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A NORTHPOINT PROPERTY

PROJECT INFORMATION

PROJECT ADDRESS: 800 & 810 NORTH WARD ROAD LEE'S SUMMIT JACKSON MISSOURI

SITE DATA

TOTAL LAND AREA	11.83 ACRES (515,315 SF)
TOTAL BUILDING FOOTPRINT	114,936 SF
BUILDING 1	62,085 SF
BUILDING 2	52,851 SF
TOTAL BUILDING AREA	474,057 SF
BUILDING 1	251,600 SF
BUILDING 2	222,457 SF
TOTAL RESIDENTIAL UNIT COUNT	323
BUILDING 1	178
BUILDING 2	145
DENSITY (UNITS/ACRE)	27/ACRE

PARKING DATA

VEHICLE PARKING	
TOTAL PARKING SPACES REQUIRED	565 (1.75/DU)
TOTAL PARKING SPACES PROVIDED SURFACE DETACHED GARAGE TUCK UNDER GARAGE	579 406 48 125

VICINITY MAP



DDO IECT TEAM

GENERAL CONTRACTOR:

OLATHE, KS 66061

TEL: (913) 422-5555

CONTACT: RYAN TERRILL

PROJECTIEAM	
WNER:	ARCHITECT:
ORTHPOINT DEVELOPMENT B15 N OAK TRAFFICWAY ANSAS CITY, MO 64116 EL: (516) 888-7380 MAIL: BRAD@NORTHPOINTKC.COM ONTACT: BRAD HAYMOND	NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: THOMBURG@NSPJARCH.COM CONTACT: TIM HOMBURG, AIA
IVIL ENGINEER:	STRUCTURAL ENGINEER:
TEPOINT B15 N OAK TRAFFICWAY ANSAS CITY, MO 64116 EL: (816) 888-7380 MAIL: NHAAS@NORTHPOINTKC.COM ONTACT: NEIL HAAS	KRUDWIG STRUCTURAL ENGINEERS, INC 8801 RENNER AVENUE, SUITE 407 LENEXA, KS 66219 TEL: (913) 660-0584 EMAIL: JKRUDWIG@KRUDWIG.COM CONTACT: JOHN KRUDWIG
IEP ENGINEER:	LANDSCAPE ARCHITECT:
ATIMER, SOMMERS & ASSOCIATES 639 SW SUMMERFIELD DR, SUITE A DPEKA, KS 66614 EL: (785) 233-3232 MAIL: RBEARDMORE@LSAPA.COM ONTACT: RICH BEARDMORE	NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: BHUS@NSPJARCH.COM CONTACT: BRAD HUS
(785) 233-3232 L: RBEARDMORE@LSAPA.COM	TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: BHUS@NSPJARCH.COM

INTERIOR DESIGNER: NEIGHBORS CONSTRUCTION COMPANY, INC LOWERY DESIGN GROUP 2200 W. 75TH STREET, SUITE 102 PRAIRIE VILLAGE, KS 66208 TEL: (720) 212-6841 EMAIL: RTERRILL@NEIGHBORSCONSTRUCTION.COM EMAIL: ERIN@LOWERYDESIGNGROUP.COM CONTACT: ERIN LOWERY

PROJECT GENERAL NOTES

	100E01 GENERAL NOTES
1.	ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE LAWS, REGULATIONS, CODES AND AMENDMENTS.
2.	THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED ITEMS AND WORK IS REQUIRED.

THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS AND TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE

THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.

THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN. ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.

IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.

IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT.

EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSTRUED AS ACCEPTANCE OF ALL SUBSURFACES.

UNIT MIX - BLDG. 1				
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.	
1 BED / 1 BATH				
UNIT A1	13	5.0%	8629 SF	
UNIT A2	10	4.2%	7255 SF	
UNIT A2 TYPE A	2	0.8%	1451 SF	
UNIT A3	33	14.9%	25824 SF	
UNIT A3 ALT	12	5.5%	9548 SF	
	70	30.4%	52707 SF	
1 BED / 1 BATH / DEN	N			
UNIT B1	9	5.3%	9186 SF	
UNIT B1 ALT	4	2.4%	4185 SF	
UNIT B2	4	2.6%	4598 SF	
UNIT B4	1	0.7%	1148 SF	
	18	11.0%	19117 SF	
2 BED / 2 BATH				
UNIT C1	32	21.1%	36713 SF	
UNIT C1 ALT 2	2	1.3%	2254 SF	
UNIT C1 ALT 3	4	2.7%	4692 SF	
UNIT C1 TYPE A	1	0.7%	1147 SF	
UNIT C2	14	9.9%	17229 SF	
UNIT C3	8	5.6%	9639 SF	
UNIT C4	4	2.8%	4947 SF	
	65	44.1%	76621 SF	
2 BED / 2 BATH / DEN	N			
UNIT D1	3	2.6%	4497 SF	
UNIT D1 ALT	3	2.6%	4497 SF	
UNIT PH	6	5.5%	9563 SF	
	12	10.7%	18558 SF	
GUEST				
GUEST SUITE	1	0.2%	358 SF	
	1	0.2%	358 SF	
STUDIO				
UNIT S1	10	2.8%	4800 SF	
UNIT S1 ALT	3	0.8%	1446 SF	
	13	3.6%	6246 SF	
±0=110	4=0	400.00/		

UNIT TYPE	# UNITS	% TOTAL	TOTAL SF
1 BED / 1 BATH			
JNIT A1	7	3.2%	4647 SF
JNIT A2	11	5.6%	7980 SF
JNIT A2 TYPE A	2	1.0%	1451 SF
UNIT A3	18	9.8%	14086 SF
UNIT A3 ALT	18	10.0%	14322 SF
UNIT A4	3	1.5%	2221 SF
4 DED / 4 DATH / DE	59	31.1%	44707 SF
1 BED / 1 BATH / DE		4.20/	C404.0F
UNIT B1	6	4.3%	6124 SF
UNIT B3	4	3.0%	4241 SF
2 BED / 2 BATH	10	7.2%	10365 SF
UNIT C1	31	24.8%	35566 SF
UNIT C1 ALT	4	3.3%	4692 SF
UNIT C1 ALT 2	2	1.6%	2254 SF
UNIT C1 TYPE A	2	1.6%	2294 SF
UNIT C2	12	10.3%	14768 SF
UNIT C3	6	5.0%	7229 SF
	57	46.5%	66803 SF
2 BED / 2 BATH / DE			
UNIT D1	8	8.4%	11993 SF
UNIT PH	4	4.4%	6376 SF
STUDIO	12	12.8%	18369 SF
UNIT S1	7	2.3%	3360 SF
-	7	2.3%	3360 SF
TOTALS	145	100.0%	143603 SF

△ REVISIONS 1 23 0411 CITY COMMENTS 1 3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4

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ASI #1
SHEET NAME
DRAWING INDEX

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A2.40

A2.41

SEGMENT F 4TH FLOOR & ROOF PLANS

SEGMENT G SLAB & 1ST FLOOR PLAN

SEGMENT G 4TH FLOOR & ROOF PLAN

SEGMENT G / H BASEMENT SLAB & FLOOR PLAN

SEGMENT G 2ND & 3RD FLOOR

STORM SEWER PLAN AND PROFILE

STORM SEWER PLAN AND PROFILE

STORM SEWER PLAN AND PROFILE

C-0512 STORM SEWER PLAN AND PROFILE

C-0520 ROOF DRAIN PLAN

							= 4.00	
01 - ARCHITECTURAL	A2.43 SEGMENT H SLAB & 1ST FLOOR PLANS	C-0530 DRAINAGE PLAN	S2.30	BLDG 2 - OVERALL BASEMENT PT SLAB PLAN / OVERALI SLAB PLAN		SEGMENT E 4TH FLOOR - PLUMBING	E1.03	SEGMENT A 3RD FLOOR - ELECTRICAL
	A2.44 SEGMENT H 2ND & 3RD FLOOR PLANS	C-0540 DRAINAGE TABLES	S2.31	BLDG 2 - OVERALL BASEMENT FOUNDATION / OVERALL	P1.23	SEGMENT E - ROOF PLAN - PLUMBING	E1.04	SEGMENT A 4TH FLOOR - ELECTRICAL
A0.00 COVER SHEET	A2.45 SEGMENT H 4TH FLOOR & ROOF PLAN	C-0601 SANITARY SEWER PLAN & PROFILE	32.31	FOUNDATION & 1ST FLOOR FRAMING	1 1.21	SEGMENT F 1ST FLOOR - PLUMBING	E1.05	SEGMENT A ROOF - ELECTRICAL
A0.01 DRAWING INDEX	A2.46 SEGMENT J BASEMENT & 1ST FLOOR PLANS	C-0900 UTILITY PLAN	S2.32	BLDG 2 - OVERALL 2ND FLOOR FRAMING PLAN	P1.25	SEGMENT F 2ND FLOOR - PLUMBING	E1.06.1	SEGMENT B 1ST - ELECTRICAL
A0.10 BUILDING 1 AREA PLANS	A2.47 SEGMENT J 2ND & 3RD FLOOR	C-2000 DETAILS	S2.33	BLDG 2 - OVERALL 3RD FLOOR FRAMING PLAN	P1.26	SEGMENT F 3RD FLOOR - PLUMBING	E1.06.2	SEGMENT B 2ND FLOOR - ELECTRICAL
A0.11 BUILDING 1 AREA PLANS	A2.48 SEGMENT J 4TH FLOOR & ROOF PLAN	C-2001 DETAILS	S2.34	BLDG 2 - OVERALL 4TH FLOOR FRAMING PLAN	P1.27	SEGMENT F 4TH FLOOR - PLUMBING	E1.07	SEGMENT B 3RD & 4TH FLOOR - ELECTRICAL
A0.12 BUILDING 2 AREA PLANS	A3.00 BLDG. 1 EXTERIOR ELEVATIONS	C-2002 DETAILS	S2.35	BLDG 2 - OVERALL ROOF FRAMING PLAN	P1.28	SEGMENT F - ROOF PLAN - PLUMBING	E1.08	SEGMENT B ROOF - ELECTRICAL
A0.13 BUILDING 2 AREA PLANS	A3.01 BLDG. 1 EXTERIOR ELEVATIONS	C-2003 DETAILS	S2.36	SEG (F) PT SLAB & FOUNDATION PLAN	P1.29	SEGMENT G BASEMENT & 1ST FLOOR - PLUMBING	E1.09	SEGMENT C 1ST FLOOR - ELECTRICAL
A0.20 BUILDING 1 CODE ANALYSIS & PLANS	A3.02 BLDG. 1 EXTERIOR ELEVATIONS	C-2004 DETAILS	S2.37	SEG (F) 2ND & 3RD FLOOR FRAMING PLAN	P1.30	SEGMENT G 2ND & 3RD FLOOR - PLUMBING	E1.10	SEGMENT C 2ND FLOOR - ELECTRICAL
A0.21 BUILDING 1 EGRESS & OCCUPANCY PLANS	A3.03 BLDG. 1 COURTYARD ELEVATIONS	L-0100 LANDSCAPE PLAN - OVERVIEW	S2.38	SEG (F) 4TH FLOOR & ROOF FRAMING PLAN	P1.31	SEGMENT G 4TH FLOOR & ROOF - PLUMBING	E1.11	SEGMENT C 3RD FLOOR - ELECTRICAL
A0.22 BUILDING 1 EGRESS & OCCUPANCY PLANS	A3.04 BLDG. 2 EXTERIOR ELEVATIONS	L-0200 LANDSCAPE PLAN - GROUNDCOVER	S2.38a	SEG (F) SHEARWALL PLAN	P1.32	SEGMENT H BASEMENT & 1ST FLOOR - PLUMBING	E1.12 E1.13	SEGMENT C 4TH FLOOR - ELECTRICAL SEGMENT C ROOF - ELECTRICAL
A0.23 BUILDING 2 CODE ANALYSIS & PLANS A0.24 BUILDING 2 EGRESS & OCCUPANCY PLANS	A3.05 BLDG. 2 EXTERIOR ELEVATIONS	L-0300 LANDSCAPE PLAN - DETAILED L-0301 LANDSCAPE PLAN - DETAILED	S2.39a	SEG (G) BASEMENT PT SLAB PLAN / PT SLAB PLAN	P1.33	SEGMENT H 2ND & 3RD FLOOR - PLUMBING SEGMENT H 4TH FLOOR & ROOF - PLUMBING		
	A3.06 BLDG 2. COURTYARD ELEVATIONS		S2.39b	SEG (G) BASEMENT FOUNDATION / FOUNDATION & 1ST	P1.34 P1.35		E1.14	SEGMENT D 1ST FLOOR - ELECTRICAL
A0.25 BUILDING 2 EGRESS & OCCUPANCY PLANS A0.30 RATED ASSEMBLIES	A4.00 BUILDING SECTION A4.10 WALL SECTIONS	L-0302 LANDSCAPE PLAN - DETAILED L-0303 LANDSCAPE PLAN - DETAILED		FLOOR FRAMING PLAN	F 1.55	SEGMENT J BASEMENT & 1ST FLOOR - PLUMBING SEGMENT J 2ND & 3RD FLOOR - PLUMBING	E1.15 E1.16	SEGMENT D 2ND FLOOR - ELECTRICAL SEGMENT D 3RD FLOOR - ELECTRICAL
A0.31 RATED PENETRATIONS	A4.10 WALL SECTIONS A4.11 WALL SECTIONS	L-0304 LANDSCAPE PLAN - DETAILED	S2.40	SEG (G) 2ND & 3RD FLOOR FRAMING PLAN	P1.36 P1.37	SEGMENT J 2ND & 3RD FLOOR - PLUMBING SEGMENT J 4TH FLOOR & ROOF - PLUMBING	E1.10 E1.17	SEGMENT D 3RD FLOOR - ELECTRICAL SEGMENT D 4TH FLOOR - ELECTRICAL
A0.40 TYPE "A" UNIT ACCESSIBILITY INFO	A4.11 WALL SECTIONS A4.12 WALL SECTIONS	L-0305 LANDSCAPE PLAN - DETAILED	S2.41	SEG (G) 4TH FLOOR & ROOF FRAMING PLAN	P1.37 P2.01	UNIT PLUMBING PLANS	E1.17 E1.18	SEGMENT D 41H FLOOR - ELECTRICAL SEGMENT D ROOF - ELECTRICAL
A0.41 TYPE "B" UNIT ACCESSIBILITY INFO	A4.12 WALL SECTIONS A4.13 WALL SECTIONS	L-0306 LANDSCAPE PLAN - DETAILED	S2.41a	SEG (G) SHEARWALL PLAN	P2.01	UNIT PLUMBING PLANS	E1.19	SEGMENT E 1ST FLOOR - ELECTRICAL
A0.42 COMMON AREA ACCESSIBILITY INFO	A4.14 WALL SECTIONS	L-0307 LANDSCAPE PLAN - DETAILED	S2.42	SEG (H) BASEMENT PT SLAB PLAN / PT SLAB PLAN	P2.02	UNIT PLUMBING PLANS	E1.19 E1.20	SEGMENT E 2ND FLOOR - ELECTRICAL
A0.43 TYPICAL UNIT INFO	A4.14 WALL SECTIONS A4.15 WALL SECTIONS	L-0308 LANDSCAPE PLAN - DETAILED	S2.43	SEG (H) BASEMENT FOUNDATION / FOUNDATION & 1ST	P2.04	UNIT PLUMBING PLANS	E1.21	SEGMENT E 3RD FLOOR - ELECTRICAL
A1.00 UNIT S1 PLANS	A4.16 WALL SECTIONS	L-0309 LANDSCAPE PLAN - DETAILED		FLOOR FRAMING PLAN	P2.05	UNIT PLUMBING PLANS	E1.22	SEGMENT E 4TH FLOOR - ELECTRICAL
A1.01 UNIT A1 PLANS	A4.17 WALL SECTIONS	L-0310 LANDSCAPE PLAN - DETAILED	S2.44	SEG (H) 2ND & 3RD FLOOR FRAMING PLAN	P3.01	PLUMBING RISERS	E1.23	SEGMENT E 41111 EOOK - ELECTRICAL
A1.02 UNIT A2 PLANS	A4.20 STAIR & ELEVATOR A PLANS & SECTIONS	L-0311 LANDSCAPE PLAN - DETAILED	S2.45	SEG (H) 4TH FLOOR & ROOF FRAMING PLAN	P3.02	PLUMBING RISERS	E1.24	SEGMENT F 1ST FLOOR - ELECTRICAL
A1.03 UNIT A3 PLANS	A4.20 STAIR & ELEVATOR A FLANS & SECTIONS A4.21 STAIR B PLANS & SECTIONS	L-0400 LANDSCAPE NOTES	S2.45a	SEG (H) SHEARWALL PLAN	P3.02	PLUMBING RISERS	E1.25	SEGMENT F 2ND FLOOR - ELECTRICAL
A1.04 UNIT A4 PLANS	A4.22 STAIR & ELEVATOR C & D PLANS & SECTIONS	L-0401 LANDSCAPE NOTES	S2.46a	SEG (J) BASEMENT PT SLAB PLAN / PT SLAB PLAN	D2 04	PLUMBING RISERS	E1.26	SEGMENT F 3RD FLOOR - ELECTRICAL
A1.05 UNIT B1 PLANS	A4.23 STAIR & ELEVATOR E PLANS & SECTIONS	L-0402 LANDSCAPE NOTES	S2.46b	SEG (J) BASEMENT FOUNDATION / FOUNDATION & 1ST			E1.20	SEGMENT F 4TH FLOOR - ELECTRICAL
A1.06 UNIT B2 PLANS	A4.24 STAIR & ELEVATOR F PLANS & SECTIONS	SP1.00 OVERALL SITE AMENITY PLAN	00.4=	FLOOR FRAMING PLAN	05 -	MECHANICAL	E1.28	SEGMENT F ROOF - ELECTRICAL
A1.07 UNIT B3 PLANS	A4.25 STAIR & ELEVATOR G PLANS & SECTIONS	SP1.01 DETAILED POOL AMENITY PLAN	S2.47	SEG (J) 2ND & 3RD FLOOR FRAMING PLAN	M1 01	SEGMENT A 1ST FLOOR - HVAC	E1.29	SEGMENT G BASEMENT & 1ST FLOOR - ELECTRICAL
A1.08 UNIT B4 PLANS	A4.26 STAIR & ELEVATOR J PLANS & SECTIONS	SP1.02 POOL AMENITY AREA DETAILS	S2.48	SEG (J) 4TH FLOOR & ROOF FRAMING PLAN	M1.02	SEGMENT A 2ND FLOOR - HVAC	E1.30	SEGMENT G BASEMENT & 1ST LOOK - ELECTRICAL SEGMENT G 2ND & 3RD FLOOR - ELECTRICAL
A1.09 UNIT C1 PLANS	A4.27 STAIR & ELEVATOR DETAILS	SP1.03 POOL AMENITY AREA DETAILS	S2.48a	SEG (J) SHEARWALL PLAN	M1.03	SEGMENT A 3RD FLOOR - HVAC	E1.31	SEGMENT G 4TH FLOOR & ROOF - ELECTRICAL
A1.10 UNIT C2 PLANS	A5.00 FLOOR/WALL DETAILS	SP1.04 KITCHEN STRUCTURE & DOG PARK AREA	S2.60	BLDG 2 - SHEARWALL ELEVATIONS	M1.04	SEGMENT A 4TH FLOOR - HVAC	E1.32	SEGMENT H BASEMENT & 1ST FLOOR - ELECTRICAL
A1.11 UNIT C3 PLANS	A5.01 FIREWALL DETAILS	SP1.05 MONUMENT DETAILS	S2.70	TRASH ENCLOSURE	M1.05	SEGMENT A ROOF - HVAC	E1.33	SEGMENT H 2ND & 3RD FLOOR - ELECTRICAL
A1.12 UNIT C4 PLANS	A5.10 FOUNDATION DETAILS		S2.80	BRACE ELEVATIONS	M1.06	SEGMENT B 1ST & 2ND FLOOR - HVAC	E1.34	SEGMENT H 4TH FLOOR & ROOF - ELECTRICAL
A1.13 UNIT D1 PLANS	A5.11 FOUNDATION DETAILS	03 - STRUCTURAL	S3.00	FOUNDATION DETAILS	M1.07	SEGMENT B 3RD & 4TH FLOOR - HVAC	E1.35	SEGMENT J BASEMENT & 1ST FLOOR - ELECTRICAL
A1.14 UNIT PH PLANS	A5.12 FOUNDATION DETAILS	S0.01 GENERAL NOTES	S3.01	FOUNDATION DETAILS	M1.08	SEGMENT B ROOF - HVAC	E1.36	SEGMENT J 2ND & 3RD FLOOR - ELECTRICAL
A1.15 TYPE A UNIT PLANS	A5.20 MID WALL & BALCONY DETAILS	S0.02 WIND & SNOW LOAD INFORMATION, NAILING SCHEDULE	S3.02 F 93.02	FOUNDATION DETAILS	M1.09	SEGMENT C 1ST FLOOR - HVAC	E1.37	SEGMENT J 4TH FLOOR & ROOF - ELECTRICAL
A1.16 GUEST SUITE	A5.21 MID WALL & BALCONY DETAILS	S0.03 FRAMING, FOODTING & SLAB/DECK SCHEDULES	00.00	FOUNDATION DETAILS	M1.10	SEGMENT C 2ND FLOOR - HVAC	E2.01	UNIT PLANS - ELECTRICAL
A2.00 BUILDING 1 OVERALL SLAB PLAN	A5.30 ROOF DETAILS	S0.04 STUD BEARING WALL SCHEDULE	S3.04	FOUNDATION DETAILS	M1.11	SEGMENT C 3RD FLOOR - HVAC	E2.02	UNIT PLANS - ELECTRICAL
A2.01 BUILDING 1 OVERALL 1ST FLOOR PLAN	A5.31 ROOF DETAILS	S0.05 SHEARWALL SCHEDULE & DETAILS	S3.10	FLOOR FRAMING DETAILS	M1.12	SEGMENT C 4TH FLOOR - HVAC	E2.03	UNIT PLANS - ELECTRICAL
A2.02 BUILDING 1 OVERALL 2ND FLOOR PLAN	A5.40 MATERIAL TRANSITION DETAILS	S0.06 SHEARWALL & FRAMING DETAILS	S3.11	FLOOR FRAMING DETAILS	M1.13	SEGMENT C ROOF - HVAC	E2.04	UNIT PLANS - ELECTRICAL
A2.03 BUILDING 1 OVERALL 3RD FLOOR PLAN	A6.00 DOOR SCHEDULE	S0.07 SHEARWALL & FRAMING DETAILS	S3.12	FLOOR FRAMING DETAILS	M1.14	SEGMENT D 1ST FLOOR - HVAC	E2.05	UNIT PLANS - ELECTRICAL
A2.04 BUILDING 1 OVERALL 4TH FLOOR PLAN	A6.10 WINDOW SCHEDULE	S0.08 GENERAL FRAMING DETAILS	S3.13	FLOOR FRAMING DETAILS	M1.15	SEGMENT D 2ND FLOOR - HVAC	E3.01	ELECTRICAL DETAILS
A2.05 BUILDING 1 OVERALL ROOF PLAN	A6.11 WINDOW DETAILS	S0.09 GENERAL FRAMING DETAILS	S3.14	FLOOR FRAMING DETAILS	M1.16	SEGMENT D 3RD FLOOR - HVAC	E3.02	ELECTRICAL DETAILS
A2.06 SEGMENT A SLAB & 1ST FLOOR PLAN	A7.00 CLUBHOUSE 1ST FLOOR PLAN	S0.10 STAIR FRAMING DETAILS	S3.15	GARAGE FRAMING DETAILS	M1.17	SEGMENT D 4TH FLOOR - HVAC	E3.03	ELECTRICAL DETAILS/SCHEDULES
A2.07 SEGMENT A 2ND & 3RD FLOOR PLAN	A7.01 CLUBHOUSE 2ND FLOOR PLAN	S0.20 STEEL FRAMING INFO & DETAILS	S3.20	ROOF FRAMING DETAILS	M1.18	SEGMENT D ROOF - HVAC	E3.04	ELECTRICAL DETAILS/SCHEDULES
A2.08 SEGMENT A 4TH FLOOR & ROOF PLAN	A7.02 CLUBHOUSE RCP - 1ST FLOOR	S1.99 BLDGS's 1 & 2 OVERALL GRID REFERENCE PLAN	S3.21	ROOF FRAMING DETAILS	M1.19	SEGMENT E 1ST FLOOR - HVAC	E3.05	ELECTRICAL SCHEDULES
A2.09 SEGMENT B SLAB & 1ST FLOOR PLAN	A7.03 CLUBHOUSE RCP - 2ND FLOOR	S2.00 BLDG 1 - OVERALL PT SLAB PLAN	S3.22	ROOF FRAMING DETAILS	M1.20	SEGMENT E 2ND FLOOR - HVAC	E3.06	ELECTRICAL SCHEDULES
A2.10 SEGMENT B 2ND & 3RD FLOOR PLAN	A7.04 DOG WASH/BIKE SHOP PLANS	S2.01 BLDG 1 - OVERALL FOUNDATION PLAN	S3.23	ROOF FRAMING DETAILS	M1.21	SEGMENT E 3RD FLOOR - HVAC	E3.07	ELECTRICAL SCHEDULES
A2.11 SEGMENT B 4TH FLOOR & ROOF PLAN	A7.10 CLUBHOUSE - INTERIOR ELEVATIONS	S2.02 BLDG 1 - OVERALL 2ND FLOOR FRAMING PLAN	04 -	MEP	M1.22	SEGMENT E 4TH FLOOR - HVAC		
A2.12 SEGMENT C SLAB PLAN	A7.11 CLUBHOUSE - INTERIOR ELEVATIONS	S2.03 BLDG 1 - OVERALL 3RD FLOOR FRAMING PLAN	ME0.01		M1.23	SEGMENT E ROOF - HVAC	07 -	ΓELECOM
A2.13 SEGMENT C 1ST FLOOR PLAN	A8.00 NOT USED	S2.04 BLDG 1 - OVERALL 4TH FLOOR FRAMING PLAN		PROJECT STANDARDS	M1.24	SEGMENT F 1ST FLOOR - HVAC	T1.01	BUILDING 1 - OVERALL 1ST FLOOR PLAN
A2.14 SEGMENT C 2ND FLOOR PLAN	A8.01 TRASH ENCLOSURE	S2.05 BLDG 1 - OVERALL ROOF FRAMING PLAN	ME1.01 ME1.02	SITE PLAN PARTIAL SITE PLAN	M1.25	SEGMENT F 2ND FLOOR - HVAC	T1.02	BUILDING 1 - OVERALL 2ND FLOOR PLAN
A2.15 SEGMENT C 3RD FLOOR PLAN		S2.06 SEG (A) PT SLAB & FOUNDATION PLAN			M1.26	SEGMENT F 3RD FLOOR - HVAC	T1.03	BUILDING 1 - OVERALL 3RD FLOOR PLAN
A2.16 SEGMENT C 4TH FLOOR PLAN	02 - CIVIL & SITE	S2.07 SEG (A) 2ND & 3RD FLOOR FRAMING PLAN	ME1.03	NOT USED	M1.27	SEGMENT F 4TH FLOOR - HVAC	T1.04	BUILDING 1 - OVERALL 4TH FLOOR PLAN
A2.17 SEGMENT C ROOF PLAN	C-0001 COVER SHEET	S2.08 SEG (A) 4TH FLOOR & ROOF FRAMING PLAN	04 -	PLUMBING	M1.28	SEGMENT F ROOF - HVAC	T1.05	BUILDING 2 - OVERALL 1ST FLOOR PLAN
A2.18 SEGMENT D SLAB PLAN	C-0010 GENERAL NOTES	S2.08a SEG (A) SHEARWALL PLAN		SEGMENT A 1ST FLOOR - PLUMBING	M1.29	SEGMENT G BASEMENT & 1ST FLOOR - HVAC	T1.06	BUILDING 2 - OVERALL 2ND FLOOR PLAN
A2.19 SEGMENT D 1ST FLOOR	C-0100 EXISTING CONDITIONS PLAN	S2.09 SEG (B) PT SLAB & FOUNDATION PLAN	P1.01 P1.02	SEGMENT A 2ND FLOOR - PLUMBING SEGMENT A 2ND FLOOR - PLUMBING	M1.30	SEGMENT G 2ND & 3RD FLOOR - HVAC	T1.07	BUILDING 2 - OVERALL 3RD FLOOR PLAN
A2.20 SEGMENT D 2ND FLOOR	C-0200 SITE PLAN	S2.10 SEG (B) 2ND & 3RD FLOOR FRAMING PLAN	P1.02 P1.03	SEGMENT A 3RD FLOOR - PLUMBING	M1.31	SEGMENT G 4TH FLOOR & ROOF - HVAC	T1.08	BUILDING 2 - OVERALL 4TH FLOOR PLAN
A2.21 SEGMENT D 3RD FLOOR	C-0210 DIMENSION PLAN	S2.11 SEG (B) 4TH FLOOR & ROOF FRAMING PLAN	P1.03	SEGMENT A 4TH FLOOR - PLUMBING	M1.32	SEGMENT H BASEMENT & 1ST FLOOR - HVAC	T2.01	TELECOM DETAILS
A2.22 SEGMENT D 4TH FLOOR	C-0211 DIMENSION PLAN	S2.11a SEG (B) SHEARWALL PLAN	P1.04 P1.05	SEGMENT A ROOF PLAN - PLUMBING	M1.33	SEGMENT H 2ND & 3RD FLOOR - HVAC		
A2.23 SEGMENT D ROOF PLAN	C-0212 DIMENSION PLAN	S2.12 SEG (C) PT SLAB & FOUNDATION PLAN	P1.05 P1.06	SEGMENT A ROOF PLAN - PLUMBING SEGMENT B 1ST & 2ND FLOOR - PLUMBING	M1.34	SEGMENT H 4TH FLOOR & ROOF - HVAC	U8 - I	NTERIORS
A2.24 SEGMENT E SLAB AND 1ST FLOOR PLAN	C-0300 EROSION CONTROL PLAN - PHASE 1	S2.13 SEG (C) 2ND & 3RD FLOOR FRAMING PLAN	P1.06 P1.07	SEGMENT B 3RD & 4TH FLOOR - PLUMBING	M1.35	SEGMENT J BASEMENT & 1ST FLOOR - HVAC	ID.100	CLUBHOUSE - FURNITURE PLAN
A2.25 SEGMENT E 2ND & 3RD FLOOR	C-0310 EROSION CONTROL PLAN - PHASE 2	S2.14 SEG (C) 4TH FLOOR & ROOF FRAMING PLAN	P1.07 P1.08	SEGMENT B 3RD & 4TH FLOOR - PLUMBING SEGMENT B - ROOF PLAN - PLUMBING	M1.36	SEGMENT J 2ND & 3RD FLOOR - HVAC	ID.200	CLUBHOUSE - FINISH PLANS
A2.26 SEGMENT E 4TH FLOOR & ROOF PLAN	C-0320 EROSION CONTROL PLAN - PHASE 3	S2.14a SEG (C) SHEARWALL PLAN	P1.08 P1.09	SEGMENT C 1ST FLOOR - PLUMBING	M1.37	SEGMENT J 4TH FLOOR & ROOF - HVAC	ID.300	CLUBHOUSE - FLOORING PLANS
A2.30 BUILDING 2 OVERALL SLAB & BASEMENT PLA		S2.15 SEG (D) PT SLAB PLAN		SEGMENT C 1ST FLOOR - PLUMBING SEGMENT C 2ND FLOOR - PLUMBING	M2.01	UNIT PLANS - HVAC	ID.400	CLUBHOUSE - DECORATIVE CEILING & LIGHTING
A2.31 BUILDING 2 OVERALL 1ST FLOOR PLAN	C-0420 SPOT ELEVATION PLAN	S2.16 SEG (D) FOUNDATION PLAN	P1.10		M2.02	UNIT PLANS - HVAC	ID.500	CLUBHOUSE - INTERIOR ELEVATIONS
A2.32 BUILDING 2 OVERALL 2ND FLOOR PLAN	C-0421 SPOT ELEVATION PLAN	S2.17 SEG (D) 2ND FLOOR FRAMING PLAN	P1.11 P1.12	SEGMENT C 3RD FLOOR - PLUMBING SEGMENT C 4TH FLOOR - PLUMBING	M2.03	UNIT PLANS - HVAC	ID.501	CLUBHOUSE - INTERIOR ELEVATIONS
A2.33 BUILDING 2 OVERALL 3RD FLOOR PLAN	C-0422 SPOT ELEVATION PLAN	S2.18 SEG (D) 3RD FLOOR FRAMING PLAN	P1.12 P1.13	SEGMENT C 4TH FLOOR - PLUMBING SEGMENT C - ROOF PLAN - PLUMBING	M2.04	UNIT PLANS - HVAC	ID.502	CLUBHOUSE - ENLARGED PLANS & INTERIOR ELEVATIONS
A2.34 BUILDING 2 OVERALL 4TH FLOOR PLAN	C-0423 SPOT ELEVATION PLAN	S2.19 SEG (D) 4TH FLOOR FRAMING PLAN	P1.13 P1.14	SEGMENT C - ROOF PLAN - PLUMBING SEGMENT D 1ST FLOOR - PLUMBING	M2.05	UNIT PLANS - HVAC	ID.600	INTERIOR FINISH & FIXTURE SCHEDULES
A2.35 BUILDING 2 OVERALL ROOF PLAN	C-0430 RETAINING WALL PLAN	S2.20 SEG (D) ROOF FRAMING PLAN	P1.14 P1.15	SEGMENT D 1ST FLOOR - PLUMBING SEGMENT D 2ND FLOOR - PLUMBING	MP1.01	MECHANICAL DETAILS	ID.601	INTERIOR DECORATIVE LIGHTING SCHEDULES
A2.36 SEGMENT F SLAB & 1ST FLOOR PLAN	C-0500 STORM SEWER GENERAL LAYOUT	S2.20a SEG (D) SHEARWALL PLAN	P1.15 P1.16	SEGMENT D 2ND FLOOR - PLUMBING SEGMENT D 3RD FLOOR - PLUMBING	MP1.02	MECHANICAL DETAILS		
A2.37 SEGMENT F 2ND & 3RD FLOOR PLANS	C-0501 STORM SEWER GENERAL LAYOUT	S2.21 SEG (E) PT SLAB & FOUNDATION PLAN	P1.16 P1.17	SEGMENT D 3RD FLOOR - PLUMBING SEGMENT D 4TH FLOOR - PLUMBING	MP1.03	MECHANICAL DETAILS		
A2 38 SEGMENT F 4TH FLOOR & ROOF PLANS	C-0510 STORM SEWER PLAN AND PROFILE	S2 22 SEG (E) 2ND & 3RD FLOOR FRAMING PLAN	P1.17	SEGMENT D 41H FLOOR - PLUMBING				

SEGMENT D - ROOF PLAN - PLUMBING

SEGMENT E 1ST FLOOR - PLUMBING

SEGMENT E 2ND FLOOR - PLUMBING

SEGMENT E 3RD FLOOR - PLUMBING

06 - ELECTRICAL

E1.01 SEGMENT A 1ST FLOOR - ELECTRICAL

E1.02 SEGMENT A 2ND FLOOR - ELECTRICAL

S2.23a SEG (E) SHEARWALL PLAN

SEG (E) 2ND & 3RD FLOOR FRAMING PLAN

SEG (E) 4TH FLOOR & ROOF FRAMING PLAN

A SU	MMARY -	BLDG. 1	l l	JNIT MIX	- BLDG.	1
ИΕ	AREA SF.	% AREA	UNIT TYPE	# UNITS	% TOTAL	TOTAL SF
mon Area			1 BED / 1 BATH	I.		
	11073 SF	4.4%	UNIT A1	_13	5.0%	8629 SF
	24947 SF	10.0%	UNIT A2	10	4.2%	7255 SF
	331 SF	0.1%	UNIT A2 TYPE A	2 1	0.8%	1451 SF
	14195 SF	5.7%	UNIT A3	33	15.0%	25824 SF
ROOM	127 SF	0.1%	UNIT A3 ALT	12	5.5%	9548 SF
	171 SF	0.1%		70	30.6%	52707 SF
ROOM	127 SF	0.1%	1 BED / 1 BATH / DEN	I		
	795 SF	0.3%	UNIT B1	9	5.3%	9186 SF
)	294 SF	0.1%	UNIT B1 ALT	4	2.4%	4185 SF
	1212 SF	0.5%	UNIT B2	4	2.7%	4598 SF
Л	186 SF	0.1%	UNIT B4	1	0.7%	1148 SF
	405 SF	0.2%		18	11.1%	19117 SF
	53863 SF	21.5%	2 BED / 2 BATH			
			UNIT C1	32	21.3%	36713 SF
			UNIT C1 ALT 2	1	0.7%	1127 SF
	15806 SF	6.3%	UNIT C1 ALT 3	4	2.7%	4692 SF
	15806 SF	6.3%	UNIT C1 TYPE A	1	0.7%	1147 SF
			UNIT C2	14	10.0%	17229 SF
Penetratio	on		UNIT C3	8	5.6%	9639 SF
	288 SF	0.1%	UNIT C4	4	2.9%	4947 SF
	289 SF	0.1%		64	43.8%	75494 SF
	289 SF	0.1%	2 BED / 2 BATH / DEN	l		
	289 SF	0.1%	UNIT D1	3	2.6%	4497 SF
	1456 SF	0.6%	UNIT D1 ALT	2	1.7%	2998 SF
	1456 SF	0.6%	UNIT D1 ALT 2	1	0.9%	1499 SF
	1456 SF	0.6%	UNIT PH	6	5.5%	9563 SF
	1351 SF	0.5%		12	10.8%	18558 SF
	1456 SF	0.6%	GUEST			
	8330 SF	3.3%	GUEST SUITE	1	0.2%	358 SF
				1	0.2%	358 SF
			STUDIO			
E	358 SF	0.1%	UNIT S1	13	3.6%	6240 SF
	8629 SF	3.4%		13	3.6%	6240 SF
	7255 SF	2.9%	TOTALS	178	100.0%	172474 SF
ΕA	1451 SF	0.6%				
	25824 SF	10.3%				
	9548 SF	3.8%				
	9186 SF	3.7%				
	4185 SF	1.7%				
	4=00.0=	4.00/				

NAME	AREA SF.	% AREA
Building Common Area		
CLUBHOUSE	11073 SF	4.4%
CORRIDOR	24947 SF	10.0%
ELEC.	331 SF	0.1%
GARAGE	14195 SF	5.7%
IDF/ MECH. ROOM	127 SF	0.1%
IDF/MEP	171 SF	0.1%
MDF/MECH. ROOM	127 SF	0.1%
MEP	795 SF	0.3%
POOL EQUIP	294 SF	0.1%
RES. STOR.	1212 SF	0.1%
		0.5%
RISER ROOM	186 SF	
STOR.	405 SF	0.2%
Exterior Area	53863 SF	21.5%
Exterior Area PATIO	15806 SF	6.3%
	15806 SF	6.3%
Major Vertical Penetration	n 288 SF	0.1%
ELEV. C	289 SF	0.1%
ELEV. D	289 SF	0.1%
ELEV. E	289 SF	0.1%
STAIR A	1456 SF	0.1%
STAIR B1	1456 SF	0.6%
STAIR B2	1456 SF	0.6%
STAIR D	1351 SF	0.5%
STAIR E	1456 SF 8330 SF	3.3%
Store Area GUEST SUITE	358 SF	0.1%
UNIT A1	8629 SF	3.4%
UNIT A2	7255 SF	2.9%
UNIT A2 TYPE A	1451 SF	0.6%
UNIT A3	25824 SF	10.3%
UNIT A3 ALT	9548 SF	3.8%
UNIT B1	9186 SF	3.7%
UNIT B1 ALT	4185 SF	1.7%
UNIT B2	4598 SF	1.8%
UNIT B4	1148 SF	0.5%
UNIT C1	36713 SF	14.7%
UNIT C1 ALT 2	1127 SF	0.4%
UNIT C1 ALT 3	4692 SF	1.9%
UNIT C1 TYPE A	1147 SF	0.5%
UNIT C2	17229 SF	6.9%
UNIT C3	9639 SF	3.8%
UNIT C4	4947 SF	2.0%
UNIT D1	4497 SF	1.8%
	2998 SF	1.2%
UNII DI ALI	1499 SF	0.6%
UNIT D1 ALT	1499 31	3.8%
UNIT D1 ALT 2	0563 CE	
UNIT D1 ALT 2 UNIT PH	9563 SF	
UNIT D1 ALT 2	6240 SF	2.5%
UNIT D1 ALT 2 UNIT PH		



JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 AREA PLANS DATE **03.15.2023**

2 AREA USE - B1 - 2ND FLR.

3/64" = 1'-0"

REA SU	MMARY -	BLDG. 1	l l	JNIT MIX	(- BLDG.	1
NAME	AREA SF.	% AREA	UNIT TYPE	# UNITS	% TOTAL	ТОТ
Common Area			1 BED / 1 BATH	I.		-
OUSE	11073 SF	4.4%	UNIT A1	13	5.0%	8
OOR	24947 SF	10.0%	UNIT A2	10	4.2%	7:
	331 SF	0.1%	UNIT A2 TYPE A	2	0.8%	1
E .	14195 SF	5.7%	UNIT A3	33	15.0%	25
CH. ROOM	127 SF	0.1%	UNIT A3 ALT	12	5.5%	9
P	171 SF	0.1%		70	30.6%	52
ECH. ROOM	127 SF	0.1%	1 BED / 1 BATH / DEN	l		
	795 SF	0.3%	UNIT B1	9	5.3%	9
QUIP	294 SF	0.1%	UNIT B1 ALT	4	2.4%	4
TOR.	1212 SF	0.5%	UNIT B2	4	2.7%	4
ROOM	186 SF	0.1%	UNIT B4	1	0.7%	1
	405 SF	0.2%		18	11.1%	19
	53863 SF	21.5%	2 BED / 2 BATH			
			UNIT C1	32	21.3%	36
Area			UNIT C1 ALT 2	1	0.7%	1
	15806 SF	6.3%	UNIT C1 ALT 3	4	2.7%	4
	15806 SF	6.3%	UNIT C1 TYPE A	1	0.7%	1
			UNIT C2	14	10.0%	17
ertical Penetratio	n		UNIT C3	8	5.6%	9
١	288 SF	0.1%	UNIT C4	4	2.9%	4
	289 SF	0.1%		64	43.8%	75
)	289 SF	0.1%	2 BED / 2 BATH / DEN	١		
<u> </u>	289 SF	0.1%	UNIT D1	3	2.6%	4
A	1456 SF	0.6%	UNIT D1 ALT	2	1.7%	2
31	1456 SF	0.6%	UNIT D1 ALT 2	1	0.9%	1-
32	1456 SF	0.6%	UNIT PH	6	5.5%	9
)	1351 SF	0.5%		12	10.8%	18
Ξ	1456 SF	0.6%	GUEST			
	8330 SF	3.3%	GUEST SUITE	1	0.2%	3
				1	0.2%	3
rea			STUDIO	1		
SUITE	358 SF	0.1%	UNIT S1	13	3.6%	6
1	8629 SF	3.4%		13	3.6%	6
2	7255 SF	2.9%	TOTALS	178	100.0%	17
2 TYPE A	1451 SF	0.6%				
3	25824 SF	10.3%				
3 ALT	9548 SF	3.8%				
1	9186 SF	3.7%				
1 ALT	4185 SF	1.7%				
2	4598 SF	1.8%				
4	1148 SF	0.5%				
1	36713 SF	14.7%				
1 ALT 2	1127 SF	0.4%				
1 ALT 3	4692 SF	1.9%				
1 TYPE A	1147 SF	0.5%				
2	17229 SF	6.9%				

	MMARY -	BI
NAME	AREA SF.	
Building Common Area		
CLUBHOUSE	11073 SF	
CORRIDOR	24947 SF	
ELEC.	331 SF	
GARAGE	14195 SF	
IDF/ MECH. ROOM	127 SF	
IDF/MEP	171 SF	
MDF/MECH. ROOM	127 SF	
MEP	795 SF	
POOL EQUIP	294 SF	
RES. STOR.	1212 SF	
RISER ROOM	186 SF	
STOR.	405 SF	
	53863 SF	
Exterior Area		
PATIO	15806 SF	
	15806 SF	-
Major Vertical Penetration		
ELEV. A	288 SF	
ELEV. C	289 SF	
ELEV. D	289 SF	
ELEV. E	289 SF	
STAIR A	1456 SF	
STAIR B1	1456 SF	\top
STAIR B2	1456 SF	\top
STAIR D	1351 SF	
STAIR E	1456 SF	\top
	8330 SF	
GUEST SUITE UNIT A1	358 SF 8629 SF 7255 SF	
INIT A2		+
	1/15/15/	+
UNIT A2 TYPE A	1451 SF 25824 SF	
UNIT A2 TYPE A UNIT A3	25824 SF	+
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT	25824 SF 9548 SF	\perp
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1	25824 SF 9548 SF 9186 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT	25824 SF 9548 SF 9186 SF 4185 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF	
UNIT A2 UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C3 UNIT C3	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C3 UNIT C4 UNIT C4	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C3 UNIT C4 UNIT D1 UNIT D1	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF 2998 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C4 UNIT C4 UNIT D1 UNIT D1 UNIT D1 ALT UNIT D1 ALT 2	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF 2998 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C4 UNIT C4 UNIT D1 UNIT D1 ALT UNIT D1 ALT UNIT D1 ALT 2 UNIT PH	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF 2998 SF 1499 SF 9563 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 UNIT B2 UNIT B4 UNIT C1 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C4 UNIT C4 UNIT D1 UNIT D1 UNIT D1 ALT UNIT D1 ALT 2	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF 2998 SF 1499 SF 9563 SF 6240 SF	
UNIT A2 TYPE A UNIT A3 UNIT A3 ALT UNIT B1 UNIT B1 ALT UNIT B2 UNIT B4 UNIT C1 UNIT C1 ALT 2 UNIT C1 ALT 3 UNIT C1 TYPE A UNIT C2 UNIT C3 UNIT C4 UNIT C4 UNIT D1 UNIT D1 ALT UNIT D1 ALT UNIT D1 ALT UNIT D1 ALT UNIT PH	25824 SF 9548 SF 9186 SF 4185 SF 4598 SF 1148 SF 36713 SF 1127 SF 4692 SF 1147 SF 17229 SF 9639 SF 4947 SF 4497 SF 2998 SF 1499 SF 9563 SF	



JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 AREA PLANS

2 AREA USE - B1 - 4TH FLR.



3419 SF 4647 SF 7980 SF 1451 SF 14086 SF 14322 SF 2221 SF 6124 SF 4241 SF 35566 SF 4692 SF 3381 SF 2294 SF 14768 SF 3360 SF 148149 SF 223584 SF

2 AREA USE - B2 - 4TH FLR.

1 AREA USE - B2 - 3RD FLR.

AREA SUMMARY - BLDG. 2

12785 SF 5.7% 12785 SF 5.7%

0.1% 0.2% 0.1% 0.7% 0.8% 0.7% 0.2% 2.7%

UNIT MIX - BLDG. 2

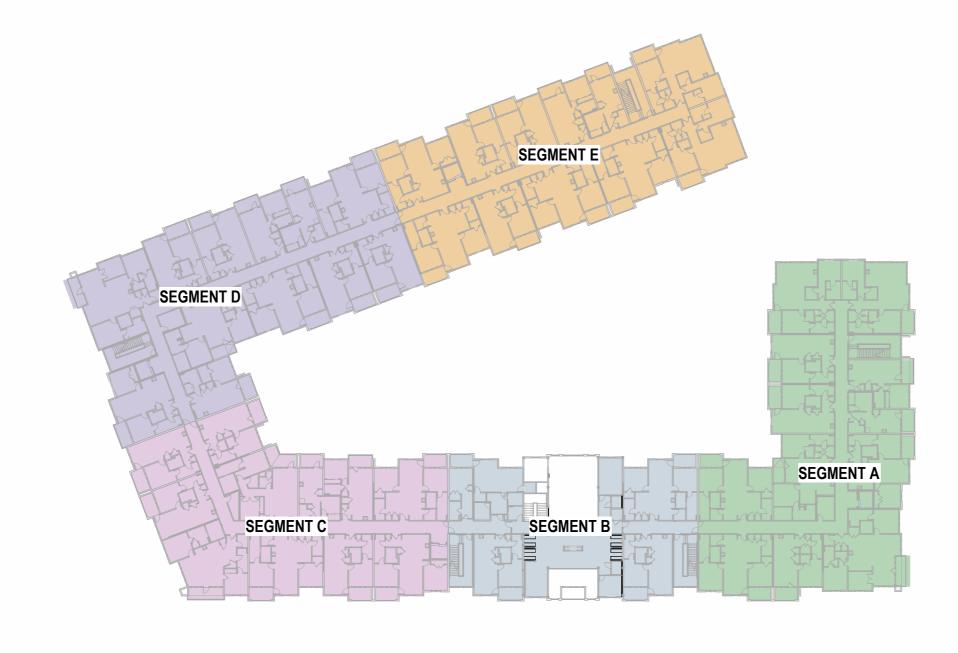
8.3% 4.4% 12.7%

7 2.3% 3360 SF 7 2.3% 3360 SF 146 100.0% 144730 SF

UNIT TYPE # UNITS % TOTAL TOTAL SF

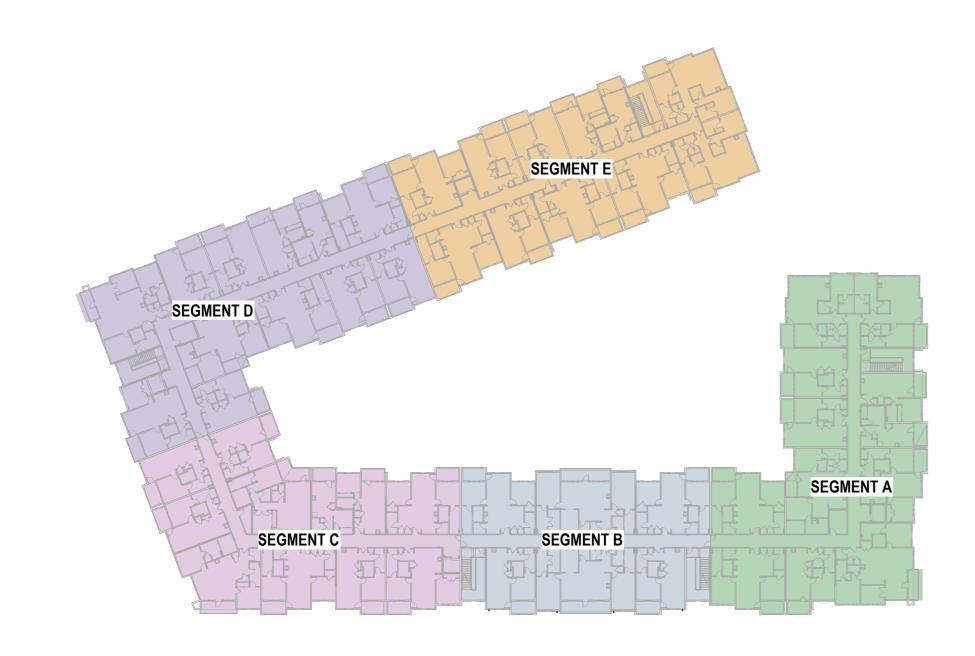
JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 2 AREA PLANS

2 CODE REFERENCE PLAN - 1ST FLOOR

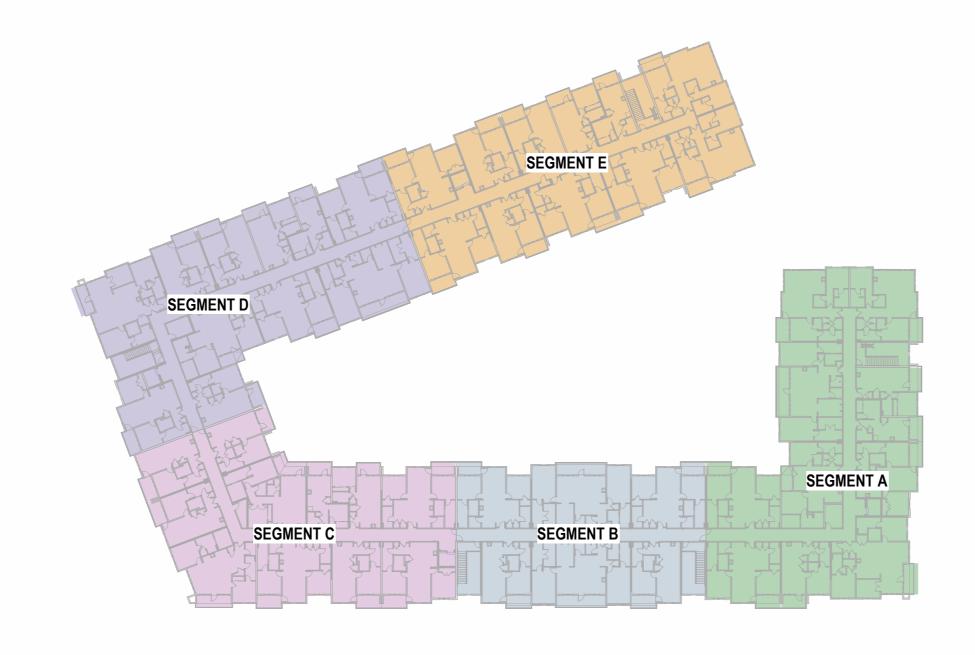


CODE REFERENCE PLAN - 2ND FLOOR

1" = 50'-0"



CODE REFERENCE PLAN - 3RD FLOOR



CODE REFERENCE PLAN - 4TH FLOOR

1" = 50'-0"

CODE REFERENCE

BUILDING CODE:

JURISDICTION: LEE'S SUMMIT, MISSOURI ADOPTED NATIONAL AND INTERNATIONAL CODES: 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC)

2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2017 NATIONAL ELECTRICAL CODE (NEC) 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINDED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES: REQUIRED: SECTION 1107.6.2.2.2 2% OF TOTAL PER SECTION 1107.6.2.2.1 TYPE A TYPE B PER SECTION 1107.6.2.2.2 PROVIDED: TYPE A TYPE B

USE APPROACHES AS DEFINDED THE IBC.

THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES.

LIFE SAFETY SYSTEMS

ACTIVE SYSTEMS SPRINKLER SYSTEMS

CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, #2 - EXCEPTION)

SMOKE DETECTION IN R2 SECTION 420.6

FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2

EXIT SIGNS **SECTION 1013.1** ILLUMINATED WITH 90 MIN BATTERY BACKUP

PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE

CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION 1.0-HOUR 1.0-HOUR 0.0-HOUR 1.0-HOUR 1.0-HOUR 1.0-HOUR ••••• 0.5-HOUR -----1.0-HOUR ••••• 2.0-HOUR ----STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE): 2.0-HOUR ELEVATOR SHAFT WALLS-EXTERIOR(FIRE BARRIER): 1.0-HOUR ----ELEVATOR SHAFT WALLS-INTERIOR(FIRE BARRIER): 2.0-HOUR SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE):

2.0-HOUR 2.0 HOUR

SOUND TRANSMISSION CLASS RATING (STC): 50 STC SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION IMPACT INSULATION CLASS RATING (IIC):

FIRE DEPARTMENT GENERAL NOTES

STRUCTURAL FRAME: BEARING WALLS-EXTERIOR:

BEARING WALLS-INTERIOR:

FLOOR CONSTRUCTION:

ROOF CONSTRUCTION:

EXIT PASSAGEWAYS:

SOUND RATINGS

FIRE WALLS:

NON-BEARING WALLS-INTERIOR:

UNIT DEMISING WALLS(FIRE PARTITION):

GARAGE SEPARATION (FIRE BARRIER)

CORRIDOR WALLS(FIRE PARTITION):

1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F, RESPECTIVELY. 2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING: "FIRE ALARM/SPRINKLER RISER" 3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIST STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH

RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL. 4. IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE

ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE D OOR LEADING FROM THE ITNERIOR EXIT STAIRWAY AND

PASSIVE SYSTEMS

FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2

SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006

1. PROVIDE CO MONITOR IN EACH GARAGE STALL

3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WEL AS COMMON AREAS ON THE FLOOR ABOVE

DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

2. EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION

SEGMENT A INFORMATION

DESCRIPTION:			
4-STORY MULTI-FAMILY RESIDE	ENTIAL		
DATA:			
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION		VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER		YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBE	R OF S	TORIES	
ALLOWABLE BUILDING HEIGHT ACTUAL BUILDING HEIGHT:	:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:		4 4	TABLE 504.4
AREA			
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR		65,760 SF 16,440 SF	SECTION 506.2 SECTION 506.2
$\begin{aligned} &A_a = [A_t + (NS \times I_f)] \\ &A_a = [12,000 + (12,000 \times .37)] \\ &A_a = \textbf{16,440 SF} \end{aligned}$			SECTION 506.2.4
FRONTAGE INCREASE $I_f = [F/P25]W/30$ $I_f = [345/55525]30/30$ $I_f = .37$			SECTION 506.3
ACTUAL AREA: SEGMENT A 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	14,794 SF 14,885 SF 14,915 SF 14,936 SF 59,930 SF		

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDE	NTIAL	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, A-3	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13 SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.1 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER	R OF STORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	36,000 SF 108,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_f)]$		SECTION 506.2.4
$A_a = [36,000 + (36,000 \times 0)]$ $A_a = 36,000 \text{ SF}$		
	REQUIRED	SECTION 506.3

SECMENT C INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDENTIAL		
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER OF	STORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	57,600 SF 14,400 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .2)]$ $A_a = 14,400 SF$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [216/48125]30/30 I _f = .2		SECTION 506.3
ACTUAL AREA: SEGMENT C 1ST FLOOR 12,270 2ND FLOOR 12,313 3RD FLOOR 12,313 4TH FLOOR 12,313 TOTAL 49,208	3 SF 3 SF 3 SF	

CECMENT D INFORMATION

DE2C	RIPTION:		
4-STOR	Y MULTI-FAMILY RESIDE	NTIAL	
DATA	ı:		
	RUCTION TYPE ANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
	ARM	YES - C NO	3R SYSTEM SECTION 903 SECTION 420 SECTION 905
	HT AND NUMBER		TABLE 504.3
	BUILDING HEIGHT:	44'-3"	TABLE 004.0
	ABLE STORIES NUMBER OF STORIES:	4 4	TABLE 504.4
AREA	1		
	ABLE AREA ABLE AREA PER FLOOR	60,000 s 15,000 s	
	+ (NS x l _f)] 000 + (12,000 x .25)] 000 SF		SECTION 506
$I_f = [F/P]$	AGE INCREASE 25]W/30 53525]30/30		SECTION 506
ACTUAL			
	SEGMENT D 1ST FLOOR 2ND FLOOR	13,812 SF] 14,011 SF]	

SEGMENT E INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDEN	NTIAL	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1. SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER	OF STORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 SF$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [249/50225]30/30 I _f = .25		SECTION 506.3
	2,735 SF]	
	2,904 SF 2.904 SF	

DATA:			
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION		VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER		YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 3 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER		60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:		44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:		4 4	TABLE 504.4
AREA			
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR		60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_t)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 SF$			SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [249/50225]30/30 I _f = .25			SECTION 506.3
ACTUAL AREA: SEGMENT E 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	12,735 SF 12,904 SF 12,904 SF 12,912 SF 51,455 SF		

CONSTRUCTION As Noted on Plans Review

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△REVISIONS 1 23 0411 CITY COMMENTS 1 3 23 0511 ADDENDUM 2

705921 03.15.2023 **DRAWN BY** TSC/SIW 5/11/2023 ADDENDUM #2 SHEET NAME
BUILDING 1 CODE
ANALYSIS & PLANS

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review





CODE REFERENCE PLAN - 2ND FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
EXERCISE ROOMS	364 SF	50 GROSS	7
ASSEMBLY- UNCONCENTRA'	TED 2,884 SF	15 NET	190
ACCESSORY STOR/MECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STOR/MECH	85 SF	300 GROSS	11
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVE	L 2		
		LOAD EAGTOD	COCUDANTICAE
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD

EGRESS REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTH	ER)	SECTION 1005, 1024
SEGMENT A	44"/44"	44"/80"
SEGMENT B	44"/44"	44"/80"
SEGMENT C	44"/44"	44"/80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DI	STANCE	TABLE 1017.2
SEGMENT A (R2)	250 FT	101'- 10"
SEGMENT B (R2)	250 FT	68'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)		113'-11"
SEGMENT E (R2)	250 FT	92'-5"
MAXIMUM COMMON PATH OF TRAV	EL DISTANCE	TABLE 1006.2.1
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	32'-10"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4
SEGMENT E (R2)	125 FT	31'-7
MAXIMUM DEAD END CORRIDOR LE	NGTH	SECTION 1020.4
GROUP R2	20 FT	



OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,897 SF	200 GROSS	45
PARKING GARAGES	2,971 SF	200 GROSS	15
ACCESSORY STOR/MECH	489 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			62
SEGMENT B - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
BUSINESS	687 SF	150 GROSS	5
EXERCISE ROOMS	1,399 SF	50 GROSS	28
ASSEMBLY- UNCONCENTRAT	ΓED 3,930 SF	15 NET	386
ACCESSORY STOR/MECH	153 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			421
SEGMENT C - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	9,206 SF	200 GROSS	46
PARKING GARAGES	1,407 SF	200 GROSS	7
ACCESSORY STOR/MECH	2,272 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			54
SEGMENT D - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	5,077 SF	200 GROSS	25
PARKING GARAGE	5,427 SF	200 GROSS	27
ACCESSORY STOR/MECH	811 SF	300 GROSS	3
TOTAL OCCUPANT LOAD			55
SEGMENT E - LEVE	L 1		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
DECIDENTIAL	5,491 SF	200 GROSS	28
RESIDENTIAL	0,10101		
PARKING GARAGE	4,391 SF	200 GROSS	22
	•	200 GROSS 300 GROSS	22 1

EGRESS REQUIREMENTS

TRAVEL DISTANCE - 138'-2"

TRAVEL DISTANCE - 107'-6"

COMMON PATH OF TRAVEL - 21'-10"

COMMON PATH OF TRAVEL - 30'-8"

COMMON PATH OF TRAVEL - 31'-9"

TRAVEL DISTANCE - 73'-9" —

COMMON PATH OF TRAVEL - 32'-7"

TRAVEL DISTANCE - 153'-5"

COMMON PATH OF TRAVEL - 42'-9"

ELEMENT	REQUIRED	PROVIDED	
MINIMUM NUMBER OF EXITS			
SEGMENT A	2	3	
SEGMENT B	2	4	
SEGMENT C	2	2	
SEGMENT D	2	2	
SEGMENT E	2	3	
EXIT WIDTH FACTORS (STAIRS/O	THER) SECTION 10	005, 1011, 1024	
SEGMENT A	[^] 44"/44"	44"/80"	
SEGMENT B	44"/44"	44"/80"	
SEGMENT C	44"/44"	44"/80"	
SEGMENT D	44"/44"	44"/80"	
SEGMENT E	44"/44"	44"/80"	
MAXIMUM EXIT ACCESS TRAVEL I	DISTANCE	TABLE 1017.2	
SEGMENT A (R2)	250 FT	107'-6"	
SEGMENT B (R2)	250 FT	73'-9"	
SEGMENT C (R2)	250 FT	148'-6"	
SEGMENT D (R2)	250 FT	153'-5"	
SEGMENT E (R2)	250 FT	138'-2"	
MAXIMUM COMMON PATH OF TRA	VEL DISTANCE	TABLE 1006.2.1	
SEGMENT A (R2)	125 FT	30'-8"	
SEGMENT B (R2)	125 FT	21'-10"	
SEGMENT C (R2)	125 FT	42'-9"	
SEGMENT D (R2)	125 FT	32'-7"	
SEGMENT E (R2)	125 FT	31'-9"	
MAXIMUM DEAD END CORRIDOR	LENGTH	SECTION 1020.4	
GROUP R2	20 FT		
PANIC HARDWARE			
REQUIRED ON ALL EXI	FACCESS DOORS S	SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS	3

 \triangle REVISIONS

JOB NO. 705921 DRAWN BY TSC/SIW DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 EGRESS &
OCCUPANCY PLANS
SHEET NO.

A0.21

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review



LEE'S SUMMIT, MO

WARD RD.

810 NW

TRAVEL DISTANCE - 92'-5" — COMMON PATH OF TRAVEL - 31'-7" — COMMON PATH OF TRAVEL - 35'-4" TRAVEL DISTANCE - 113'-11" COMMON PATH OF TRAVEL - 36'-7" TRAVEL DISTANCE - 94'-2" TRAVEL DISTANCE - 155'-7" ______________________________EXIT COMMON PATH OF TRAVEL - 32'-0" COMMON PATH OF TRAVEL - 51'-0" —

CODE REFERENCE PLAN - 3RD FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

COMMON PATH OF TRAVEL - 32'-0"

		· • • • • • • • • • • • • • • • • • • •	
SEGMENT A - LEVE	L 4		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STOR/MECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STOR/MECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVE	L 4		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,303 SF	200 GROSS	57
TOTAL OCCUPANT LOAD			57

CODE REFERENCE PLAN - 4TH FLOOR

ECDESS DECILIDEMENTS

COMMON PATH OF TRAVEL - 51'-0" —

TRAVEL DISTANCE - 91'-8" —

— COMMON PATH OF TRAVEL - 35'-4"

TRAVEL DISTANCE - 113'-11"

— TRAVEL DISTANCE - 155'-7"

	EQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTHE	R)	SECTION 1005, 1011, 1024
SEGMENT A	44"/44"	44"/80"
SEGMENT B	44"/44"	44"/80"
SEGMENT C	44"/44"	44"/80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DIST	ANCE	TABLE 1017.2
SEGMENT A (R2)	250 FT	101'- 10"
SEGMENT B (R2)	250 FT	68'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)	250 FT	113'-11"
SEGMENT E (R2)	250 FT	92'-5"
MAXIMUM COMMON PATH OF TRAVEI	DISTANCE	TABLE 1006.2.1
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	51'-0"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4
SEGMENT E (R2)	125 FT	31'-7
MAXIMUM DEAD END CORRIDOR LEN	GTH	SECTION 1020.4
GROUP R2	20 FT	

TRAVEL DISTANCE - 92'-5"

COMMON PATH OF TRAVEL - 31'-7"

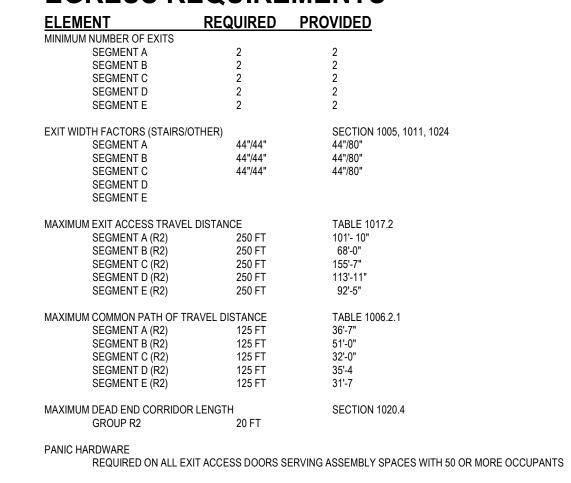
TRAVEL DISTANCE - 101'-10" -

COMMON PATH OF TRAVEL - 36'-7" -

OCCUPANT LOAD BUILDING CALCULATIONS

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>EL 3</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STOR/MECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAI
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	10,925 SF 85 SF	200 GROSS 300 GROSS	55 1 56
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE	10,925 SF 85 SF	200 GROSS 300 GROSS	55 1 56
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE	10,925 SF 85 SF EL 3 GROSS FLOOR AREA	200 GROSS 300 GROSS LOAD FACTOR	55 1 56 OCCUPANT LOAI
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS	55 1 56
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH	10,925 SF 85 SF EL 3 GROSS FLOOR AREA	200 GROSS 300 GROSS LOAD FACTOR	55 1 56 OCCUPANT LOAI 60 1
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS	55 1 56 OCCUPANT LOAI
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT E - LEVE	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF 127 SF	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS 300 GROSS	55 1 56 0CCUPANT LOAI 60 1 61
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT E - LEVE OCCUPANCY TYPE	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF 127 SF EL 3 GROSS FLOOR AREA	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS 300 GROSS	55 1 56 OCCUPANT LOAI 60 1 61
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT E - LEVE OCCUPANCY TYPE RESIDENTIAL	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF 127 SF	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS 300 GROSS LOAD FACTOR 200 GROSS	55 1 56 0CCUPANT LOA 60 1 61
RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT D - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD SEGMENT E - LEVE OCCUPANCY TYPE	10,925 SF 85 SF EL 3 GROSS FLOOR AREA 12,983 SF 127 SF EL 3 GROSS FLOOR AREA	200 GROSS 300 GROSS LOAD FACTOR 200 GROSS 300 GROSS	55 1 56 OCCUPANT LOAI 60 1 61

EGRESS REQUIREMENTS



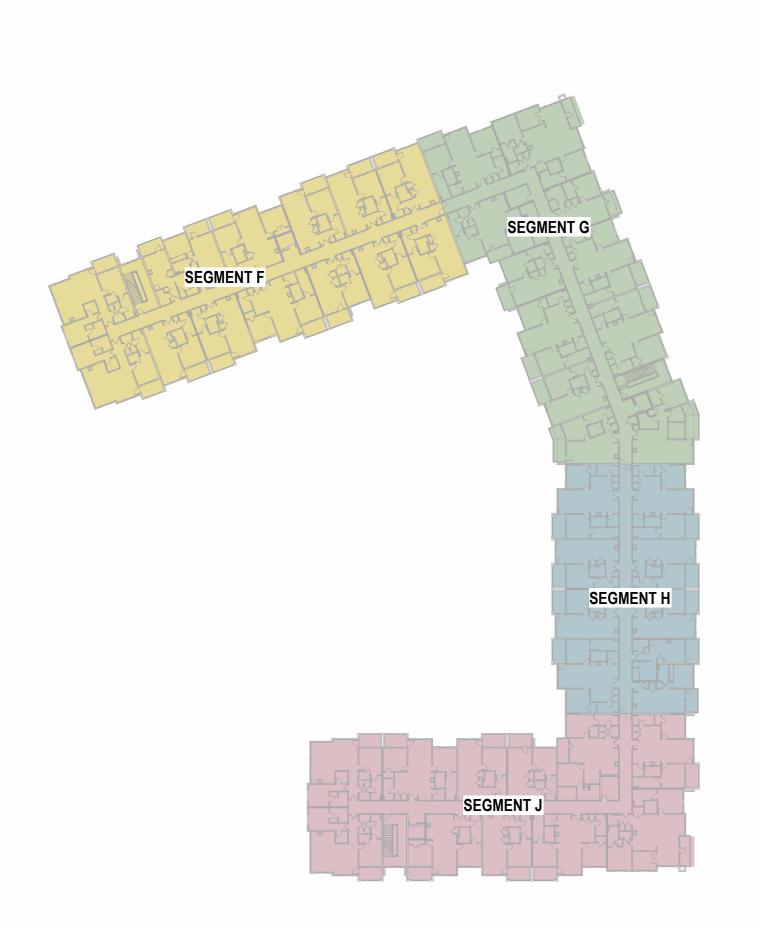
TRAVEL DISTANCE - 101'-10" -

 \triangle REVISIONS

JOB NO. **705921** 03.15.2023 DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 EGRESS &
OCCUPANCY PLANS
SHEET NO.

A022





3 CODE REFERENCE PLAN - 2ND FLOOR

SEGMENT F INFORMATION

YES - CLASS 1

SEGMENT G INFORMATION

ACTUAL BUILDING HEIGHT:

ACTUAL NUMBER OF STORIES:

ALLOWABLE AREA PER FLOOR

 $A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .33)]$

FRONTAGE INCREASE

 $I_f = [F/P - .25]W/30$

ALLOWABLE STORIES

ALLOWABLE AREA

A_a = 15,960 SF

BASEMENT + 4-STORY MULTI-FAMILY	/ RESIDENTIAL	
DATA:		
CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES CLASS 4	SECTION 420.6
STANDPIPE SMOKE CONTROL SYSTEM	YES - CLASS 1 NO	SECTION 905.3
EMERGENCY/STANDBY POWER	NO	

60'-0" 44'-3"

63,840 SF 15,960 SF

TABLE 504.4

SECTION 506.2

SECTION 506.2

SECTION 506.2.4

SECTION 506.3

ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_t)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 \text{ SF}$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [276/55625]30/30 I _f = .25		SECTION 506.3

CHAPTER 3

SECTION 905.3

SECTION 420.6 3

I_f = [276/556 -.25]30/30 I_f = .25 ACTUAL AREA: SEGMENT F 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR 14,943 SF 14,985 SF 59,470 SF TOTAL

DESCRIPTION:

CONSTRUCTION TYPE

FIRE ALARM

STANDPIPE

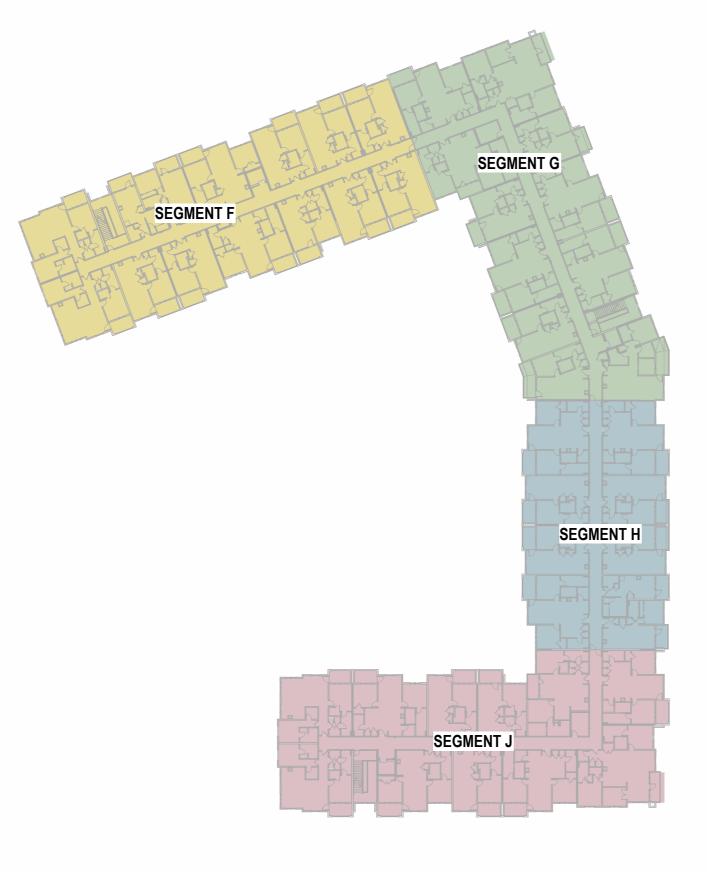
OCCUPANCY CLASSIFICATION

SMOKE CONTROL SYSTEM

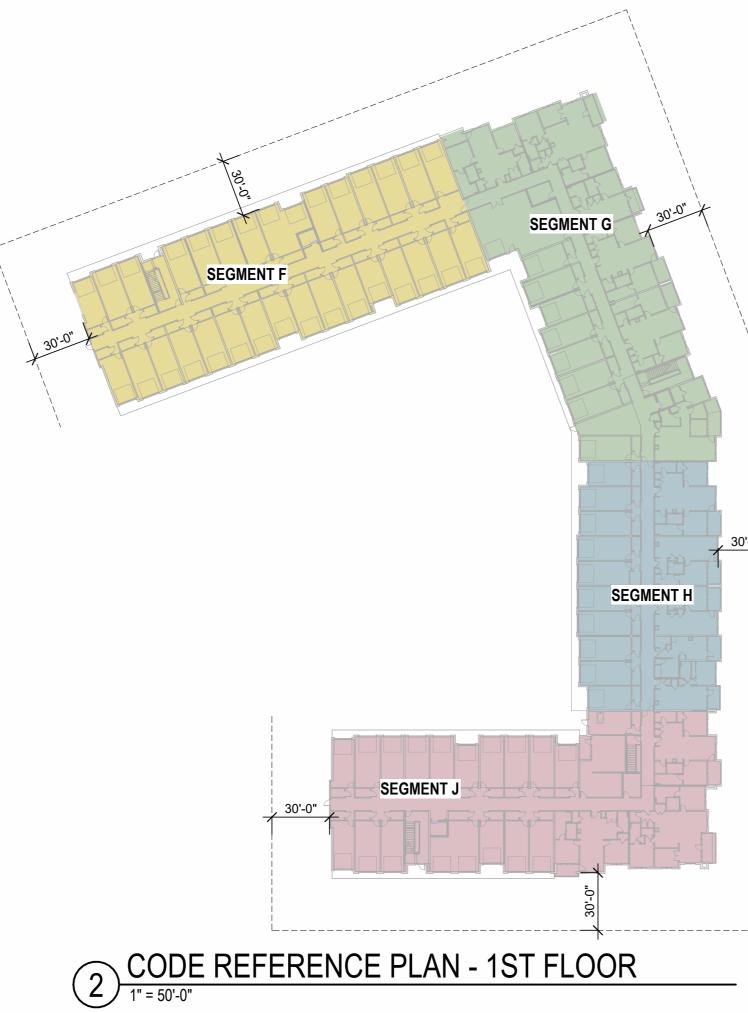
EMERGENCY/STANDBY POWER

4-STORY MULTI-FAMILY RESIDENTIAL

I_f = [282/485 -.25]30/30 I_f = .33 ACTUAL AREA:
SEGMENT G
BASEMENT 1ST FLOOR 2ND FLOOR 3RD FLOOR 14,411 SF 14,425 SF 4TH FLOOR 14,425 SF TOTAL 59,526 SF



CODE REFERENCE PLAN - 3RD FLOOR



SEGMENT H INFORMATION

DESCRIPTION:				
BASEMENT + 4-STORY MULTI-FAMILY R	RESIDENTIAL			
DATA:				
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3		
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3		
HEIGHT AND NUMBER OF STORIES				
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3		
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 BSMNT + 4	TABLE 504.4		

48,000 SF

12,000 SF

SECTION 506.2

SECTION 506.2

$A_a = [A_t + (NS \times I_t)]$ $A_a = [12,000 + (12,000 \times 0)]$ $A_a = 12,000 SF$		SECTION 506.2.4
FRONTAGE INCREASE - NO	ONE REQUIRED	SECTION 506.3
ACTUAL AREA: SEGMENT H BASEMENT 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	5,201 SF] 9,318 SF] 9,381 SF] 9,395 SF] 9,395 SF] 42,690 SF	

ALLOWABLE AREA ALLOWABLE AREA PER FLOOR

CODE REFERENCE

BUILDING CODE:

JURISDICTION: LEE'S SUMMIT, MISSOURI

ADOPTED NATIONAL AND INTERNATIONAL CODES: 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC)

2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2017 NATIONAL ELECTRICAL CODE (NEC) 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINDED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES: SECTION 1107.6.2.2.2 REQUIRED: 2% OF TOTAL PER SECTION 1107.6.2.2.1 TYPE B PER SECTION 1107.6.2.2.2

USE APPROACHES AS DEFINDED THE IBC.

THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES.

LIFE SAFETY SYSTEMS

ACTIVE SYSTEMS

PROVIDED:

TYPE A TYPE B

SEGMENT

SEGMENT H

SEGMENT.

CODE REFERENCE PLAN - BASEMENT

1" = 50'-0"

SEGMENT J INFORMATION

CHAPTER 3

SECTION 905.3

TABLE 504.4

SECTION 506.2

SECTION 506.2

SECTION 506.2.4

SECTION 506.3

SECTION 420.6 3

YES - 13R SYSTEM SECTION 903.3.1.2

YES - CLASS 1

61,920 SF

15,480 SF

14,604 SF 14,755 SF 14,778 SF 14,800 SF

60,684 SF

DESCRIPTION:

CONSTRUCTION TYPE

FIRE ALARM

STANDPIPE

OCCUPANCY CLASSIFICATION

SMOKE CONTROL SYSTEM

ACTUAL BUILDING HEIGHT:

ACTUAL NUMBER OF STORIES:

ALLOWABLE AREA PER FLOOR

 $A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .29)]$

FRONTAGE INCREASE

I_f = [344/633 -.25]30/30 I_f = .29

SEGMENT J

BASMENT

1ST FLOOR

2ND FLOOR 3RD FLOOR 4TH FLOOR

TOTAL

ALLOWABLE STORIES

ALLOWABLE AREA

A_a = 15,480 SF

 $I_f = [F/P - .25]W/30$

ACTUAL AREA:

AREA

EMERGENCY/STANDBY POWER

BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL

HEIGHT AND NUMBER OF STORIES

SPRINKLER SYSTEMS CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, #2 - EXCEPTION)

FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3 FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2

EXIT SIGNS ILLUMINATED WITH 90 MIN BATTERY BACKUP

SMOKE DETECTION IN R2 SECTION 420.6

PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE

CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION

STRUCTURAL FRAME: 1.0-HOUR BEARING WALLS-EXTERIOR: 1.0-HOUR 1.0-HOUR BEARING WALLS-INTERIOR: 0.0-HOUR NON-BEARING WALLS-INTERIOR: 1.0-HOUR 1.0-HOUR FLOOR CONSTRUCTION: ROOF CONSTRUCTION: UNIT DEMISING WALLS(FIRE PARTITION): CORRIDOR WALLS(FIRE PARTITION): GARAGE SEPARATION (FIRE BARRIER) EXIT PASSAGEWAYS: STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE): ELEVATOR SHAFT WALLS-EXTERIOR(FIRE BARRIER): ELEVATOR SHAFT WALLS-INTERIOR(FIRE BARRIER): SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE): FIRE WALLS:

1.0-HOUR -----0.5-HOUR -----1.0-HOUR -----2.0-HOUR ----2.0-HOUR 1.0-HOUR —---2.0-HOUR ----2.0-HOUR 2.0 HOUR

SOUND RATINGS SOUND TRANSMISSION CLASS RATING (STC):

FIRE DEPARTMENT GENERAL NOTES

50 STC SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION

IMPACT INSULATION CLASS RATING (IIC):

1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F, RESPECTIVELY. 2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING: "FIRE ALARM/SPRINKLER RISER" 3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIST STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE

LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE ITNERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL. 4. IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE

FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2

DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4

SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006

1. PROVIDE CO MONITOR IN EACH GARAGE STALL

2. EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION

PASSIVE SYSTEMS

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WEL AS COMMON AREAS ON THE FLOOR ABOVE

NOT FOR: CONSTRUCTION

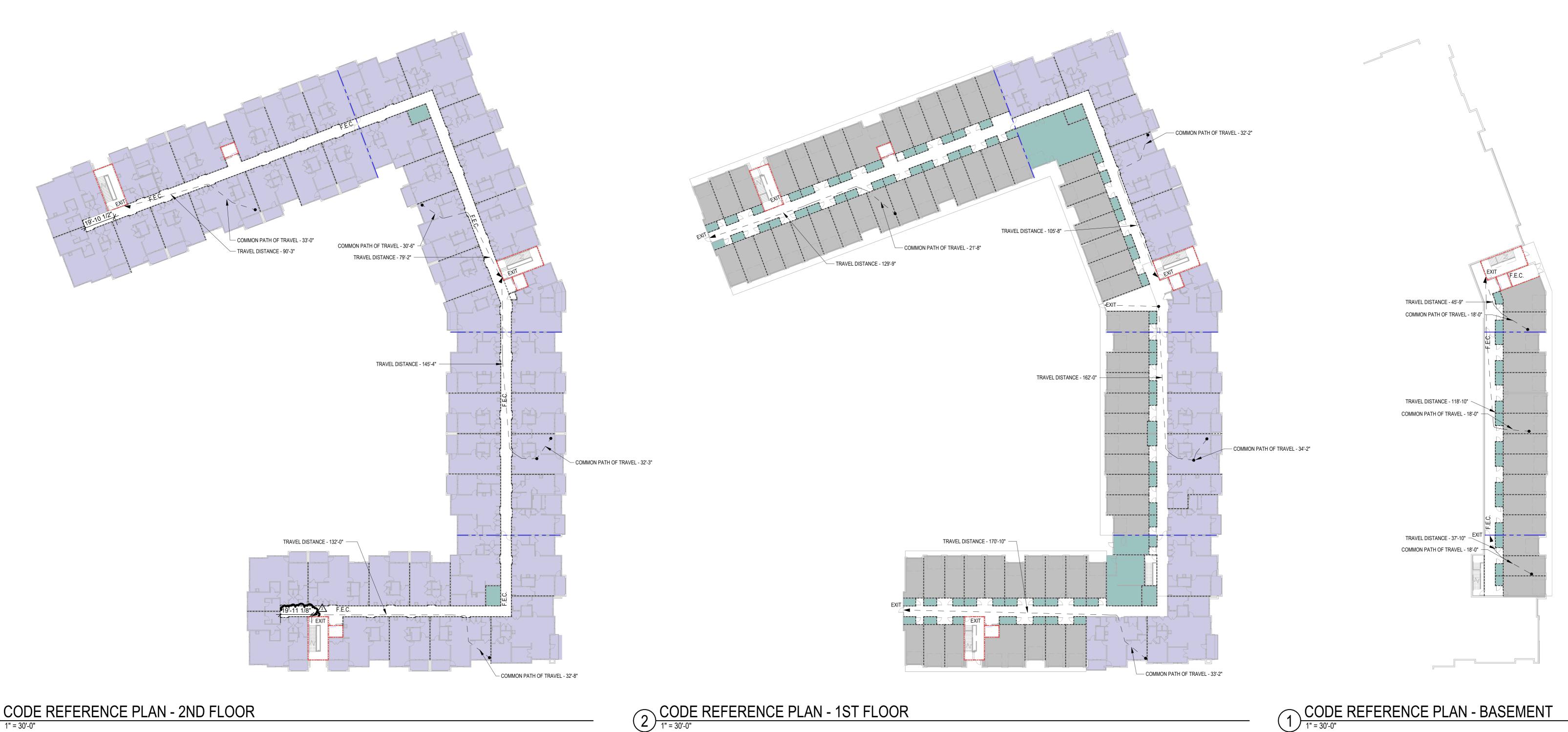
CONSTRUCTION As Noted on Plans Review

.831 .831 .RIGH.

LEE'S

△ REVISIONS 3 23 0511 ADDENDUM 2

705921 03.15.2023 **DRAWN BY** TSC/SIW 5/11/2023 ADDENDUM #2 SHEET NAME **BUILDING 2 CODE** ANALYSIS & PLANS



3 CODE REFERENCE PLAN - 2ND FLOOR

CODE REFERENCE PLAN - 1ST FLOOR

EGRESS REQUIREMENTS	

<u>ELEMENT</u>	REQUIRED	<u>PROVIDED</u>
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/OT	HER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL D	DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	129'- 9"
SEGMENT G (R2)	250 FT	105'-8"
SEGMENT H (R2)	250 FT	162'-0"
SEGMENT J (R2)	250 FT	170'-10"
MAXIMUM COMMON PATH OF TRA	VEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	21'-8"
SEGMENT G (R2)	125 FT	32'-2"
SEGMENT H (R2)	125 FT	34'-2"
SEGMENT J (R2)	125 FT	33'-2"
MAXIMUM DEAD END CORRIDOR L	ENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		

REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS SEGMENT G - LEVEL 1 OCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD

 LOAD FACTOR
 OCCUPANT LOAD

 200 GROSS
 4

 300 GROSS
 1

SEGMENT H - LEVEL 1 OCCUPANCY TYPE PARKING GARAGES ACCESSORY STORMECH TOTAL OCCUPANT LOAD	ROSS FLOOR AREA 3,551 SF 400 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 18 1 19
SEGMENT J - LEVEL 1 OCCUPANCY TYPE GI PARKING GARAGE ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	ROSS FLOOR AREA 1,029 SF 112 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 5 1 6
EGRESS RE	•		
<u>ELEMENT</u>	REQUIRED P	PROVIDED	
MINIMUM NUMBER OF EXITS			
SEGMENT G	2	2	
SEGMENT H	2	2	
SEGMENT J	2	2	
EXIT WIDTH FACTORS (STAIRS/OT	HFR)	SECTION 1005, 101	11 1024
SEGMENT G	44"/44"	44"/80"	,
SEGMENT H	44"/44"	44"/80"	
SEGMENT J	44"/44"	44"/80"	
MAXIMUM EXIT ACCESS TRAVEL D	DISTANCE	TABLE 1017.2	
SEGMENT G (R2)	250 FT	45'-9"	
SEGMENT H (R2)	250 FT	118'-10"	
SEGMENT J (R2)	250 FT	37'-10"	
MAXIMUM COMMON PATH OF TRA	VEL DISTANCE	TABLE 1006.2.1	
SEGMENT G (R2)	125 FT	18'-0"	
SEGMENT H (R2)	125 FT	18'-0"	
SEGMENT J (R2)	125 FT	18'-0"	
MAXIMUM DEAD END CORRIDOR L	FNGTH	SECTION 1020.4	
GROUP R2	20 FT	02011011102011	
PANIC HARDWARE			

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 13,137 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 66 66
SEGMENT G - LEVEL OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 2 GROSS FLOOR AREA 12,360 SF _127 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 621 63
SEGMENT H - LEVELOCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	L 2 GROSS FLOOR AREA 8,492 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 43 43
SEGMENT J - LEVEL OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	<u>2</u> <u>GROSS FLOOR AREA</u> 12,826 SF <u>127 SF</u>	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 64 1 65

EGRESS REQUIREMENTS

<u>ELEMENT</u>	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2 2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/	OTHER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVE	L DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	90'- 3"
SEGMENT G (R2)	250 FT	79'-2"
SEGMENT H (R2)	250 FT	145'-4"
SEGMENT J (R2)	250 FT	132'-0"
MAXIMUM COMMON PATH OF T	RAVEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	33'-0"
SEGMENT G (R2)	125 FT	36'-0"
SEGMENT H (R2)	125 FT	33'-0"
SEGMENT J (R2)	125 FT	32'-8"
MAXIMUM DEAD END CORRIDO	R LENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL EX	XIT ACCESS DOORS S	SERVING ASSEMBLY SPACES WITH 50 OR MORE OCC

OCCUPANT LOAD BUILDING CALCULATIONS

			<i>-</i> 0/ (- 0
SEGMENT F - LEVE	L1		
OCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 10,789 SF 1,180 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 54 _4 58
SEGMENT G - LEVE	<u>L 1</u>		
OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 7,324 SF 2,759 SF 1,712 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 37 14 6 57
SEGMENT H - LEVE	EL 1		
OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 4,295 SF 3,478 SF 415 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 22 17 1 40
SEGMENT J - LEVE OCCUPANCY TYPE RESIDENTIAL PARKING GARAGE ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 1 GROSS FLOOR AREA 4,069 SF 6,078 SF 1,925 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 20 30 7 57

SECIVILIAL - FEAT	<u>-L l</u>		
OCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH	GROSS FLOOR AREA 10,789 SF 1,180 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 54 <u>4</u> 58
TOTAL OCCUPANT LOAD	-1 4		58
<u> SEGMENT G - LEVI</u>	<u>=L 1</u>		
OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 7,324 SF 2,759 SF 1,712 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 37 14 <u>6</u> 57
SEGMENT H - LEVE	<u>EL 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	4,295 SF	200 GROSS	22
PARKING GARAGES	3,478 SF	200 GROSS	17
ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	415 SF	300 GROSS	1 40
SEGMENT J - LEVE	L 1		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	4,069 SF	200 GROSS	20
PARKING GARAGE	6,078 SF	200 GROSS	30
ACCESSORY STOR/MECH	1,925 SF	300 GROSS	<u>7</u>
TOTAL OCCUPANTIOAD			57

ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	1,180 SF	300 GROSS	54 <u>4</u> 58
SEGMENT G - LEVE OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	E 1 GROSS FLOOR AREA 7,324 SF 2,759 SF 1,712 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 37 14 _6 57
SEGMENT H - LEVE OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 4,295 SF 3,478 SF 415 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 22 17 1 40
SEGMENT J - LEVEL OCCUPANCY TYPE RESIDENTIAL PARKING GARAGE ACCESSORY STOR/MECH	GROSS FLOOR AREA 4,069 SF 6,078 SF 1,925 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 20 30 7

COMMON PATH OF TRAVEL - 32'-3"

COMMON PATH OF TRAVEL - 32'-8"

3 23 0511 ADDENDUM 2



2 CODE REFERENCE PLAN - 4TH FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	13,220 SF	200 GROSS	<u>66</u>
TOTAL OCCUPANT LOAD			66
<u>SEGMENT G - LEVE</u>	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,375 SF	200 GROSS	62
ACCESSORY STOR/MECH	<u> 146 SF</u>	300 GROSS	<u>1</u> 63
TOTAL OCCUPANT LOAD			63
SEGMENT H - LEVE	<u>:L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,559 SF	200 GROSS	43
TOTAL OCCUPANT LOAD			43
SEGMENT J - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,871 SF	200 GROSS	64
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			65

EGRESS REQUIREMENTS

EGRESS REQUIREMENTS			
<u>ELEMENT</u>	REQUIRED	PROVIDED	
MINIMUM NUMBER OF EXITS			
SEGMENT F	2	2	
SEGMENT G	2	2	
SEGMENT H	2	2	
SEGMENT J	2	2	
EXIT WIDTH FACTORS (STAIRS/O	ΓHER)	SECTION 1005, 1011, 1024	
SEGMENT F	44"/44"	44"/80"	
SEGMENT G	44"/44"	44"/80"	
SEGMENT H	44"/44"	44"/80"	
SEGMENT J	44"/44"	44"/80"	
MAXIMUM EXIT ACCESS TRAVEL	DISTANCE	TABLE 1017.2	
SEGMENT F (R2)	250 FT	90'- 3"	
SEGMENT G (R2)	250 FT	79'-2"	
SEGMENT H (R2)	250 FT	145'-4"	
SEGMENT J (R2)	250 FT	132'-0"	
MAXIMUM COMMON PATH OF TRA	AVEL DISTANCE	TABLE 1006.2.1	
SEGMENT F (R2)	125 FT	33'-0"	
SEGMENT G (R2)	125 FT	36'-0"	
SEGMENT H (R2)	125 FT	33'-0"	
SEGMENT J (R2)	125 FT	32'-8"	
MAXIMUM DEAD END CORRIDOR	LENGTH	SECTION 1020.4	
GROUP R2	20 FT		
PANIC HARDWARE REQUIRED ON ALL EXI	T ACCESS DOORS SI	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS	

CODE REFERENCE PLAN - 3RD FLOOR 1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

COMMON PATH OF TRAVEL - 33'-0"

TRAVEL DISTANCE - 132'-0"

TRAVEL DISTANCE - 90'-3"

COMMON PATH OF TRAVEL - 30'-6" -

TRAVEL DISTANCE - 79'-2" —

TRAVEL DISTANCE - 145'-4"

SEGMENT F - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 3 GROSS FLOOR AREA 13,153 SF _20 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 66 _1 67
SEGMENT G - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 12,375 SF 146 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 621 63
SEGMENT H - LEVE OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	L 3 GROSS FLOOR AREA 8,505 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 43 43
SEGMENT J - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 3 GROSS FLOOR AREA 12,849 SF 127 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 64 1 65

<u>ELEMENT</u>	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS	/OTHER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVE	EL DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	90'- 3"
SEGMENT G (R2)	250 FT	79'-2"
SEGMENT H (R2)	250 FT	145'-4"
SEGMENT J (R2)	250 FT	132'-0"
MAXIMUM COMMON PATH OF T	RAVEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	33'-0"
SEGMENT G (R2)	125 FT	36'-0"
SEGMENT H (R2)	125 FT	33'-0"
SEGMENT J (R2)	125 FT	32'-8"
MAXIMUM DEAD END CORRIDO	R LENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL E	XIT ACCESS DOORS S	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

EGRESS REQUIREMENTS

P. 913.831.775083 F. 913.831.775083 NSPJARCH. (2012) 831.275093

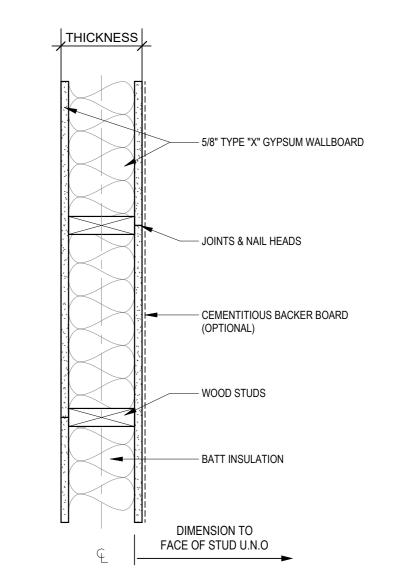


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ARD RD.

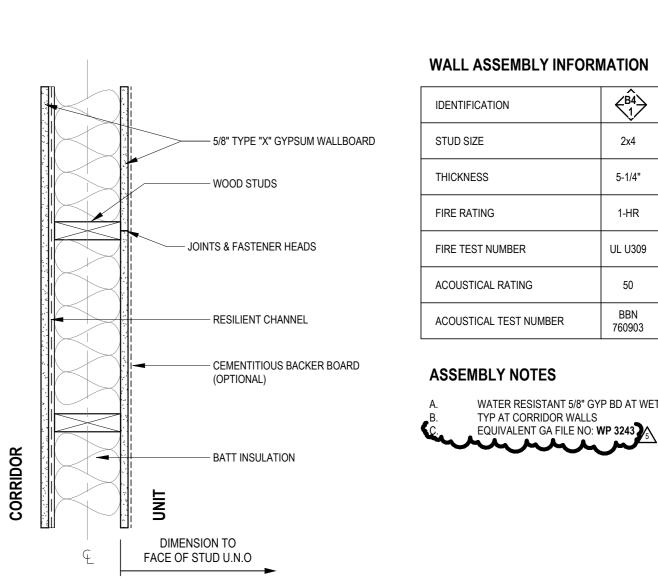
THICKNESS WALL ASSEMBLY INFORMATION IDENTIFICATION STUD SIZE >----- 5/8" TYPE GYPSUM WALLBOARD 4-3/4" 6-3/4" THICKNESS FIRE RATING 0-HR 0-HR - JOINTS & NAIL HEADS N/A N/A FIRE TEST NUMBER ACOUSTICAL RATING N/A N/A ---- CEMENTITIOUS BACKER BOARD ACOUSTICAL TEST NUMBER N/A N/A (OPTIONAL) **ASSEMBLY NOTES** ----- WOOD STUDS SUBSTITUTE 5/8" TYPE "X" GYP BD AT CONTRACTOR'S OPTION WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS DIMENSION TO FACE OF STUD U.N.O

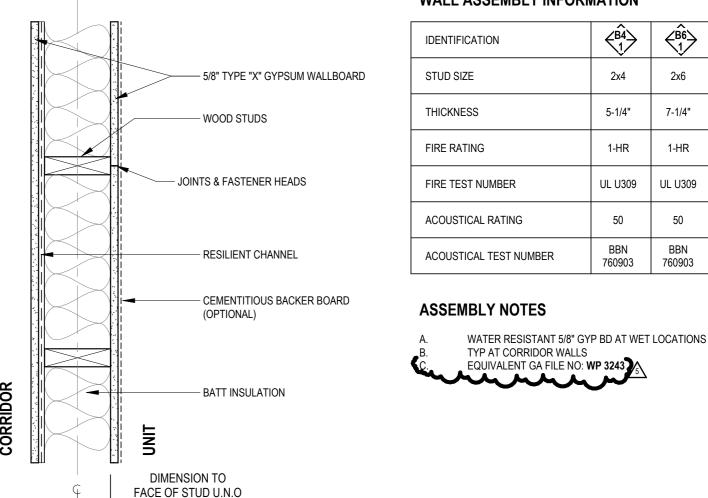
D INTERIOR WOOD STUD WALL
1 1/2" = 1'-0"



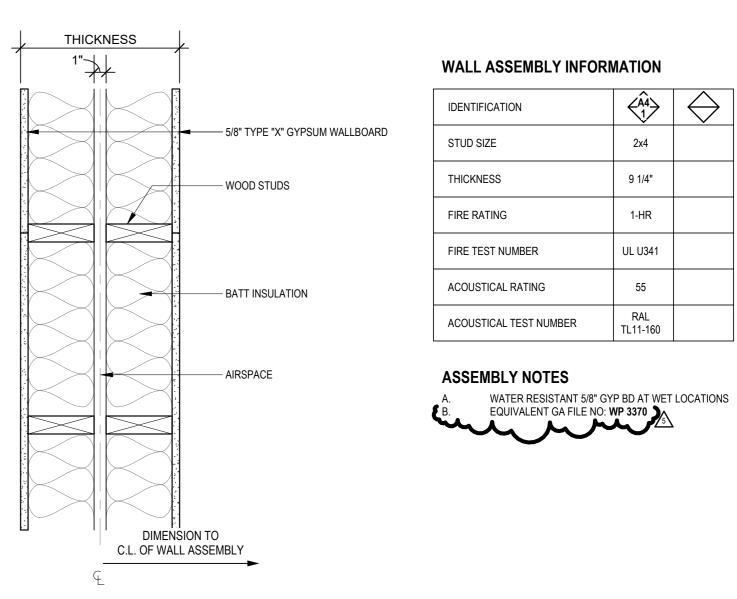
DENTIFICATION	17
STUD SIZE	2x4
THICKNESS	4-3/4"
FIRE RATING	1-HR
FIRE TEST NUMBER	UL U305
ACOUSTICAL RATING	STC 56
ACOUSTICAL TEST NUMBER	N/A

1-HOUR INTERIOR WOOD STUD WALL
1 1/2" = 1'-0"

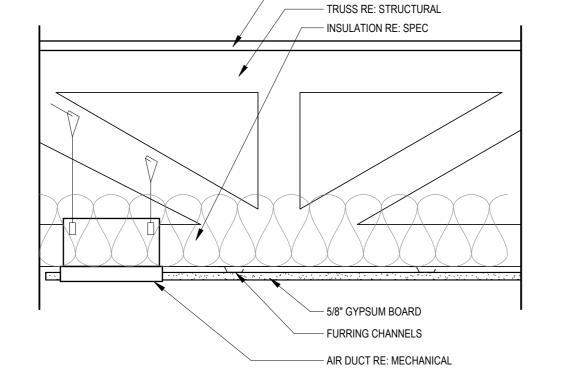




B 1-HR INTERIOR WOOD STUD WALL W/ RES CHANNELS



1-HR INTERIOR WOOD STUD DEMISING WALL



ROOFING SYSTEM

ROOF / CLG ASSEMBLY
1 1/2" = 1'-0"

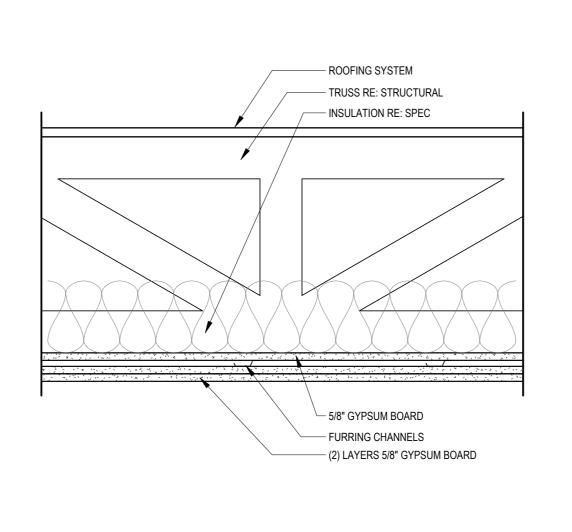
ROOF / CLG ASSEMBLY
1 1/2" = 1'-0"

FLOOR / CLG ASSEMBLY
1 1/2" = 1'-0"

55 TO 59 STC

FILL CAVITY WITH BLOWN-IN

INSULATION AT <u>SEGMENT B ONLY</u> -



FLOORING SYSTEM CONSISTING OF 3" LIGHTWEIGHT CONC. TOPPING OVER

DRAINAGE MAT OVER WATERPROFING

- OVER STRUCT PANEL AS RE: "S" DWGS.

