



TRILOGY

A NORTHPOINT PROPERTY

PROJECT INFORMATION

PROJECT ADDRESS:
800 & 810 NORTH WARD ROAD
LEE'S SUMMIT
JACKSON
MISSOURI

SITE DATA

| | |
|------------------------------|--------------------------|
| TOTAL LAND AREA | 11.83 ACRES (513,315 SF) |
| TOTAL BUILDING FOOTPRINT | 114,938 SF |
| BUILDING 1 | 62,085 SF |
| BUILDING 2 | 52,851 SF |
| TOTAL BUILDING AREA | 474,067 SF |
| BUILDING 1 | 251,800 SF |
| BUILDING 2 | 222,457 SF |
| TOTAL RESIDENTIAL UNIT COUNT | 323 |
| BUILDING 1 | 178 |
| BUILDING 2 | 145 |
| DENSITY (UNITS/ACRE) | 27/ACRE |

PARKING DATA

| | |
|-------------------------------|---------------|
| VEHICLE PARKING | |
| TOTAL PARKING SPACES REQUIRED | 565 (1.75/DU) |
| TOTAL PARKING SPACES PROVIDED | 579 |
| SURFACE | 406 |
| DETACHED GARAGE | 48 |
| TUCK UNDER GARAGE | 125 |

VICINITY MAP



PROJECT TEAM

| | |
|---|---|
| OWNER: NORTHPOINT DEVELOPMENT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (816) 888-7380 EMAIL: BRAD@NORTHPOINTKC.COM CONTACT: BRAD HAYMOND | ARCHITECT: NSPJ ARCHITECTS, P.A. 3315 N. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913) 831-1415 FAX: (913) 831-1583 EMAIL: THOMAS@NSPJARCH.COM CONTACT: TM HOWBURG, AIA |
| CIVIL ENGINEER: SITEPOINT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (816) 888-7380 EMAIL: NHAAS@NORTHPOINTKC.COM CONTACT: NEIL HAAS | STRUCTURAL ENGINEER: KRUDWIG STRUCTURAL ENGINEERS, INC. 8801 REMNER AVENUE, SUITE 407 LENEXA, KS 66219 TEL: (913) 650-0584 EMAIL: JKUDWIG@KRUDWIG.COM CONTACT: JOHN KRUDWIG |
| MEP ENGINEER: LATIMER, SOMMER & ASSOCIATES 3539 SW SUMMERFIELD DR, SUITE A TOPEKA, KS 66614 TEL: (785) 233-3232 EMAIL: RBEARDMORE@LSAPA.COM CONTACT: RICH BEARDMORE | LANDSCAPE ARCHITECT: NSPJ ARCHITECTS, P.A. 3315 N. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913) 831-1415 FAX: (913) 831-1583 EMAIL: BHUS@NSPJARCH.COM CONTACT: BRAD HUS |
| GENERAL CONTRACTOR: NEIGHBORS CONSTRUCTION COMPANY, INC. 1706 E 120th STREET OLATHE, KS 66061 TEL: (913) 422-5555 EMAIL: RTEERRILL@NEIGHBORSCONSTRUCTION.COM CONTACT: RYAN TERRILL | INTERIOR DESIGNER: LOWERY DESIGN GROUP 2200 W. 75TH STREET, SUITE 102 PRAIRIE VILLAGE, KS 66208 TEL: (720) 212-6841 EMAIL: ERIN@LOWERYDESIGNGROUP.COM CONTACT: ERIN LOWERY |

PROJECT GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE LAWS, REGULATIONS, CODES AND AMENDMENTS.
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
- DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED ITEMS AND WORK IS REQUIRED.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS AND TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS/AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE. REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN, ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.
- IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.
- IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO SUCH ITEMS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT.
- EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSIDERED AS ACCEPTANCE OF ALL SUBSURFACES.

| UNIT MIX - BLDG. 1 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 13 | 5.0% | 8929 SF |
| UNIT A2 | 10 | 4.2% | 7235 SF |
| UNIT A2 TYPE A | 2 | 0.8% | 1451 SF |
| UNIT A3 | 33 | 14.9% | 25824 SF |
| UNIT A3 ALT | 12 | 5.5% | 9540 SF |
| | 70 | 30.4% | 52707 SF |
| 1 BED / 1 BATH / DEN | | | |
| UNIT B1 | 9 | 5.3% | 9186 SF |
| UNIT B1 ALT | 4 | 2.4% | 4186 SF |
| UNIT B2 | 4 | 2.6% | 4598 SF |
| UNIT B4 | 1 | 0.7% | 1148 SF |
| | 18 | 11.0% | 19117 SF |
| 2 BED / 2 BATH | | | |
| UNIT C1 | 32 | 21.1% | 36713 SF |
| UNIT C1 ALT 2 | 2 | 1.3% | 2294 SF |
| UNIT C1 ALT 3 | 4 | 2.7% | 4692 SF |
| UNIT C1 TYPE A | 1 | 0.7% | 1147 SF |
| UNIT C2 | 14 | 9.9% | 17229 SF |
| UNIT C3 | 8 | 5.6% | 9638 SF |
| UNIT C4 | 4 | 2.8% | 4947 SF |
| | 65 | 44.1% | 78621 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 3 | 2.8% | 4497 SF |
| UNIT D1 ALT | 3 | 2.6% | 4497 SF |
| UNIT PH | 6 | 5.5% | 9593 SF |
| | 12 | 10.7% | 16538 SF |
| GUEST SUITE | 1 | 0.2% | 358 SF |
| | 1 | 0.2% | 358 SF |
| STUDIO | | | |
| UNIT S1 | 10 | 2.8% | 4800 SF |
| UNIT S1 ALT | 3 | 0.8% | 1446 SF |
| | 13 | 3.6% | 6246 SF |
| TOTALS | 179 | 100.0% | 173607 SF |

| UNIT MIX - BLDG. 2 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 7 | 3.2% | 4647 SF |
| UNIT A2 | 11 | 5.6% | 7980 SF |
| UNIT A2 TYPE A | 2 | 1.0% | 1451 SF |
| UNIT A3 | 18 | 9.8% | 14086 SF |
| UNIT A3 ALT | 18 | 10.0% | 14322 SF |
| UNIT A4 | 3 | 1.5% | 2221 SF |
| | 59 | 31.1% | 44707 SF |
| 1 BED / 1 BATH / DEN | | | |
| UNIT B1 | 6 | 4.3% | 6124 SF |
| UNIT B3 | 4 | 3.0% | 4241 SF |
| | 10 | 7.2% | 10365 SF |
| 2 BED / 2 BATH | | | |
| UNIT C1 | 31 | 24.8% | 35566 SF |
| UNIT C1 ALT | 4 | 3.3% | 4692 SF |
| UNIT C1 ALT 2 | 2 | 1.6% | 2294 SF |
| UNIT C1 TYPE A | 2 | 1.6% | 2294 SF |
| UNIT C2 | 12 | 10.3% | 14768 SF |
| UNIT C3 | 6 | 5.0% | 7229 SF |
| | 57 | 46.2% | 66633 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 8 | 8.4% | 11993 SF |
| UNIT PH | 4 | 4.4% | 5376 SF |
| | 12 | 12.8% | 16369 SF |
| STUDIO | | | |
| UNIT S1 | 7 | 2.2% | 3380 SF |
| | 7 | 2.3% | 3380 SF |
| TOTALS | 145 | 100.0% | 143603 SF |

A NEW RESIDENTIAL COMMUNITY AT:

TRILOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

| REVISIONS | | |
|-----------|----------|-----------------|
| 1 | 23.04.11 | CITY COMMENTS 1 |
| 2 | 23.05.11 | ADDENDUM 2 |
| 3 | 23.07.31 | AS1-4 |

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME COVER SHEET

SHEET NO.

03.15.2023
A0.00

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

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4/7/2023 10:40:07 AM ARCH E1 30' x 42'



2 AREA USE - B1 - 2ND FLR.
3/64" = 1'-0"



1 AREA USE - B1 - 1ST FLR.
3/64" = 1'-0"

| AREA SUMMARY - BLDG. 1 | | |
|----------------------------|-----------|--------|
| NAME | AREA SF. | % AREA |
| Building Common Area | | |
| CLUBHOUSE | 11073 SF | 4.4% |
| CORRIDOR | 24847 SF | 10.0% |
| ELEC | 331 SF | 0.1% |
| GARAGE | 14195 SF | 5.7% |
| IDF MECH. ROOM | 127 SF | 0.1% |
| IDFMEP | 171 SF | 0.1% |
| IDFMECH. ROOM | 127 SF | 0.1% |
| MEP | 795 SF | 0.3% |
| POOL EQUIP | 284 SF | 0.1% |
| RES. STOR. | 1212 SF | 0.5% |
| RISER ROOM | 186 SF | 0.1% |
| STOR. | 405 SF | 0.2% |
| | 53863 SF | 21.5% |
| Exterior Area | | |
| PATIO | 15806 SF | 6.3% |
| | 15806 SF | 6.3% |
| Major Vertical Penetration | | |
| ELEV. A | 288 SF | 0.1% |
| ELEV. C | 289 SF | 0.1% |
| ELEV. D | 289 SF | 0.1% |
| ELEV. E | 289 SF | 0.1% |
| STAIR A | 1456 SF | 0.6% |
| STAIR B1 | 1456 SF | 0.6% |
| STAIR B2 | 1456 SF | 0.6% |
| STAIR D | 1361 SF | 0.5% |
| STAIR E | 1456 SF | 0.6% |
| | 8330 SF | 3.3% |
| Store Area | | |
| GUEST SUITE | 358 SF | 0.1% |
| UNIT A1 | 8629 SF | 3.4% |
| UNIT A2 | 7255 SF | 2.9% |
| UNIT A2 TYPE A | 1451 SF | 0.6% |
| UNIT A3 | 25824 SF | 10.3% |
| UNIT A3 ALT | 9548 SF | 3.8% |
| UNIT B1 | 9185 SF | 3.7% |
| UNIT B1 ALT | 4185 SF | 1.7% |
| UNIT B2 | 4598 SF | 1.8% |
| UNIT B4 | 1148 SF | 0.5% |
| UNIT C1 | 36713 SF | 14.7% |
| UNIT C1 ALT 2 | 1127 SF | 0.4% |
| UNIT C1 ALT 3 | 4692 SF | 1.9% |
| UNIT C1 TYPE A | 1147 SF | 0.5% |
| UNIT C2 | 17229 SF | 6.9% |
| UNIT C3 | 9639 SF | 3.8% |
| UNIT C4 | 4847 SF | 2.0% |
| UNIT D1 | 4497 SF | 1.8% |
| UNIT D1 ALT | 2898 SF | 1.2% |
| UNIT D1 ALT 2 | 1459 SF | 0.6% |
| UNIT PH | 9563 SF | 3.8% |
| UNIT S1 | 6240 SF | 2.5% |
| | 172474 SF | 68.9% |
| TOTAL | 250473 SF | 100.0% |

| UNIT MIX - BLDG. 1 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 43 | 5.0% | 8629 SF |
| UNIT A2 | 18 | 4.2% | 7255 SF |
| UNIT A2 TYPE A | 3 | 0.8% | 1451 SF |
| UNIT A3 | 53 | 15.0% | 25824 SF |
| UNIT A3 ALT | 12 | 5.5% | 9548 SF |
| 1 BED / 1 BATH / DEN | 70 | 30.6% | 52707 SF |
| 2 BED / 2 BATH | | | |
| UNIT B1 | 9 | 5.3% | 9185 SF |
| UNIT B1 ALT | 4 | 2.4% | 4185 SF |
| UNIT B2 | 4 | 2.7% | 4598 SF |
| UNIT B4 | 1 | 0.7% | 1148 SF |
| 2 BED / 2 BATH / DEN | 18 | 11.1% | 19117 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT C1 | 32 | 21.3% | 36713 SF |
| UNIT C1 ALT 2 | 1 | 0.7% | 1127 SF |
| UNIT C1 ALT 3 | 4 | 2.7% | 4692 SF |
| UNIT C1 TYPE A | 1 | 0.7% | 1147 SF |
| UNIT C2 | 14 | 10.0% | 17229 SF |
| UNIT C3 | 8 | 5.6% | 9639 SF |
| UNIT C4 | 4 | 2.9% | 4847 SF |
| 2 BED / 2 BATH / DEN | 64 | 43.8% | 75494 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 3 | 2.6% | 4497 SF |
| UNIT D1 ALT | 2 | 1.7% | 2898 SF |
| UNIT D1 ALT 2 | 1 | 0.9% | 1459 SF |
| UNIT PH | 6 | 5.5% | 9563 SF |
| UNIT S1 | 12 | 10.8% | 18556 SF |
| GUEST SUITE | | | |
| GUEST SUITE | 1 | 0.2% | 358 SF |
| STUDIO | | | |
| UNIT S1 | 13 | 3.6% | 6240 SF |
| TOTALS | 178 | 100.0% | 172474 SF |

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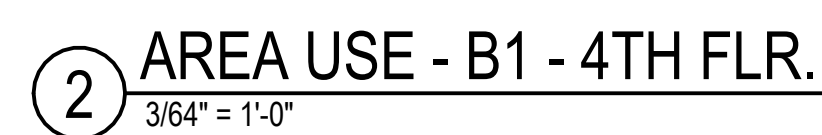
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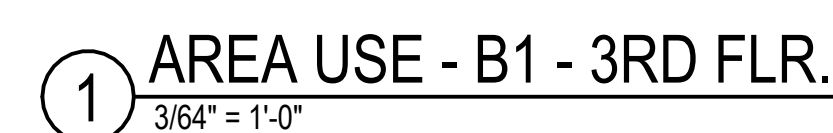
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1 23.0411 CITY COMMENTS 1

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME BUILDING 1 AREA PLANS
SHEET NO. A0.10



| UNIT MIX - BLDG. 1 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 13 | 5.0% | 8629 SF |
| UNIT B1 | 10 | 4.2% | 7252 SF |
| UNIT A2 TYPE A | 2 | 0.8% | 1451 SF |
| UNIT A3 | 33 | 15.0% | 25824 SF |
| UNIT A3 ALT | 12 | 5.5% | 8946 SF |
| UNIT B3 | 10 | 30.6% | 5207 SF |
| 1 BED / 1 BATH / DEN | | | |
| UNIT B1 | 9 | 5.3% | 9196 SF |
| UNIT B1 ALT | 4 | 2.4% | 4155 SF |
| UNIT B2 | 4 | 2.7% | 4598 SF |
| UNIT B4 | 1 | 0.7% | 1148 SF |
| UNIT B5 | 18 | 11.1% | 19117 SF |
| 2 BED / 2 BATH | | | |
| UNIT C1 | 32 | 21.3% | 36713 SF |
| UNIT C1 ALT 2 | 1 | 0.7% | 1127 SF |
| UNIT C1 ALT 3 | 4 | 2.7% | 4692 SF |
| UNIT C1 TYPE A | 1 | 0.7% | 1147 SF |
| UNIT C2 | 14 | 10.0% | 17229 SF |
| UNIT C2 ALT | 8 | 5.0% | 9638 SF |
| UNIT C4 | 4 | 2.9% | 4947 SF |
| UNIT C5 | 64 | 43.8% | 75494 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 3 | 2.6% | 4487 SF |
| UNIT D1 ALT | 2 | 1.7% | 2998 SF |
| UNIT D1 ALT 2 | 1 | 0.9% | 1499 SF |
| UNIT FH | 6 | 5.5% | 9563 SF |
| UNIT G1 | 12 | 10.8% | 16558 SF |
| GUEST | | | |
| GUEST SUITE | 1 | 0.2% | 358 SF |
| STUDIO | | | |
| UNIT S1 | 13 | 3.8% | 6240 SF |
| UNIT S1 | 13 | 3.8% | 6240 SF |
| TOTAL | 178 | 100.0% | 172474 SF |



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JOB NO.
705921

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DATE
03.15.2023

4/11/2023

CITY COMMENTS

SHEET NAME
BUILDING 1 AREA PLANS

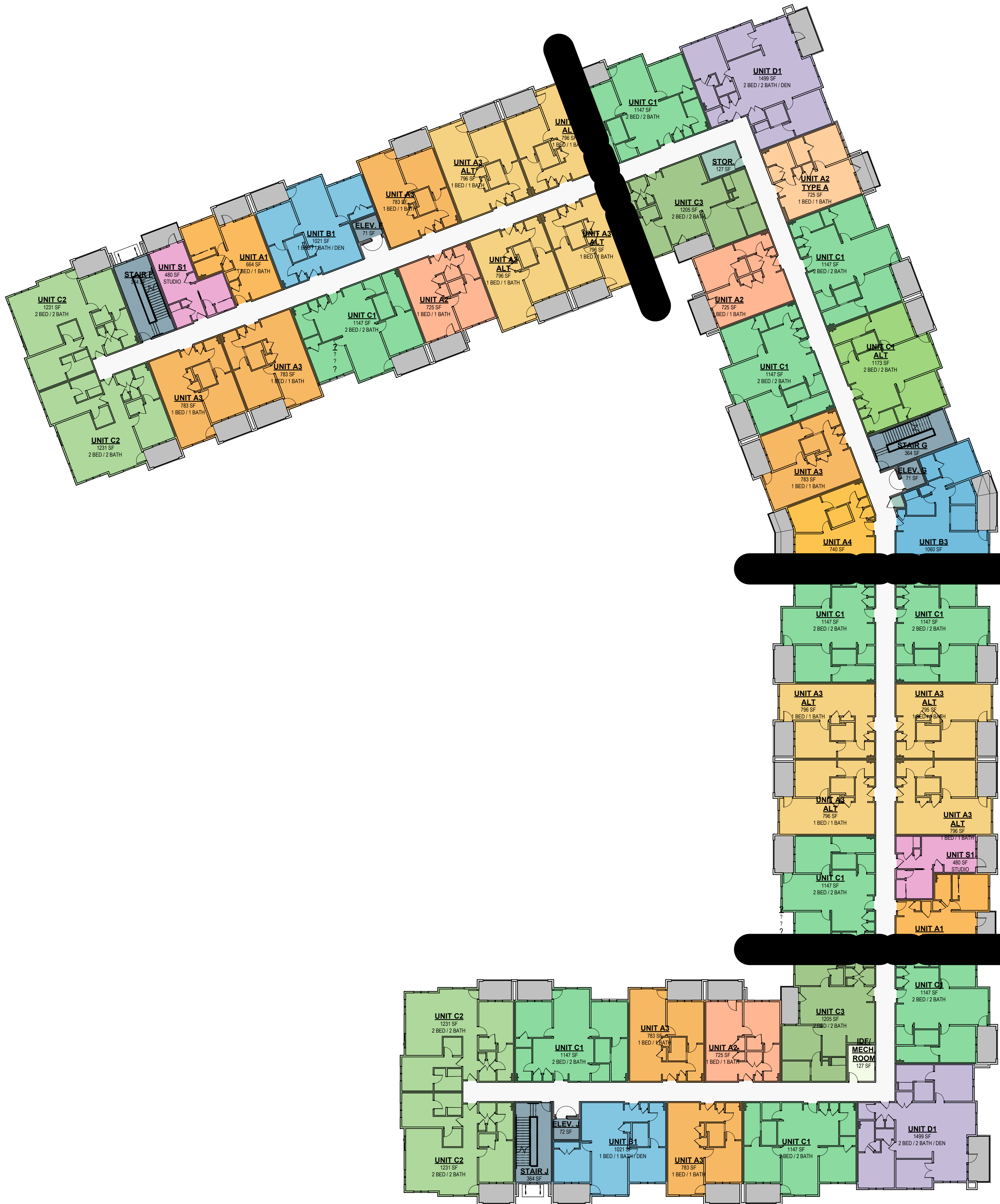
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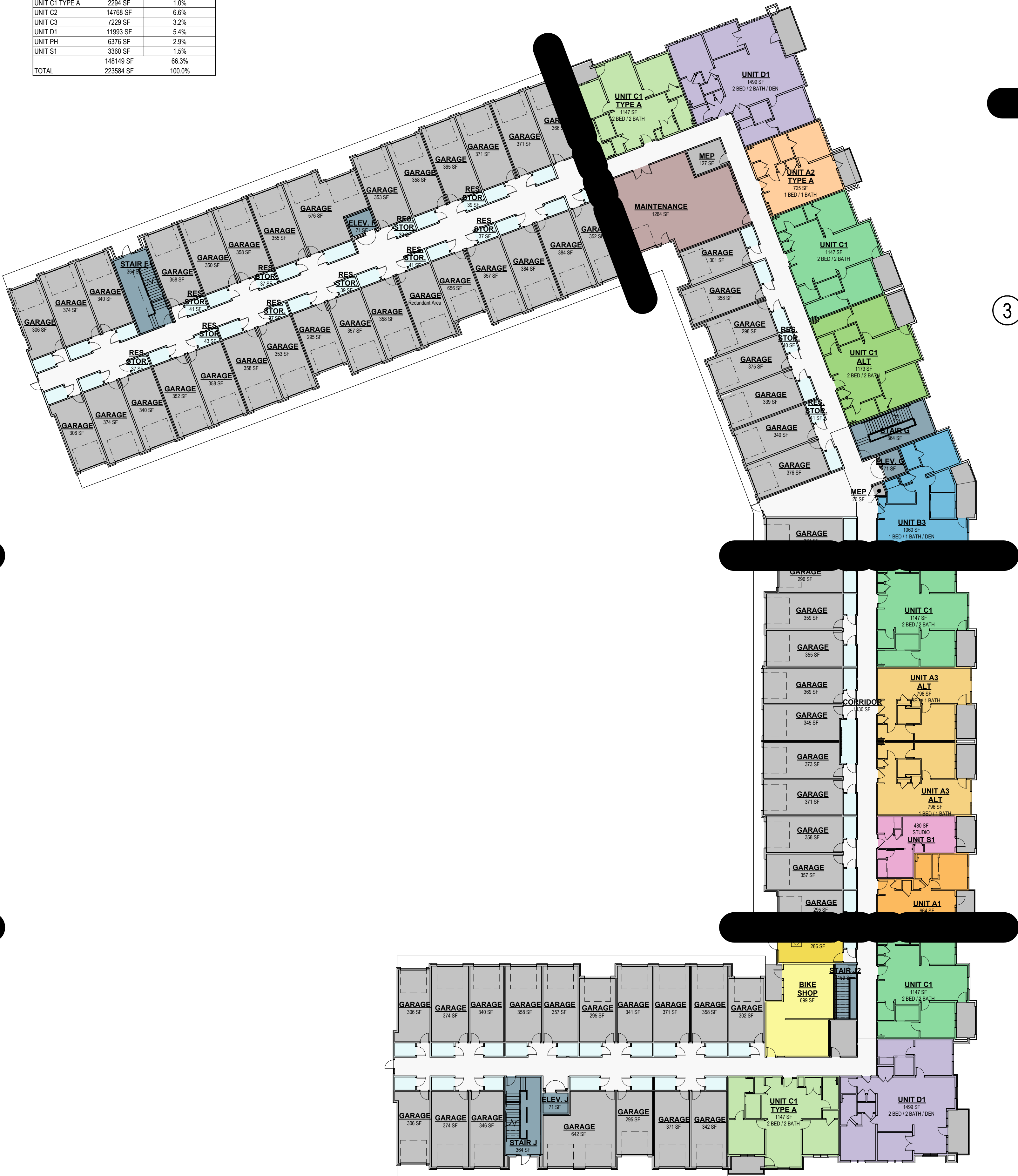
4/7/2023 10:40:49 AM ARCH E1 30' x 42'

