRY. RE: SPECIAL INSPECTION PROGRAM TABLE WHEN APPLICABLE.

DESIGN CRITERIA:

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT, MISSOURI.

RISK CATEGORY: II

LIVE LOADS:  
ROOF: 20 PSF

SNOW LOADS:  
GROUND SNOW LOAD, Pg: 20 PSF  
FLAT-ROOF SNOW LOAD, Pf: 20 PSF  
SNOW EXPOSURE FACTOR, Ce: 0.9  
SNOW LOAD IMPORTANCE FACTOR, Is: 1.0  
THERMAL FACTOR, Ct: 1.0

WIND LOAD:  
BASIC WIND SPEED: 115 MPH  
EXPOSURE CATEGORY: C  
BASIC INTERNAL PRESSURE COEFFICIENT, Gcpi: ±0.18  
BASIC COMPONENTS AND CLADDING PRESSURE (ADJUSTED TO COMPLY WITH BUILDING CODE):  
±20 PSF @ INTERIOR ZONES  
±25 PSF @ END ZONES

SEISMIC LOAD:  
SEISMIC IMPORTANCE FACTOR, Ie: 1.0  
SPECTRAL RESPONSE ACCELERATIONS:  
Ss: 0.1563  
S1: 0.0570  
SPECTRAL RESPONSE COEFFICIENTS:  
Sds: 0.167  
Sd1: 0.091  
SITE CLASS: D  
SEISMIC DESIGN CATEGORY: B  
BASIC SEISMIC-FORCE-RESISTING SYSTEM: LIGHT-FRAMED WALLS WITH WOOD STRUCTURAL PANELS & STEEL ORDINARY MOMENT FRAMES  
DESIGN BASE SHEAR: Cs x W  
SEISMIC RESPONSE COEFFICIENTS, Cs: 0.0256 & 0.0476  
RESPONSE MODIFICATION FAIOR, R: 6.5 & 3.5  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE

FOUNDATION AND EARTHWORK NOTES:

REFER TO THE GEOTECHNICAL EXPLORATION AND FOUNDATION RECOMMENDATIONS: WEST PRYORVILLAGE, LEE'S SUMMIT, MISSOURI / COOK, FLATT, & STROBEL ENGINEERS PA, KANSAS CITY, KANSAS (CFS NO 18-5125) / JUNE 15, 2018.

THE FOUNDATION BEARING MATERIAL SHALL BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER BEFORE FOUNDATIONS ARE CONSTRUCTED.

AT STEPPED FOOTINGS, THE LOWER FOOTING SHALL BE PLACED FIRST.

FOUNDATIONS HAVE BEEN DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 2,500 PSF FOR CONTINUOUS FOOTINGS AND 3,000 PSF FOR ISOLATED SPREAD FOOTINGS. FOUNDATIONS SHALL BEAR DIRECTLY ON A 24-INCH THICK, GEOGRID REINFORCED AGGREGATE PAD (GRAP) DESIGNED AND CONSTRUCTED AS OUTLINED IN THE GEOTECHNICAL REPORT, SECTION 7.2.

WALL FOUNDATION SHALL BEAR AT MINIMUM OF 3'-0" BELOW ADJACENT FINISH GRADE, UNLESS OTHERWISE NOTED.

UNUSUAL CONDITIONS OR CHANGES TO THE FOUNDATIONS AS REQUIRED BY FIELD CONDITIONS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREP REQUIREMENTS FOR SLAB-ON-GRADE CONSTRUCTION. PREPARED SUBGRADES EXCAVATED TO INSTALL UTILITIES BELOW FLOOR SLABS SHALL BE BACKFILLED AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.

REFER TO GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.

MAINTAIN ALL EXCAVATIONS FREE OF WATER.

CONCRETE NOTES:

CONCRETE SHALL HAVE THE FOLLOWING UNLESS OTHERWISE SPECIFIED (SELECT PROPORTIONS FOR CONCRETE IN ACCORDANCE WITH ACI 318):

	MAX WATER/CEMENT RATIO	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS
INTERIOR SLAB ON GRADE	0.45	3,000 PSI
FOOTINGS	0.45	4,500 PSI
FOUNDATION WALLS	0.45	4,500 PSI
GRADE BEAMS	0.45	4,500 PSI
DRILLED PIERS	0.50	4,000 PSI
CONCRETE ON STEEL DECK	0.45	3,000 PSI

REINFORCING STEEL SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II.

AGGREGATES SHALL CONFORM TO ASTM C33. COARSE AGGREGATE SHALL CONSIST OF 1" MAXIMUM AGGREGATE SIZE. COMBINED GRADATION SHALL HAVE A UNIFORM DISTRIBUTION AS FOLLOWS:  
5-20% RETAINED ON 3/4", 1/2", 3/8", NO. 4, NO. 8, NO. 16, NO. 30 AND NO. 50 SIEVES; LESS THAN 5% PASSING NO. 50 SIEVE.

MATERIALS AND ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE.

ALL EXTERIOR AND CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL BE AIR-ENTRAINED 6%(±) BY VOLUME. THIS INCLUDES BUT IS NOT LIMITED TO FOOTINGS, FOUNDATION WALLS AND GRADE BEAMS.

SLEEVES, OPENINGS, OR OTHER ATTACHMENTS NOT SHOWN ON DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING CONCRETE.

MINIMUM TENSION LAP SPLICE LENGTHS AND TENSION DEVELOPMENT LENGTHS SHALL BE AS SCHEDULED, UNLESS NOTED OTHERWISE ON THE DRAWINGS. WELDED WIRE FABRIC SHALL LAP ONE (1) FULL SQUARE PLUS TWO (2) INCHES.

MAINTAIN CONCRETE COVER AS SCHEDULED.

REINFORCING STEEL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI MANUAL OF STANDARD PRACTICE.

ALL REINFORCING AND EMBEDDED ANCHOR BOLTS SHALL BE ACCURATELY PLACED AND TIED PRIOR TO POURING CONCRETE. "STABBING" OF DOWELS OR ANCHOR BOLTS IS NOT ALLOWED.

CONSTRUCTION JOINTS IN WALLS AND ELEVATED FORMED SLABS SHALL BE KEYED (1 1/2" DEEP BY 1/3 MEMBER AREA) AND REINFORCING SHALL CONTINUE THROUGH JOINT OR BE TENSION LAP SPLICED. CONSTRUCTION JOINTS SHALL BE LOCATED BY THE CONTRACTOR TO LEAST IMPAIR THE STRUCTURE. JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.

EMBEDDED CONDUIT SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN 1/3 THE OVERALL THICKNESS OF SLAB, WALL OR BEAM IN WHICH THEY ARE EMBEDDED. THEY SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER.

CONDUIT LOCATED WITH CONCRETE SECTIONS SHALL COMPLY WITH ACI 318 REQUIREMENTS.

INTERIOR FLOOR SLABS SHALL COMPLY WITH ACI 117, SHALL MEET THE REQUIREMENTS OF A TYPE 5, SINGLE COURSE, HARD STEEL-TROWELED FINISH AS DESCRIBED IN ACI 302, AND SHALL ACHIEVE AN OVERALL FF25/FL20 TOLERANCE.

ADHESIVE ANCHORS IN CONCRETE OR FULLY GROUTED MASONRY SHALL BE ITW RAMSET/REDHEAD EPCON CERAMIC 6 SYSTEM, HILTI HY200, OR SIMPSON AT-XP. ADHESIVE ANCHORS FOR HOLLOW BLOCK AND OTHER MASONRY SHALL BE HILTI HY270 OR SIMPSON SET-XP.

STRUCTURAL STEEL ENCASED WITHIN CONCRETE SHALL COMPLY WITH AISC TOLERANCES.

MASONRY NOTES:

CONSTRUCT MASONRY IN ACCORDANCE WITH THE IBC. MASONRY REQUIRES LEVEL 1 QUALITY ASSURANCE (RE: SPECS). ALL MASONRY SHALL BE LAID IN RUNNING (COMMON) BOND USING THE LOW-LIFT METHOD OF GROUTING. REFER ARCHITECTURAL PLAN FOR ALL BLOCK COURSING.

MASONRY DESIGN IS BASED ON A MINIMUM COMPRESSIVE STRENGTH (F'm) OF ASSEMBLY OF 1,500 PSI.

MASONRY UNITS SHALL MEET THE REQUIREMENTS OF ASTM C-90, GRADE N, WITH A NET AREA COMPRESSIVE STRENGTH OF 1,900 PSI.

MORTAR SHALL BE PREPARED IN ACCORDANCE WITH ASTM C-270. PROVIDE TYPE M MORTAR AT ALL MASONRY BELOW GRADE AND TYPE S AT ALL OTHER MASONRY.

GROUT SHALL BE PREPARED IN ACCORDANCE WITH ASTM C-476, WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS.

REINFORCING STEEL SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

LAP SPLICE BAR REINFORCEMENT FOR MASONRY PER LAP SCHEDULE AND JOINT REINFORCEMENT A MINIMUM OF 6 INCHES.

CONCRETE MASONRY UNITS BELOW GRADE SHALL BE SOLID GROUTED.

CELLS WITH REINFORCING SHALL BE SOLID GROUTED AND VIBRATED.

STRUCTURAL STEEL NOTES:

STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED:  
WIDE FLANGE SHAPES (W, WT): ASTM A992 (Fy=50 KSI)  
OTHER ROLLED SHAPES (M, S, HP, C, L): ASTM A36 (Fy=36 KSI)  
STEEL PIPE: ASTM A53, GRADE B (Fy=35 KSI)  
SQUARE AND RECTANGULAR TUBE: ASTM A500, GRADE B (Fy=46 KSI)  
ANCHOR BOLTS: ASTM F1554, GRADE 36  
HEADED ANCHOR STUDS: ASTM A108, GRADES 1010 TO 1020  
PLATES AND BARS: ASTM A36 (Fy=36 KSI)

SHEAR CONNECTORS AND HEADED WELDED STUDS OF TYPE AND SIZE NOTED SHALL BE TYPE B.

STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROPER FIT IN THE FIELD OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ALL CONNECTIONS NOT FULLY DESIGNED OR DETAILED ON THE CONTRACT DOCUMENTS.

ANCHOR BOLTS SHALL BE ASTM F1554, A36 UNO. ANCHOR BOLTS SHALL BE SET WITH TEMPLATES WITH THE APPROPRIATE BOLT PROJECTION, 4" MINIMUM UNO. PROVIDE DOUBLE NUTS AND DOUBLE WASHERS FOR STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION.

NON-SHRINK GROUT UNDER BASE PLATES SHALL BE NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.

HIGH STRENGTH BOLTED CONNECTIONS SHALL CONFORM TO THE AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING A325 BOLTS. UNLESS OTHERWISE NOTED, HIGH STRENGTH BOLTS MAY BE TIGHTENED BY ANY METHOD THEREIN. REGARDLESS OF THE METHOD USED IN TIGHTENING, A HARDENED WASHER SHALL BE USED UNDER THE TURNED ELEMENT. UNLESS OTHERWISE NOTED, BOLTED CONNECTIONS SHALL BE MADE WITH 3/4"Ø, ASTM A325 HIGH STRENGTH BOLTS.

CONNECTIONS REQUIRING FULL PRETENSIONING ARE SLIP-CRITICAL, AND INCLUDE BOLTED COLUMN SPLICES AND CONNECTIONS SUBJECT TO DIRECT TENSION.

ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STRUCTURAL WELDING CODE, AWS D1.1. UNLESS NOTED OTHERWISE, MINIMUM WELD SIZE SHALL BE PER AISC 360, BUT SHALL BE NO LESS THAN 3/16" FILLET.

FIELD WELDING SHALL NOT BE STARTED UNTIL JOINT ELEMENTS ARE BOLTED IN INTIMATE CONTACT AND/OR ADJUSTED TO DIMENSIONS INDICATED WITH ALLOWANCE FOR EXPECTED WELD SHRINKAGE. MAINTAIN PLUMBNESS AND TRUENESS OF THE STRUCTURE.

FIELD WELDS FOR STRUCTURAL STEEL SHALL BE MADE WITH LOW HYDROGEN ELECTRODES. WELD FILLER METAL SHALL HAVE A MINIMUM TENSILE STRENGTH OF 70 KSI.

WOOD NOTES:

GENERAL STRUCTURAL WOOD FRAMING SHALL MEET THE MINIMUM STRESS REQUIREMENTS FOR DOUGLAS-FIR #2 AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.

ROOF SHEATHING SHALL BE 5/8" (19/32" MIN) PLYWOOD WITH A SPAN RATING OF AT LEAST 32/16. PANELS SHALL BE NAILED WITH 10d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. 1/8" GAP BETWEEN INDIVIDUAL SHEETS. PLYWOOD SHALL BE APA RATED C-D EXTERIOR AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.

ALL WOOD-TO-WOOD CONNECTIONS SHALL MEET THE MINIMUM NAILING REQUIREMENTS OF THE BUILDING CODE.

PROVIDE SIMPSON CONNECTION HARDWARE AS SHOWN ON THE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO USE. INSTALL CONNECTION HARDWARE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

WALL SHEATHING SHALL BE 1/2" OSB ON THE EXTERIOR FACE OF ALL EXTERIOR WALLS. PANELS SHALL BE NAILED WITH 10d GALVANIZED NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL PANEL EDGES SHALL BE BLOCKED.

INSTALL ALL ROOF PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL PERPENDICULAR TO THE SUPPORTS WITH A MINIMUM OF TWO SPANS FOR EACH PANEL. STAGGER ALL END JOINTS. PROVIDE 1/8" SPACE AT PANEL JOINTS FOR EXPANSION PER APA.

PREFABRICATED WOOD TRUSS NOTES:

SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PRE-FABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE IBC.

TRUSSES SHALL BE CONFIGURED TO FOLLOW FINAL ROOF LINES, UNLESS NOTED OTHERWISE.

TRUSSES SHALL BE DESIGNED FOR ALL LOAD COMBINATIONS REQUIRED BY THE BUILDING CODE. IN NO CASE SHALL THE DEAD LOAD BE LESS THAN 15 PSF ON THE TOP CHORD AND 10 PSF ON THE BOTTOM CHORD.

TRUSS MANUFACTURER SHALL SUPPLY ALL TRUSS CONNECTIONS USING PREFABRICATED STEEL CONNECTORS AS REQUIRED.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TEMPORARY AND PERMANENT BRACING IN ADDITION TO ANY BRACING INDICATED ON THE PLANS.

ALL TEMPORARY AND PERMANENT BRACING FOR INDIVIDUAL TRUSS MEMBERS SHALL BE DESIGNED BY AND STAMPED BY A PROFESSIONAL ENGINEER PROVIDED BY CONTRACTOR AND/OR TRUSS MANUFACTURER. APPLIED ROOF SHEATHING AND OTHER ROOFING MATERIALS SHALL NOT BE ASSUMED TO PROVIDE SUFFICIENT BRACING FOR TRUSS CHORDS.

SHOP FABRICATED WOOD TRUSSES SHALL MEET DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE. PROVIDE PERMANENT AND TEMPORARY BRACING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

COORDINATE ALL TRUSS DETAILS WITH ARCHITECTURAL PLANS.

SPLICE & DEVELOPMENT LENGTHS FOR REINFORCEMENT  
(UNLESS NOTED OTHERWISE ON THE DRAWINGS)

fy = 60,000 psi  
f'c = 3,000 psi

BAR SIZE	LENGTH OF LAPPED SPLICES FOR REINFORCEMENT (INCHES)		LENGTH OF END ANCHORAGE FOR DEVELOPMENT OF REINFORCEMENT (INCHES)			HOOK LENGTH	BAR SIZE
	TOP BARS*	OTHERS	TOP BARS*	OTHERS	HOOKEED BARS		
3	28	22	22	17	9	6	3
4	38	29	29	22	11	8	4
5	47	36	36	28	14	10	5
6	56	43	43	33	17	12	6
7	81	63	63	48	20	14	7
8	93	72	72	55	22	16	8
9	105	81	81	62	25	20	9
10	118	91	91	70	28	22	10
11	131	101	101	78	31	24	11
14	--	--	121	93	38	31	14
18	--	--	161	124	50	41	18

\*TOP BARS ARE HORIZONTAL BARS SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR. HORIZONTAL BARS IN WALLS ARE TO BE CONSIDERED AS TOP BARS. VERTICAL BARS MAY BE CONSIDERED AS OTHER BARS.

UNLESS EITHER OF THE FOLLOWING TWO CASES EXIST FOR STRAIGHT BARS, THE DEVELOPMENT OR SPLICE LENGTH FOR STRAIGHT BARS IN THE ABOVE TABLE MUST BE MULTIPLIED BY 1.5:

I. THE CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER, THE CLEAR COVER IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER, AND STIRRUPS OR TIES PROVIDED THROUGHOUT THE DEVELOPMENT OR SPLICE LENGTH MEET OR EXCEED THE CODE MINIMUM.

II.THE CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED IS GREATER THAN OR EQUAL TO TWO BAR DIAMETERS AND THE CLEAR COVER IS GREATER THAN OR EQUAL TO ONE BAR DIAMETER.

THE DEVELOPMENT LENGTH FOR HOOKED BARS, SIZE 11 AND SMALLER, PLACED WITH SIDE COVER GREATER THAN OR EQUAL TO 2 1/2" AND COVER ON THE BAR EXTENSION BEYOND THE HOOD (90° HOOK ONLY) GREATER THAN OR EQUAL TO 2", MAY BE MULTIPLIED BY 0.7.

VALUES IN THE ABOVE TABLE ARE NOT TO BE USED FOR EPOXY COATED REINFORCING AND/OR REINFORCING PLACED IN CONCRETE CONTAINING LIGHTWEIGHT AGGREGATE.

CONCRETE COVER FOR REINFORCEMENT  
(UNLESS NOTED OTHERWISE ON THE DRAWINGS)

LOCATION	MINIMUM COVER
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER: #6 AND LARGER #5 AND SMALLER	2" 1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND: SLABS, WALLS, AND JOISTS: #14 AND LARGER #11 AND SMALLER BEAMS AND COLUMNS	1 1/2" 3/4" 1 1/2"

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KEVIN S. VOLLRATH

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CORE & SHELL BUILDING FOR  
STREETS OF WEST PRIOR LOT 13  
LEES SUMMIT, MISSOURI

SUBMISSION DATES

12/27/2023

SHEET TITLE

GENERAL NOTES

PROJECT NUMBER

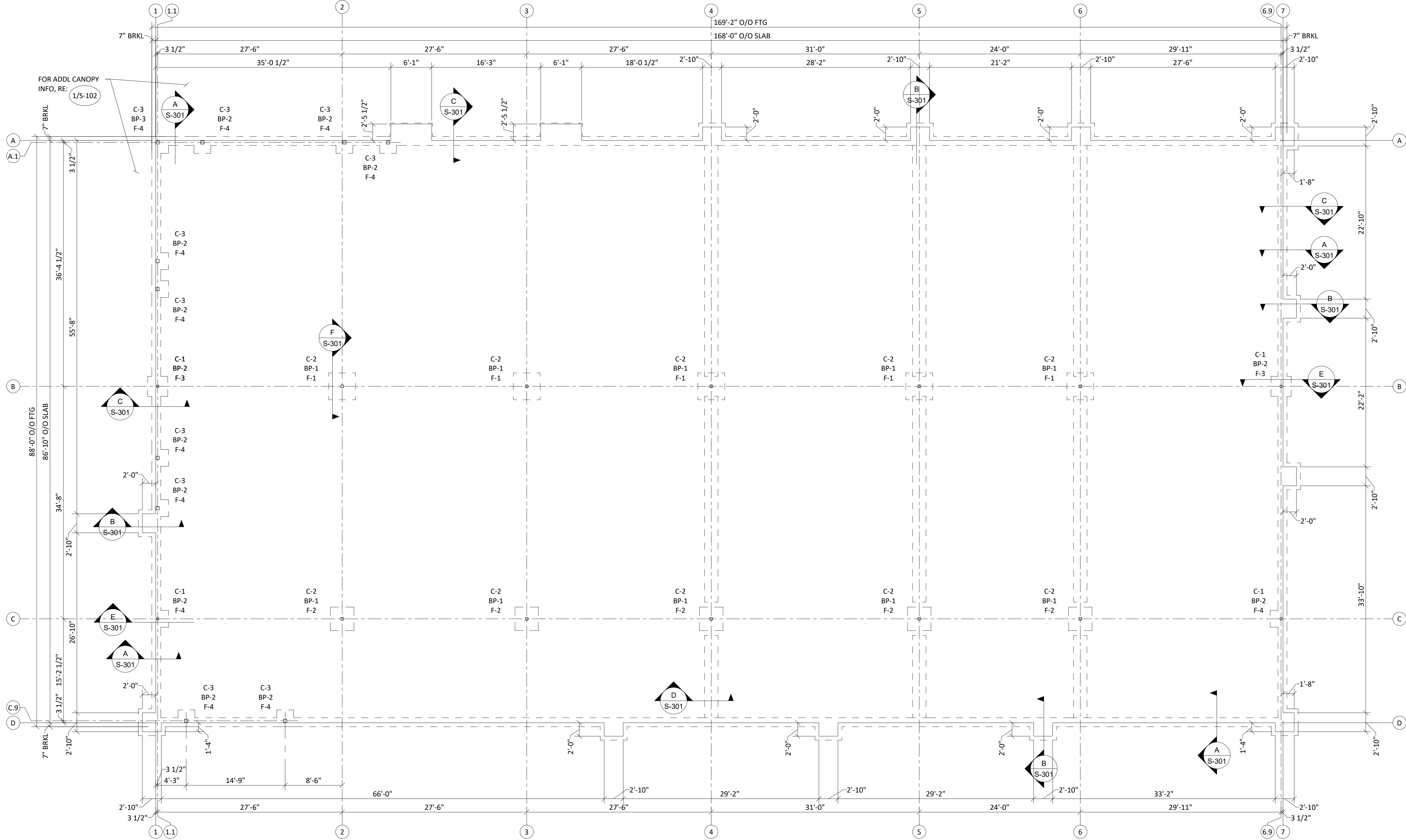
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# FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

FLOOR CONSTRUCTION: 4" CONCRETE SLAB ON GRADE REINFORCE W/6X6 - W2.9XW2.9 WELDED WIRE FABRIC. LOCATE REINFORCING 1 1/2" BELOW TOP OF SLAB. PROVIDE 6" LAYER OF GRANULAR LEVELING COURSE (#57 STONE) BELOW SLAB. VAPOR BARRIER SHALL BE PLACED DIRECTLY OVER GRANULAR FILL AND UNDER SLAB. REFERENCE ARCHITECTURAL AND SPECIFICATIONS FOR FURTHER DETAILS.

THE BUILDING FLOOR SLAB SHALL BE WITHIN A FLATNESS TOLERANCE OF 1/4" PER 10'-0".

TOSL - TOP OF SLAB ELEVATION: 100.0 = SITE ELEVATION = 993.00

TOF - TOP OF FOOTING ELEVATION: 99.4, UNLESS NOTED THUS: TOF (ELEV)

SJ - SLAB JOINT  
C-(#) - DENOTES COLUMN MARK, REFERENCE SCHEDULE  
F-(#) - DENOTES FOOTING MARK, REFERENCE SCHEDULE  
BP-(#) - DENOTES COLUMN BASE PLATE TYPE, REFERENCE DETAILS

COORDINATE ALL PENETRATIONS THROUGH THE SLAB AND ALL UNDER SLAB ITEMS WITH OTHER TRADES BEFORE CONSTRUCTION.

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ALL DISCREPANCIES.