OR CLASS "A" ROOFING ASSEMBLY RE: DETAILS IN LEIU OF FLOORING SYSTEMS 1

SLOPE (AT EXT. BALCONIES TYP.)

- CROSS BRACING RE: STRUCTURAL

— WOOD JOIST RE: STRUCTURAL NOT

--- LOOSE FILL MATERIAL

- FURRING CHANNELS

- FLOORING SYSTEM

- WOOD TRUSS @ 24 O.C.

FURRING CHANNELS

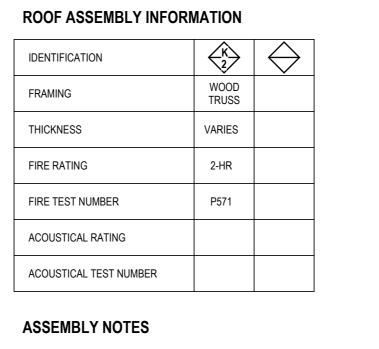
- 5/8" GYPSUM BOARD

---- 5/8" GYPSUM BOARD

— FLOORING SYSTEM

LESS THAN 2x10

- NOMINAL 2" TAPERED SLEEPERS FOR DRAINAGE



ROOF ASSEMBLY INFORMATION

WOOD

TRUSS

VARIES

1-HR

P556

IDENTIFICATION

FRAMING

THICKNESS

FIRE RATING

FLOOR ASSEMBLY INFORMATION

2x10

VARIES

1-HR

L569

N/A

FLOOR ASSEMBLY INFORMATION

WOOD WOOD

TRUSS TRUSS

1'-7 7/8" 2'-1 7/8"

1-HR 1-HR

L528 L528

N/A N/A

WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS

B. EQUIVALENT GA FILE NO: FC 5515

IDENTIFICATION

FRAMING

THICKNESS

FIRE RATING

FIRE TEST NUMBER

ACOUSTICAL RATING

ASSEMBLY NOTES

IDENTIFICATION

THICKNESS

FIRE RATING

FIRE TEST NUMBER

ACOUSTICAL RATING

ACOUSTICAL TEST NUMBER

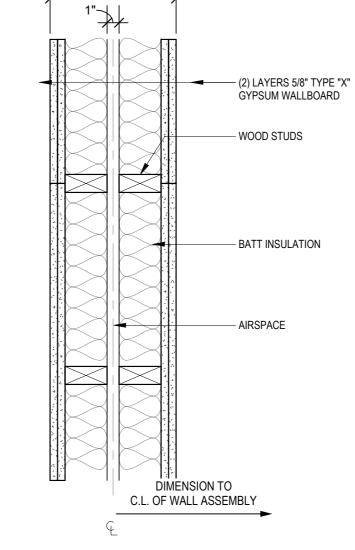
ASSEMBLY NOTES

FIRE TEST NUMBER

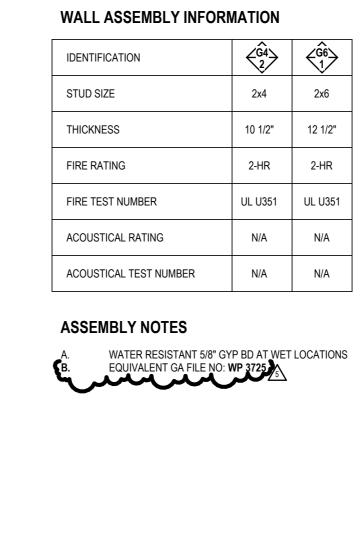
ACOUSTICAL RATING

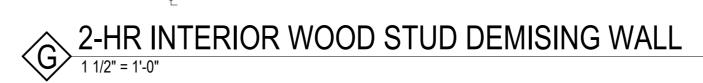
ACOUSTICAL TEST NUMBER

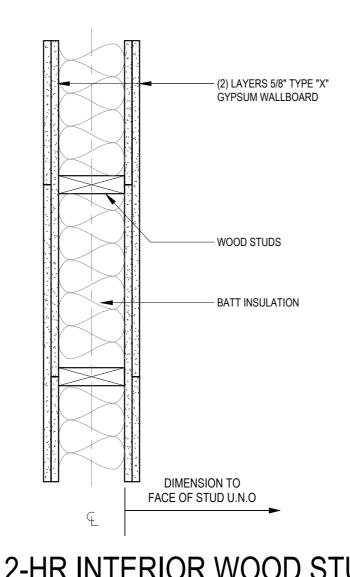
A. EQUIVALENT GA FILE NO: RC 2602 OR RC 2603

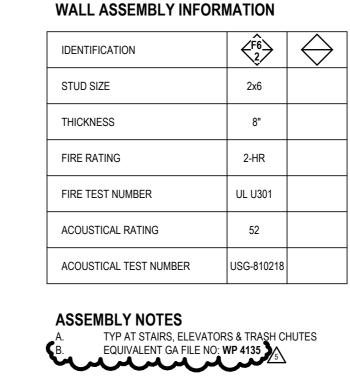


THICKNESS





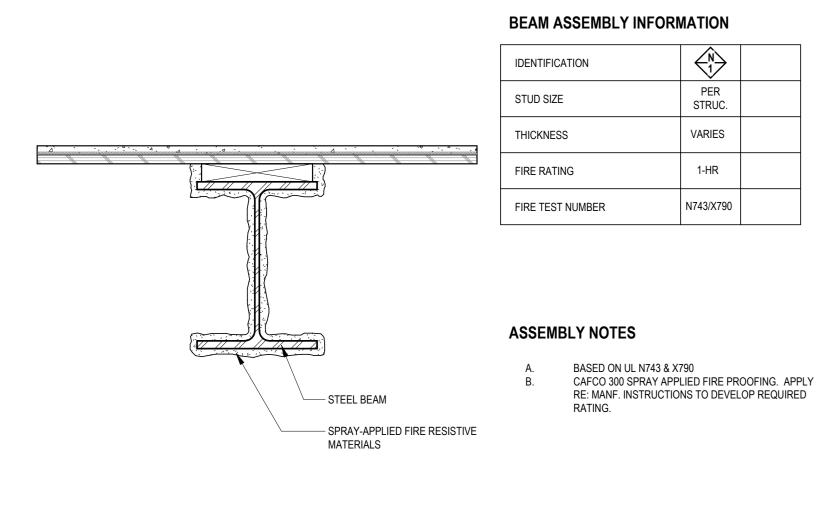


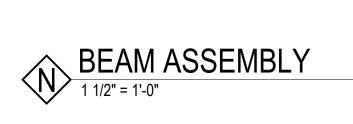


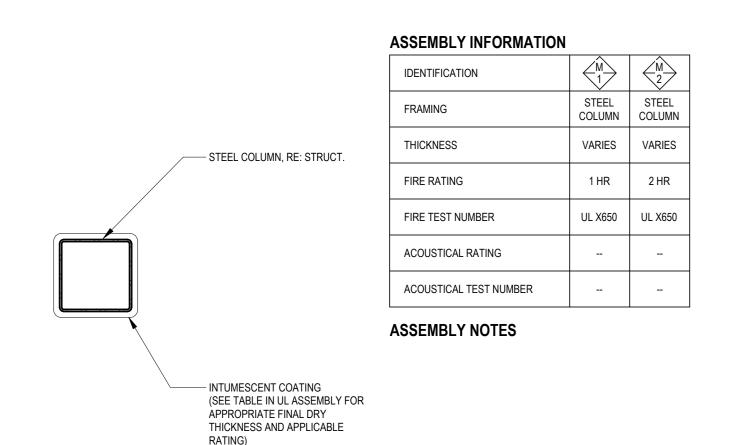
ASSEMBLY NOTES
A. TYP AT STAIRS, ELEVATORS & TRASH CHUT B. EQUIVALENT GA FILE NO: WP 4135

2-HR INTERIOR WOOD STUD WAL
1 1/2" = 1'-0"

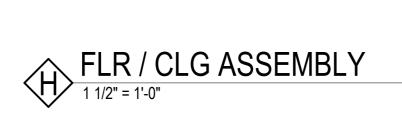
		WALL ASSEMBLY INFO		
		IDENTIFICATION	₹ <u>£6</u>	>
	370 THE X OH COM WALLBOARD	STUD SIZE	2x6	
	WOOD STUDS	THICKNESS	6-7/8"	
		FIRE RATING	1-HR	
	WOOD STRUCTURAL PANEL SHEATHING	FIRE TEST NUMBER	UL U356	
	BATT INSULATION	ACOUSTICAL RATING	N/A	
		ACOUSTICAL TEST NUMBER	N/A	
DE)	CEMENTITIOUS BACKER BOARD UNITS (OPTIONAL)	ASSEMBLY NOTES		
INTERIOR (FIRE SIDE)	EXTERIOR FACING	A. WATER RESISTANT 5/8"	GYP BD AT WET LOCATION	ONS
IOR (F				
INTERIOR EXTERIOR				
LI NUI;	DIMENSION TO E OF SHEATHING U.N.O			
	-			

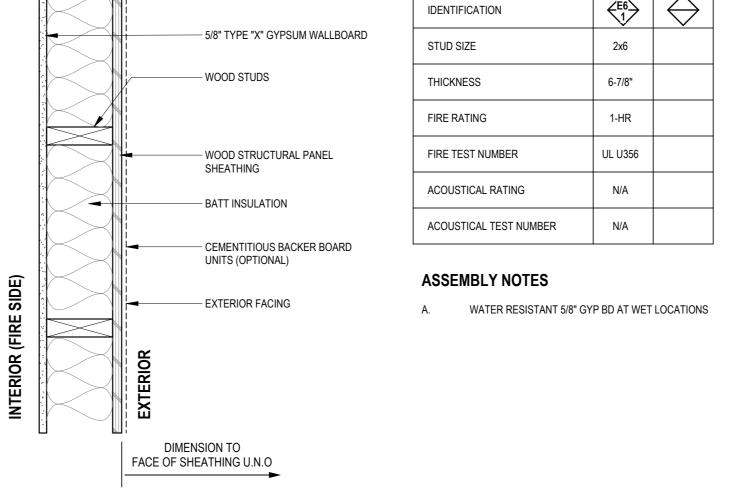












1-HR EXTERIOR WOOD STUD WALL
1 1/2" = 1'-0"

03.15.2023

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

 \triangle REVISIONS

5 23 0609 ASI 1

705921

6/9/2023

ASI #1

SHEET NAME

RATED ASSEMBLIES

DRAWN BY TSC/SIW

3 23 0511 ADDENDUM 2

Floor-Ceiling Assembly - The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the

materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance

floor-ceiling assembly are summarized below:

bridging and with ends firestopped.

Floor-Ceiling Design. Max diam of ceiling opening is 2 in.

A. Studs - Nom 2 by 6 in. or double nom 2 by 4 in. lumber studs.

). Gypsum Board* - Thickness, type, number of layers and fast

tightly butted. Max diam of opening is 2 in.

jacket materials.

insulation and jacket materials.

AFC CABLE SYSTEMS INC

jacket under a metal armor. AFC CABLE SYSTEMS INC

without a jacket under a metal armor.

number of through penetrants, as tabulated below:

under a metal armor. AFC CABLE SYSTEMS INC

types of through-penetrating products may be used.

B. Sole Plate - Nom 2 by 6 in. or parallel 2 by 4 in. lumber plates, tightly butted.

floor-ceiling assembly. The following types and sizes of cables may be used:

Directory. The 2 hr fire-rated wood joist floor-ceiling assembly shall be constructed of the materials and in the manner

A. Flooring System - Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as

B. Wood Joists* - For 1 hr fire-rated floor-ceiling assemblies nom 10 in, deep (or deeper) lumber, steel or combination

2 hr fire-rated floor-ceiling assemblies, nom 2 by 10 in. lumber joists spaced 16 in. OC with nom 1 by 3 in. lumber

C. Furring Channels - (Not Shown) - In 2 hr fire-rated assemblies, resilient galv steel furring installed perpendicular to

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1.1 Chase Wall - (Not Shown, Optional) The through penetrants (Item 2) may be routed through a fire-rated single, double or

chase wall shall be constructed of the materials and in the manner specified in the individual U300 Series Wall and

C. Top Plate - The double top plate shall consist of two nom 2 by 6 in. or two sets of parallel 2 by 4 in. lumber plates,

2. Cables - One or more cables to be installed either concentrically or eccentricity within the firestop system. Cable(s) to be

installed approximately midway between wood joist. Diam of openings hole-sawed through flooring system and through

gypsum wallboard ceiling to be min 3/8 in. larger than the outside diam of cable or cable bundle. The annular space within

A. Max 100 pair No. 24 AWG (or smaller) copper conductor telephone cables with polyvinyl chloride (PVC) insulation and

B. Max 3/C (with ground) No. 2/0 (or smaller) AWG aluminum conductor service entrance cable with PVC insulation and

The number of cables allowed within the opening is dependent upon the type and size of cable as tabulated in Item 2A.

C. Max 3/C (with ground) No. 12 AWG (or smaller) copper conductor nonmetallic sheathed (Romex) cable with PVC

2A. Through Penetrating Product* - (Not Shown) - As an alternate to Item 2, through-penetrating product to be installed

either concentrically or eccentricity within the firestop system. One cable to be installed approximately midway between

larger than the outside diam of cable. The annular space within the firestop system shall be a min 0 in. (point contact) to a

max 1-1/4 in. Through-penetrating product to be rigidly supported on both sides of a floor-ceiling assembly. The following

B. Two or more twisted copper conductor No. 6 AWG (or smaller) Power Limited Circuit Cable+ with or without a jacket

C. Two or more twisted copper conductor No. 10 AWG (or smaller) Power Limited Fire Alarm Cable+ with or without a

The F and T Ratings of the firestop system are dependent upon the hourly rating of the floor-ceiling and type and

D. Two or more twisted copper conductor No. 12 AWG (or smaller) Non Power Limited Fire Alarm Cable+ with or

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wood joist. Diam of openings hole-sawed through flooring system and through gypsum board ceiling to be min 3/8 in.

A. Max four copper conductors No. 2/0 AWG (or smaller) aluminum or steel Armored Cable# or Metal-Clad Cable+.

ne firestop system shall be a min 0 in. (point contact) to a max 1-1/4 in. Cables to be rigidly supported on both sides of

Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

staggered wood stud/gypsum board chase wall having a fire rating consistent with that of the floor-ceiling assembly. The

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lumber and steel joists, trusses or Structural Wood Members* with bridging as required and with ends firestopped. For

wood joists between first and second layers of gypsum board (Item 1D). Furring channels spaced max 24 in. OC. In 1

specified in the individual Floor-Ceiling Design. Max diam of floor opening is 2 in.

specified in Design Nos. L505, L511 or L536 in the UL Fire Resistance Directory. The general construction features of the

Inderwiters Laboratories, Inc.

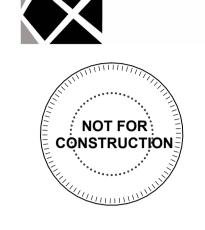
to ASTM/UL1479 (ASTM E814)



CONSTRUCTION As Noted on Plans Review

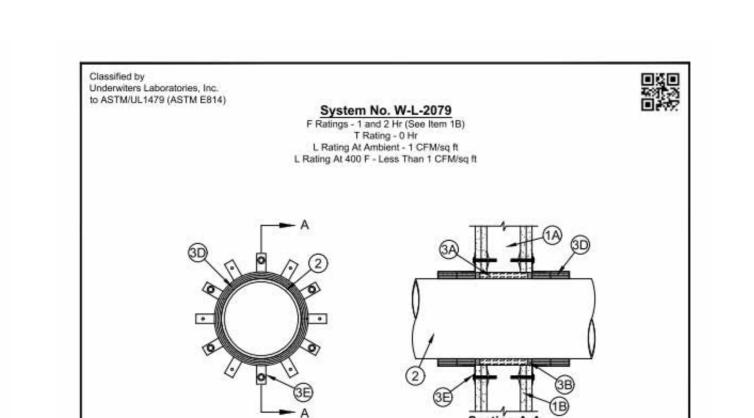
 $\infty \infty \mathcal{S}$

hr fire-rated assemblies, resilient galv steel furring installed perpendicular to wood joists between gypsum board and wood joists as specified in the individual Floor-Ceiling Design. Furring channels spaced max 24 in: OC. In 1 hr fire-rated assemblies, resilient galv steel furring installed perpendicular to wood joists between gypsum board and wood joists as specified in the individual Floor-Ceiling Design. Furring channels spaced max 24 in. OC. D. Gypsum Board* - Nom 4 ft wide by 5/8 in. thick as specified in the individual Floor-Ceiling Design. First layer of gypsum board secured to wood joists or furring channels as specified in the individual Floor-Ceiling Design. Second layer of wallboard (2 hr fire-rated assembly) screw-attached to furring channels as specified in the individual Specified Technologies Inc. 210 Evans Way Somerville, NJ 08876



SUMMIT,

LEE'S



. Wall Assembly - The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the

Fire Resistance Directory and shall include the following construction features:

assembly. The following types and sizes of nonmetallic pipes may be used:

pipe for use in closed (process or supply) piping systems.

closed (process or supply) vented (drain, waste, or vent) piping systems.

materials and in the manner described in the individual U300 or U400 Series Wall or Partition Design in the UL

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2

by 4 in. (51 by 102 mm) lumber spaced 16 in. OC (406 mm) with nom 2 by 4 in. (51 by 102 mm) lumber end

plates and cross braces. Steel studs to be min 2-1/2 in. (64 mm) wide and spaced max 24 in. (610 mm) OC.

wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the

The hourly F rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is

individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 10 in. (254

B. Gypsum Board* - 5/8 in. (16 mm) thick, 4 ft (1219 mm) wide with square or tapered edges. The gypsum

2. Through Penetrant - One nonmetallic pipe to be centered within the firestop system. A normannular space of

A. Polyvinyl Chloride (PVC) Pipe - Nom 8 in. (203 mm) diam (or smaller) Schedule 40 PVC pipe for use in

11/16 in. (18 mm) is required within the firestop system. Pipe to be rigidly supported on both sides of the wall

B. Flame Retardant Polypropylene (FRPP) Pipe - Nom 8 in. (203 mm) diam (or smaller) Schedule 40 FRPP

C. Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 8 in. (203 mm) diam (or smaller) SDR 17 13.5 CPVC

pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.

Underwiters Laboratories, Inc.

to ANSI/UL 1479 (ASTM E814) and CAN/ULC S115 System No. W-L-2029

CAN/ULC S115

F Ratings - 1 and 2 Hr (See Items 1 and 3B)

FT Ratings - 1, 1-1/2 and 2 Hr (See Item 3B)

FH Ratings - 1 and 2 Hr (See Items 1 and 3B)

FTH Ratings- 1, 1-1/2 and 2 Hr (See Item 3B) L Rating At Ambient - Less Than 5.1 L/s/m2 L Rating At 204°C - Less Than 5.1 L/s/m2

Section A-A

System tested with a pressure differential of 2.5 Pa between the exposed and the unexposed surfaces

Wall Assembly - The 1 or 2 hr fire rated gypsum wallboard/stud wall assembly shall be constructed of the

materials and in the manner described in the individual U300, V300, U400, V400 or W400 Series Wall and

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2

B. Gypsum Board* - 5/8 in. (16 mm) thick, 4 ft (1.2 m) wide with square or tapered edges. The gypsum board

The hourly F and FH Ratings of the firestop system are equal to the hourly fire rating of the wall

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2. Through Penetrants - One nonmetallic pipe or conduit to be centered within the firestop system. A nom annular

of the wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used:

pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system.

for use in closed (process or supply) or vented (drain, waste or vent) piping systems.

in accordance with the National Electrical Code (NFPA No. 70).

3. Firestop System - The firestop system shall consist of the following:

diam by 1-1/2 in. (38 mm) diam steel fender washers.

size of the firestop device as tabulated below

for use in closed (process of supply) piping systems.

space of 1/4 in. (6 mm) is required within the firestop system. Pipe or conduit to be rigidly supported on both sides

A. Polyvinyl Chloride (PVC) Pipe - Nom 4 in. (102 mm) diam (or smaller) Schedule 40 solid or cellular core PVC

B. Rigid Nonmetallic Conduit+ - Nom 4 in. (102 mm) diam (or smaller) Schedule 40 or 80 PVC conduit installed

C. Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 4 in. (102 mm) diam (or smaller) SDR13.5 CPVC pipe

D. Acrylonitrile Butadiene Styrene (ABS) Pipe - Nom 4 in. (102 mm) diam (or smaller) Schedule 40 solid or

foamed core ABS pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.

E. Fire Retardant Polypropylene (FRPP) Pipe - Norn 4 in. (102 mm) diam (or smaller) Schedule 40 FRPP pipe

A. Fill, Void or Cavity Material* - Caulk - (Optional) - Caulk forced into annular space to max extent possible.

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through-penetrant. Device shall be installed around through-penetrant in accordance with accompanying

installation instructions. Device incorporates anchor tabs for securement to each surface of wall assembly by

means of 1/8 in. (3 mm) diam by 1-3/4 in. (45 mm) long steel molly bolts in conjunction with 1/4 in. (6 mm)

The F, T, FT, FH and FTH Ratings of the firestop system are dependent upon the fire rating of the wall and

Fire Rating Of Nom Device F, FH Rating Hr

1-1/2

1-1/2

B. Firestop Device* - Galv steel collar lined with an intumescent material sized to fit the specific diam of the

Caulk shall be installed flush with both surfaces of wall assembly. L Ratings apply only when caulk is used.

type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual

by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide and

Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

Design in the UL Fire Resistance Directory, Max diam of opening is 5 in. (127 mm).

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ANSI/UL1479 (ASTM E814)

F Ratings - 1 and 2 Hr (See Items 1 and 3B)

T Ratings - 1, 1-1/2 and 2 Hr (See Item 3B) L Rating At Ambient - Less Than 1 CFM/ft2

L Rating At 400°F - Less Than 1 CFM/ft2

with the higher pressure on the exposed side.

spaced max 24 in. (610 mm) OC.

assembly in which it is installed.

Wall Assembly - The 1 or 2 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

System No. W-L-3024

T Ratings - 0, 1/2, 1 and 2 Hr (See Items 2 and 2A)

L Rating At Ambient - Less Than 1 CFM/sq ft

L Rating At 400 F - Less Than 1 CFM/sq ft

derwiters Laboratories, Inc.

o ASTM/UL1479 (ASTM E814)

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC. B. Gypsum Board* - 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 2-1/2 in.

Section A-A

The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. Cables - One cable to be installed either concentrically or eccentricity within the firestop system. The annular space within the firestop system shall be a min 0 in. (point contact) to a max 1/4 in. Cable to be rigidly supported on both sides of wall assembly. The following types and sizes of cables may be used:

A. Max 200 pair No. 24 AWG (or smaller) copper conductor cable with polyvinyl chloride (PVC) jacketing and insulation. When 200 pair No. 24 AWG telephone cable is used, T Rating is 0 hr. When 50 pair No. 24 AWG telephone cable is used, T Rating is equal to the F rating of the firestop system.

B. Max 3/C No. 2/0 AWG (or smaller) aluminum conductor service entrance cable with PVC insulation and jacketing. When service entrance cable is used, the T Rating is equal to the F Rating of the firestop system. C. Max 1/C-750 kcmil copper conductor power cable with cross-linked polyethylene (XLPE) insulation and jacketing. When

1/C-750 kcmil cable is used, the T Rating is equal to the F Rating of the firestop system. D. Max 3/C No. 8 AWG (or smaller) PVC insulated and jacketed nonmetallic sheathed (Romex) cable. When Romex is used, the T Rating is equal to the F Rating of the firestop system. E. Max RG59/U (or smaller) coaxial cable with fluorinated ethylene insulation and jacketing. When coaxial cable is used, the T

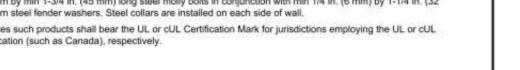
Rating is equal to the F Rating of the firestop system. F. Max 62.5/125 micron fiber optic cable with PVC insulation and jacketing. When fiber optic cable is used, the T Rating is

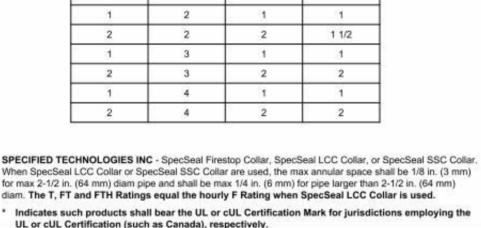
equal to the F Rating of the firestop system. G. Max 4 pair No. 24 AWG (or smaller) copper conductor data cable with Hylar insulation and jacketing. When data cable is

used, the T Rating is equal to the F Rating of the firestop system.

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for max 2-1/2 in. (64 mm) diam pipe and shall be max 1/4 in. (6 mm) for pipe larger than 2-1/2 in. (64 mm) diam. The T, FT and FTH Ratings equal the hourly F Rating when SpecSeal LCC Collar is used. Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the Specified Technologies Inc. 210 Evans Way Somerville, NJ 08876

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to ASTM/UL1479 (ASTM E814)

Underwiters Laboratories, Inc.

to ASTM/UL1479 (ASTM E814)

T Rating - 1 Hi

1. Floor-Ceiling Assembly - The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be

A. Flooring System - Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping

Mixture* as specified in the individual Floor-Ceiling Design. Max diam of floor opening is 2 in. (51 mm

UL Fire Resistance Directory, as summarized below:

bridging as required with ends firestopped.

and Partition Design.

Design, Max diam of ceiling opening is 2 in. (51 mm).

constructed of the materials and in the manner specified in individual L500 Series Floor-Ceiling Designs in the

B. Wood Joists - Nom 2 by 10 in. (51 by 254 mm) lumber joists spaced 16 in. OC with nom 1 by 3 in. (25 by 76

mm) lumber bridging and with ends firestopped. As an alternate to lumber joists, nom 10 in. (254 mm) deep

C. Furring Channels - (Not Shown) - Resilient galv steel furring installed perpendicular to wood joists (Item 1B)

D. Gypsum Board* - Nom 4 ft (1.2 m) wide by 5/8 in. (16 mm) thick as specified in the individual Floor-Ceiling

Design. Wallboard secured to wood joists or furring channels as specified in the individual Floor-Ceiling

2. Chase Wall - (Optional) - The through penetrant (Item 3) may be routed through a 1 hr fire-rated single, double

or staggered wood stud/gypsum wallboard chase wall constructed of the materials and in the manner specified

in the individual U300 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include

B. Sole Plate - Nom 2 by 6 in. (51 by 152 mm) or parallel 2 by 4 in. (51 by 102 mm) lumber plates, tightly

C. Top Plate - The double top plate shall consist of two nom 2 by 6 in. (51 by 152 mm) or two sets of parallel 2

D. Gypsum Board* - Thickness, type, number of layers and fasteners shall be as specified in individual Wall

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3. Through Penetrants - One nonmetallic pipe or conduit to be installed within the firestop system. Pipe or conduit

shall be spaced a norn 1/4 in. (6 mm) from the cable (Item No. 4). The space between pipe or conduit and the

periphery of the opening shall be a nom 1/4 in. (6 mm). Pipe or conduit to be rigidly supported on both sides of

A. Polyvinyl Chloride (PVC) Pipe - Nom 3/4 in. (19 mm) diam (or smaller) Schedule 40 solid or cellular core

B. Rigid Nonmetallic Conduit+ - Nom 3/4 in. (19 mm) diam (or smaller) Schedule 40 PVC conduit installed in

C. Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 3/4 in. (19 mm) diam (or smaller) SDR17 CPVC pipe

D. Electrical Nonmetallic Tubing (ENMT)+ - Nom 3/4 in. (19 mm) diam (or smaller) ENMT formed from PVC

4. Cables - One cable to be spaced a nom 1/4 in. (6 mm) from the other through-penetrants. The space between

the cable and periphery of opening shall be a norn 1/4 in. (6 mm). Cables to be rigidly supported on both sides

A. Max 100 pair No. 24 AWG (or smaller) telephone cables with polyvinyl chloride (PVC) insulation and jacket.

annulus, flush with top surface of floor or sole plate. Min 5/8 in. (16 mm) thickness of fill material also applied

within the annulus of the ceiling or top plate, flush with bottom surface of ceiling or lower top plate. Min 3/8 in.

(10 mm) diam bead of fill material applied at point contact location on top surface of floor or sole plate and on

Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL

5. Fill, Void or Cavity Material* - Sealant - Min 3/4 in. (19 mm) thickness of fill material applied within the

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B. Max 3/C (with ground) - No. 10 AWG (or smaller) nonmetallic sheathed ("Romex") cable with PVC insulation

the floor-ceiling assembly. The following types and sizes of nonmetallic pipes or conduits may be used:

PVC pipe for use in closed (process or supply) piping system.

and installed in accordance with the National Electrical Code.

The following types and sizes of copper conductor cables may be used:

for use in closed (process or supply) piping systems.

bottom surface of gypsum board ceiling or lower top plate.

Certification (such as Canada), respectively.

of floor-ceiling assembly.

A. Studs - Nom 2 by 6 in. (51 by 152 mm) or double nom 2 by 4 in. (51 by 102 mm) lumber studs.

by 4 in. (51 by 102 mm) lumber plates, tightly butted. Max diam of opening is 2 in. (51 mm).

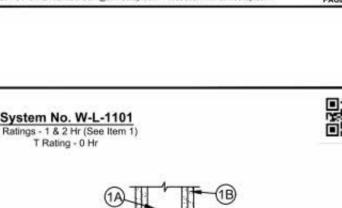
between wallboard (Item 1D) and wood joists or furring channels as required in the individual Floor-Ceiling

(or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood Members* with

L Rating at Ambient - Less Than 1 CFM/sq ft

L Rating at 400° F - Less Than 1 CFM/sq ft

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Wall Assembly - The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300 or U400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall

include the following construction features: A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 3-5/8 in. wide and spaced max 24 in. OC. B. Gypsum Board* - 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire

Resistance Directory. Max diam of opening is 9 in. The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. Through Penetrants - One metallic pipe or tubing to be installed either concentrically or eccentrically within the firestop system. Pipe or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes or

tubing may be used: A. Steel Pipe - Nom 4 in. diam (or smaller) Schedule 10 (or heavier) steel pipe. B. Iron Pipe - Nom 4 in, diam (or smaller) cast or ductile iron pipe. C. Copper Tubing - Nom 4 in. diam (or smaller) Type L (or heavier) copper tube.

D. Copper Pipe - Nom 4 in. diam (or smaller) Regular (or heavier) copper pipe. J. Firestop System - The firestop system shall consist of the following: A. Pipe and Equipment Covering Materials* - Max 2 in. thick hollow cylindrical heavy density (min 3.5 pcf) glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Pipe covering to be wrapped around the through penetrant and extend a min 2-1/2 in, beyond both surfaces of the wall. The annular space between pipe covering and the edge of the through opening shall be min 0 in. (continuous point contact) to max 1/2 in.

See Pipe and Equipment Covering - Materials (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used. B. Fill, Void or Cavity Material* - Sealant - Min 5/8 in, thickness of fill material applied within annulus, flush with both surfaces of wall. A min 1/4 in. crown of fill material shall be applied to the pipe covering/gypsum wallboard interface at the point contact location and lapping 1/4 in. beyond the periphery of the opening on both sides of the wall.

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Rating of Assembly Hr	Type of Thought Penetrant	Max No. of Penetrant	F Rating, Hr	T Rating, F
1	Telephone Cable	1	1	4
2	Telephone Cable	a	2	2
1	Service Entrance Cable	1	1	1
-1	Armored Cable		1	3/4
10	Romex Cable	7	11	3/4
1	Power Limited Circuit Cable	1	1	3/4
1	Non Power Limited Fire AlarmCable	1	1	3/4
-10	Power Limited Fire AlarmCable	: d	1	3/4
41	Metal Clad Cable	1	- 4	3/4

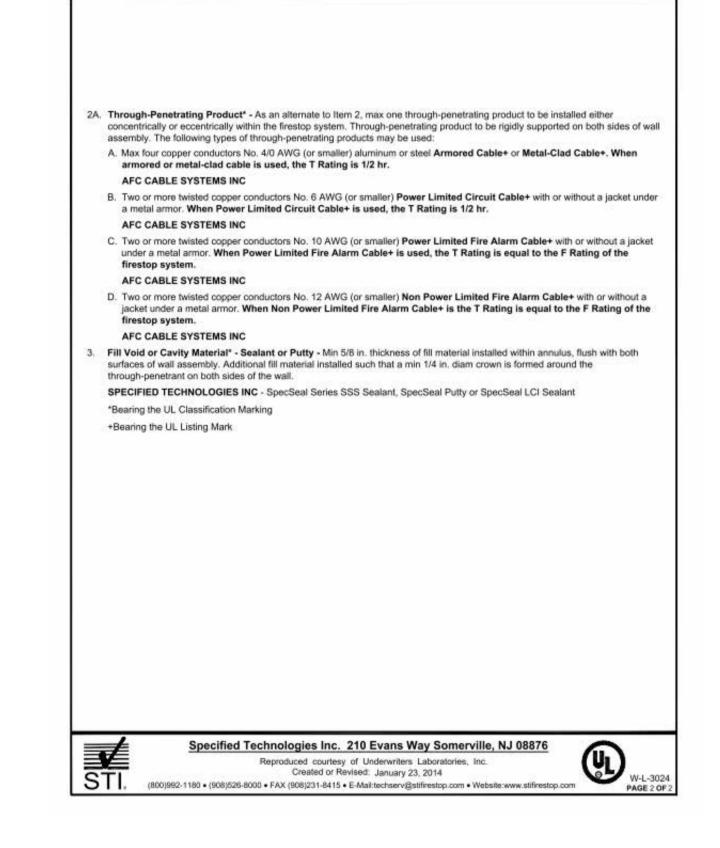
annulus, flush with top surface of floor. On bottom surface of ceiling, min 5/8 in. thickness of fill material applied within annulus, flush with bottom surface of ceiling or lower top plate of chase wall assembly. Additional fill material to be installed such that a min 1/8 in. crown is formed around the penetrating item on bottom surface of ceiling or lower top plate of chase wall assembly. On both top and bottom of assembly, fill material forced into interstices of cable group to max extent

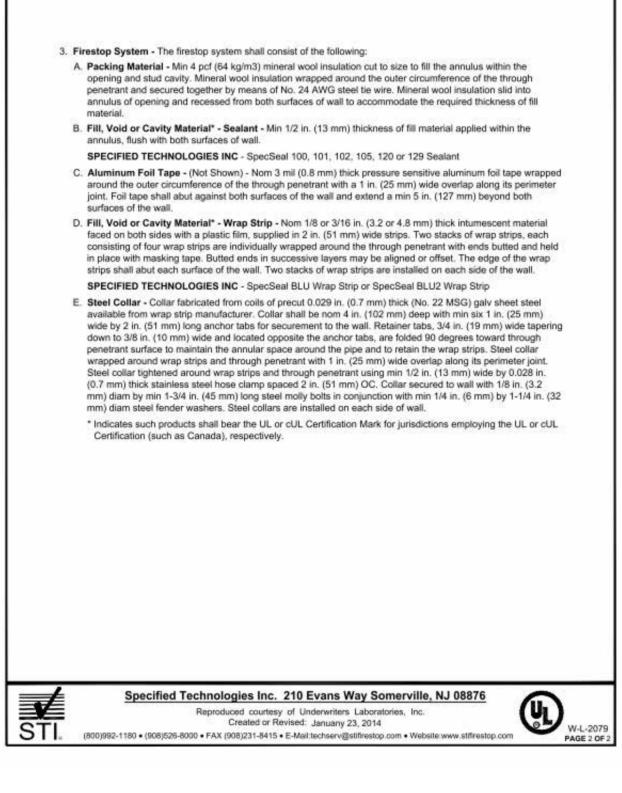
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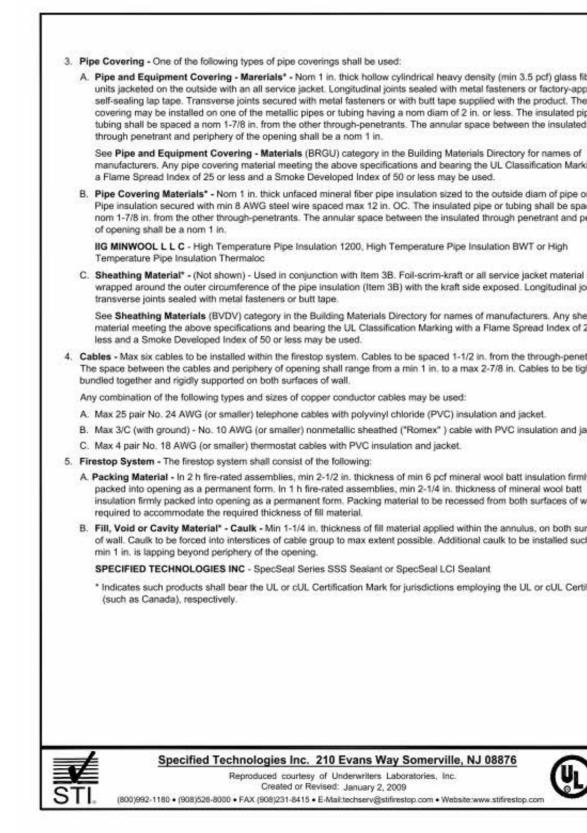
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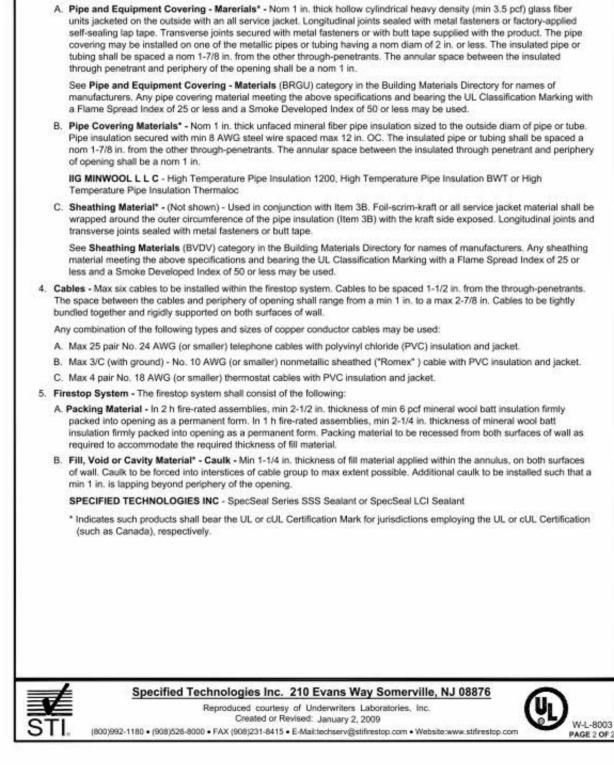
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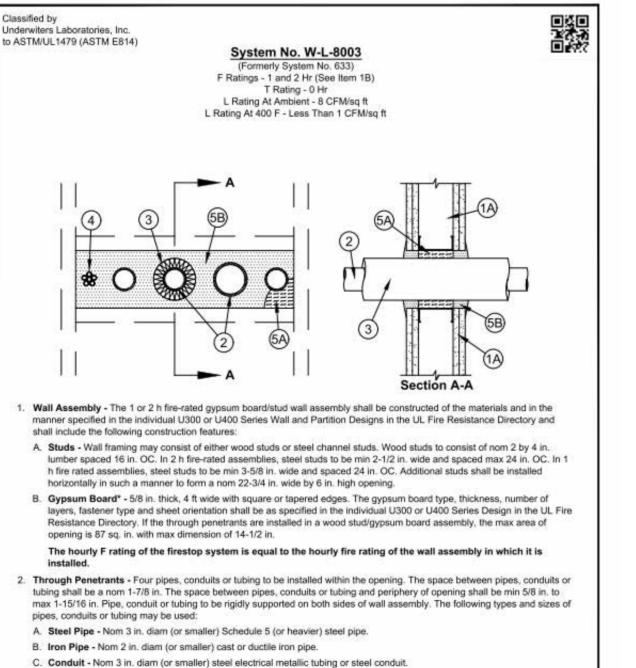
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D. Copper Tubing - Nom 2 in. diam (or smaller) Type L (or heavier) copper tubing.

F. Polyvinyl Chloride (PVC) Pipe - Nom 2 in. diam (or smaller) Schedule 40 PVC pipe for use in closed (process or supply)

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E. Copper Pipe - Nom 2 in. diam (or smaller) Regular (or heavier) copper pipe.

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△ REVISIONS

RATED PENETRATIONS

KITCHEN CLEARANCES SHALL COMPLY WITH A117.1 SECTION 1003.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTERTOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORKSARPEN SHAULENESSON 1003.12.1. CLEARANCE SHALL BE 60" MIN.

THE WATER CLOSET SHALL BE POSITIONED WITH A WALL TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 16" MIN. AND 18" MAX. FROM THE SIDE WALL. WATER CLOSET FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET

A CLEAR FLOOR SPACE OF 30"x48" AT EACH APPLIANCE. HOWEVER, A REFRIGEPATOR MUST PROVIDE A PARALLEL APPROACH. PROVIDE A PARALLEL APPROACH AT REFRIGERATORS AND RANGES. ALL OTHER APPLIANCES MAY BE PARALLEL OR

CLEAR FLOOR SPACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR THE TOOM WASHER, WITHOUT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION, SHALL A WORK SURFACE 30" MIN. IN LENGTH, WITH A CLEAR FLOOR SPACE OF 30"x48" AND POSITIONED FOR FORWARD APPROACH, KNEE AND TOE CLEARANCES PER A117.1 SECTION 306 SHALL BE PROVIDED. CLEAR FLOOR SPACE SHALL BE CENTERED WORK SURFACE CABINETRY SHALL BE PERMITTED IF THE CABINETRY IS EASILY REMOVABLE WITHOUT REMOVING WORK SURFACE, THE FINISH FLOORING EXTENDS UNDER, AND THE WALLS BEHIND AND SURROUNDING ARE FINISHED.

SINK CABINETRY SHALL BE PERMITTED IF THE CABINETRY IS EASILY REMOVABLE WITHOUT REMOVING THE SINK, THE FINISH FLOORING EXTENDS UNDER, AND THE WALLS BEHIND AND SURROUNDING ARE FINISHED. MICROWAVE / HOOD COMBOS ARE NOT COMPLIANT DUE TO REACH RANGES. PROVIDE A SEPARATE SWITCHED HOOD VENT AND COUNTERTOP MICROWAVE. SWITCH MUST COMPLY WITH OUTLET REQUIREMENTS AND HAVE A 30" BY 48" CLEAR FLOOR SPACE CENTERED ON THE SWITCH. THE LOCATION OF COOKTOP AND OVEN CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS.

A SINK COMPLYING WITH A CLEAR FLOOR SPACE OF 30"x48" AND POSITIONED FOR FORWARD APPROACH, KNEE AND TOE CLEARANCES PER A117.1 SECTION 306 SHALL BE PROVIDED AS INMEAS LURE OF SOUNTER SURFACE WHICHEVER IS

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS THAT ARE A PART OF THE UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN. ALL ROOMS SERVED BY AN ACSHANISHER 60" WHEELCHAIR

ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: FLOOR OR GROUND SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS / DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) LIFTS.

BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THRESHOLDS AT EXTERIOR SLIDING DOORS SHALL BE PERMITTED TO BE 3/4" HIGH MAX. PROVIDED THEY ARE BEVELED WITH A SLOPE NOT

A CLEAR FLOOR SPACE (30"x48") COMPLYING WITH A117.1 SECTION 305 POSITIONED FOR PARALLEL APPROACH SHALL BE PROVIDED. FOR TOP LOADING MACHINES, THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE. FOR FRONT LOADING MACHINES, THE CENTERLINE OF THE CLEAR FLOOR SPACE SHALL BE OFFSET 24" MAX.FROM THE CENTERLINE OF THE DOOR OPENING.

ALL CABINETS SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD APPROACH. THE SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MEET OPERABLE PARTS PROVISIONS.

TOP LOADING LAUNDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36" MAX. ABOVE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOOTING MORTIMENT 15" MIN. AND 34" MAX. ABOVE THE FLOOR.

GENERAL ACCESSIBILITY NOTES

TYPE "A" DWELLING UNITS - ACCESSIBILITY NOTES

DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

GREATER THAN 1:2.

BLOCKING

- LOCATE TUB

CONTROLS IN

HATCHED AREA.

CONTROL LOCATION

CURTAIN ROD

SHOWER HEAD

UNITS DESIGNATED ON THE PLANS AS "TYPE A" SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1003.

THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.

WATER CLOSET SEAT HEIGHT SHALL BE A MIN. 15" AND A MAX 19" A.F.F., MEASURED TO THE TOP OF THE SEAT

COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. AFF.

ON THE WORK SURFACE. WORK SURFACE HEIGHT SHALL BE 34" MAX. UNLESS ADJUSTABLE.

REINFORCEMENT SHALL BE PROVIDED IN WALLS TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS.

TURNING SPACE EXCEPT FOR BATHROOMS NOT REQURED TO COMPLY. A TURNING SPACE IS NOT REQIRED WITHIN CLOSETS OR PANTRES THAT ARE 48" MAXIMUM IN DEPTH.

HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLSHOPSOM BOTH

AT LEAST ONE TOILET AND BATHING FACILITY MUST COMPLY HAVING AT LEAST ONE LAVATORY, WATER CLOSET, AND EITHER A BATHTUB OR SHOWER

MIRRORS SHALL HAVE THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM AFF. BATHTUB HAND SHOWERS SHALL BE PROVIDED PER A117.1 SECTION 607.6.

DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SLIDING DOORS.

LAVATORY HEIGHT SHALL BE 34" MAX A.F.F. LAVATORY CLEAR FLOOR SPACE SHALL BE 30"x48" AND POSITIONED FOR FORWARD APPROACH WITH KNEE AND TOE CLEARANCES PER A117.1 SECTION 606

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING.

INSTALL CONCEALED 2X8 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE.

INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS

*VERIFY W/ MANUFACTURER THE OBSTRUCTED REACH RANGE STORAGE FACILITY SHALL TO CONTROLS THAT ARE NOT LOCATED ON THE MACHINE'S BE PROVIDED WITHIN THE OPERABLE PARTS TO BE WITHIN *BOTTOM OF WASHING MACHINE OR DRYER DOOR TO BE NOT REACH RANGE LESS THAN 15" OR GREATER THAN 36" A.F.F. STORAGE REACH RANGE LAUNDRY OPERABLE PARTS REACH RANGE

HAND HELD SHOWERHEAD ON SLIDEBAR.

INSTALL PER MRF. RECOMMENDATIONS TO MEET ACCESSIBILITY REQUIREMENTS —

HOOK

TOWEL

COUNTERTOPS

TOWEL RING (TR)

ROBE HOOK (RH)

TOILET PAPER (TP)

TYPE "A" DWELLING UNIT LAVATORIES-VANITIES

TYPE "A" UNIT - REQUIRED KNEE SPACE CLEARANCES AT LAVATORIES-VANITIES

ENTRY DOOR

STROBES

** REFER TO ROLL-UNDER

COUNTERTOP DETAIL FOR

ADDITIONAL INFORMATION

— TO RIM OF SINK OR

WHICHEVER IS HIGHER

DEVICES

** CABINET CONSTRUCTION

SHALL FACILITATE REMOVAL OF

BASE CABINET W/O REMOVING

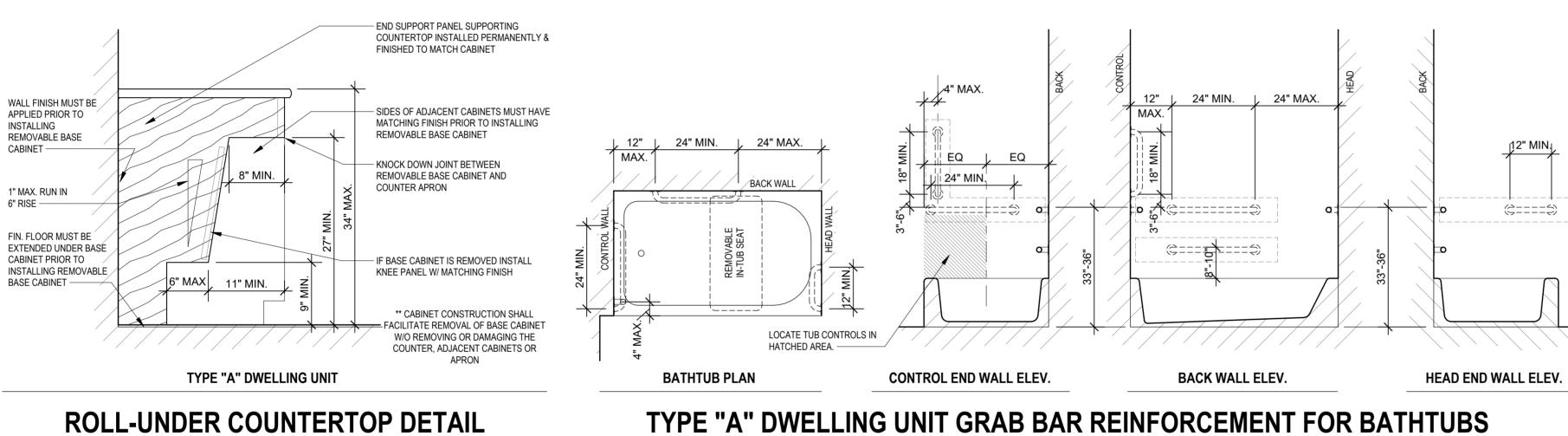
OR DAMAGING THE COUNTER,

ADJACENT CABINETS OR APRON

KITCHEN COUNTERTOPS

A II IP





MIN. OR AS NECESSARY TO SPAN STUD BAYS

L – – – + – – – – –

CENTER BLKG. ON WALLS, OR PER ARCHITECT'S DIRECTION

T.V. BLOCKING

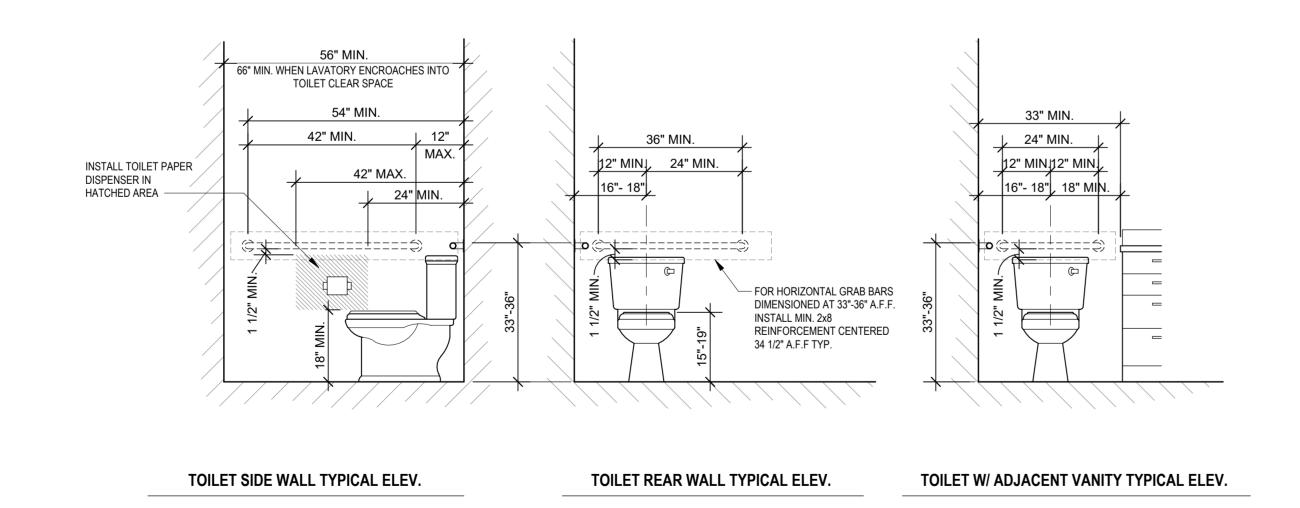
ACTUAL CABINET CONFIGURATION

— 36" MIN. IF PART OF T-SHAPED TURNING SPACE PER

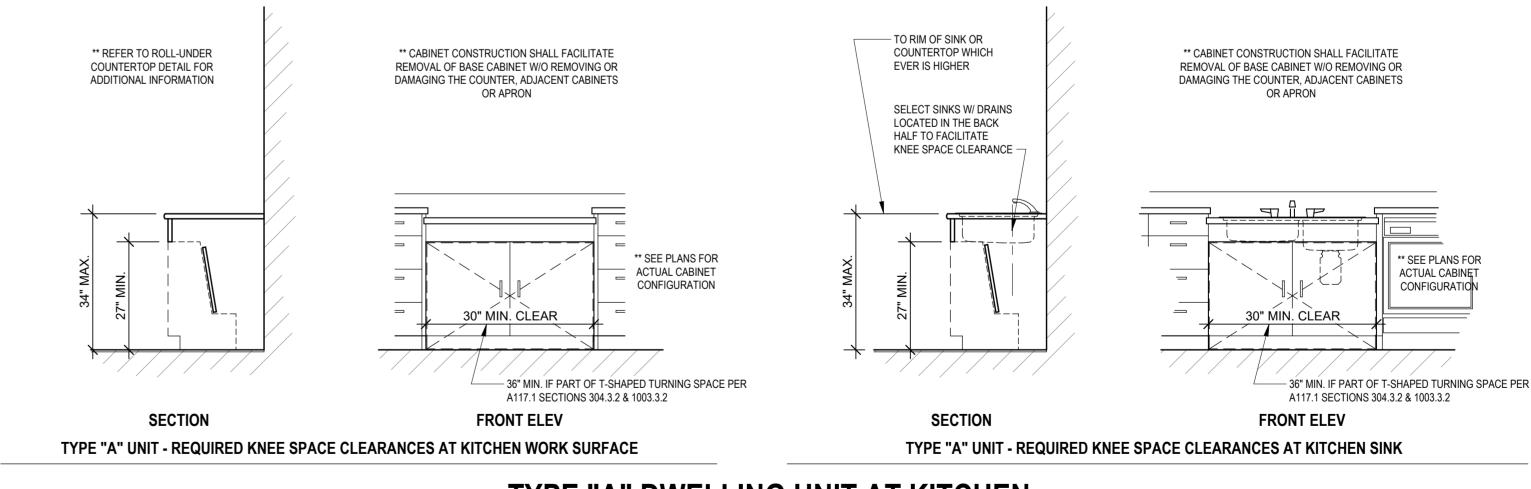
A117.1 SECTIONS 304.3.2 & 1003.3.2

TYPE "A" DWELLING UNIT MOUNTING HEIGHTS

TYPE "A" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS



TYPE "A" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS



TYPE "A" DWELLING UNIT AT KITCHEN

△REVISIONS

03.15.2023 TSC/SIW 4/11/2023 **CITY COMMENTS** SHEET NAME
TYPE "A" UNIT
ACCESSIBILITY INFO

LEE'S

IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPAREMENTOSE 130RGER THAN 36" BY 36". CLEARANCES SHALL COMPLY WITH A117.11004.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40" MINIMUM. IN U-SHAPED KITCHENS THIS CLEARANCE

A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED. A PARALLEL APPROACH SHALL BE PROVIDED FOR A TOP LOADING MACHINE. A FORWARD OR PARALLEL APPROACH SHALL BE PROVIDED FOR A FRONT LOADING MACHINE.