| AREA SUMMARY - BLDG. 2 | | |
|----------------------------|-----------|--------|
| NAME | AREA SF. | % AREA |
| Building Common Area | | |
| BIKE SHOP | 699 SF | 0.3% |
| CORRIDOR | 2457 SF | 11.0% |
| DOG SPA | 286 SF | 0.1% |
| GARAGE | 2572 SF | 11.2% |
| IDFI MECH. ROOM | 330 SF | 0.2% |
| MAINTENANCE | 1264 SF | 0.6% |
| MEP | 609 SF | 0.3% |
| PATIO | 76 SF | 0.0% |
| RES. STOR. | 3201 SF | 1.4% |
| RISER ROOM | 176 SF | 0.1% |
| STOR. | 166 SF | 0.1% |
| | 56602 SF | 25.3% |
| Exterior Area | | |
| PATIO | 12785 SF | 5.7% |
| | 12785 SF | 5.7% |
| Major Vertical Penetration | | |
| ELEV. F | 283 SF | 0.1% |
| ELEV. G | 355 SF | 0.2% |
| ELEV. J | 285 SF | 0.1% |
| STAIR F | 1456 SF | 0.7% |
| STAIR G | 1820 SF | 0.8% |
| STAIR J | 1456 SF | 0.7% |
| STAIR J2 | 393 SF | 0.2% |
| | 6048 SF | 2.7% |
| Shore Area | | |
| GARAGE | 3419 SF | 1.5% |
| UNIT A1 | 4647 SF | 2.1% |
| UNIT A2 | 7980 SF | 3.6% |
| UNIT A2 TYPE A | 1451 SF | 0.6% |
| UNIT A3 | 14086 SF | 6.3% |
| UNIT A3 ALT | 14322 SF | 6.4% |
| UNIT A4 | 2221 SF | 1.0% |
| UNIT B1 | 6124 SF | 2.7% |
| UNIT B3 | 4241 SF | 1.9% |
| UNIT C1 | 35566 SF | 15.9% |
| UNIT C1 ALT | 4692 SF | 2.1% |
| UNIT C1 ALT 2 | 3381 SF | 1.5% |
| UNIT C1 TYPE A | 2294 SF | 1.0% |
| UNIT C2 | 14768 SF | 6.6% |
| UNIT C3 | 7229 SF | 3.2% |
| UNIT D1 | 11993 SF | 5.4% |
| UNIT PH | 6376 SF | 2.9% |
| UNIT S1 | 3360 SF | 1.5% |
| TOTAL | 148149 SF | 66.3% |
| | 223584 SF | 100.0% |

| UNIT MIX - BLDG. 2 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 7 | 3.2% | 4647 SF |
| UNIT A2 | 11 | 5.5% | 7980 SF |
| UNIT A2 TYPE A | 2 | 1.0% | 1451 SF |
| UNIT A3 | 18 | 9.7% | 14086 SF |
| UNIT A3 ALT | 18 | 9.9% | 14322 SF |
| UNIT A4 | 3 | 1.5% | 2221 SF |
| | 59 | 30.9% | 44707 SF |
| 1 BED / 1 BATH / DEN | | | |
| UNIT B1 | 6 | 4.2% | 6124 SF |
| UNIT B3 | 4 | 2.9% | 4241 SF |
| | 10 | 7.2% | 10365 SF |
| 2 BED / 2 BATH | | | |
| UNIT C1 | 31 | 24.6% | 35566 SF |
| UNIT C1 ALT | 4 | 3.2% | 4692 SF |
| UNIT C1 ALT 2 | 3 | 2.3% | 3381 SF |
| UNIT C1 TYPE A | 2 | 1.6% | 2294 SF |
| UNIT C2 | 12 | 10.2% | 14768 SF |
| UNIT C3 | 6 | 5.0% | 7229 SF |
| | 58 | 46.9% | 67530 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 8 | 8.3% | 11993 SF |
| UNIT PH | 4 | 4.4% | 6376 SF |
| | 12 | 12.7% | 18369 SF |
| STUDIO | | | |
| UNIT S1 | 7 | 2.3% | 3360 SF |
| | 7 | 2.3% | 3360 SF |
| TOTALS | 146 | 100.0% | 144730 SF |

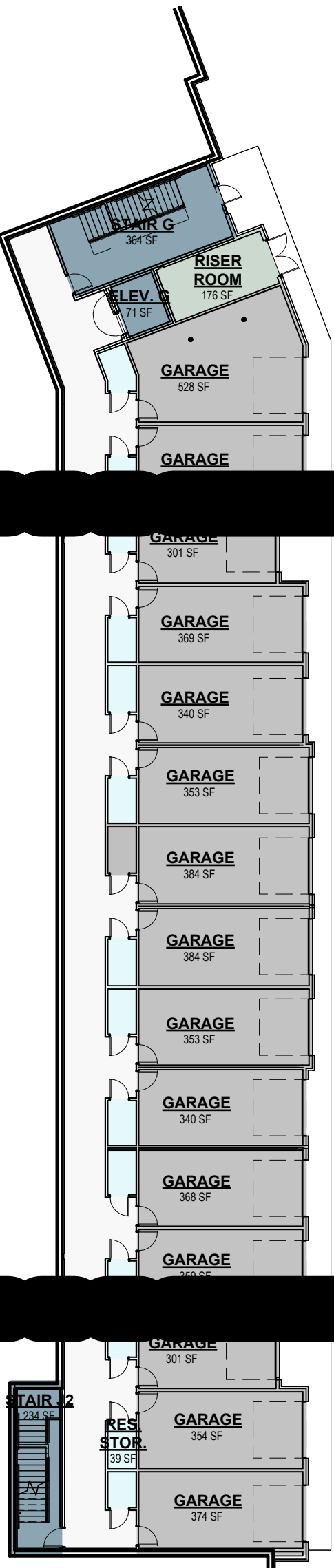


2 AREA USE - B2 - 2ND FLR.
3/64" = 1'-0"



1 AREA USE - B2 - 1ST FLR.
3/64" = 1'-0"

3 AREA USE - B2 - BSMNT
3/64" = 1'-0"



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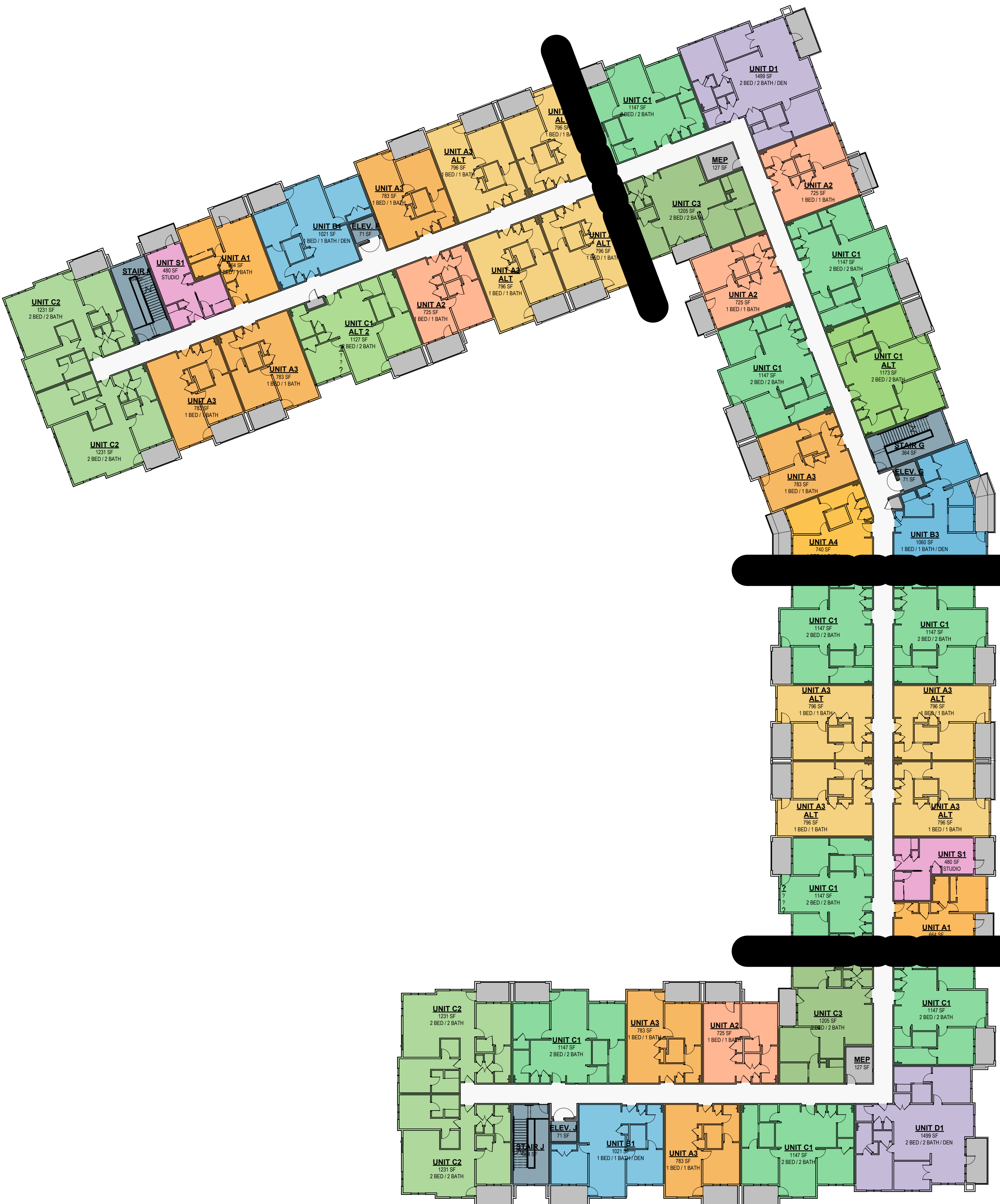
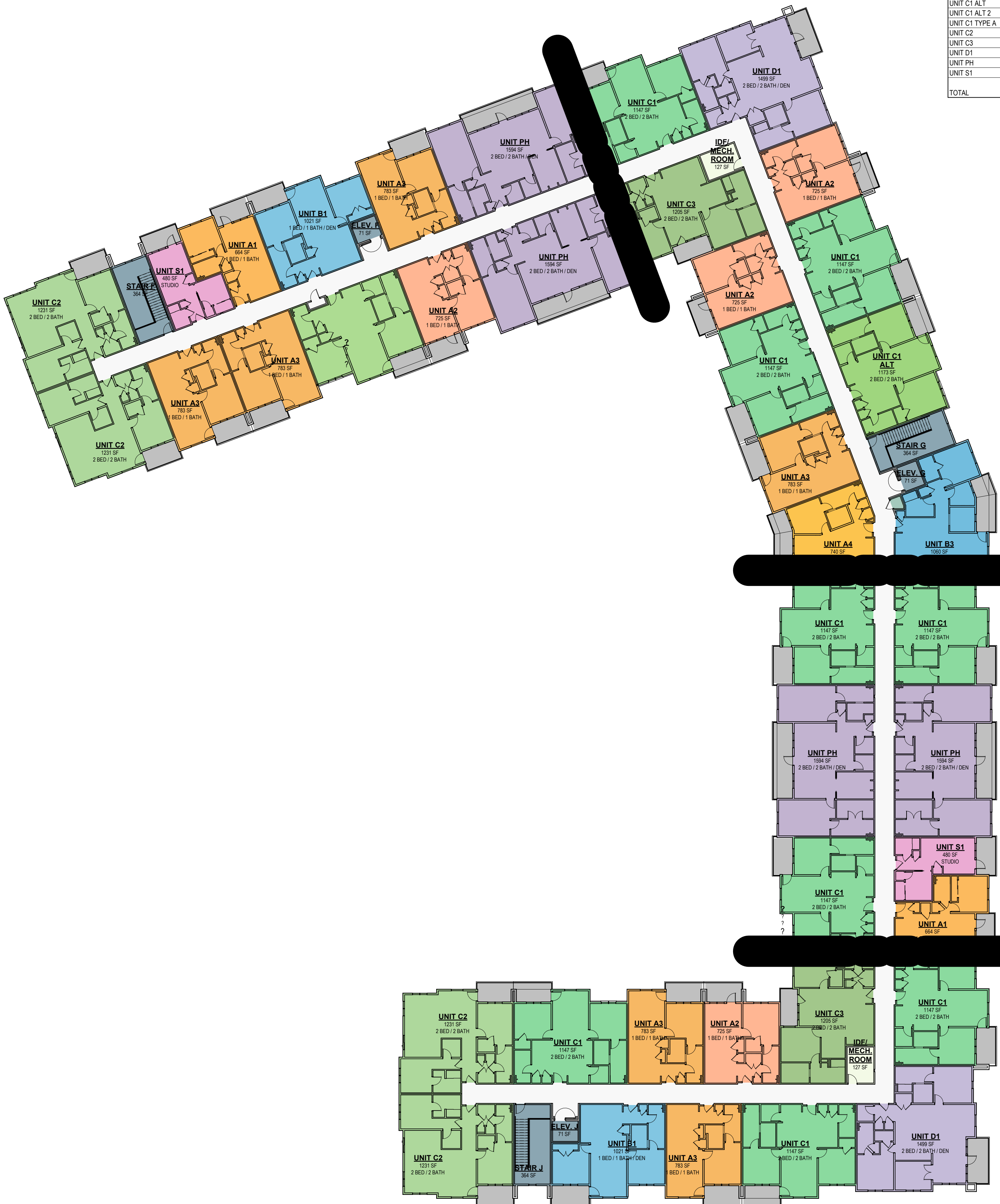
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4/11/2023
CITY COMMENTS
BUILDING 2 AREA PLANS
SHEET NAME
SHEET NO.

DATE
03.15.2023

A0.12

| AREA SUMMARY - BLDG. 2 | | |
|----------------------------|-----------|--------|
| NAME | AREA SF. | % AREA |
| Building Common Area | | |
| BIKE SHOP | 699 SF | 0.3% |
| CORRIDOR | 24917 SF | 11.0% |
| DOG SPA | 286 SF | 0.1% |
| GARAGE | 25127 SF | 11.2% |
| EXP. MECH. ROOM | 360 SF | 0.2% |
| MAINTENANCE | 1264 SF | 0.6% |
| MEP | 609 SF | 0.3% |
| PAINT | 76 SF | 0.0% |
| RES. STOR. | 3201 SF | 1.4% |
| RISER ROOM | 176 SF | 0.1% |
| STOR. | 166 SF | 0.1% |
| | 56602 SF | 25.3% |
| Exterior Area | | |
| PAINT | 12785 SF | 5.7% |
| | 12785 SF | 5.7% |
| Major Vertical Penetration | | |
| ELEV. F | 283 SF | 0.1% |
| ELEV. G | 365 SF | 0.2% |
| ELEV. J | 265 SF | 0.1% |
| STAIR F | 1458 SF | 0.7% |
| STAIR G | 1820 SF | 0.8% |
| STAIR J | 1458 SF | 0.7% |
| STAIR J2 | 360 SF | 0.2% |
| | 6048 SF | 2.7% |
| Store Area | | |
| GARAGE | 3419 SF | 1.5% |
| UNIT A1 | 4647 SF | 2.1% |
| UNIT A2 | 7980 SF | 3.6% |
| UNIT A2 TYPE A | 1451 SF | 0.6% |
| UNIT A3 | 14086 SF | 6.3% |
| UNIT A3 ALT | 14322 SF | 6.4% |
| UNIT A4 | 2221 SF | 1.0% |
| UNIT B1 | 6124 SF | 2.7% |
| UNIT B3 | 4241 SF | 1.9% |
| UNIT C1 | 35566 SF | 15.9% |
| UNIT C1 ALT | 4692 SF | 2.1% |
| UNIT C1 ALT 2 | 3381 SF | 1.5% |
| UNIT C1 TYPE A | 2294 SF | 1.0% |
| UNIT C2 | 14788 SF | 6.6% |
| UNIT C3 | 7229 SF | 3.2% |
| UNIT D1 | 11993 SF | 5.4% |
| UNIT PH | 6376 SF | 2.9% |
| UNIT S1 | 3360 SF | 1.5% |
| TOTAL | 148149 SF | 66.3% |
| | 223584 SF | 100.0% |

| UNIT MIX - BLDG. 2 | | | |
|----------------------|---------|---------|-----------|
| UNIT TYPE | # UNITS | % TOTAL | TOTAL SF. |
| 1 BED / 1 BATH | | | |
| UNIT A1 | 7 | 3.2% | 4647 SF |
| UNIT A2 | 11 | 5.5% | 7980 SF |
| UNIT A2 TYPE A | 2 | 1.0% | 1451 SF |
| UNIT A3 | 18 | 9.7% | 14086 SF |
| UNIT A3 ALT | 18 | 9.9% | 14322 SF |
| UNIT A4 | 3 | 1.5% | 2221 SF |
| | 59 | 30.9% | 44707 SF |
| 1 BED / 1 BATH / DEN | | | |
| UNIT B1 | 6 | 4.2% | 6124 SF |
| UNIT B3 | 4 | 2.9% | 4241 SF |
| | 10 | 7.2% | 10365 SF |
| 2 BED / 2 BATH | | | |
| UNIT C1 | 31 | 24.6% | 35566 SF |
| UNIT C1 ALT | 4 | 3.2% | 4692 SF |
| UNIT C1 ALT 2 | 3 | 2.3% | 3381 SF |
| UNIT C1 TYPE A | 2 | 1.6% | 2294 SF |
| UNIT C2 | 12 | 10.2% | 14788 SF |
| UNIT C3 | 6 | 5.0% | 7229 SF |
| | 58 | 46.9% | 67930 SF |
| 2 BED / 2 BATH / DEN | | | |
| UNIT D1 | 8 | 8.3% | 11993 SF |
| UNIT PH | 4 | 4.4% | 6376 SF |
| | 12 | 12.7% | 18369 SF |
| STUDIO | | | |
| UNIT S1 | 7 | 2.3% | 3360 SF |
| | 7 | 2.3% | 3360 SF |
| TOTALS | 146 | 100.0% | 141730 SF |



② AREA USE - B2 - 4TH FLR.
3/64" = 1'-0"

① AREA USE - B2 - 3RD FLR.
3/64" = 1'-0"

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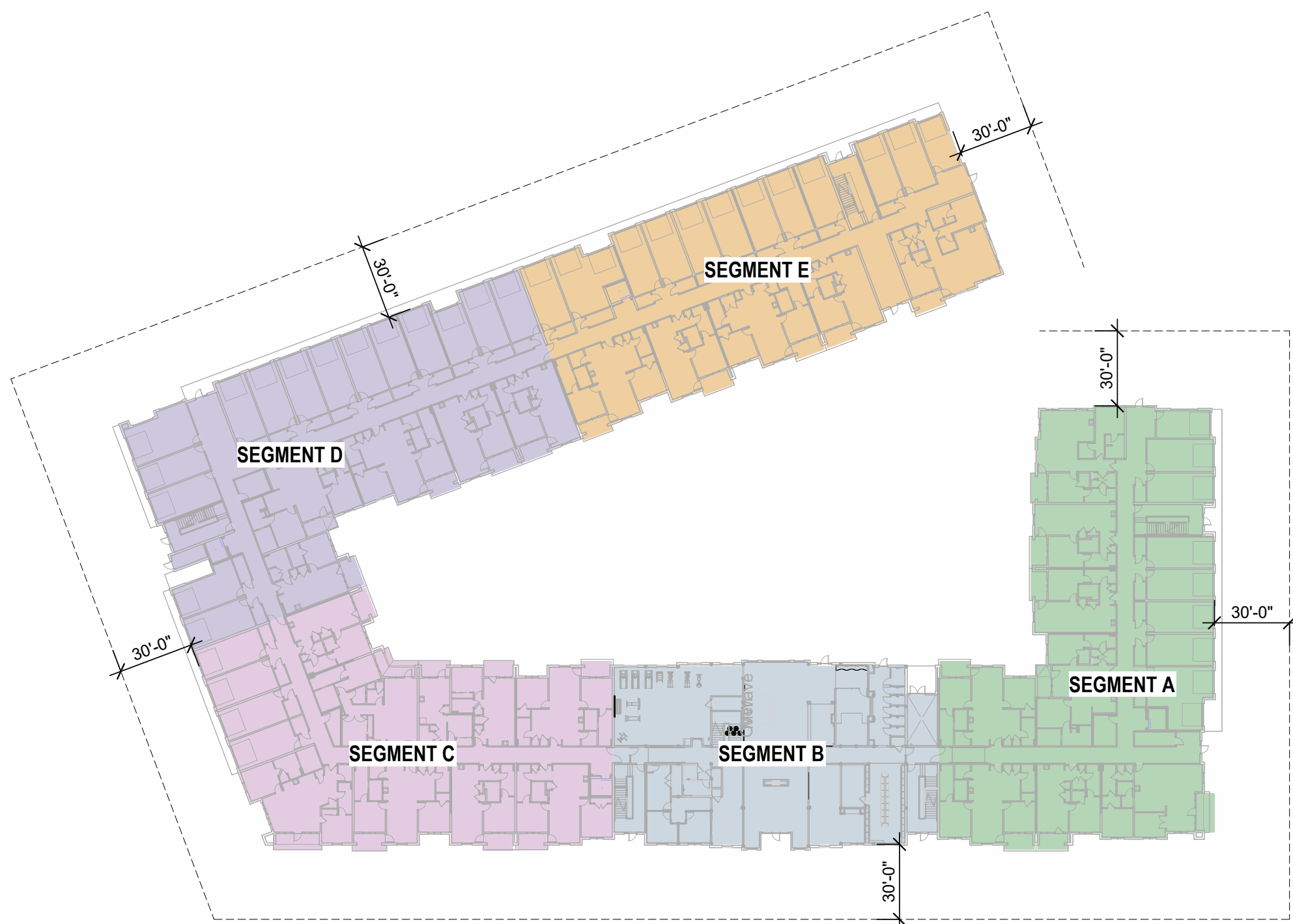
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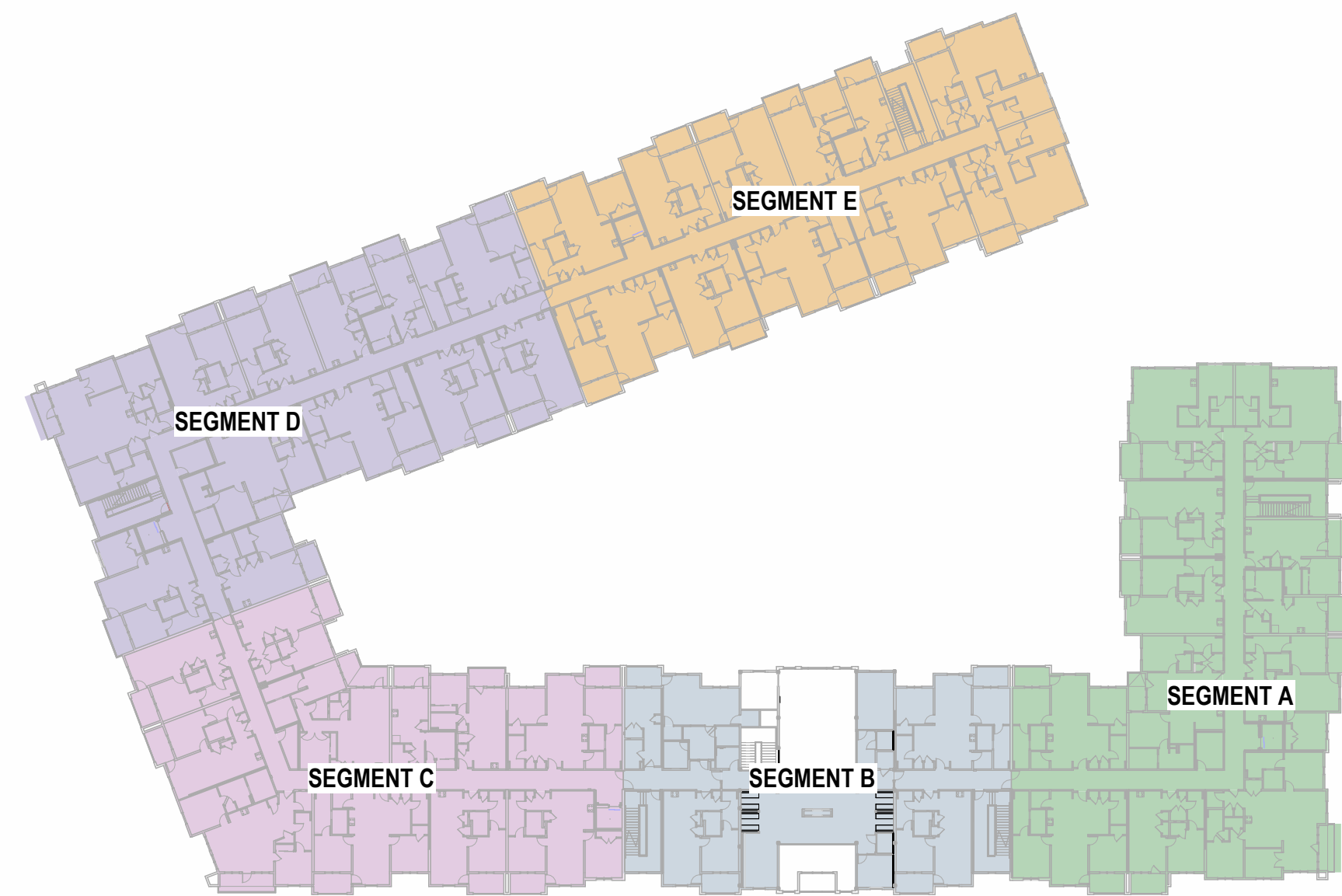
REVISIONS