## COLUMN SCHEDULE

MARK	SIZE
C-1	HSS4X4X1/4
C-2	HSS5X5X1/4
C-3	HSS6X6X1/4

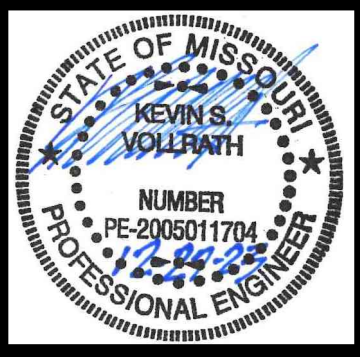
## FOOTING SCHEDULE

MARK	SIZE (LxWxD)	REINFORCING
F-1	4'-0x4'-0x1'-4	(5) #4 EW
F-2	3'-6x3'-6x1'-4	(4) #4 EW
F-3	3'-0x3'-0x3'-0	(4) #4 EW
F-4	2'-6x2'-6x3'-0	(3) #4 EW

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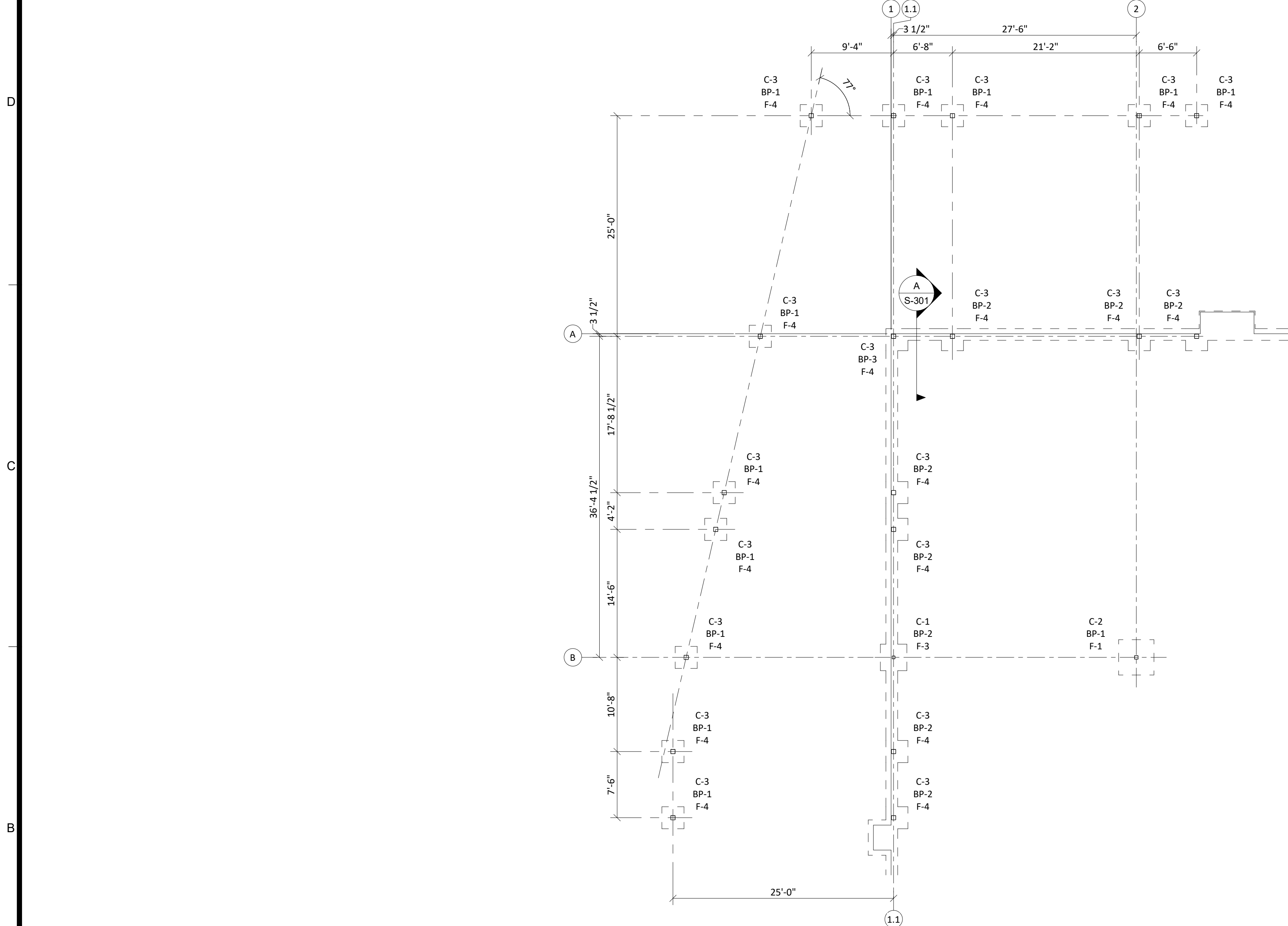
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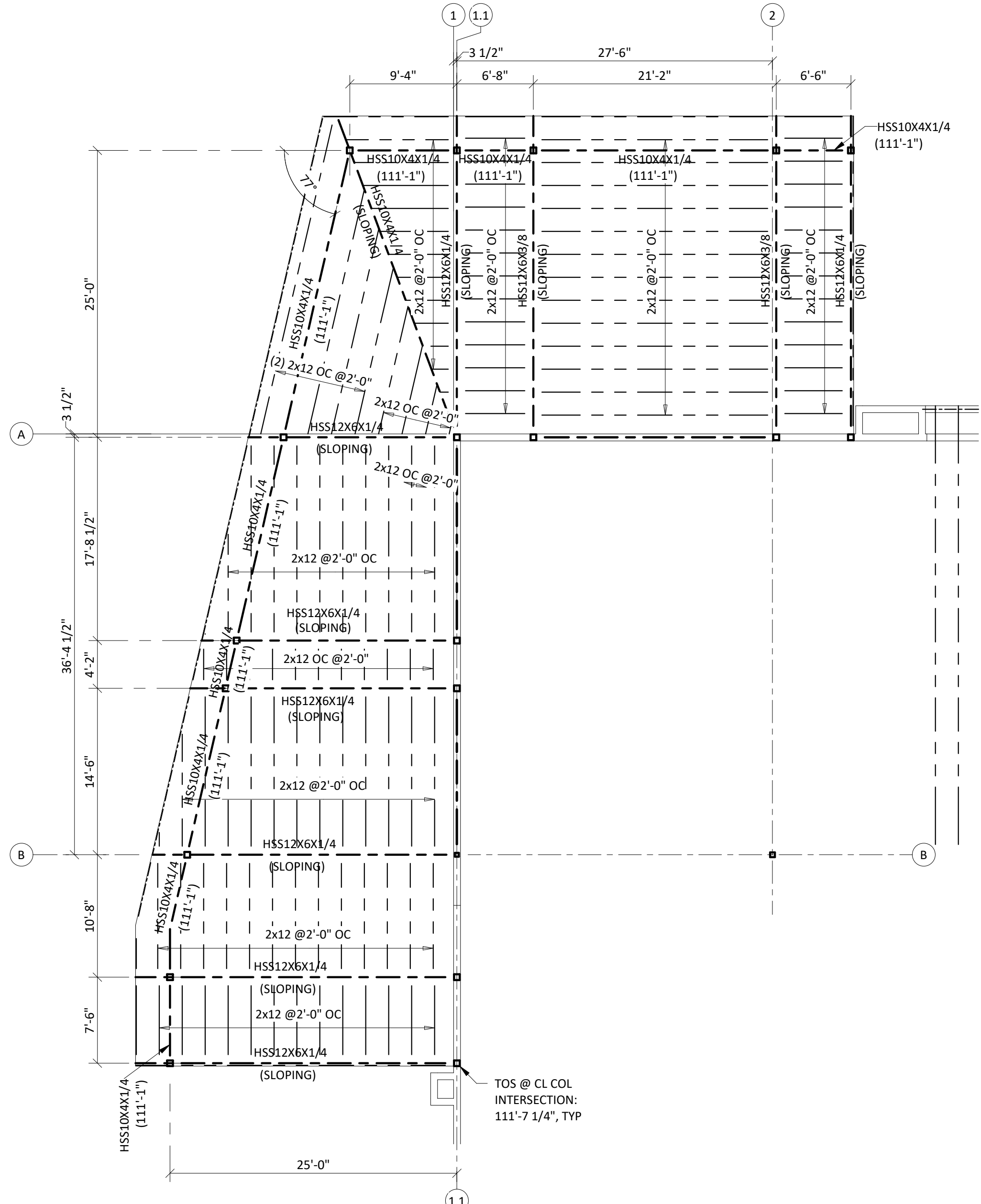
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1 FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"



2 ROOF FRAMING PLAN  
SCALE: 1/8" = 1'-0"

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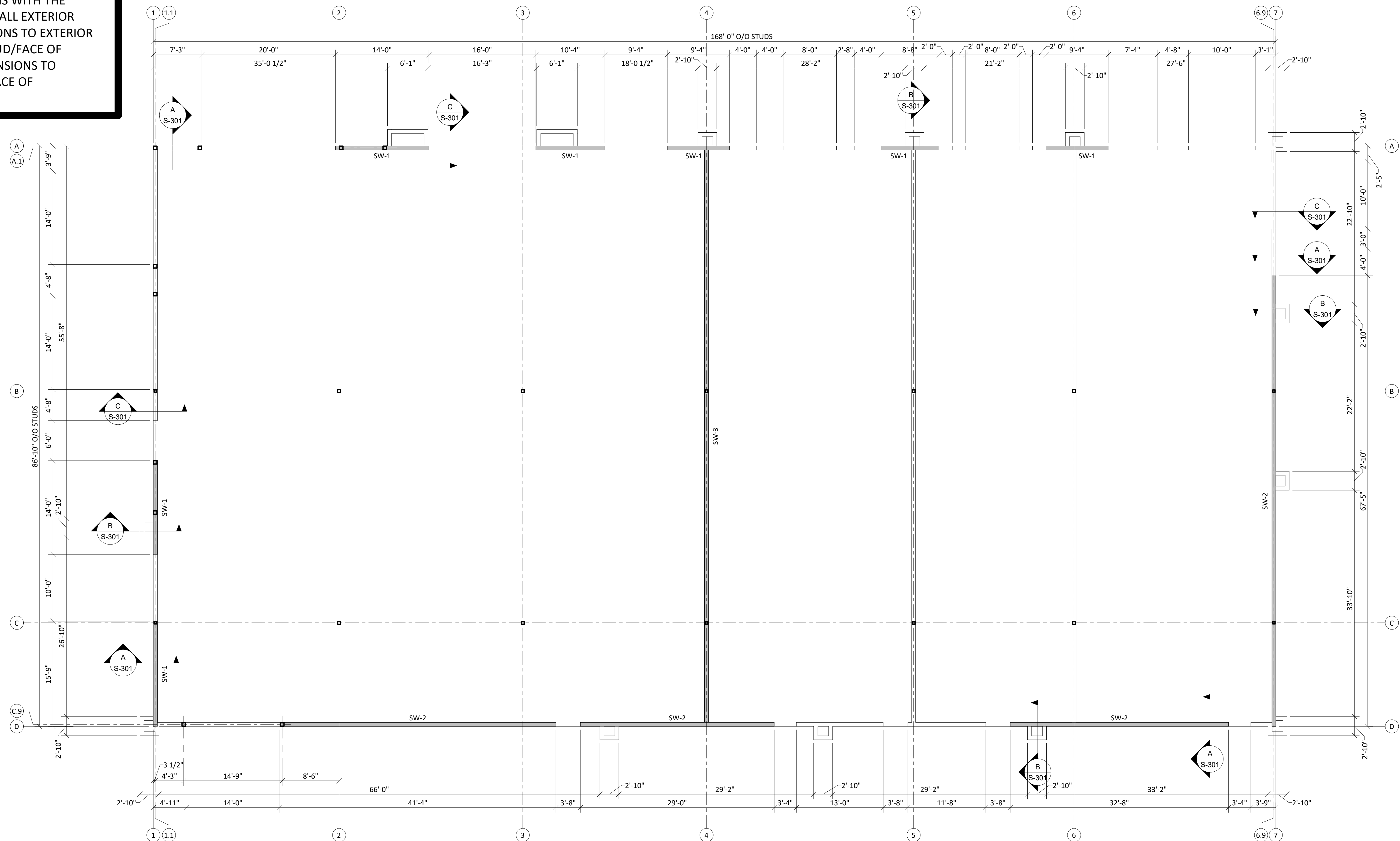
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CANOPY FOUNDATION &  
FRAMING PLANS

PROJECT NUMBER  
230117

SHEET NUMBER  
S-102



NOTE: FACE OF STUD ALIGNS WITH THE CONCRETE SLAB EDGE FOR ALL EXTERIOR WALLS. ALL PLAN DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF STUD/FACE OF CONCRETE SLAB. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD/STRUCTURAL WALL.



WALL FRAMING PLAN

SCALE: 1/8" = 1'-0"

**WALL CONSTRUCTION:** TYPICAL EXTERIOR WALL CONSTRUCTION SHALL BE 2x8 WOOD STUDS @ 16" MAXIMUM ON CENTER. MINIMUM (2) TRIMMER STUDS AND (2) KING STUDS SHALL BE PROVIDED AT ALL OPENINGS IN EXTERIOR, BEARING, AND SHEAR WALLS. TYPICAL INTERIOR SHEAR WALL CONSTRUCTION SHALL BE 2x6 WOOD STUDS @ 16" ON CENTER. REFERENCE HEADER SCHEDULE FOR CONDITIONS REQUIRING ADDITIONAL STUDS. DOUBLE TOP PLATE SHALL BE CONTINUOUS AND SHALL BE SPLICED PER TYPICAL DETAIL. SEE SHEAR WALL SCHEDULE FOR FURTHER INFORMATION ON CONSTRUCTION OF SHEAR WALLS.

 INDICATES LOCATION OF SHEARWALL

SW-(#) - SHEARWALL MARK, REFERENCE SCHEDULE

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ALL DISCREPANCIES.

WOOD SHEARWALL (SW) SCHEDULE							
MARK	STUD SIZE & SPACING	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	COMPRESSION CHORD (MIN)	HOLDOWN	SILL PLATE ANCHOR BOLT AT FDN
SW-1	2x8@16	1/2" OSB ZIP SYSTEM PANELS BLOCKED ONE SIDE OF WALL	8d COMMON @4" OC	8d COMMON @12" OC	(3) 2x8 WD STUDS	HDU8-SD2.5 7/8" Ø AB	5/8" Ø AB AT 1'-4" OR 3/4" Ø AB AT 2'-0" OC
SW-2	2x8@16	1/2" OSB ZIP SYSTEM PANELS BLOCKED ONE SIDE OF WALL	8d COMMON @6" OC	8d COMMON @12" OC	(2) 2x8 WD STUDS	HDU4-SD2.5 5/8" Ø AB	5/8" Ø AB AT 2'-0" OR 3/4" Ø AB AT 2'-8" OC
SW-3	2x6@16	1/2" (MIN) GYPSUM BOARD BLOCKED BOTH SIDES OF WALL	5d COOLER @4" OC	5d COOLER @4" OC	(2) 2x6 WD STUDS	HDU4-SD2.5 5/8" Ø AB	5/8" Ø AB AT 2'-0" OR 3/4" Ø AB AT 2'-8" OC

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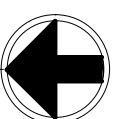
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**CORE & SHELL BUILDING FOR  
STREETS OF WEST PRIOR LOT 13  
LEES SUMMIT, MISSOURI**



## SUBMISSION DATES

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WALL FRAMING PLAN

PROJECT NUMBER

**230117**

SHEET NUMBER

**S-103**



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## ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

ROOF CONSTRUCTION: WOOD SHEATHING (19/32" MIN) OVER PREFAB WOOD ROOF TRUSSES @ 2'-0" OC MAX. SHEATHING SHALL BE CONTINUOUS UNDER AREAS OF OVERBUILD. REFERENCE GENERAL NOTES FOR SHEATHING SPECIFICATIONS AND ATTACHMENT.

DESIGN ALL TRUSSES FOR 15 PSF NET UPLIFT.

PROVIDE BRIDGING AS PRESCRIBED BY THE TRUSS MANUFACTURER REQUIREMENTS.

TOS - TOP OF STEEL ELEVATION: NOTED THUS (ELEV)

TOP OF PARAPET = RE: ARCH, 126'-0" (MAX)

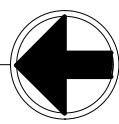
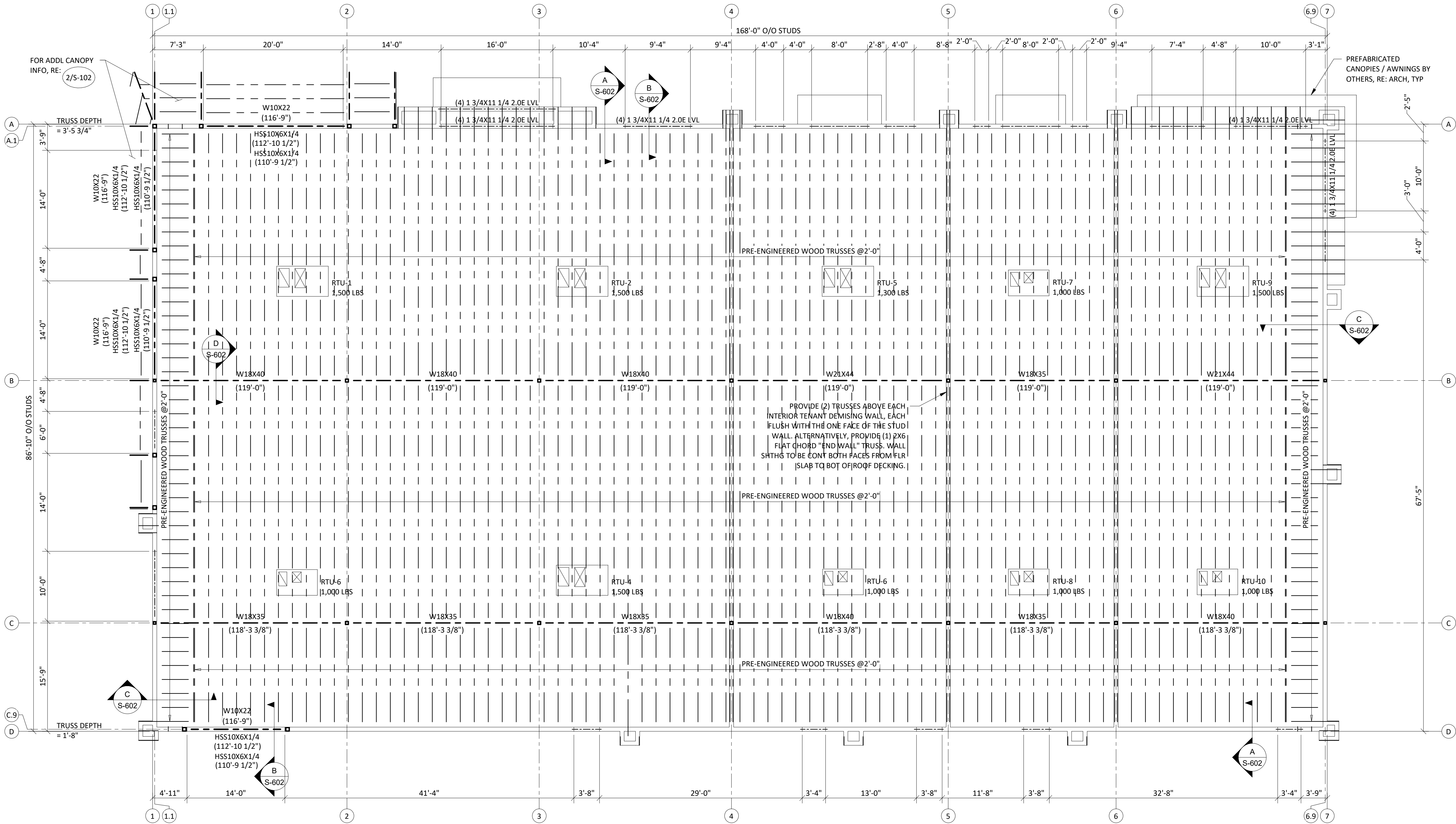
TRUSS BEARING ELEVATION = 117'-0"

TYPICAL HEADERS IN OPENINGS LESS THAN 4'-0" SHALL BE (4) 2X8 OR DEEPER. ALL HEADERS IN OPENINGS UP TO 6'-6" SHALL BE (4) 2X10 OR DEEPER. ALL HEADERS IN OPENINGS UP TO 8'-4" SHALL BE (4) 2X12. CONSTRUCT HEADERS PER "TYPICAL HEADER CONSTRUCTION" DETAIL." ALL HEADERS SHALL HAVE (1) TRIMMER MINIMUM AND (2) DEDICATED STUDS MINIMUM. PROVIDE (2) TRIMMERS AT OPENINGS LARGER THAN 7'-4".

INTELS: LOOSE BRICK INTELS FOR DOOR AND WINDOW OPENINGS UP TO 8'-4" SHALL BE 15X5X3/8 GALVANIZED (ASTM A36)

DESIGN ROOF TRUSSES TO SUPPORT RTU LOADS AT LOCATIONS SHOWN. NOTIFY ENGINEER IF WEIGHTS, SIZES, OR LOCATIONS VARY FROM THAT SHOWN.

VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. INFORM ENGINEER OF ALL DISCREPANCIES.



# CORE & SHELL BUILDING FOR STREETS OF WEST PRIOR LOT 13 LEES SUMMIT, MISSOURI

SUBMISSION DATES  
12/27/2023

SHEET TITLE  
ROOF FRAMING PLAN

PROJECT NUMBER  
230117

SHEET NUMBER  
S-104

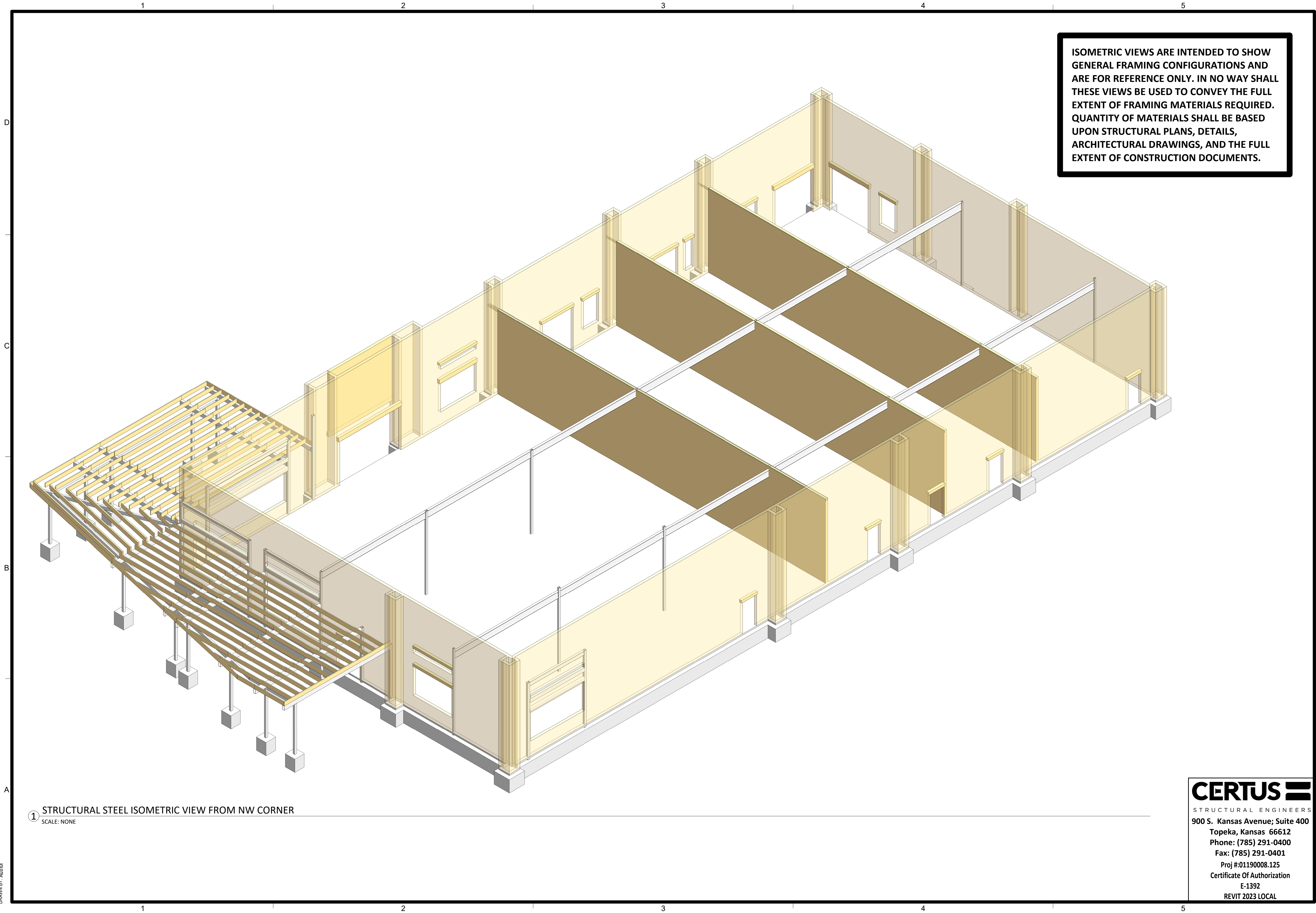
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ISOMETRIC VIEWS ARE INTENDED TO SHOW  
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ARE FOR REFERENCE ONLY. IN NO WAY SHALL  
THESE VIEWS BE USED TO CONVEY THE FULL  
EXTENT OF FRAMING MATERIALS REQUIRED.  
QUANTITY OF MATERIALS SHALL BE BASED  
UPON STRUCTURAL PLANS, DETAILS,  
ARCHITECTURAL DRAWINGS, AND THE FULL  
EXTENT OF CONSTRUCTION DOCUMENTS.

1 STRUCTURAL STEEL ISOMETRIC VIEW FROM NW CORNER

SCALE: NONE

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SHEET TITLE  
NW FRAMING ISOMETRIC

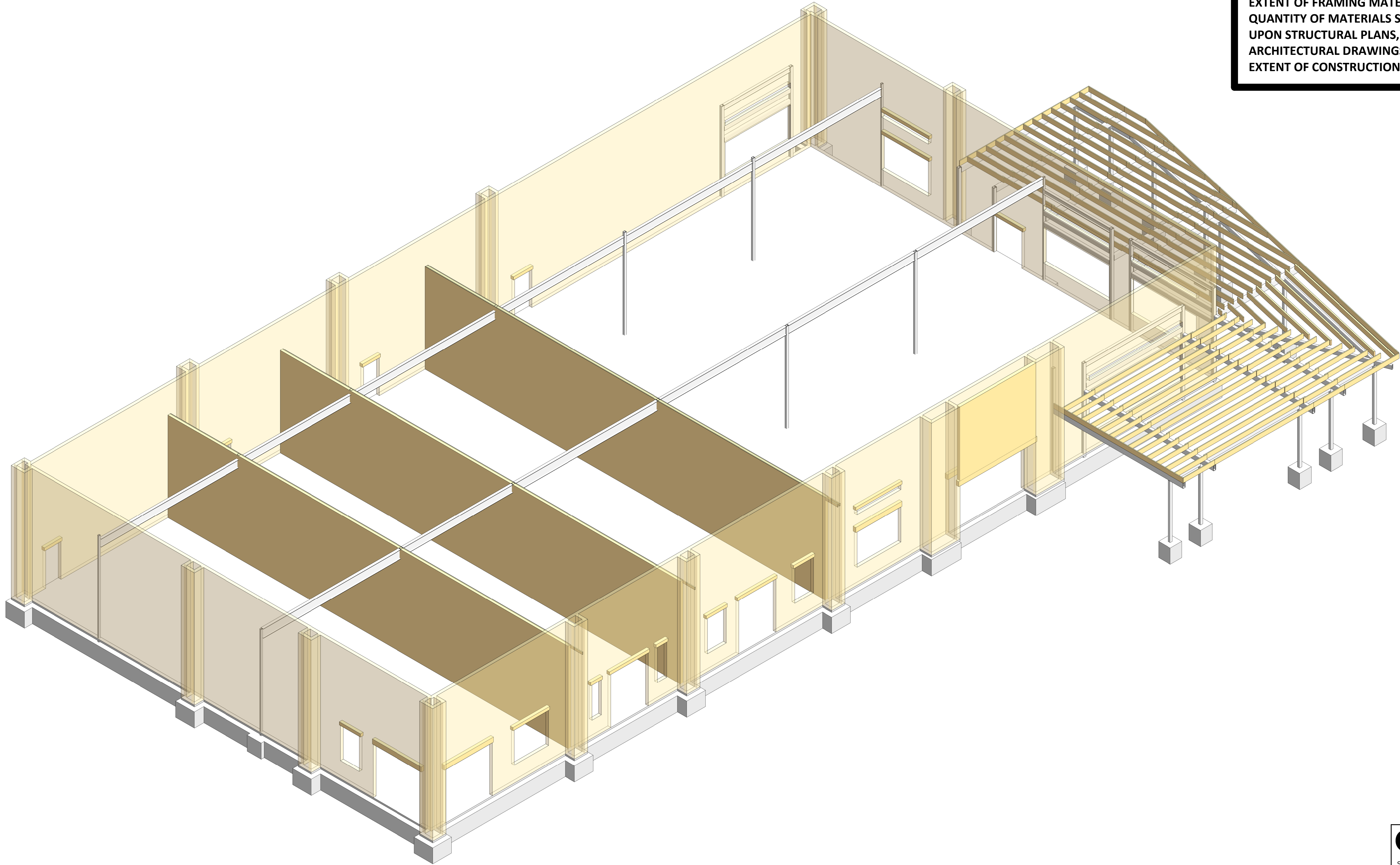
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S-201



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A  
B  
C  
D



① STRUCTURAL STEEL ISOMETRIC VIEW FROM SE CORNER  
SCALE: NONE

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GENERAL FRAMING CONFIGURATIONS AND  
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CORE & SHELL BUILDING FOR  
**STREETS OF WEST PRIOR LOT 13**  
LEES SUMMIT, MISSOURI