GENERAL ACCESSIBILITY NOTES

TYPE "B" DWELLING UNITS - ACCESSIBILITY NOTES

ACCESSIBLE ROUTE:

1. THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.

INSTALL CONCEALED 2X8 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE.

WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLEDSHRAML WITHDEN EXCEPTACLE OUTL

INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS.

CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 36" MAX IN HEIGHT AND 25 1/2" MAX IN DEPTH

ALL UNITS NOT DESIGNATED AS "TYPE A" OR "EXEMPT" ARE CONSIDERED "TYPE B" AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1004 AND THE FAIR HOUSING ACT..

ARE IMPERVIOUS, THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX. BELOW THE FLOOR LEVEL OF THE ADJACENT INTERIOR SPACES OF THE UNIT.

THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS.

THAT THE ROOM DOES NOT CONTAIN THE ONLY LAVATORY OR WATER CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT.

A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE LAVATORY.

THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.

THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.

THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.

MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK.

A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR.

ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY.

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN.

ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLANTICUS MINISTERIES EXTERIOR -

THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WITH THE

THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2", EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4". CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2"

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.

ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.

WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48" OR LESS THAN 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4" MIN.

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED BEYOND. THEARC OF THE DOOR SWING.

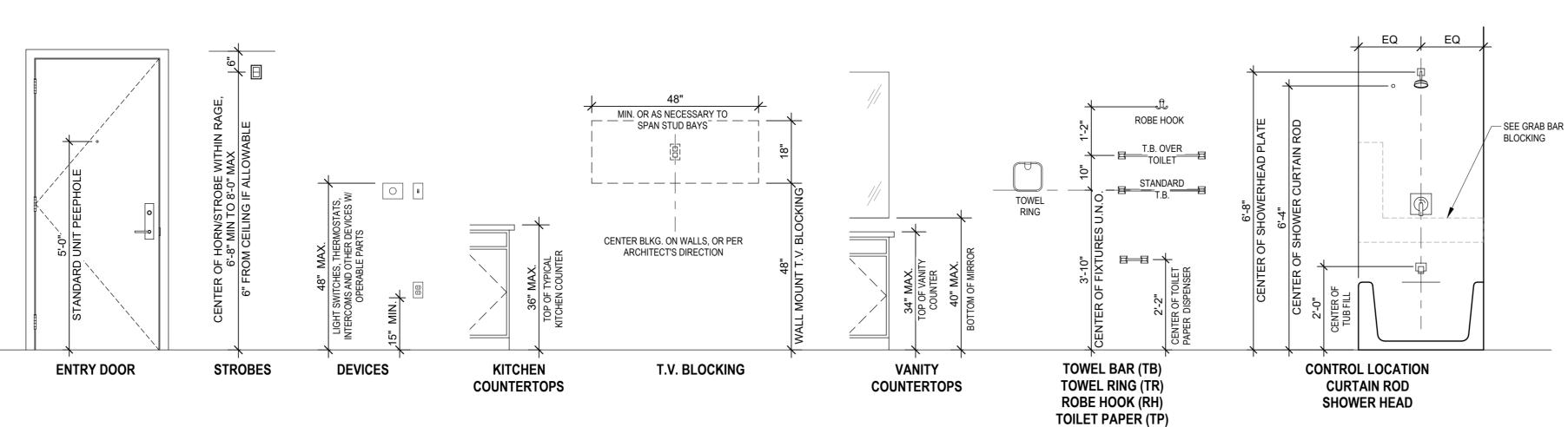
LARGER THAN 36" BY 36". CLEARANCE 30" MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

A CLEARANCE 48" MIN IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN. IN WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS.

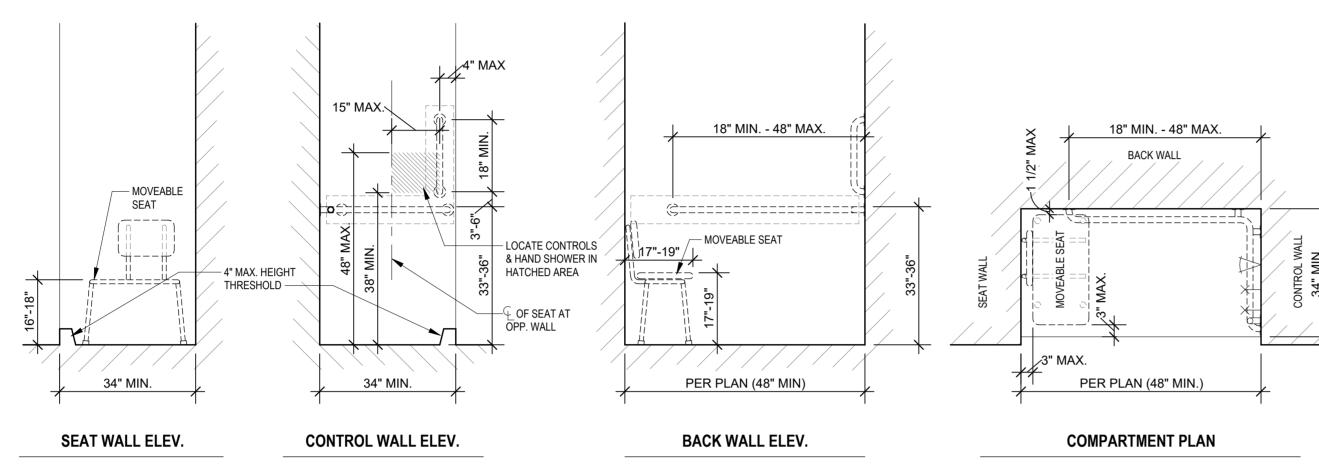
OPTION B:

ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT.

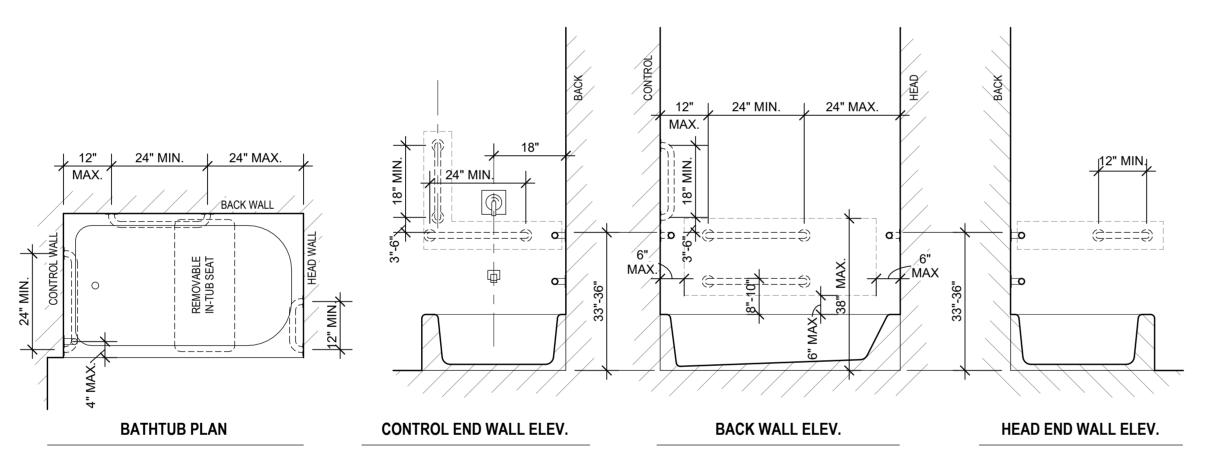
EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS.



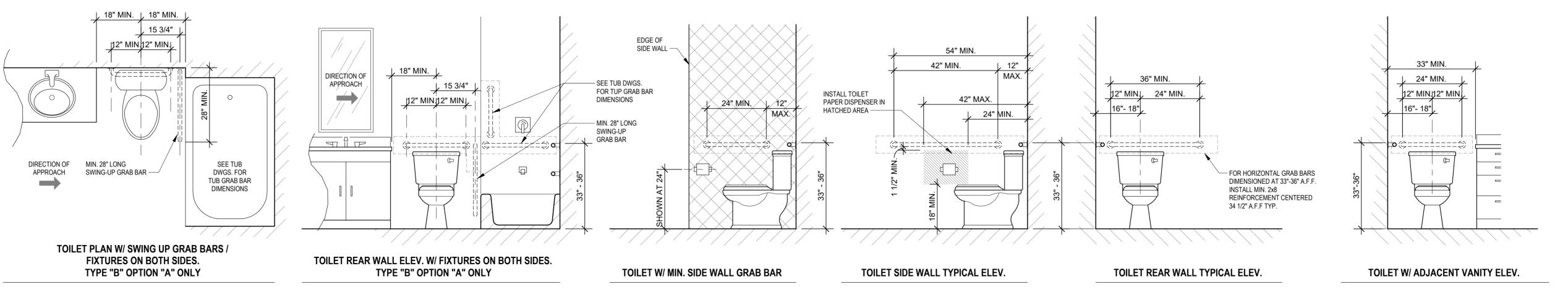
TYPE "B" DWELLING UNIT MOUNTING HEIGHTS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR SHOWERS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS

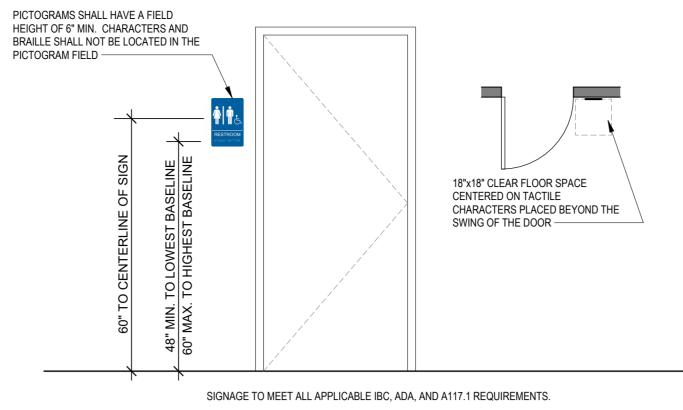


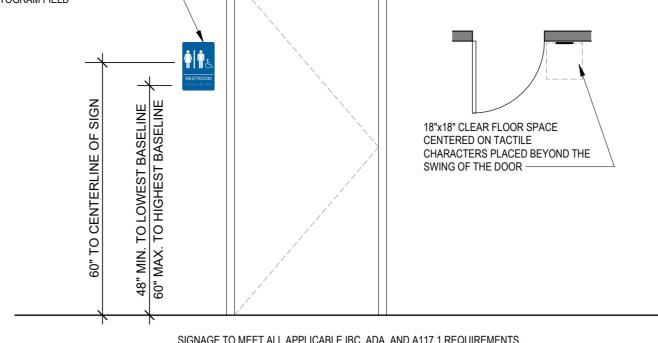
TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS

△ REVISIONS

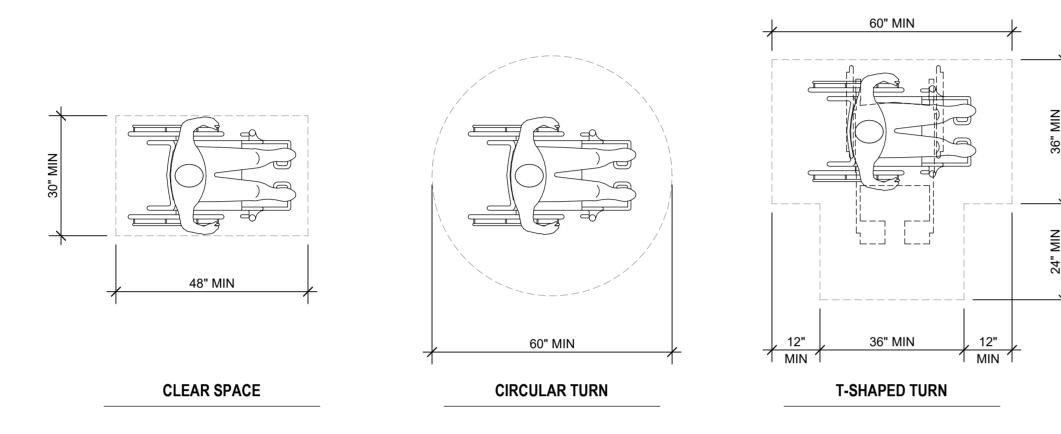
03.15.2023 TSC/SIW 4/11/2023 CITY COMMENTS SHEET NAME
TYPE "B" UNIT
ACCESSIBILITY INFO

LEE'S

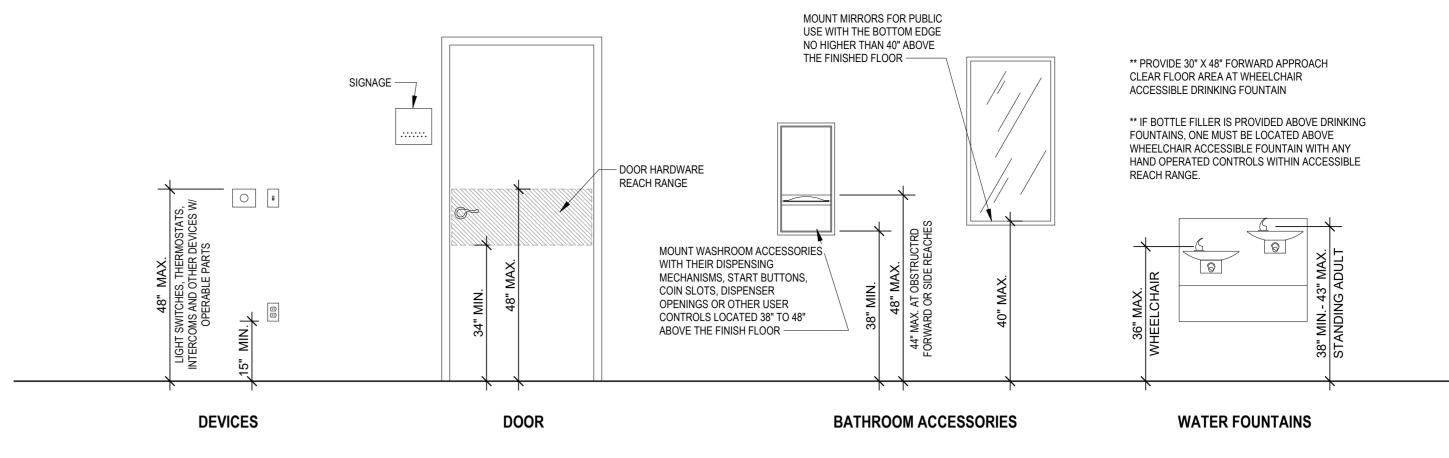




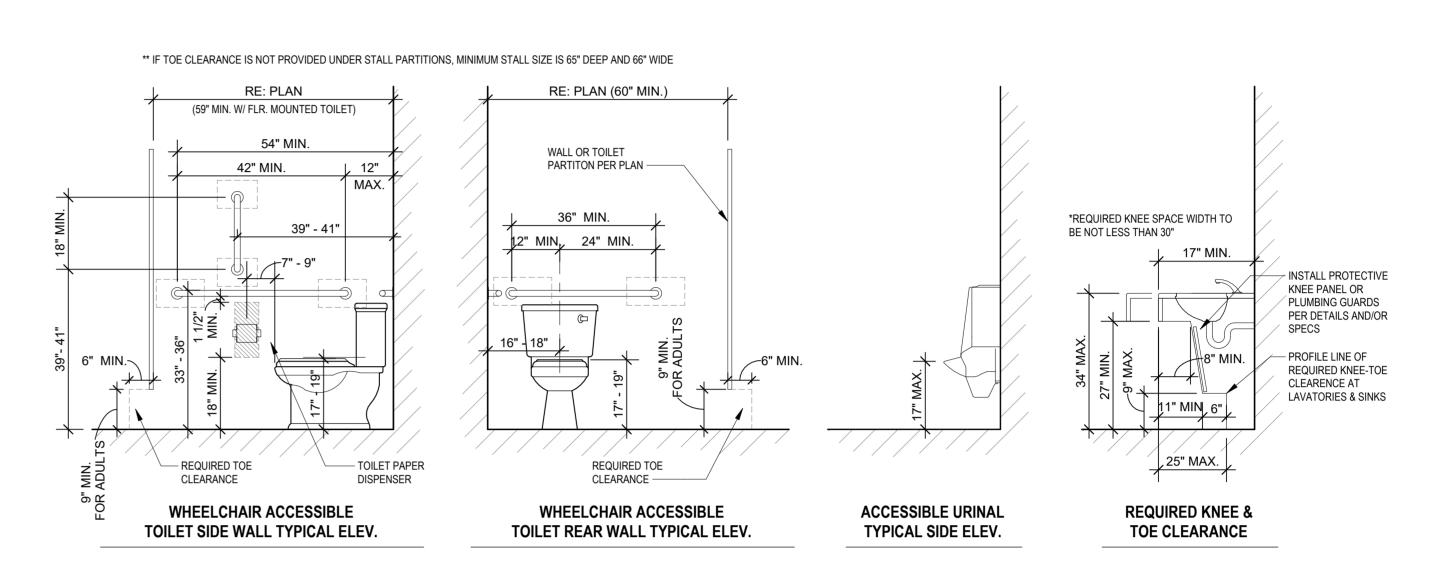
ELEVATOR COMPONENTS GENERAL SIGNAGE



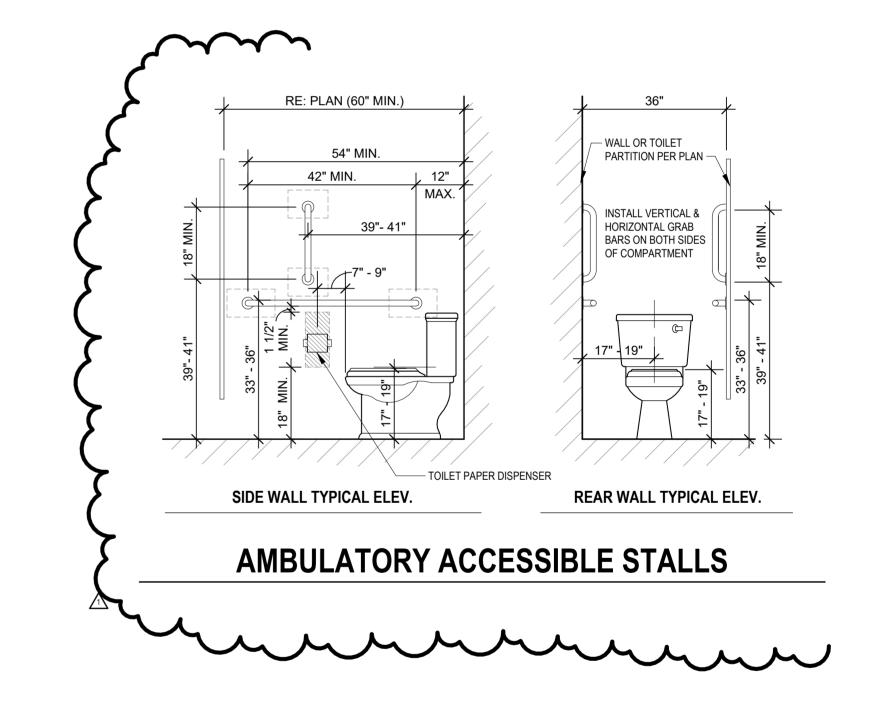
TURNING AND CLEAR FLOOR SPACES



TYPICAL ACCESSIBLE MOUNTING HEIGHTS FOR UNOBSTRUCTED FORWARD REACH



GRAB BARS AND CLEARANCES FOR PUBLIC RESTROOMS



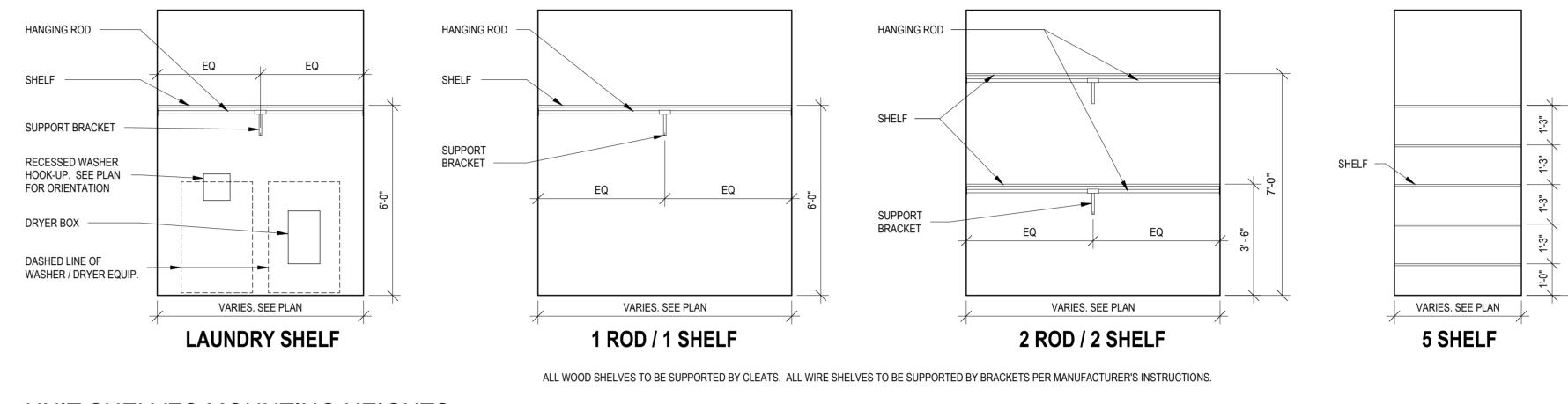
RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

 \triangle REVISIONS

DATE **03.15.2023** DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
COMMON AREA
ACCESSIBILITY INFO
SHEET NO.

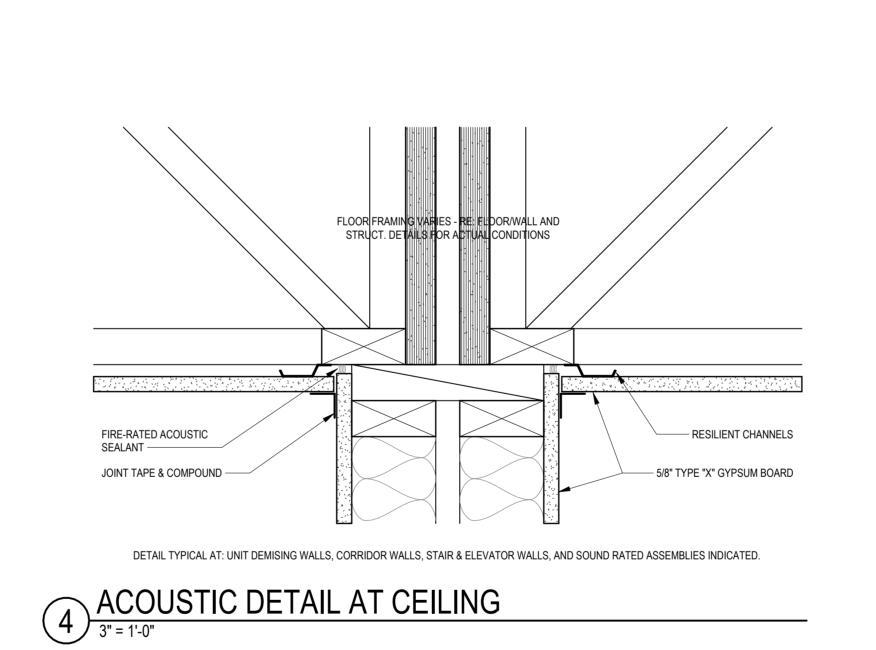
A042

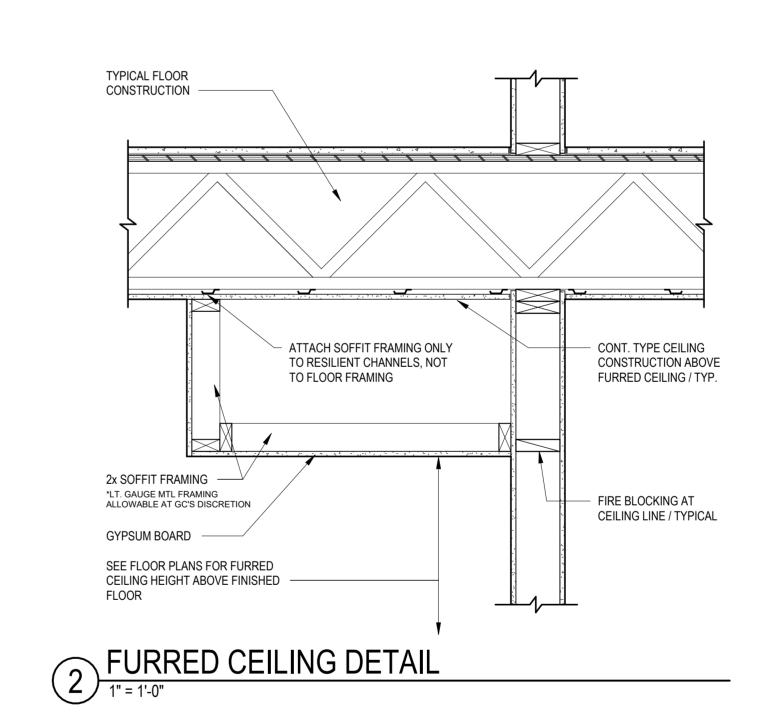




UNIT SHELVES MOUNTING HEIGHTS

3/8" = 1'-0"





FIRE-RATED ACOUSTIC
SEALANT

FLOOR FRAMING VARIES.
OMITTED FOR CLARITY

RE: PLAN FOR WALL TYPE, FRAMING, AND RESILIENT CHANNELS (WHERE APPLICABLE)

RE: PLAN FOR WALL TYPE, FRAMING, AND RESILIENT CHANNELS (WHERE APPLICABLE)

BASE TRIM

FLOORING

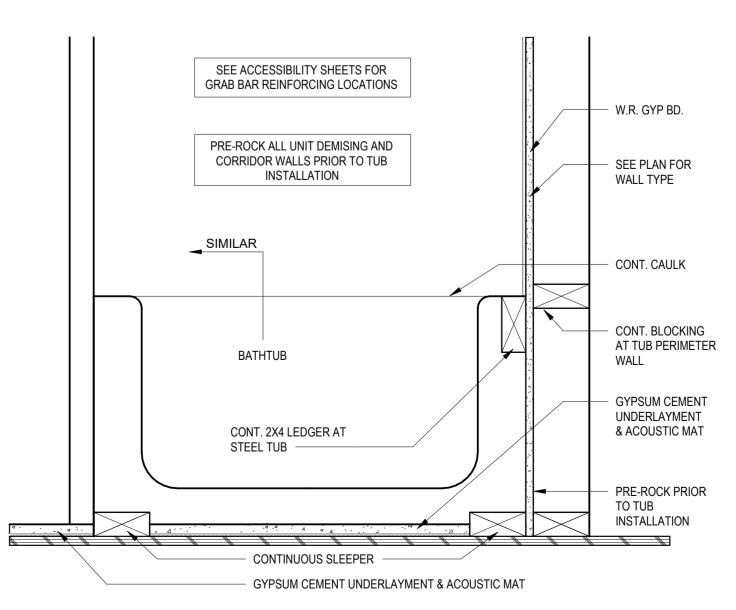
GYPSUM CEMENTER
UNDERLAYMENT OVER
ACOUSTIC MAT

ACOUSTIC MAT

DETAIL TYPICAL AT: UNIT DEMISING WALLS, CORRIDOR WALLS, STAIR & ELEVATOR WALLS, AND SOUND RATED ASSEMBLIES INDICATED.

ACOUSTIC DETAIL AT FLOOR

3" = 1'-0"



INTERIOR DETAIL - SECTION AT BATHTUB

1 1/2" = 1'-0"

△REVISIONS

SUMMIT,

LEE'S

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW

4/11/2023
CITY COMMENTS
SHEET NAME
TYPICAL UNIT INFO

A0.43

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

UNIT PLAN GENERAL NOTES:

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

FINISH STRIP.

RETURNS AT FENESTRATION CONDITIONS.

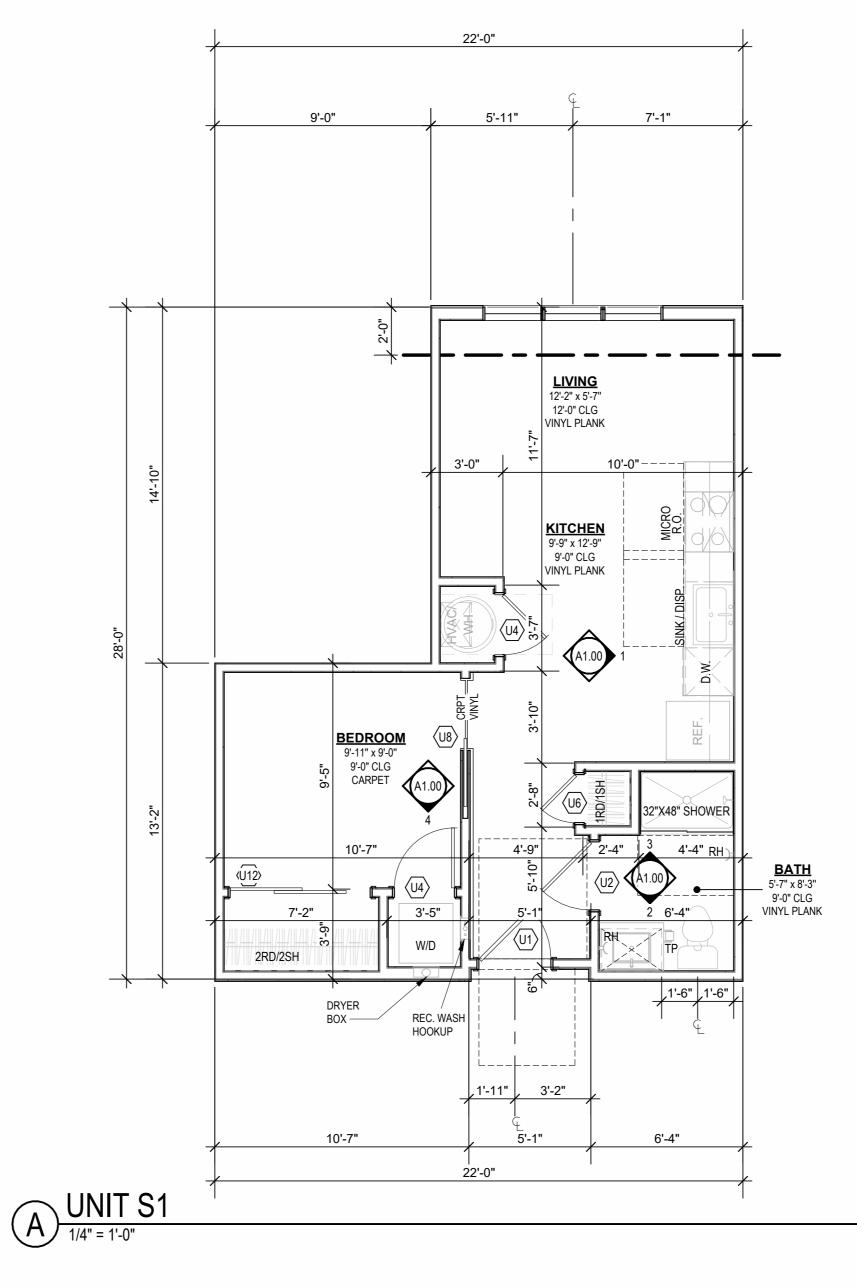
IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.

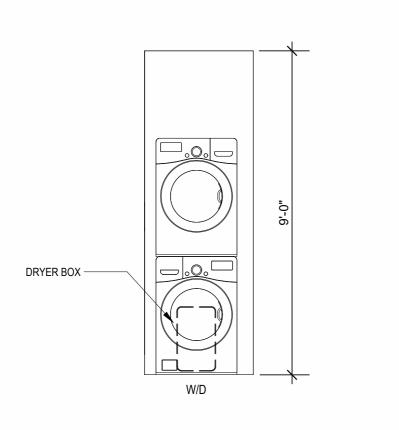
REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. EXACT MATCH CANNOT BE MADE.

ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

12'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG

B UNIT S1 - 4TH FLOOR RCP

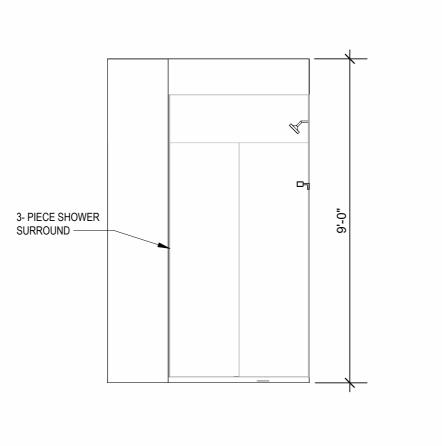




<u>UNIT S1 ALT</u>

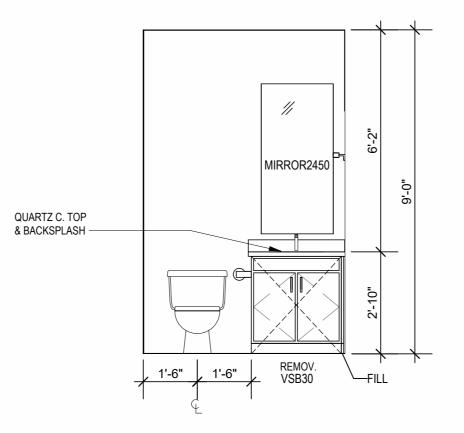
INTERIOR ELEVATION LAUNDRY

3/8" = 1'-0"



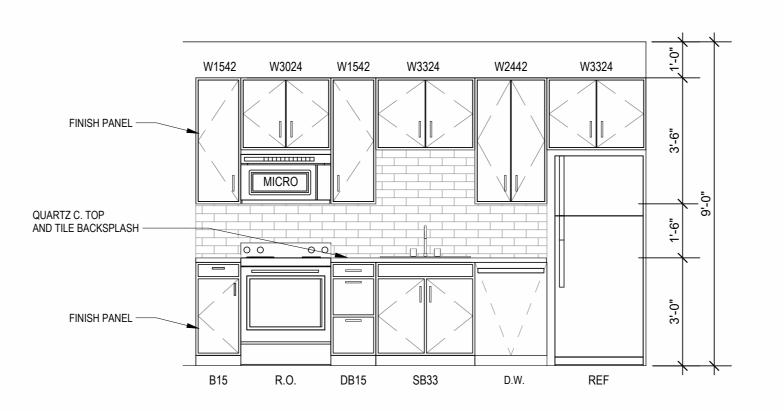
INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"



INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

| LEE'S SUMMIT, MO

ARD RD.

 \triangle REVISIONS 2 23 0428 ADD 1/CC 2 7 23 0714 ASI 3 8 23 07 31 ASI 4 11 23 1103 ASI 7

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 9/15/2023

ASI #6 SHEET NAME
UNIT S1 PLANS

DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN

EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS AT FENESTRATION CONDITIONS.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH

ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE

MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

4'-8" 9'-0" CLG CARPET 13'-4" 12'-8" **LIVING** 15'-5"x8'-4" 12'-0" CLG VINYL PLANK 2RD/2SH 9'-0" CLG VINYL PLANK **DINING** 15'-5"x9'-8" 9'-0" CLG VINYL PLANK KITCHEN 11'-0"x8'-10" 9'-0" CLG VINYL PLANK 3'-3"

26'-0"

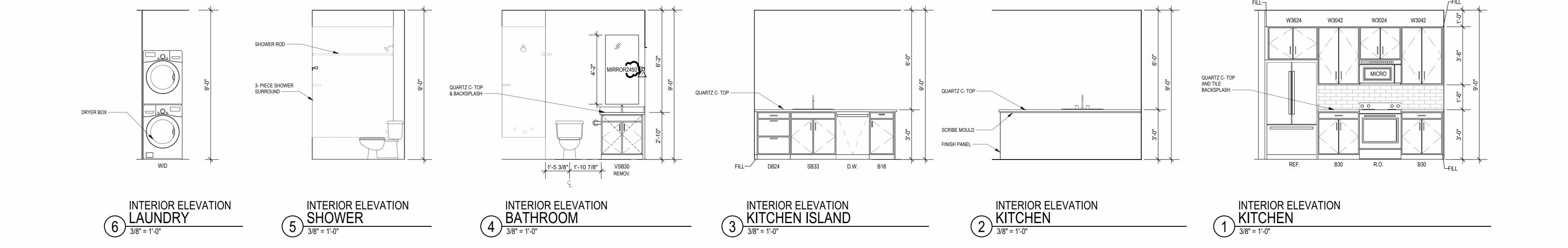
12' - 0" CLG. 9' - 0" CLG.

REFLECTED CEILING PLAN
UNIT A1 - 4TH FLOOR RCP

1/4" = 1'-0"

UNIT PLAN UNIT A1

A 1/4" = 1'-0"



 \triangle REVISIONS 5 23 0609 ASI 1 7 23 06XX ASI 3

DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY

6/9/2023 ASI #1 SHEET NAME
UNIT A1 PLANS

CONSTRUCTION

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY

UNIT PLAN GENERAL NOTES:

FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT,

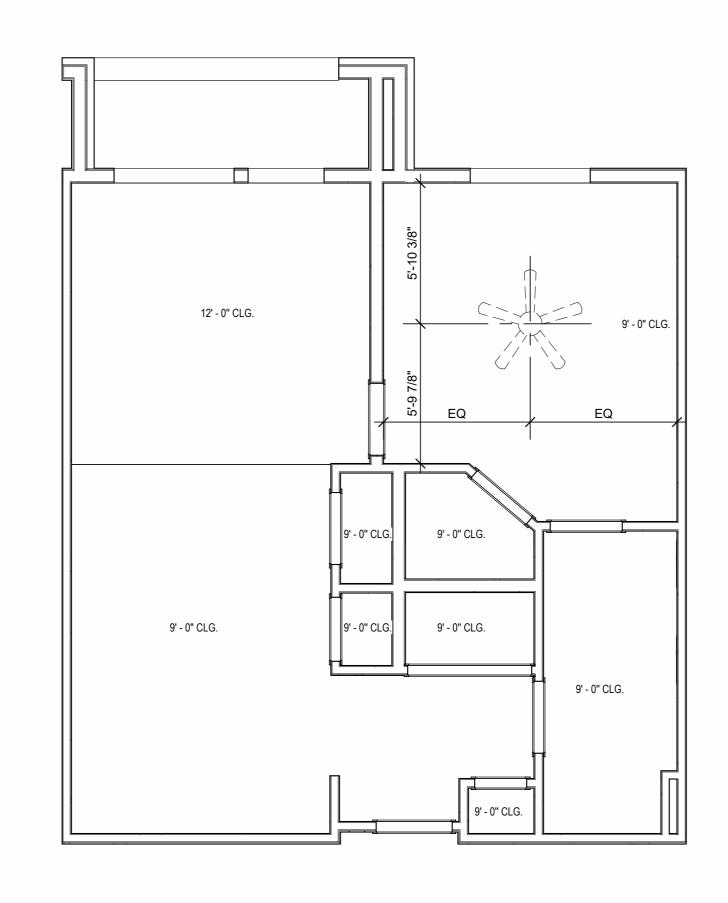
ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE

DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.

LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND

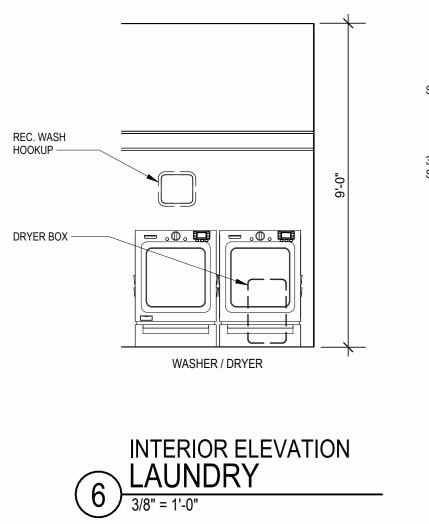
LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

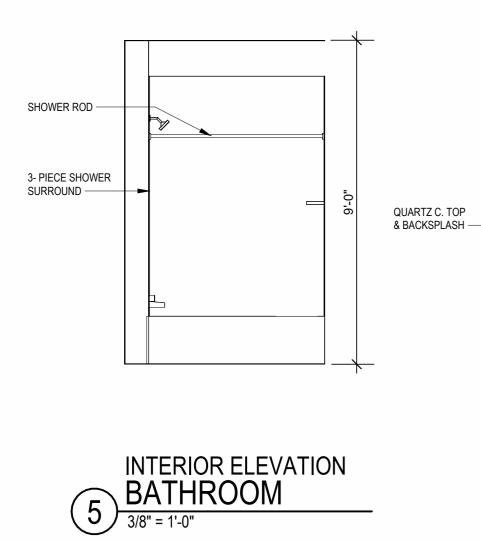
11'-8" 3'-6" 4'-8" 4'-8" 6'-6" BEDROOM 14'-2"x12'-4" **LIVING** 10'-10"x11'-10" 12'-0" CLG 9'-0" CLG VINYL PLANK ----- REC. WASH HOOKUP 9'-0" CLG VINYL PLANK KITCHEN 10'-10"x10'-4" 9'-0" CLG VINYL PLANK 11'-6" UNIT PLAN UNIT A2 1/4" = 1'-0"

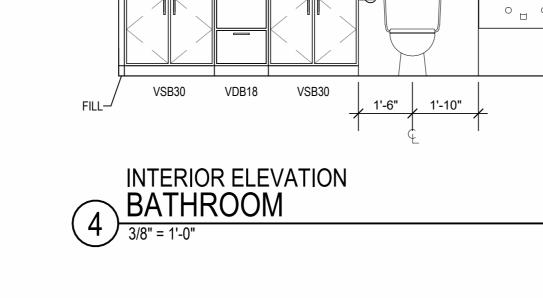


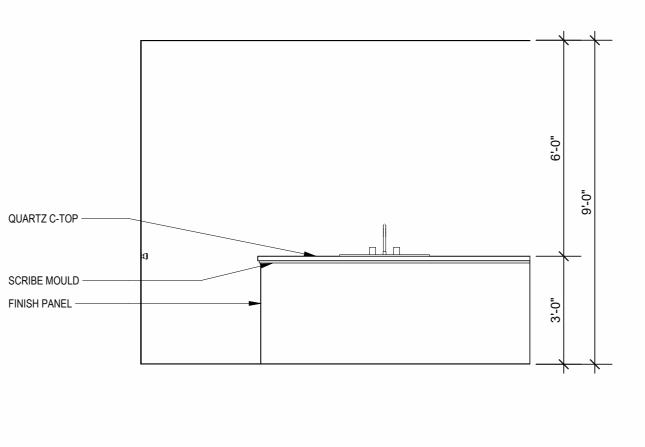
REFLECTED CEILING PLAN
UNIT A2 - 4TH FLOOR RCP

1/4" = 1'-0"

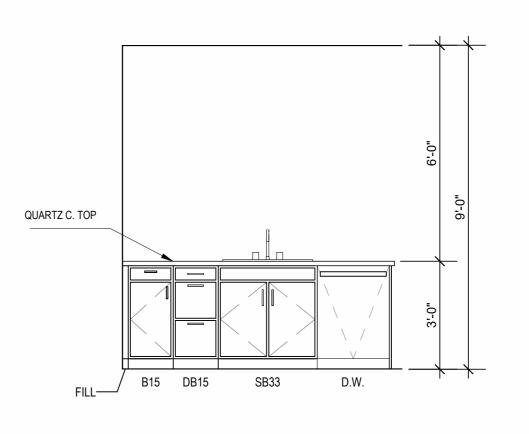




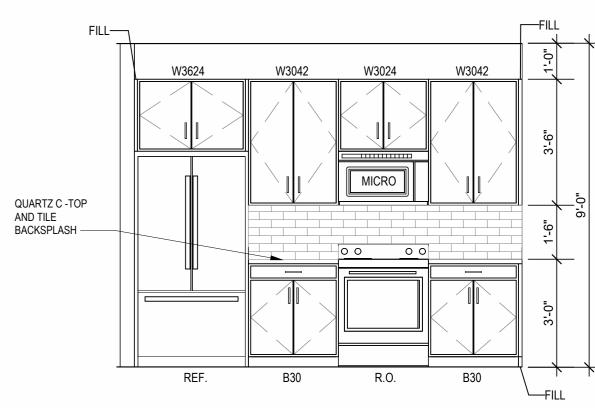




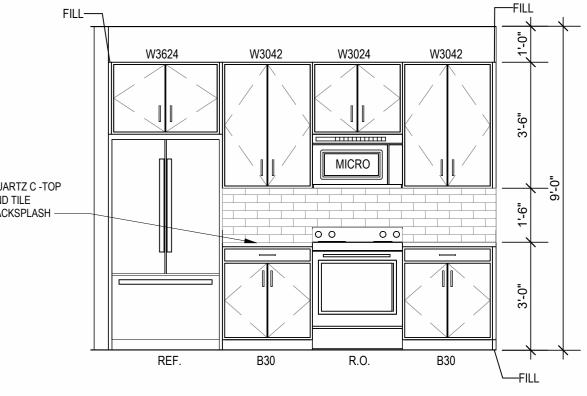












DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY 6/9/2023

ASI #1 SHEET NAME
UNIT A2 PLANS

 \triangle REVISIONS 7 23 06XX ASI 3

MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER

EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.