JOB NO. 705921 DATE 03.15.2023
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4/11/2023
CITY COMMENTS
SHEET NAME BUILDING 2 AREA PLANS

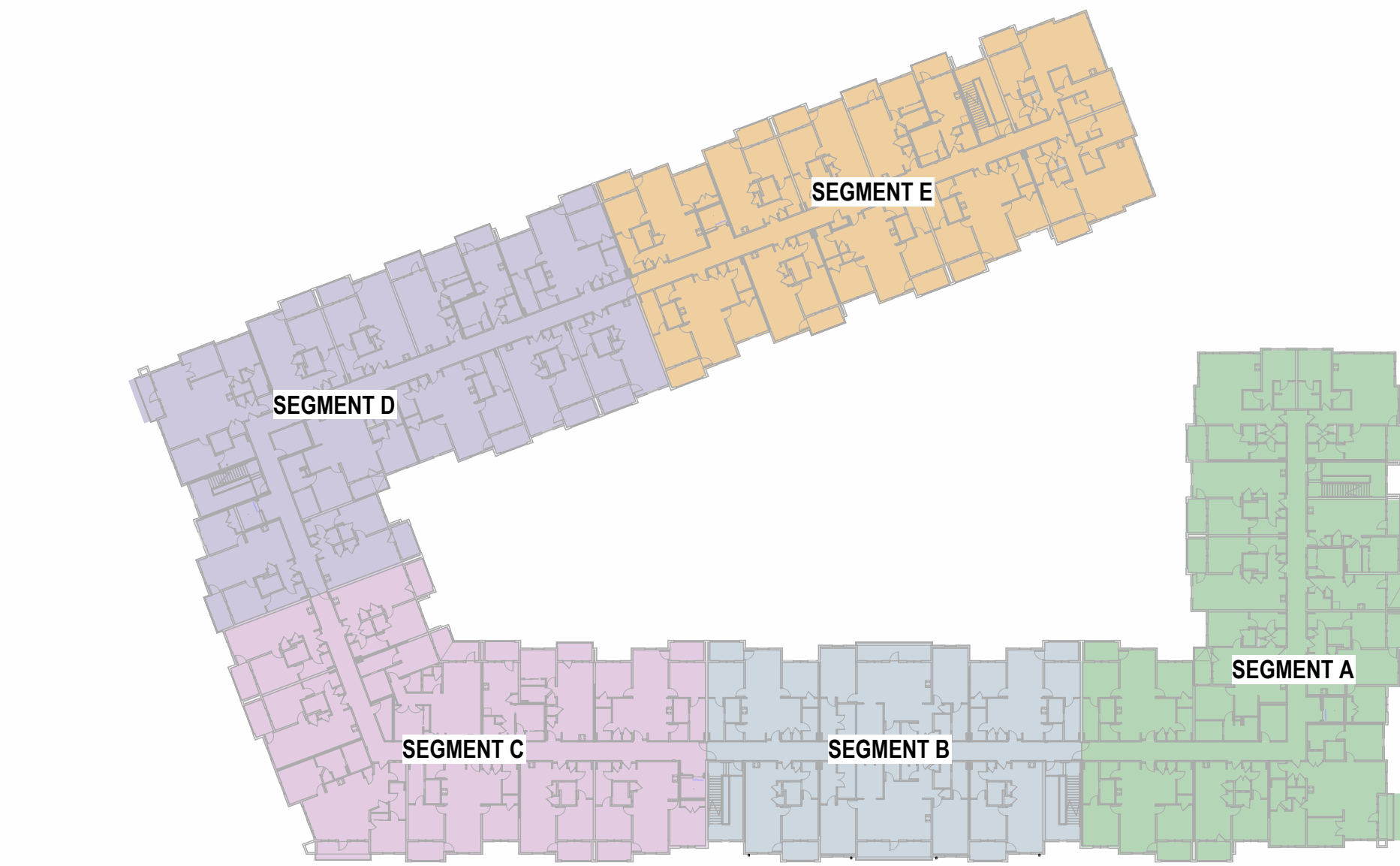
SHEET NO. A0.13



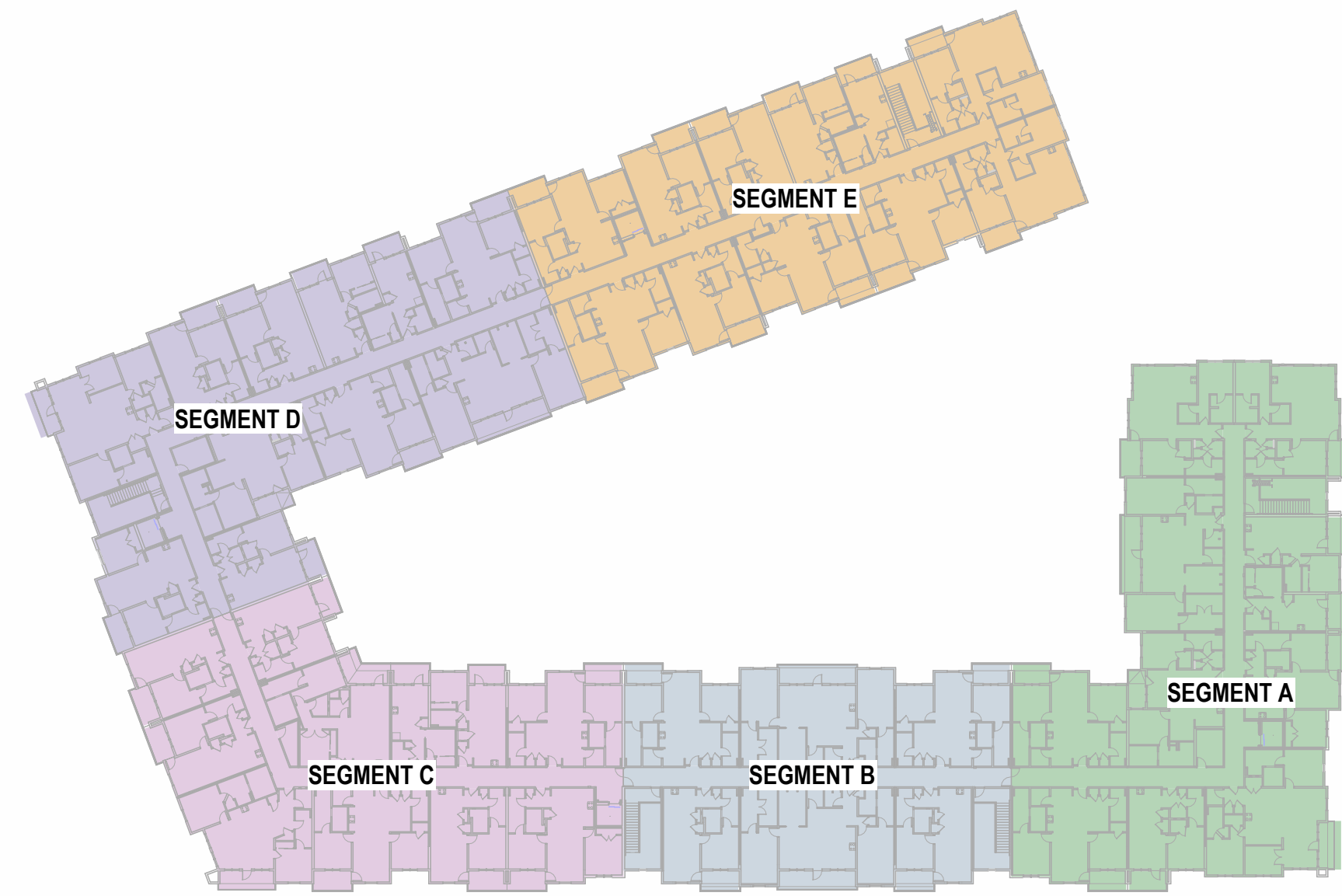
2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 50'-0"



3 CODE REFERENCE PLAN - 2ND FLOOR
1" = 50'-0"



4 CODE REFERENCE PLAN - 3RD FLOOR
1" = 50'-0"



5 CODE REFERENCE PLAN - 4TH FLOOR
1" = 50'-0"

SEGMENT A INFORMATION

| DESCRIPTION: | | | |
|---|------------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.4 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 65,700 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 16,440 SF | SECTION 506.2.4 | |
| $A_n = [A_n + (NS \times l)]$ $A_n = [12,000 + (12,000 \times 37)]$ $A_n = 16,440 \text{ SF}$ | | | |
| FRONTAGE INCREASE | | SECTION 506.3 | |
| l = P/P - 25W/30 | | | |
| l = 1646/30 - 250/30 | | | |
| l = 37 | | | |
| ACTUAL AREA: | | | |
| SEGMENT A | | | |
| 1ST FLOOR | 14,794 SF | | |
| 2ND FLOOR | 14,886 SF | | |
| 3RD FLOOR | 14,915 SF | | |
| 4TH FLOOR | 14,936 SF | | |
| TOTAL | 59,530 SF | | |

SEGMENT B INFORMATION

| DESCRIPTION: | | | |
|--|-----------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, A-3 | CHAPTER 3 | |
| SPRINKLERED | YES - 13 SYSTEM | SECTION 903.3.1.1 | |
| FIRE ALARM | YES | SECTION 420.4 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 36,000 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 10,000 SF | SECTION 506.2.4 | |
| $A_n = [A_n + (NS \times l)]$ $A_n = [36,000 + (36,000 \times 0)]$ $A_n = 14,400 \text{ SF}$ | | | |
| FRONTAGE INCREASE - NONE REQUIRED | | SECTION 506.3 | |
| ACTUAL AREA: | | | |
| SEGMENT B | | | |
| 1ST FLOOR | 9,194 SF | | |
| 2ND FLOOR | 7,986 SF | | |
| 3RD FLOOR | 9,329 SF | | |
| 4TH FLOOR | 9,329 SF | | |
| TOTAL | 35,838 SF | | |

SEGMENT C INFORMATION

| DESCRIPTION: | | | |
|--|------------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.4 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 57,600 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 14,400 SF | SECTION 506.2.4 | |
| $A_n = [A_n + (NS \times l)]$ $A_n = [12,000 + (12,000 \times 2)]$ $A_n = 14,400 \text{ SF}$ | | | |
| FRONTAGE INCREASE | | SECTION 506.3 | |
| l = P/P - 25W/30 | | | |
| l = 2164/30 - 250/30 | | | |
| l = 2 | | | |
| ACTUAL AREA: | | | |
| SEGMENT C | | | |
| 1ST FLOOR | 12,270 SF | | |
| 2ND FLOOR | 12,313 SF | | |
| 3RD FLOOR | 12,313 SF | | |
| 4TH FLOOR | 12,313 SF | | |
| TOTAL | 49,209 SF | | |

SEGMENT D INFORMATION

| DESCRIPTION: | | | |
|---|------------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.4 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 60,000 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 15,000 SF | SECTION 506.2.4 | |
| $A_n = [A_n + (NS \times l)]$ $A_n = [12,000 + (12,000 \times 25)]$ $A_n = 15,000 \text{ SF}$ | | | |
| FRONTAGE INCREASE | | SECTION 506.3 | |
| l = P/P - 25W/30 | | | |
| l = 1646/30 - 250/30 | | | |
| l = 25 | | | |
| ACTUAL AREA: | | | |
| SEGMENT D | | | |
| 1ST FLOOR | 13,812 SF | | |
| 2ND FLOOR | 14,011 SF | | |
| 3RD FLOOR | 14,011 SF | | |
| 4TH FLOOR | 14,067 SF | | |
| TOTAL | 55,891 SF | | |

SEGMENT E INFORMATION

| DESCRIPTION: | | | |
|---|------------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.4 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 60,000 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 15,000 SF | SECTION 506.2.4 | |
| $A_n = [A_n + (NS \times l)]$ $A_n = [12,000 + (12,000 \times 25)]$ $A_n = 15,000 \text{ SF}$ | | | |
| FRONTAGE INCREASE | | SECTION 506.3 | |
| l = P/P - 25W/30 | | | |
| l = 1646/30 - 250/30 | | | |
| l = 25 | | | |
| ACTUAL AREA: | | | |
| SEGMENT E | | | |
| 1ST FLOOR | 12,735 SF | | |
| 2ND FLOOR | 12,804 SF | | |
| 3RD FLOOR | 12,804 SF | | |
| 4TH FLOOR | 12,912 SF | | |
| TOTAL | 51,455 SF | | |

CODE REFERENCE

| BUILDING CODE: | |
|---|--|
| JURISDICTION: LEE'S SUMMIT, MISSOURI | |
| ADOPTED NATIONAL AND INTERNATIONAL CODES: | |
| 2018 INTERNATIONAL BUILDING CODE (IBC) | |
| 2018 INTERNATIONAL FIRE CODE (IFC) | |
| 2018 INTERNATIONAL FUEL GAS CODE (IFGC) | |
| 2018 INTERNATIONAL MECHANICAL CODE (IMC) | |
| 2018 INTERNATIONAL PLUMBING CODE (IPC) | |
| 2017 NATIONAL ELECTRICAL CODE (NEC) | |
| 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS | |
| 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) | |

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

ACCESSIBILITY COMPLIANCE

| PERCENTAGE OF UNIT TYPES: | | NOTES |
|---------------------------|--------------------------------------|---|
| REQUIRED: | SECTION 1107.6.2.2.2 | THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES. |
| TYPE A | 2% OF TOTAL PER SECTION 1107.6.2.2.1 | |
| TYPE B | PER SECTION 1107.6.2.2.2 | |
| PROVIDED: | | |
| TYPE A | 7 | |
| TYPE B | 317 | |

LIFE SAFETY SYSTEMS

| ACTIVE SYSTEMS | |
|--|-------------------|
| SPRINKLER SYSTEMS | |
| NFPA 13R | SECTION 903.3.1.2 |
| CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, R2 - EXCEPTION) | |
| SMOKE DETECTION IN R2 | SECTION 420.6 |
| FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3 | |
| FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SWELL PER SECTION 907.2.9.1, EXCEPTION 2 | |
| EXIT SIGNS | SECTION 1013.1 |
| ILLUMINATED WITH 90 MIN BATTERY BACKUP | |
| PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE | |
| CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT | |

RESISTIVE REQUIREMENTS

| FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION | |
|--|----------|
| STRUCTURAL FRAME: | 1.8-HOUR |
| BEARING WALLS-EXTERIOR: | 1.8-HOUR |
| BEARING WALLS-INTERIOR: | 1.8-HOUR |
| NON-BEARING WALLS-INTERIOR: | 0.8-HOUR |
| FLOOR CONSTRUCTION: | 1.8-HOUR |
| ROOF CONSTRUCTION: | 1.8-HOUR |
| UNIT DEMISING WALLS/FIRE PARTITION: | 1.8-HOUR |
| CORRIDOR WALLS/FIRE PARTITION: | 0.8-HOUR |
| GARAGE SEPARATION (FIRE BARRIER): | 1.8-HOUR |
| EXIT PASSAGEWAYS: | 2.8-HOUR |
| STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE): | 2.8-HOUR |
| ELEVATOR SHAFT WALLS-EXTERIOR/FIRE BARRIER: | 1.8-HOUR |
| ELEVATOR SHAFT WALLS-INTERIOR/FIRE BARRIER: | 2.8-HOUR |
| SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE): | 2.8-HOUR |
| FIRE WALLS: | 2.8-HOUR |

| SOUND RATINGS | NOTES |
|---|--------|
| SOUND TRANSMISSION CLASS RATING (STC): | 50 STC |
| IMPACT INSULATION CLASS RATING (IIC): | 50 IIC |
| SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION | |

| FIRE DEPARTMENT GENERAL NOTES | |
|---|--|
| 1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 6' 0" A.F.F. & 4" F.F., RESPECTIVELY. | |
| 2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING "FIRE ALARM/SPRINKLER RISER" | |
| 3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIT STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE EXTERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL. | |
| 4. IF APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE PROVIDED. | |

| PASSIVE SYSTEMS | |
|--|--|
| FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2 | |
| DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4 | |
| SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006 | |

| PRIVATE GARAGES - U OCCUPANCY PROVISIONS | |
|--|--|
| 1. PROVIDE CO MONITOR IN EACH GARAGE STALL. | |
| 2. EACH GARAGE DOOR TO BE ACTIVATED BY CO MONITOR, TYP EACH LOCATION. | |
| 3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WELL AS COMMON AREAS ON THE FLOOR ABOVE GARAGES. | |

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS
1 23.0411 CITY COMMENTS 1
3 23.0511 ADDENDUM 2

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
5/11/2023
ADDENDUM #2
SHEET NAME
BUILDING 1 CODE
ANALYSIS & PLANS
SHEET NO.