SUBMISSION DATES  
12/27/2023

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SE FRAMING ISOMETRIC

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SHEET NUMBER  
**S-202**

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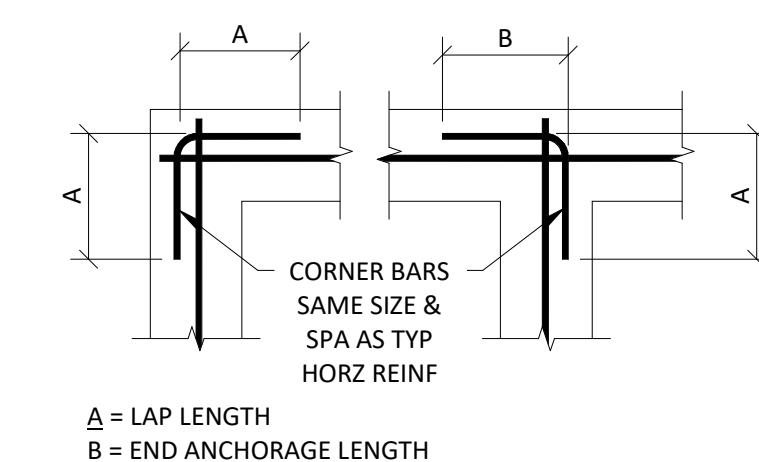
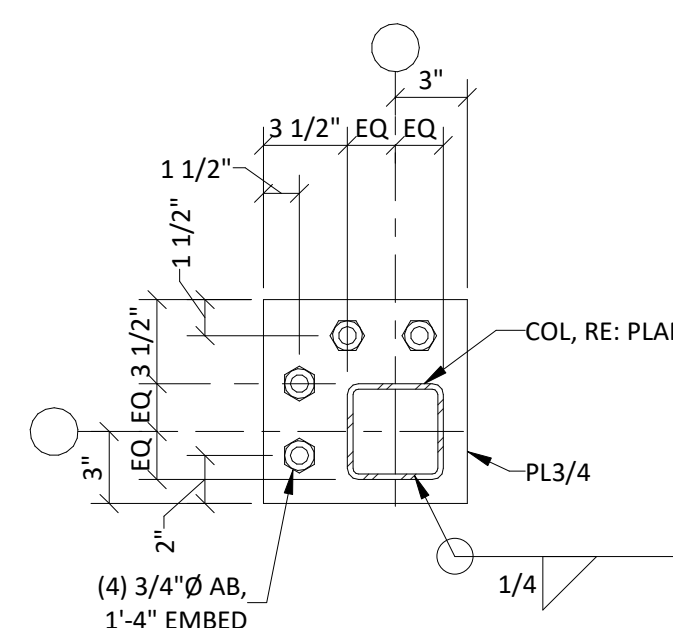
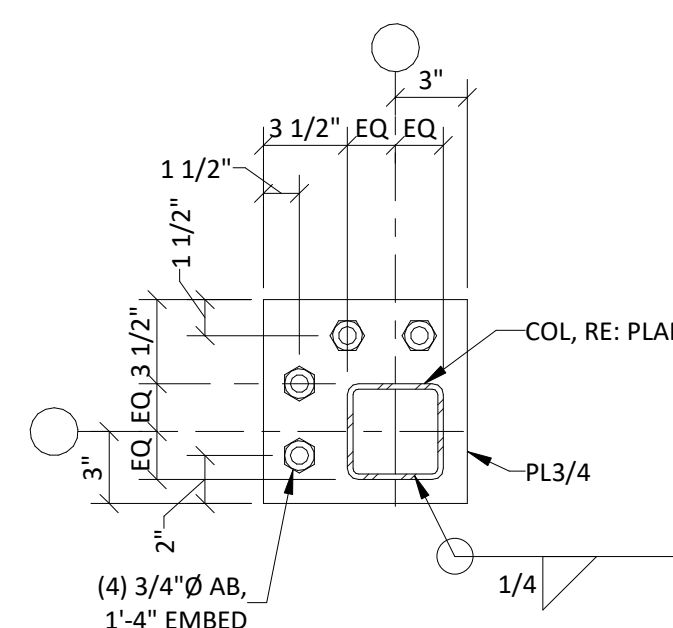
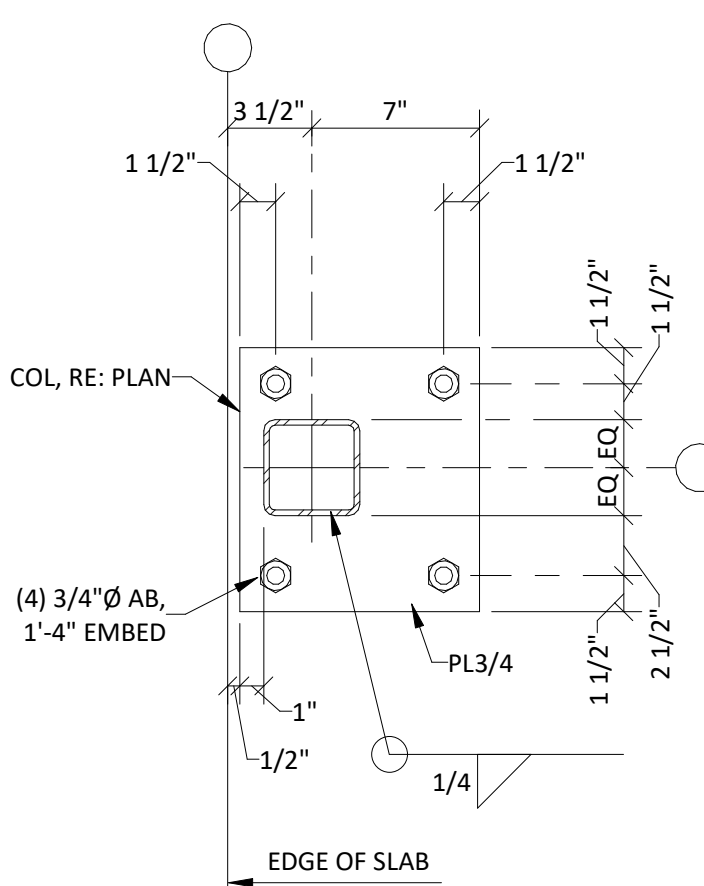
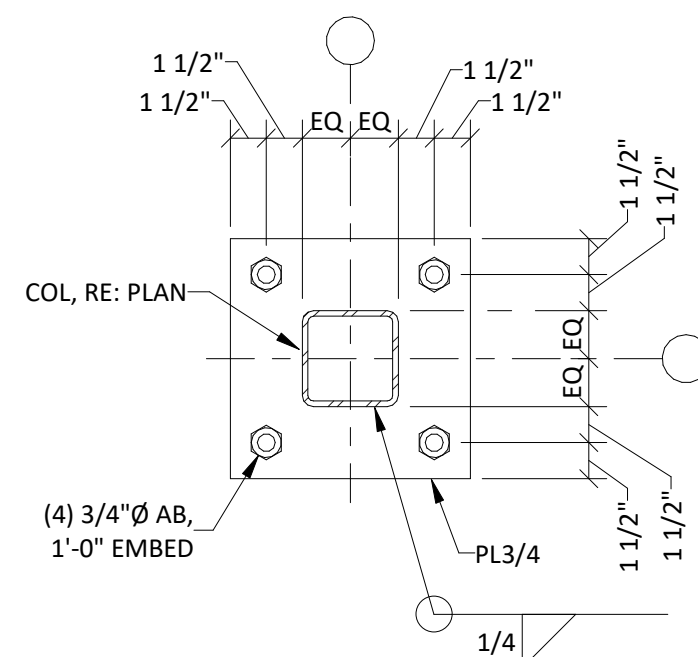
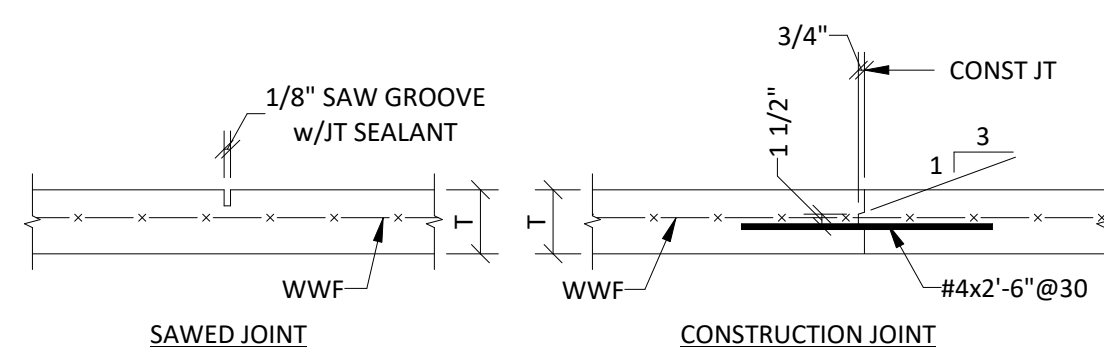
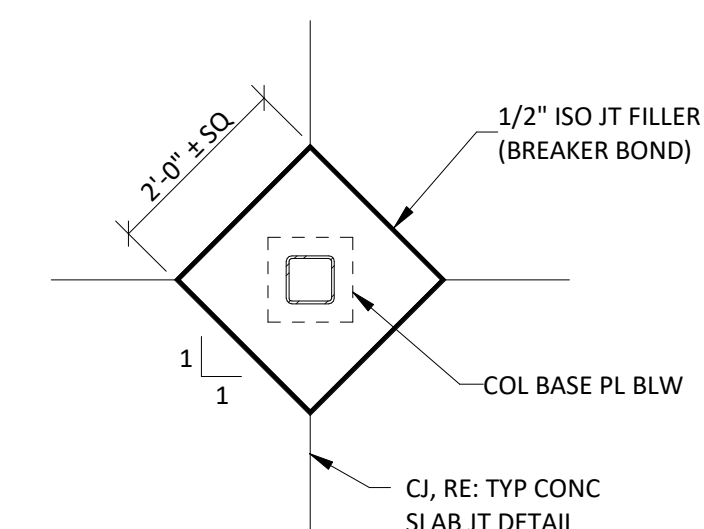
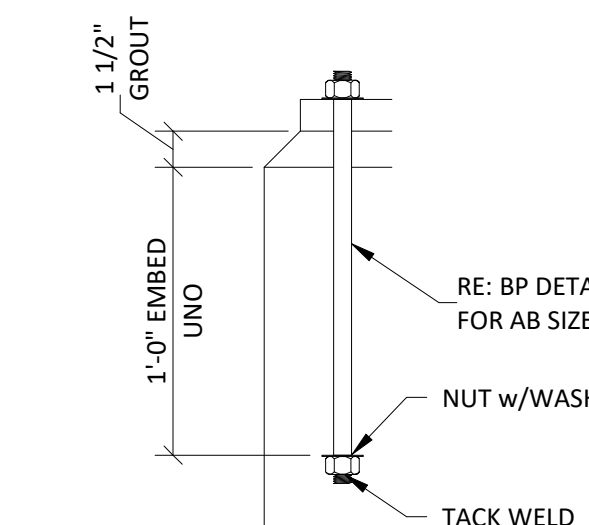
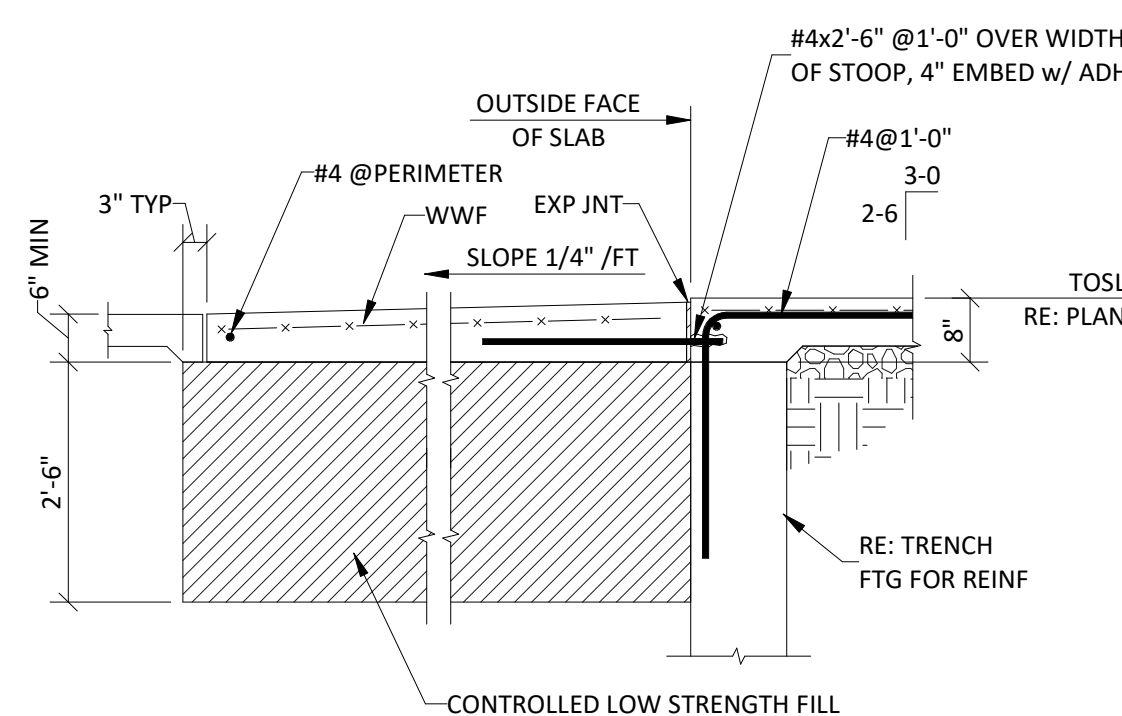
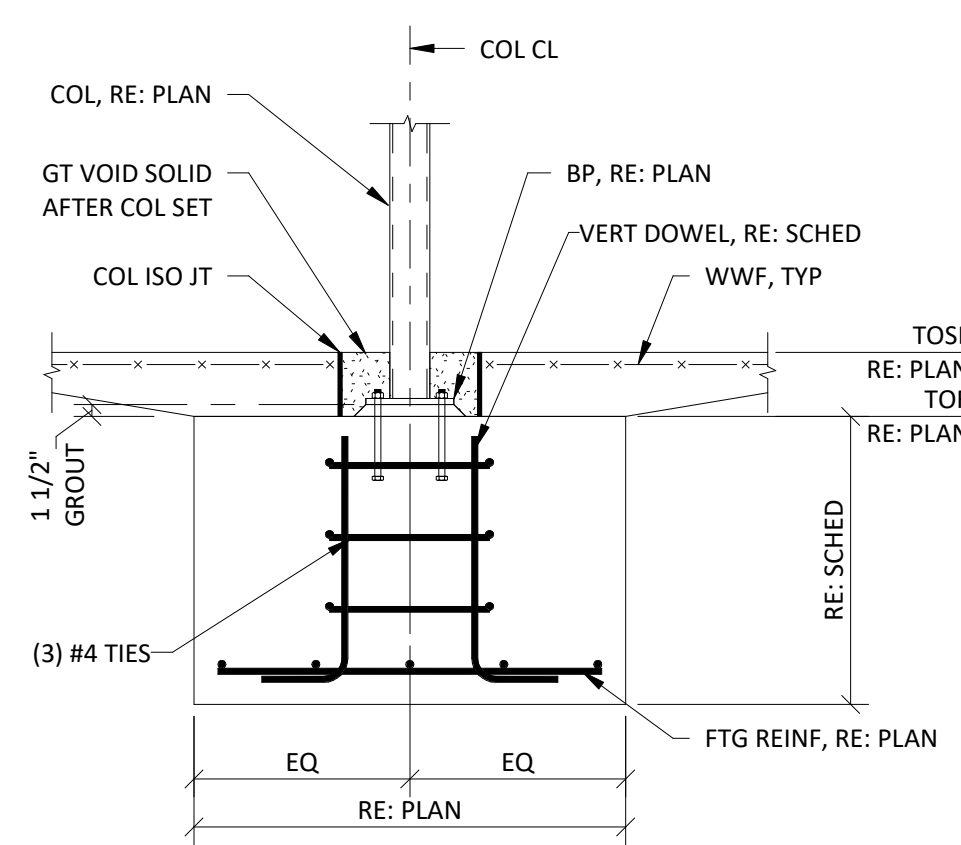
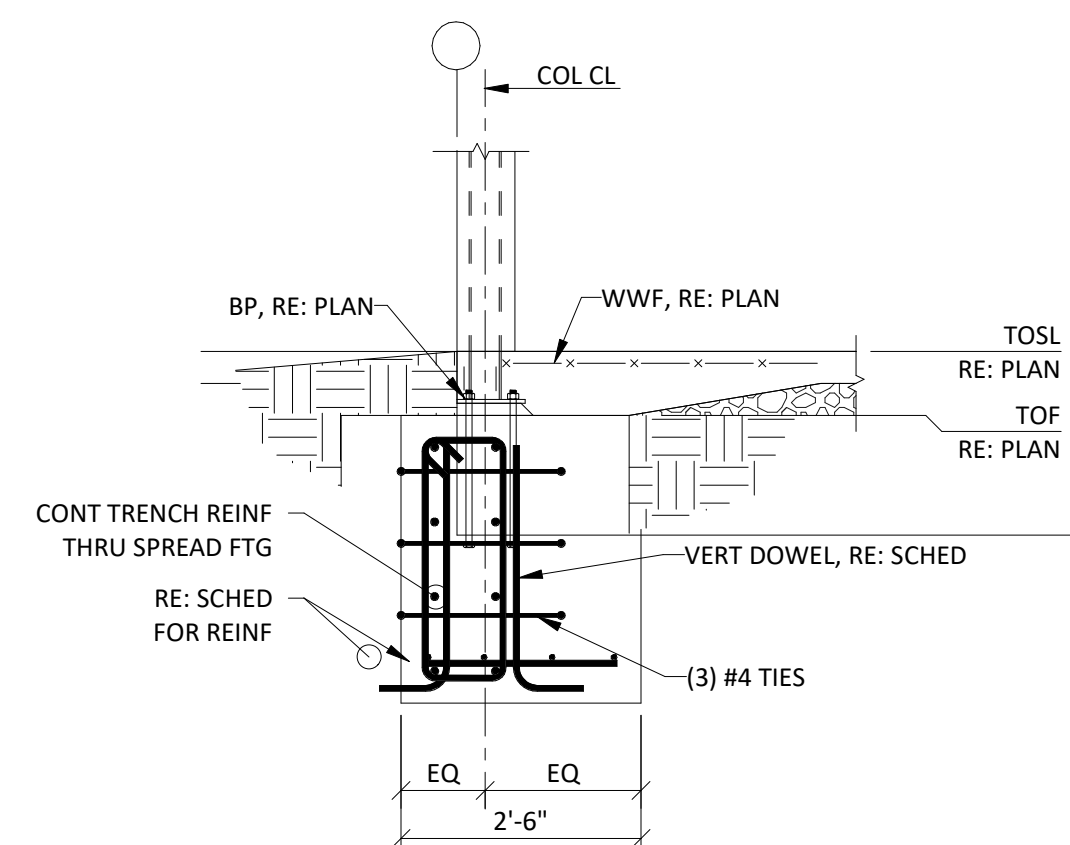
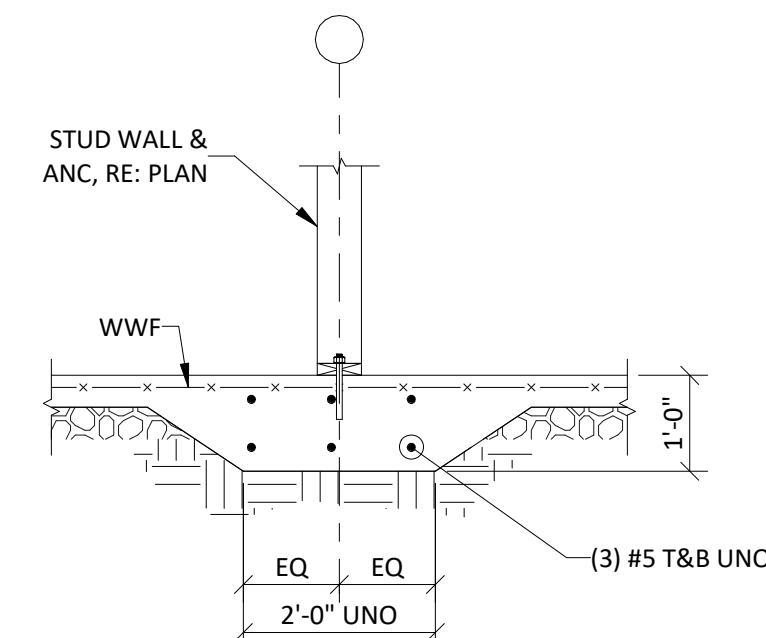
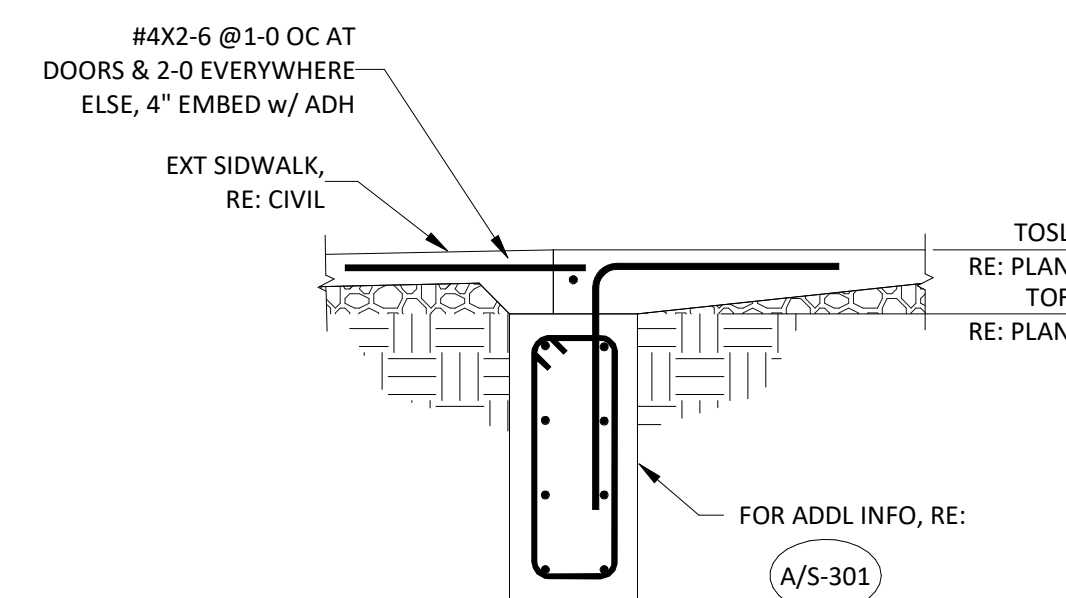
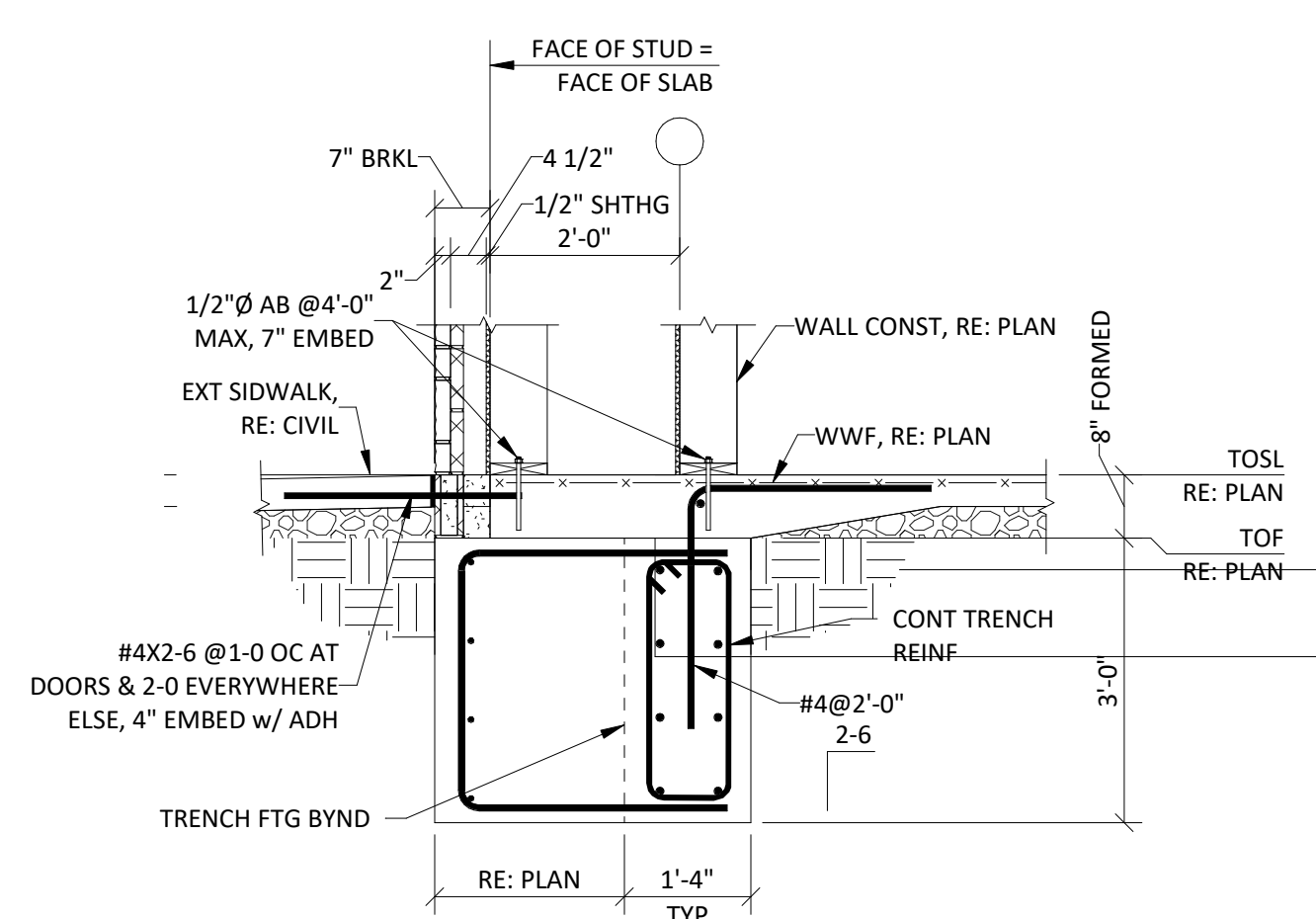
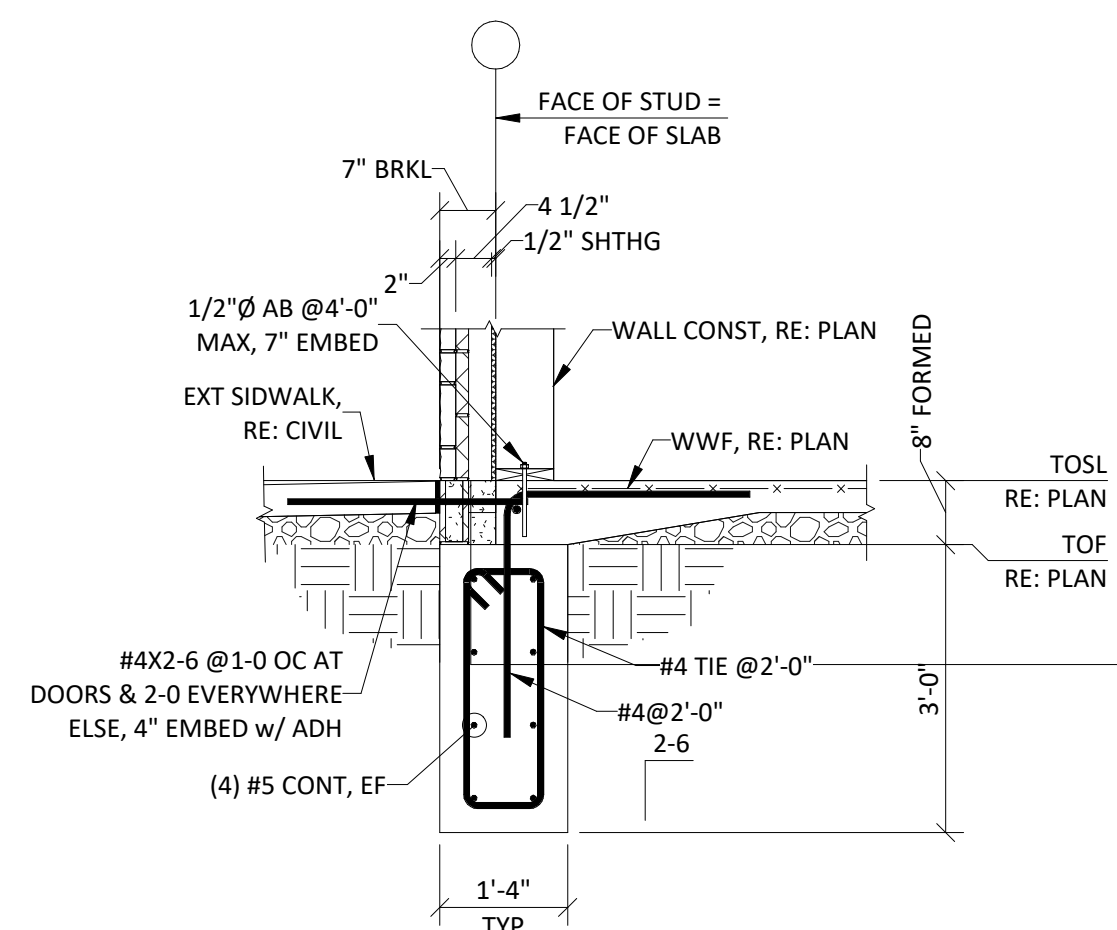
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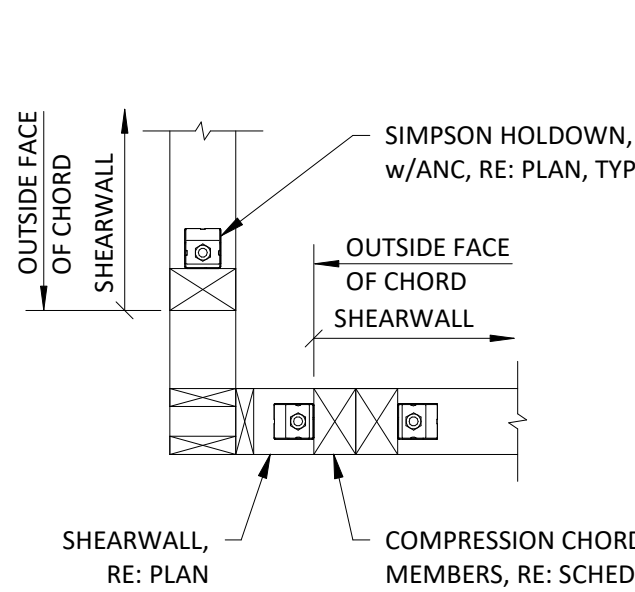
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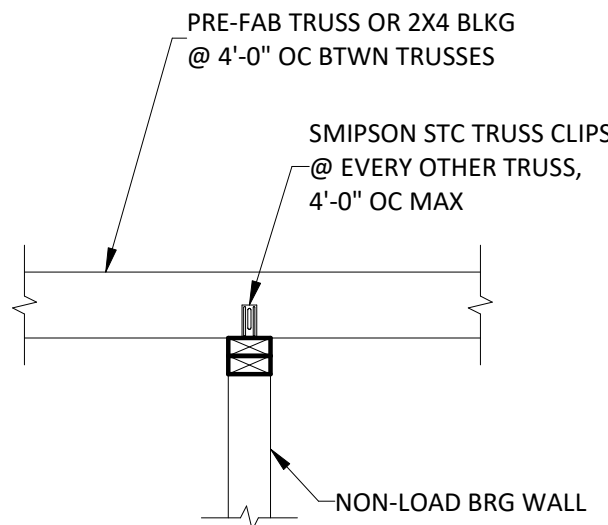
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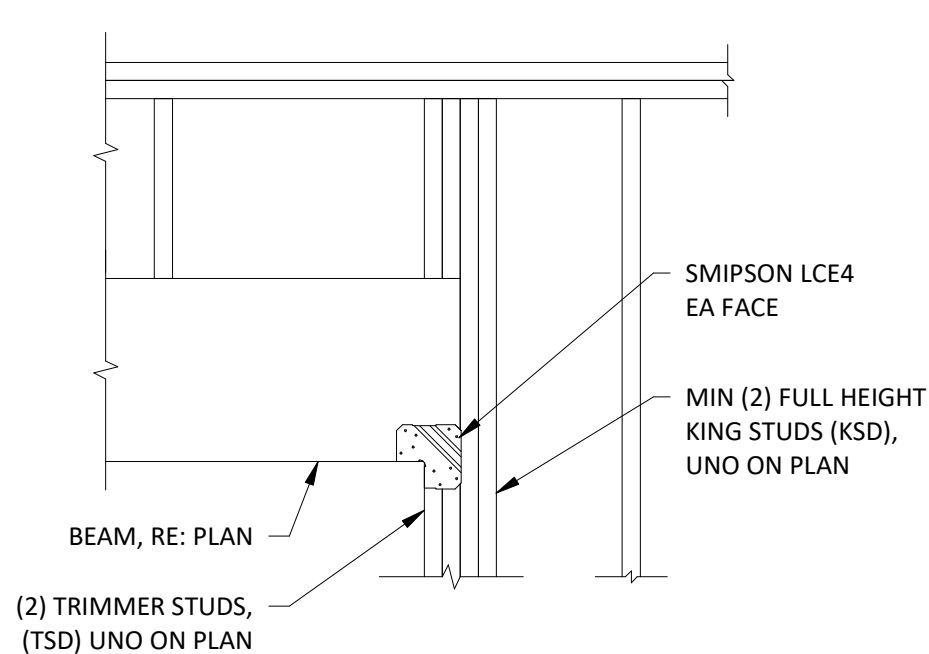
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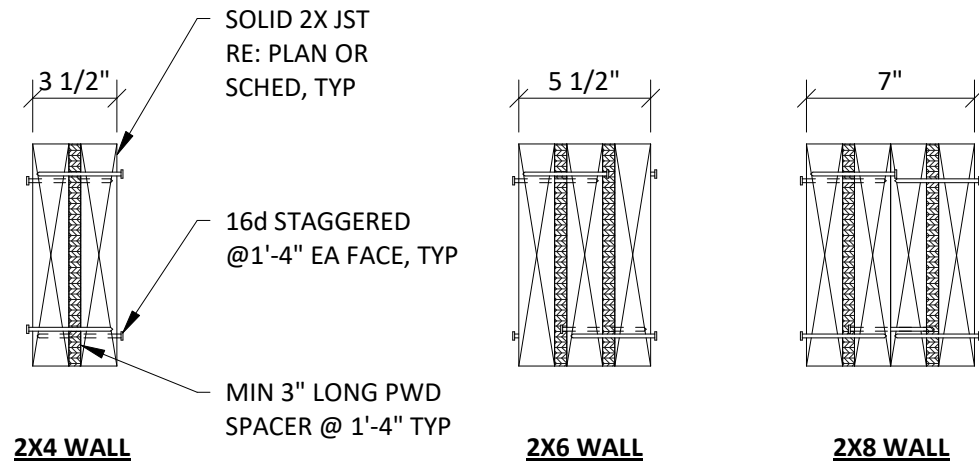
1 TYPICAL HOLDOWN ASSEMBLY CORNER (ALTERNATE)  
SCALE: NONE