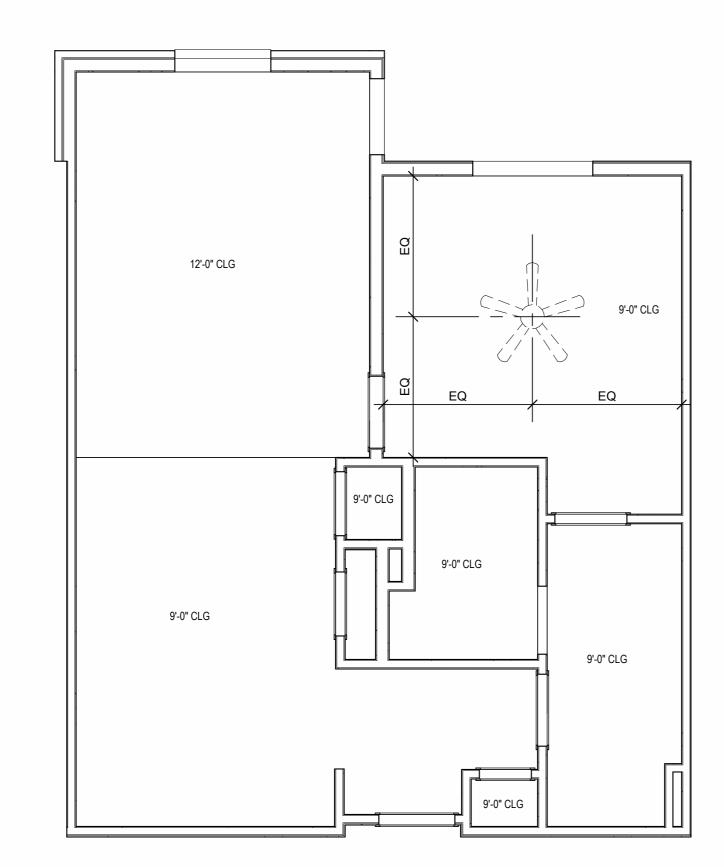
UNIT PLAN GENERAL NOTES:

ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING
DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

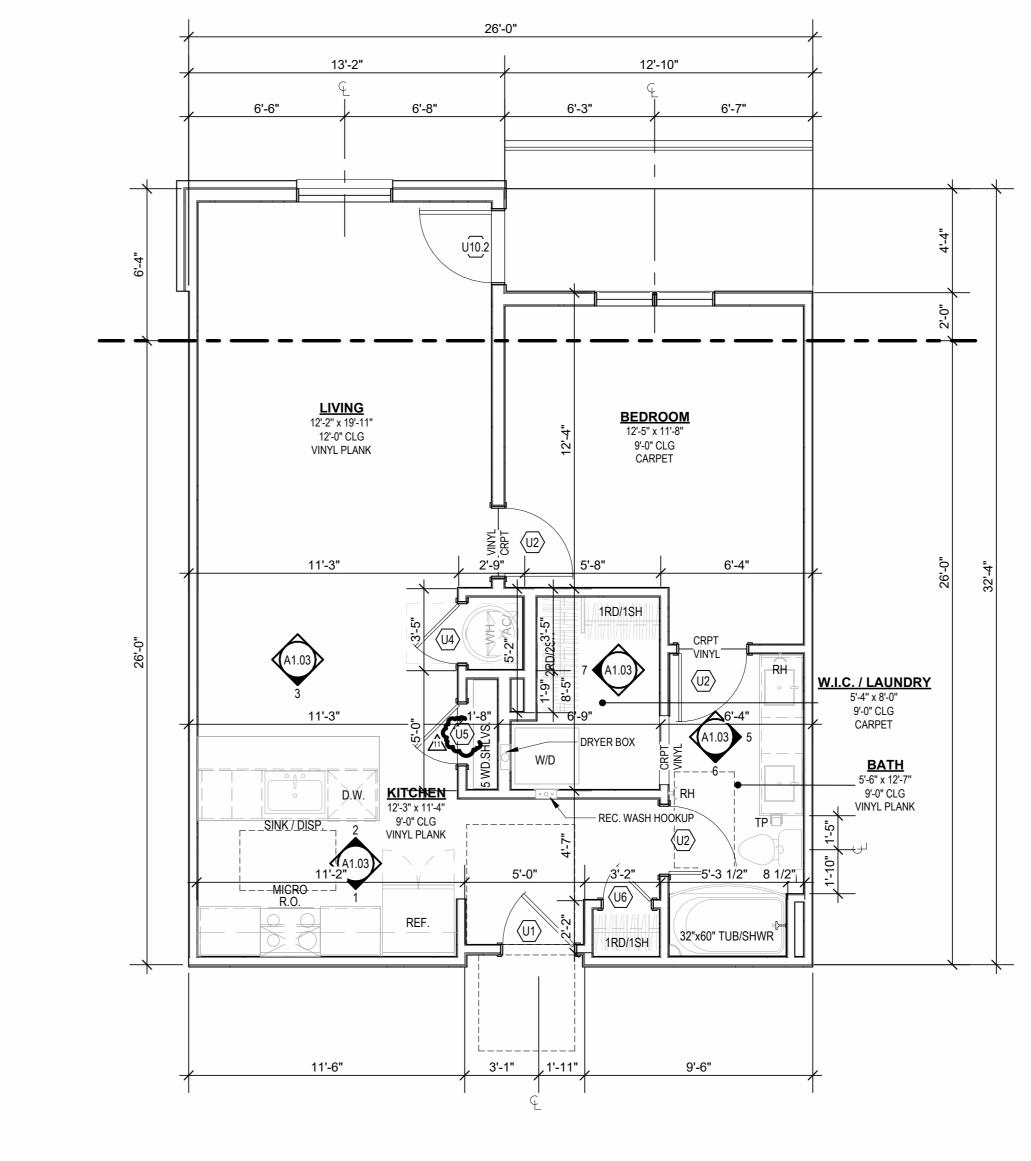
REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN

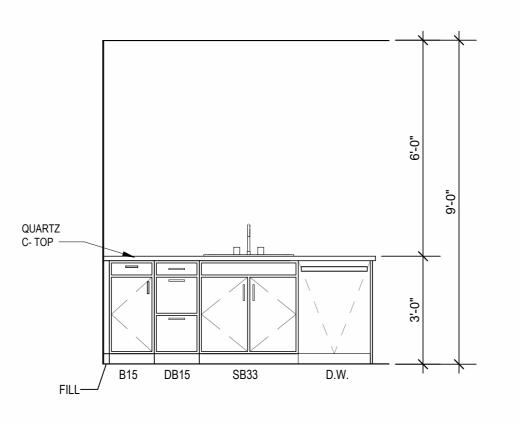
6'-8" 6'-8" 5'-11" C UNIT A3 ALT



B UNIT A3 - 4TH FLOOR RCP

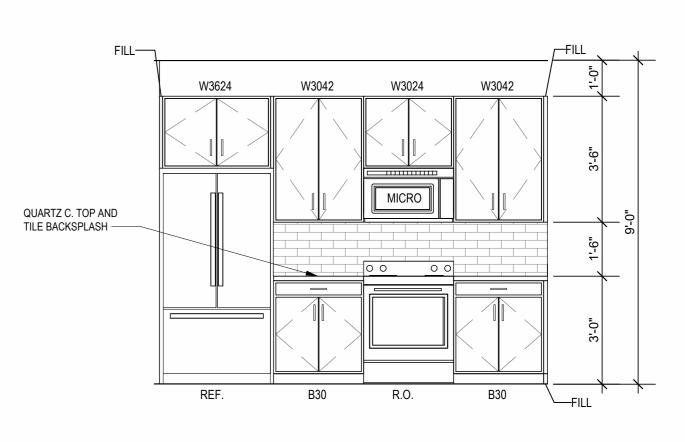


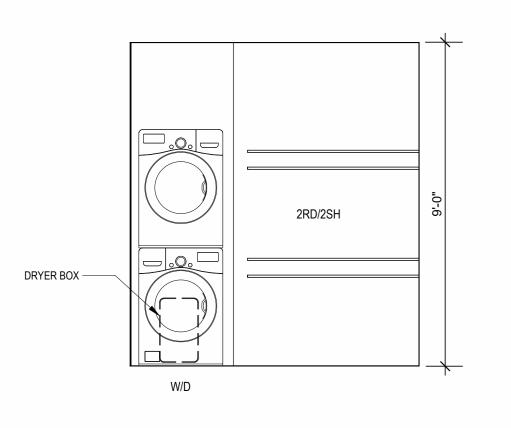
A UNIT A3



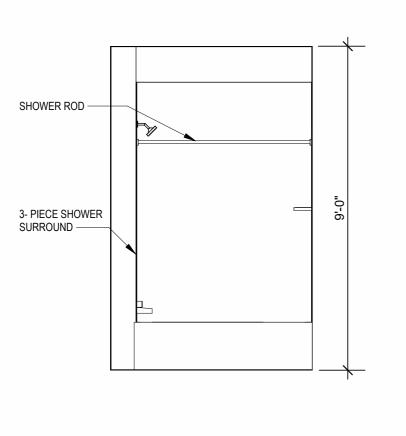
INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

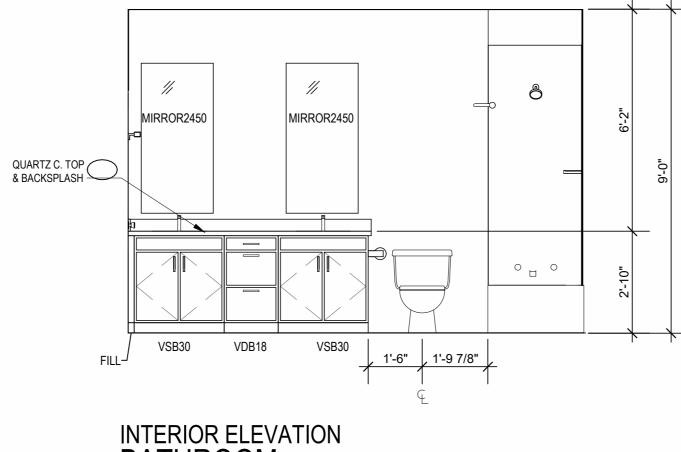






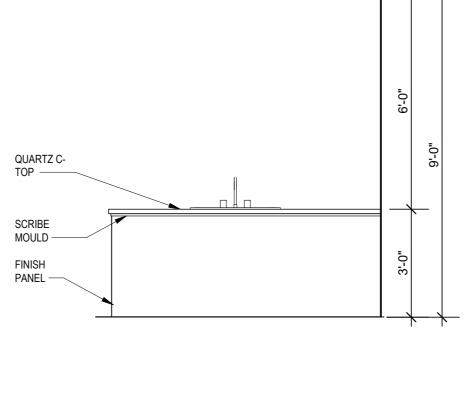






INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"



INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY

ASI #6
SHEET NAME
UNIT A3 PLANS

9/15/2023

 \triangle REVISIONS

7 23 0714 ASI 3 11 23 1103 ASI 7

NOT FOR CONSTRUCTION

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS AT FENESTRATION CONDITIONS.

FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.

ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND

LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

12' - 0" CLG.

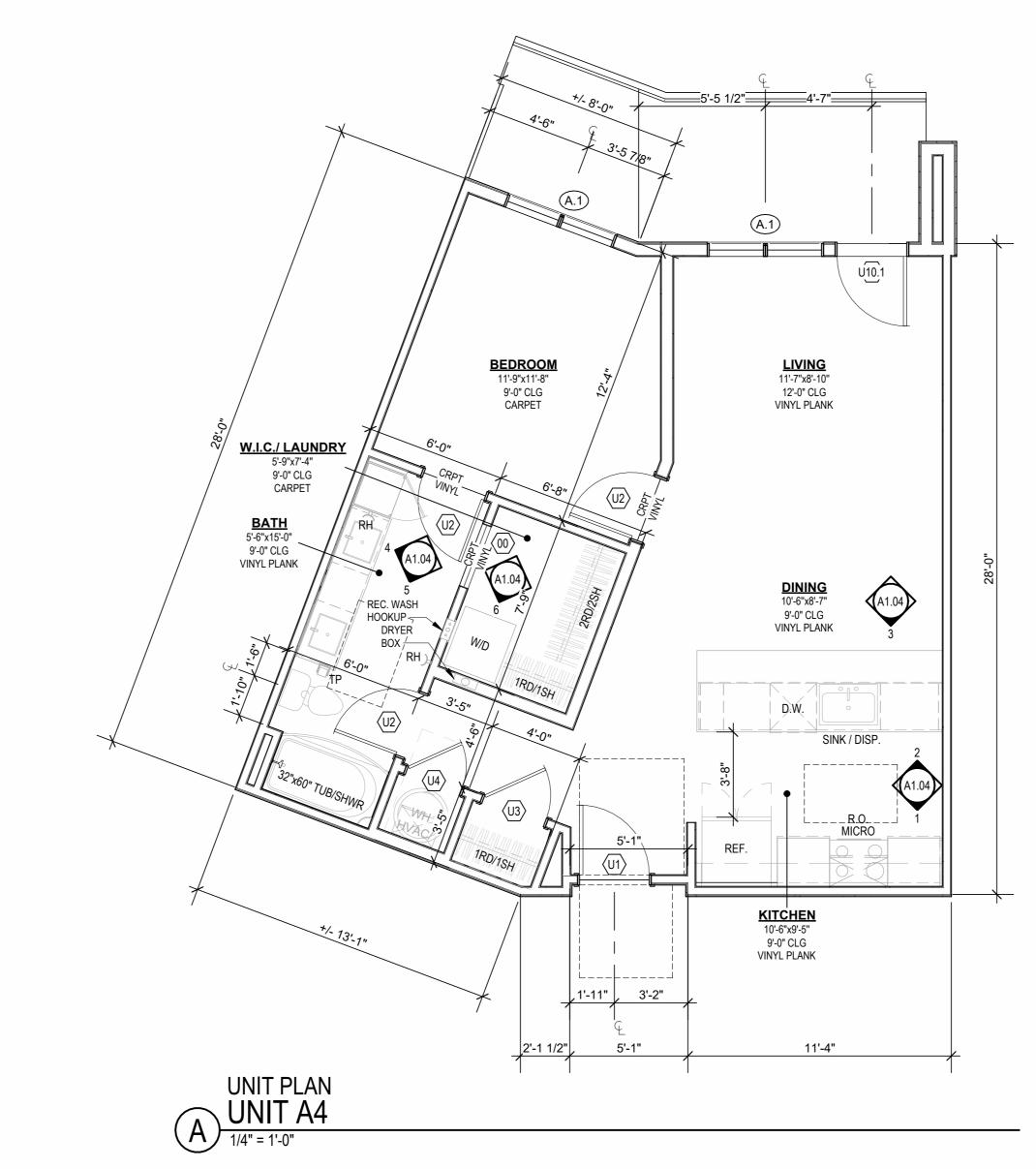
9' - 0" CLG.

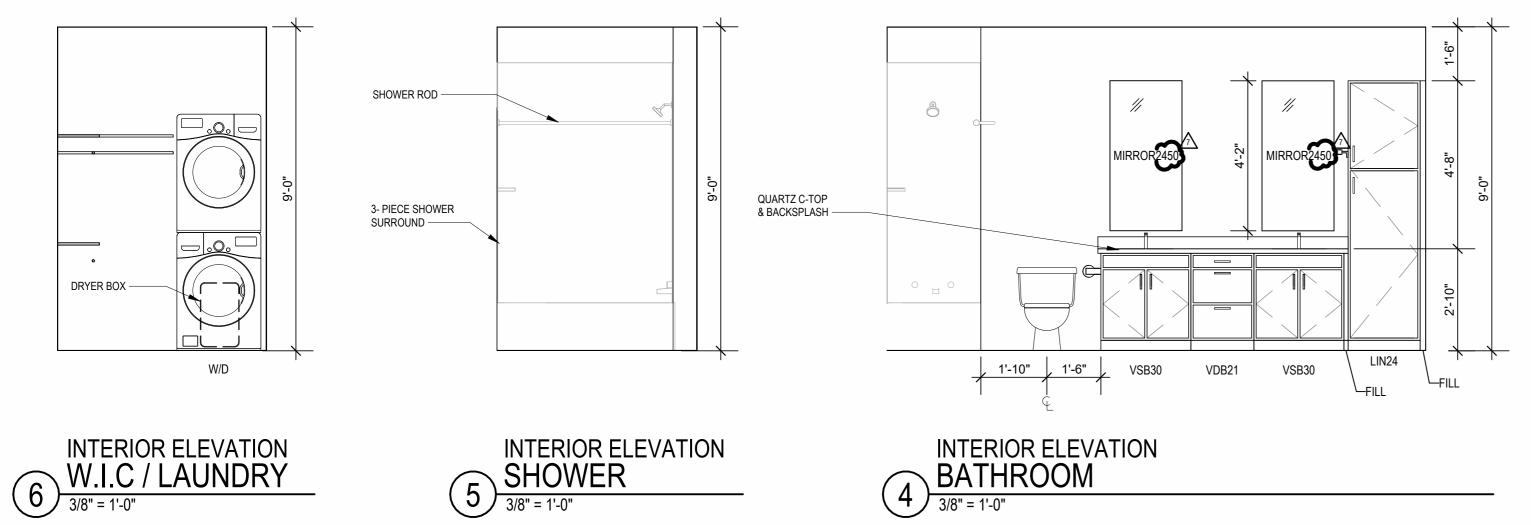
REFLECTED CEILING PLAN
UNIT A4 - 4TH FLOOR RCP

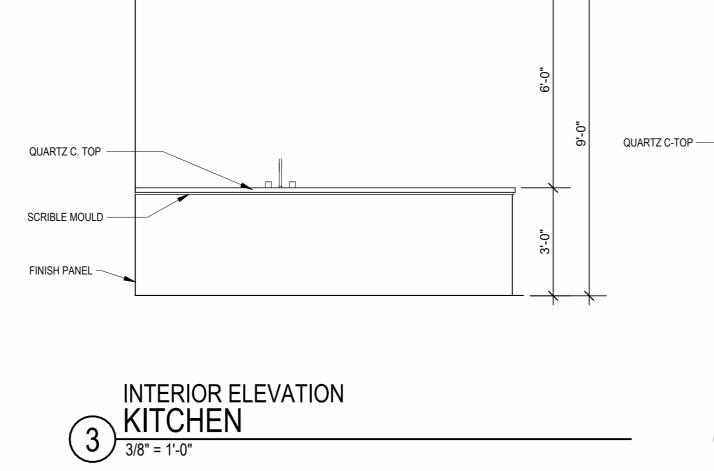
1/4" = 1'-0"

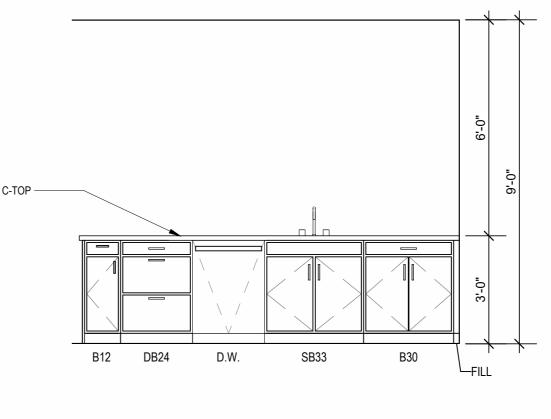
9' - 0" CLG.

9' - 0" CLG.



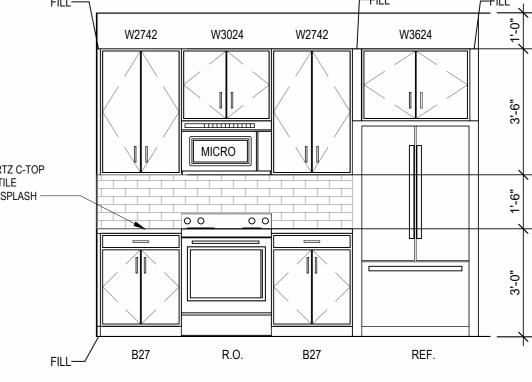






INTERIOR ELEVATION KITCHEN ISLAND

3/8" = 1'-0"



QUARTZ C-TOP AND TILE BACKSPLASH —

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY 6/9/2023 ASI #1 SHEET NAME
UNIT A4 PLANS

 \triangle REVISIONS

NOT FOR CONSTRUCTION

LEE'S SUMMIT, MO

ARD RD.

UNIT PLAN GENERAL NOTES:

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. 2406. SEE PLANS FOR LOCATIONS.

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. FINISH STRIP.

FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

RETURNS ON JAMBS & HEAD. SURFACE THEY ARE APPLIED TO. PANELS WHERE EXPOSED. LINES AND VAULTED CEILING INFORMATION.

EXACT MATCH CANNOT BE MADE.

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN UNIT B1 ALT 39'-0" 13'-4" 12'-10" 6'-7" LIVING 10'-0" x 12'-10" 12'-0" CLG VINYL PLANK **DINING** 8'-3"x12'-4" 9'-0" CLG 12'-0" CLG VINYL PLANK VINYL PLANK 13'-4" DRYER BOX — 1RD/1SH KITCHEN 14'-3"x12'-9" 9'-0" CLG VINYL PLANK 29'-6" UNIT PLAN
UNIT B1

1/4" = 1'-0"

12'-10"

REFLECTED CEILING PLAN
UNIT B1 - 4TH FLOOR RCP

1/4" = 1'-0"

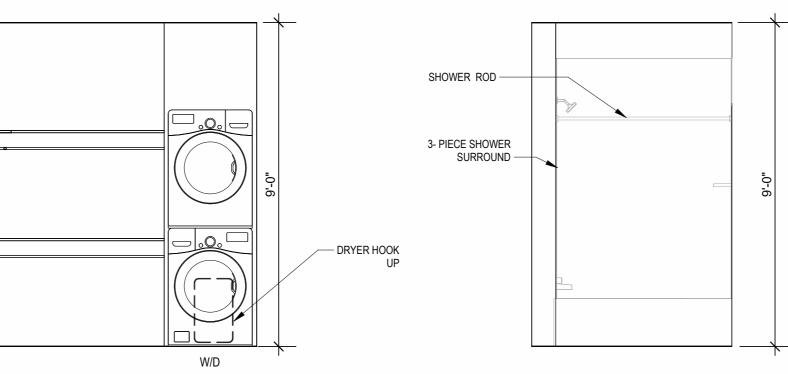
9' - 0" CLG.

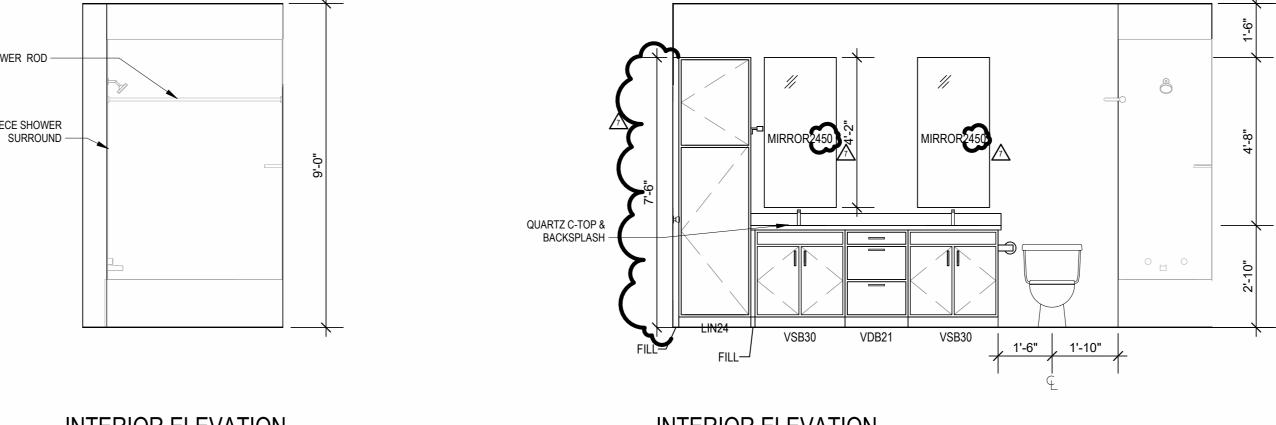
9' - 0" CLG.

12' - 0" CLG.

9' - 0" CLG.

9' - 0" CLG.





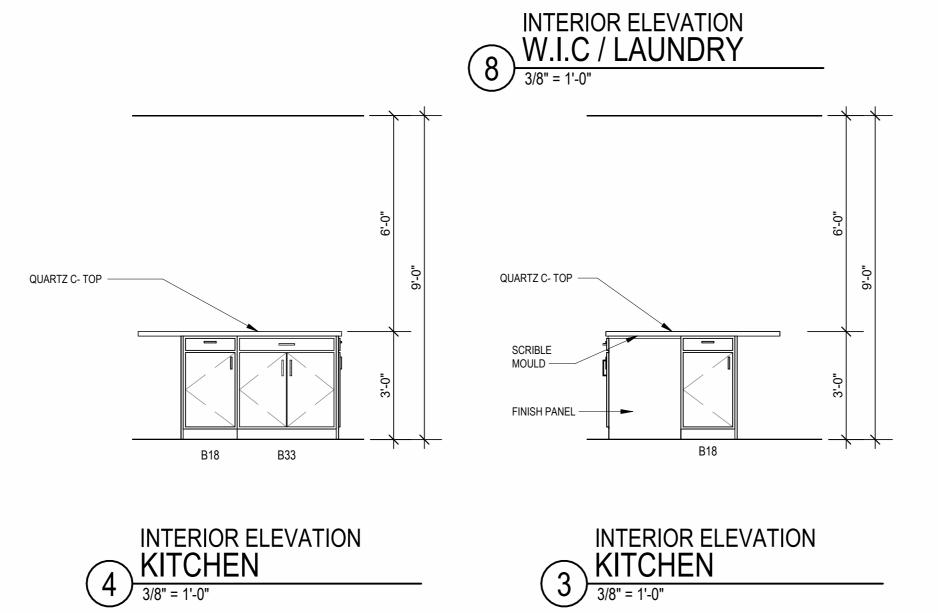
13'-4"

12'-10"

BEDROOM 12'-5"x11'-8"

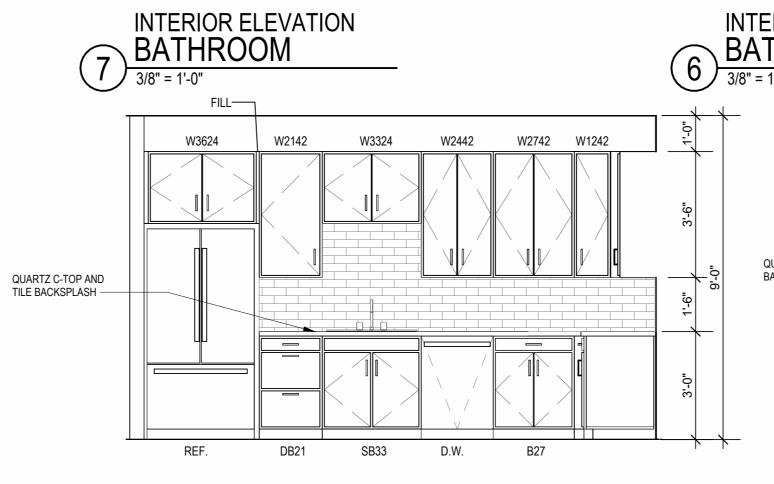
BATH_ 5'-6"x14'-11"

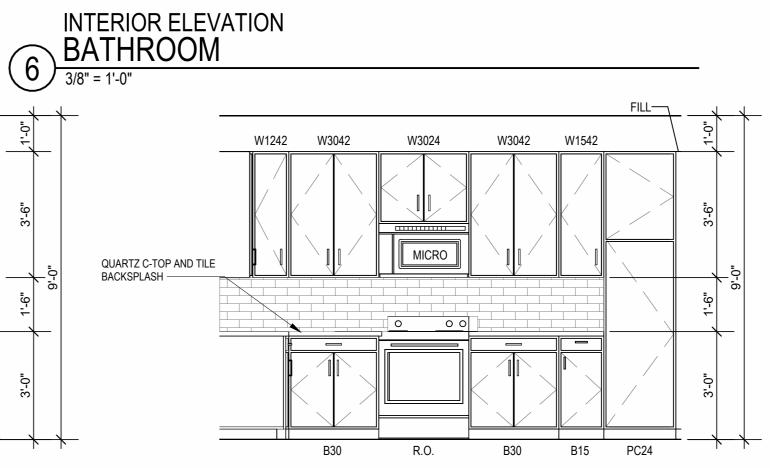
9'-0" CLG VINYL PLANK



9' - 0" CLG.

9' - 0" CLG.





INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

 \triangle REVISIONS 7 23 06XX ASI 3

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023

ASI #1 SHEET NAME UNIT B1 PLANS

LEE'S SUMMIT, MO

AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

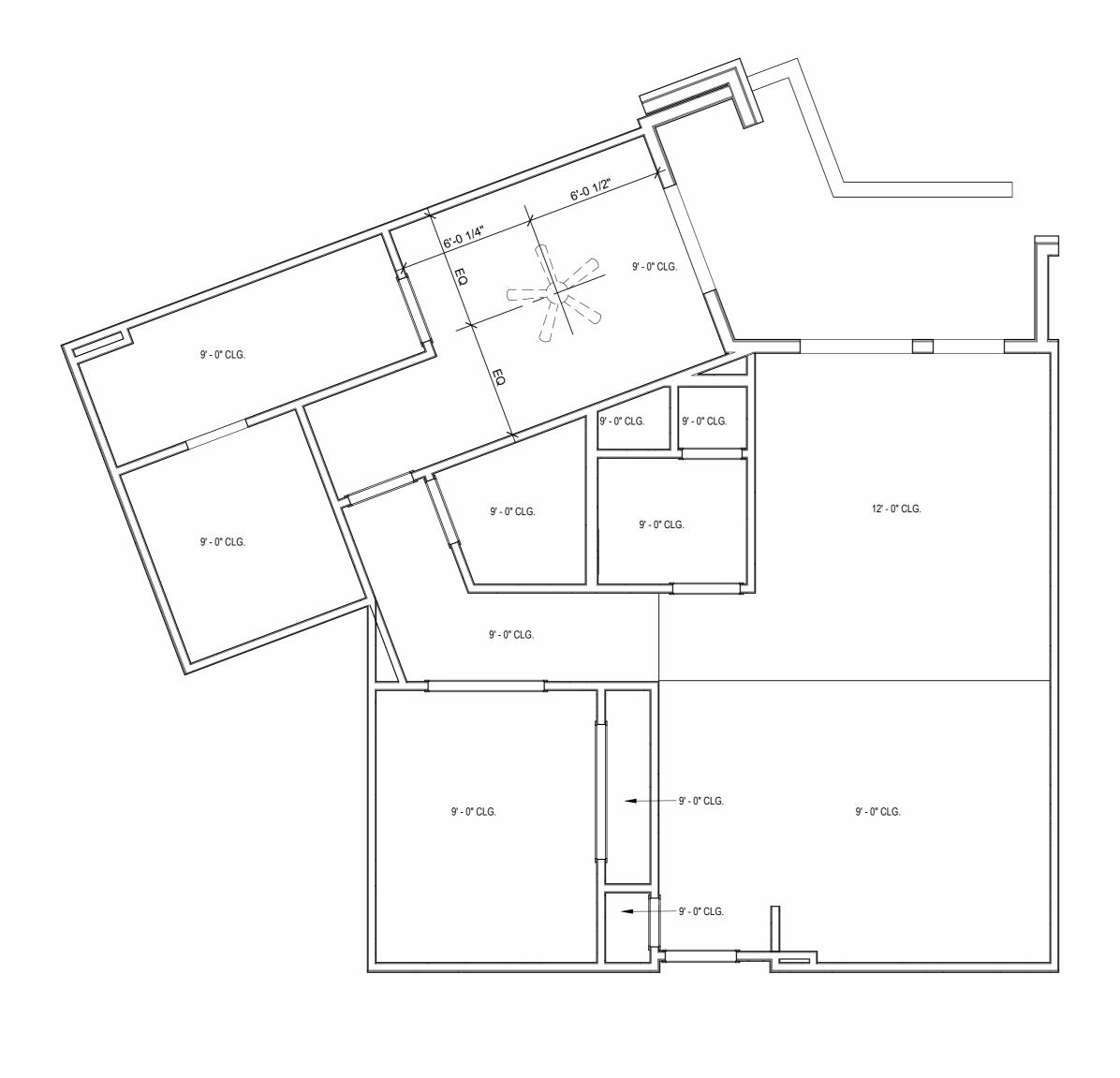
REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS

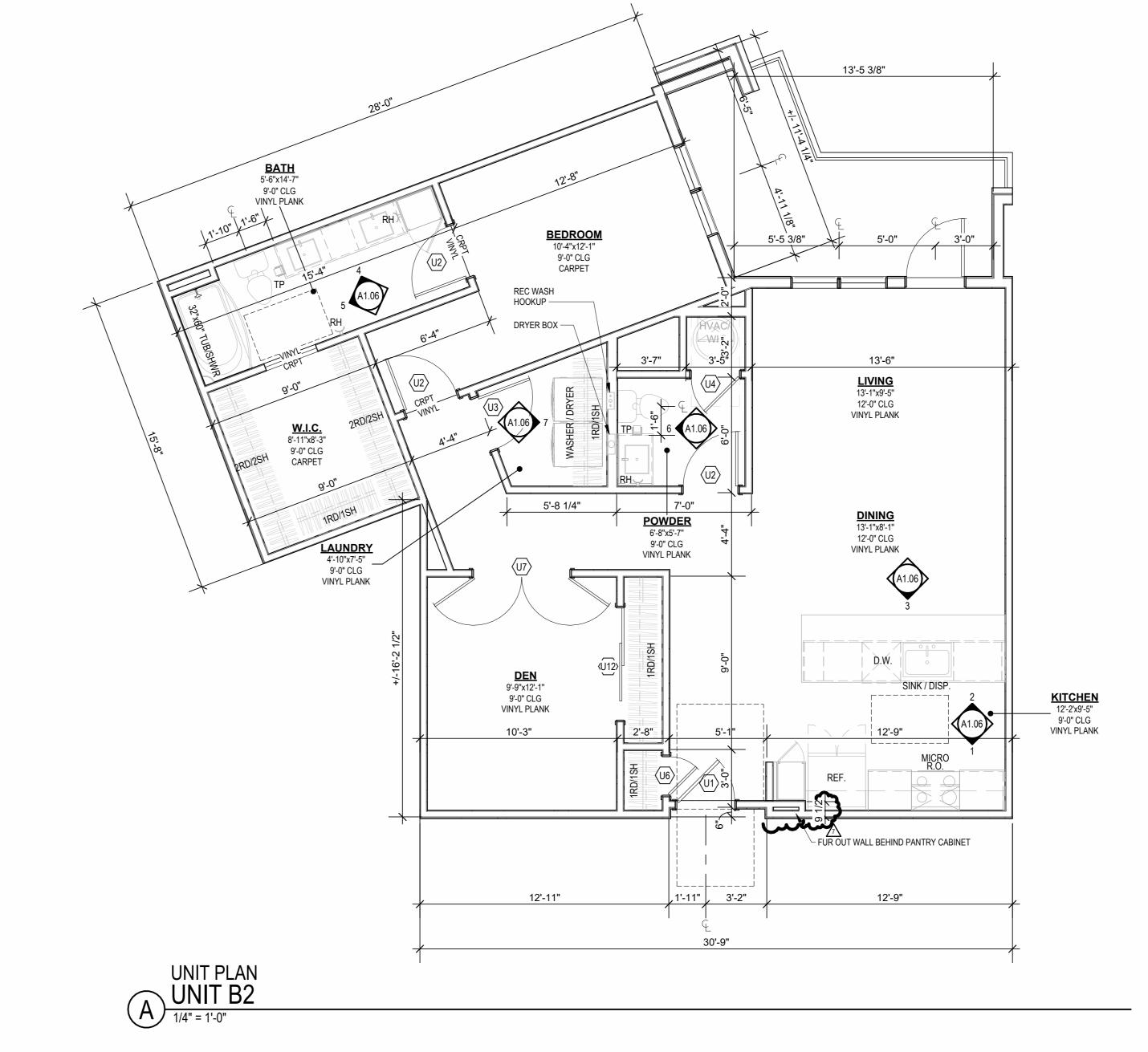
REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND

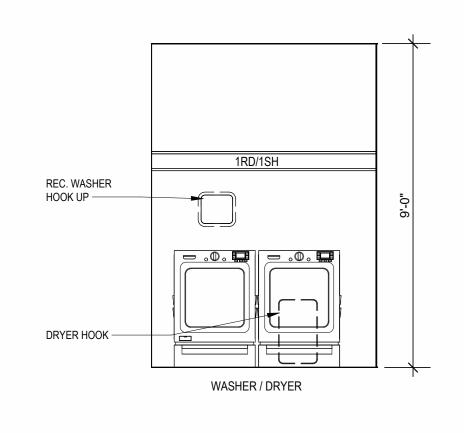
LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

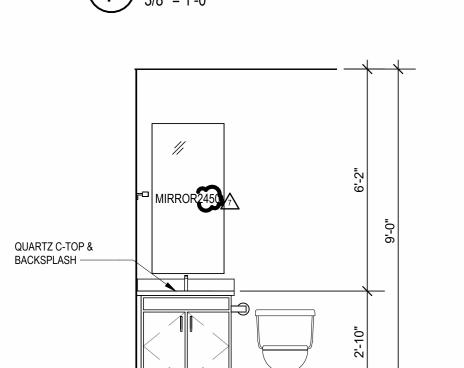


REFLECTED CEILING PLAN
UNIT B2 - 4TH FLOOR RCP

1/4" = 1'-0"



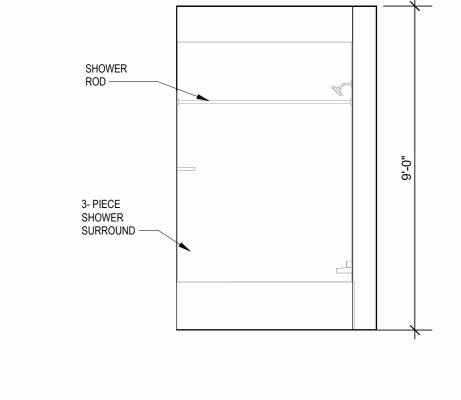


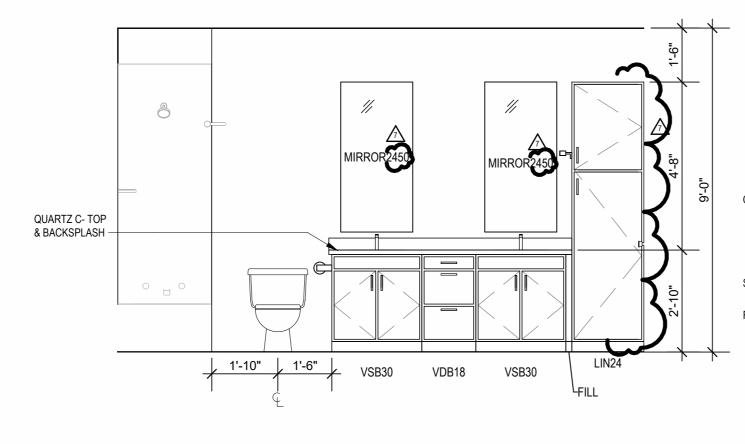


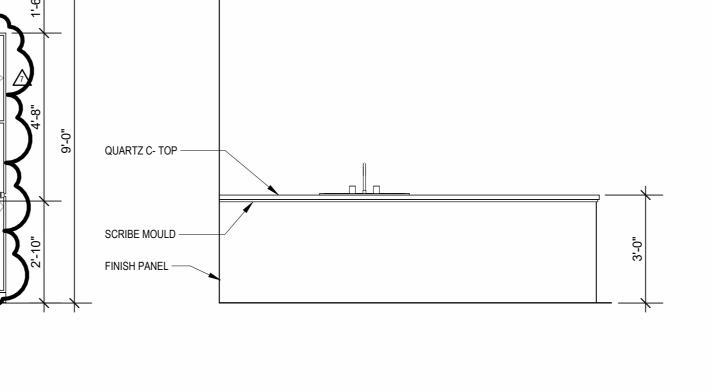
VSB30

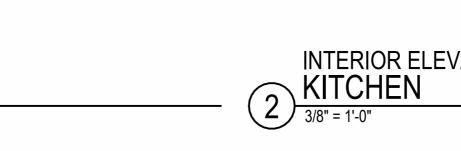
6 INTERIOR ELEVATION POWDER ROOM

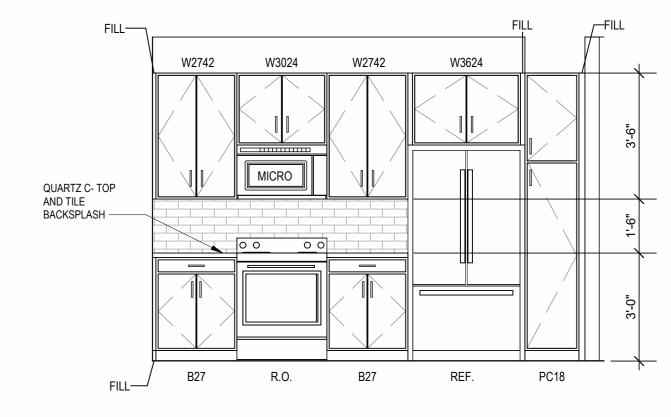
3/8" = 1'-0"











INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

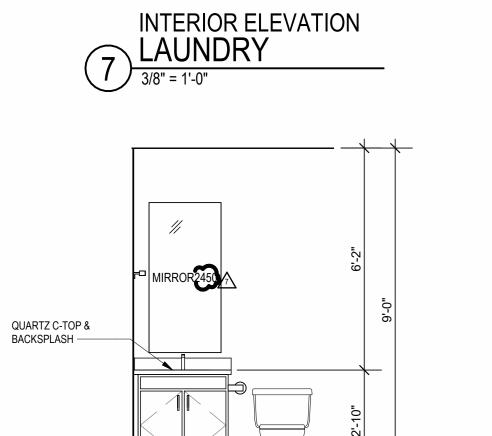
 \triangle REVISIONS 7 23 06XX ASI 3

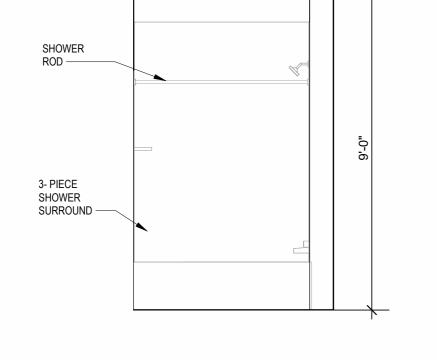
DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

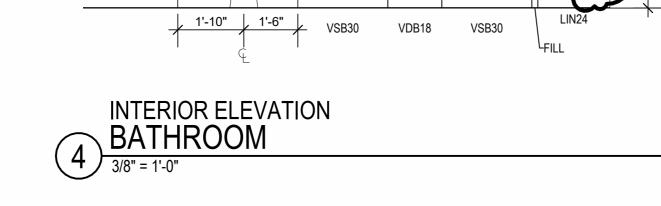
DATE **03.15.2023** ЈОВ NO. **705921 DRAWN BY** TSC/SIW 6/9/2023

ASI #1 SHEET NAME
UNIT B2 PLANS











D.W.

SB33

B30

QUARTZ C- TOP -

B12 DB24

UNIT PLAN GENERAL NOTES:

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING
DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

CABINET.

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.

DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.

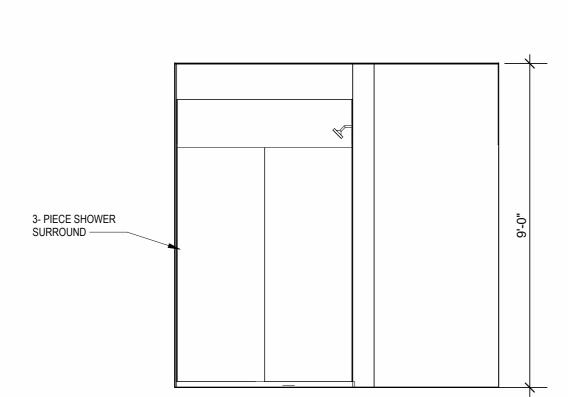
REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO

MATCH ADJACENT FIXTURE FINISH.

FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

12'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG

B UNIT B3 - 4TH FLOOR RCP



7 INTERIOR ELEVATION LAUNDRY

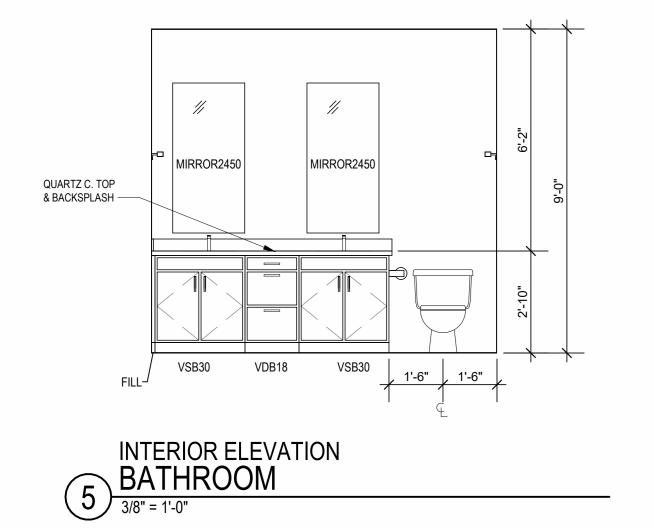
3/8" = 1'-0"

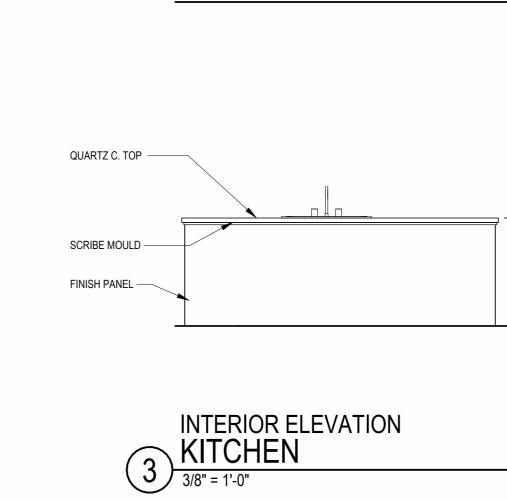
WASHER / DRYER

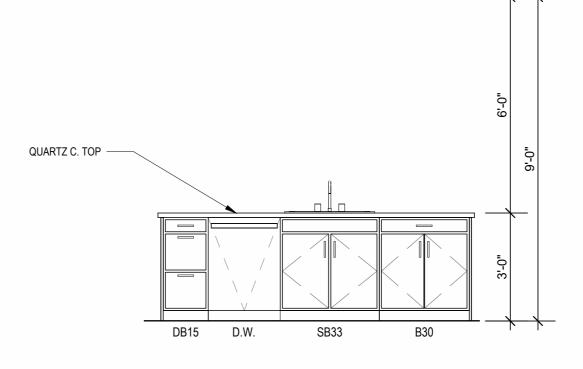
REC. WASH HOOKUP —



NOT USED







+/- 24'-10"

6'-9"

LIVING 12'-2" x 17'-9" 12'-0" CLG

VINYL PLANK

KITCHEN 17'-6" x 13'-5" 9'-0" CLG VINYL PLANK

D.W.

SINK / DISP.

6'-5"

+/- 11'-8"

9'-0"

9'-0" CLG

VINYL PLANK

- REC. WASH

HOOKUP

BOX

8'-3" x 8'-5"

9'-0" CLG VINYL PLANK

BEDROOM 12'-2" x 12'-6"

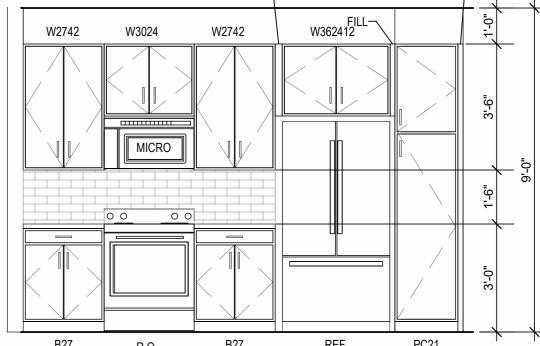
12'-0" CLG CARPET

A UNIT B3

BATH 8'-8" x 9'-7" 9'-0" CLG VINYL PLANK

+/- 6'-11"





PC21 B27 REF.

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

LEE'S SUMMIT,

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ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 9/15/2023 ASI #6 SHEET NAME
UNIT B3 PLANS

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.

ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

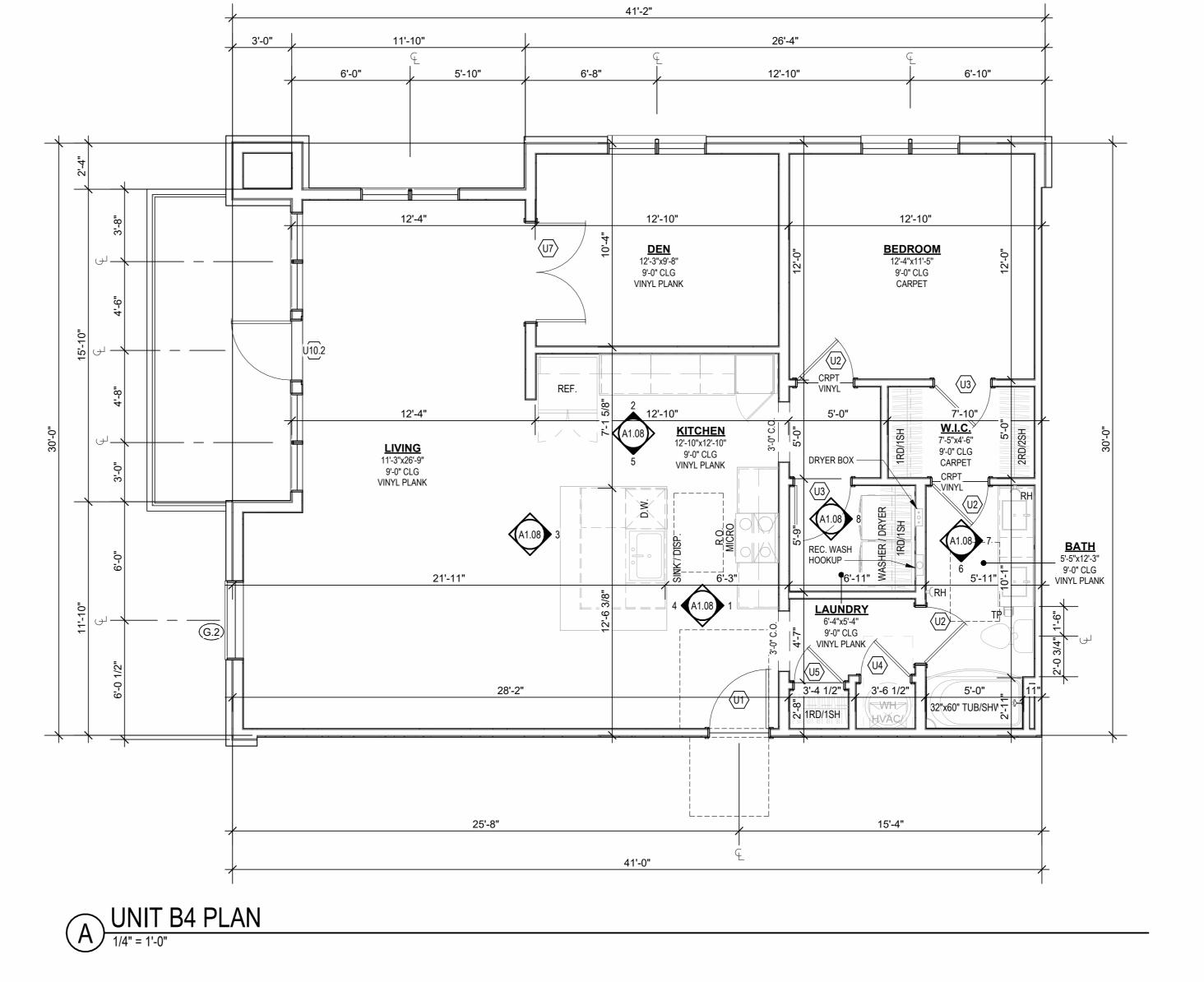
ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

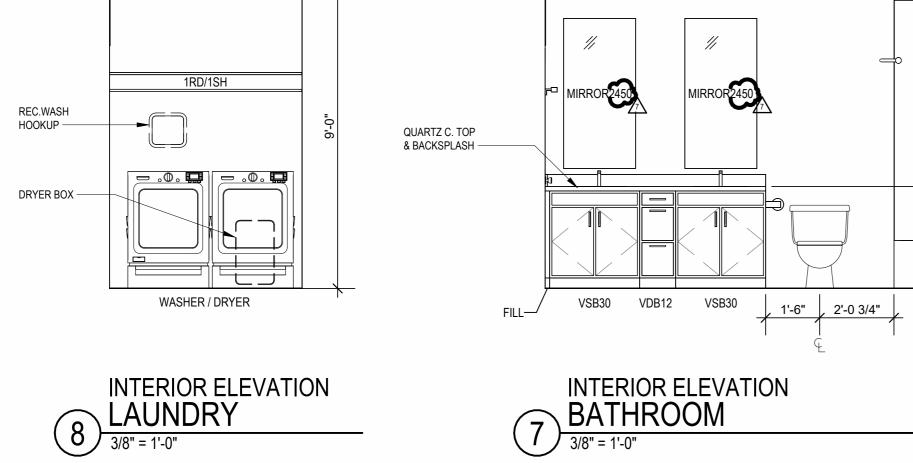
RETURNS AT FENESTRATION CONDITIONS.

ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

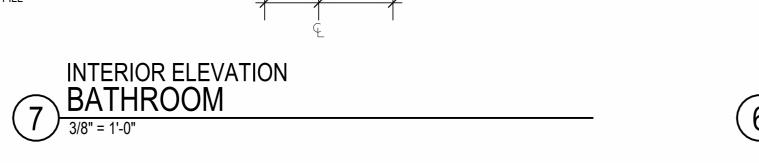


B UNIT B4 - RCP

SHOWER ROD — 3- PIECE SHOWER SURROUND -



9' - 0" CLG.



QUARTZ C- TOP -

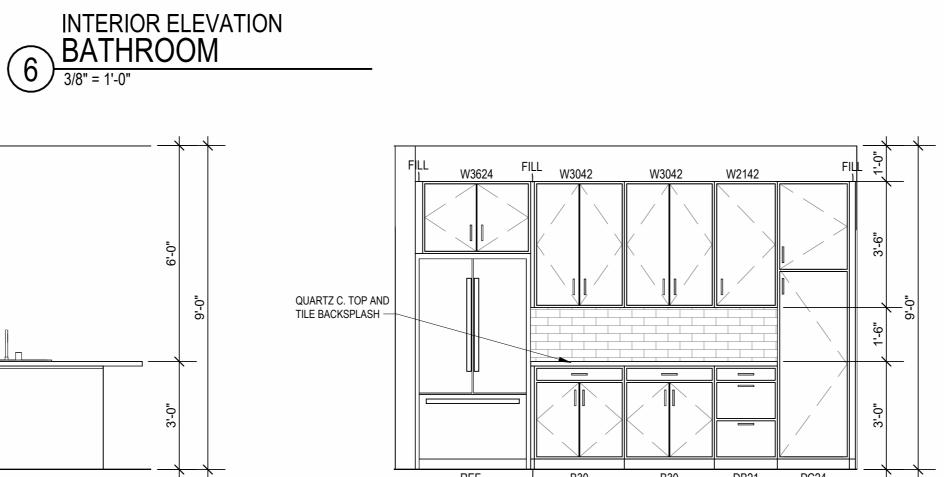
SCRIBE MOULD —

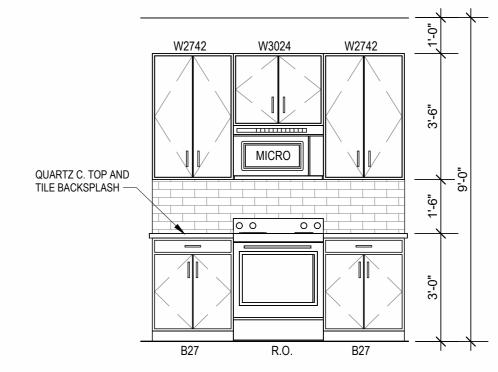
FINISH PANEL —

9'-0" CLG.

9' - 0" CLG. 9' - 0" CLG.

9' - 0" CLG.





QUARTZ C-TOP — INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

QUARTZ C- TOP —

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

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LEE'S SUMMIT,

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 ASI #1

SHEET NAME
UNIT B4 PLANS

SHOWER ROD —

3- PIECE SHOWER

INTERIOR ELEVATION
MASTER BATHROOM

3/8" = 1'-0"

QUARTZ C-TOP —

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

SURROUND -

REC.WASH

HOOKUP —

DRYER BOX —

INTERIOR ELEVATION LAUNDRY

3/8" = 1'-0"

QUARTZ C-TOP &

BACKSPLASH —

SB33

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

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ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS &

FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND

LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

FINISH STRIP.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS ON JAMBS & HEAD.

SURFACE THEY ARE APPLIED TO.

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

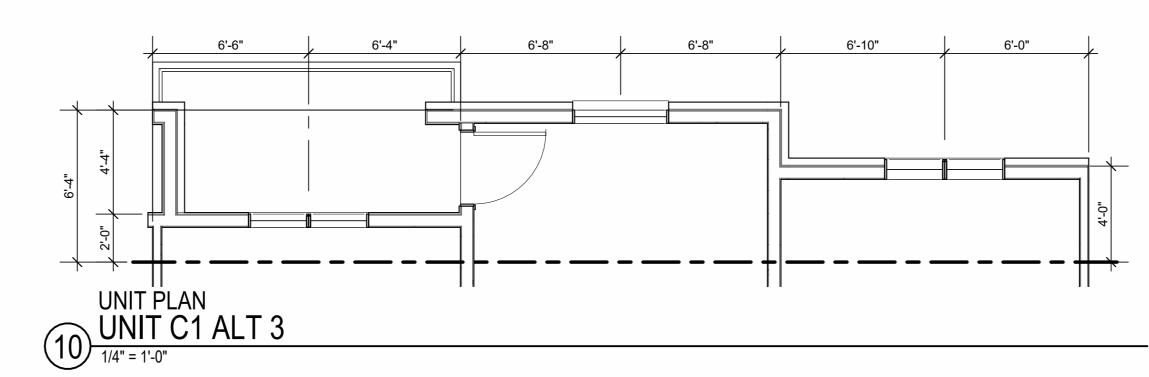
REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

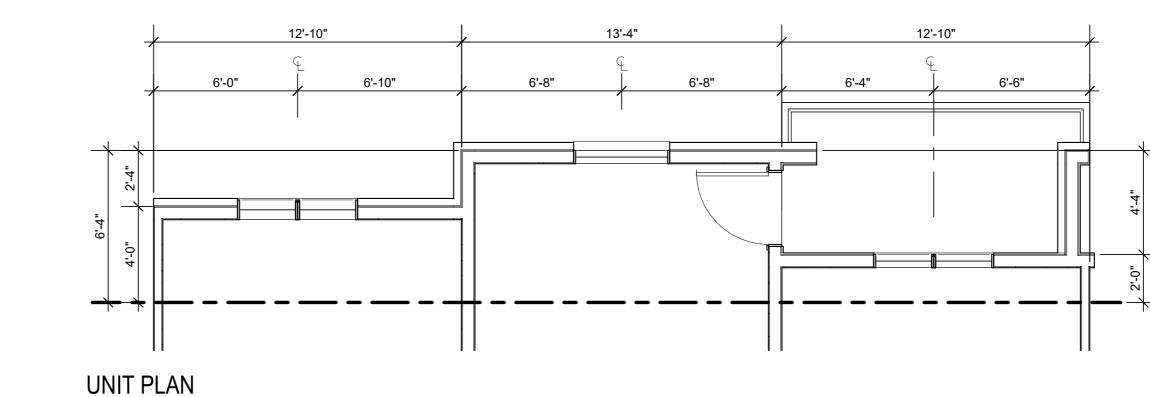
REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

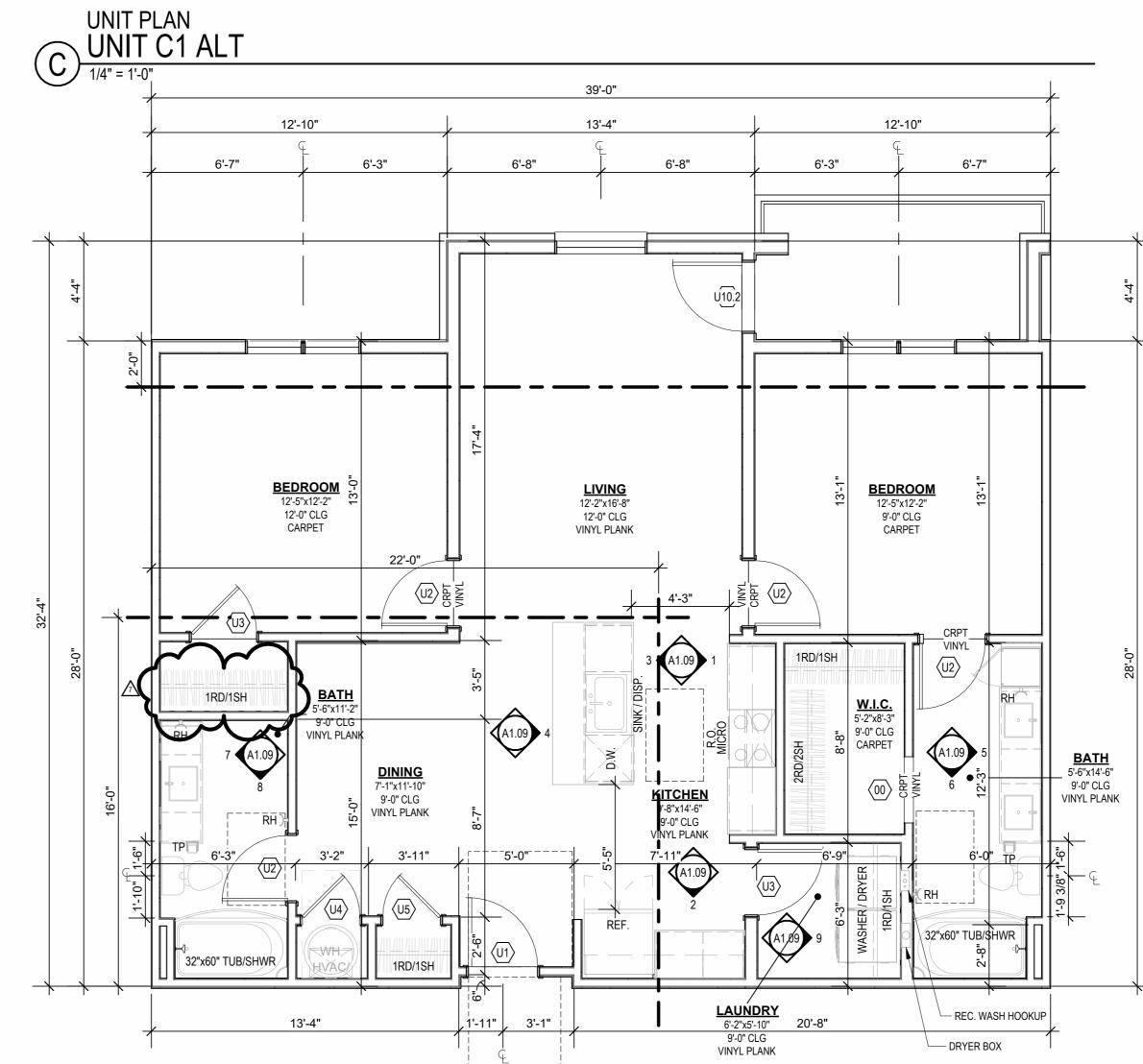
18'-4" <u>UNIT C1 ALT 2</u>

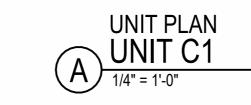
1/4" = 1'-0" OCCURS AT UNITS: BUILDING 1 - 349 & 449 BUILDING 2 - 343 & 443

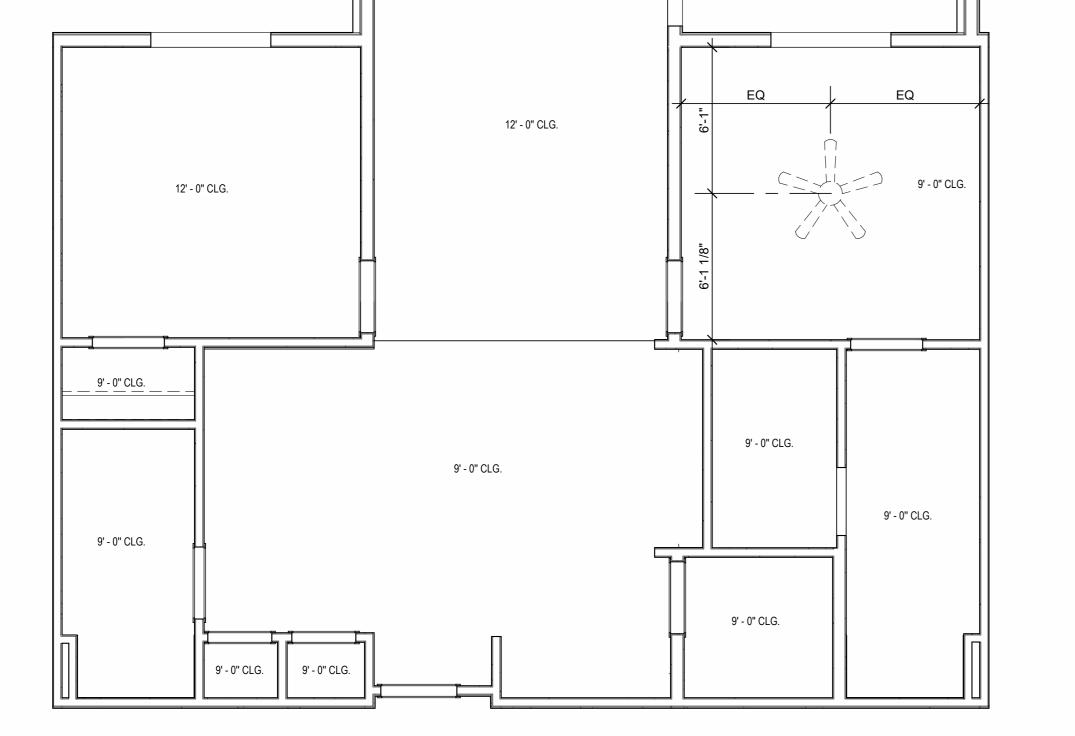
BATH











SHOWER ROD —

3- PIECE SHOWER SURROUND ----

VSB30 VDB18 VSB30 1'-6" 1'-10"

W2142 W2442

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION

MASTER BATHROOM

3/8" = 1'-0"

QUARTZ C-TOP & BACKSPLASH ——

8 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

0 0

QUARTZ C-TOP &

QUARTZ C-TOP -

SCRIBE MOULD -

FINISH PANEL —

QUARTZ C-TOP AND TILE BACKSPLASH —

VSB30 VB15 VSB30 VB15

7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

W3024

BACKSPLASH —

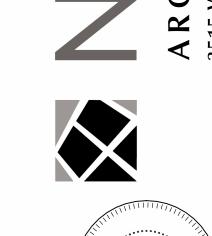
REFLECTED CEILING PLAN
UNIT C1 - 4TH FLOOR RCP

1/4" = 1'-0"

1 23 0411 CITY COMMENTS 1 7 23 06XX ASI 3

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ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 ASI #1 SHEET NAME
UNIT C1 PLANS



NOT FOR CONSTRUCTION

LEE'S SUMMIT, MO

ARD RD.

UNIT PLAN GENERAL NOTES: REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS

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DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED

ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

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9'-0" CLG

9'-0" CLG

9'-0" CLG

9'-0" CLG 9'-0" CLG

9'-0" CLG

9'-0" CLG

14'-0" BEDROOM 14'-2"x11'-10" **LIVING** 9'-8" x 12'-10" 12'-0" CLG VINYL PLANK 12'-0" CLG VINYL PLANK 9'-0" CLG CARPET 12'-2" D.W. 12'-0" CLG VINYL PLANK __SINK_LDISP. 12'-8" x 5'-8" 9'-0" CLG VINYL PLANK 11'-3" 5 WD.SHLVS. BEDROOM 10'-10"x11'-10" 12'-0" CLG CARPET 32"x60" TUB/SHWR 1RD/1SH — DRYER BOX REC. WASH **BATH** 9'-6" x 7'-8" 9'-0" CLG VINYL PLANK

37'-8"



12'-0" CLG

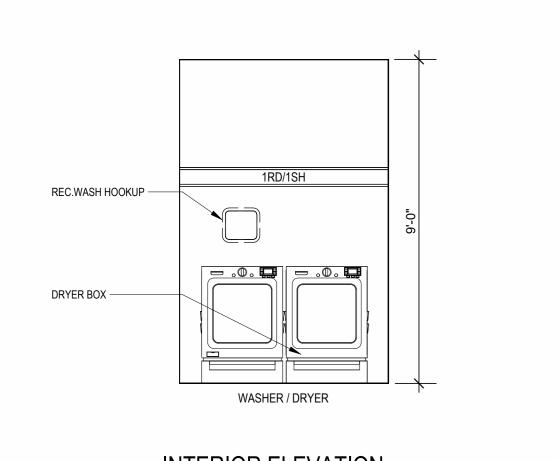
12'-0" CLG

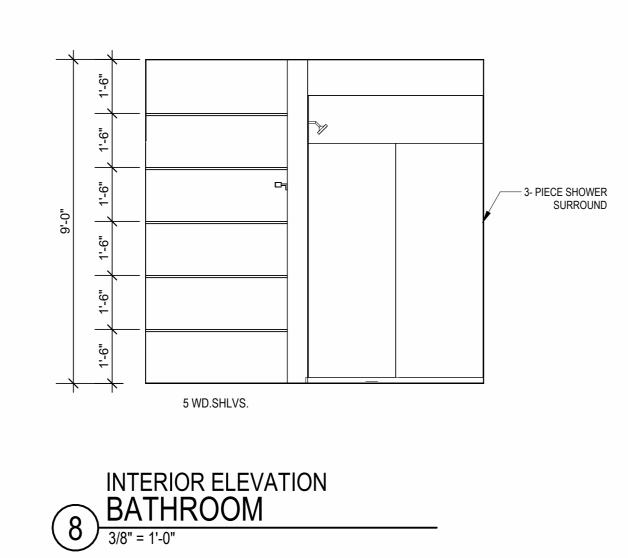
9'-0" CLG

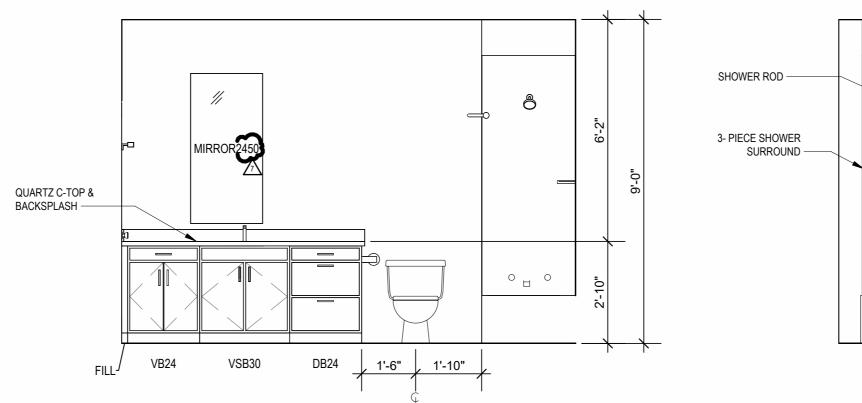
9'-0" CLG

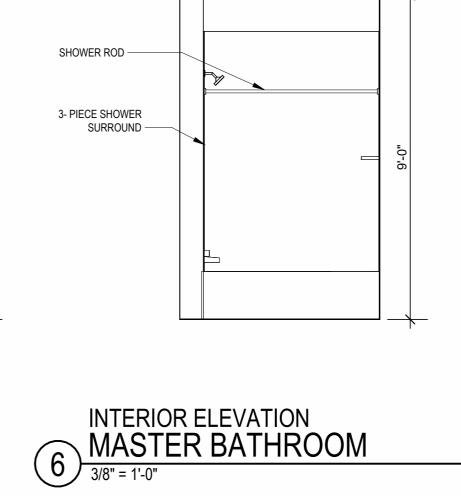
9'-0" CLG

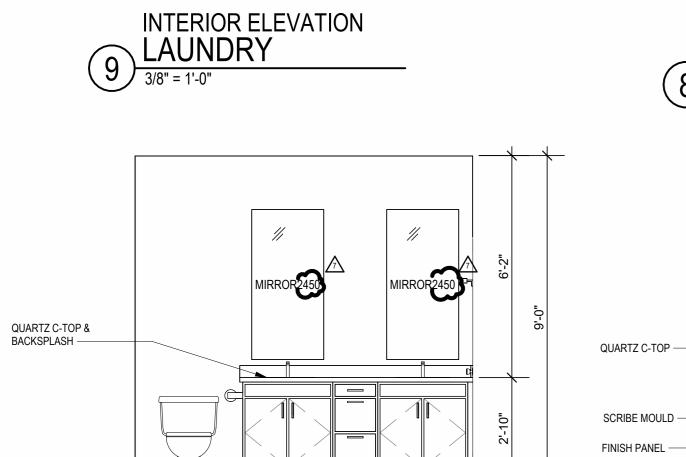
A UNIT C2









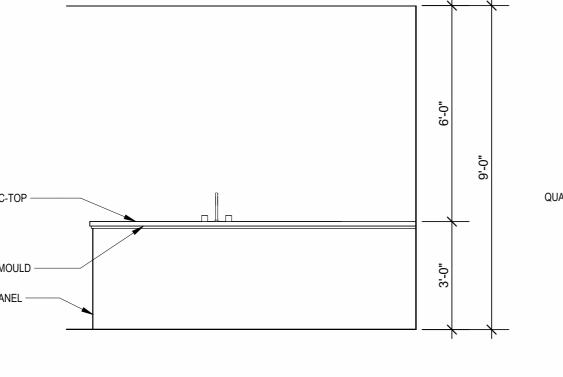


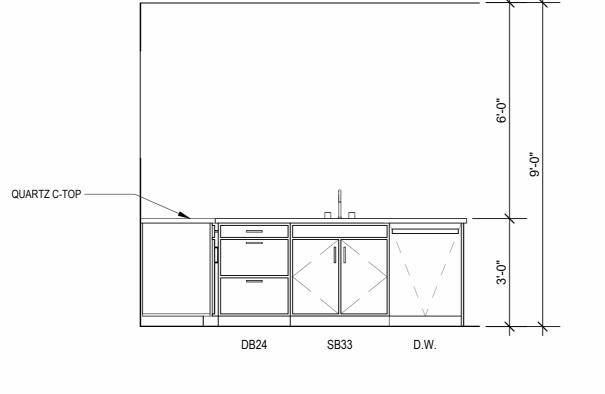
1'-6" 1'-6" VSB30 VDB15 VSB30

INTERIOR ELEVATION

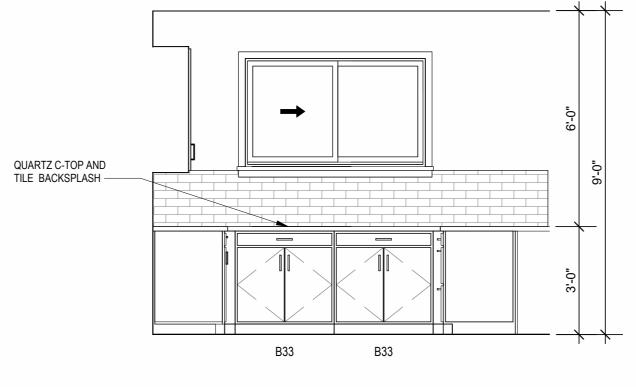
MASTER BATHROOM

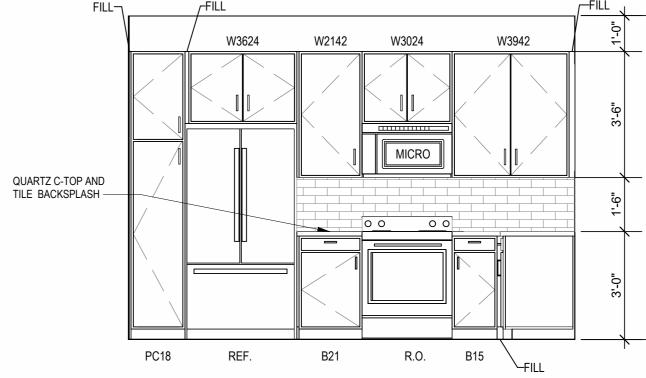
3/8" = 1'-0"





7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"





INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

03.15.2023

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

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ЈОВ NO. **705921**

6/9/2023

ASI #1

SHEET NAME UNIT C2 PLANS

DRAWN BY TSC/SIW

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. 22. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

RETURNS AT FENESTRATION CONDITIONS.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

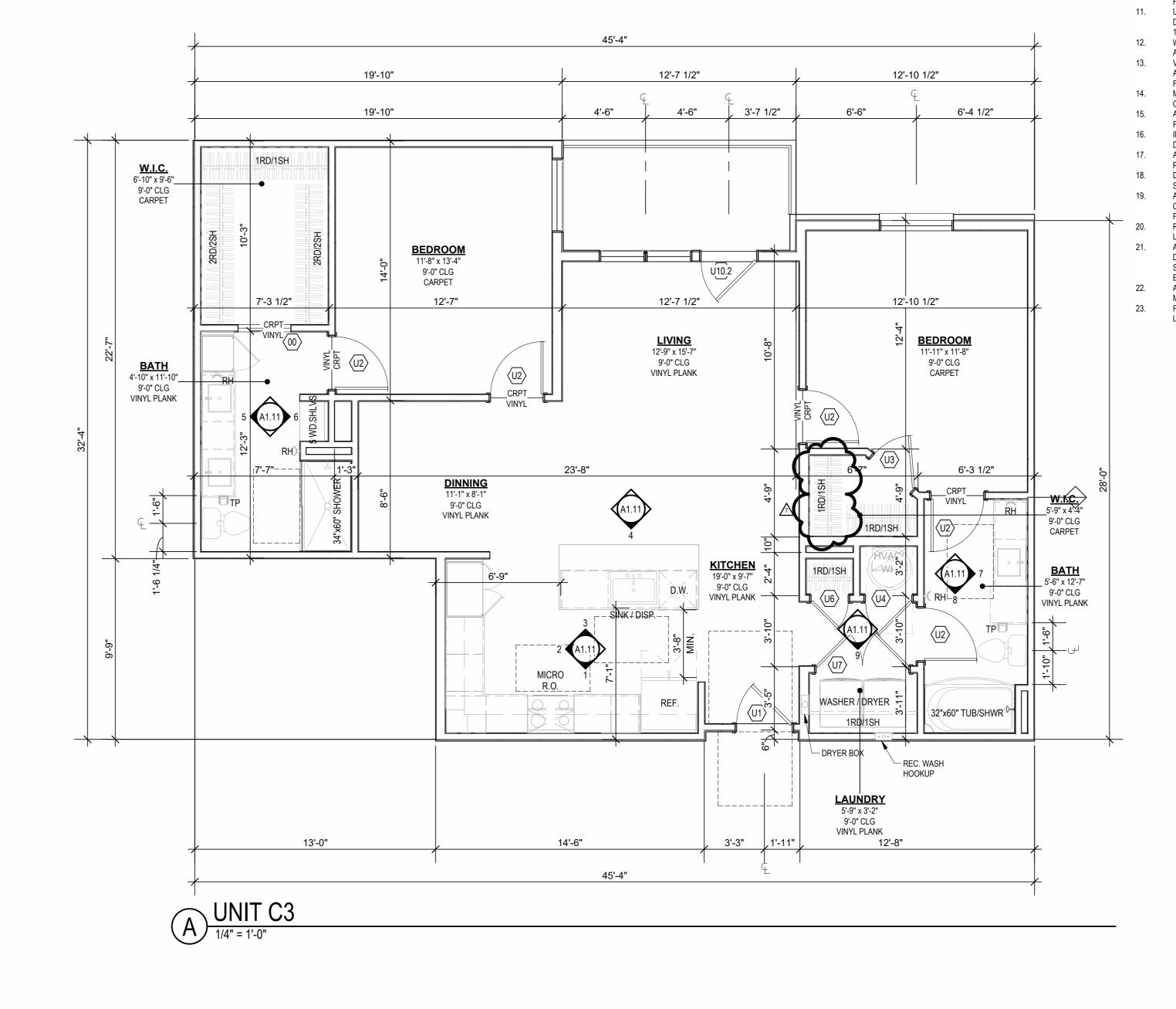
ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

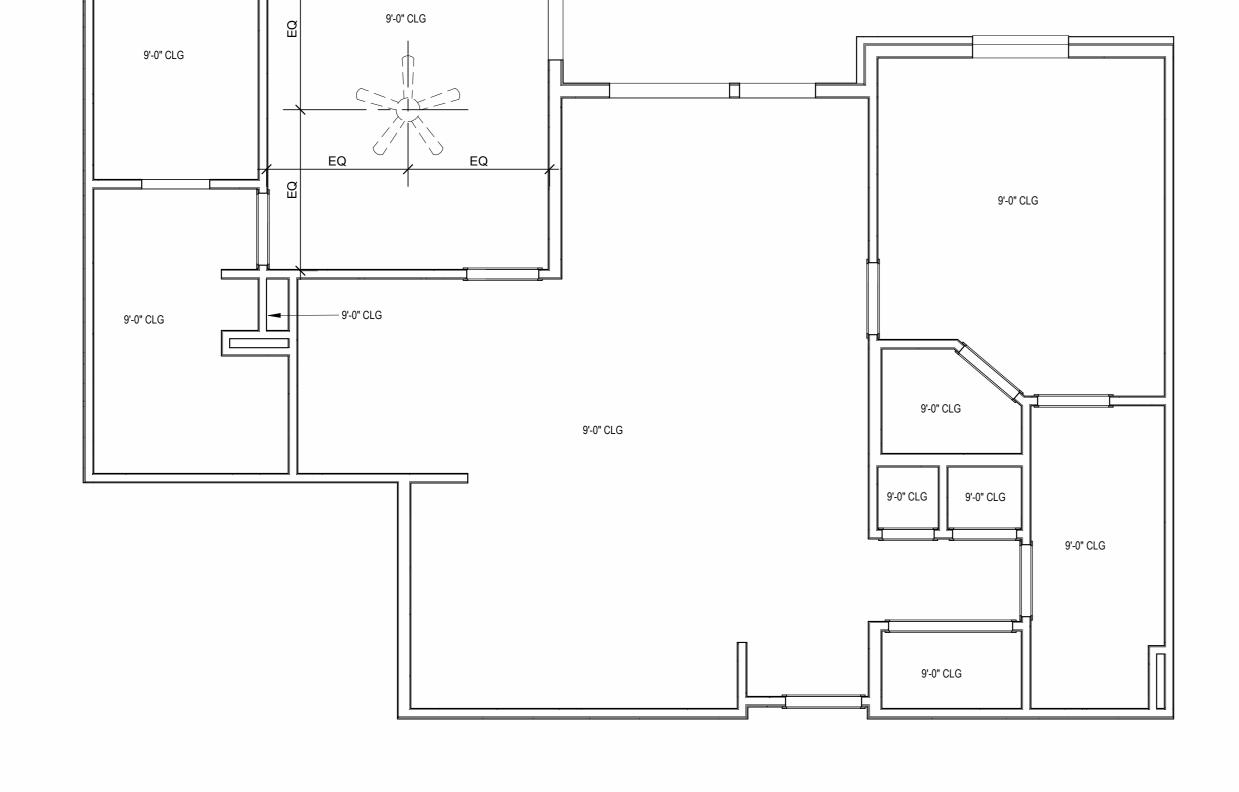
LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

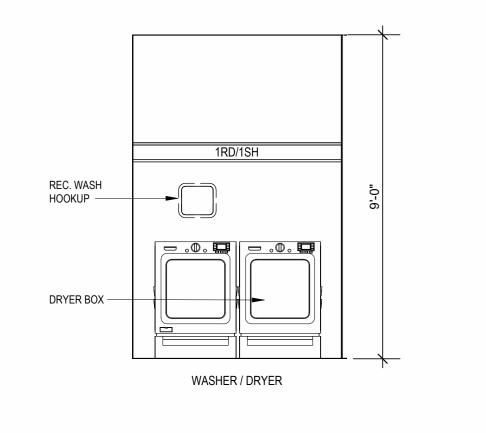
PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

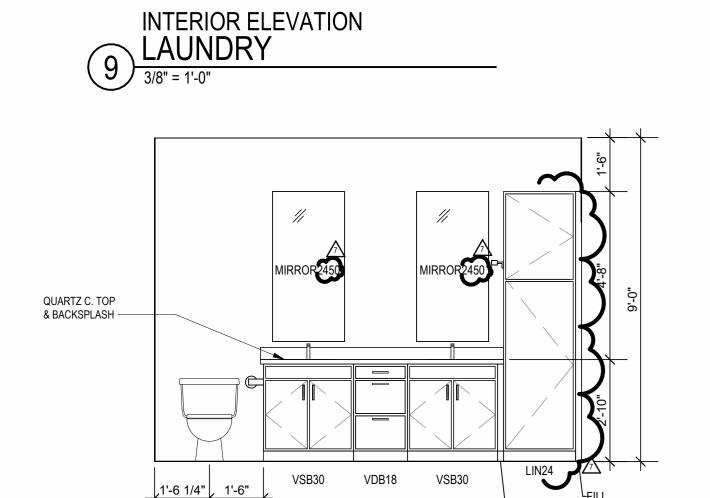
MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.



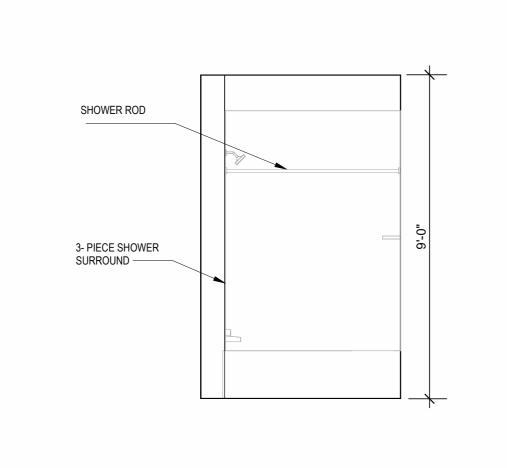


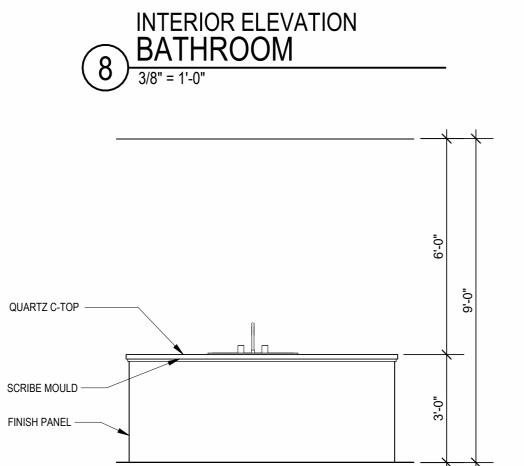
B UNIT C3 - RCP

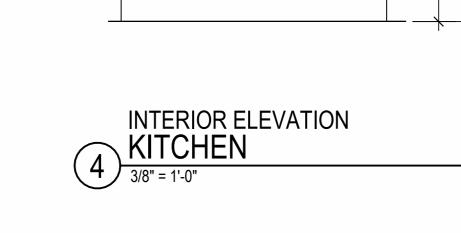




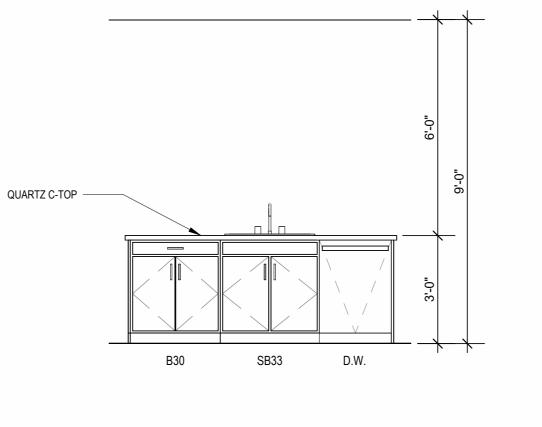


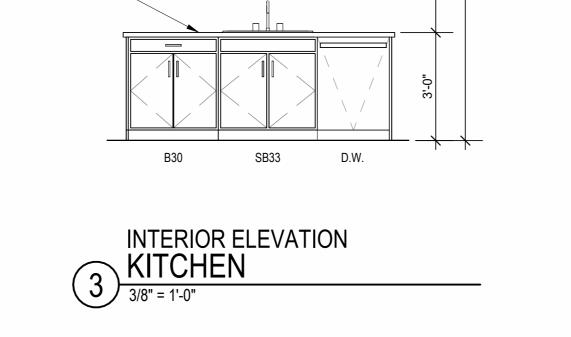


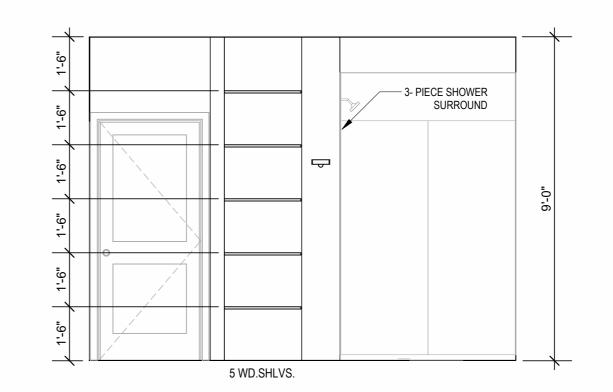






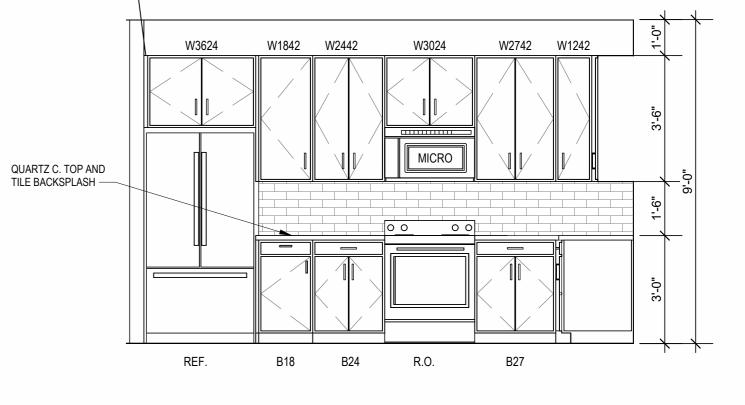












INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

 \triangle REVISIONS

LEE'S SUMMIT,

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 **ASI #1** SHEET NAME **UNIT C3 PLANS**



CONSTRUCTION

UNIT PLAN GENERAL NOTES:

ORIGINS AND THICKNESS.

INFORMATION.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL

4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

RETURNS AT FENESTRATION CONDITIONS.

EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

2406. SEE PLANS FOR LOCATIONS. +/- 34'-10 1/4" PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. 13'-2" 18'-2" ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE 11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING 6'-5" DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. 14. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. 16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. 17. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. 18. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE U10.2 SURFACE THEY ARE APPLIED TO. 19. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & 12'-0" CLG CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. 12'-0" CLG ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER VINYL PLANK DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O. 9'-6" x 14'-4" 12'-0" CLG VINYL PLANK BEDROOM 12'-4"x13'-5" 12'-0" CLG 32"x60" TUB/SHWR 9'-0" CLG VINYL PLANK WASHER / DRYER DRYER BOX W.I.C. 7'-10"x9'-7" 9'-0" CLG CARPET 9'-7" x 9'-7" 9'-0" CLG VINYL PLANK

12'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG 9'-0" CLG

B UNIT C4 - 4TH FLOOR RCP

1RD/1SH

INTERIOR ELEVATION LAUNDRY

3/8" = 1'-0"

INTERIOR ELEVATION

MASTER BATHROOM

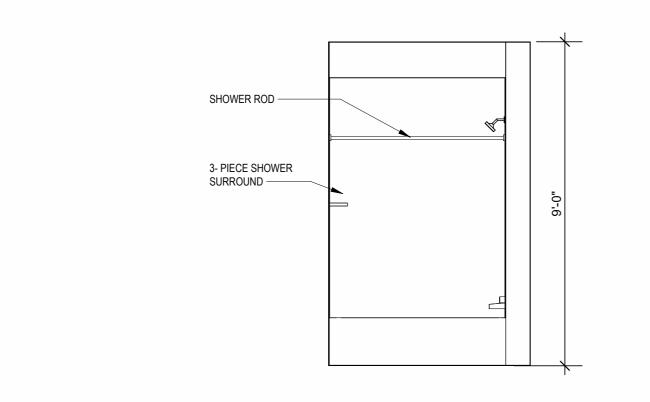
3/8" = 1'-0"

REC. WASH HOOKUP —

DRYER BOX —

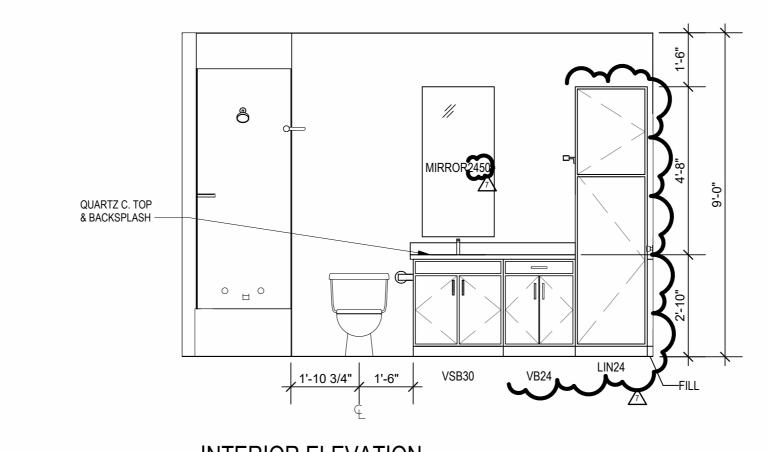
QUARTZ C. TOP & BACKSPLASH -

12'-0" CLG



7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0" QUARTZ C-TOP -SCRIBE MOULD -FINISH PANEL -

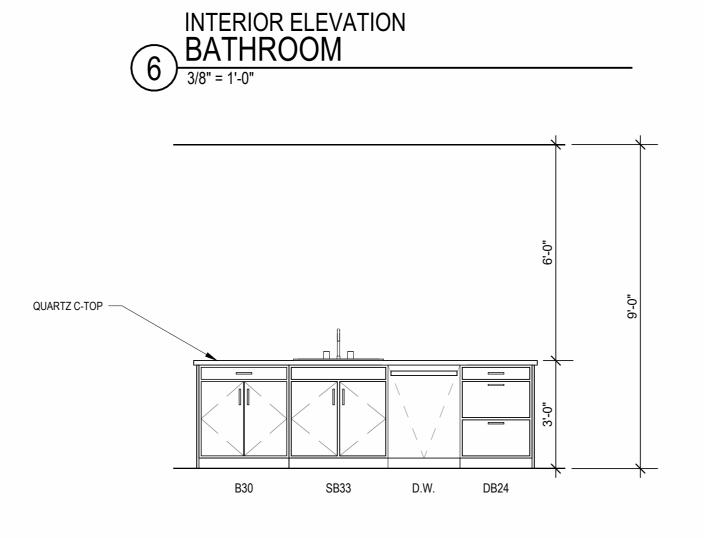




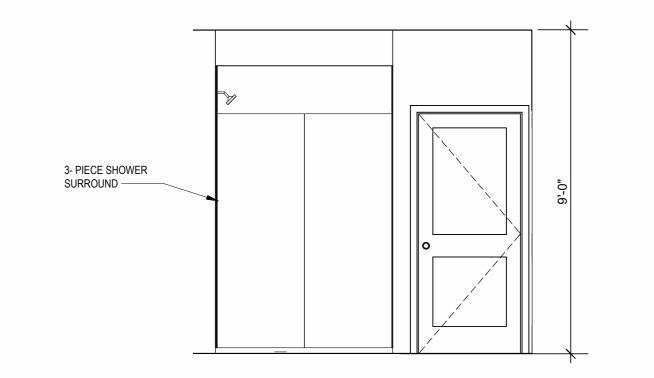
A UNIT C4

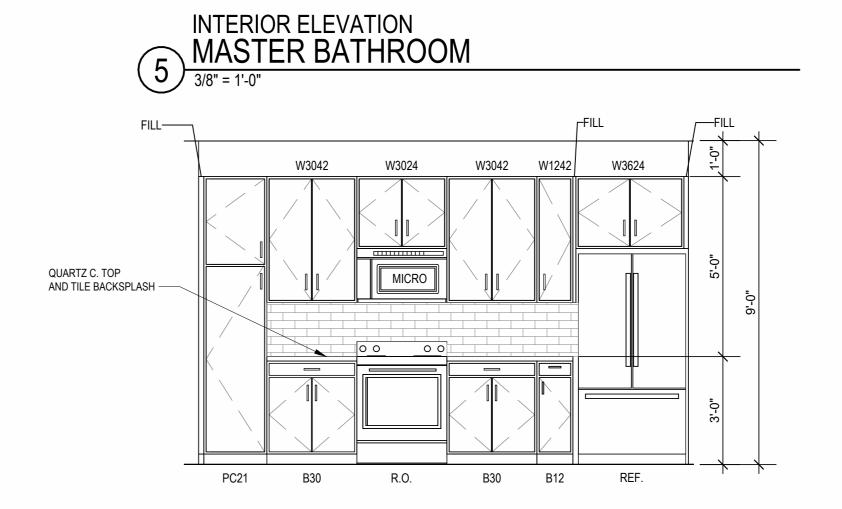
9'-0" CLG VINYL PLANK _

9'-0" CLG VINYL PLANK









INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

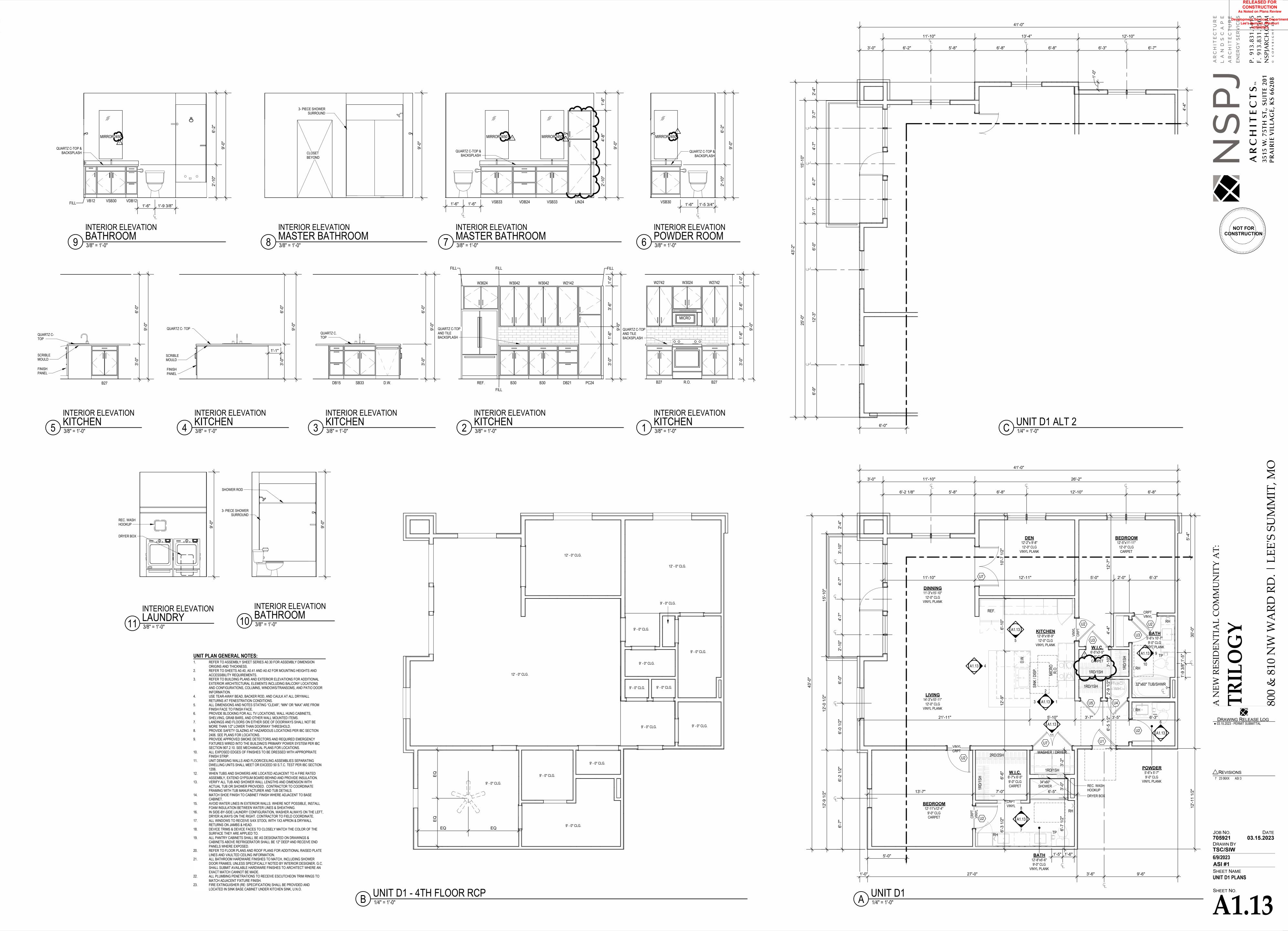
LEE'S SUMMIT, MO

ARD RD.

 \triangle REVISIONS 7 23 06XX ASI 3

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 **ASI #1** SHEET NAME

UNIT C4 PLANS



023 9:40:51 AM

CONSTRUCTION

As Noted on Plans Review

Development Service Department Service Department Service Department Development Service Department Development Service Department Development Dev

UNIT PLAN GENERAL NOTES:

L A N D S C A ARCHITECT ENERGY SERV P. 913.831.

ARCHITECTS PA 3515 W. 75TH ST., SUITE 201



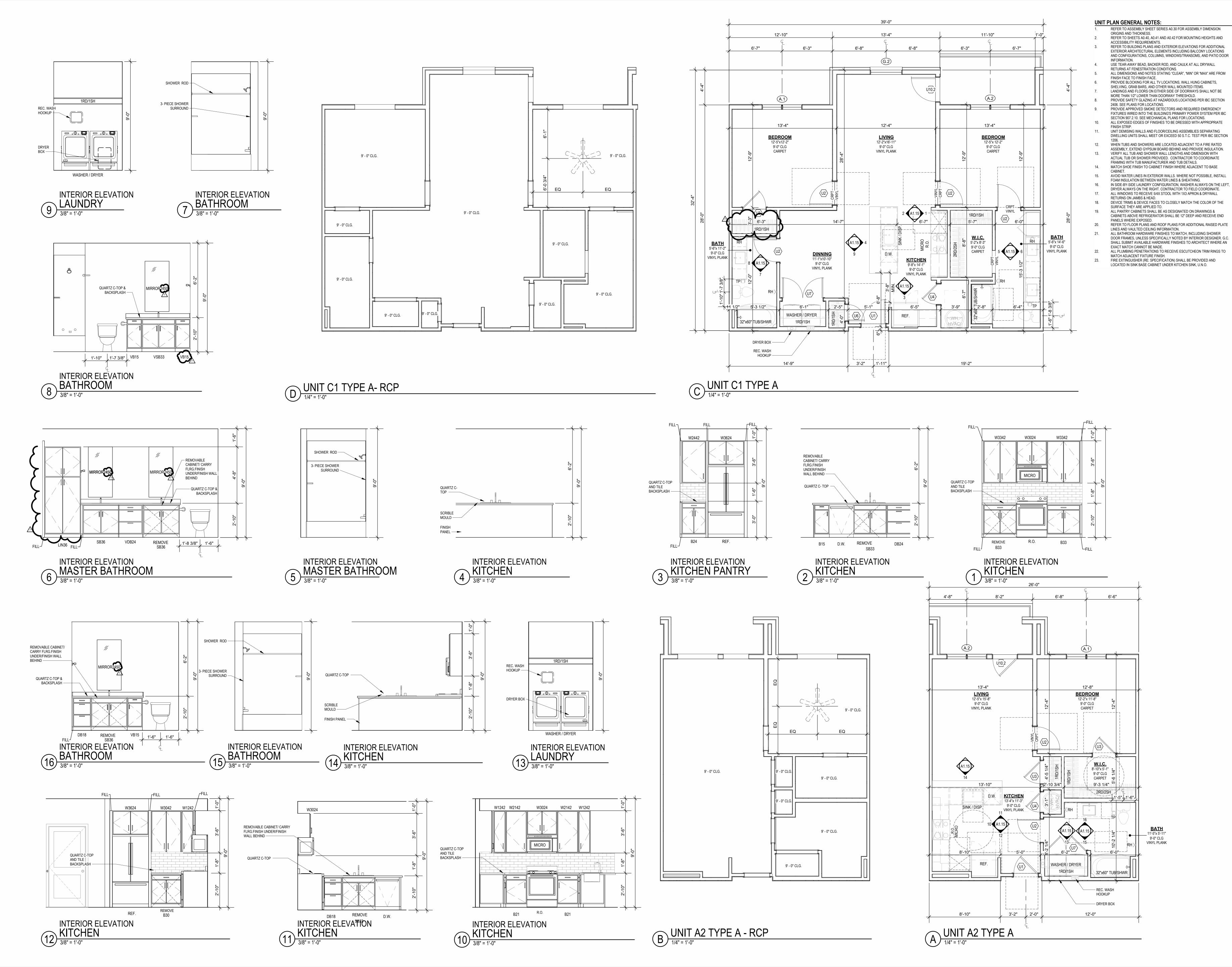
TRILOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

JOB NO. DA 705921 03.15.20 DRAWN BY

705921 03.15.2023
DRAWN BY
TSC/SIW
9/15/2023
ASI #6
SHEET NAME
UNIT PH PLANS

A1.14





NOT FOR: CONSTRUCTION

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705921 03.15.2023 DRAWN BY TSC/SIW 6/9/2023 **ASI #1** SHEET NAME TYPE A UNIT PLANS

AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOF INFORMATION.
4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
5. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
6. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

FINISH STRIP.