A0.20

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

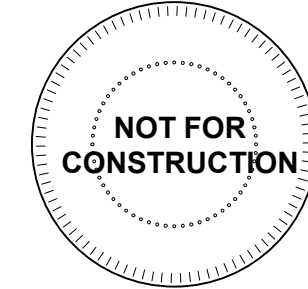
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NSPJ ARCHITECTS

NSPJ ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

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ENERGY SERVICES
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Lee's Summit, Missouri



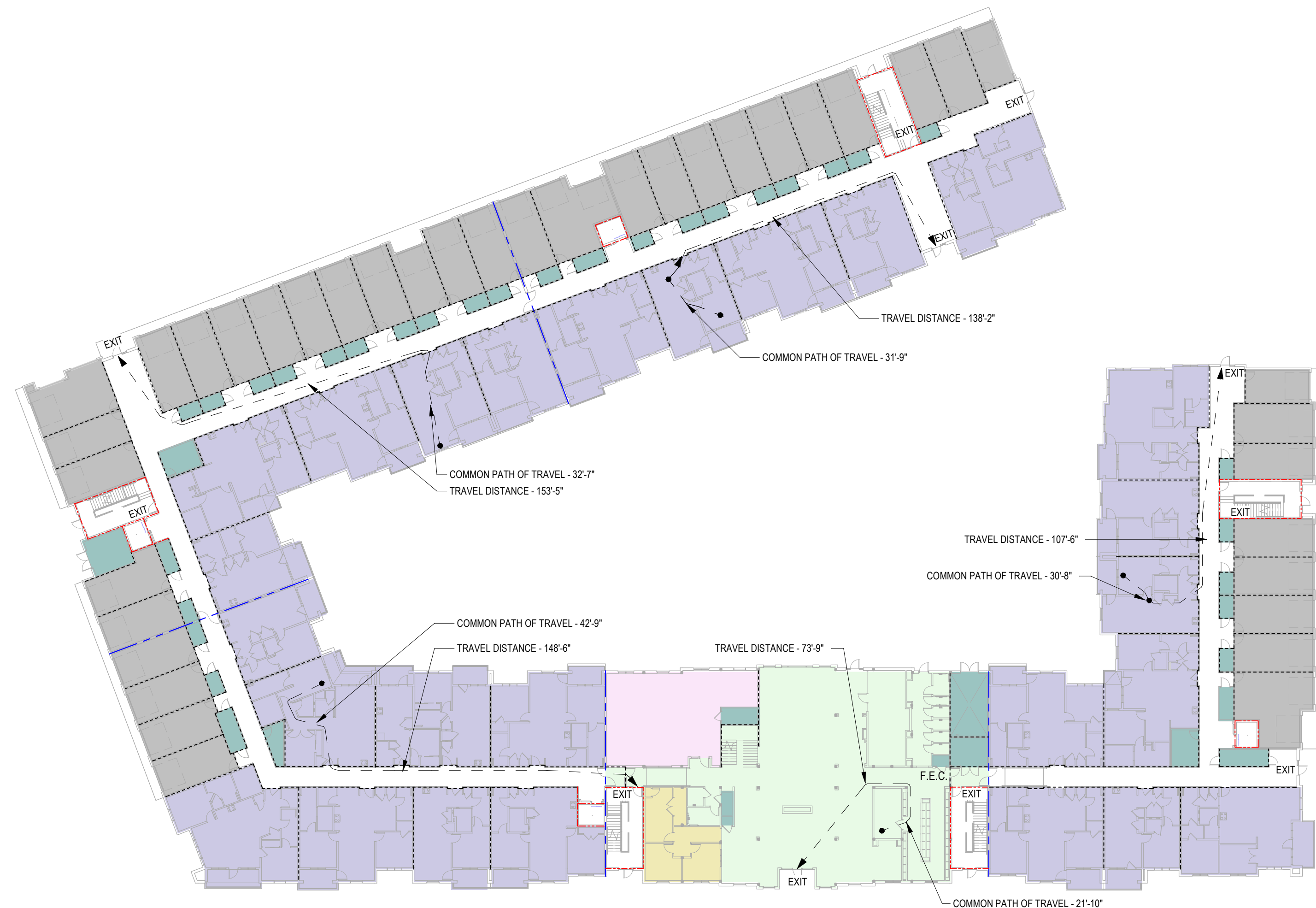
1 CODE REFERENCE PLAN - 2ND FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

| SEGMENT A - LEVEL 2 | | | |
|-------------------------|------------------|-------------|---------------|
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,863 SF | 200 GROSS | 65 |
| ACCESSORY STORMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 66 |
| SEGMENT B - LEVEL 2 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 3,395 SF | 200 GROSS | 17 |
| EXERCISE ROOMS | 364 SF | 50 GROSS | 7 |
| ASSEMBLY-UNCONCENTRATED | 2,884 SF | 15 NET | 190 |
| ACCESSORY STORMECH | 43 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 215 |
| SEGMENT C - LEVEL 2 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 10,922 SF | 200 GROSS | 55 |
| ACCESSORY STORMECH | 85 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 56 |
| SEGMENT D - LEVEL 2 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,863 SF | 200 GROSS | 60 |
| ACCESSORY STORMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 61 |
| SEGMENT E - LEVEL 2 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 11,933 SF | 200 GROSS | 60 |
| TOTAL OCCUPANT LOAD | | | 61 |

EGRESS REQUIREMENTS

| ELEMENT | REQUIRED | PROVIDED |
|---|----------|----------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT A | 2 | 2 |
| SEGMENT B | 2 | 2 |
| SEGMENT C | 2 | 2 |
| SEGMENT D | 2 | 2 |
| SEGMENT E | 2 | 2 |
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | |
| SEGMENT A | 44'144" | 44'80" |
| SEGMENT B | 44'144" | 44'80" |
| SEGMENT C | 44'144" | 44'80" |
| SEGMENT D | 44'144" | 44'80" |
| SEGMENT E | 44'144" | 44'80" |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 250 FT | 101'-10" |
| SEGMENT B (R2) | 250 FT | 68'-0" |
| SEGMENT C (R2) | 250 FT | 155'-7" |
| SEGMENT D (R2) | 250 FT | 113'-11" |
| SEGMENT E (R2) | 250 FT | 92'-5" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 125 FT | 36'-7" |
| SEGMENT B (R2) | 125 FT | 32'-10" |
| SEGMENT C (R2) | 125 FT | 32'-0" |
| SEGMENT D (R2) | 125 FT | 35'-4" |
| SEGMENT E (R2) | 125 FT | 31'-7" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | |
| GROUP R2 | 20 FT | |
| PANIC HARDWARE | | |
| REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |



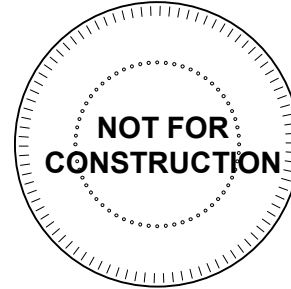
2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

| SEGMENT A - LEVEL 1 | | | |
|-------------------------|------------------|-------------|---------------|
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 8,897 SF | 200 GROSS | 45 |
| PARKING GARAGES | 2,971 SF | 200 GROSS | 15 |
| ACCESSORY STORMECH | 489 SF | 300 GROSS | 2 |
| TOTAL OCCUPANT LOAD | | | 62 |
| SEGMENT B - LEVEL 1 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| BUSINESS | 687 SF | 150 GROSS | 5 |
| EXERCISE ROOMS | 1,399 SF | 50 GROSS | 28 |
| ASSEMBLY-UNCONCENTRATED | 3,930 SF | 15 NET | 386 |
| ACCESSORY STORMECH | 153 SF | 300 GROSS | 2 |
| TOTAL OCCUPANT LOAD | | | 421 |
| SEGMENT C - LEVEL 1 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 9,206 SF | 200 GROSS | 46 |
| PARKING GARAGES | 1,407 SF | 200 GROSS | 7 |
| ACCESSORY STORMECH | 2,272 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 54 |
| SEGMENT D - LEVEL 1 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 6,077 SF | 200 GROSS | 31 |
| PARKING GARAGE | 5,427 SF | 200 GROSS | 27 |
| ACCESSORY STORMECH | 811 SF | 300 GROSS | 3 |
| TOTAL OCCUPANT LOAD | | | 58 |
| SEGMENT E - LEVEL 1 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 5,401 SF | 200 GROSS | 28 |
| PARKING GARAGE | 4,391 SF | 200 GROSS | 22 |
| ACCESSORY STORMECH | 415 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 51 |

EGRESS REQUIREMENTS

| ELEMENT | REQUIRED | PROVIDED |
|---|----------|----------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT A | 2 | 3 |
| SEGMENT B | 2 | 4 |
| SEGMENT C | 3 | 2 |
| SEGMENT D | 2 | 3 |
| SEGMENT E | 2 | 3 |
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | |
| SEGMENT A | 44'144" | 44'80" |
| SEGMENT B | 44'144" | 44'80" |
| SEGMENT C | 44'144" | 44'80" |
| SEGMENT D | 44'144" | 44'80" |
| SEGMENT E | 44'144" | 44'80" |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 250 FT | 107'-6" |
| SEGMENT B (R2) | 250 FT | 73'-6" |
| SEGMENT C (R2) | 250 FT | 148'-6" |
| SEGMENT D (R2) | 250 FT | 153'-5" |
| SEGMENT E (R2) | 250 FT | 138'-2" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 125 FT | 30'-8" |
| SEGMENT B (R2) | 125 FT | 21'-10" |
| SEGMENT C (R2) | 125 FT | 42'-9" |
| SEGMENT D (R2) | 125 FT | 32'-7" |
| SEGMENT E (R2) | 125 FT | 31'-9" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | |
| GROUP R2 | 20 FT | |
| PANIC HARDWARE | | |
| REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |



2 CODE REFERENCE PLAN - 4TH FLOOR
1" = 30'-0"



1 CODE REFERENCE PLAN - 3RD FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

| SEGMENT A - LEVEL 4 | | | |
|---------------------|------------------|-------------|---------------|
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,363 SF | 200 GROSS | 66 |
| ACCESSORY STORMMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 66 |
| SEGMENT B - LEVEL 4 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 3,395 SF | 200 GROSS | 17 |
| ACCESSORY STORMMECH | 43 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 215 |
| SEGMENT C - LEVEL 4 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 10,925 SF | 200 GROSS | 55 |
| ACCESSORY STORMMECH | 85 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 56 |
| SEGMENT D - LEVEL 4 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,883 SF | 200 GROSS | 60 |
| ACCESSORY STORMMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 61 |
| SEGMENT E - LEVEL 4 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 11,303 SF | 200 GROSS | 57 |
| TOTAL OCCUPANT LOAD | | | 57 |

EGRESS REQUIREMENTS

| ELEMENT | REQUIRED | PROVIDED |
|--|-----------|--------------------------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT A | 2 | 2 |
| SEGMENT B | 2 | 2 |
| SEGMENT C | 2 | 2 |
| SEGMENT D | 2 | 2 |
| SEGMENT E | 2 | 2 |
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | |
| SEGMENT A | 44" x 44" | SECTION 1005, 1011, 1024 |
| SEGMENT B | 44" x 44" | 44" x 80" |
| SEGMENT C | 44" x 44" | 44" x 80" |
| SEGMENT D | | |
| SEGMENT E | | |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 250 FT | 101'-10" |
| SEGMENT B (R2) | 250 FT | 86'-0" |
| SEGMENT C (R2) | 250 FT | 155'-7" |
| SEGMENT D (R2) | 250 FT | 113'-11" |
| SEGMENT E (R2) | 250 FT | 92'-5" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 125 FT | 36'-7" |
| SEGMENT B (R2) | 125 FT | 31'-0" |
| SEGMENT C (R2) | 125 FT | 32'-0" |
| SEGMENT D (R2) | 125 FT | 35'-4" |
| SEGMENT E (R2) | 125 FT | 31'-7" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | |
| GROUP R2 | 20 FT | SECTION 1020.4 |
| PANIC HARDWARE REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |

OCCUPANT LOAD BUILDING CALCULATIONS

| SEGMENT A - LEVEL 3 | | | |
|---------------------|------------------|-------------|---------------|
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,363 SF | 200 GROSS | 66 |
| ACCESSORY STORMMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 66 |
| SEGMENT B - LEVEL 3 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 3,395 SF | 200 GROSS | 17 |
| ACCESSORY STORMMECH | 43 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 215 |
| SEGMENT C - LEVEL 3 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 10,925 SF | 200 GROSS | 55 |
| ACCESSORY STORMMECH | 85 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 56 |
| SEGMENT D - LEVEL 3 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 12,883 SF | 200 GROSS | 60 |
| ACCESSORY STORMMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 61 |
| SEGMENT E - LEVEL 3 | | | |
| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
| RESIDENTIAL | 11,303 SF | 200 GROSS | 57 |
| ACCESSORY STORMMECH | | 300 GROSS | |
| TOTAL OCCUPANT LOAD | | | 57 |

EGRESS REQUIREMENTS

| ELEMENT | REQUIRED | PROVIDED |
|--|-----------|--------------------------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT A | 2 | 2 |
| SEGMENT B | 2 | 2 |
| SEGMENT C | 2 | 2 |
| SEGMENT D | 2 | 2 |
| SEGMENT E | 2 | 2 |
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | |
| SEGMENT A | 44" x 44" | SECTION 1005, 1011, 1024 |
| SEGMENT B | 44" x 44" | 44" x 80" |
| SEGMENT C | 44" x 44" | 44" x 80" |
| SEGMENT D | | |
| SEGMENT E | | |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 250 FT | 101'-10" |
| SEGMENT B (R2) | 250 FT | 86'-0" |
| SEGMENT C (R2) | 250 FT | 155'-7" |
| SEGMENT D (R2) | 250 FT | 113'-11" |
| SEGMENT E (R2) | 250 FT | 92'-5" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | |
| SEGMENT A (R2) | 125 FT | 36'-7" |
| SEGMENT B (R2) | 125 FT | 31'-0" |
| SEGMENT C (R2) | 125 FT | 32'-0" |
| SEGMENT D (R2) | 125 FT | 35'-4" |
| SEGMENT E (R2) | 125 FT | 31'-7" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | |
| GROUP R2 | 20 FT | SECTION 1020.4 |
| PANIC HARDWARE REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |

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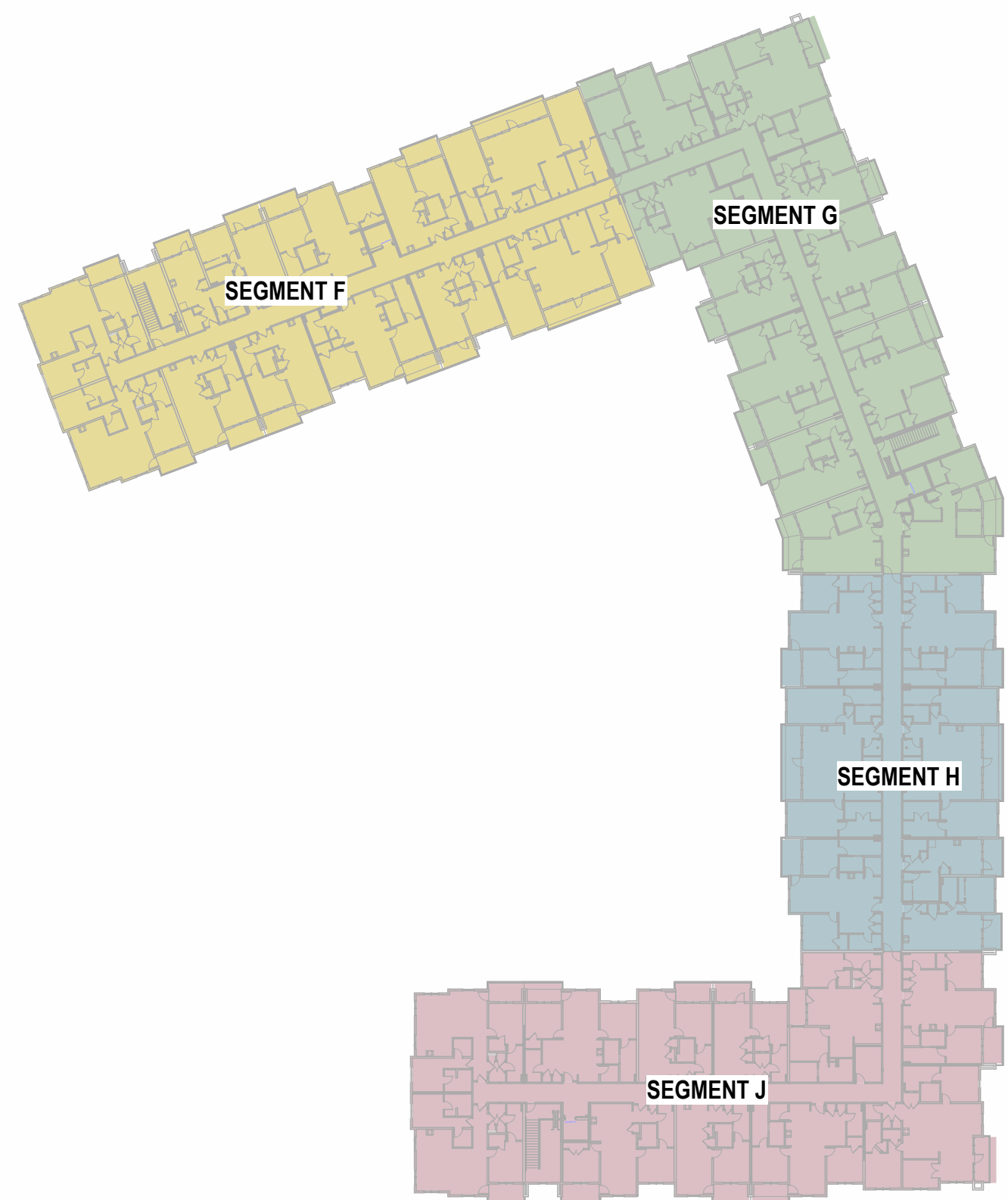
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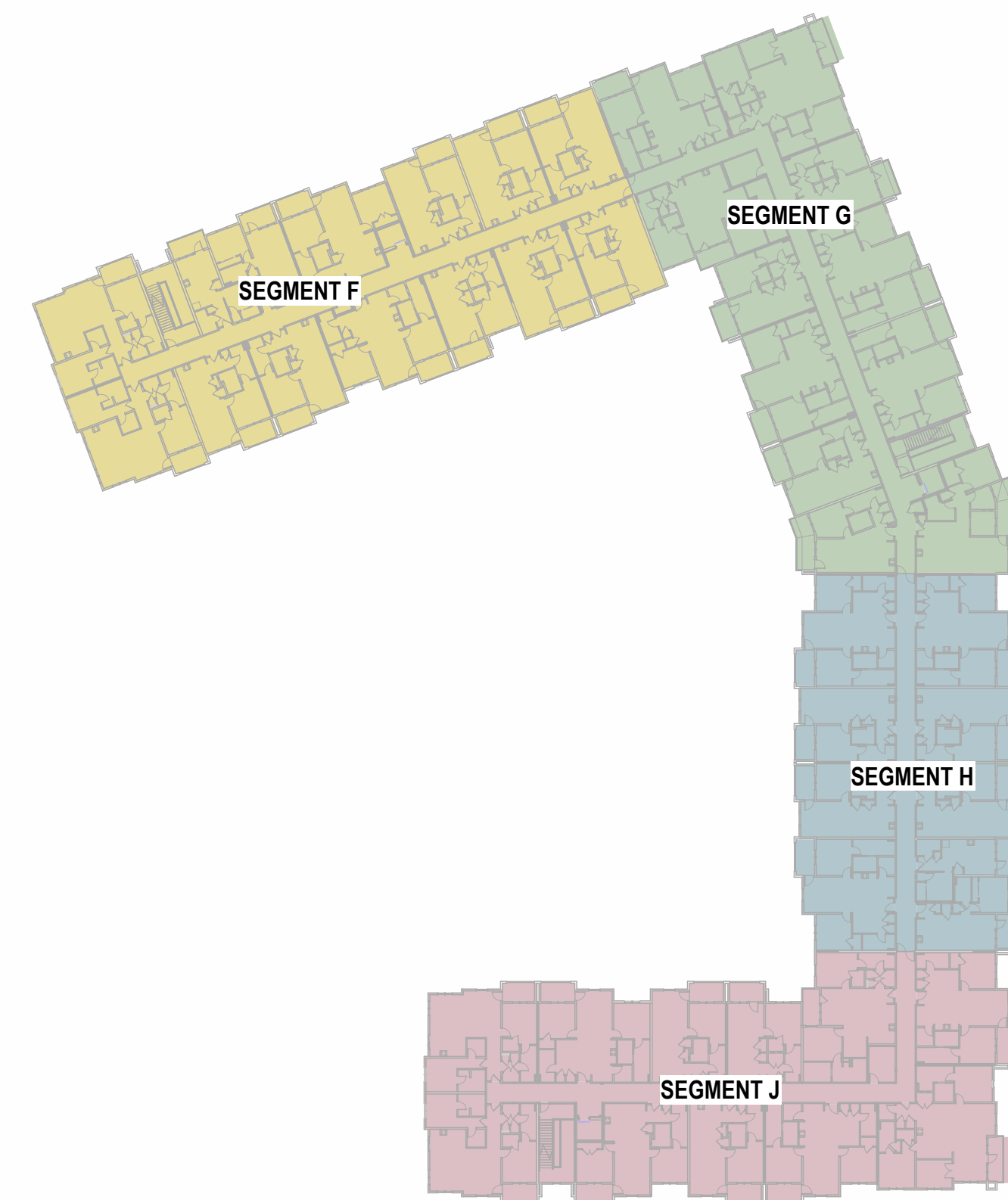
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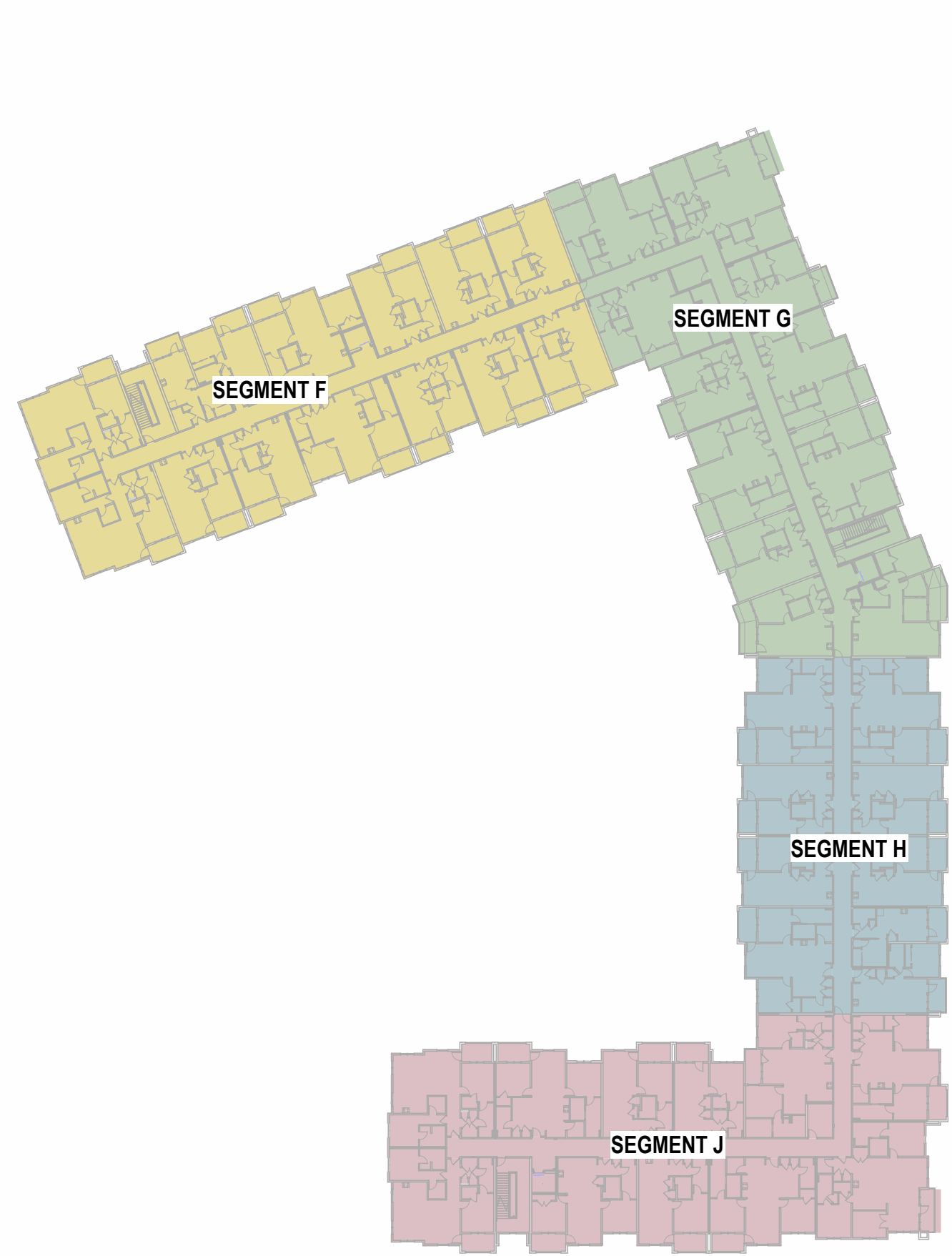
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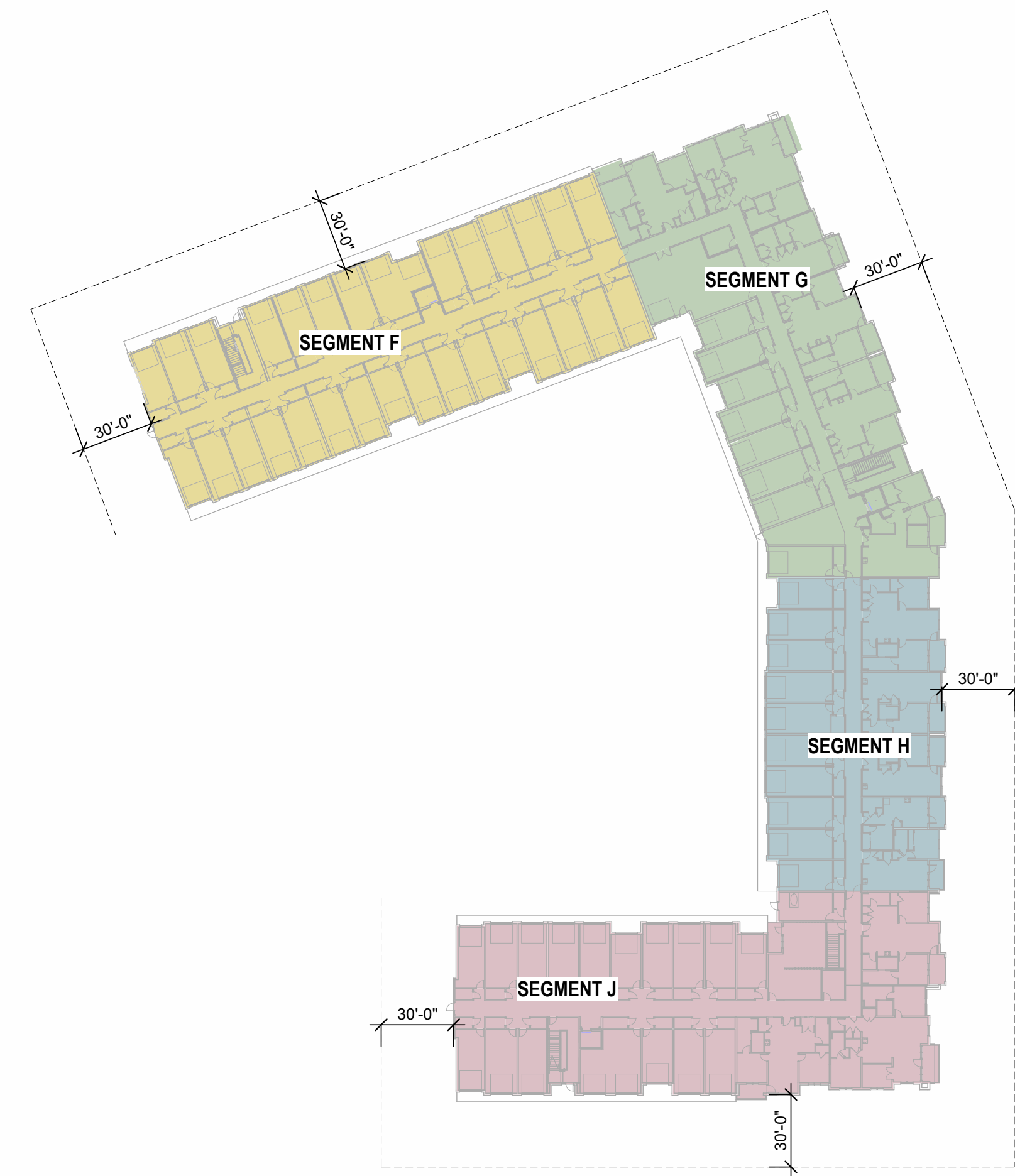
⑤ CODE REFERENCE PLAN - 4TH FLOOR
1" = 50'-0"