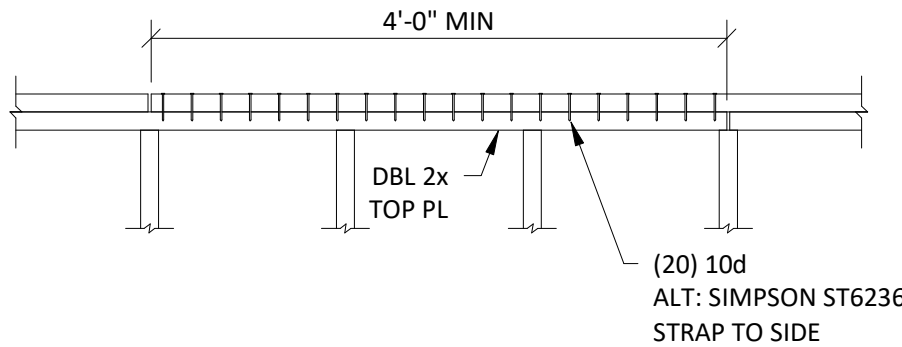
2 NON-LOAD BEARING WALL LATERAL SUPPORT DETAIL  
SCALE: NONE



3 TYPICAL HEADER CONSTRUCTION DETAIL  
SCALE: NONE

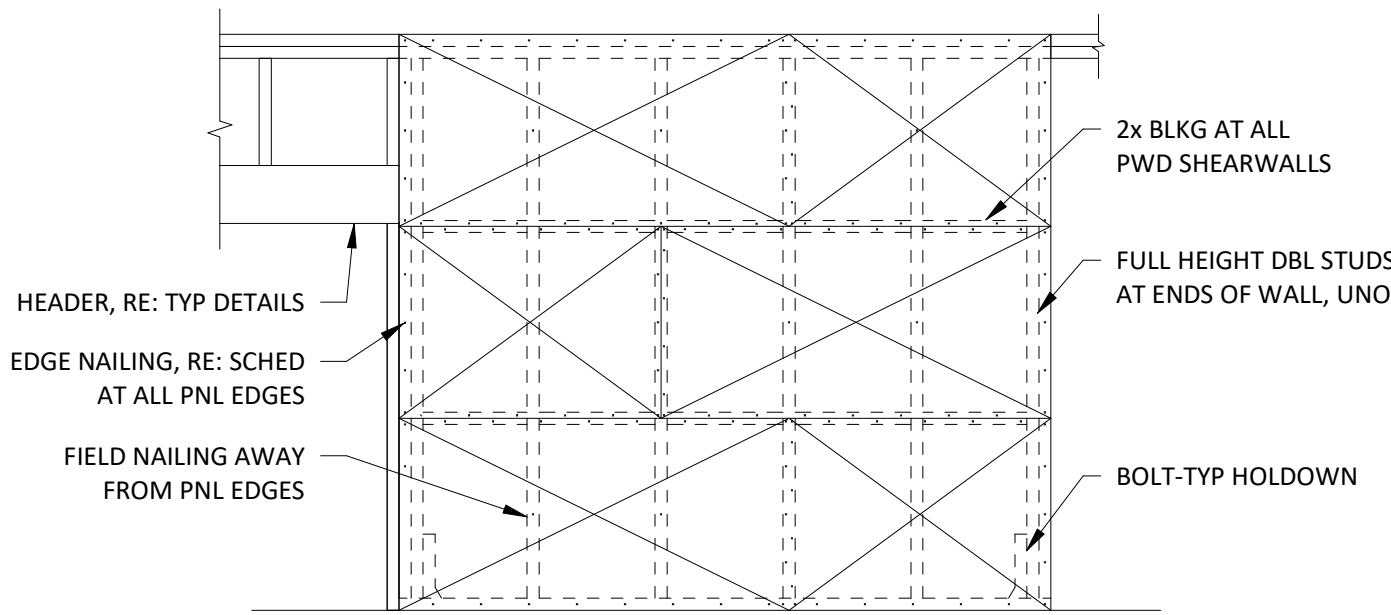


4 TYPICAL BUILT-UP HEADER CONSTRUCTION  
SCALE: NONE

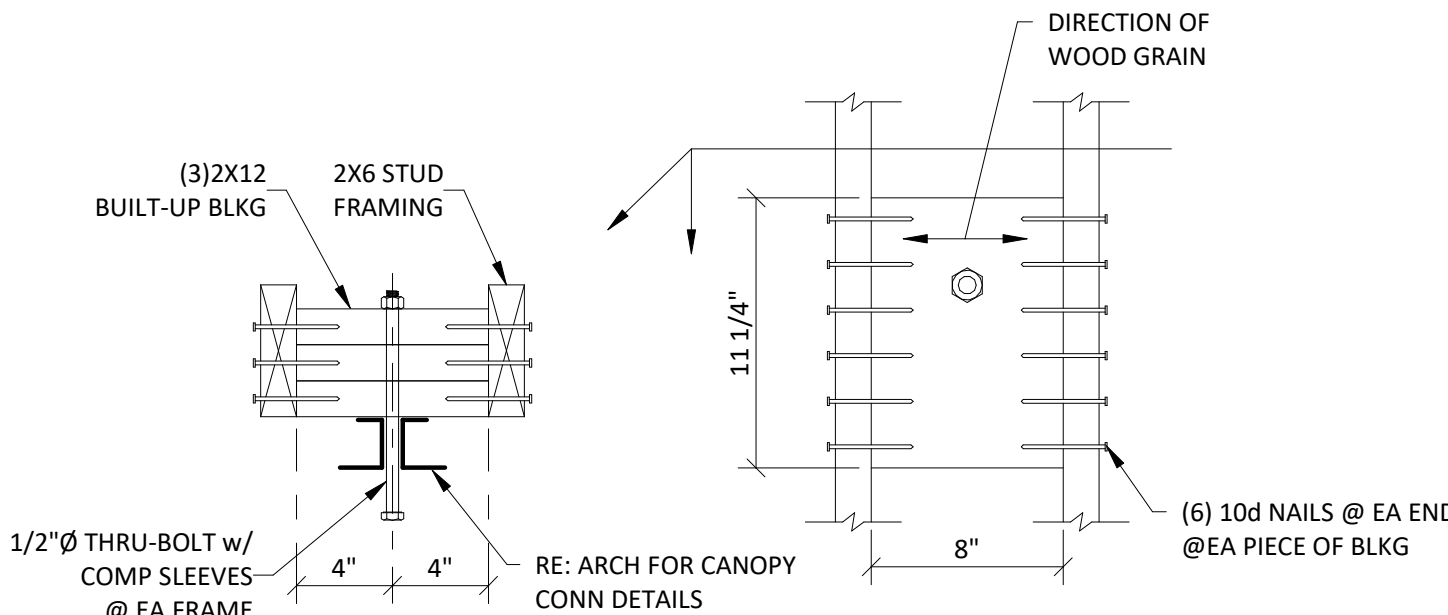


5 TYPICAL TOP PLATE SPLICE DETAIL  
SCALE: NONE

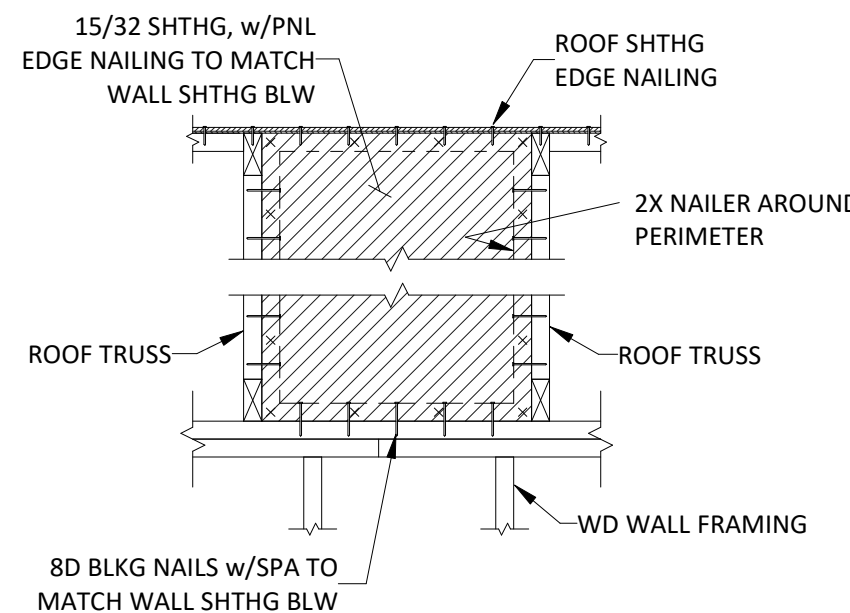
NOTES:  
1. SPLICE REQUIRED OVER ALL SHEARWALLS AND ALL EXTERIOR AND BEARING WALLS.  
2. SPECIFIC SPLICE REQUIREMENTS DO NOT APPLY TO INTERIOR NON-SHEARWALLS OR TOP OF PARAPET WALLS UNLESS NOTED OTHERWISE.



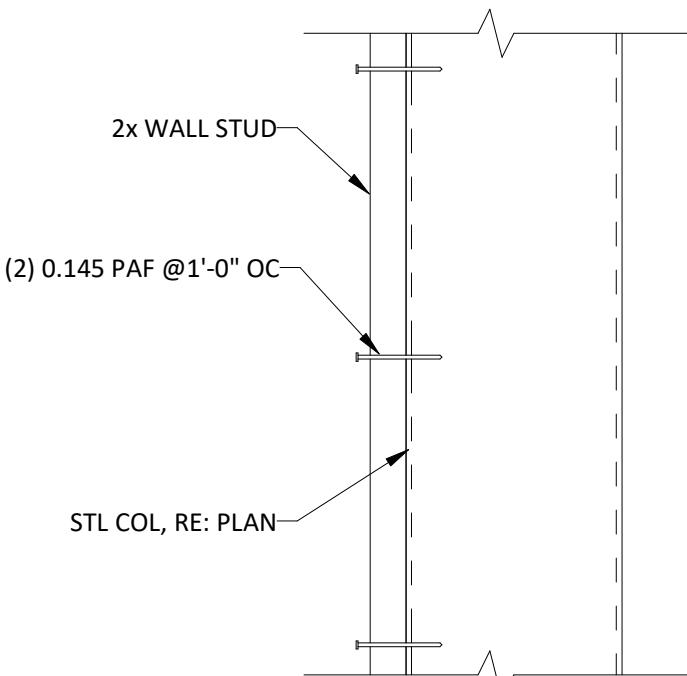
6 TYPICAL SHEARWALL CONSTRUCTION  
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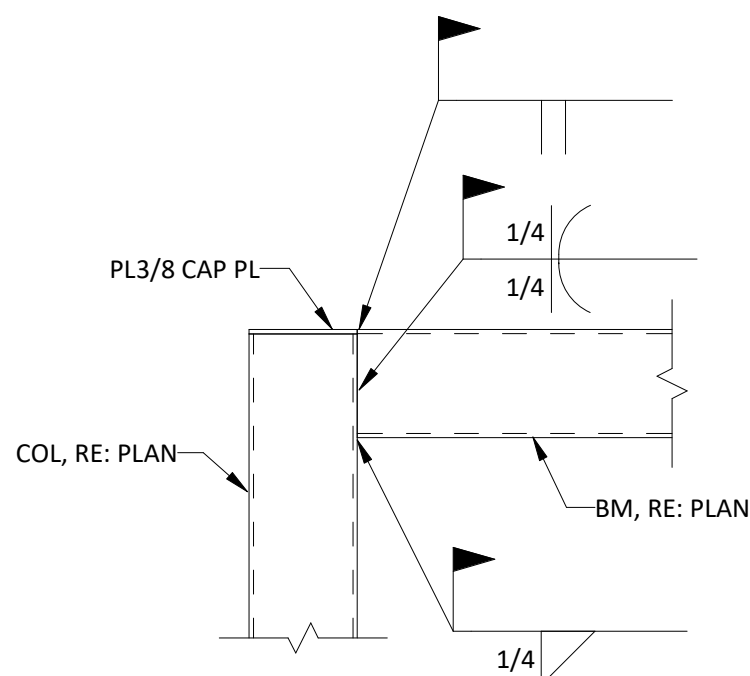
7 TYPICAL CANOPY CONNECTION BLOCKING DETAIL  
SCALE: NONE



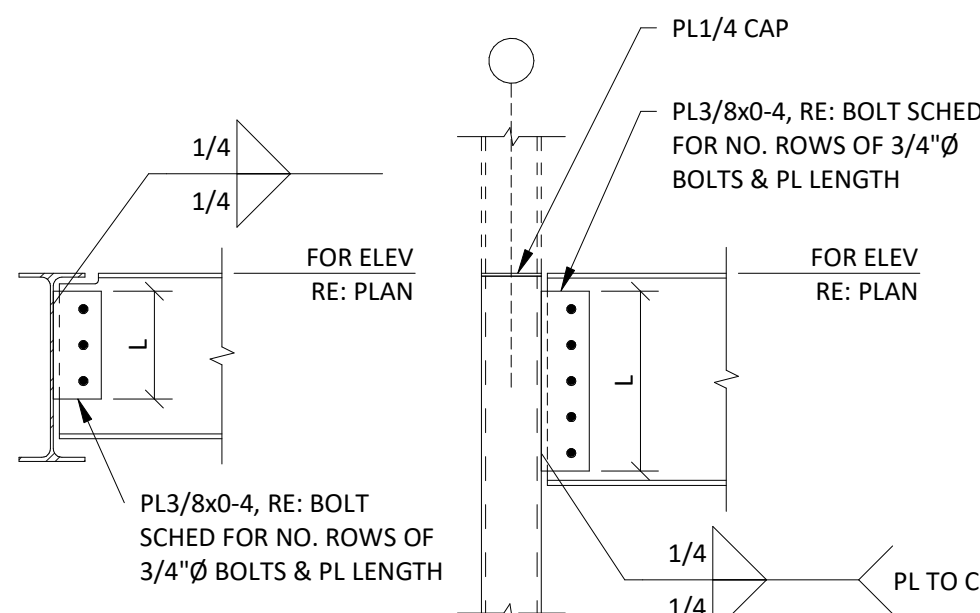
8 TYPICAL SHEAR BLOCKING BETWEEN TRUSSES  
SCALE: NONE



9 TYPICAL SHEARWALL TERMINATION AT STEEL COLUMN DETAIL  
SCALE: NONE



10 TYPICAL TUBE COLUMN TO BEAM CONNECTION  
SCALE: NONE



11 TYPICAL WIDE FLANGE STEEL CONNECTIONS DETAIL  
SCALE: NONE

BOLT SCHEDULE		
CONNECTION BEAM SIZE	LENGTH (L)	(#) ROWS OF BOLTS
W8, W10	6"	2
W12, W14	9"	3
W16	1'-0"	4
W18	1'-3"	5
W21	1'-6"	6
W24, W27	1'-9"	7
W30, W33	2'-6"	10

NOTE: BOLTS SHALL BE 3/4" Ø A325 AT 3" CENTERS, UNLESS NOTED OTHERWISE

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STATE OF MISSOURI  
KEVIN S. VOLLMER  
NUMBER PE-2005011704  
PROFESSIONAL ENGINEER