11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.

12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION.

ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

14. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.

15. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.

VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH

ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 ALL PANTRY CABINETS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN

MATCH ADJACENT FIXTURE FINISH.

23. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO

EXACT MATCH CANNOT BE MADE.

BEDROOM
12-2" x 13-4"
9-0" CLG
VINYL PLANK

REC. WASH
HOOKUP
BATH
6'-2"-9"
9-0" CLG
VINYL PLANK

A1.16

10.20

RH
3

22'x60" TUB/SHWR

1'-1"
1'-11"

KITCHEN 5'-8" x 14'-0" 9'-0" CLG VINYL PLANK

9' - 0" CLG.

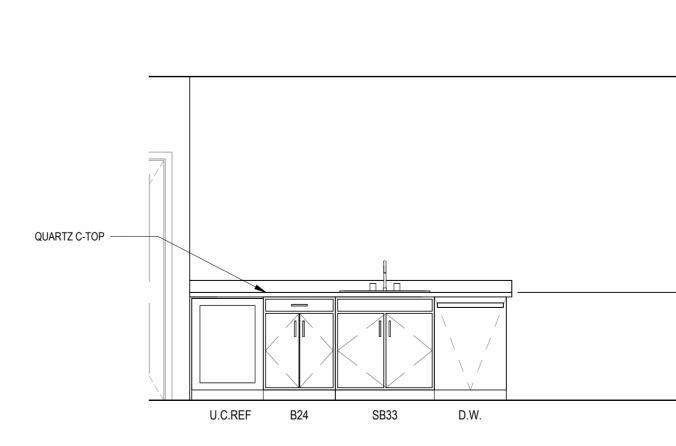
9' - 0" CLG.

9' - 0" CLG.

B GUEST SUITE - RCP

SHOWER ROD -

3- PIECE SHOWER SURROUND — 9' - 0" CLG.



13'-0"

A GUEST SUITE

1/4" = 1'-0"

2 BATHROOM
3/8" = 1'-0"

QUARTZ C- TOP & BACKSPLASH — MIRROR2460

1 KITCHEN
3/8" = 1'-0"

NOT FOR 3515 W. 75

CONSTRUCTION
As Noted on Plans Review

CONSTRUCTION

RILOGY
0 & 810 NW WARD RD. | LEE'S SUMMIT, MO

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03.15.2023 - PERMIT SUBMITTAL

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JOB NO. DATE
705921 03.15.2023

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TSC/SIW

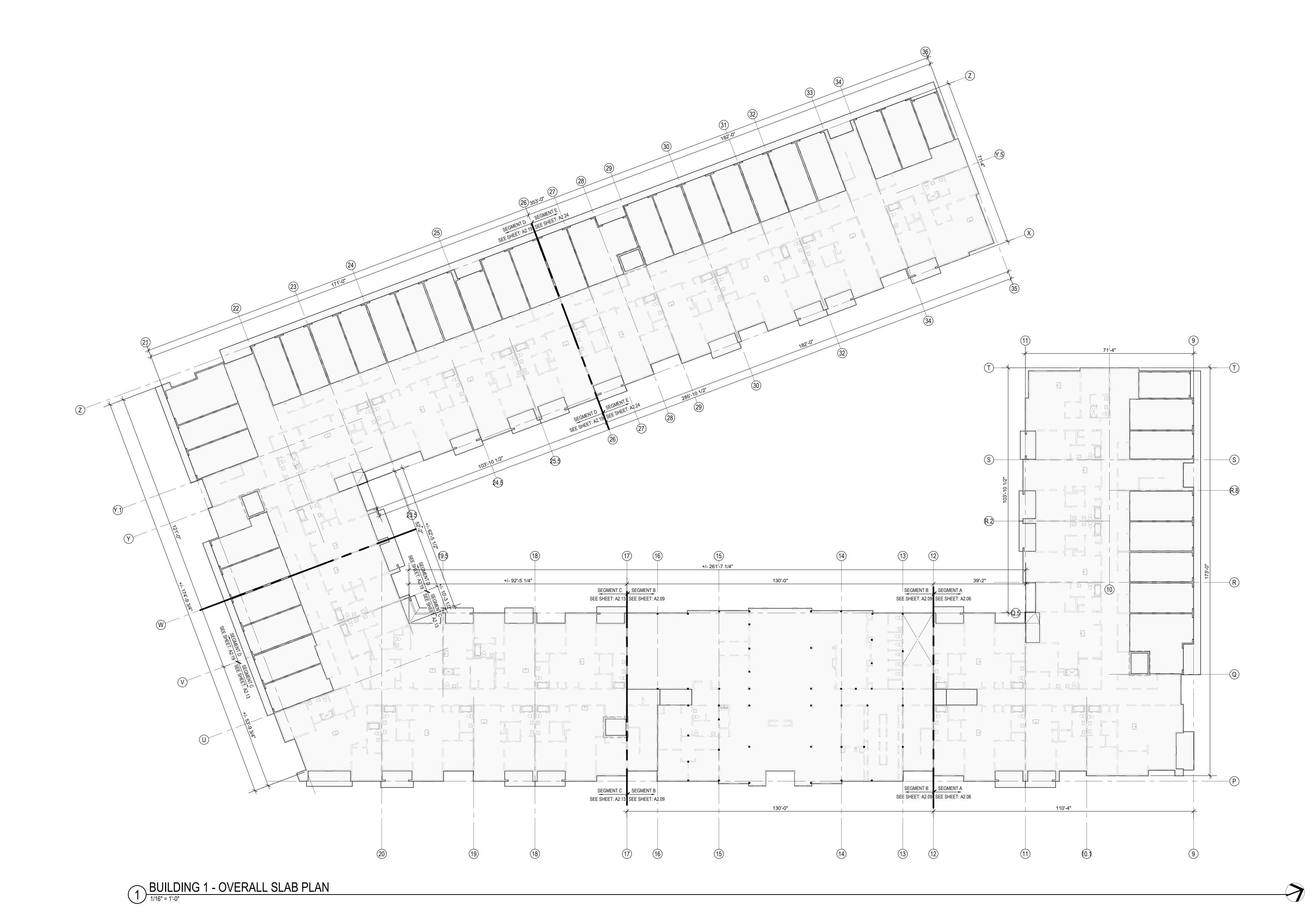
4/11/2023

CITY COMMENTS

SHEET NAME
GUEST SUITE

SHEET NO. **A 1 16**

DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 OVERALL SLAB
PLAN

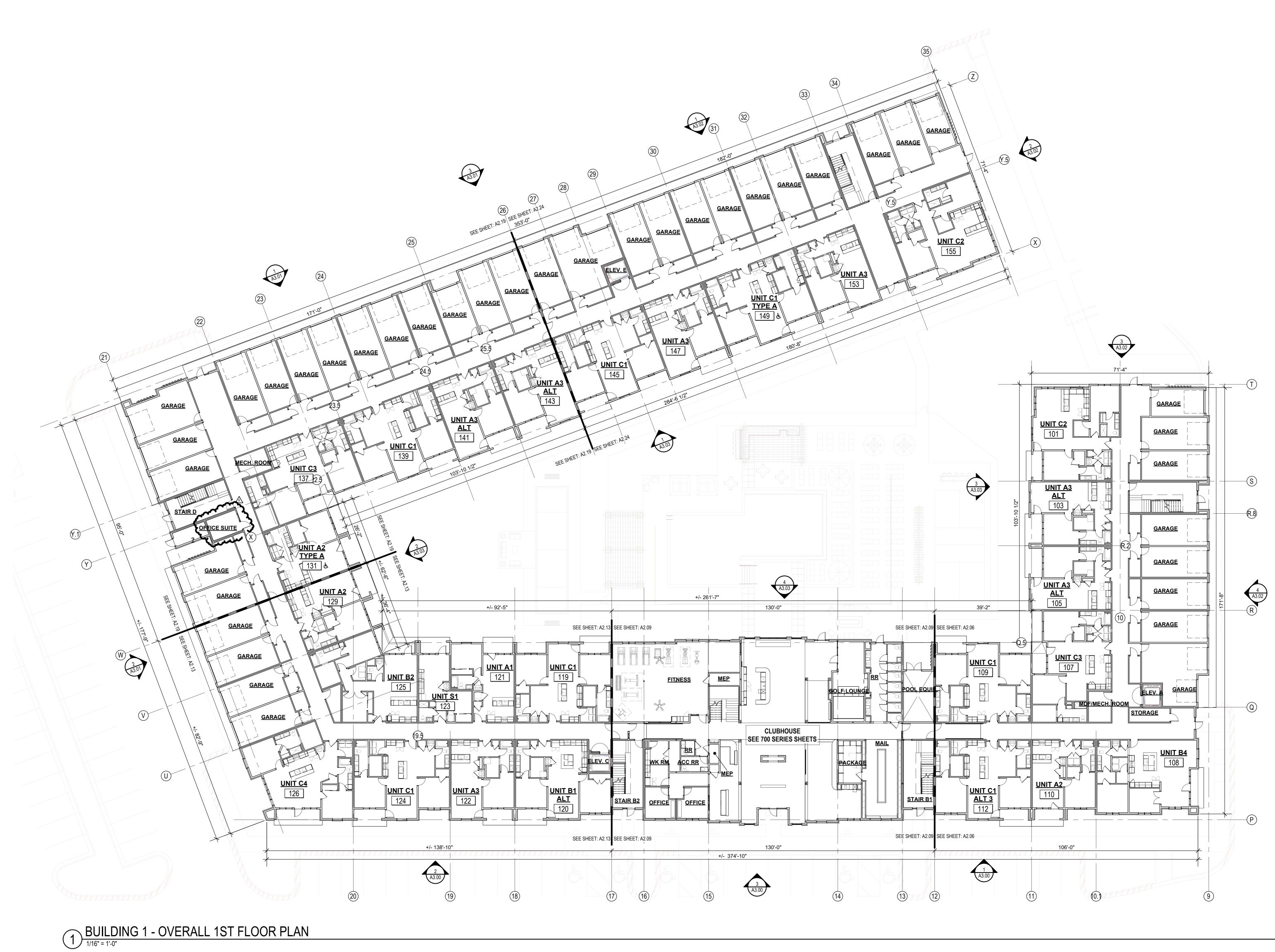


 \triangle REVISIONS 1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4

ЈОВ NO. **705921** DATE **03.15.2023** DRAWN BY ASI #1

SHEET NAME
BUILDING 1 OVERALL 1ST
FLOOR PLAN
SHEET NO.

A 2 0 1





1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4

DATE **03.15.2023**

SHEET NAME
BUILDING 1 OVERALL 2ND
FLOOR PLAN
SHEET NO.

A 2 0 2

ЈОВ NO. **705921** DATE **03.15.2023**

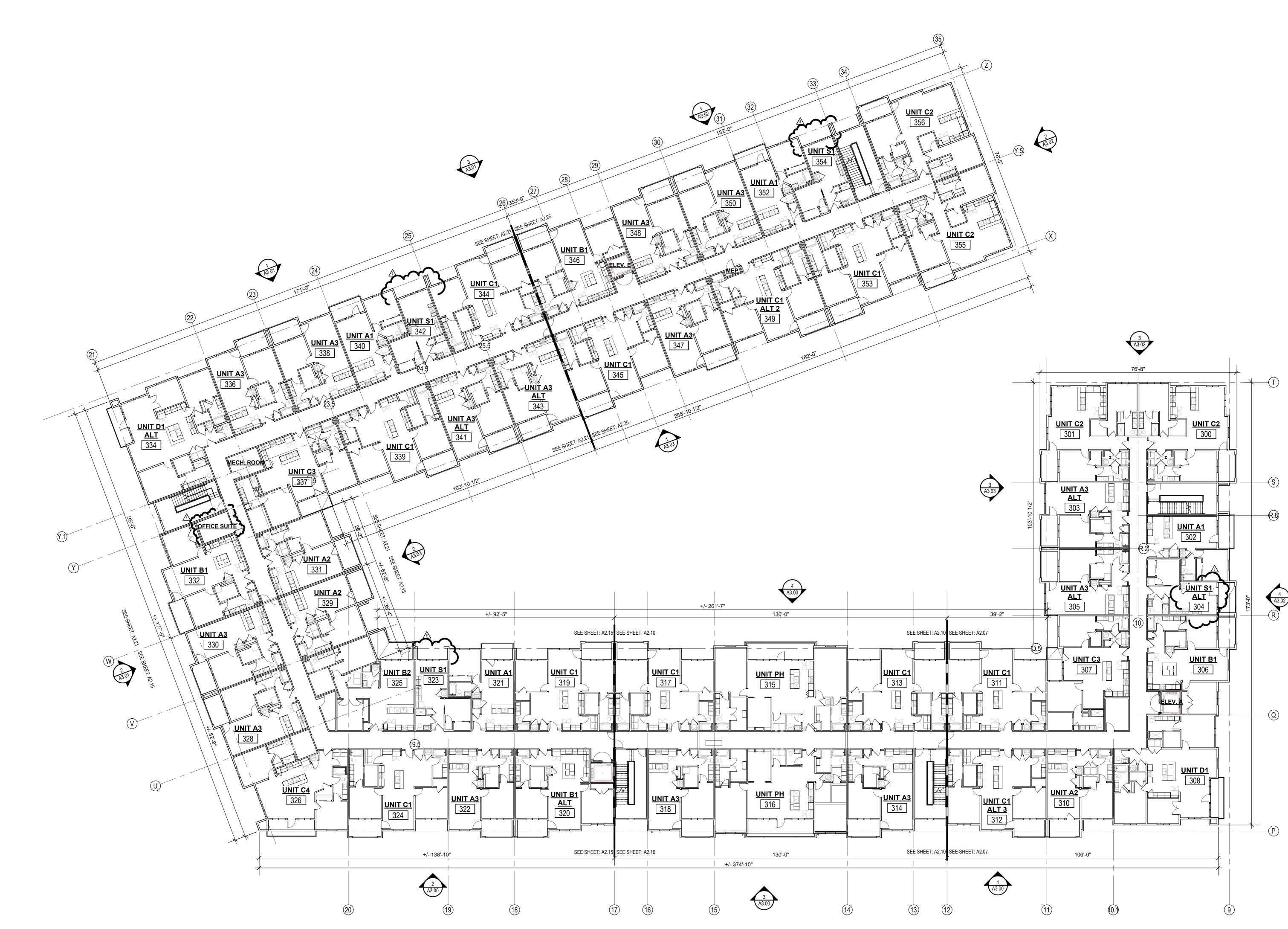
DRAWN BY 6/9/2023 ASI #1

SHEET NAME
BUILDING 1 OVERALL 3RD
FLOOR PLAN
SHEET NO.

A 2.03

BUILDING 1 - OVERALL 3RD FLOOR PLAN

1/16" = 1'-0"





6/9/2023

ASI #1

SHEET NAME
BUILDING 1 OVERALL 4TH
FLOOR PLAN
SHEET NO.

(T) STAIR A +/- 92'-5" SEGMENT C SEGMENT B
SEE SHEET: A2.16 SEE SHEET: A2.11 SEGMENT B SEGMENT A
SEE SHEET: A2.11 SEE SHEET: A2.08 UNIT C1 419 UNIT C1 411 IDF/MECH. ROOM UNIT C1 ALT 3 412
 STAIR B2
 UNIT A3

 418
 UNIT A3

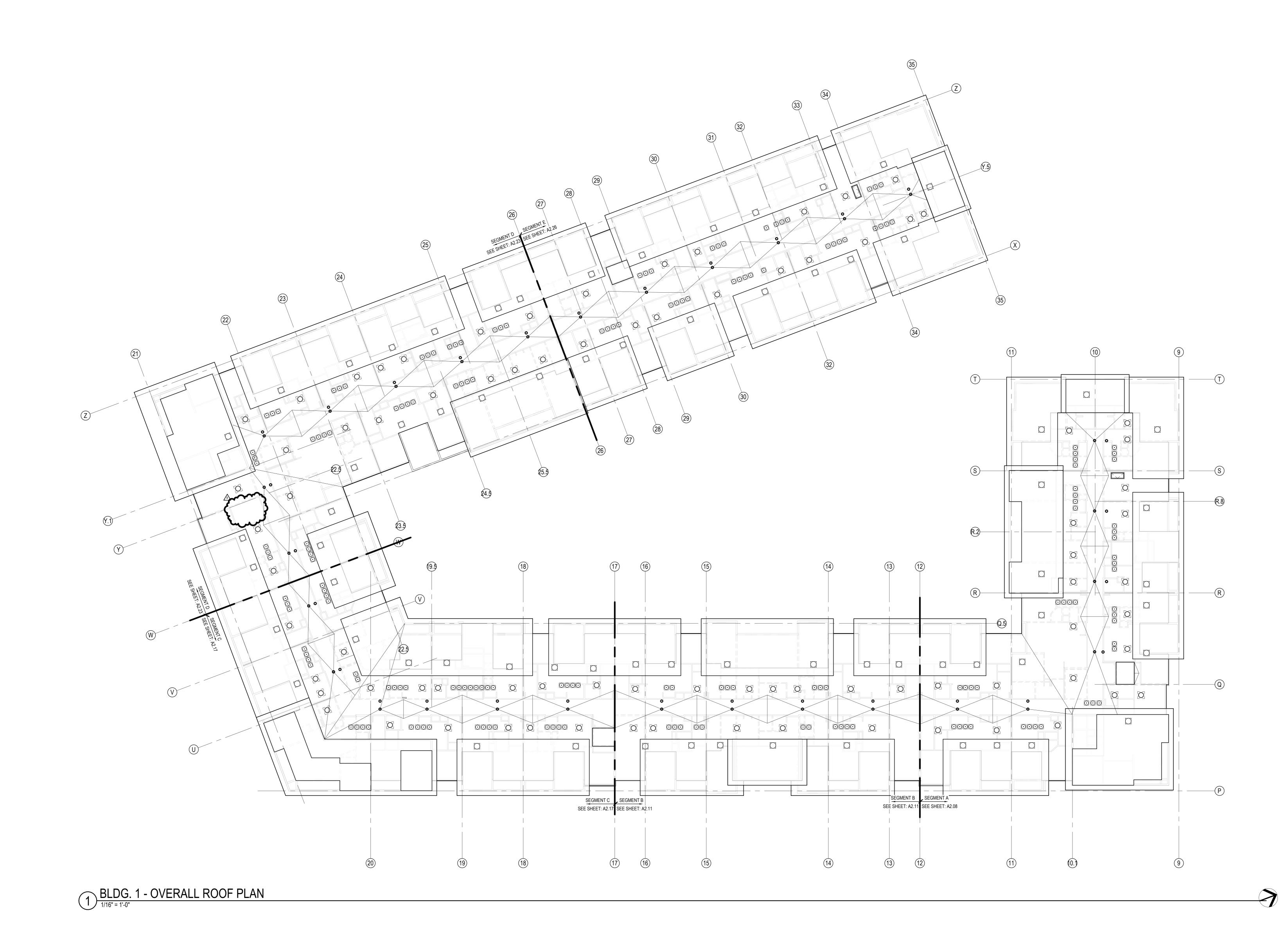
414

STAIR B1 422 UNIT C1 424 **ALT** 420 416 426 410 _____ SEGMENT B SEGMENT A
SEE SHEET: A2.11 SEE SHEET: A2.08 SEGMENT C SEGMENT B
SEE SHEET: A2.16 SEE SHEET: A2.11 +/- 138'-10" 130'-0" 106'-0" +/- 374'-10" 16) BUILDING 1 - OVERALL 4TH FLOOR PLAN

1/16" = 1'-0"

ЈОВ NO. **705921** DATE **03.15.2023** DRAWN BY

SHEET NAME
BUILDING 1 OVERALL ROOF
PLAN

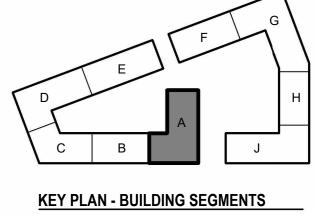


FLOOR PLAN GENERAL NOTES:

- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE.

LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL



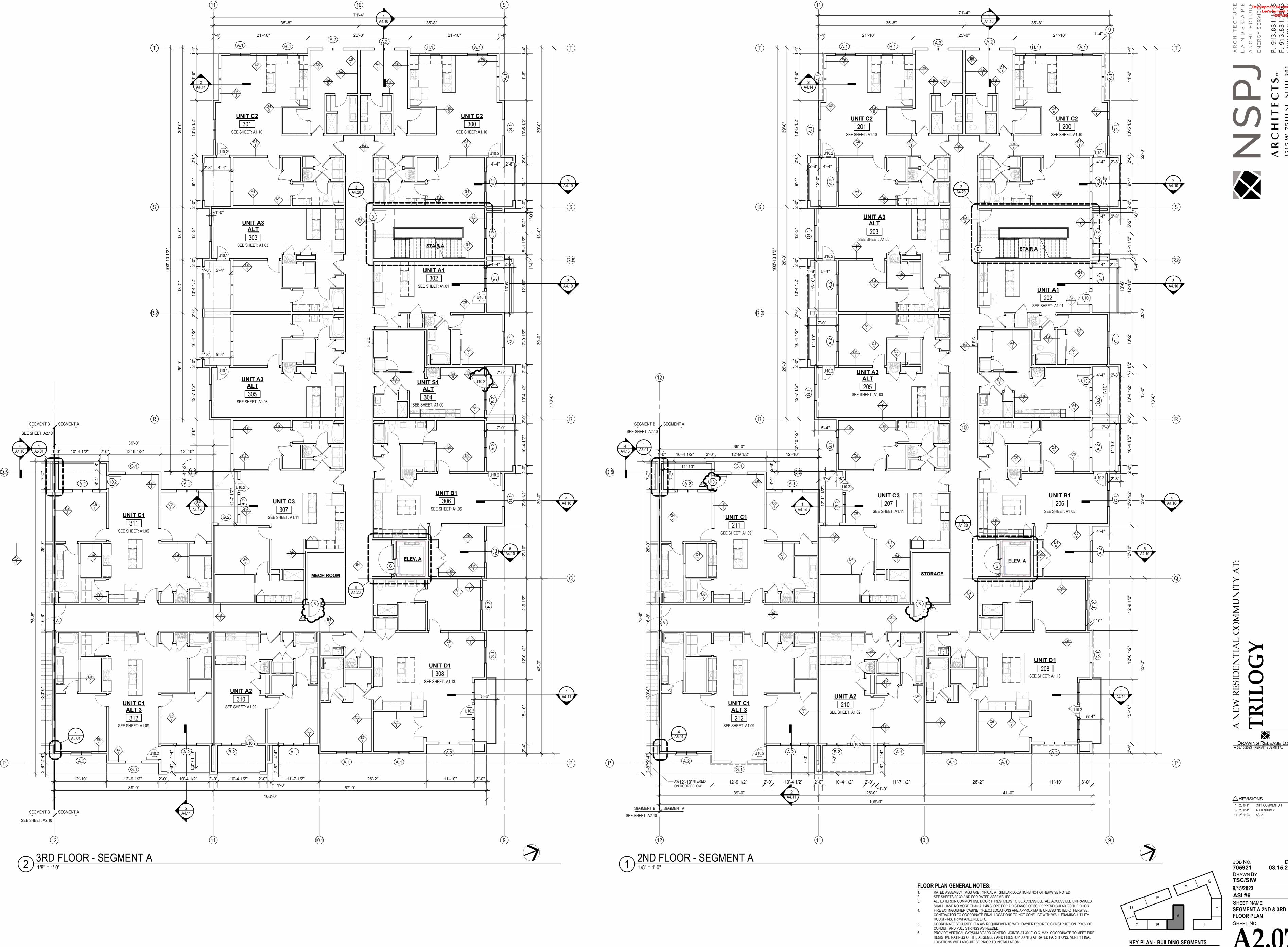
RAILINGS REMOVED FROM GROUND LEVEL PATIOS

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
evelopment Services Department
U Lee's Summit, Missouri

 \triangle REVISIONS 1 23 0411 CITY COMMENTS 1 2 23 0428 ADD 1/CC 2 3 23 0511 ADDENDUM 2 11 23 1103 ASI 7

JOB NO. 705921 03.15.2023 **DRAWN BY** TSC/SIW 9/15/2023 ASI #6 SHEET NAME

SEGMENT A SLAB & 1ST FLOOR PLAN



RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

 \triangle REVISIONS 1 23 0411 CITY COMMENTS 1 3 23 0511 ADDENDUM 2

11 23 1103 ASI 7

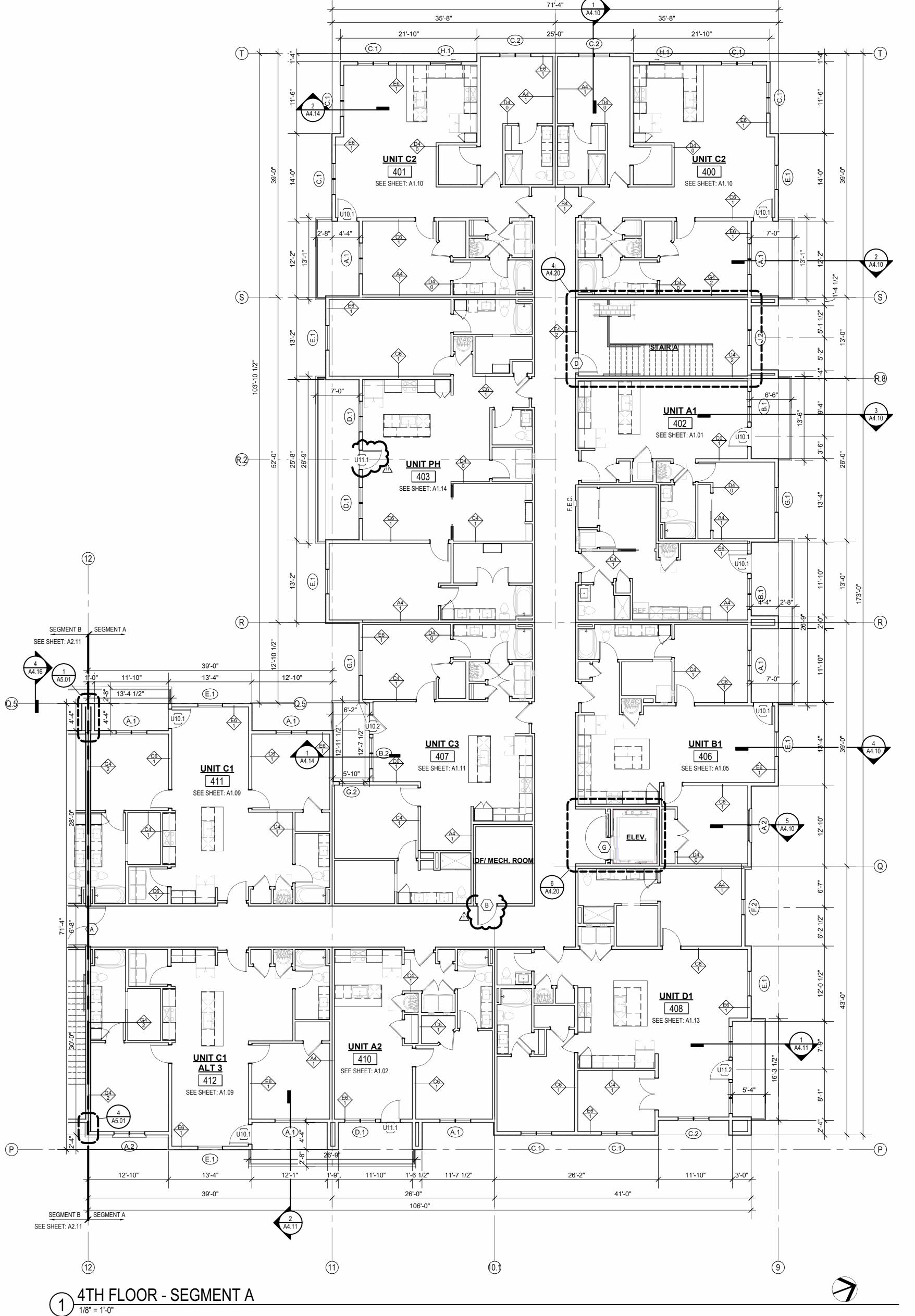
FLOOR PLAN

03.15.2023

DRAFTSTOP A-2

 \odot DRAFTSTOP A-6 DRAFTSTOP A-8 SEE SHEET: A2.11

SEG A ROOF VENT CALCULATOR											
						LOWER VENTING					
					STATIC VE	STATIC VENTING		STATIC VENT		Total Lower	
				Vented Area Percentage at	I .	Vented Units Provided		Vented Net Free Area Per		Venting	
Name	Area	Venting Required	Venting Provided	Upper Roof Provided	Static Vent at Upper Roof	at Upper Roof	Upper Venting Provided	Lower Static Vent	Provided	Provided	
DRAFTSTOP A-1	2923 SF	1403 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²	
DRAFTSTOP A-2	1750 SF	840 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²	
DRAFTSTOP A-3	2303 SF	1105 in²	1270 in²	40.00%	254 in²	2	508 in ²	254 in²	3	762 in ²	
DRAFTSTOP A-4	1273 SF	611 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²	
DRAFTSTOP A-5	1948 SF	935 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²	
DRAFTSTOP A-6	2584 SF	1240 in²	1270 in²	40.00%	254 in²	2	508 in ²	254 in²	3	762 in ²	
DRAFTSTOP A-7	1529 SF	734 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²	
DRAFTSTOP A-8	1302 SF	625 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in ²	



ATTIC VENTING REQUIREMENTS REQUIEMENTS PER 2018 IBC SECTION 1202.2:

MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW PROPOSED ROOF VENTILATION LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)

HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

ROOF PLAN GENERAL NOTES: REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.

ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

FLOOR PLAN GENERAL NOTES:

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL

LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

705921 03.15.2023 **DRAWN BY** TSC/SIW 9/15/2023 ASI #6 SHEET NAME **SEGMENT A 4TH FLOOR &**

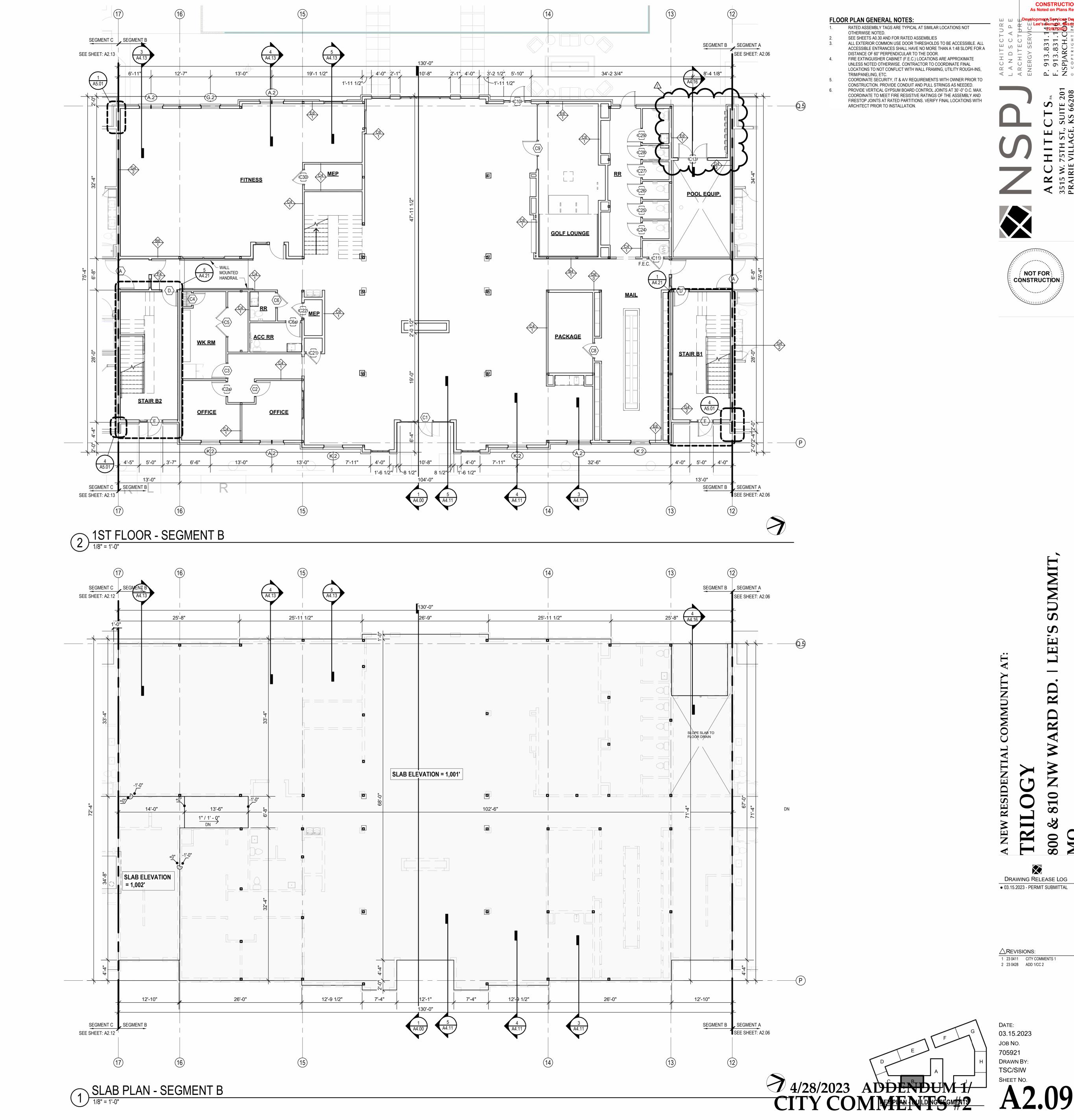
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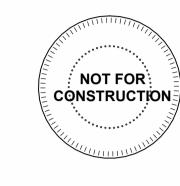
ROOF - SEGMENT A

ROOF PLAN



CONSTRUCTION
As Noted on Plans Review





FLOOR PLAN GENERAL NOTES: OTHERWISE NOTED.

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

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CONSTRUCTION
As Noted on Plans Review



DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

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ЈОВ NO. **705921 DRAWN BY** TSC/SIW 9/15/2023

KEY PLAN - BUILDING SEGMENTS

DATE **03.15.2023** SHEET NAME
SEGMENT B 2ND & 3RD
FLOOR PLAN
SHEET NO.

DRAFTSTOP B-1 DRAFTSTOP B-2

DRAFTSTOP B-3

DRAFTSTOP B-4

DRAFTSTOP B-5

1426 in²

1029 in²

610 in²

740 in²

2143 SF 1272 SF

1542 SF

1524 in²

1270 in²

1016 in²

1016 in²

SEG B ROOF VENT CALCULATOR

Free Area

Free Area of | Free Area of | Percentage at | Per Static | Vented Units |

50.00%

40.00%

50.00%

50.00%

UPPER VENTING

STATIC VENTING

LOWER VENTING

Total Lower

Venting

Provided

762 in²

762 in² 508 in²

STATIC VENT

Per Lower | Static Vents

Free Area of Vented Net

Provided

508 in²

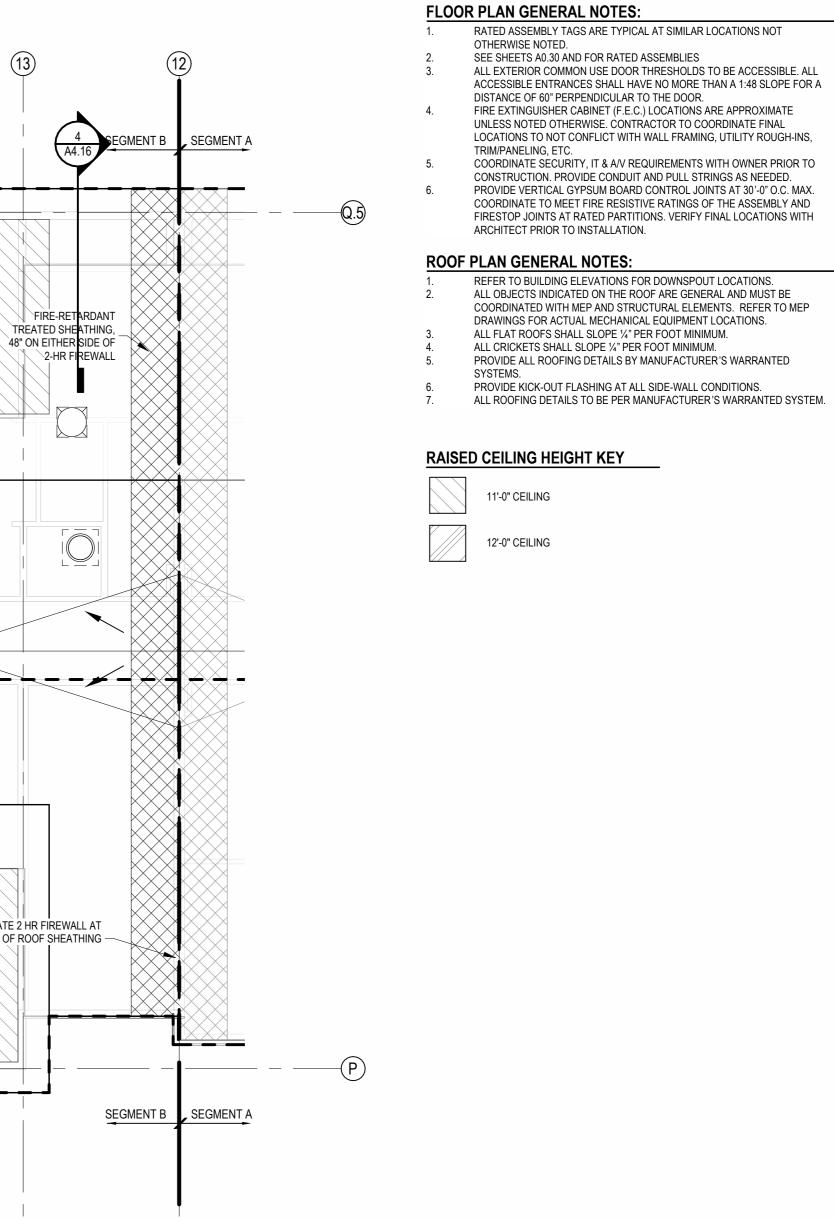
508 in²

Free Area

254 in²

254 in²

CONSTRUCTION
As Noted on Plans Review



OTHERWISE NOTED.

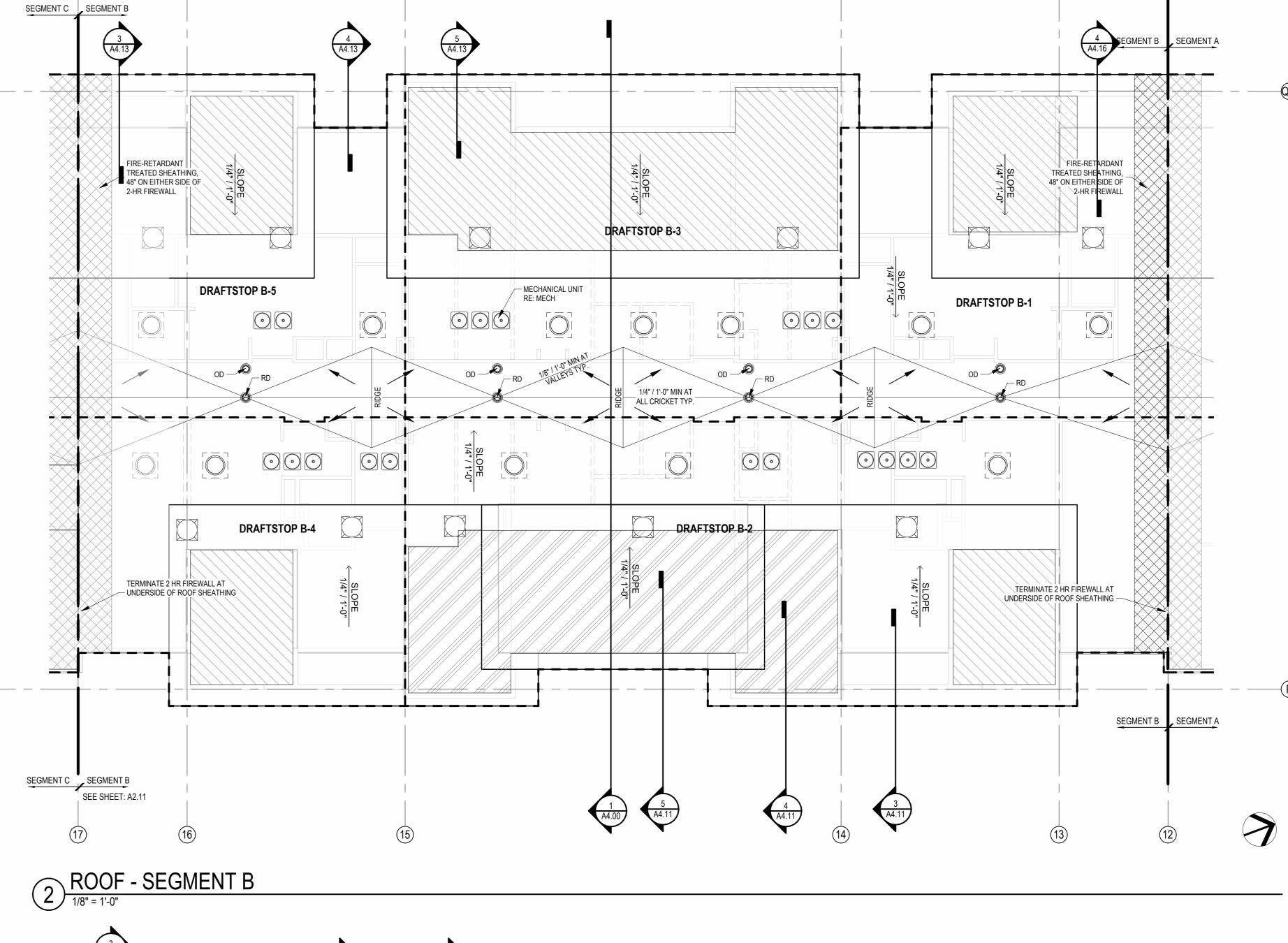
11'-0" CEILING

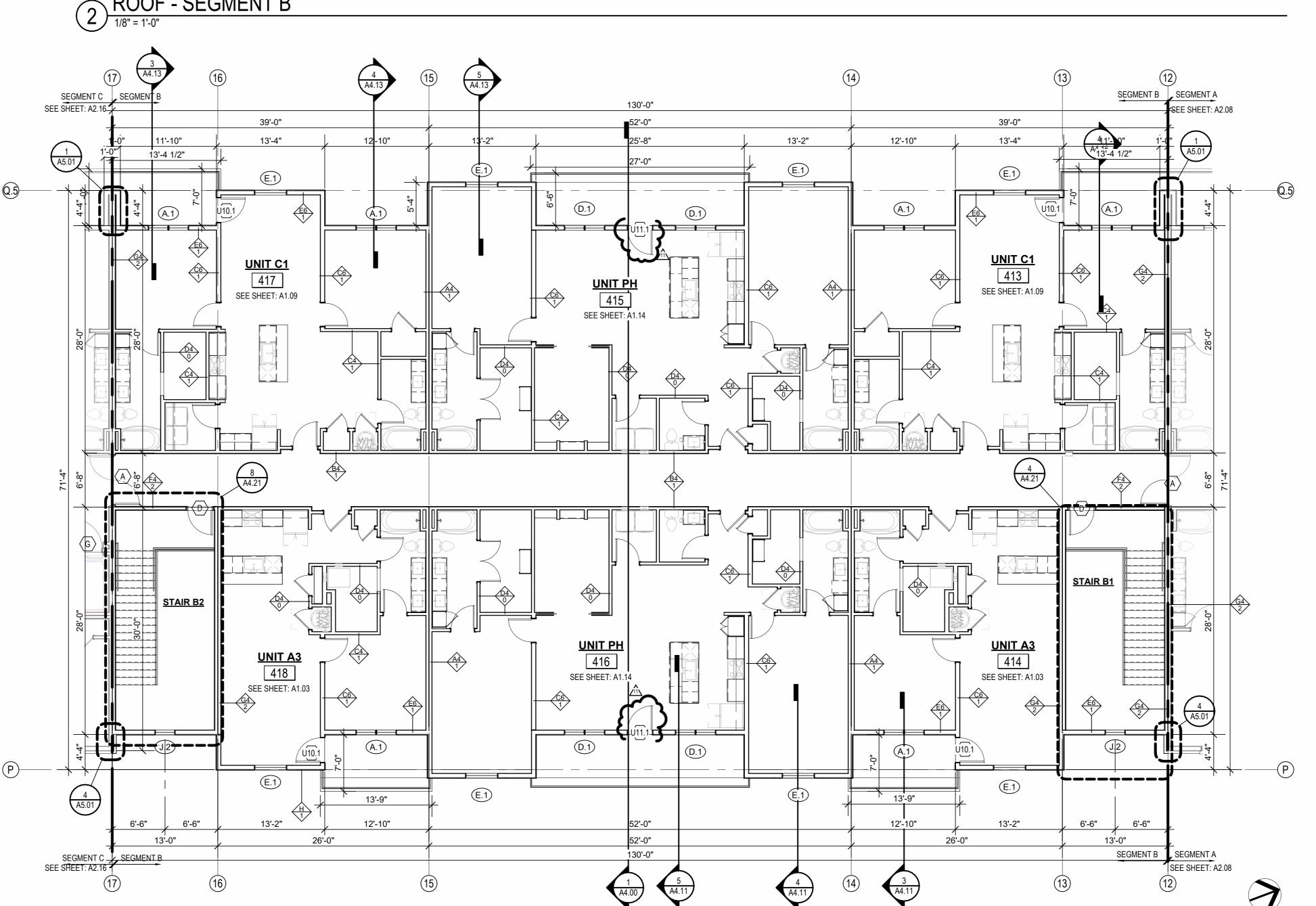
12'-0" CEILING

DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.





ЈОВ NO. **705921 DRAWN BY** TSC/SIW 9/15/2023 ASI#6 SHEET NAME
SEGMENT B 4TH FLOOR &
ROOF PLAN
SHEET NO. KEY PLAN - BUILDING SEGMENTS

 \triangle REVISIONS 11 23 1103 ASI 7

DATE **03.15.2023**

1 4TH FLOOR - SEGMENT B

FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

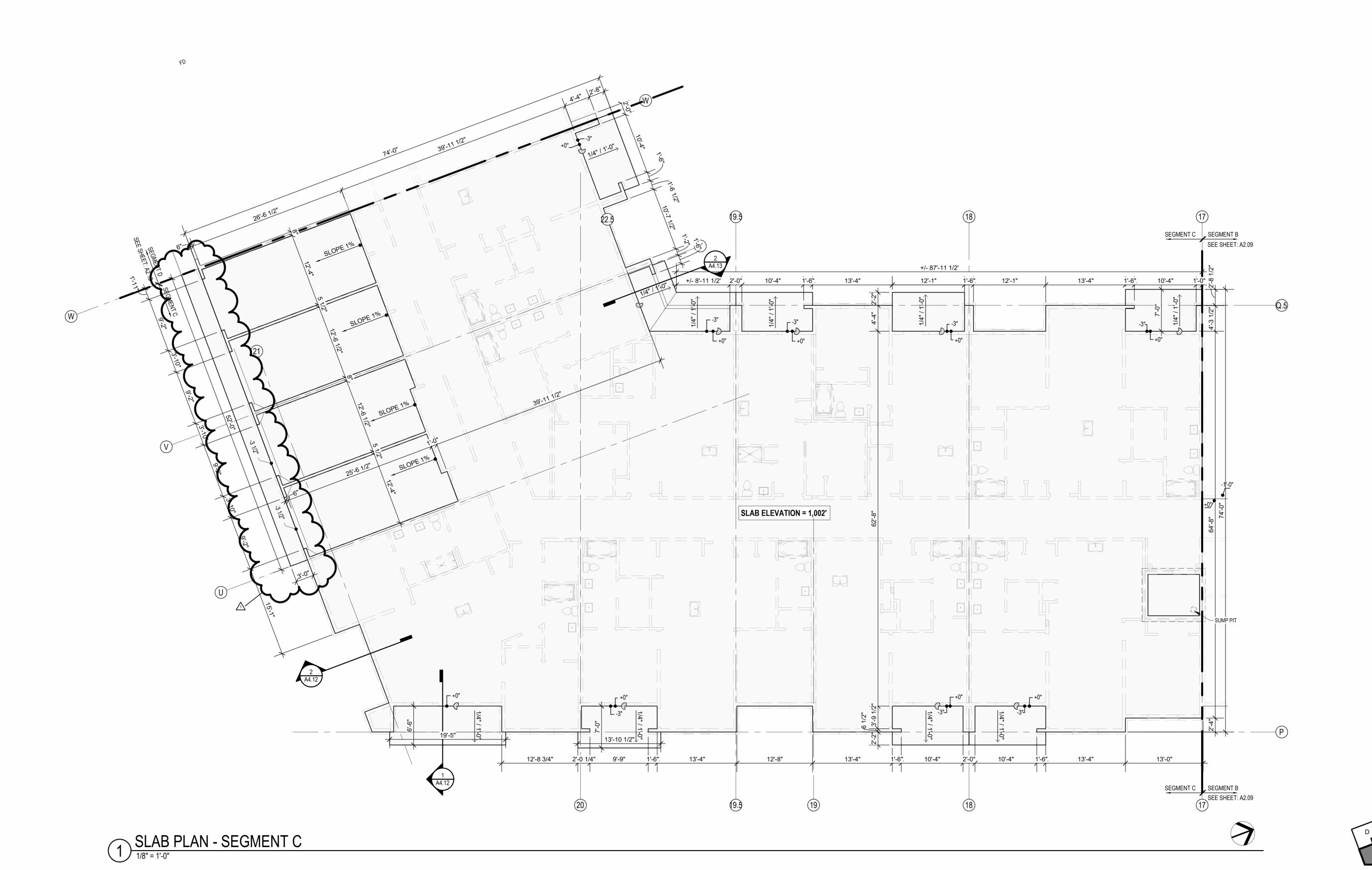
OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
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ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review





1 23 0411 CITY COMMENTS 1

JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT C SLAB PLAN

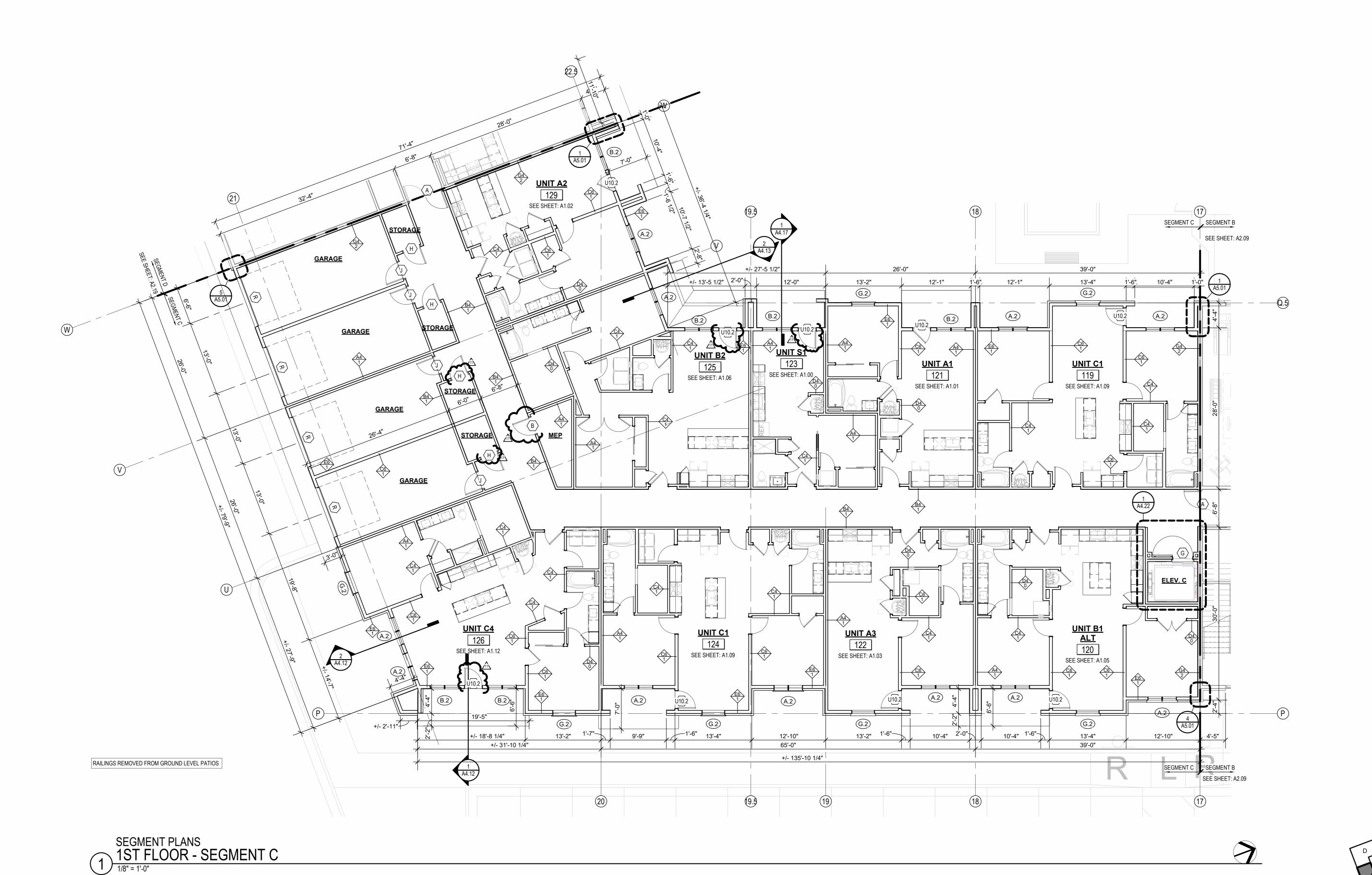
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CONSTRUCTION
As Noted on Plans Review





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ЈОВ NO. **705921** DATE **03.15.2023**

DRAWN BY TSC/SIW SHEET NAME
SEGMENT C 1ST FLOOR
PLAN

OTHERWISE NOTED.