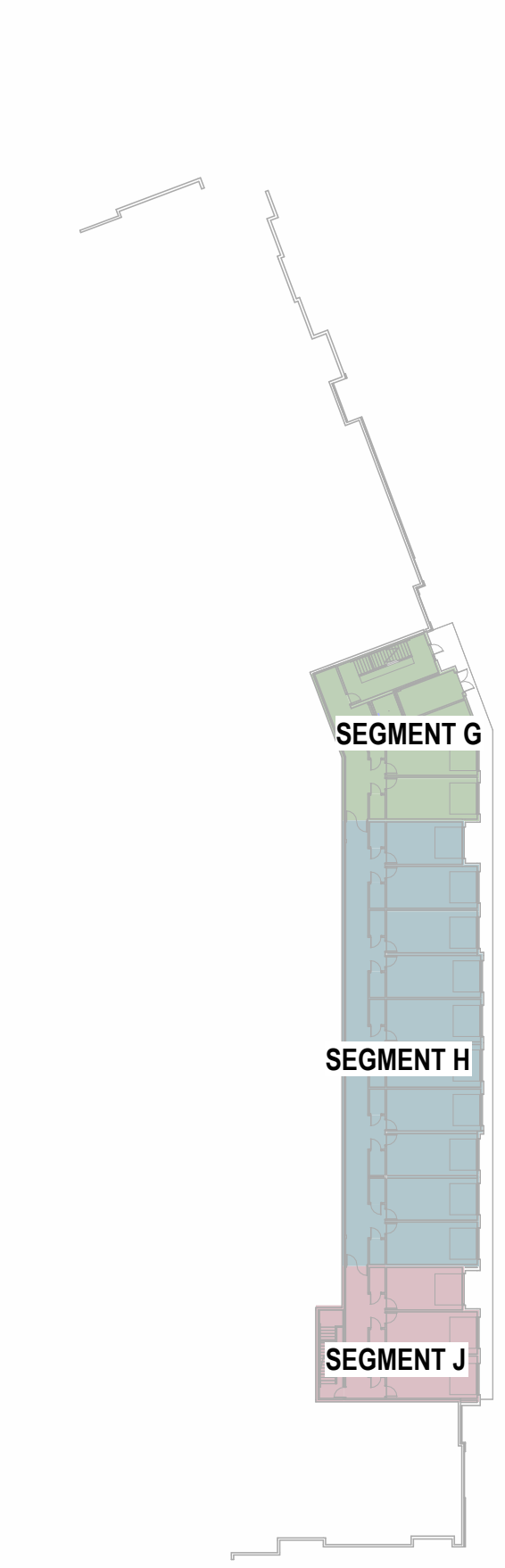
④ CODE REFERENCE PLAN - 3RD FLOOR
1" = 50'-0"



③ CODE REFERENCE PLAN - 2ND FLOOR
1" = 50'-0"



② CODE REFERENCE PLAN - 1ST FLOOR
1" = 50'-0"



① CODE REFERENCE PLAN - BASEMENT
1" = 50'-0"

SEGMENT F INFORMATION

| DESCRIPTION: | | | |
|--|------------------|-------------------|--|
| 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.6 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 60,000 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 15,000 SF | SECTION 506.2 | |
| $A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .25)]$ $A_n = 15,000$ SF | | SECTION 506.2.4 | |
| FRONTAGE INCREASE $I = [FIP - 25] / 30$ $I = [276556 - 25] / 30$ $I = 25$ | | SECTION 506.3 | |
| ACTUAL AREA: | | | |
| SEGMENT F | 14,634 SF | | |
| 1ST FLOOR | 14,608 SF | | |
| 2ND FLOOR | 14,643 SF | | |
| 3RD FLOOR | 14,685 SF | | |
| 4TH FLOOR | 14,698 SF | | |
| TOTAL | 59,470 SF | | |

SEGMENT G INFORMATION

| DESCRIPTION: | | | |
|--|------------------|-------------------|--|
| BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.6 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | BSMNT + 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 63,940 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 15,960 SF | SECTION 506.2 | |
| $A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .33)]$ $A_n = 15,960$ SF | | SECTION 506.2.4 | |
| FRONTAGE INCREASE $I = [FIP - 25] / 30$ $I = [282485 - 25] / 30$ $I = 33$ | | SECTION 506.3 | |
| ACTUAL AREA: | | | |
| SEGMENT G | 2,006 SF | | |
| BASEMENT | 14,285 SF | | |
| 1ST FLOOR | 14,411 SF | | |
| 2ND FLOOR | 14,425 SF | | |
| 3RD FLOOR | 14,425 SF | | |
| 4TH FLOOR | 14,425 SF | | |
| TOTAL | 59,526 SF | | |

SEGMENT H INFORMATION

| DESCRIPTION: | | | |
|--|------------------|-------------------|--|
| BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.6 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 60'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | BSMNT + 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 48,000 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 12,000 SF | SECTION 506.2 | |
| $A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times 0)]$ $A_n = 12,000$ SF | | SECTION 506.2.4 | |
| FRONTAGE INCREASE - NONE REQUIRED | | SECTION 506.3 | |
| ACTUAL AREA: | | | |
| SEGMENT H | 5,201 SF | | |
| BASEMENT | 9,318 SF | | |
| 1ST FLOOR | 9,381 SF | | |
| 2ND FLOOR | 9,395 SF | | |
| 3RD FLOOR | 9,395 SF | | |
| 4TH FLOOR | 9,395 SF | | |
| TOTAL | 42,690 SF | | |

SEGMENT J INFORMATION

| DESCRIPTION: | | | |
|--|------------------|-------------------|--|
| BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL | | | |
| DATA: | | | |
| CONSTRUCTION TYPE | VA | CHAPTER 6 | |
| OCCUPANCY CLASSIFICATION | R-2, U | CHAPTER 3 | |
| SPRINKLERED | YES - 13R SYSTEM | SECTION 903.3.1.2 | |
| FIRE ALARM | YES | SECTION 420.6 | |
| STANDPIPE | YES - CLASS 1 | SECTION 905.3 | |
| SMOKE CONTROL SYSTEM | NO | | |
| EMERGENCY/STANDBY POWER | NO | | |
| HEIGHT AND NUMBER OF STORIES | | | |
| ALLOWABLE BUILDING HEIGHT: | 70'-0" | TABLE 504.3 | |
| ACTUAL BUILDING HEIGHT: | 44'-3" | | |
| ALLOWABLE STORIES | 4 | TABLE 504.4 | |
| ACTUAL NUMBER OF STORIES: | BSMNT + 4 | | |
| AREA | | | |
| ALLOWABLE AREA | 61,920 SF | SECTION 506.2 | |
| ALLOWABLE AREA PER FLOOR | 15,480 SF | SECTION 506.2 | |
| $A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .25)]$ $A_n = 15,480$ SF | | SECTION 506.2.4 | |
| FRONTAGE INCREASE $I = [FIP - 25] / 30$ $I = [344163 - 25] / 30$ $I = 29$ | | SECTION 506.3 | |
| ACTUAL AREA: | | | |
| SEGMENT J | 1,747 SF | | |
| BASEMENT | 14,504 SF | | |
| 1ST FLOOR | 14,756 SF | | |
| 2ND FLOOR | 14,778 SF | | |
| 3RD FLOOR | 14,803 SF | | |
| 4TH FLOOR | 14,803 SF | | |
| TOTAL | 60,694 SF | | |

CODE REFERENCE

| BUILDING CODE: | |
|---|------------------------|
| JURISDICTION: | LEE'S SUMMIT, MISSOURI |
| ADOPTED NATIONAL AND INTERNATIONAL CODES: | |
| 2018 INTERNATIONAL BUILDING CODE (IBC) | |
| 2018 INTERNATIONAL FIRE CODE (IFC) | |
| 2018 INTERNATIONAL FUEL GAS CODE (IFGC) | |
| 2018 INTERNATIONAL MECHANICAL CODE (IMC) | |
| 2018 INTERNATIONAL PLUMBING CODE (IPC) | |
| 2017 NATIONAL ELECTRICAL CODE (NEC) | |
| 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS | |
| 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) | |

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

ACCESSIBILITY COMPLIANCE

| PERCENTAGE OF UNIT TYPES: | | NOTES |
|---------------------------|--------------------------------------|---|
| REQUIRED: | SECTION 1107.6.2.2.2 | THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES. |
| TYPE A | 2% OF TOTAL PER SECTION 1107.6.2.2.1 | |
| TYPE B | PER SECTION 1107.6.2.2.2 | |
| PROVIDED: | | |
| TYPE A | 317 | |
| TYPE B | 7 | |

LIFE SAFETY SYSTEMS

| ACTIVE SYSTEMS | |
|--|-------------------|
| SPRINKLER SYSTEMS | SECTION 903.3.1.2 |
| NFPA 13R | SECTION 903.3.1.2 |
| CLASS 1 WET STANDPIPE SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4.4.2 - EXCEPTION) | |
| SMOKE DETECTION IN R2 | SECTION 420.6 |
| FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3 | |
| FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2 | |
| EXIT SIGNS | SECTION 1013.1 |
| ILLUMINATED WITH 90 MIN BATTERY BACKUP | |
| PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE | |
| CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT | |

RESISTIVE REQUIREMENTS

| FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION | |
|--|----------|
| STRUCTURAL FRAME | 1 HOUR |
| BEARING WALLS-EXTERIOR | 1 HOUR |
| BEARING WALLS-INTERIOR | 1 HOUR |
| NONBEARING WALLS-INTERIOR | 0.5 HOUR |
| FLOOR CONSTRUCTION | 1 HOUR |
| ROOF CONSTRUCTION | 1 HOUR |
| UNIT DEMISING WALLS/FIRE PARTITION | 1 HOUR |
| CORRIDOR WALLS/FIRE PARTITION | 0.5 HOUR |
| GARAGE SEPARATION (FIRE BARRIER) | 1 HOUR |
| EXIT PASSAGEWAYS | 2 HOUR |
| STAR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE) | 2.0 HOUR |
| ELEVATOR SHAFT WALLS-EXTERIOR/FIRE BARRIER | 1.0 HOUR |
| ELEVATOR SHAFT WALLS-INTERIOR/FIRE BARRIER | 2.0 HOUR |
| SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE) | 2.0 HOUR |
| FIRE WALLS: | 2.0 HOUR |

| SOUND RATINGS | | NOTES |
|--|--------|---|
| SOUND TRANSMISSION CLASS RATING (STC): | 50 STC | SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION |
| IMPACT INSULATION CLASS RATING (IIC): | 50 IIC | |

FIRE DEPARTMENT GENERAL NOTES

- A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F. RESPECTIVELY.
- INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING "FIRE ALARM/SPRINKLER RISER"
- A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIT STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE INTERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL.
- IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE PROVIDED.

| PASSIVE SYSTEMS | |
|--|--|
| FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2 | |
| DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4 | |
| SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006 | |

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

- PROVIDE CO MONITOR IN EACH GARAGE STALL
- EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION
- CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WELL AS COMMON AREAS ON THE FLOOR ABOVE GARAGES.

RELEASED FOR CONSTRUCTION
As Noted on Plans Review

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ
ARCHITECTSSM

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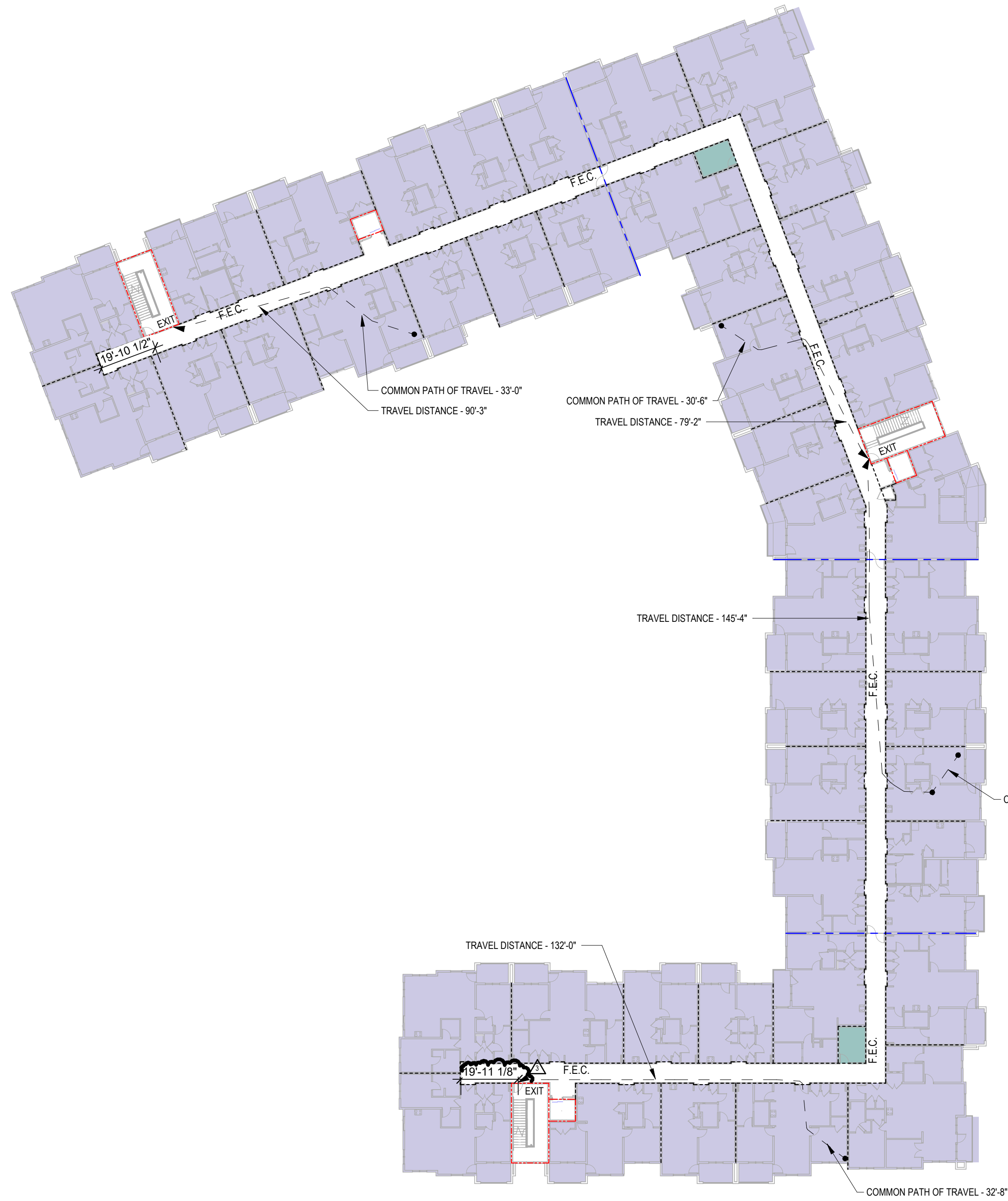
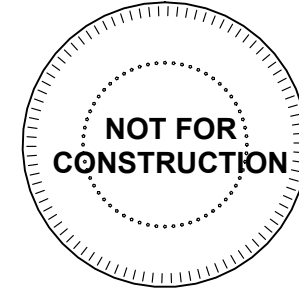
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SHEET NO.

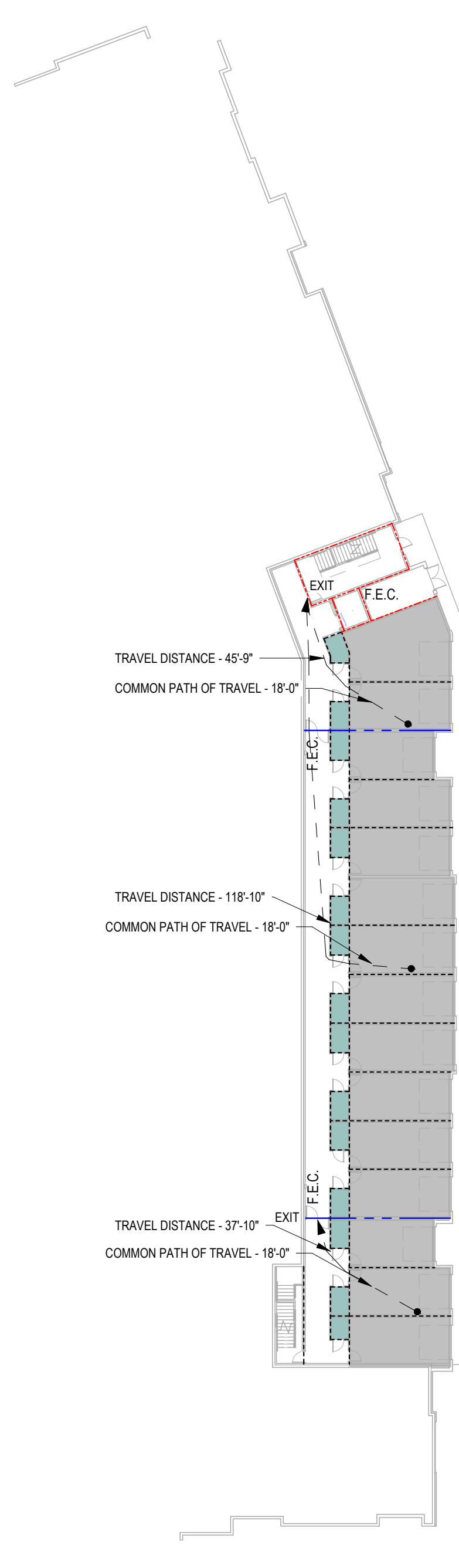
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3 CODE REFERENCE PLAN - 2ND FLOOR
1" = 30'-0"



2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 30'-0"



1 CODE REFERENCE PLAN - BASEMENT
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 2

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 13,137 SF | 200 GROSS | 66 |
| TOTAL OCCUPANT LOAD | | | 66 |

SEGMENT G - LEVEL 2

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 12,360 SF | 200 GROSS | 62 |
| ACCESSORY STORMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 63 |

SEGMENT H - LEVEL 2

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 8,492 SF | 200 GROSS | 43 |
| TOTAL OCCUPANT LOAD | | | 43 |

SEGMENT J - LEVEL 2

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 12,826 SF | 200 GROSS | 64 |
| ACCESSORY STORMECH | 127 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 65 |

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

| MINIMUM NUMBER OF EXITS | REQUIRED | PROVIDED |
|-------------------------|----------|----------|
| SEGMENT F | 2 | 2 |
| SEGMENT G | 2 | 2 |
| SEGMENT H | 2 | 2 |
| SEGMENT J | 2 | 2 |

EXIT WIDTH FACTORS (STAIRS/OTHER)

| SEGMENT F | 44'14" | 44'180" |
|-----------|--------|---------|
| SEGMENT G | 44'14" | 44'180" |
| SEGMENT H | 44'14" | 44'180" |
| SEGMENT J | 44'14" | 44'180" |

| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | TABLE 1017.2 |
|-------------------------------------|--------------|
| SEGMENT F (R2) | 250 FT |
| SEGMENT G (R2) | 250 FT |
| SEGMENT H (R2) | 250 FT |
| SEGMENT J (R2) | 250 FT |

| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | TABLE 1006.2.1 |
|--|----------------|
| SEGMENT F (R2) | 125 FT |
| SEGMENT G (R2) | 125 FT |
| SEGMENT H (R2) | 125 FT |
| SEGMENT J (R2) | 125 FT |

| MAXIMUM DEAD END CORRIDOR LENGTH | SECTION 1020.4 |
|----------------------------------|----------------|
| GROUP R2 | 20 FT |

PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| PARKING GARAGES | 10,789 SF | 200 GROSS | 54 |
| ACCESSORY STORMECH | 1,180 SF | 300 GROSS | 4 |
| TOTAL OCCUPANT LOAD | | | 58 |

SEGMENT G - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 7,254 SF | 200 GROSS | 37 |
| PARKING GARAGES | 2,789 SF | 200 GROSS | 14 |
| ACCESSORY STORMECH | 1,712 SF | 300 GROSS | 6 |
| TOTAL OCCUPANT LOAD | | | 57 |

SEGMENT H - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 4,296 SF | 200 GROSS | 22 |
| PARKING GARAGES | 3,478 SF | 200 GROSS | 17 |
| ACCESSORY STORMECH | 415 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 40 |

SEGMENT J - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| RESIDENTIAL | 4,069 SF | 200 GROSS | 20 |
| PARKING GARAGE | 6,078 SF | 200 GROSS | 30 |
| ACCESSORY STORMECH | 1,926 SF | 300 GROSS | 7 |
| TOTAL OCCUPANT LOAD | | | 57 |

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

| MINIMUM NUMBER OF EXITS | REQUIRED | PROVIDED |
|-------------------------|----------|----------|
| SEGMENT F | 2 | 2 |
| SEGMENT G | 2 | 2 |
| SEGMENT H | 2 | 2 |
| SEGMENT J | 2 | 2 |

EXIT WIDTH FACTORS (STAIRS/OTHER)

| SEGMENT F | 44'14" | 44'180" |
|-----------|--------|---------|
| SEGMENT G | 44'14" | 44'180" |
| SEGMENT H | 44'14" | 44'180" |
| SEGMENT J | 44'14" | 44'180" |

| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | TABLE 1017.2 |
|-------------------------------------|--------------|
| SEGMENT F (R2) | 250 FT |
| SEGMENT G (R2) | 250 FT |
| SEGMENT H (R2) | 250 FT |
| SEGMENT J (R2) | 250 FT |

| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | TABLE 1006.2.1 |
|--|----------------|
| SEGMENT F (R2) | 125 FT |
| SEGMENT G (R2) | 125 FT |
| SEGMENT H (R2) | 125 FT |
| SEGMENT J (R2) | 125 FT |

| MAXIMUM DEAD END CORRIDOR LENGTH | SECTION 1020.4 |
|----------------------------------|----------------|
| GROUP R2 | 20 FT |

PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT G - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| PARKING GARAGES | 862 SF | 200 GROSS | 4 |
| ACCESSORY STORMECH | 78 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 5 |

SEGMENT H - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| PARKING GARAGES | 3,551 SF | 200 GROSS | 18 |
| ACCESSORY STORMECH | 400 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 19 |

SEGMENT J - LEVEL 1

| OCCUPANCY TYPE | GROSS FLOOR AREA | LOAD FACTOR | OCCUPANT LOAD |
|---------------------|------------------|-------------|---------------|
| PARKING GARAGE | 1,029 SF | 200 GROSS | 5 |
| ACCESSORY STORMECH | 112 SF | 300 GROSS | 1 |
| TOTAL OCCUPANT LOAD | | | 6 |

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

| MINIMUM NUMBER OF EXITS | REQUIRED | PROVIDED |
|-------------------------|----------|----------|
| SEGMENT G | 2 | 2 |
| SEGMENT H | 2 | 2 |
| SEGMENT J | 2 | 2 |

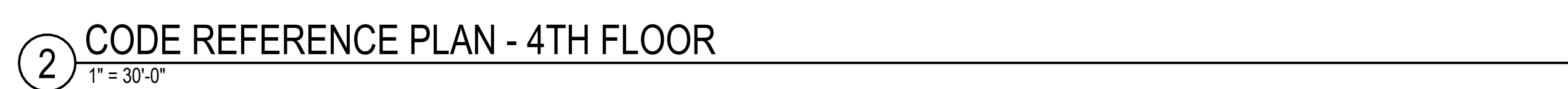
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | SECTION 1005, 1011, 1024 |
|-----------------------------------|--------|--------------------------|
| SEGMENT G | 44'44" | 44'80" |
| SEGMENT H | 44'44" | 44'80" |
| SEGMENT J | 44'44" | 44'80" |

| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | TABLE 1017.2 |
|-------------------------------------|--------------|
| SEGMENT G (R2) | 250 FT |
| SEGMENT H (R2) | 250 FT |
| SEGMENT J (R2) | 250 FT |

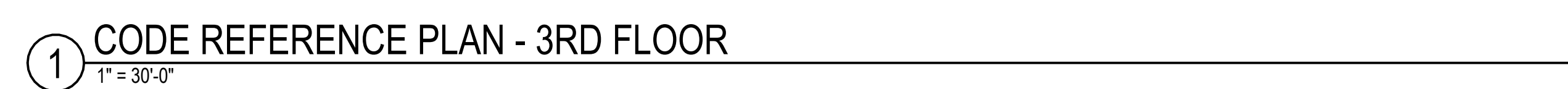
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | TABLE 1006.2.1 |
|--|----------------|
| SEGMENT G (R2) | 125 FT |
| SEGMENT H (R2) | 125 FT |
| SEGMENT J (R2) | 125 FT |

| MAXIMUM DEAD END CORRIDOR LENGTH | SECTION 1020.4 |
|----------------------------------|----------------|
| GROUP R2 | 20 FT |

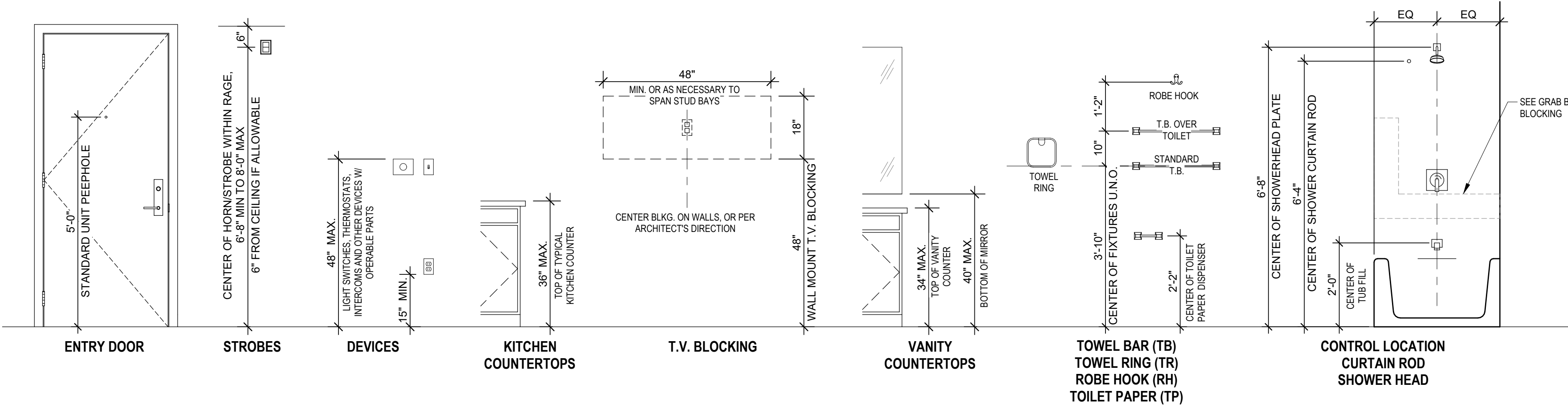
PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS



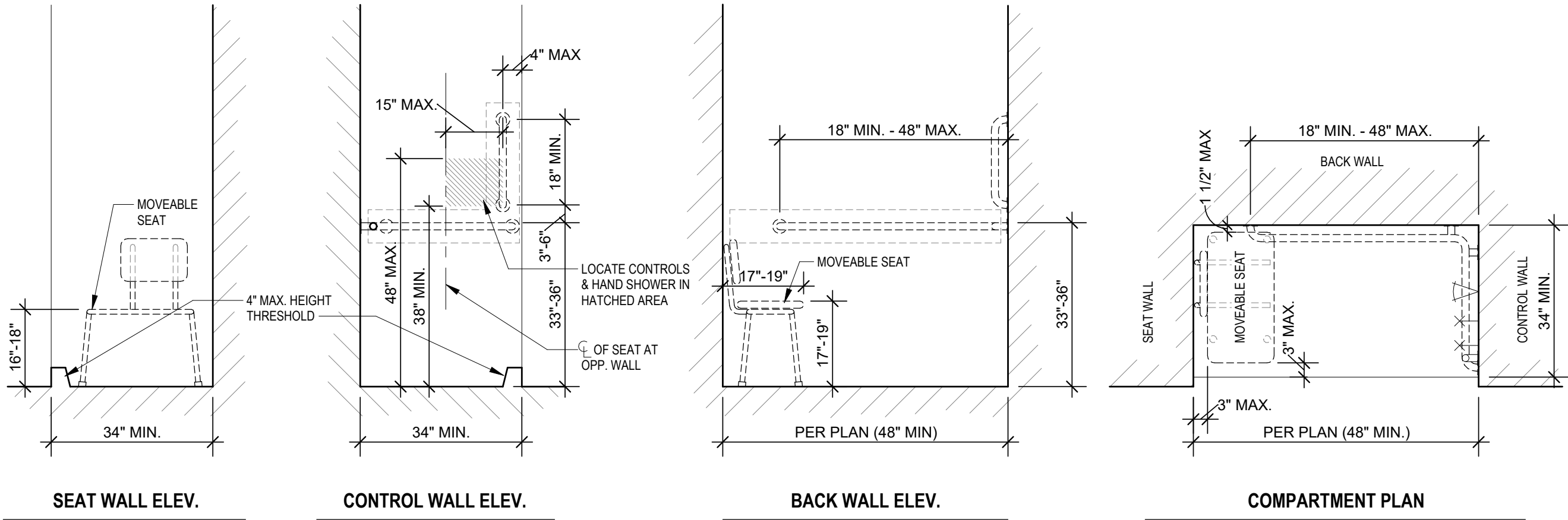
| ELEMENT | REQUIRED | PROVIDED |
|---|-----------------|--------------------------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT F | 2 | 2 |
| SEGMENT G | 2 | 2 |
| SEGMENT H | 2 | 2 |
| SEGMENT J | 2 | 2 |
| EXIT WIDTH FACTORS (STAIRS/OTHER) | | |
| SEGMENT F | 44" x 4" | 44" x 80" |
| SEGMENT G | 44" x 4" | 44" x 80" |
| SEGMENT H | 44" x 4" | 44" x 80" |
| SEGMENT J | 44" x 4" | 44" x 80" |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | |
| SEGMENT F (R2) | 250 FT | TABLE 1017.2 90'-3" |
| SEGMENT G (R2) | 250 FT | 79'-2" |
| SEGMENT H (R2) | 250 FT | 145'-4" |
| SEGMENT J (R2) | 250 FT | 132'-0" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | |
| SEGMENT F (R2) | 125 FT | TABLE 1006.2.1 33'-0" |
| SEGMENT G (R2) | 125 FT | 30'-0" |
| SEGMENT H (R2) | 125 FT | 33'-0" |
| SEGMENT J (R2) | 125 FT | 32'-8" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | |
| GROUP R2 | 20 FT | SECTION 1020.4 |
| PANIC HARDWARE | | |
| REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |



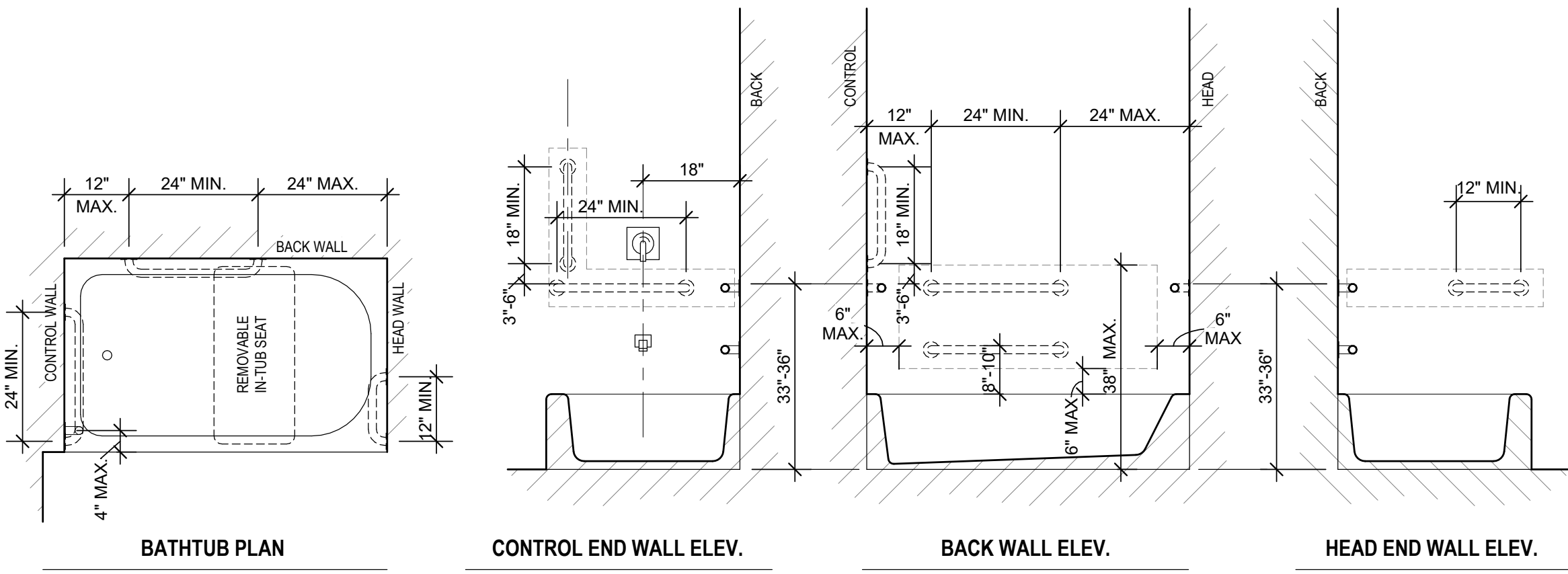
| <u>ELEMENT</u> | <u>REQUIRED</u> | <u>PROVIDED</u> |
|---|-----------------|-----------------|
| MINIMUM NUMBER OF EXITS | | |
| SEGMENT F | 2 | 2 |
| SEGMENT G | 2 | 2 |
| SEGMENT H | 2 | 2 |
| SEGMENT J | 2 | 2 |
| EXIT WIDTH FACTORS (STARCSOTHER) | | |
| SEGMENT F | 44'00" | 44'00" |
| SEGMENT G | 44'00" | 44'00" |
| SEGMENT H | 44'00" | 44'00" |
| SEGMENT J | 44'00" | 44'00" |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | | TABLE 1017.2 |
| SEGMENT F (R1) | 29' 00 FT | 80' 2" |
| SEGMENT G (R2) | 29' 00 FT | 79' 2" |
| SEGMENT H (R2) | 29' 00 FT | 140' 4" |
| SEGMENT J (R2) | 29' 00 FT | 132' 0" |
| MAXIMUM COMMON PATH OF TRAVEL DISTANCE | | TABLE 1006.2.1 |
| SEGMENT F (R2) | 125 FT | 33' 0" |
| SEGMENT G (R2) | 125 FT | 36' 0" |
| SEGMENT H (R2) | 125 FT | 33' 0" |
| SEGMENT J (R2) | 125 FT | 32' 8" |
| MAXIMUM DEAD END CORRIDOR LENGTH | | SECTION 1020.4 |
| GROUP R2 | 20 FT | |
| PANIC HARDWARE | | |
| REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS | | |



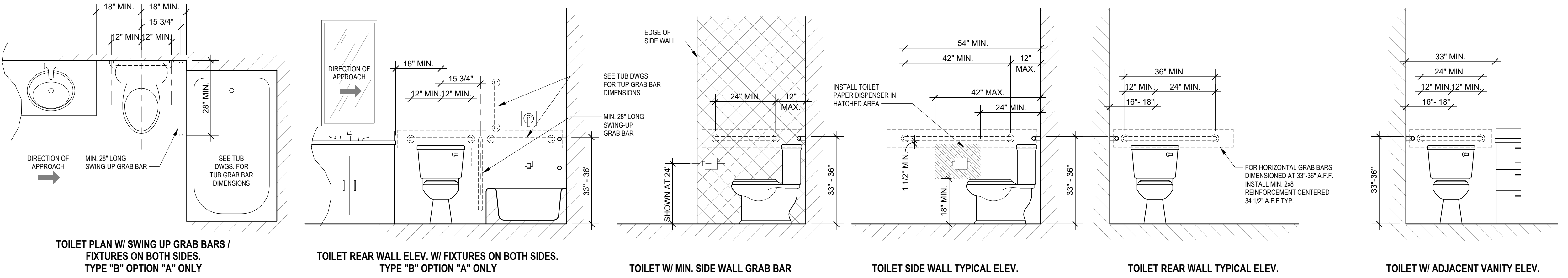
TYPE "B" DWELLING UNIT MOUNTING HEIGHTS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR SHOWERS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS

TYPE "B" DWELLING UNITS - ACCESSIBILITY NOTES

ALL UNITS NOT DESIGNATED AS "TYPE A" OR "EXEMPT" ARE CONSIDERED "TYPE B" AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1004 AND THE FAR HOUSING ACT.

ACCESSIBLE ROUTE:

- THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN.
- ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) CARS WHERE EXTERIOR ARE IMPERVIOUS, THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX. BELOW THE FLOOR LEVEL OF THE ADJACENT INTERIOR SPACES OF THE UNIT.

DOORS:

- THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2". EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4". CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL, CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48" OR LESS THAN 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4" MIN.
- THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF.

TOILET AND BATHING FACILITIES:

- DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
- REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT WATER CLOSETS, BATHTUBS, AND SHOWER COMPARTMENTS. REINFORCEMENT IS NOT REQUIRED IN A ROOM CLOSET OR WATER CLOSET OR WATER CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT.
- EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS.

OPTION A:

- ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY.
- A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE LAVATORY.
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.
- IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN. MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

OPTION B:

- ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT.
- THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.
- A CLEARANCE 48" MIN. IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN. IN WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS.
- IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN. MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

KITCHENS:

- CLEARANCES SHALL COMPLY WITH A117.11004.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40" MINIMUM. IN U-SHAPED KITCHENS THIS CLEARANCE SHALL BE 60" MINIMUM.
- A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK.
- A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR.

LAUNDRY EQUIPMENT:

- A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED. A PARALLEL APPROACH SHALL BE PROVIDED FOR A TOP LOADING MACHINE. A FORWARD OR PARALLEL APPROACH SHALL BE PROVIDED FOR A FRONT LOADING MACHINE.

OPERABLE PARTS:

- LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH CLEAR FLOOR SPACE AND HEIGHT REQUIREMENTS EXCEPT RECEPTACLES SERVING A DEDICATED USE, FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS OR SWITCHES MOUNTED ON APPLIANCES, CONTROLS MOUNTED ON CEILING FANS, AND RESET BUTTONS AND SHUT-OFFS SERVING APPLIANCES, PIPING AND PLUMBING FIXTURES. WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL BE REQUIRED. RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 30" MAX. IN HEIGHT AND 35 1/2" MAX. IN DEPTH.

GENERAL ACCESSIBILITY NOTES

- INSTALL CONCEALED 200 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE.
- INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS.

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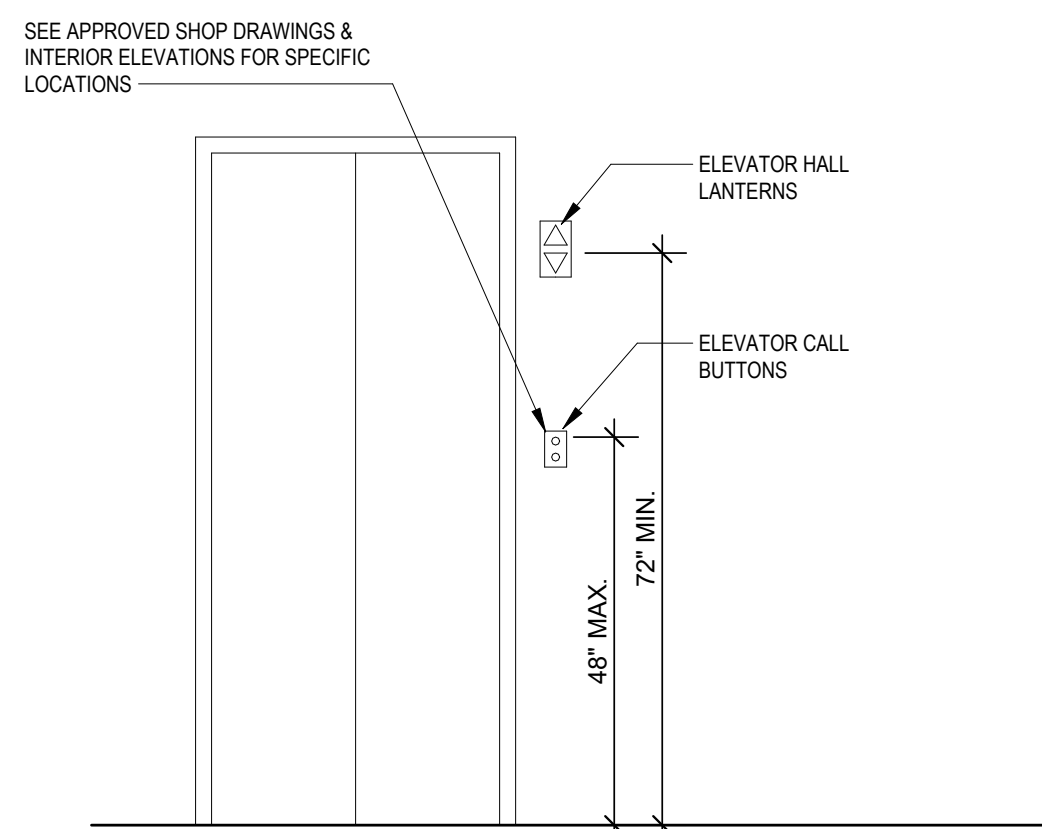
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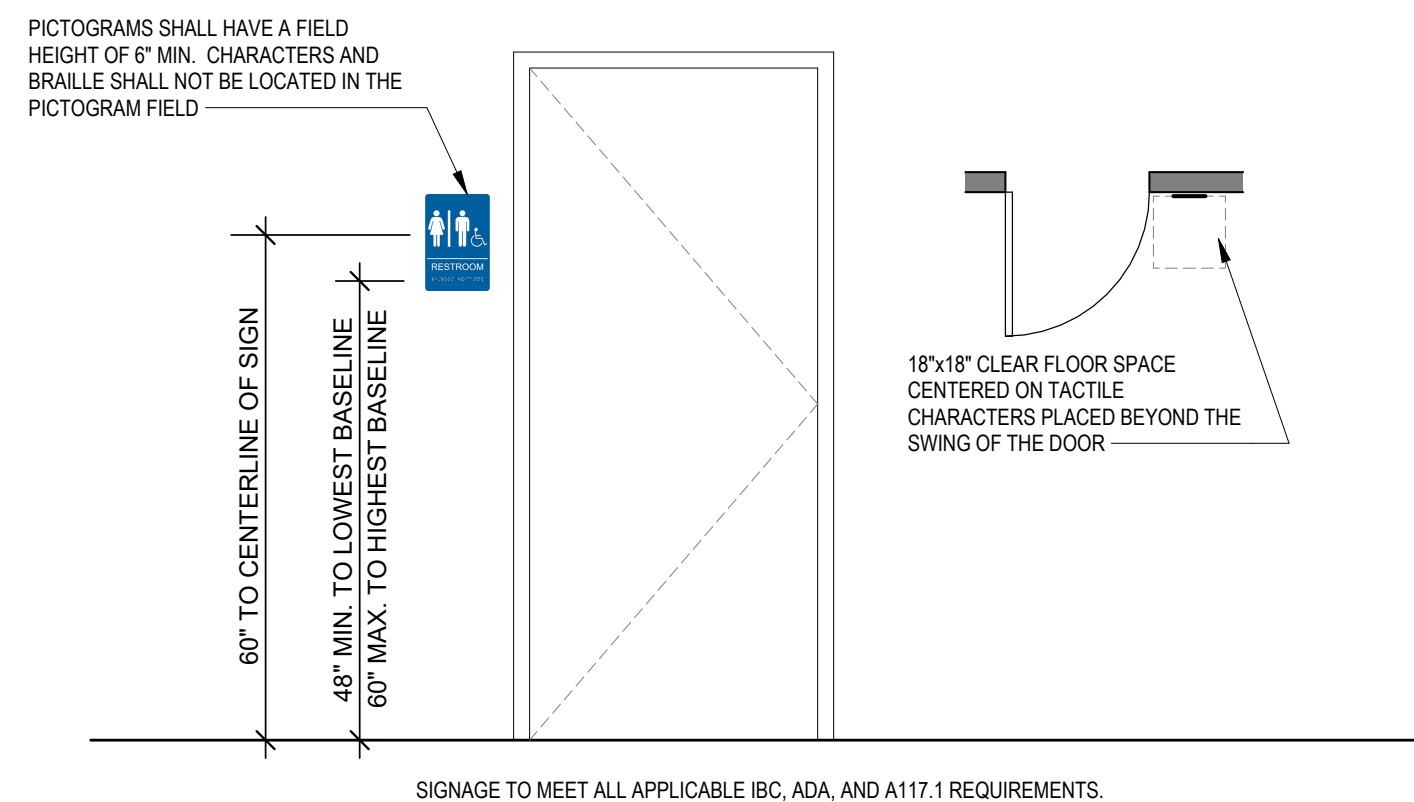
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4/11/2023
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A0.41