CORE & SHELL BUILDING FOR  
STREETS OF WEST PRIOR LOT 13  
LEES SUMMIT, MISSOURI

SUBMISSION DATES  
12/27/2023

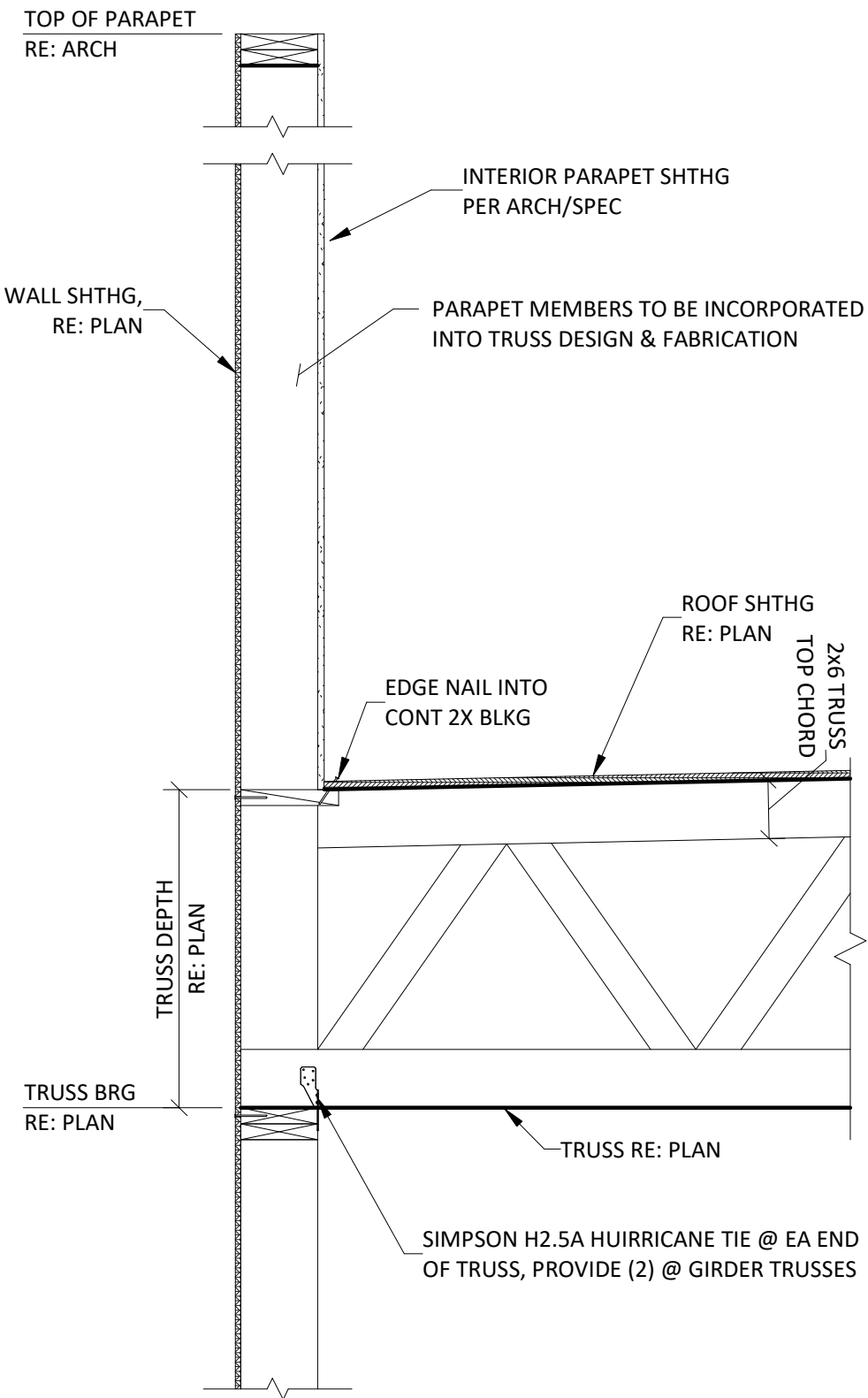
SHEET TITLE  
FRAMING DETAILS & SECTIONS I

PROJECT NUMBER  
230117

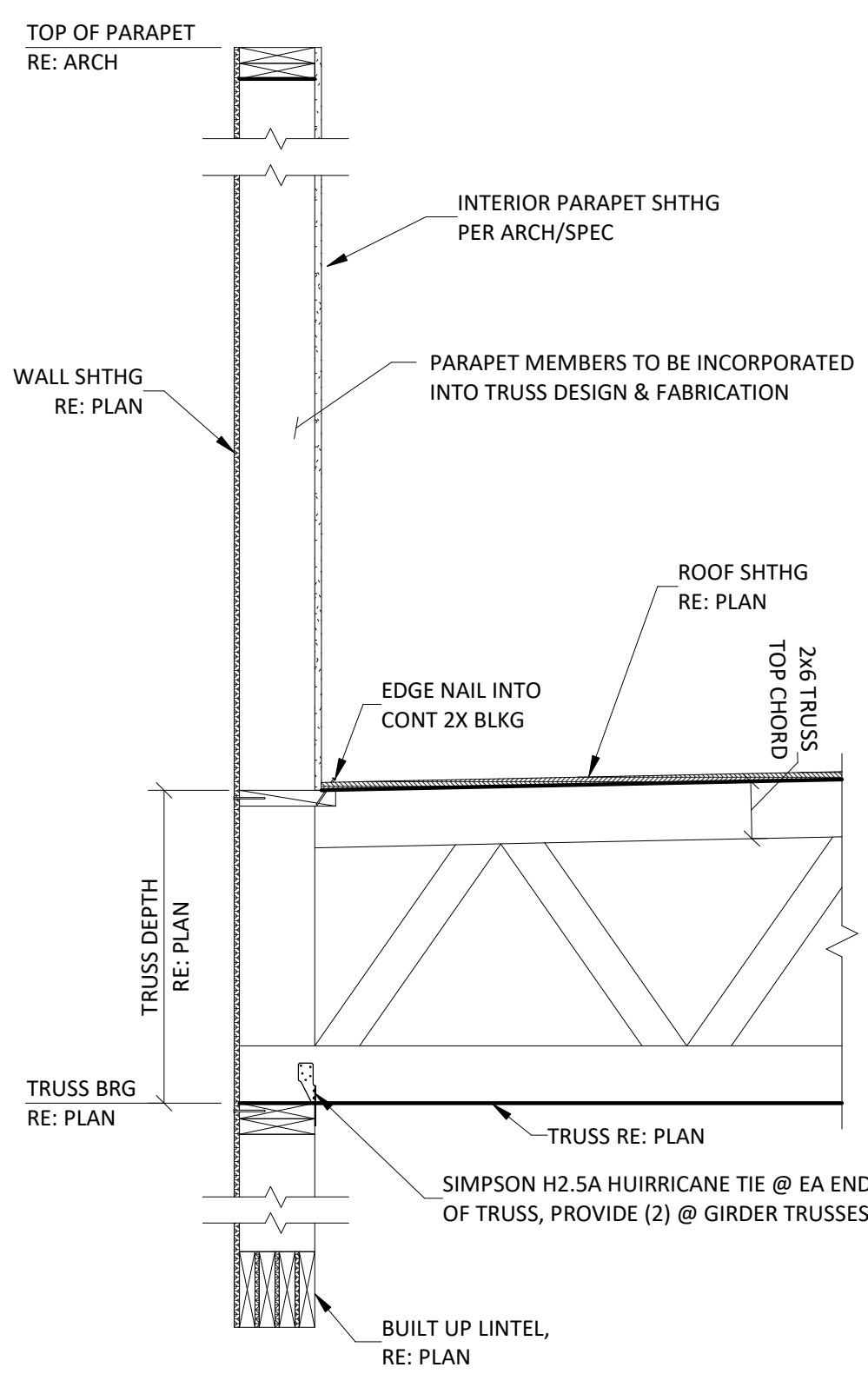
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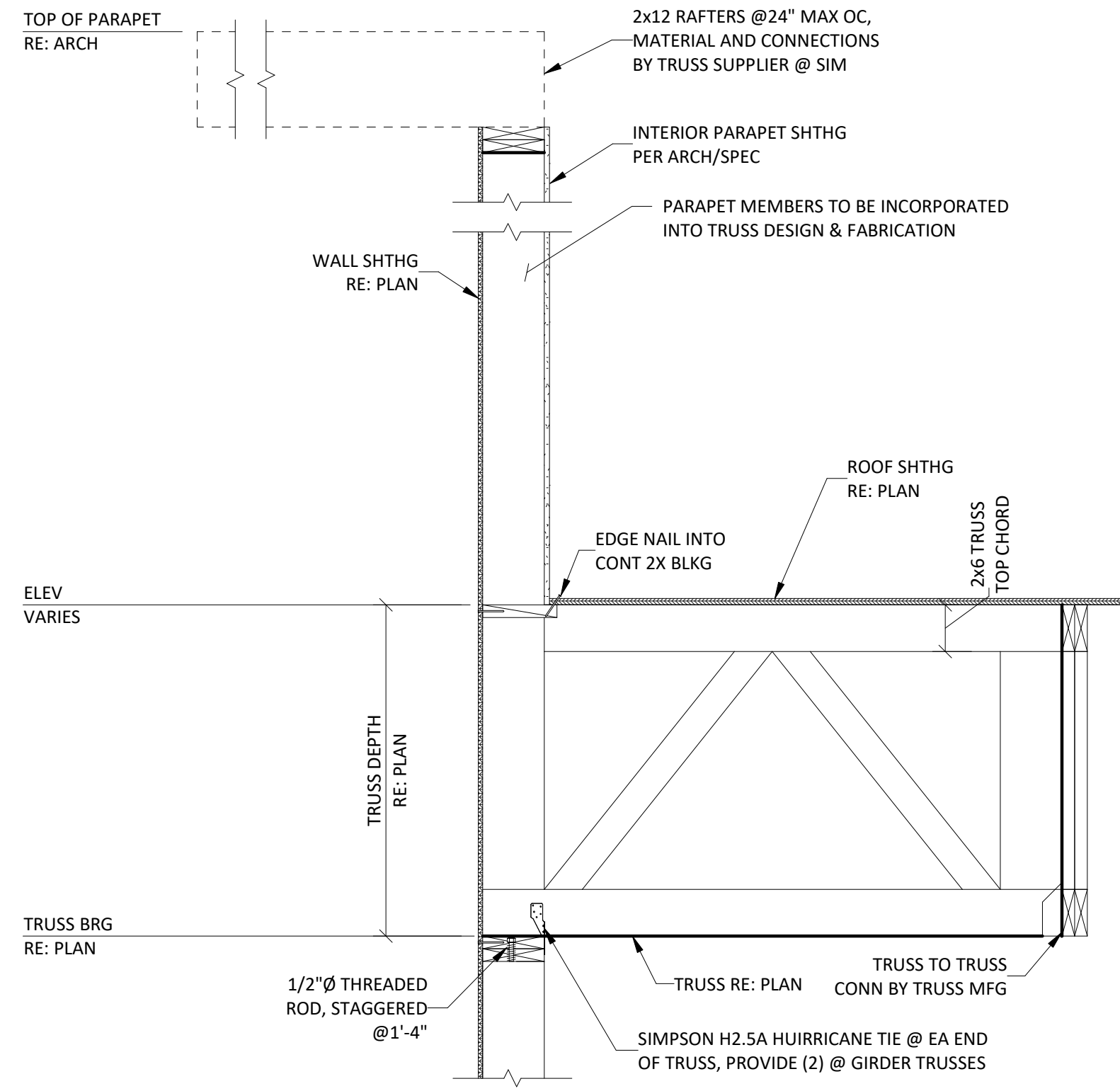
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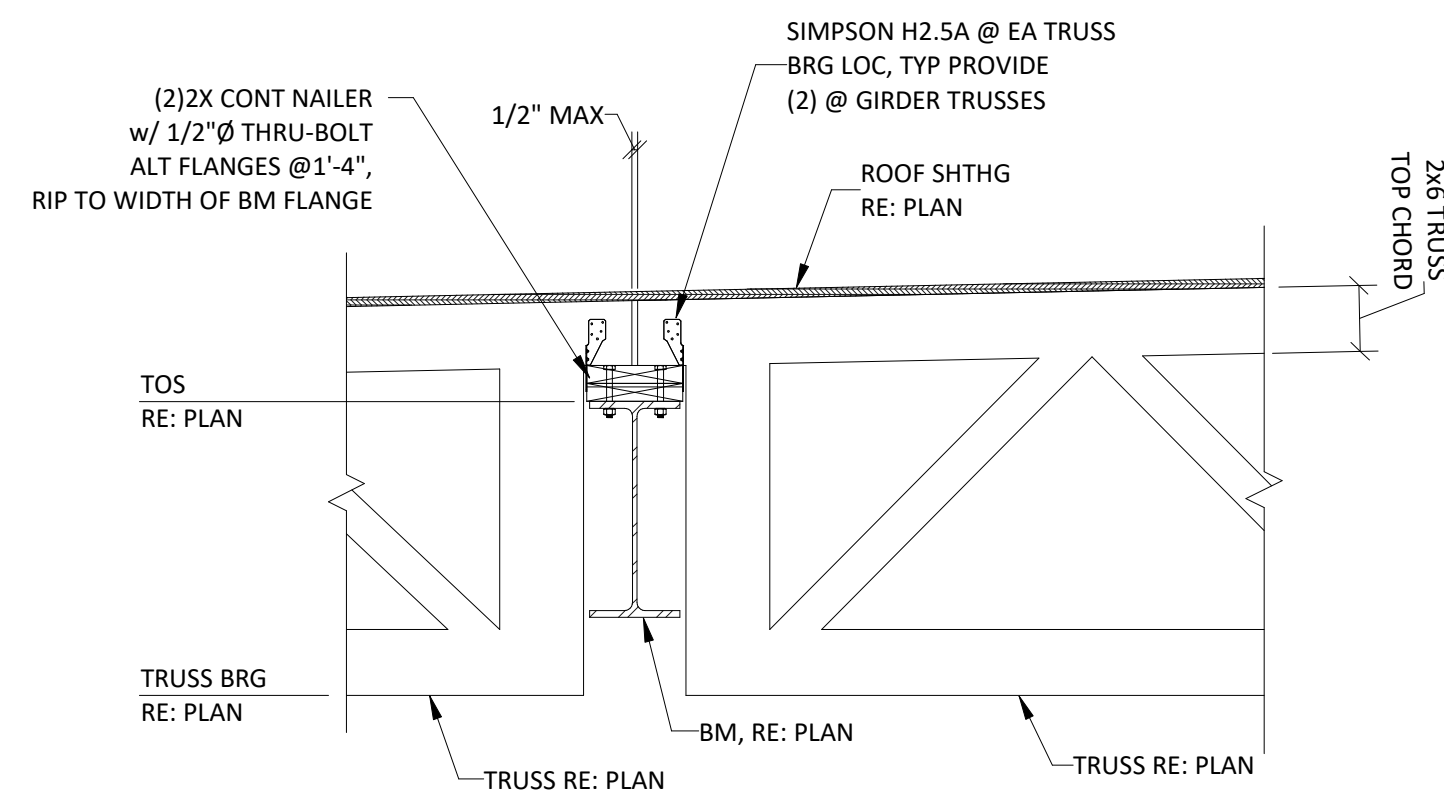
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**B** SECTION  
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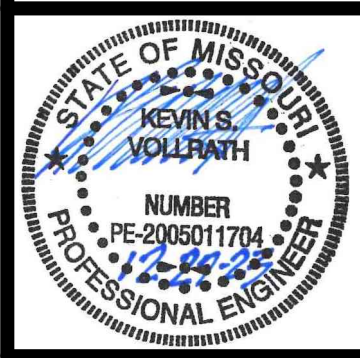
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**D** SECTION  
SCALE: NONE

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**CORE & SHELL BUILDING FOR  
STREETS OF WEST PRIOR LOT 13**  
LEES SUMMIT, MISSOURI

SUBMISSION DATES  
12/27/2023

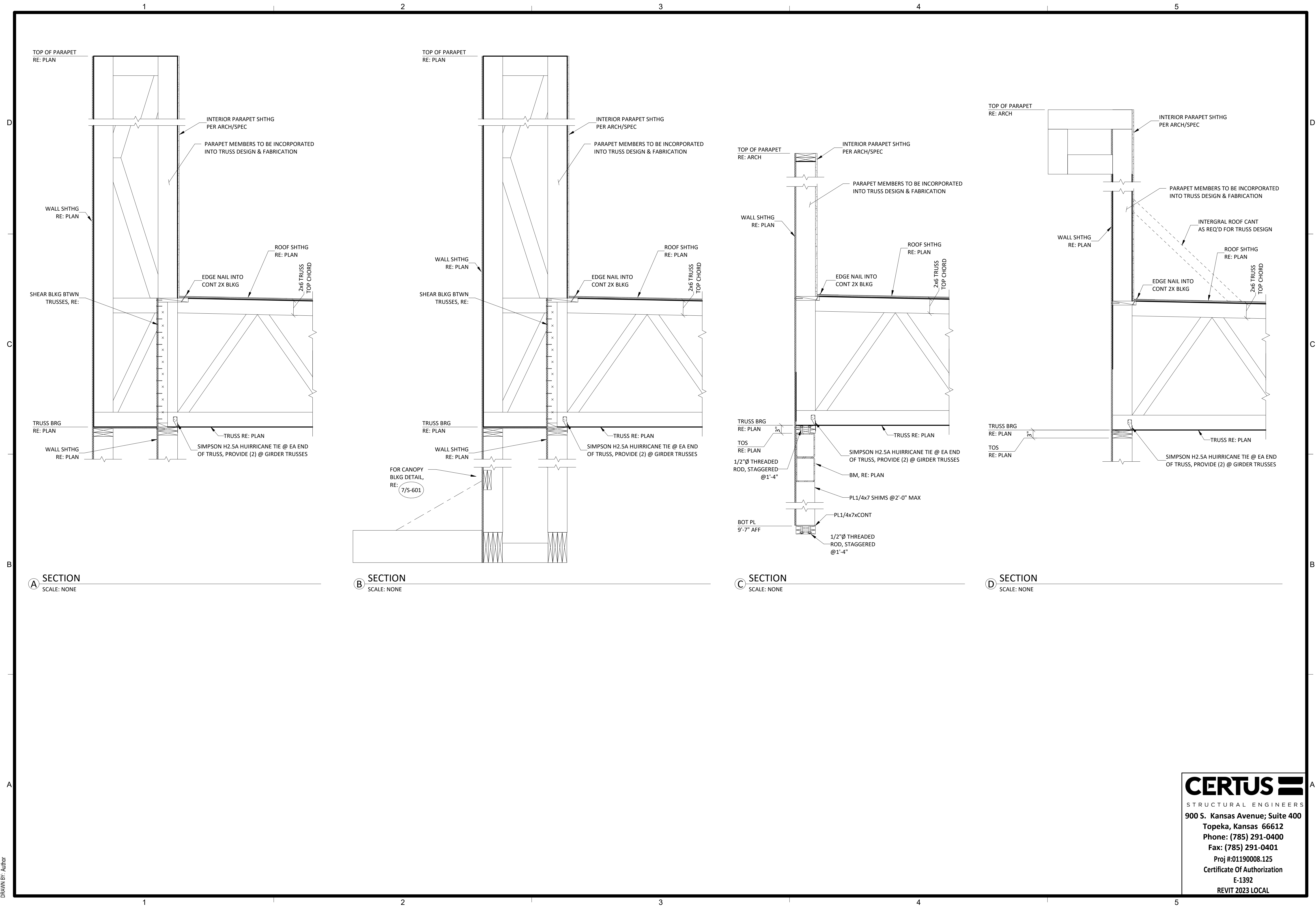
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SECTIONS II

PROJECT NUMBER  
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SHEET NUMBER  
**S-602**



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KEVIN S. VOLLRATH  
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**CORE & SHELL BUILDING FOR  
STREETS OF WEST PRIOR LOT 13**  
LEES SUMMIT, MISSOURI

**SUBMISSION DATES**  
12/27/2023

**SHEET TITLE**  
FRAMING DETAILS &  
SECTIONS III

**PROJECT NUMBER**  
230117

**SHEET NUMBER**  
S-603

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## ABBREVIATIONS

A/E	ARCHITECT / ENGINEER	EWI	ENTERING WATER TEMPERATURE	PSI	POUNDS PER SQUARE INCH
AF	ABOVE FINISHED FLOOR	EX	EXISTING ITEM	PVC	POLYVINYLCHLORIDE
AFG	ABOVE FINISHED GRADE	FFA	FROM FLOOR ABOVE	RA	RETURN AIR
AG	ABOVE GRADE	FFB	FROM FLOOR BELOW	RE/REF	REFER / REFERENCE
AHJ	AUTHORITY HAVING JURISDICTION	FFCO	FINISHED FLOOR CLEAN OUT	RF	RELIEF FAN
ARCH	ARCHITECT	FGCO	FLUSH GRADE CLEAN OUT	RL	RELOCATED ITEM
BFP	BACKFLOW PREVENTER	FL	FLOOR LINE	RPZ	REDUCED PRESSURE ZONE
BG	BUILDING GRADE	FLR	FLOOR	RR	RESTROOM
BLDG	BUILDING	FPW	FEET PER MINUTE	SA	SUPPLY AIR
BMS	BUILDING MANAGEMENT SYSTEM	FWD	FLUSH WALL CLEAN OUT	SPD	SPRING PROTECTIVE DEVICE
C	CONDUIT	G	GROUND / GANG	TA	TRANSFER AIR
CD	CANDELA	G/C	GENERAL CONTRACTOR	TFA	TO FLOOR ABOVE
CD	COLD DECK	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TFB	TO FLOOR BELOW
CLG	COOLING	QPM	GALLONS PER MINUTE	TP	TAMPERPROOF
CM	COORDINATE MOUNTING HEIGHT	HTC	HOT DECK	TP	TAMPERPROOF
CO	CLEAN OUT	HG	HEATING	UNO	UNLESS NOTED OTHERWISE
CIE	CONNECT TO EXISTING	IG	ISOLATED GROUND	VIR	VENT THROUGH ROOF
CSMA	DOUBLE CHECK VALVE ASSEMBLY	JT	JUNCTION BOX	WP	WEATHERPROOF
DCA	DOMESTIC COLD WATER	LED	LIGHT EMITTING DIODE		
DDC	DIRECT DIGITAL CONTROLS	LWT	LEAVING WATER TEMPERATURE		
DF	DRINKING FOUNTAIN	M/C	MECHANICAL CONTRACTOR		
DHW	DOMESTIC HOT WATER	MCB	MAIN CIRCUIT BREAKER		
DHWR	DOMESTIC HOT WATER RETURN	MECH	MECHANICAL		
DIA	DIAMETER	MH	MANHOLE		
DN	DOWN	MLO	MAIN LUGS ONLY		
E/C	ELECTRICAL CONTRACTOR	OA	NET FREE AREA		
EA	EXHAUST AIR	ORD	OVERFLOW ROOF DRAIN		
ELEV	ELEVATION	P/C	PLUMBING CONTRACTOR		
EM	EMERGENCY FIXTURE/DEVICE				

## FIRE SEALING NOTES

- COORDINATE CONSTRUCTION OF OPENINGS AND PENETRATING ITEMS TO ENSURE THAT THROUGH-PENETRATION FIRESTOP SYSTEMS ARE INSTALLED ACCORDING TO SPECIFIED AND APPLICABLE UL REQUIREMENTS.
- COORDINATE SIZING OF SLEEVES, OPENINGS, CORE-DRILLED HOLES, OR CUT OPENINGS TO ACCOMMODATE THROUGH-PENETRATION FIRESTOP SYSTEMS.
- DO NOT COVER UP THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLATIONS UNTIL EXAMINED BY INSPECTOR, IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- COMPATIBILITY: PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS THAT ARE COMPATIBLE WITH ONE ANOTHER; WITH THE SUBSTRATES FORMING OPENINGS; AND WITH THE ITEMS, IF ANY, PENETRATING THROUGH-PENETRATION FIRESTOP SYSTEMS. PROVIDE CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.
- PROVIDE COMPONENTS FOR EACH THROUGH-PENETRATION FIRESTOP SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS. USE ONLY COMPONENTS SPECIFIED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR FIRESTOP SYSTEMS INDICATED.
- PROVIDE SLEEVES THROUGH ALL FIRE-RATED WALLS AND FILL VOIDS SURROUNDING SLEEVES AND INTERIOR TO SLEEVES AROUND PIPING WITH FIRE STOP PUTTY WITH U.L. LISTED 3 HOUR RATING INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- FIRE SEAL ALL PIPING, CONDUIT, CABLE, ETC PENETRATIONS ROUTED THROUGH FIRE RATED WALLS.
- PROVIDE FIRE RATED ENCLOSURES OR WRAPS ON LIGHT FIXTURES AND OTHER ITEMS PENETRATING FIRE RATED CEILINGS, FLOOR/CEILING/ CEILING/ROOF ASSEMBLIES TO MAINTAIN UL LISTING FOR CONSTRUCTION.

## GENERAL NOTES

- SOME ROOM NAMES MAY NOT BE SHOWN FOR PURPOSE OF CLARIFYING PLAN. REFER TO ARCHITECTURAL PLANS FOR REFERENCE TO ROOM NAMES NOT SHOWN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND KEEP AT THE JOB SITE, AN UP TO DATE SET OF "RECORD DRAWINGS" SHOWING ALL CHANGES FROM THE ORIGINAL PLANS. THE CONTRACTOR SHALL DELIVER THE "RECORD DRAWINGS" TO THE ENGINEER AT THE CONCLUSION OF THE PROJECT ELECTRONICALLY.
- THESE DRAWINGS ARE DIAGRAMATIC. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS (NEW AND EXISTING), DIMENSIONS, AND CLEARANCES PRIOR TO THE COMMENCEMENT OF WORK AND SHALL INCLUDE ALL COSTS, EQUIPMENT, MATERIAL, ACCESSORIES, ETC. REQUIRED FOR A FULLY COMPLETE, FUNCTIONAL AND CODE COMPLIANT INSTALLATION.
- FINAL LOCATIONS OF ALL DEVICES, LIGHT FIXTURES, EQUIPMENT ETC SHALL BE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM ARCHITECTURAL PLANS. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM MEP DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS, LICENSES, ETC. AS NEEDED FOR THE COMPLETE INSTALLATION AND PROJECT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL FEES AND DATA NEEDED FOR THIS.

## GEN. MECHANICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL MECHANICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE AHJ.
- ANY POWER FOR CONTROL SYSTEMS TO BE PROVIDED BY E/C IS INDICATED ON ELECTRICAL PLANS. ANY ADDITIONAL LINE VOLTAGE OR LOW VOLTAGE POWER REQUIRED BY THE M/C OR SUBCONTRACTORS TO HAVE A FULLY FUNCTIONING SYSTEM SHALL BE PROVIDED BY THE M/C CONTRACTOR OR SUBS.
- ALL EQUIPMENT SHALL BE ADEQUATELY AND PROPERLY SUPPORTED AND FASTENED FROM STRUCTURE.
- ALL EQUIPMENT AND ACCESSORIES INSTALLED IN CONCEALED SPACES REQUIRING ACCESS SHALL BE PROVIDED WITH ACCESS DOORS MEETING ANY FIRE REQUIREMENTS OF THE WALL/CEILING THEY ARE INSTALLED.
- EACH AIR HANDLING UNIT OVER 2000CFM SHALL BE PROVIDED WITH A SMOKE DETECTOR TO SHUT DOWN THE UNIT PER IMC 606 AS REQUIRED BY AHJ. COORDINATE WITH OTHER TRADES.
- START UP AND ADJUST ALL EQUIPMENT AND VERIFY ALL MECHANICAL SYSTEMS IN OPERATE IN ACCORDANCE WITH THEIR INTENDED PURPOSES. SUBMIT BALANCE AND START UP REPORTS TO THE A/E. REFER TO SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.

## GENERAL ELECTRICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE AHJ.
- COORDINATE LOCATIONS OF RECEPTACLES, SWITCHES, ETC. WITH ARCHITECTURAL CASEWORK AND ELEVATIONS.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- PROVIDE ALL EMPTY CONDUITS WITH PULL STRINGS AND BUSHES ENDS.
- CONTRACTOR SHALL CONCEAL ALL CONDUIT, FITTINGS, AND DEVICES FROM VIEW WHERE REASONABLY POSSIBLE.

## GENERAL PLUMBING NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL PLUMBING CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE AHJ.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. PIPING IN EXTERIOR WALLS SHALL BE INSTALLED ON THE WARM SIDE OF BUILDING INSULATION, INSULATED AND THE CHASE SHALL BE VENTILATED WITH GRILLES ALLOWING INDOOR AMBIENT CONDITIONS TO CIRCULATE THROUGH THE CHASE.
- PROVIDE CLEANOUTS IN THE FOLLOWING LOCATIONS:
  - IN ALL HORIZONTAL DRAINS (WITHIN THE BUILDING) NOT MORE THAN 100 FEET APART.
  - IN BUILDING SEWERS LOCATED NO MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANOUT.
  - EACH CHANGE OF DIRECTION OF THE BUILDING DRAIN OR HORIZONTAL WASTE OR SOIL LINES GREATER THAN 45 DEGREES WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A RUN OF PIPING, ONLY ONE CLEANOUT SHALL BE REQUIRED FOR EACH 40 FEET OF DEVELOPED LENGTH OF THE DRAINAGE PIPING.
  - AT THE BASE OF EACH WASTE OR SOIL STACK.
  - NEAR THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER.

## CONSTRUCTION NOTES

- COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.
- THE CONTRACTOR SHALL COORDINATE THE ROUTING AND POSITION OF ALL SYSTEMS, CONDUITS, PIPES, DUCTS, ETC. WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISERS AND DROPS FOR SYSTEMS AND COMPONENTS AS NEEDED TO INSTALL THE MEP SYSTEMS TO CLEAR STRUCTURE, CEILINGS, ETC AND OTHER SYSTEMS IN POTENTIAL CONFLICT WITH ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- CHECK SPACE REQUIREMENTS WITH OTHER TRADES AND STRUCTURE/CONSTRUCTION TO INSURE THAT ALL MATERIALS AND EQUIPMENT CAN BE INSTALLED IN THE SPACE ALLOTED INCLUDING FINISHED SUSPENDED CEILINGS AND OTHER SPACES, CHASES, ETC. WITHIN THE BUILDING. MAKE MODIFICATIONS THERETO AS REQUIRED AND APPROVED.
- TRANSMIT TO OTHER TRADES ALL INFORMATION REQUIRED FOR WORK TO BE PROVIDED UNDER THEIR RESPECTIVE SECTIONS IN AMPLIE TIME FOR INSTALLATION.
- WHEREVER WORK INTERCONNECTS WITH WORK OF OTHER TRADES, COORDINATE WITH THOSE TRADES TO INSURE THAT ALL SUBCONTRACTORS HAVE THE INFORMATION NECESSARY SO THAT THEY MAY PROPERLY INSTALL ALL CONNECTIONS AND EQUIPMENT. IDENTIFY ALL ITEMS OF WORK THAT REQUIRE ACCESS SO THAT THE CEILING TRADE WILL KNOW WHERE TO INSTALL ACCESS DOORS AND PANELS.
- COORDINATE, PROJECT AND SCHEDULE WORK WITH OTHER TRADES IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE.
- DRAWINGS SHOW THE GENERAL RUNS OF CONDUITS, PIPING AND DUCTWORK AND APPROXIMATE LOCATION OF OUTLETS. ANY SIGNIFICANT CHANGES IN LOCATION OF ITEMS NECESSARY IN ORDER TO MEET FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND RECEIVE HIS APPROVAL BEFORE SUCH ALTERATIONS ARE MADE. ALL SUCH MODIFICATIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND REPAIR OF SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ADJUST LOCATION OF PIPING, DUCTWORK, ETC. TO PREVENT INTERFERENCES, BOTH ANTICIPATED AND ENCOUNTERED. DETERMINE THE EXACT ROUTE AND LOCATION OF EACH ITEM PRIOR TO FABRICATION. MAKE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN SYSTEMS AS REQUIRED TO MAINTAIN ADEQUATE CLEARANCES AND HEADROOM.
- WHEREVER THE WORK IS OF SUFFICIENT COMPLEXITY, PREPARE ADDITIONAL COORDINATION DRAWINGS AND ORGANIZE ON-SITE MEETINGS WITH ALL RELATED SUBCONTRACTORS TO COORDINATE THE WORK BETWEEN TRADES. DRAWINGS SHALL CLEARLY SHOW THE WORK AND ITS RELATION TO THE WORK OF OTHER TRADES, AND BE SUBMITTED FOR REVIEW PRIOR TO COMMENCING SHOP FABRICATION OR ERECTION IN THE FIELD.
- COORDINATE WITH LOCAL UTILITY PROVIDERS FOR THEIR REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL NECESSARY PAYMENTS, MATERIALS, LABOR AND TESTING TO ACCOMPLISH THE WORK.