2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES

3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

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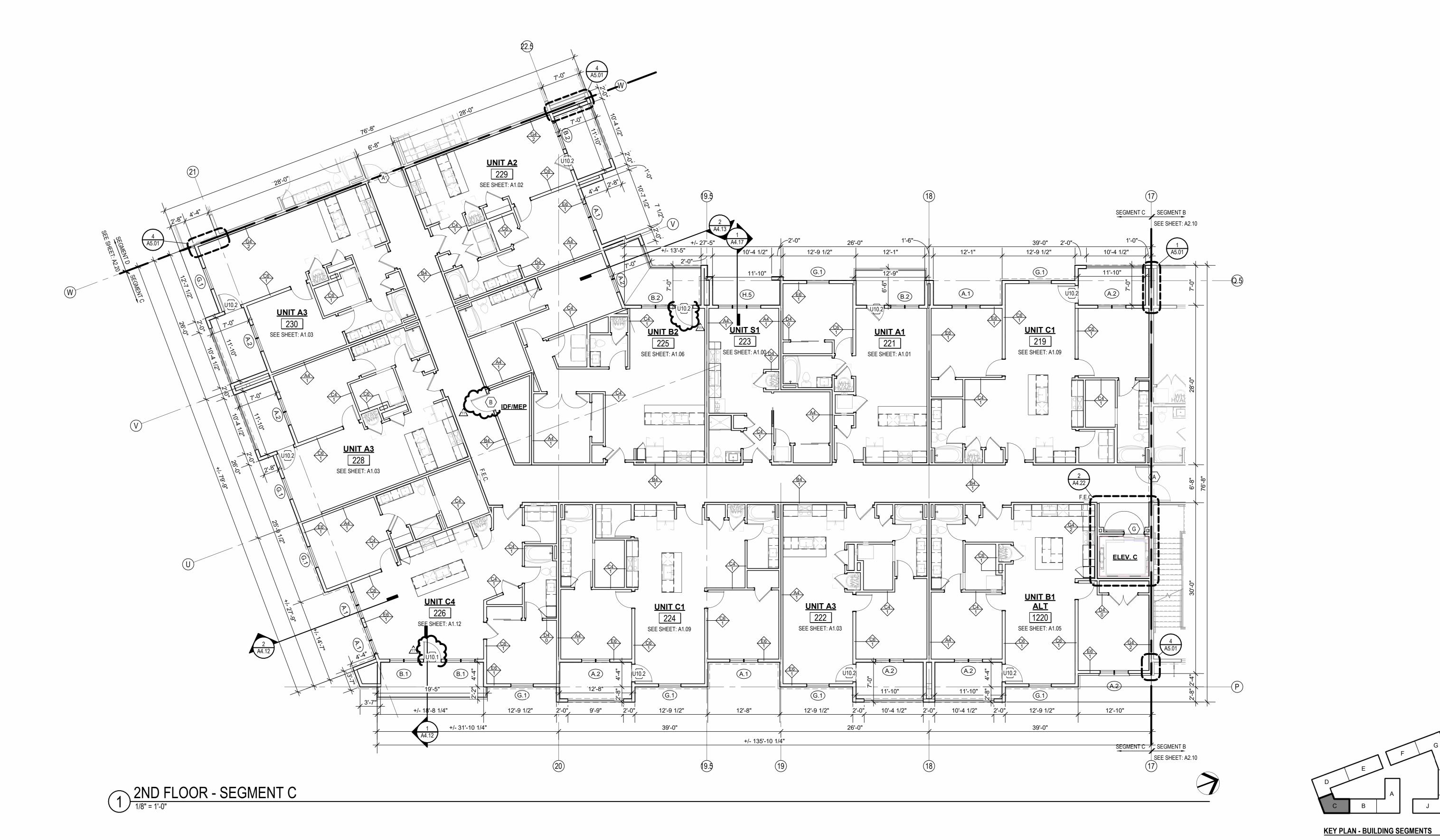
5. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

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ARCHITECTS PA 3515 W. 75TH ST., SUITE 201

CONSTRUCTION
As Noted on Plans Review





A NEW RESIDENTIAL COMMUNITY AND A NEW RESIDENTIAL

lon No

JOB NO. DATE
705921 03.15.2023

DRAWN BY
TSC/SIW

9/15/2023

ASI #6

SHEET NAME
SEGMENT C 2ND FLOOR
PLAN
SHEET NO.

:023 6:21:22 PM

FLOOR PLAN GENERAL NOTES:

1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.

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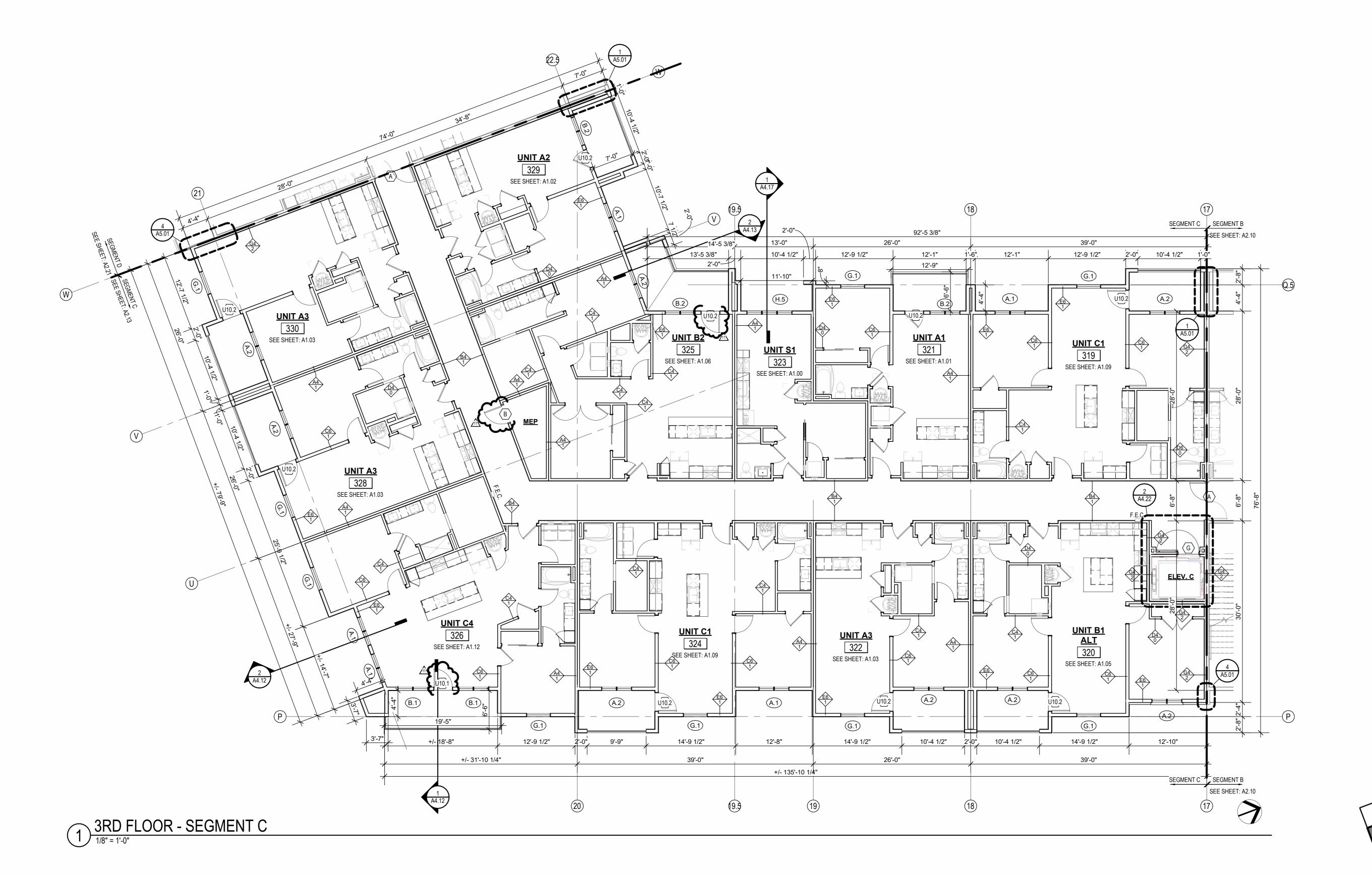
TRIM/PANELING, ETC.

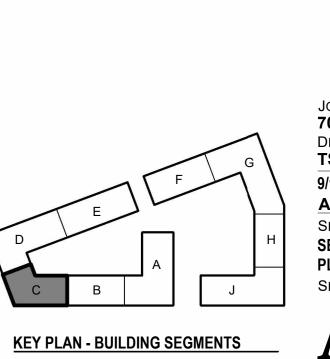
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ARCHITECTS PA 3515 W. 75TH ST., SUITE 201







JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW

9/15/2023
ASI #6
SHEET NAME
SEGMENT C 3RD FLOOR
PLAN
SHEET NO

8 23 07 31 ASI 4 11 23 1103 ASI 7

FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

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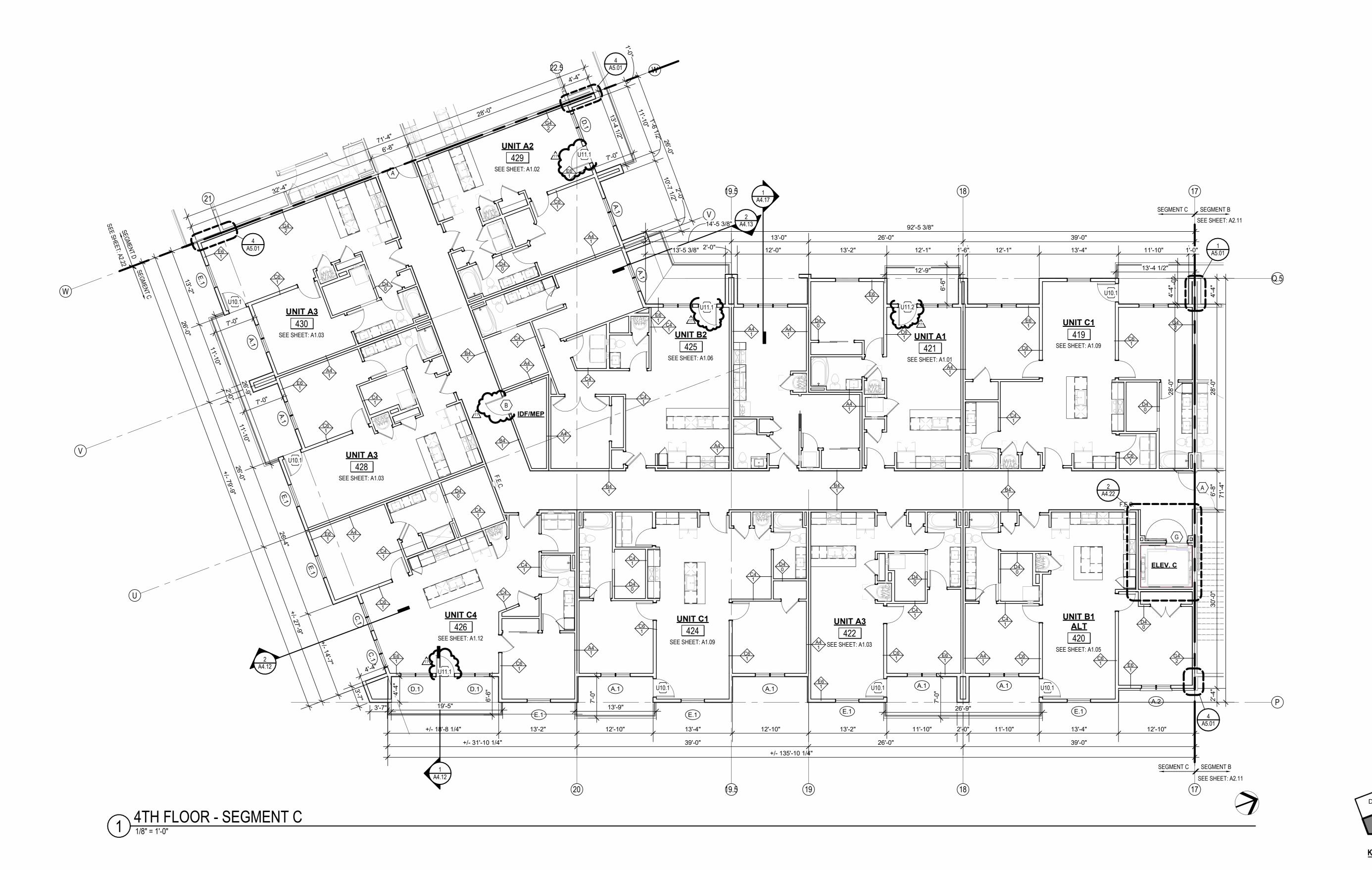
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CONSTRUCTION
As Noted on Plans Review





8 23 07 31 ASI 4 11 23 1103 ASI 7

ЈОВ NO. **705921** DATE **03.15.2023** DRAWN BY SHEET NAME
SEGMENT C 4TH FLOOR
PLAN

ROOF VENTING LEGEND

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT: (LOCATIONS AS NOTED ON DRAWINGS)

> - MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
> *GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT: (LOCATIONS AS NOTED ON DRAWINGS) - MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

FLOOR PLAN GENERAL NOTES:

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ROOF PLAN GENERAL NOTES:

REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED

PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.

ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

ATTIC VENTING REQUIREMENTS REQUIEMENTS PER 2018 IBC SECTION 1202.2:

MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW

PROPOSED ROOF VENTILATION LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)

RAISED CEILING HEIGHT KEY

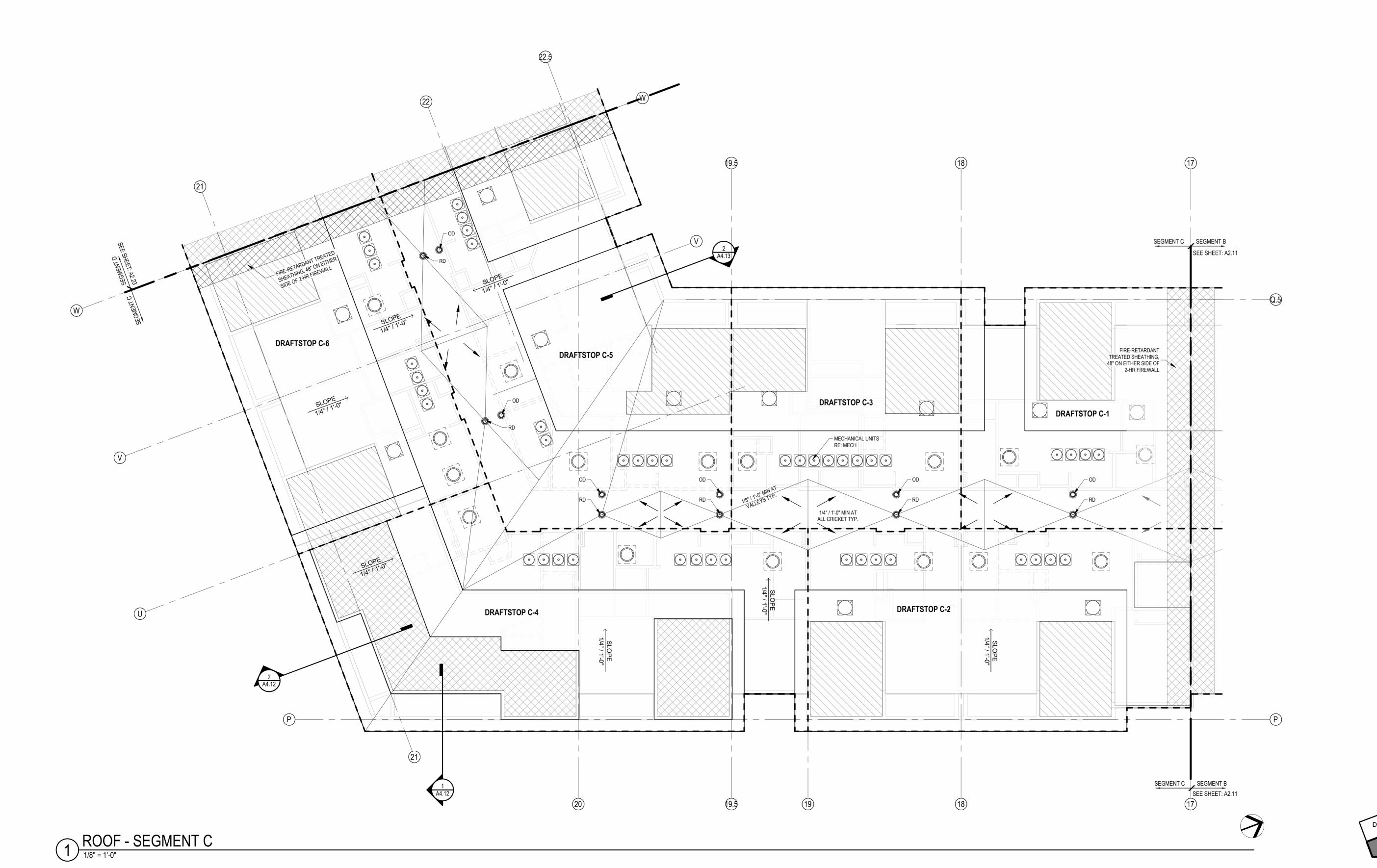
11'-0" CEILING

12'-0" CEILING

NOT FOR CONSTRUCTION

CONSTRUCTION As Noted on Plans Review

913.831. 913.831. SPJARCH.





DATE **03.15.2023** Јов No. **705921**

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DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT C ROOF PLAN

OTHERWISE NOTED.
SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
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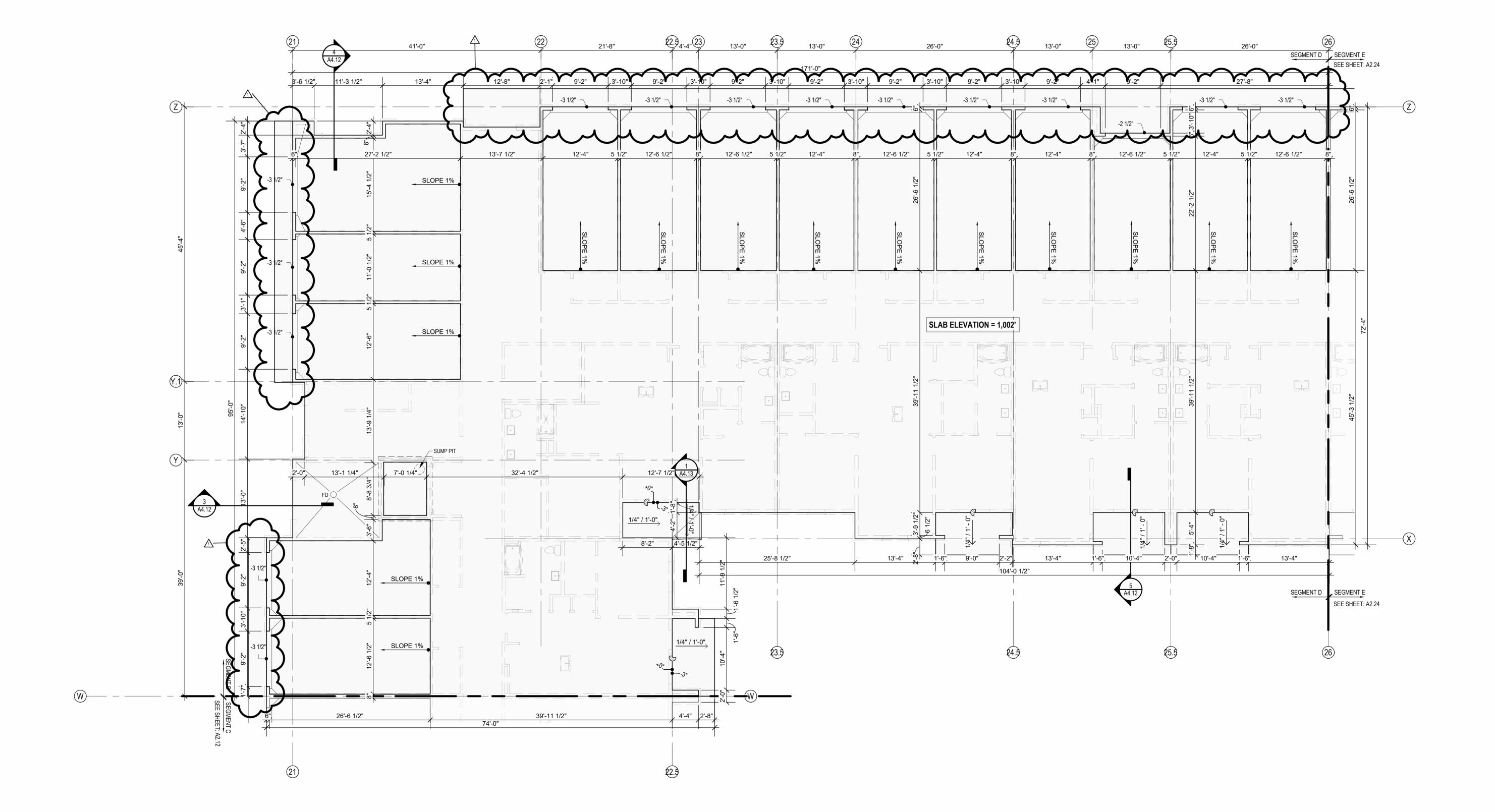
TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review

ENERGY SERVICE SERVICE



NOT FOR CONSTRUCTION



4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT D SLAB PLAN

SLAB PLAN - SEGMENT D

1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES:

OTHERWISE NOTED.

TRIM/PANELING, ETC.

ARCHITECT PRIOR TO INSTALLATION.

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

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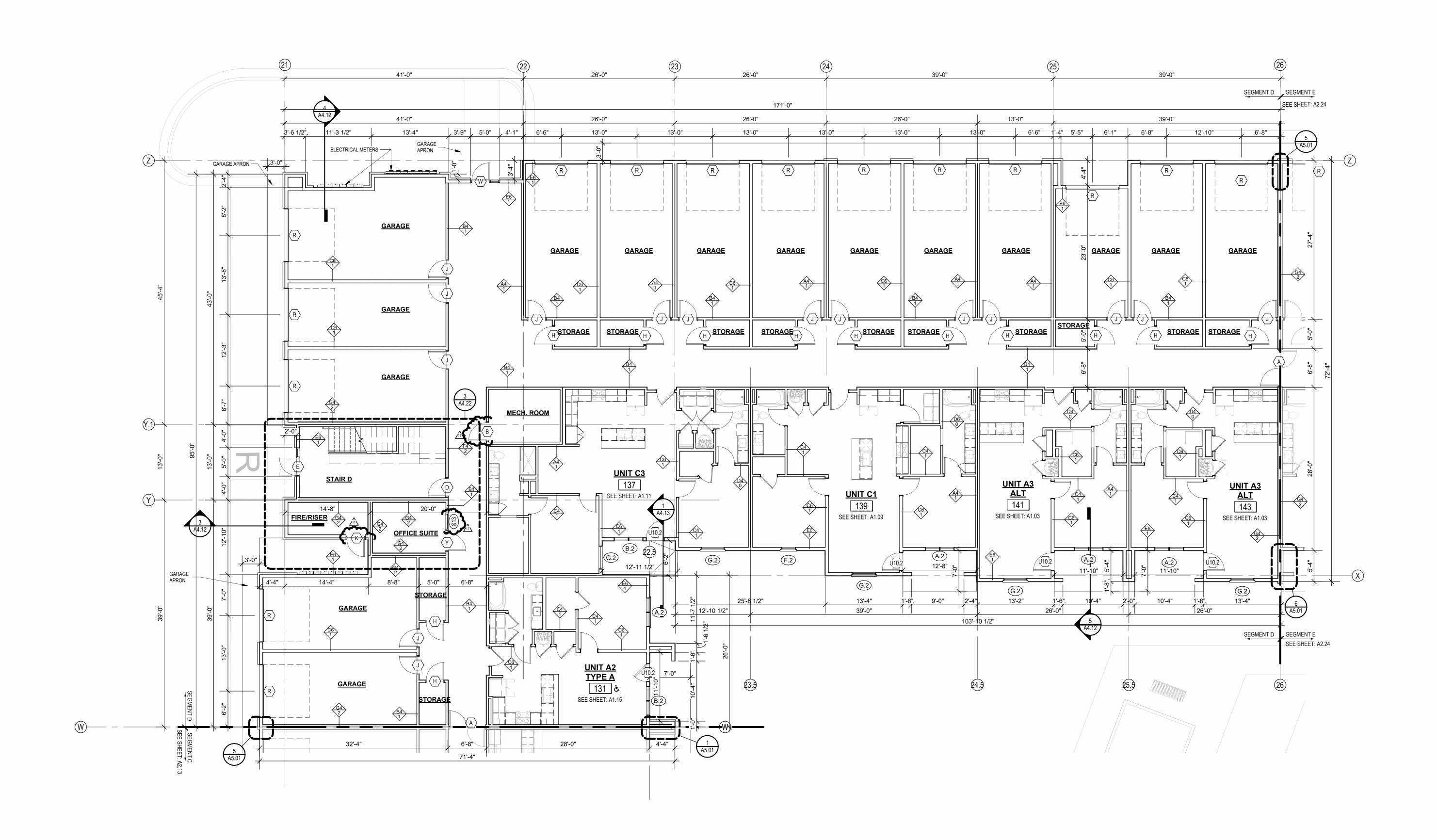


RAILINGS REMOVED FROM GROUND LEVEL PATIOS

2 23 0428 ADD 1/CC 2 3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4 9 23 08 17 ASI 5 10 23 0915 ASI 6 11 23 1103 ASI 7

03.15.2023

ЈОВ NO. **705921 DRAWN BY** SHEET NAME
SEGMENT D 1ST FLOOR



FLOOR PLAN GENERAL NOTES:

DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

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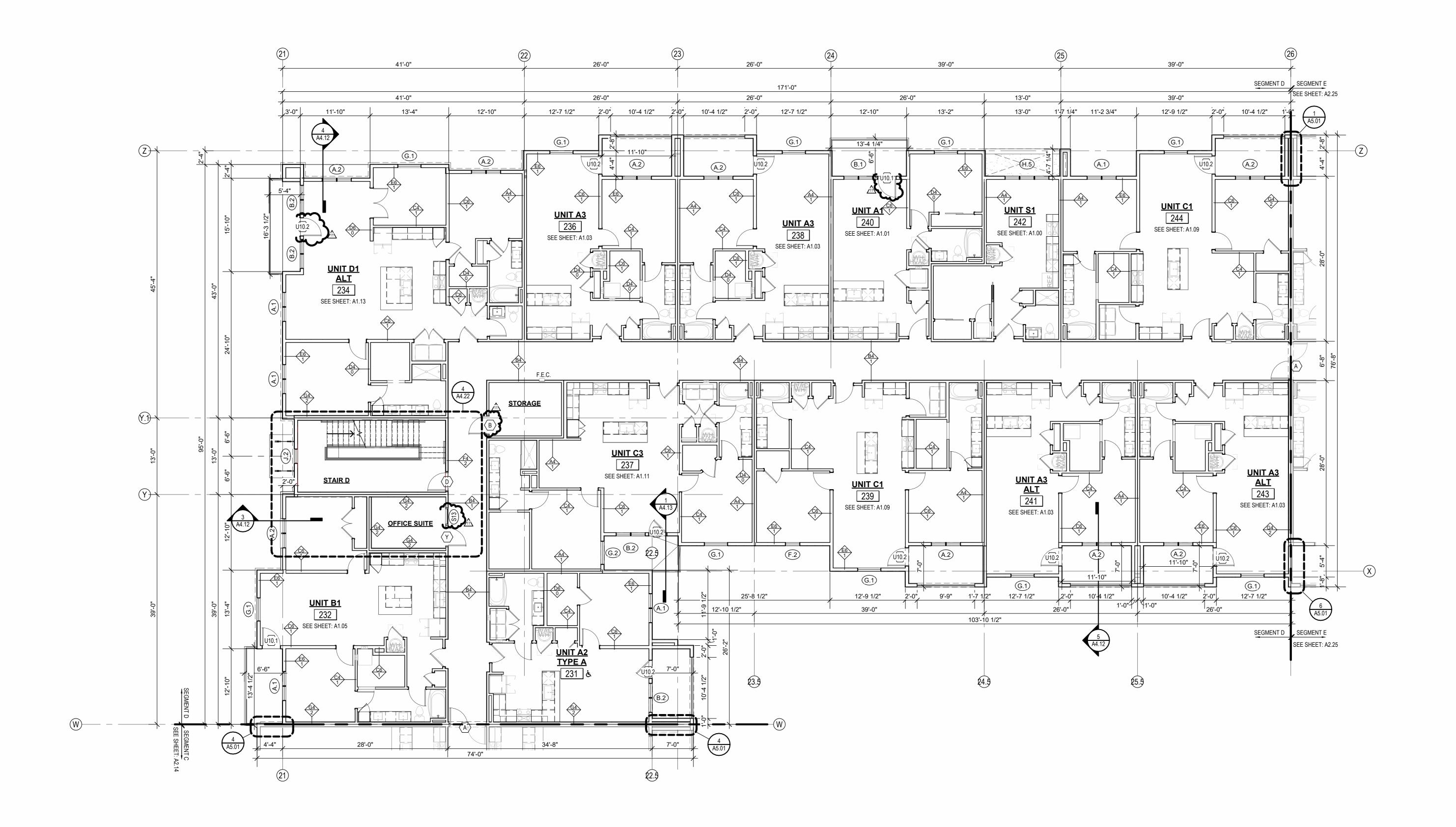
OTHERWISE NOTED.

TRIM/PANELING, ETC.

ARCHITECT PRIOR TO INSTALLATION.

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ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** SHEET NAME
SEGMENT D 2ND FLOOR

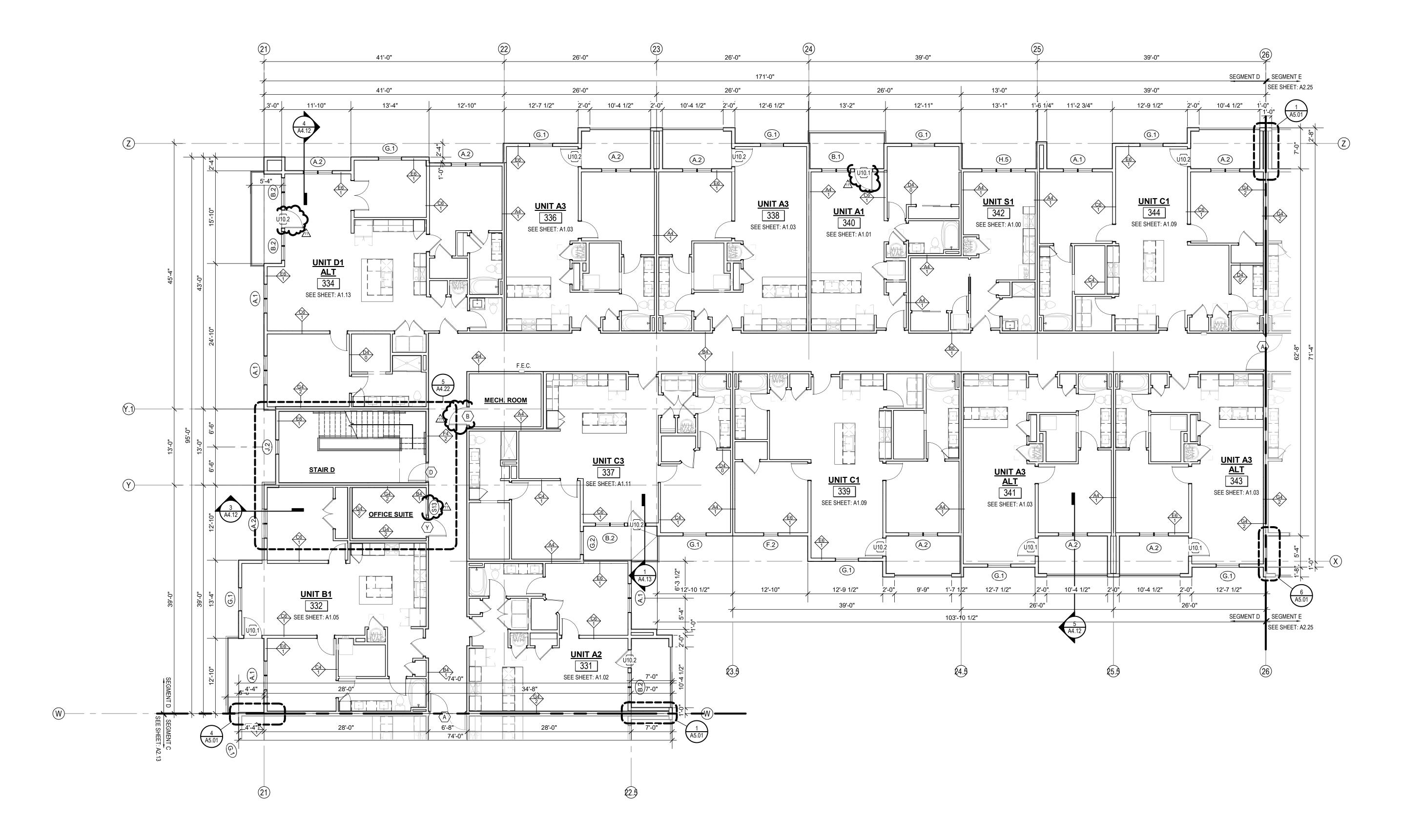


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CONSTRUCTION
As Noted on Plans Review





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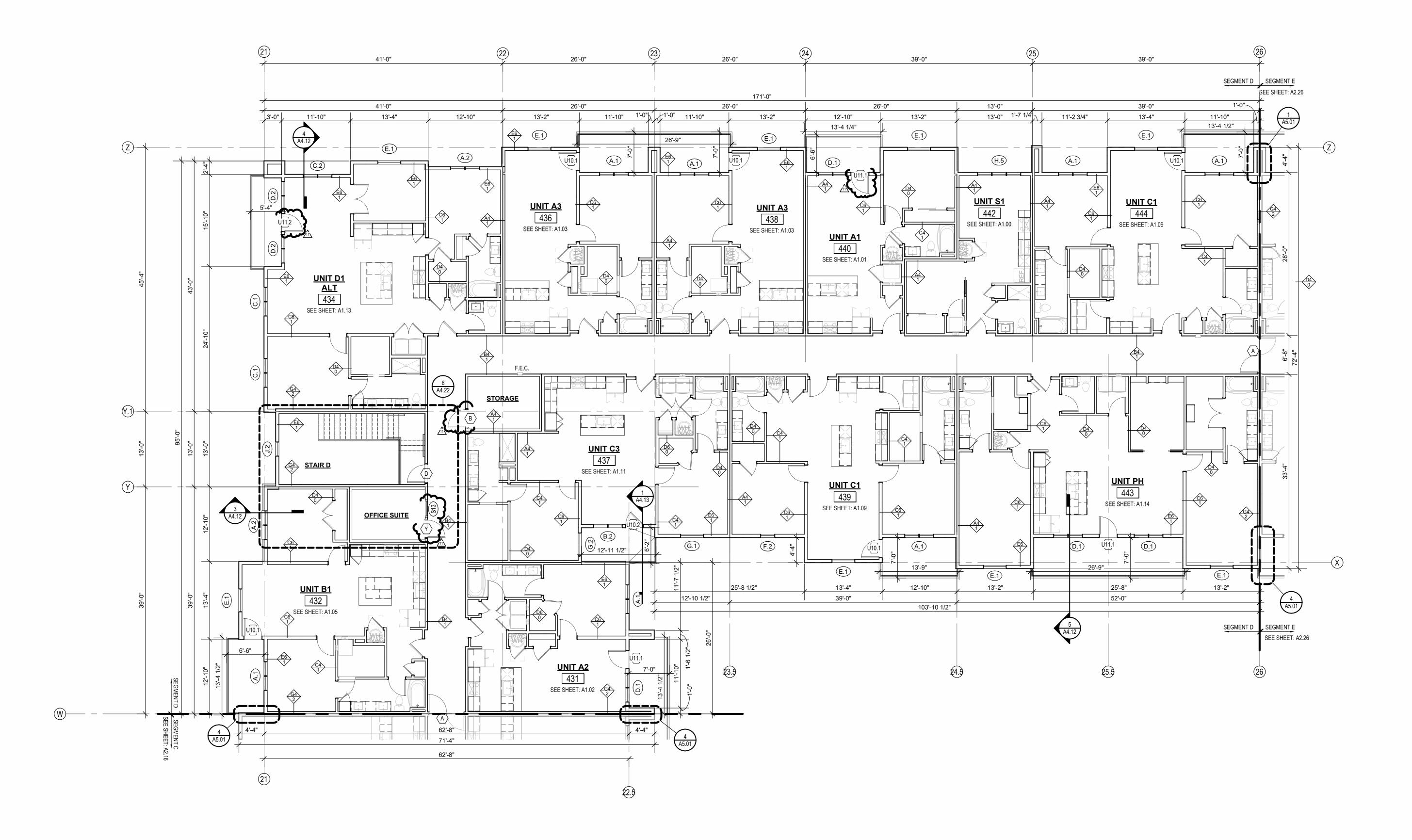
SHEET NAME
SEGMENT D 3RD FLOOR

3RD FLOOR - SEGMENT D

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As Noted on Plans Review





3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4 11 23 1103 ASI 7

SHEET NAME
SEGMENT D 4TH FLOOR

4TH FLOOR - SEGMENT D

10'-4"

14'-0"

11'-6"

12'-8"

SEGMENT D SEE SHEET: A2.18

SLAB PLAN - SEGMENT E

13'-4"

FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

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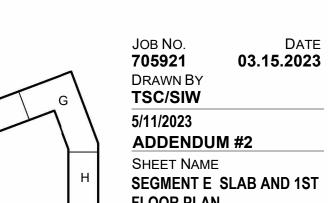


CONSTRUCTION
As Noted on Plans Review





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SHEET NAME
SEGMENT E SLAB AND 1ST
FLOOR PLAN
SHEET NO. KEY PLAN - BUILDING SEGMENTS

FLOOR PLAN GENERAL NOTES:

OTHERWISE NOTED.

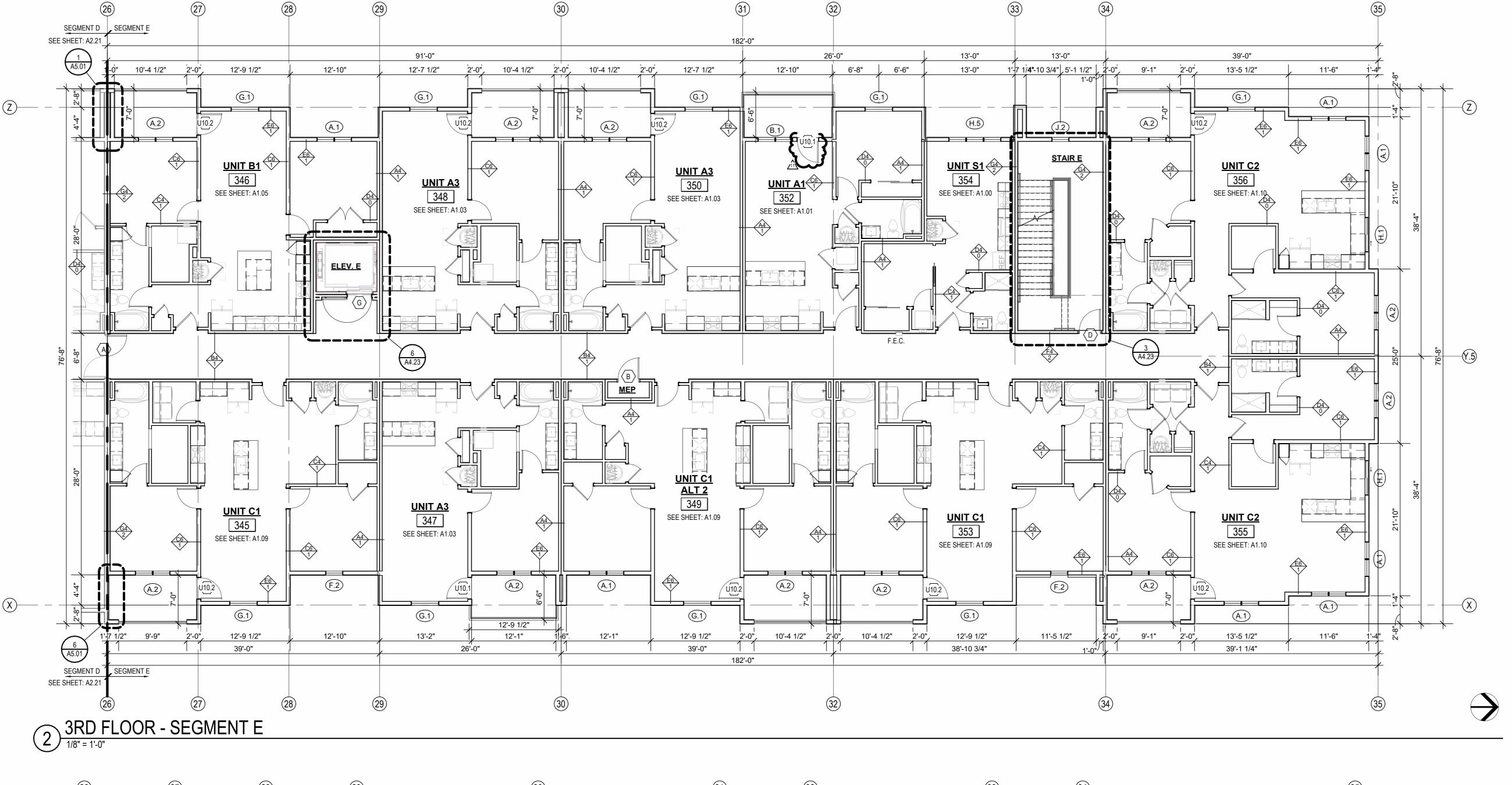
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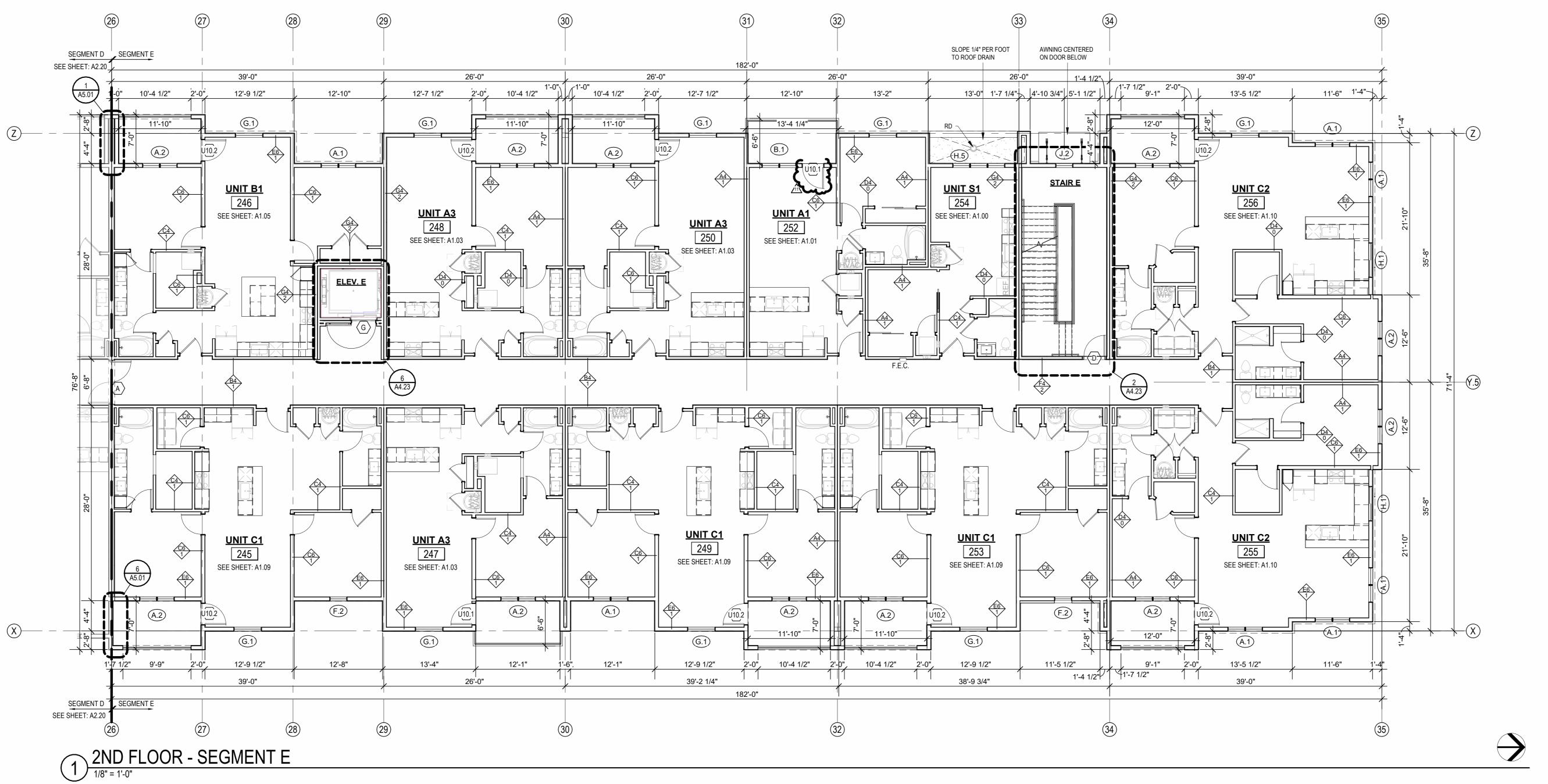
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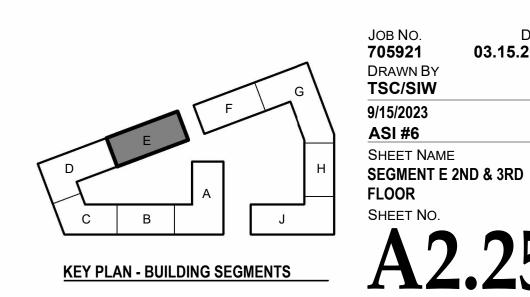




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8 23 07 31 ASI 4 11 23 1103 ASI 7

03.15.2023



FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

CONSTRUCTION As Noted on Plans Review

TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

ROOF PLAN GENERAL NOTES:

REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS. ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

ATTIC VENTING REQUIREMENTS REQUIEMENTS PER 2018 IBC SECTION 1202.2:

MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW

PROPOSED ROOF VENTILATION

LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT) HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

RAISED CEILING HEIGHT KEY

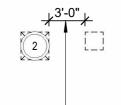
11'-0" CEILING 12'-0" CEILING

			SEG E	ROOF	VENT (CALCUL	ATOR	2		
	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UPPER VENTING			LOWER VENTING		
					STATIC	VENTING	Total Net Free Area of Upper Venting Provided	STATIC VENT		
Name					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof		Vented Net Free Area Per Lower Static Vent	Static Vents Provided	Total Lower Venting Provide
DRAFTSTOP E-1	2823 SF	1355 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in ²
DRAFTSTOP E-2	1785 SF	857 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in ²
DRAFTSTOP E-3	2615 SF	1255 in²	1270 in ²	40.00%	254 in ²	2	508 in ²	254 in²	3	762 in ²
DRAFTSTOP E-4	1746 SF	838 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²
DRAFTSTOP E-5	1671 SF	802 in ²	1016 in²	50.00%	254 in ²	2	508 in ²	254 in²	2	508 in ²
DRAFTSTOP E-6	2917 SF	1400 in ²	1524 in²	50.00%	254 in ²	3	762 in²	254 in ²	3	762 in ²

ROOF VENTING LEGEND

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT: (LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

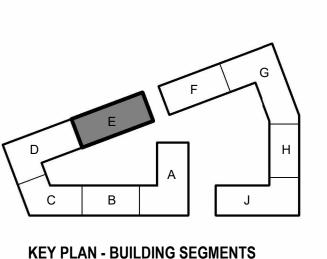


2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT: (LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

△ REVISIONS 1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4 11 23 1103 ASI 7



JOB NO. **705921** 03.15.2023 DRAWN BY TSC/SIW SHEET NAME
SEGMENT E 4TH FLOOR &
ROOF PLAN