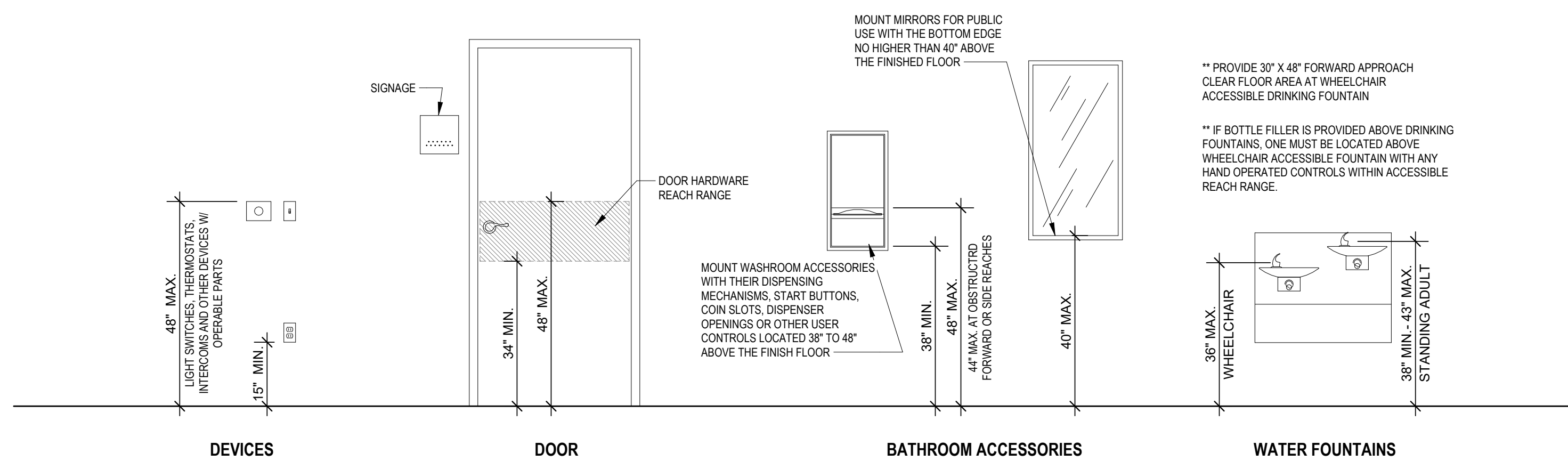
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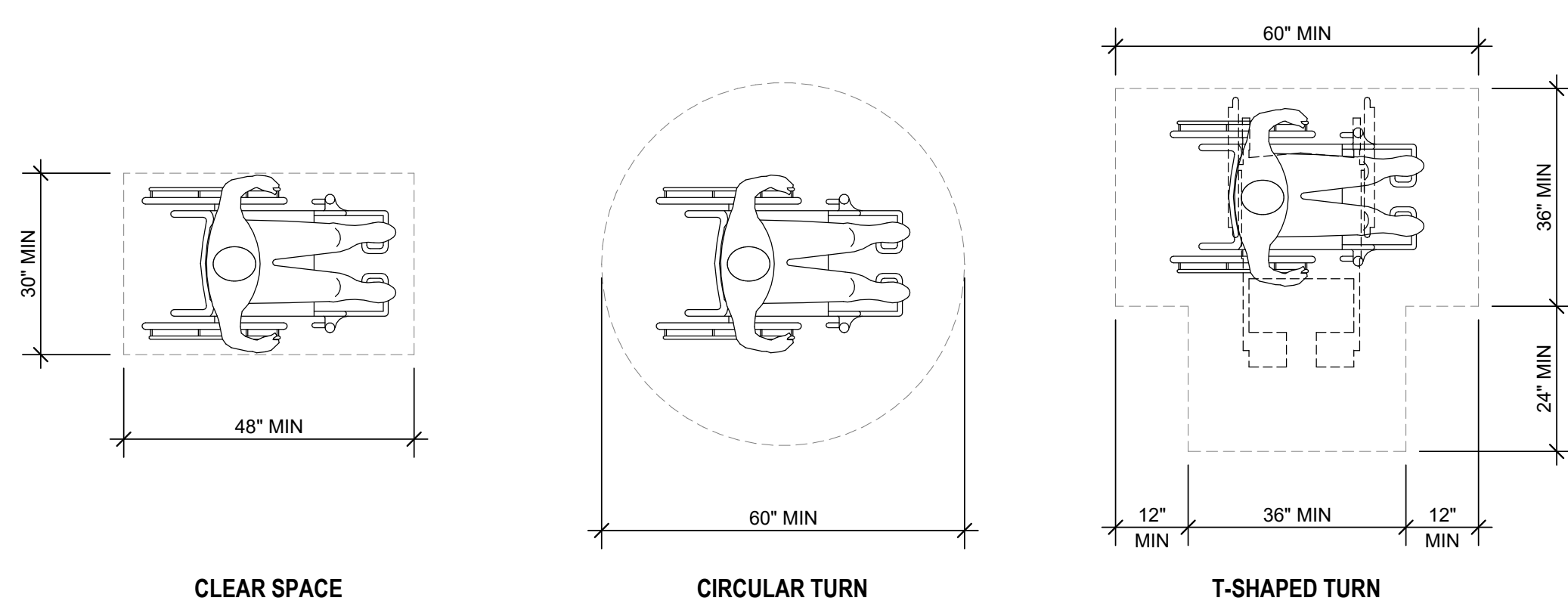
ELEVATOR COMPONENTS



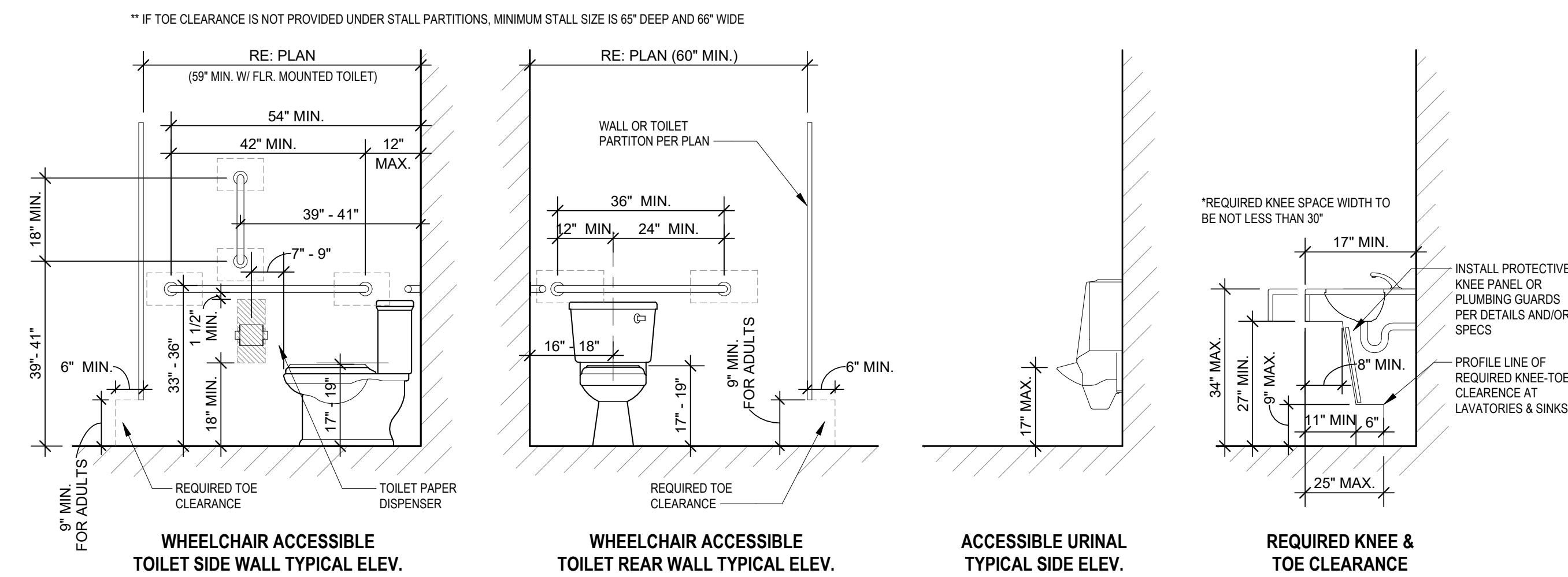
GENERAL SIGNAGE



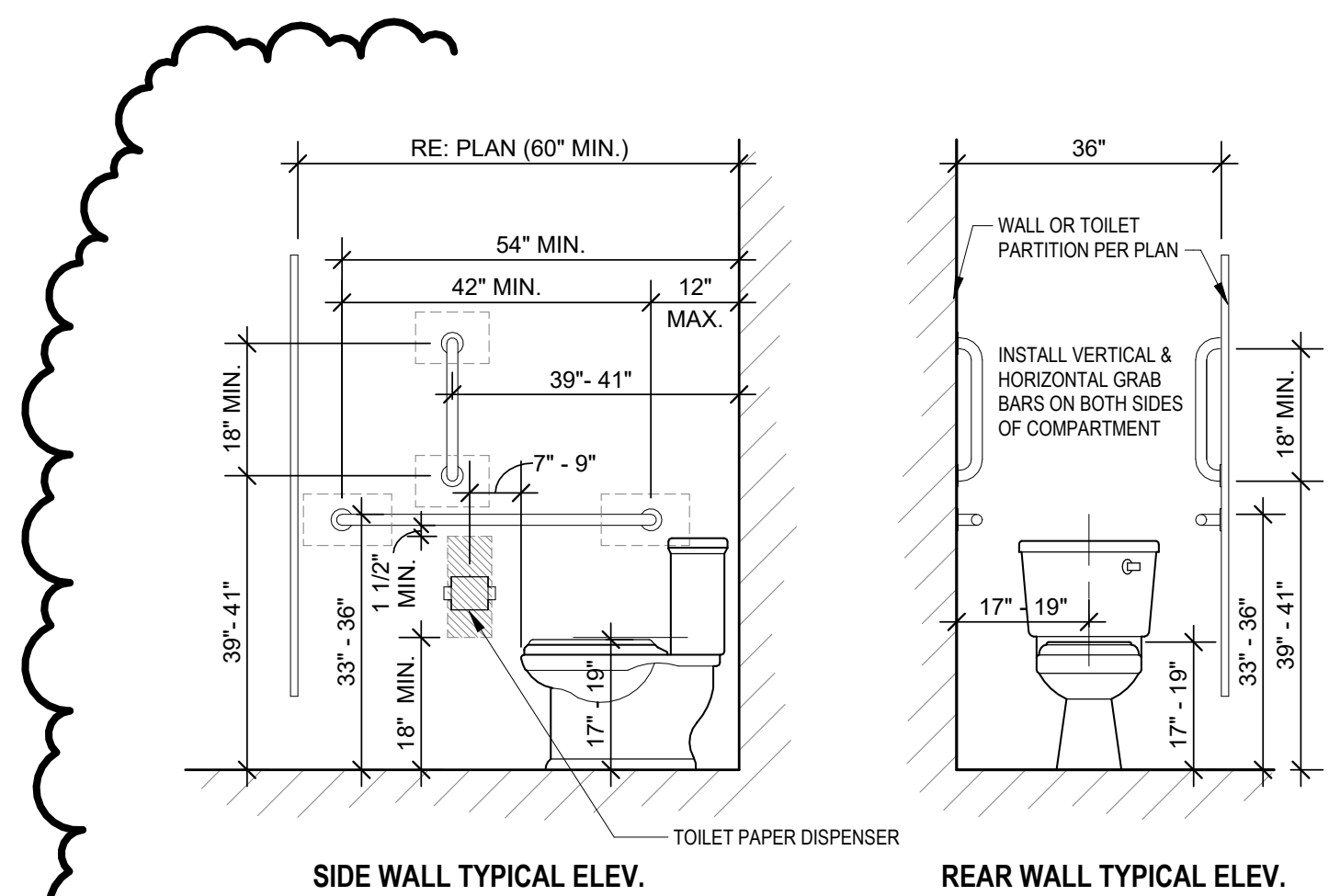
TYPICAL ACCESSIBLE MOUNTING HEIGHTS FOR UNOBSTRUCTED FORWARD REACH



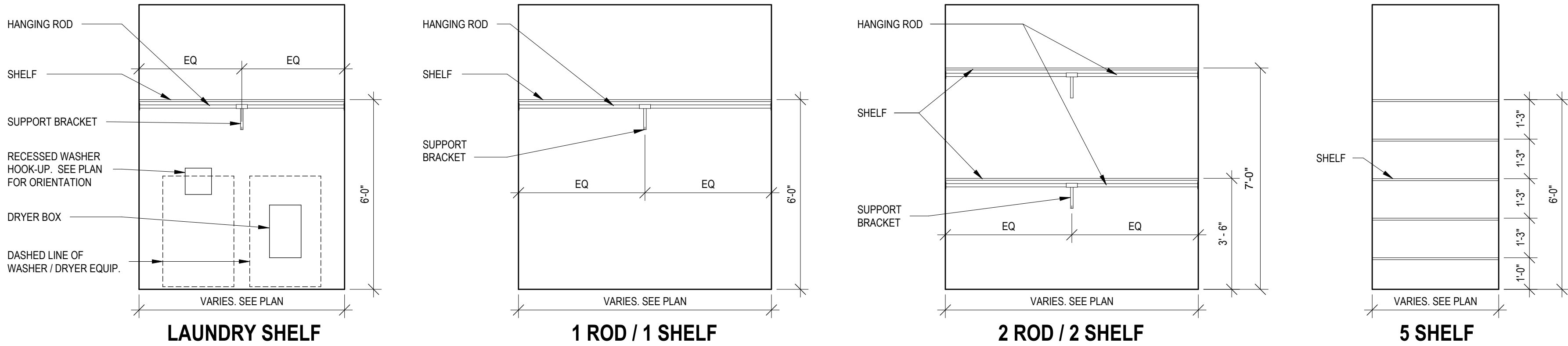
TURNING AND CLEAR FLOOR SPACES



GRAB BARS AND CLEARANCES FOR PUBLIC RESTROOMS



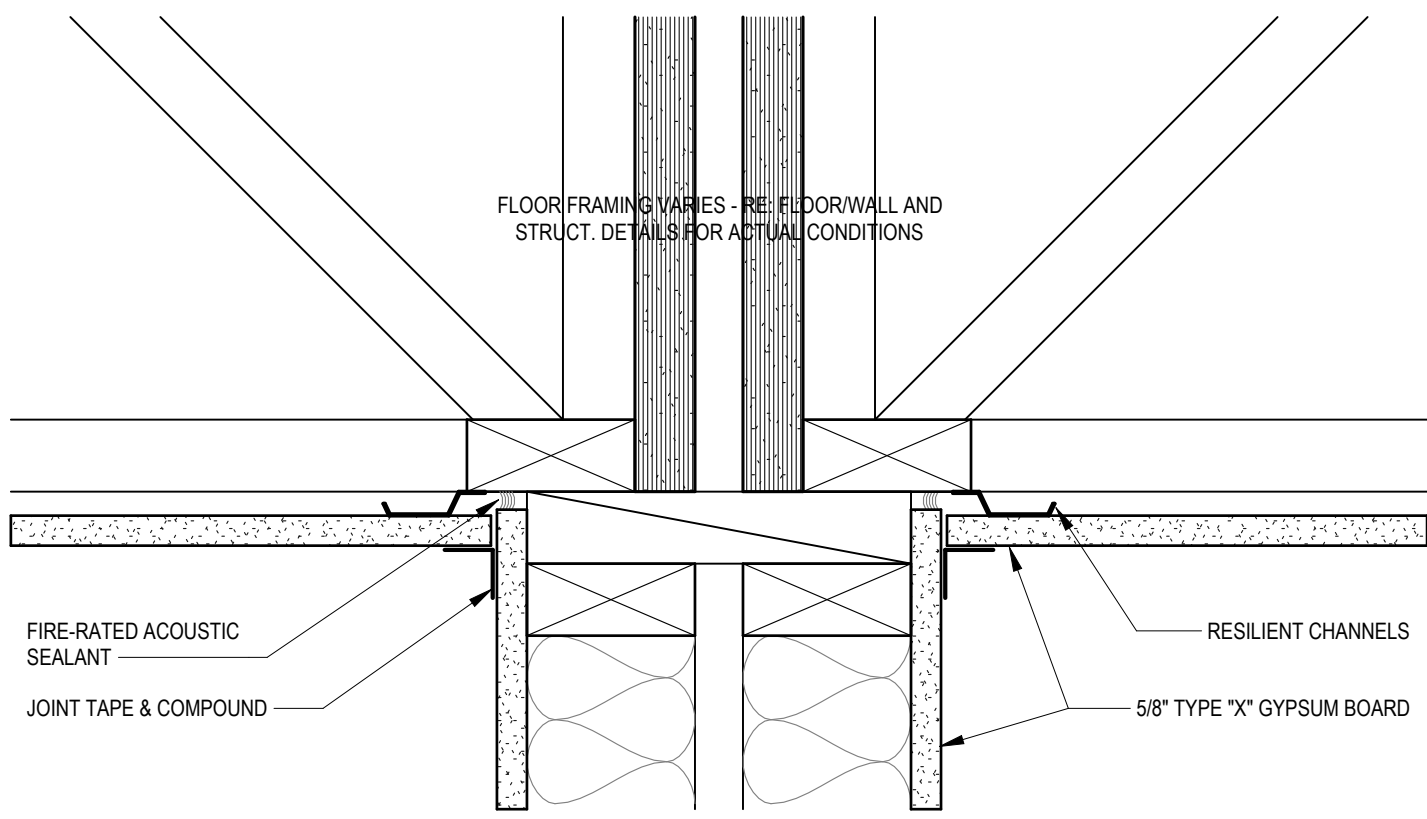
AMBULATORY ACCESSIBLE STALLS



ALL WOOD SHELVES TO BE SUPPORTED BY CLEATS. ALL WIRE SHELVES TO BE SUPPORTED BY BRACKETS PER MANUFACTURER'S INSTRUCTIONS.