## 15000 - MECHANICAL SPECIFICATIONS

### SECTION 15000 - MECHANICAL REQUIREMENTS

- GENERAL REQUIREMENTS
  - ALL WORK SHALL BE IN ACCORDANCE W/ LATEST EDITION OF INTERNATIONAL BUILDING, MECHANICAL & PLUMBING CODES, CODES AS ADOPTED BY CITY, COUNTY, STATE & ALL OTHER APPLICABLE CODES.
  - FURNISH & INSTALL ALL LABOR & MATERIALS REQUIRED FOR COMPLETE, FUNCTIONING, MECHANICAL & PLUMBING SYSTEMS W/ ALL ASSOCIATED EQUIPMENT & APPARATUS AS SHOWN ON PLANS. "PROVIDE" MEANS TO FURNISH & INSTALL.
  - OBTAIN & PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THIS WORK & SHALL MAKE ARRANGEMENTS FOR MODIFICATIONS TO WATER, GAS & SEWER CONNECTIONS TO BUILDING AS REQUIRED.
  - VISIT SITE & OBSERVE CONDITIONS UNDER WHICH WORK WILL BE DONE. ANY DISCREPANCIES SHALL BE CALLED TO ARCHITECT'S ATTENTION. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN CONTRACT FOR ANY ERROR OR NEGLIGENCE ON CONTRACTOR'S PART.
  - FINAL ACCEPTANCE OF WORK SHALL BE SUBJECT TO CONDITION THAT ALL SYSTEMS, EQUIPMENT, APPARATUS & APPLIANCES OPERATE SATISFACTORILY AS DESIGNED & INTENDED. WORK SHALL INCLUDE REQUIRED ADJUSTMENT OF SYSTEMS & CONTROL EQUIPMENT INSTALLED UNDER THESE SPECIFICATIONS.
  - WARRANT TO OWNER QUALITY OF MATERIAL, EQUIPMENT, WORKMANSHIP & OPERATION OF EQUIPMENT PROVIDED UNDER THESE SPECIFICATIONS FOR ONE YEAR FROM & AFTER COMPLETION OF BUILDING & ACCEPTANCE OF MECHANICAL SYSTEMS BY OWNER.
  - ALL MATERIALS INSTALLED IN PLENUMS SHALL BE NONCOMBUSTIBLE OR HAVE FLAME/SMOKE INDEX OF NO MORE THAN 25/50 IN ACCORDANCE W/ ASTM E 84.
  - ROOF PENETRATIONS - MADE BY AUTHORIZED ROOFING CONTRACTOR WHEN REQUIRED.

### SECTION 15100 - PLUMBING

- PIPING
  - WATER PIPING - ALL WATER PIPING SHALL BE 95-5 TIN-ANTIMONY JOINED TYPE L COPPER, INSULATE W/ FIBERGLASS W/ ASJ & PVC COVERS. THICKNESS IN ACCORDANCE W/ ASHRAE 90.1.
  - WASTE & VENT PIPING - CI BELL & SPIGOT OR HUBLESS CI W/ NEOPRENE GASKET FITTINGS W/ STAINLESS STEEL BANDS. SCHED 40 PVC W/ SOLVENT WELDS MAY BE USED WHERE ALLOWED BY LOCAL CODE. PVC NOT ALLOWED IN PLENUMS.
  - GAS PIPING - PROVIDE SCHED 40 CONT. WELD CARBON STEEL W/ CORRESPONDING FITTINGS. PROVIDE THREADED FITTINGS. PROVIDE IRON BODY-BRASS PLUG GAS STOPS. PAINT ALL EXPOSED GAS PIPING ON THE EXTERIOR OF THE BUILDING INCLUDING ON THE ROOF.
- VALVES
  - BALL VALVES - 2" & UNDER - BRONZE FULL PORT W/ TEFLON SEATS, BRONZE BALL & INSULATED HANDLE.
  - BALANCING VALVES - ARMSTRONG MODEL CBV 1 OR CBV II, 125 PSI-WP AT 250 DEGREES F, METER CONNECTIONS W/ BUILT-IN CHECK VALVES SCREWED OR FLANGED ENDS. PROVIDE POLYURETHANE INSULATION COVER.
  - CHECK VALVES - 2" & SMALLER SCREWED OR SOLDER BRONZE CHECK VALVE, 200 PSI-WOG/125 PSI-WSP. TEFLOON OR BRONZE DISC & SEAT RING. 2-1/2" & LARGER FLANGED, ASTM 126 IRON BODY, BRONZE TRIMMED, 200 PSI-WOG/125 PSI-WSP.
  - BUTTERFLY VALVES - 3" & LARGER LEVER ASTM A126 CI DRILLED & TAPPED FULL LUG BODY, 200 PSI-WOG, EXTENDED NECK, BRONZE DISC, STAINLESS STEEL STEM, FIELD-REPLACABLE EPDM SLEEVE & STEM SEALS.
  - EQUIVALENT VALVE MANUFACTURERS: MILWAUKEE, STOCKHAM, POWELL, RED-WHITE, CRANE, APOLLO, MUELLER, MUESSCO, WATTS, HAYS, ROCKWELL-NORDSTROM.

FITTINGS - SEE SCHEDULES  
 A. DRAINS BY WADE, ZURN, WOODFORD, SMITH, JOSAM.  
 B. WALL HYDRANTS JOSAM SERIES 71000 W/ CONNECTIONS FOR 3/4" PIPE & HOSE. NON-FREEZING W/ KEY, VACUUM BREAKER, LOCKING COVER. EQUIVALENT BY J.R. SMITH, WADE, WOODFORD OR ZURN.

### EXECUTION

- PROVIDE UNIONS OR FLANGED JOINTS IN EACH PIPE LINE PRECEDING CONNECTIONS TO EQUIPMENT TO ALLOW REMOVAL FOR REPAIR OR REPLACEMENT. PROVIDE ALL SCREWED & CONTROL VALVES W/ UNIONS ADJACENT TO EACH CONNECTION. PROVIDE SCREWED ENDS W/ UNION ADJACENT TO VALVE UNLESS VALVE CAN BE OTHERWISE EASILY REMOVED FROM LINE.
- AFTER PIPING IS IN PLACE TEST LINES TO ENSURE NO LEAKS.
- ALL PIPING & EQUIPMENT SHALL BE SUPPORTED PROPERLY FROM STRUCTURE.
- ESCUTCHEONS - PROVIDE NICKEL-BRASS OR CHROME PLATED ON ALL EXPOSED PIPES WHEN PASSING THRU WALL OR CEILING OF FINISHED ROOMS.
- VERIFY FLOOR MATERIALS USED FROM ARCHITECTURAL PLANS & PROVIDE PROPER CLEANOUT TOPS, WHERE THEY OCCUR IN CARPET, QUARRY TILE, VINYL TILE OR CERAMIC TILE.
- PROVIDE WATER HAMMER ARRESTORS FOR ALL PLUMBING BANKS W/ FIXTURES UTILIZING FLUSH VALVES AS SHOWN & SPECIFIED.
- CONTRACTOR SHALL VISIT SITE & OBSERVE CONDITIONS UNDER WHICH WORK WILL BE DONE. ANY DISCREPANCIES SHALL BE CALLED TO ARCHITECT'S ATTENTION. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN THIS CONNECTION FOR ANY ERROR OR NEGLIGENCE ON CONTRACTOR'S PART.
- FINAL ACCEPTANCE OF WORK SHALL BE SUBJECT TO CONDITION THAT ALL SYSTEMS, EQUIPMENT, APPARATUS & APPLIANCES OPERATE SATISFACTORILY AS DESIGNED & INTENDED. WORK SHALL INCLUDE REQUIRED ADJUSTMENT OF SYSTEMS & CONTROL EQUIPMENT INSTALLED UNDER THESE SPECIFICATIONS.
- WARRANT TO OWNER QUALITY OF MATERIAL, EQUIPMENT, WORKMANSHIP & OPERATION OF EQUIPMENT PROVIDED UNDER THESE SPECIFICATIONS FOR ONE YEAR FROM & AFTER COMPLETION OF BUILDING & ACCEPTANCE OF MECHANICAL SYSTEMS BY OWNER.
- ALL MATERIALS INSTALLED IN PLENUMS SHALL BE NONCOMBUSTIBLE OR HAVE FLAME/SMOKE INDEX OF NO MORE THAN 25/50 IN ACCORDANCE W/ ASTM E 84.
- ROOF PENETRATIONS - MADE BY AUTHORIZED ROOFING CONTRACTOR WHEN REQUIRED.

### SECTION 15300 - HVAC

- PROVIDE COMPLETE HVAC SYSTEM AS SHOWN ON DRAWINGS INCLUDING ALL NECESSARY EQUIPMENT, DUCTWORK, DIFFUSERS, GRILLES, & FILTERS. PROVIDE OPERATING & MAINTENANCE INSTRUCTIONS ON ALL EQUIPMENT.
- ALL HVAC WORK SHALL BE DONE IN STRICT ACCORDANCE W/ ALL REQUIREMENTS OF LOCAL BUILDING CODE, ASHRAE, NEC, NFPA, & ALL OTHER APPLICABLE CODES HAVING JURISDICTION.

### DUCTWORK

- HVAC DUCTWORK SHALL BE GALV SHEET METAL OF GAUGES & JOINT TYPES SPECIFIED IN SMACNA MANUAL. PROVIDE TURNING VANES IN ELBOWS.
- VOLUME DAMPERS SHALL BE MANUAL LOCKING BLADE TYPE.
- ALL DUCTWORK MUST BE SUPPORTED PROPERLY FROM STRUCTURE.
- WRAP ALL SUPPLY & OUTSIDE AIR HVAC DUCTWORK W/ CERTAINEED 1-1/2" THICK INSULATION W/ VAPOR BARRIER IN CONCEALED LOCATIONS. ALSO LINE FIRST 10' OF SUPPLY DUCTWORK FOR SOUND ATTENUATION (IN ADDITION TO WRAP) LINE ALL RETURN AIR DUCTS & TRANSFER DUCTS W/ 1/2" LINER.

### EQUIPMENT

- ROOFTOP UNITS AS SCHEDULED. EQUIVALENTS BY TRANE, CARRIER, YORK, LENNOX, AAO, DAKIN, MIN 14" ROOF CURB. PROVIDE SLOPED CURB AS REQUIRED FOR LEVEL UNIT INSTALLATION. ECONOMIZER W/ BAROMETRIC RELIEF, FIXED DRY BULB CONTROL, 2" MERV 7 FILTERS, LOWERED HAL GUARDS, 30 DEG LOW AMBIENT.
- PROVIDE PROGRAMMABLE THERMOSTATS W/ STAGES OF HEATING AND COOLING AS REQUIRED BY STAGES OF HEATING AND COOLING ON SPECIFIED EQUIPMENT. SEVEN (7) DAY PROGRAMMING CAPABILITY W/ 2 OCC/UNOCC PERIODS/DAY. AUTO HEAT/COOL CHANGE OVER. LOCKING SETPOINTS TO PREVENT TAMPERING. PROVIDE W/ ALL INTERFACES TO OTHER EQUIPMENT AS REQUIRED. THERMOSTATS BY HONEYWELL, JOHNSON CONTROLS, WHITE-ROGERS, TRANE, CARRIER, AAO, LENNOX, DAKIN, OR APPROVED EQUAL.

### EXECUTION

- COORDINATE W/ E/C TO PROVIDE ALL WIRING BETWEEN EQUIPMENT, DAMPERS, THERMOSTATS & ALL OTHER REQUIRED CONTROLS & DEVICES. PROVIDE ANY REQUIRED INTERFACES TO FIRE ALARM OR SIMILAR SYSTEMS.
- PROVIDE GROUND-MOUNTED UNITS ON 4", REINFORCED CONCRETE BASE, 4" LARGER THAN UNIT ON EACH SIDE.
- ROOF-MOUNTED UNITS ON EQUIPMENT SUPPORTS OR CURBS. ANCHOR UNITS TO SUPPORTS.
- PROVIDE FACTORY-AUTHORIZED SERVICE START UP ON EQUIPMENT. TRAIN OWNER'S MAINTENANCE PERSONNEL ON STARTUP, SHUTDOWN, TROUBLESHOOTING, SERVICING, PREVENTIVE MAINTENANCE.

## 16000 - ELECTRICAL SPECIFICATIONS

### SECTION 16000 - ELECTRICAL REQUIREMENTS

#### GENERAL REQUIREMENTS

- ALL WORK SHALL BE IN ACCORDANCE W/ LATEST EDITION OF INTERNATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE, NFPA, CODES AS ADOPTED BY CITY, COUNTY, STATE & ALL OTHER APPLICABLE CODES.
- ALL MATERIALS & EQUIPMENT SHALL BE NEW & SHALL BEAR U.L. LABEL WHERE APPLICABLE. PROVIDE WATERPROOF EQUIPMENT ENCLOSURES WHERE REQUIRED.
- OBTAIN & PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THIS WORK & SHALL MAKE ARRANGEMENTS FOR MODIFICATIONS TO ELECTRICAL CONNECTIONS TO BUILDING AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL LABOR & MATERIALS TO HAVE COMPLETE FUNCTIONING ELECTRICAL LIGHTING & POWER SYSTEMS TOGETHER W/ ALL ASSOCIATED EQUIPMENT & APPARATUS AS SHOWN ON PLANS.
- WHERE AN ELECTRICAL DEVICE IS REQUIRED BY CODE BUT NOT SHOWN, IT SHALL BE PROVIDED AS SHOWN FULLY SHOWN & SPECIFIED.
- CONTRACTOR SHALL VISIT SITE & OBSERVE CONDITIONS UNDER WHICH WORK WILL BE DONE. ANY DISCREPANCIES SHALL BE CALLED TO ARCHITECT'S ATTENTION. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN THIS CONNECTION FOR ANY ERROR OR NEGLIGENCE ON CONTRACTOR'S PART.
- FINAL ACCEPTANCE OF WORK SHALL BE SUBJECT TO CONDITION THAT ALL SYSTEMS, EQUIPMENT, APPARATUS & APPLIANCES OPERATE SATISFACTORILY AS DESIGNED & INTENDED. WORK SHALL INCLUDE REQUIRED ADJUSTMENT OF SYSTEMS & CONTROL EQUIPMENT INSTALLED UNDER THESE SPECIFICATIONS.
- WARRANT TO OWNER QUALITY OF MATERIALS, EQUIPMENT, WORKMANSHIP & OPERATION OF EQUIPMENT PROVIDED UNDER THESE SPECIFICATIONS FOR ONE YEAR FROM & AFTER COMPLETION OF BUILDING & ACCEPTANCE OF MECHANICAL SYSTEMS BY OWNER.
- ALL MATERIALS INSTALLED IN PLENUMS SHALL BE NONCOMBUSTIBLE OR HAVE FLAME/SMOKE INDEX OF NO MORE THAN 25/50 IN ACCORDANCE W/ ASTM E 84.

### SECTION 16100 - CONDUIT & CONDUCTORS

- FOLLOW CIRCUITING SHOWN ON PLANS. USE NO CONDUIT SMALLER THAN 1/2" & NO CONDUCTORS SMALLER THAN #12 GA. UNLESS NOTED OTHERWISE.
- WIRE SHALL BE IN NON-FLEXIBLE METALLIC CONDUIT (EMT, IMC OR RMC) FOR ALL CIRCUITS AND FEEDERS GREATER THAN 30A, LIGHT SWITCH RISERS, KITCHEN CIRCUITS & HOME RUNS.
- MC CABLE ACCEPTABLE FOR BRANCH CONVENIENCE CIRCUITS AND LIGHTING CIRCUITS. DO NOT DUSTY CHAIN LIGHT FIXTURES. PROVIDE MC LUMINARY CABLE WITH BUILT-IN TWISTED JACKETED PAIR FOR LIGHTING CIRCUITS FOR LIGHTING CONTROLS. PROVIDE HEALTH CARE RATED MC FOR MEDICAL TREATMENT AREAS WHEN NOT IN CONDUIT.
- CONDUIT INSTALLED BELOW GRADE SHALL BE 1/2" RIGID HEAVY WALL PLASTIC CONDUIT MEETING NEMA STANDARDS & UL LISTED FOR UNDERGROUND & EXPOSED USE. PROVIDE GRS RADIUS BENDS & RISERS AS CONDUITS RISE ABOVE GRADE OR ABOVE FLOOR SLAB.
- PROVIDE INTERLOCKING SUPPORTS FOR MULTIPLE RUNS OF UG CONDUITS IN SAME TRENCH.
- LIGHTING & RECEPTACLE CIRCUIT CONDUCTORS SHALL BE COPPER THHN/THWN 600 VOLT, 75 DEG C, COLOR CODED AS DESCRIBED UNDER APPLICABLE CODES. NO ROMEX, PLASTIC FLEX TUBING ETC PERMITTED. LIGHT FIXTURE WIRE INSULATION SHALL HAVE VOLT RATING NOT LESS THAN INDIVIDUAL FIXTURE MANUF RECOMMENDED RATING.
- CIRCUITS W/ NO. 8 OR LARGER CONDUCTORS, MOTOR CIRCUITS, POWER & FEEDER CIRCUITS & BUILDING SERVICE FEEDERS SHALL BE COPPER THHN/THWN 600 VOLT, 75 DEG C.
- HVAC, LIGHTING, JUNCTION BOXES, ETC. ABOVE CEILINGS SHALL BE SUPPORTED FROM STRUCTURE. PIPE SLEEVES, HANGERS & SUPPORTS SHALL BE FURNISHED & SET & CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER & PERMANENT LOCATIONS.

### SECTION 16200 - GROUNDING

- SUPPLEMENT GROUNDING NEUTRAL OF SECONDARY DISTRIBUTION SYSTEM W/ EQUIPMENT GROUNDING SYSTEM, INSTALLED SO THAT METALLIC STRUCTURES, ENCLOSURES, RACEWAYS, JUNCTION BOXES, OUTLET BOXES, CABINETS, MACHINE FRAMES, PORTABLE EQUIPMENT & OTHER CONDUCTIVE ITEMS OPERATE CONTINUOUSLY AT GROUND POTENTIAL & PROVIDE LOW IMPEDANCE PATH FOR GROUND FAULT CURRENTS.
- SYSTEM SHALL COMPLY W/ NATIONAL ELECTRICAL CODE, DRAWINGS & AS SPECIFIED.
- PROVIDE EQUIPMENT GROUND BUS IN BASE OF LOW VOLTAGE SWITCHGEAR BRAZED OR OTHERWISE ADEQUATELY CONNECTED BY AN APPROVED METHOD TO GROUND RODS.
- PROVIDE IN CONDUIT GREEN INSULATED COPPER GROUND CONDUCTOR TO MAIN METALLIC WATER SERVICE ENTRANCE & CONNECT BY MEANS OF ADEQUATE GROUND CLAMPS.
- EQUIPMENT GROUNDING CONDUCTORS FOR BRANCH CIRCUIT HOME RUNS SHOWN ON DRAWINGS SHALL INDICATE AN INDIVIDUAL & SEPARATE GROUND CONDUCTOR FOR THAT BRANCH CIRCUIT WHICH SHALL BE TERMINATED AT BRANCH CIRCUIT PANELBOARD, SWITCHBOARD, OR OTHER DISTRIBUTION EQUIPMENT.

- PROVIDE LOW VOLTAGE DISTRIBUTION SYSTEM W/ SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR EACH SINGLE OR THREE-PHASE FEEDER. SINGLE PHASE 120 VOLT BRANCH CIRCUITS FOR LIGHTING & POWER SHALL CONSIST OF PHASE & NEUTRAL CONDUCTORS & GREEN GROUND CONDUCTOR INSTALLED IN COMMON CONDUIT WHICH SHALL SERVE AS GROUNDING CONDUCTOR.
- GROUNDING CONDUCTORS SHALL BE AS SHOWN ON PLANS OR IF NOT SPECIFICALLY SHOWN SHALL BE NO SMALLER THAN THAT REQUIRED BY NEC.

### SECTION 16300 - ELECTRICAL EQUIPMENT

- JUNCTION BOXES & OUTLET BOXES SHALL BE GALVANIZED KNOCKOUT TYPE. LIGHTING FIXTURE BOXES IN CEILINGS SHALL NOT BE LESS THAN 4" OCTAGONAL KNOCKOUT TYPE. OUTLETS SHALL BE INSTALLED IN LOCATIONS SHOWN ON DRAWINGS EXCEPT OUTLETS MAY BE MOVED 4 FEET IN EITHER DIRECTION IF SO DIRECTED, WITHOUT ADDITIONAL COST. BOXES SHALL BE FLUSH MOUNTED ON WALLS FOR CONCEALED WORK. GANGABLE BOXES SHALL BE USED IN ALL GYPBOARD SURFACES.

### PANELBOARDS

- BRANCH CIRCUIT 208/240V PANELS SHALL BE CAPACITY SHOWN W/ TIN PLATED COPPER BUSSING & BRACED FOR MINIMUM OF 22,000A AC OR AS OTHERWISE NOTED OR REQUIRED (SERIES RATED ACCEPTABLE). BOLT ON CIRCUIT BREAKERS: 480V PANELS SAME EXCEPT 25,000A AC MIN. MINIMUM 20" WIDE W/ GALV STEEL ENCLOSURE W/ HINGED DOOR & KEYS LOCK. COORD TRIM WITH MOUNTING LOCATION. PANELS TO BE RECESSED WHENEVER POSSIBLE.
- DISTRIBUTION PANELS SHALL BE CAPACITY SHOWN & SHALL BE SQUARE D I-LINE W/ TIN PLATED COPPER BUSSING. 650A MIN OR AS OTHERWISE NOTED/REQD. BOLT ON CIRCUIT BREAKERS (SERIES RATED ACCEPTABLE). GALV STEEL ENCLOSURE.
- EQUIVALENT BY SQUARE D, SIEMENS, CUTLER HAMMER, OR GE.

### SECTION 16350 - ELECTRICAL IDENTIFICATION

- MANUFACTURED LABELS FOR EACH PANELBOARD & TRANSFORMER. TYPEWRITTEN PANEL SCHEDULES MOUNTED IN PANELS.
- PRINTED TAPE STYLE LABEL FOR EACH RECEPTACLE INDICATING PANEL & CIRCUIT #.
- MANUFACTURED LABELS FOR ALL DISCONNECT SWITCHES INDICATING EQUIPMENT SERVED.
- BRANCH CIRCUITS - IDENTIFY EACH CIRCUIT W/ WIRE MARKERS WHEN ENCLOSURE LABEL AND WIRE COLOES DO NOT PROVIDE ENOUGH INFORMATION TO IDENTIFY EACH CIRCUIT WITHOUT TRACING. FEEDERS & BRANCH CIRCUIT HOME RUNS W/ WIRE MARKER W/ PANEL & CKT #. BOX COVERS ABOVE LAY-IN CEILINGS NEATLY MARKED W/ INDELEBIL MARKER.

### SECTION 16400 - WIRING DEVICES

- CONVENIENCE OUTLETS - SPEC GRADE 20 AMP DUPLEX W/ GROUND & SS WALL PLATES. OTHER OUTLETS SHALL BE VERIFIED W/ EQUIPMENT SUPPLIERS FOR PROPER CONFIGURATIONS. PROVIDE GFCI RATED DEVICES WHERE INDICATED AND AS REQD PER CODE.
- PROVIDE GFCI RATED DEVICES WHERE INDICATED AND ANYWHERE REQUIRED PER THE NEC.
- PROVIDE AFCI PROTECTION ON ALL CIRCUITS REQUIRED PER THE NEC.
- LIGHT SWITCHES - SPEC GRADE 20 AMP TOGGLE SWITCHES W/ SS WALL PLATES.
- WALL MOTION SWITCHES - SPEC GRADE, PIR, OVERRIDE.
- CEILING MOTION SWITCHES - SPEC GRADE, DUAL TECHNOLOGY, MODEL AS REQD BY ROOM CONFIGURATION. ALL NECESSARY POWER PACKS AND RELAYS.
- COLOR OF DEVICES AS DIRECTED BY ARCHITECT.
- EQUIVALENT DEVICES BY LEVITON, BRYANT, HUBBELL, WATSTOPPER, LITTONA, SENSOR SWITCH.

### EXECUTION

- ALL OUTLETS, SHALL BE MOUNTED W/ BOTTOM AT 18" AFF & SWITCHES W/ BOTTOM AT 44" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE ON PLANS. REFER TO ARCH FOR OTHER REQUIRED ELEVATIONS AND CABINERY COORDINATION.

### SECTION 16500 - LED LUMINAIRES

- PROVIDE LIGHTING FIXTURES W/ ALL ACCESSORIES REQ'D FOR HANGING. COORD MOUNTING OF LIGHTING FIXTURES W/ ARCHITECT & G/C. ADDITIONAL FIXTURE SUPPORTS SHALL BE PROVIDED BY E/C. SUPPORTS SHALL COMPLY W/ LATEST EDITION OF NEC. PROVIDE LIGHTING FIXTURE SECURING CLIPS AS REQUIRED. CONSULT ARCH PLANS FOR CEILING TYPES & PROVIDE SURFACE & RECESSED LIGHTING FIXTURES W/ APPROPRIATE MOUNTING COMPONENTS & ACCESSORIES.
- REFER TO LIGHTING FIXTURE SCHEDULE PLANS FOR FIXTURE TYPES.
- EQUIVALENT LUMINAIRES BY CREE, COOPER, HUBBELL, INFINITY, LITTONA, WILLIAMS, COLUMBIA, ELECTRONICS, LITEALARM, EXIDE, MUE, DUALITE.

## MECHANICAL AND PLUMBING SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

### SHEET METAL

- HIGH EFFICIENCY ROUND DUCT TAKEOFF (WITH & WITHOUT MANUAL DAMPER)
- SPIN-IN ROUND DUCT TAKEOFF (WITH & WITHOUT MANUAL DAMPER)
- CONICAL BELLMOUTH ROUND TAKEOFF
- ROUND DUCT RUNOUT WITH FLEX DUCT
- DUCTWORK ELBOW (WITH & WITHOUT TURNING VANES)

- RETURN GRILLE OR EXHAUST REGISTER
- SUPPLY AIR FLOW INDICATOR
- RETURN AND EXHAUST AIR FLOW INDICATOR
- THERMOSTAT
- TEMPERATURE SENSOR
- HUMIDISTAT
- CONTROL WIRING

- INDICATES CONNECT TO EXISTING
- INDICATES ELEVATION

- HOSE BIBB
- WALL HYDRANT
- CLEAN OUT
- REDUCED PRESSURE BACKFLOW PREVENTER
- DOUBLE CHECK BACKFLOW PREVENTER

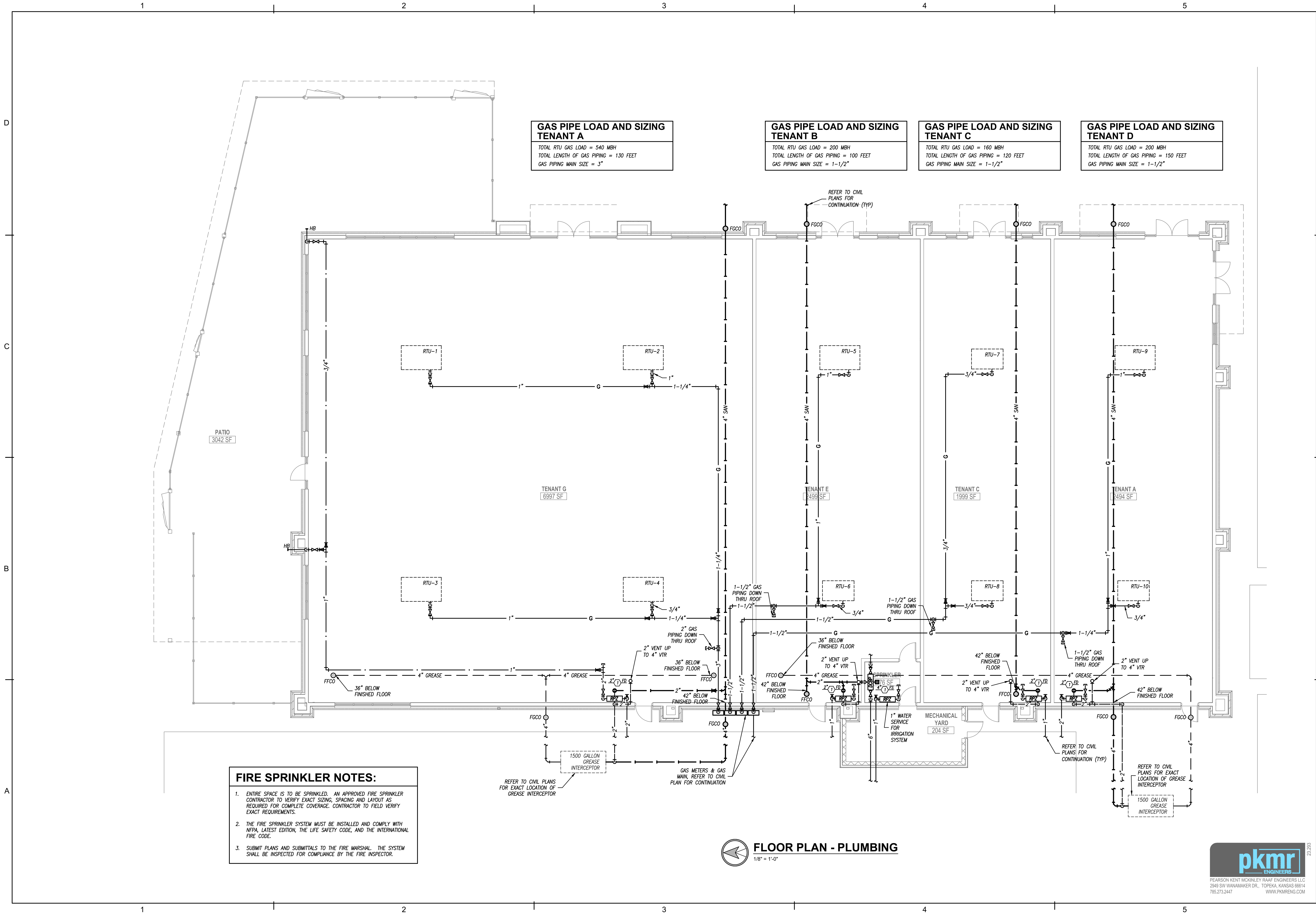
- PLUMBING FIXTURE AND CALLOUT
- FD: FLOOR DRAIN, AD: AREA DRAIN, FS: FLOOR SINK
- RD: ROOF DRAIN
- ORD: OVERFLOW ROOF DRAIN

- INDICATES CONNECT TO EXISTING
- INDICATES ELEVATION

- HOSE BIBB
- WALL HYDRANT
- CLEAN OUT
- REDUCED PRESSURE BACKFLOW PREVENTER
- DOUBLE CHECK BACKFLOW PREVENTER

- PLUMBING FIXTURE AND CALLOUT
- FD: FLOOR DRAIN, AD: AREA DRAIN, FS: FLOOR S





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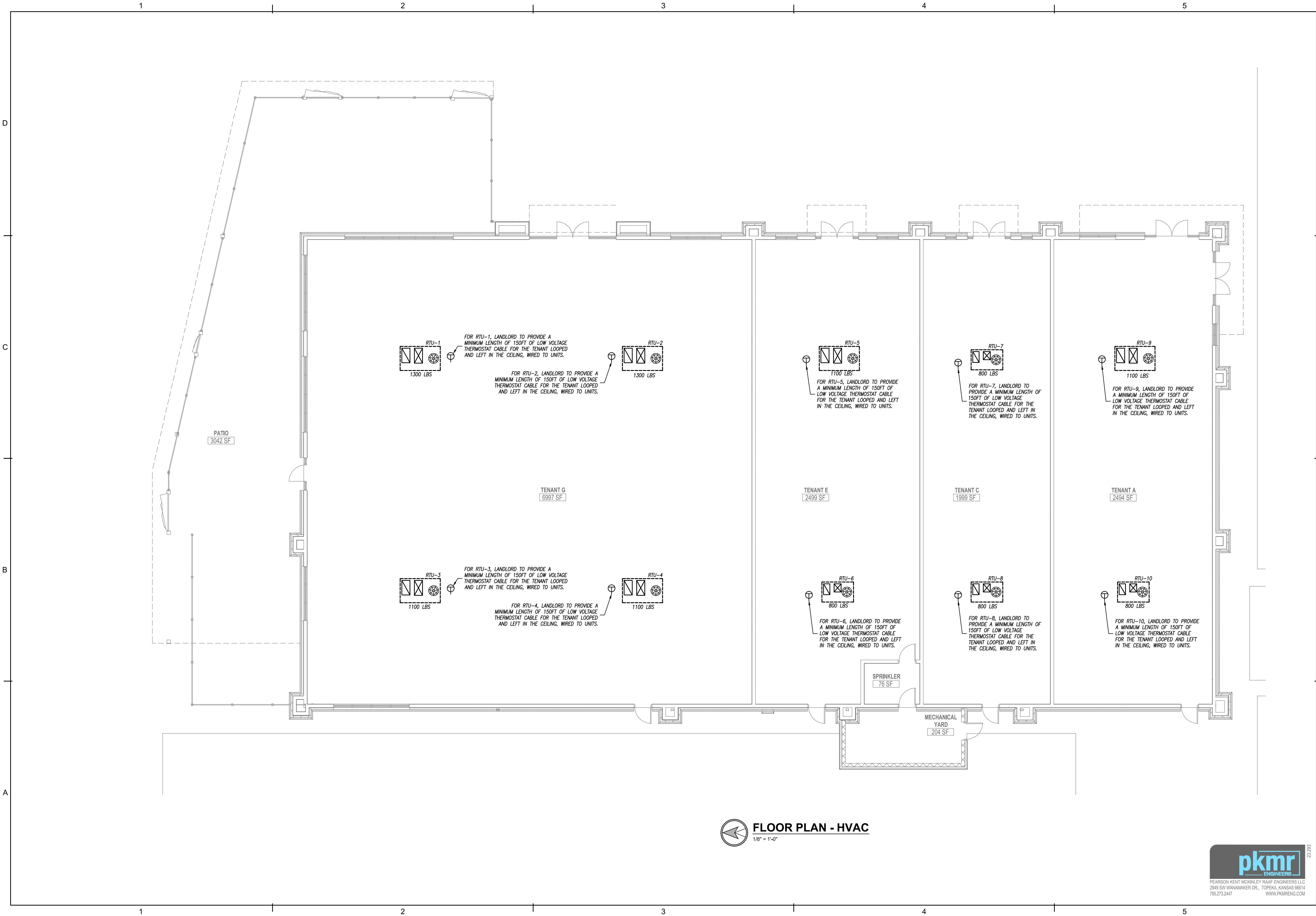
Bryan Leinwetter - Engineer  
MOR PE-2020020297

**CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
LEES SUMMIT, MISSOURI**

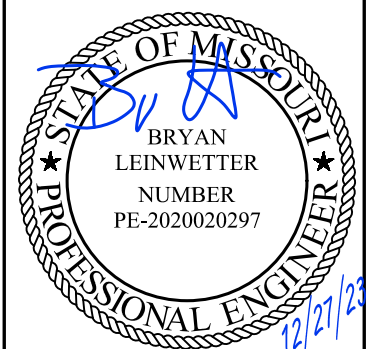
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PROJECT NUMBER 235008
SHEET NUMBER M-101

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**CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
LEES SUMMIT, MISSOURI**

SUBMISSION DATES
DECEMBER 27, 2023

SHEET TITLE
HVAC PLAN

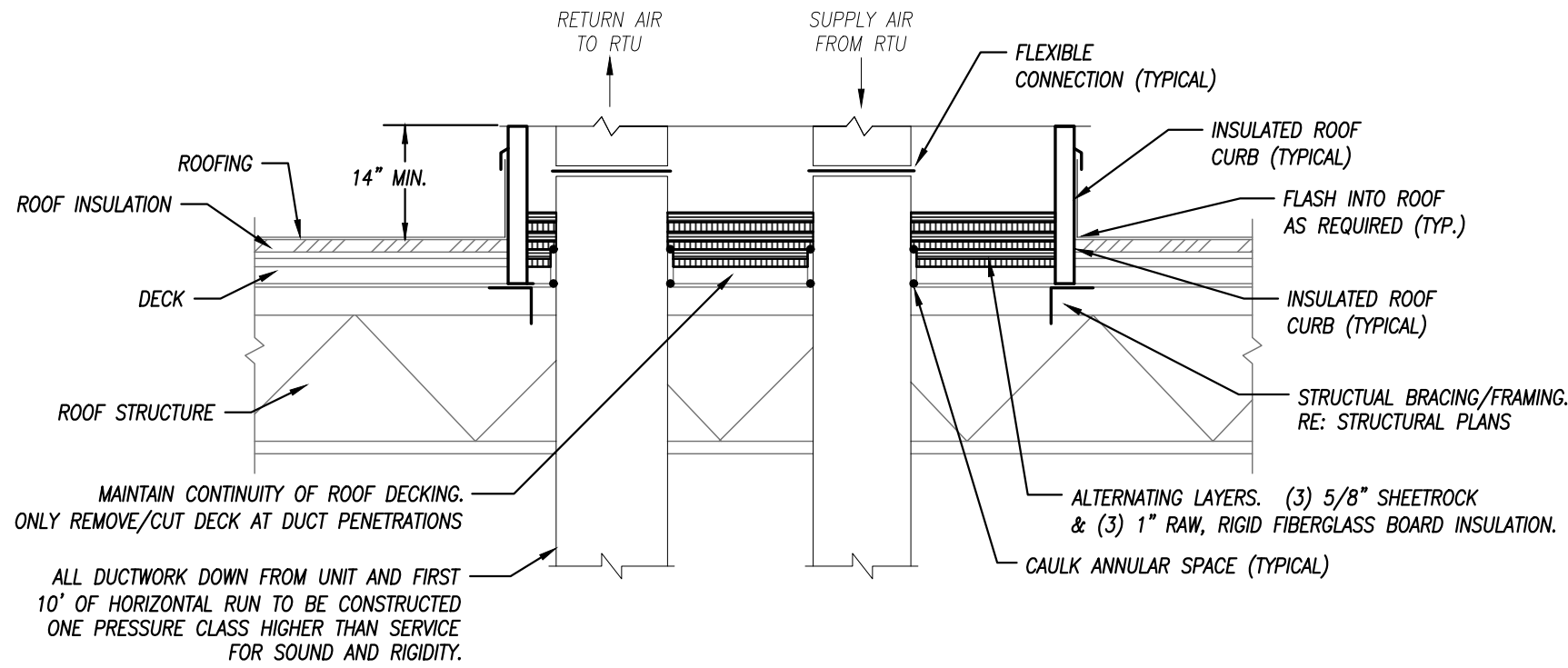
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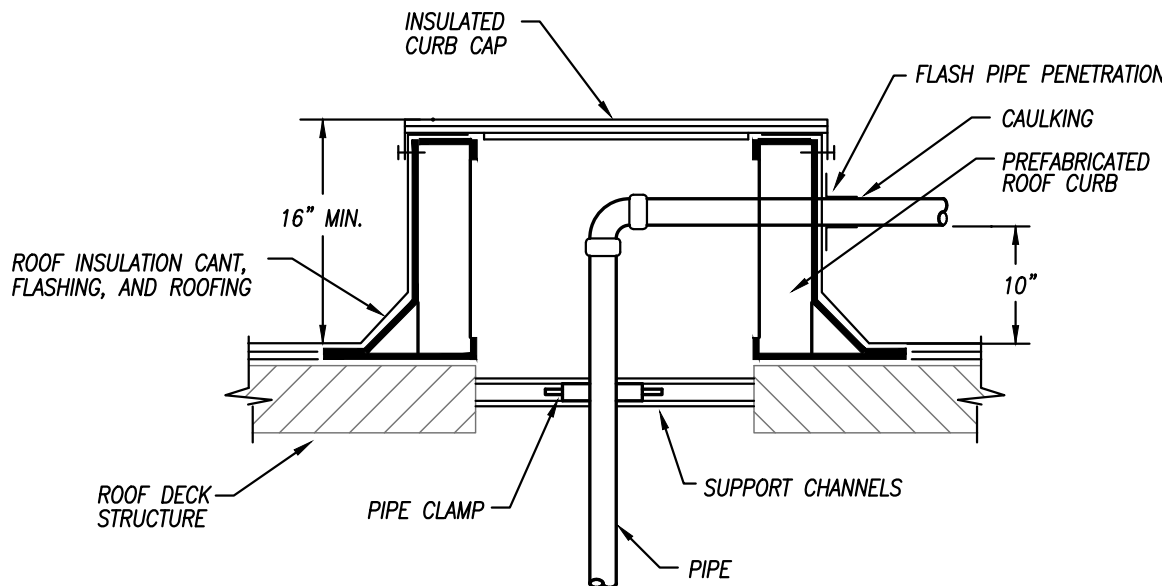


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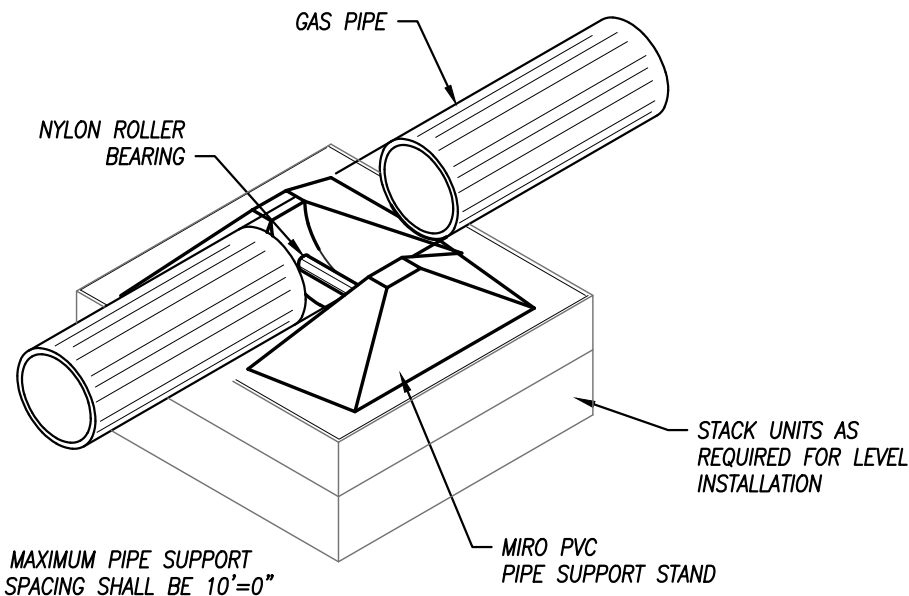




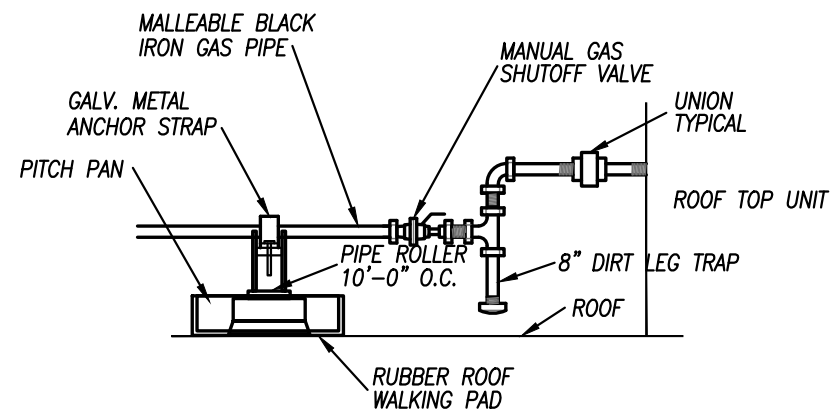
ROOFTOP UNIT CURB DETAIL  
NOT TO SCALE 561-01



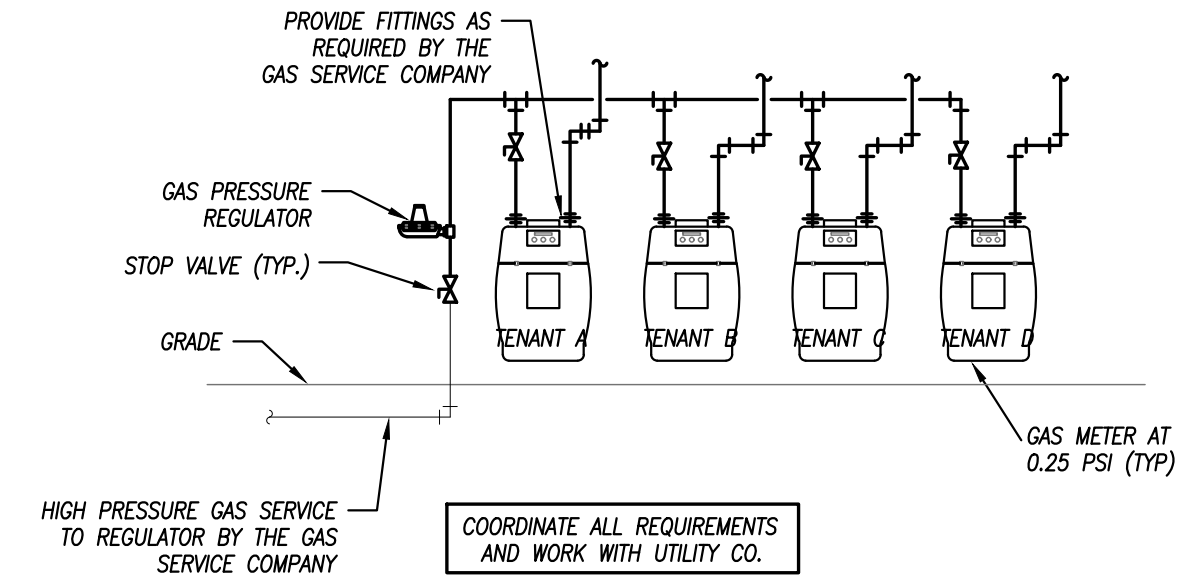
ROOF PIPE CURB PENETRATION  
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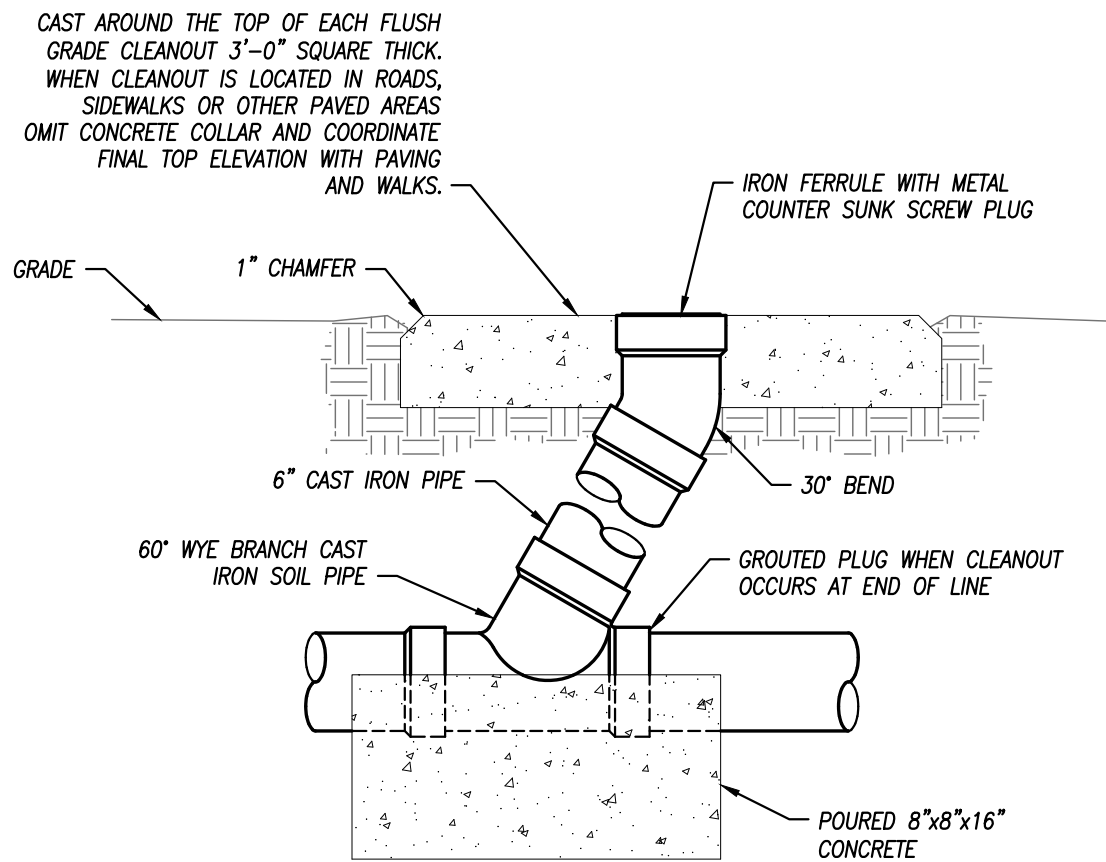
ROOF SUPPORT FOR GAS LINE  
NOT TO SCALE 502-07



ROOF TOP UNIT GAS CONNECTION DETAIL  
NO SCALE



GAS SERVICE DETAIL  
NOT TO SCALE



FLUSH GRADE CLEANOUT DETAIL  
NOT TO SCALE 525-01

ROOF TOP UNIT SCHEDULE - THREE PHASE ELECTRIC WITH GAS HEAT

PLAN MARK	MANUFACTURER	MODEL NUMBER	SIZE	REFRIGERANT	MINIMUM EFFICIENCY	AIRFLOW	COMPRESSORS	COOLING CAPACITY	CFM	EXTERNAL STATIC	OA CFM	HEATING CAPACITY	ELECTRICAL	WEIGHT	FILTER	NOTES
RTU-1	TRANE	YSC 120 E3	10 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	119,000 BTUH	4,000	1.5"	400	150 MBH	208 V, 3 PH, 60 AMP	1300 LBS	MERV 13	1,2,3
RTU-2	TRANE	YSC 120 E3	10 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	119,000 BTUH	4,000	1.5"	400	150 MBH	208 V, 3 PH, 60 AMP	1300 LBS	MERV 13	1,2,3
RTU-3	TRANE	YSC 092 E3	7.5 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	94,000 BTUH	3,000	1.2"	300	120 MBH	208 V, 3 PH, 50 AMP	1100 LBS	MERV 13	1,2,3
RTU-4	TRANE	YSC 092 E3	7.5 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	94,000 BTUH	3,000	1.2"	300	120 MBH	208 V, 3 PH, 50 AMP	1100 LBS	MERV 13	1,2,3
RTU-5	TRANE	YSC 092 E3	7.5 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	94,000 BTUH	3,000	1.2"	300	120 MBH	208 V, 3 PH, 50 AMP	1100 LBS	MERV 13	1,2,3
RTU-6	TRANE	YSC 060 E3	5 TON	R-410A	14 SEER	DOWN OR HORIZONTAL	(1) SCROLL	60,100 BTUH	2,000	1.0"	200	80 MBH	208 V, 3 PH, 40 AMP	800 LBS	MERV 13	1,2,3
RTU-7	TRANE	YSC 060 E3	5 TON	R-410A	14 SEER	DOWN OR HORIZONTAL	(1) SCROLL	60,100 BTUH	2,000	1.0"	200	80 MBH	208 V, 3 PH, 40 AMP	800 LBS	MERV 13	1,2,3
RTU-8	TRANE	YSC 060 E3	5 TON	R-410A	14 SEER	DOWN OR HORIZONTAL	(1) SCROLL	60,100 BTUH	2,000	1.0"	200	80 MBH	208 V, 3 PH, 40 AMP	800 LBS	MERV 13	1,2,3
RTU-9	TRANE	YSC 092 E3	7.5 TON	R-410A	14.6 IEER	DOWN OR HORIZONTAL	(2) SCROLLS	94,000 BTUH	3,000	1.2"	300	120 MBH	208 V, 3 PH, 50 AMP	1100 LBS	MERV 13	1,2,3
RTU-10	TRANE	YSC 060 E3	5 TON	R-410A	14 SEER	DOWN OR HORIZONTAL	(1) SCROLL	60,100 BTUH	2,000	1.0"	200	80 MBH	208 V, 3 PH, 40 AMP	800 LBS	MERV 13	1,2,3

- NOTES LEGEND
1. PROVIDE ROOF CURB, DISCONNECT SWITCH, HAIL GUARDS, AND ECONOMIZER
  2. PROVIDE WALL MOUNTED 7-DAY PROGRAMMABLE THERMOSTAT
  3. PROVIDE INTERNAL VIBRATION ISOLATION FOR THE RTU FAN AND COMPRESSORS
  4. PROVIDE ROOF CURB WITH VIBRATION ISOLATION RAILS

PIPING MATERIAL & INSULATION SCHEDULE

PIPING SYSTEM	SIZE	TYPE/SCHED	MATERIAL	ACCEPTABLE FITTINGS	FIELD TEST PRESSURE/TIME	ALLOWABLE IN PLENUMS	INSULATION TYPE	THICKNESS
DOMESTIC COLD WATER	1/2"-2-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2"
DOMESTIC HOT WATER & HW RETURN	1/2"-2-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1"
NATURAL GAS - ABOVE GRADE	2-1/2" & Up	SCH. 40	STEEL- SEEMED	WELDED	75 PSI - 1HR	YES	----	----
NATURAL GAS - ABOVE GRADE	1/2"-2"	SCH. 40	STEEL- SEEMLESS	THREADED IRON	75 PSI - 1HR	YES	----	----
SOIL & WASTE BELOW GRADE	2"-8"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	----	----
DOM. WATER SERVICE BELOW GRADE	4"-8"	AWWA C111	DUCTILE IRON	AWWA C111. MECH JOINTS	130 PSI - 1/2HR	YES	----	----
DOM. WATER SERVICE BELOW GRADE	1"-3"	K	COPPER	CONTINUOUS TUBING, BRAZED	130 PSI - 1/2HR	YES	----	----
DOM. WATER SERVICE BELOW GRADE	1"-3"	DR 9	HDPE	CONTINUOUS TUBING, FUSED	130 PSI - 1/2HR	NO	----	----

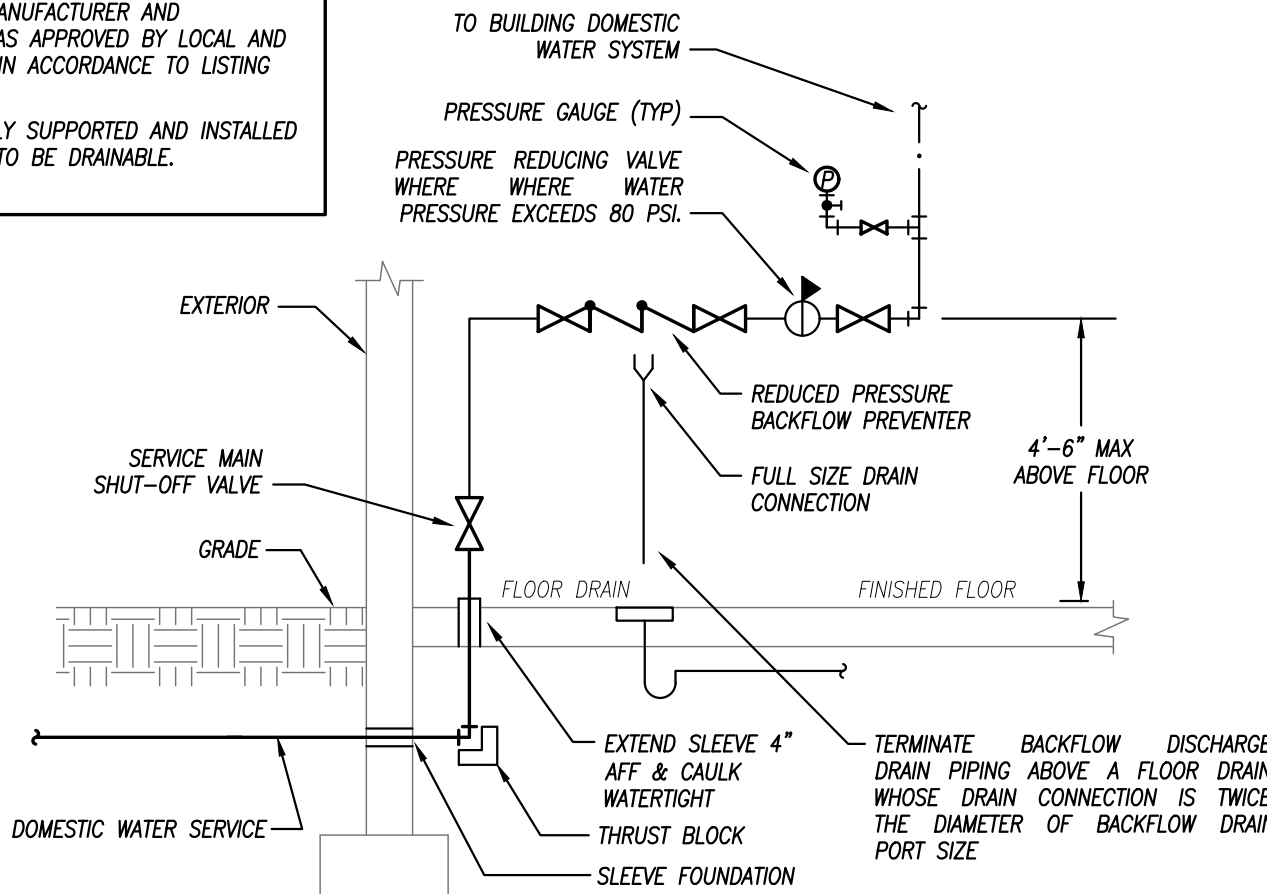
- NOTES
1. ALL PIPING AND MATERIALS IN PLENUMS MUST MEET ASTM E84 FLAME/SMOKE RATING OF 25/50.
  2. ALL INSULATION THICKNESSES SHALL MEET ASHRAE 90.1 - 2007 REQUIREMENTS AT A MINIMUM.
  3. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.

FLOOR DRAIN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	TOP/GRADE SIZE	WASTE SIZE	REMARKS
FD-1	WADE	1100	FLOOR DRAIN	6"Ø	3"	1
FS-1	WADE	9100	FLOOR SINK	12"x12"	4"	2

- REMARKS:
1. PROVIDE WITH NICKEL BRONZE TOP AND TRAP SEAL.
  2. PROVIDE WITH 3/4" GRATE.

- NOTES:
1. BACKFLOW PREVENTER MANUFACTURER AND INSTALLATION SHALL BE AS APPROVED BY LOCAL AND STATE AUTHORITIES AND IN ACCORDANCE TO LISTING OF DEVICE.
  2. ALL PIPING TO BE RIGIDLY SUPPORTED AND INSTALLED IN SUCH A MANNER AS TO BE DRAINABLE.

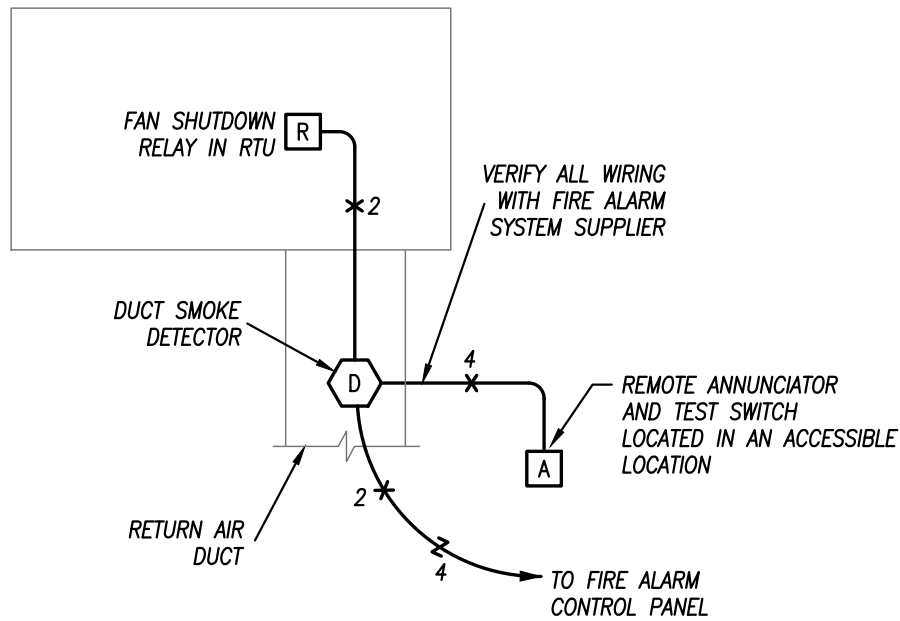


WATER SERVICE REDUCED PRESSURE BACKFLOW PREVENTER DETAIL  
NOT TO SCALE KCMO STANDARDS 511-02k

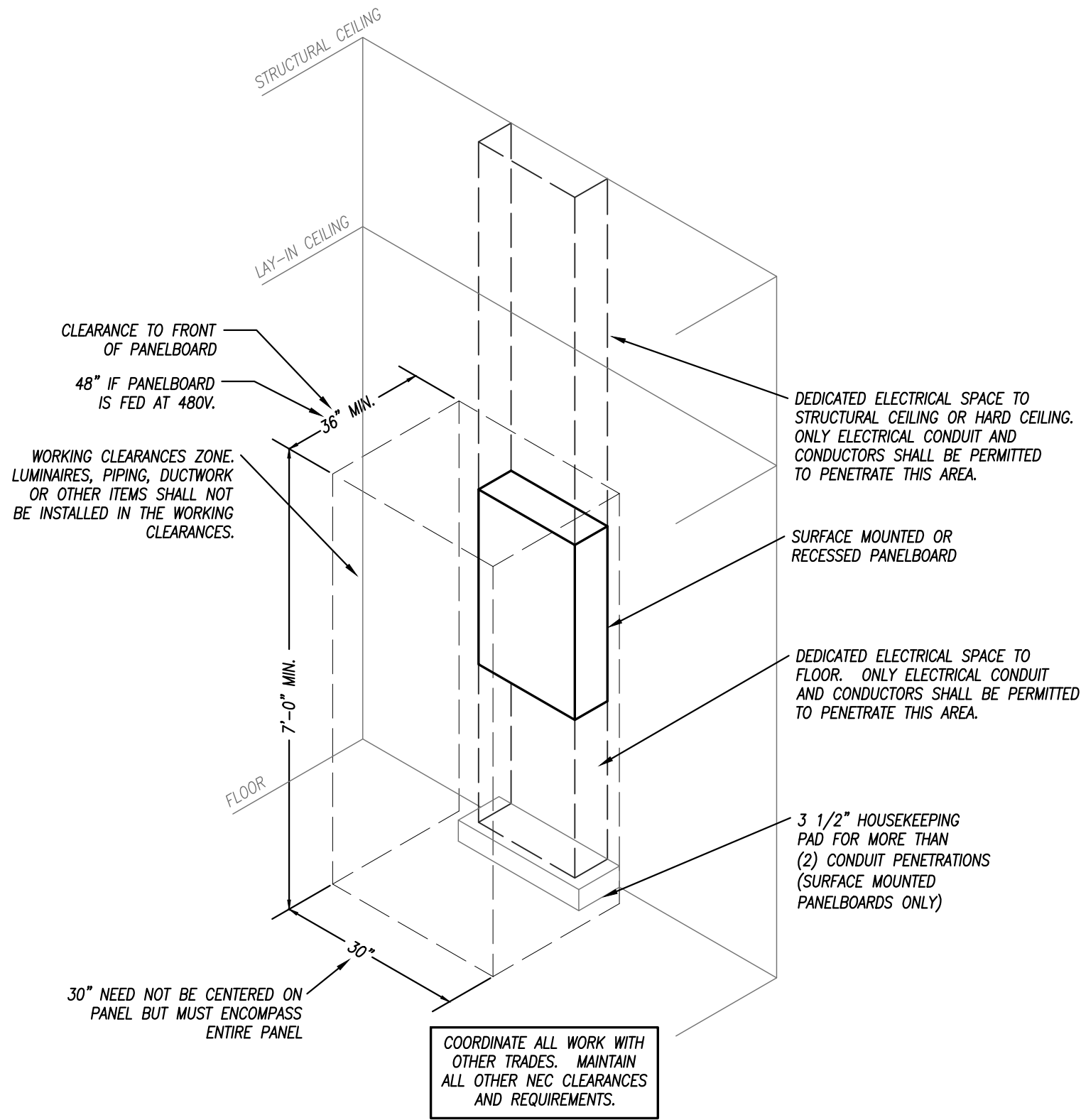








DUCT SMOKE DETECTOR DIAGRAM  
NOT TO SCALE



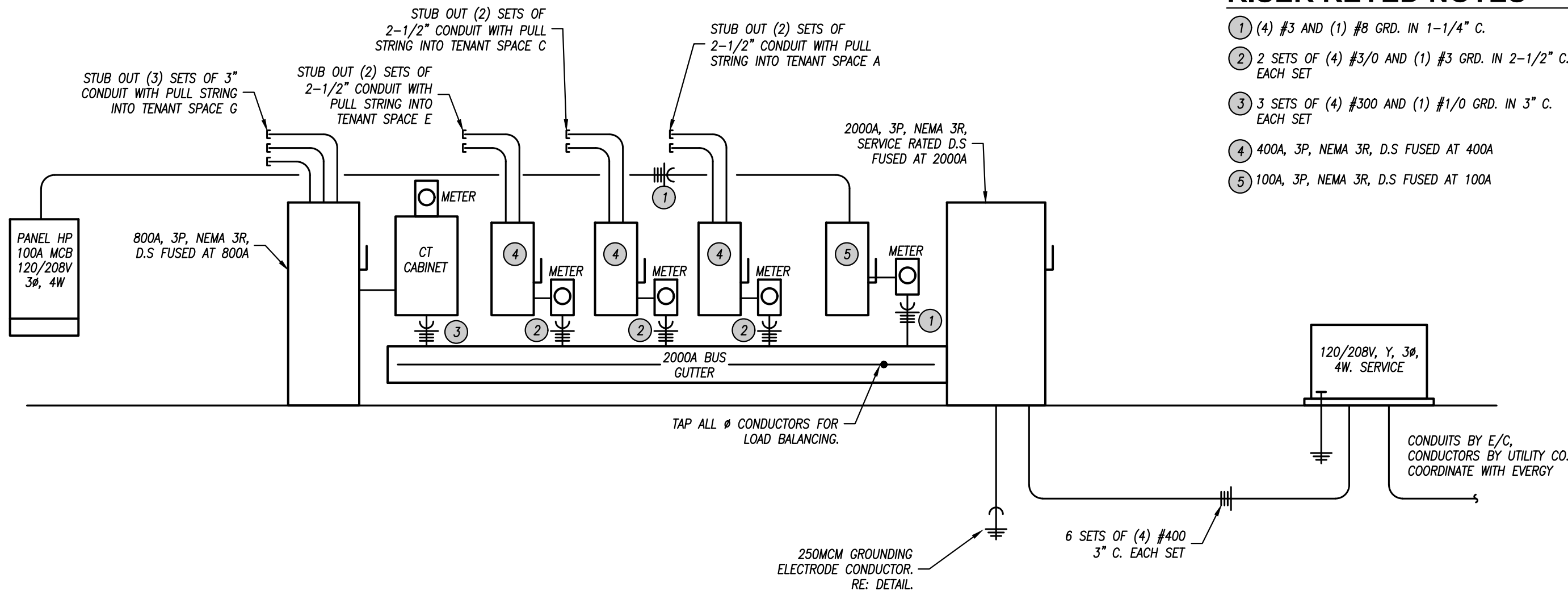
TYPICAL PANELBOARD INSTALLATION DETAIL  
NOT TO SCALE

PANELBOARD SCHEDULE												
PANEL DESIGNATION <b>HP</b>		MAIN BUS AMPS: 100		VOLTAGE: 120/240V				MOUNTING: SURFACE				
		MAIN BREAKER: 100		PHASE/WIRE: 3PH/4W				LOCATION: EXTERIOR				
		PANEL TYPE: NEMA 3R		MINIMUM AIC: 22K								
CIRCUIT DESCRIPTION			CKT. BKR.	CKT.	CKT.	CKT. BKR.	CIRCUIT DESCRIPTION					
			P	AMP	NO.	P						
IRRIGATION CONTROLLER			1	20	1	2	20	1	EXTERIOR LIGHTING			
RECEPTACLES & LIGHTS			1	20	3	4	20	1	EGRESS LIGHTING			
ROOFTOP RECEPTACLES			1	20	5	6	20	2	SITE LIGHTING			
ROOFTOP RECEPTACLES			1	20	7	8						
FACP			1	20	9	10	20	2	SITE LIGHTING			
EUH-1			1	20	11	12						
ELECTRIC UNIT HEATER (VERIFY)			2	30	13	14	20	1	SPARE			
						15	16	20	1	SPARE		
ELECTRIC UNIT HEATER (VERIFY)			2	30	17	18	20	1	SPARE			
					19	20	20	1	SPARE			
ELECTRIC UNIT HEATER (VERIFY)			2	30	21	22	20	1	SPARE			
					23	24	20	1	SPARE			
ELECTRIC UNIT HEATER (VERIFY)			2	30	25	26			SPACE			
					27	28			SPACE			
SPACE					29	30			SPACE			

NOTES:  
NEMA 3R RATED PANEL WITH LOCKABLE COVER  
VERIFY BREAKER SIZES FOR ELECTRIC UNIT HEATERS WITH OWNER

ELECTRIC UNIT HEATER SCHEDULE					
PLAN MARK	MANUFACTURER	MODEL NUMBER	CAPACITY (WATTS)	ELECTRICAL	NOTES
EUH-1	BERKO	FRA1512F	1500 WATTS	120V., 1Ø, 20 AMP	1
EUH-2	-	BY OWNER	5000 WATTS	208V., 1Ø, 30 AMP	2
EUH-3	-	BY OWNER	5000 WATTS	208V., 1Ø, 30 AMP	2
EUH-4	-	BY OWNER	5000 WATTS	208V., 1Ø, 30 AMP	2
EUH-5	-	BY OWNER	5000 WATTS	208V., 1Ø, 30 AMP	2

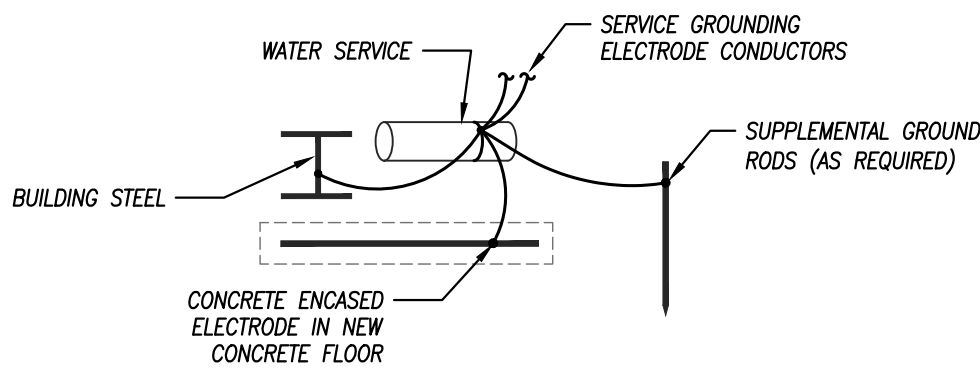
NOTES LEGEND  
1. PROVIDE SURFACE WALL MOUNTED HEATER WITH ADJUSTABLE THERMOSTAT AND DISCONNECT  
2. FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. VERIFY ALL ELECTRICAL REQUIREMENTS WITH OWNER.



ELECTRICAL  
RISER KEYED NOTES

- (4) #3 AND (1) #8 GRD. IN 1-1/4" C.
- 2 SETS OF (4) #3/0 AND (1) #3 GRD. IN 2-1/2" C. EACH SET
- 3 SETS OF (4) #300 AND (1) #1/0 GRD. IN 3" C. EACH SET
- 400A, 3P, NEMA 3R, D.S FUSED AT 400A
- 100A, 3P, NEMA 3R, D.S FUSED AT 100A

ELECTRICAL RISER DIAGRAM  
NO SCALE



GROUNDING ELECTRODE SYSTEM  
N.T.S



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Bryan Leinwetter - Engineer  
MOR PE-2020020297

CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
LEES SUMMIT, MISSOURI

SUBMISSION DATES
DECEMBER 27, 2023

SHEET TITLE  
ELECTRICAL DETAILS  
& SCHEDULES

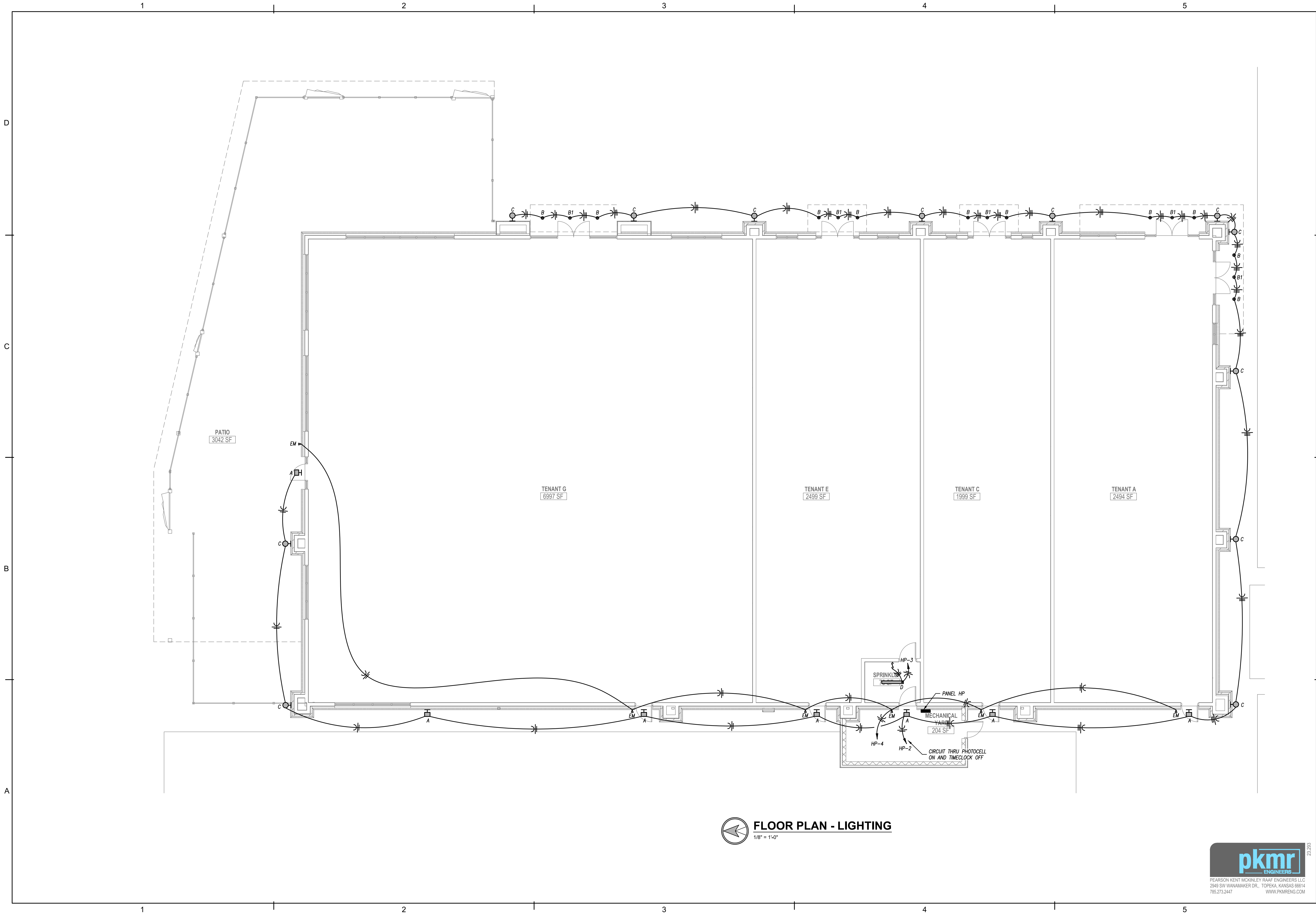
PROJECT NUMBER  
**235008**

SHEET NUMBER  
**E-102**



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BRYAN LEINWETTER  
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Bryan Leinwetter - Engineer  
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**CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13  
LEES SUMMIT, MISSOURI**

SUBMISSION DATES
DECEMBER 27, 2023
SHEET TITLE
LIGHTING PLAN
PROJECT NUMBER
<b>235008</b>
SHEET NUMBER
<b>E-201</b>



**pkmr**  
ENGINEERS

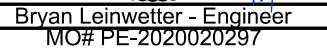
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NOTES LEGEND

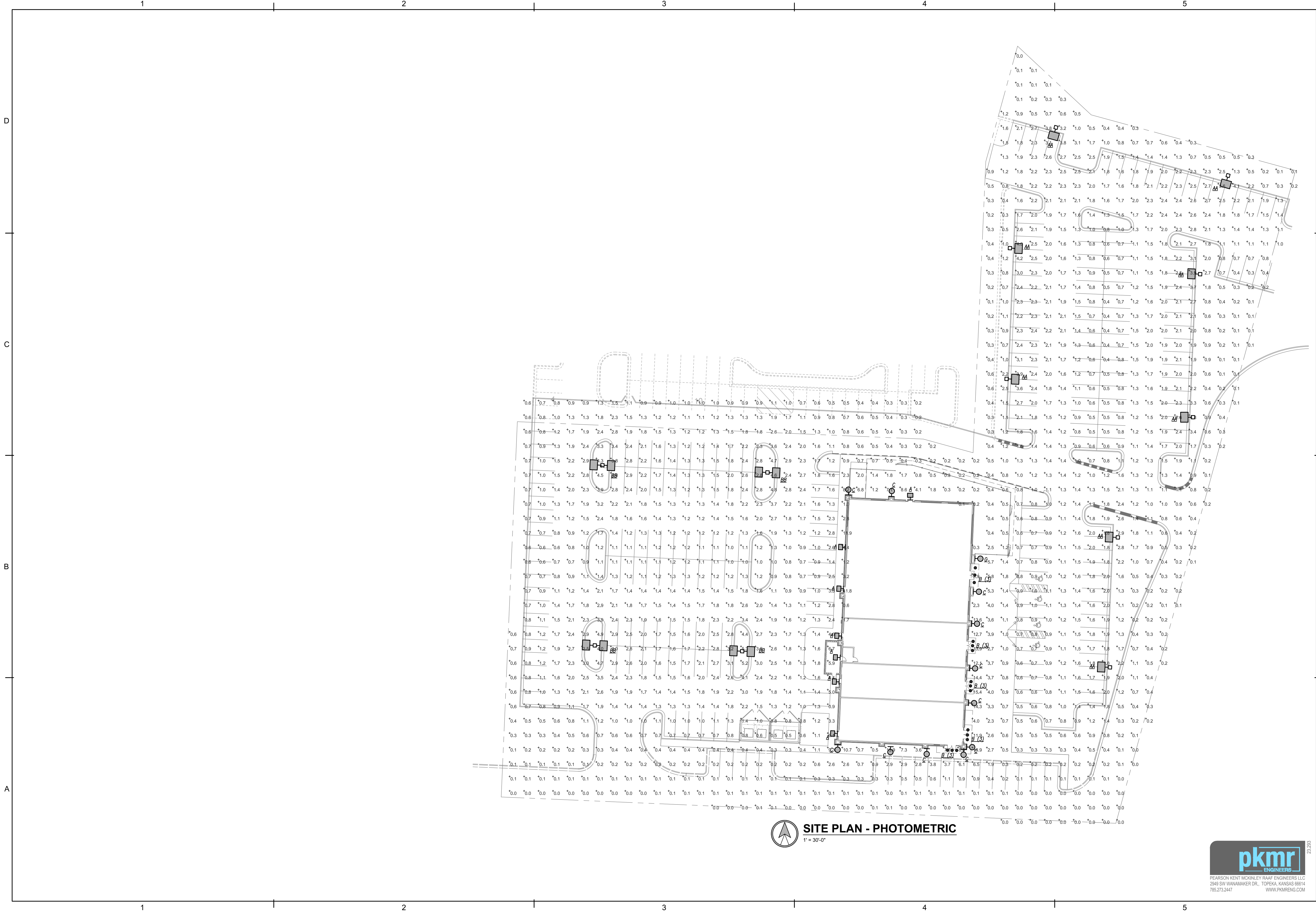
- 1 - PROVIDE WET LOCATION RATED FIXTURE
- 2 - PROVIDE COLD LOCATION RATED DRIVER
- 3 - PROVIDE SQUARE STRAIGHT STEEL POLE RATED FOR 100 MPH WIND GUSTS, PRIMED AND PAINTED TO MATCH FIXTURE
- 4 - PROVIDE EMERGENCY BATTERY
- 5 - PROVIDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION.
- 6 - PROVIDE WEATHER PROOF JUNCTION BOX FOR DRIVERS AND ELECTRICAL CONNECTIONS ABOVE SOFFIT.



SHEET NUMBER  
**E-202**







**SITE PLAN - PHOTOMETRIC**  
1" = 30'-0"

**pkmr**  
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MOR# PE-2020020297

**CORE & SHELL BUILDING  
STREETS OF WEST PRYOR LOT 13**  
LEES SUMMIT, MISSOURI

SUBMISSION DATES
DECEMBER 27, 2023

SHEET TITLE  
SITE PHOTOMETRIC  
PLAN

PROJECT NUMBER  
**235008**

SHEET NUMBER  
**E-203**