5 UNIT SHELVES MOUNTING HEIGHTS

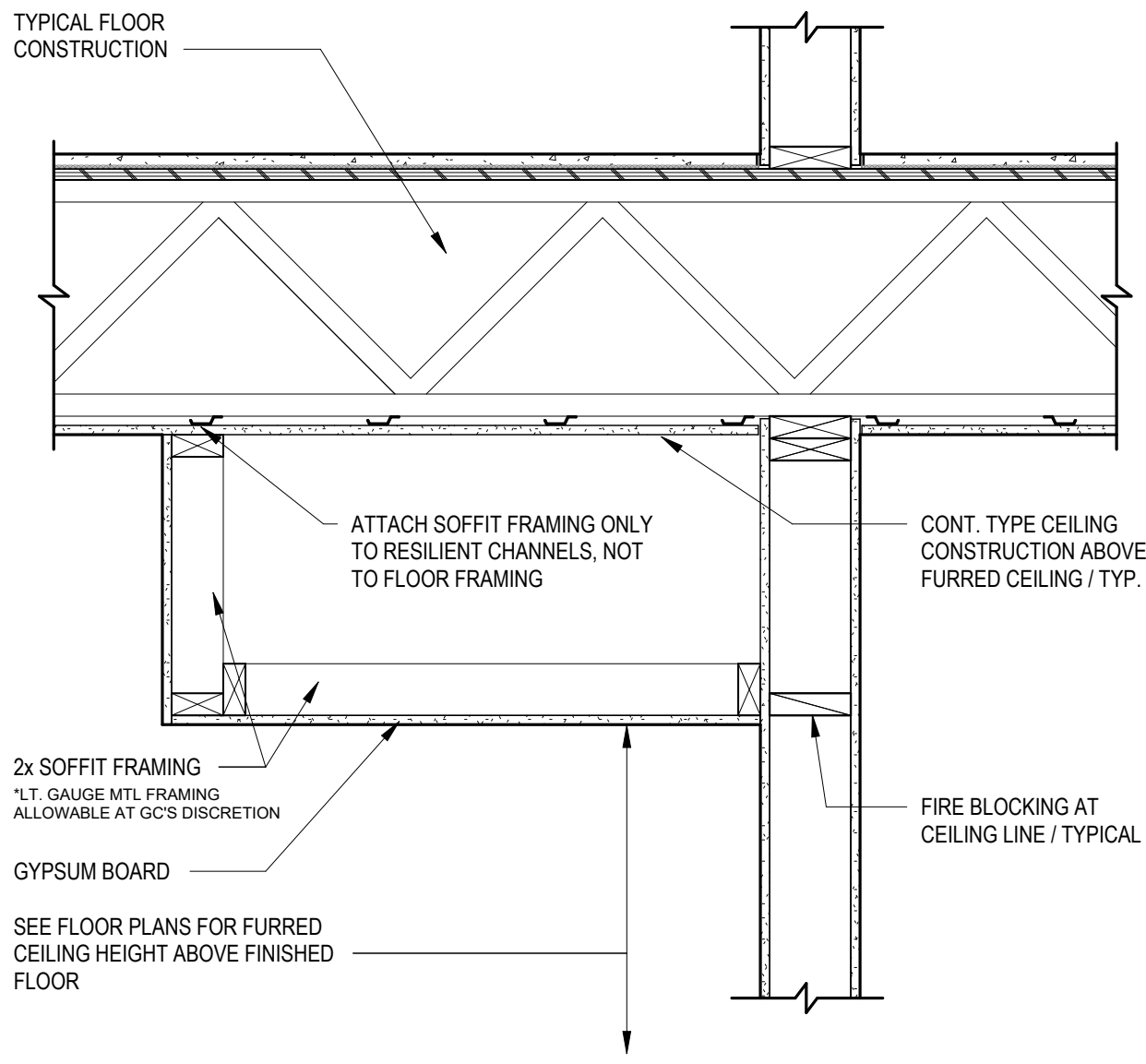
3/8" = 1'-0"



DETAIL TYPICAL AT: UNIT DEMISING WALLS, CORRIDOR WALLS, STAIR & ELEVATOR WALLS, AND SOUND RATED ASSEMBLIES INDICATED.

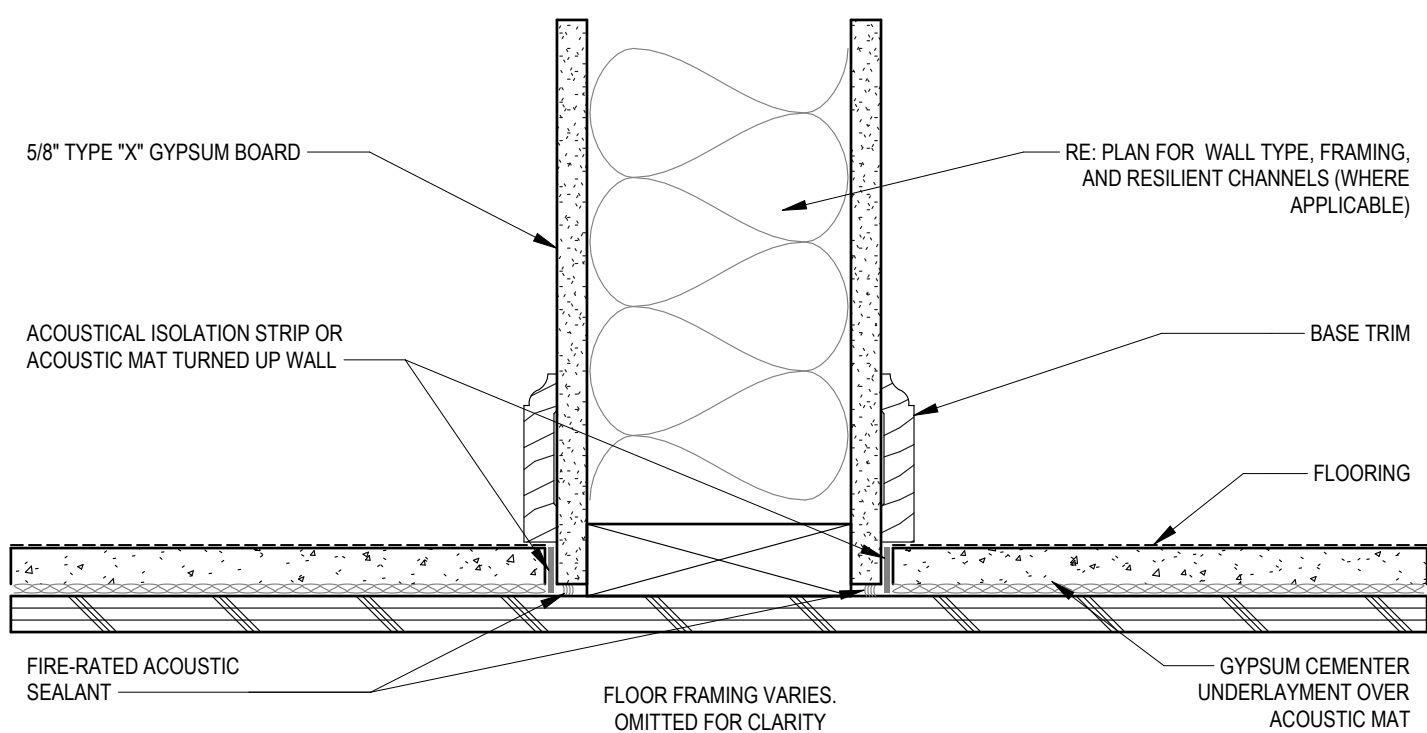
4 ACOUSTIC DETAIL AT CEILING

3" = 1'-0"



2 FURRED CEILING DETAIL

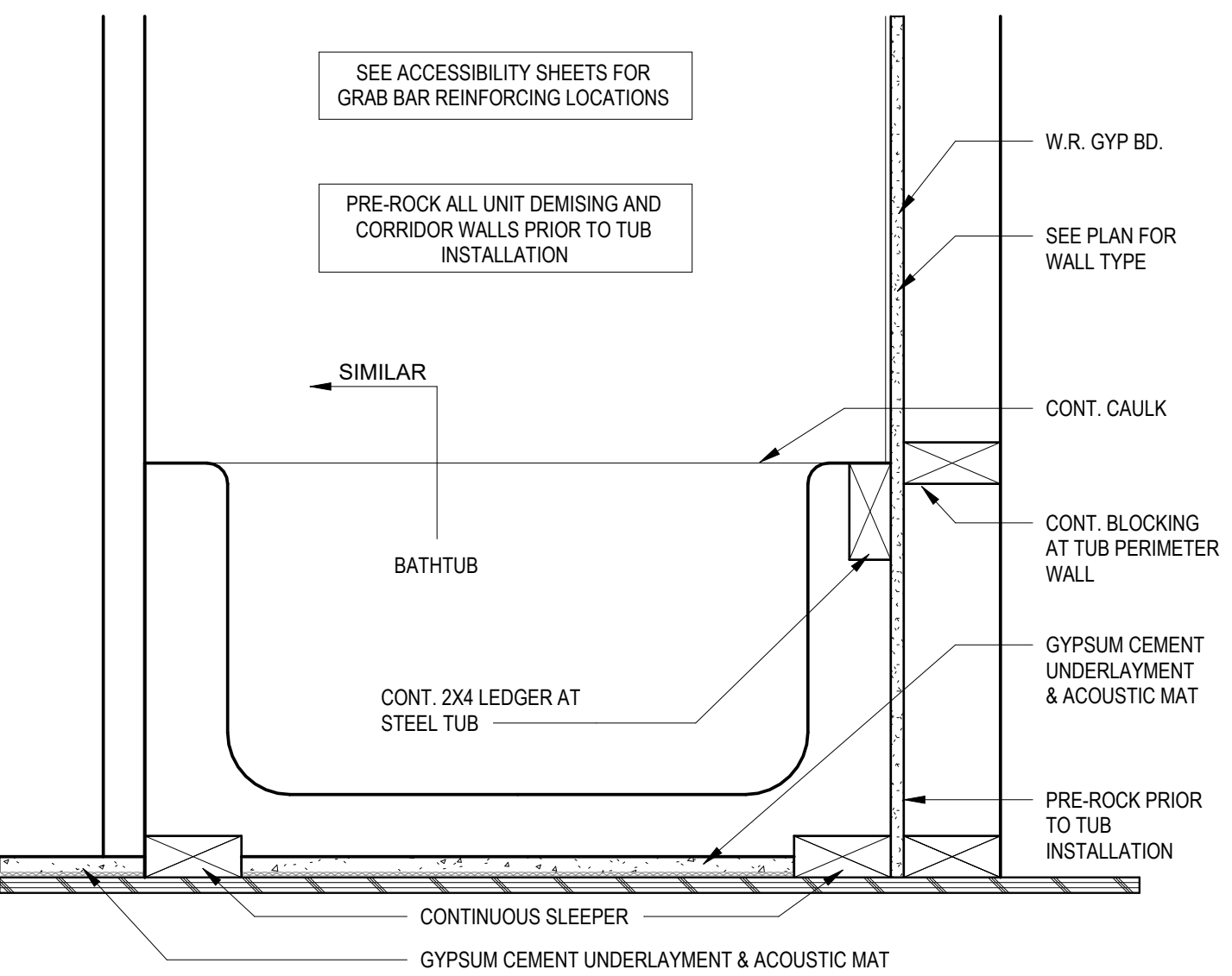
1" = 1'-0"



DETAIL TYPICAL AT: UNIT DEMISING WALLS, CORRIDOR WALLS, STAIR & ELEVATOR WALLS, AND SOUND RATED ASSEMBLIES INDICATED.

3 ACOUSTIC DETAIL AT FLOOR

3" = 1'-0"



1 INTERIOR DETAIL - SECTION AT BATHTUB

1 1/2" = 1'-0"

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JOB NO. 705921 DATE 03.15.2023
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4/11/2023
SHEET NAME CITY COMMENTS
TYPICAL UNIT INFO

SHEET NO.

A0.43

REFER TO ASSEMBLY SHEET SECTION A-01 FOR ASSEMBLY DIMENSION
AND FINISHES.

REFER TO SHEETS A-00, A-01 AND A-02 FOR MOUNTING HEIGHTS
AND ACCESSIBILITY REQUIREMENTS.

2. PROVIDE FINISHING FOR ALL EXTERIOR ELEVATIONS FOR ADDITIONAL
EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS
AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR
THRESHOLD.

3. USE TEAR-AWAY DEAD, BACKER ROD AND CAULK AT ALL DRYWALL
RETURNS AT FINISHATION CONDITIONS.

4. PROVIDE FINISHING FOR ALL INTERIOR WALLS, "MIN" OR "MAX" ARE FROM
FINISH FACE TO FINISH FACE.

5. PROVIDE FINISHING FOR ALL CLOSET LOCATIONS, WARD ROBE CABINETS,
SHOE CHANGING, SLAB BARS, AND OTHER WALL MOUNTED ITEMS.

6. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE
LESS THAN 1' LOWER THAN THE FINISH FLOOR.

7. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IRC SECTION
2406. SEE PLANS FOR LOCATIONS.

8. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS AND REQUIRED EMERGENCY
FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IRC
2406.10.10. SEE FINISHING SCHEDULE FOR FINISHES.

9. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE
FINISH STRIP.

10. PROVIDE FINISH WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING
DWELLING UNITS SHALL MEET OR EXCEED 5.0 S.T.C. TEST PER IRC SECTION
1206.

11. WALLS AND SHOWERS ARE LOCATED AGAINST A FIRE RATED
ASSEMBLY. EXPOSED GYPSUM BOARD BEHIND AND PROVIDE INSULATION,
FIRE RATED GYPSUM BOARD AND FINISHES TO MATCH EXISTING.

12. ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE
FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

13. PROVIDE FINISH TO MATCH EXISTING TO BASE CABINET.

14. ADD WATER LINES IN EXTERIOR WALLS WHERE NOT POSSIBLE, INSTALL
INSULATION BETWEEN WATER LINES & GYPSUM BOARD.

15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHERS ALWAYS ON THE LEFT
AND DRYERS ALWAYS ON THE RIGHT. PROVIDE FINISHES TO MATCH EXISTING
ALL WINDOWS TO RECEIVE 5/8X20, WITH 1X3 APOUR & DRYWALL
RETURNS ON JAMBS & HEAD.

16. PROVIDE FINISHES TO CLOSELY MATCH THE COLOR OF THE
SURFACE THEY ARE APPLIED TO.

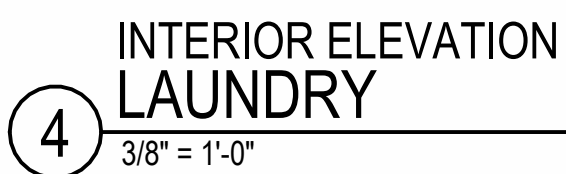
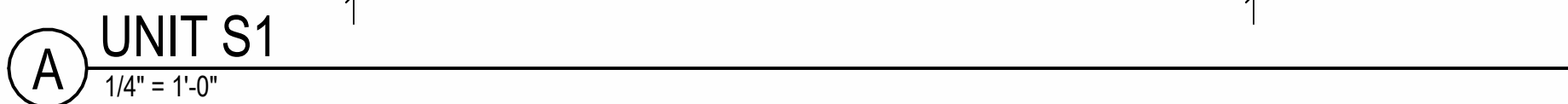
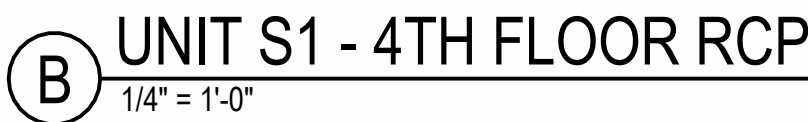
17. ALL PAINTED CABINETS SHALL BE AS DESIGNATED ON DRAWINGS &
CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND REFRIGERATOR
PANELS WERE EXPOSED.

18. REFER TO FLOOR PLANS FOR ADDITIONAL, RAISED PILE
AND FINISHES TO MATCH EXISTING INFORMATION.

19. ALL BATHROOM FLOORING FINISHES TO MATCH. INCLUDING SHOWER
FLOORING UNLESS OTHERWISE NOTED. PROVIDE FINISHES TO MATCH
SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN
EXACT MATCH CANNOT BE MADE.

20. PROVIDE FINISHES TO RECEIVE ESCUTCHEON TRIM TINGS TO
MATCH ADDITIONAL FIXTURE FINISH.

21. FIRE EXTINGUISHER (SEE SPECIFICATION) SHALL BE PROVIDED AND
KITCHEN SHAMPOO DISPENSER, UNDER KITCHEN SINK, U.S.A.



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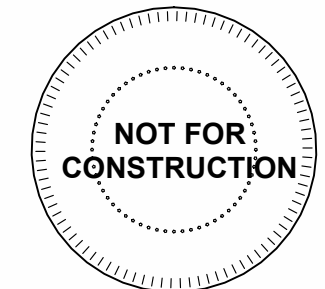
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| 23 0428 | ADD 1/CC 2 |
| 23 0714 | ASI 3 |
| 23 0731 | ASI 4 |
| 23 1103 | ASI 7 |

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| OBJ NO. | DATE |
| 05921 | 03.15.2023 |
| DRAWN BY | |
| SC/SIW | |
| 15/2023 | |
| SI #6 | |
| SHEET NAME | |
| NIT S1 PLANS | |

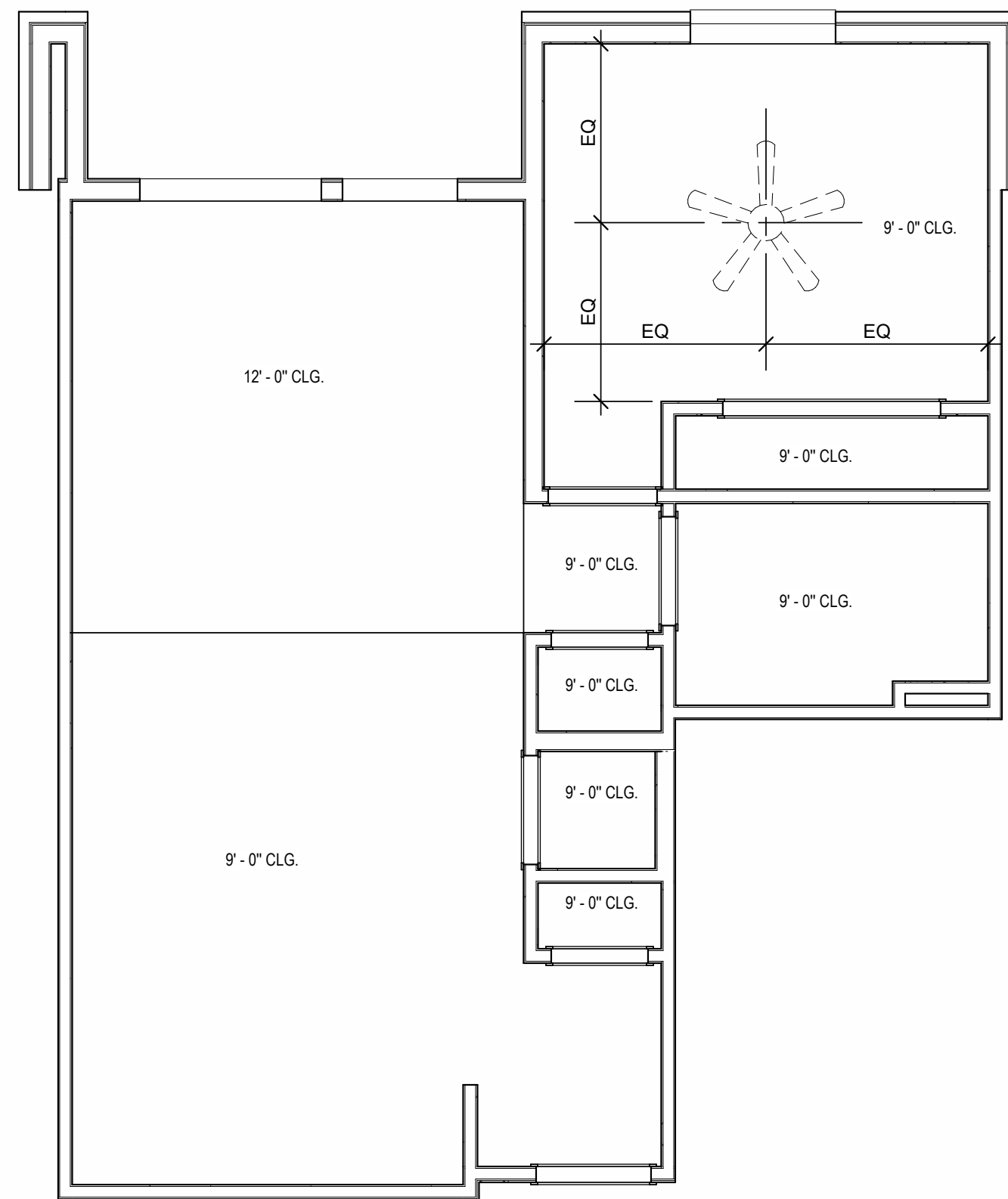
HEET NO

A1.00

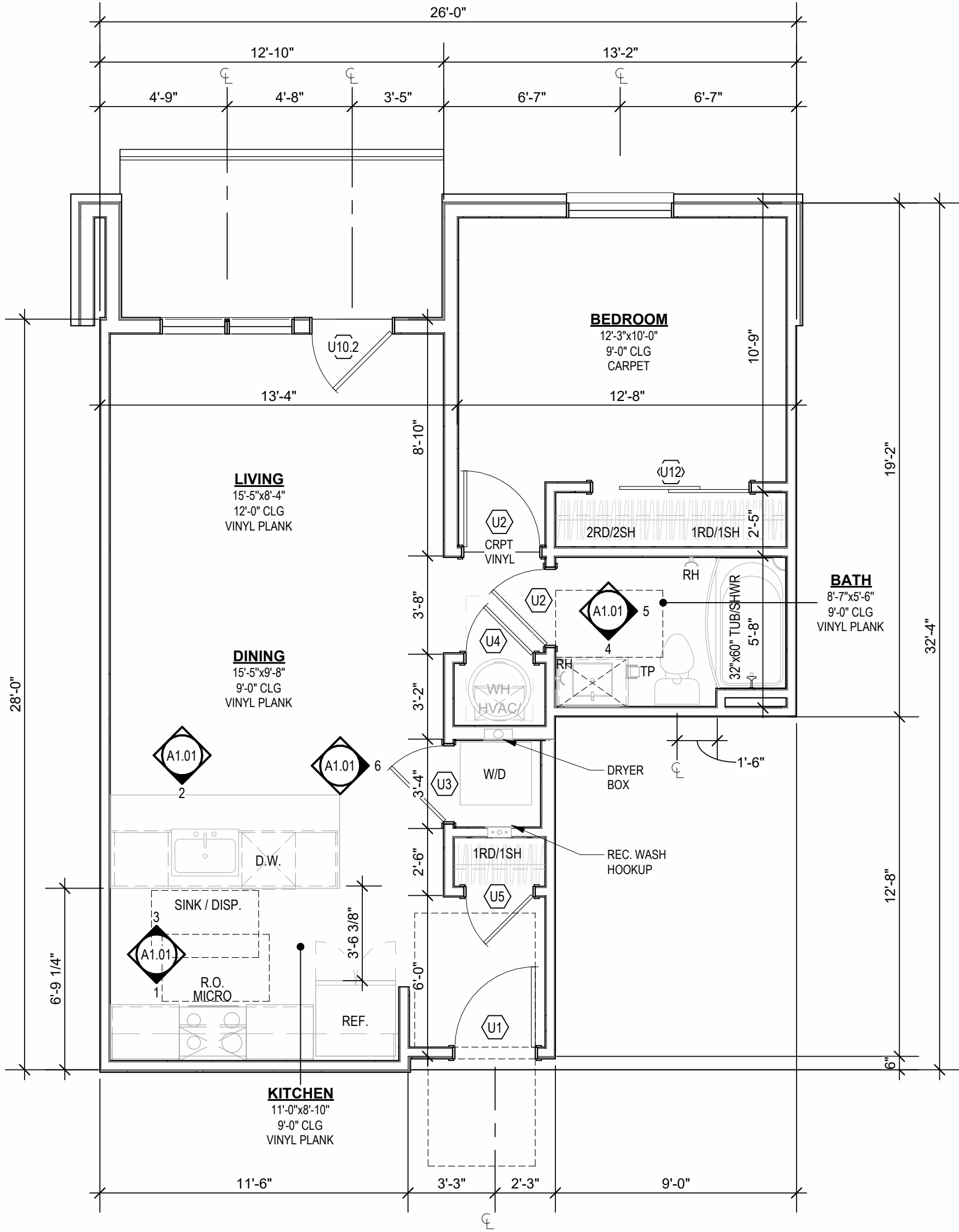


| REVISIONS |
|----------------|
| 5 23.06.08 AS1 |
| 7 23.08.0X AS3 |

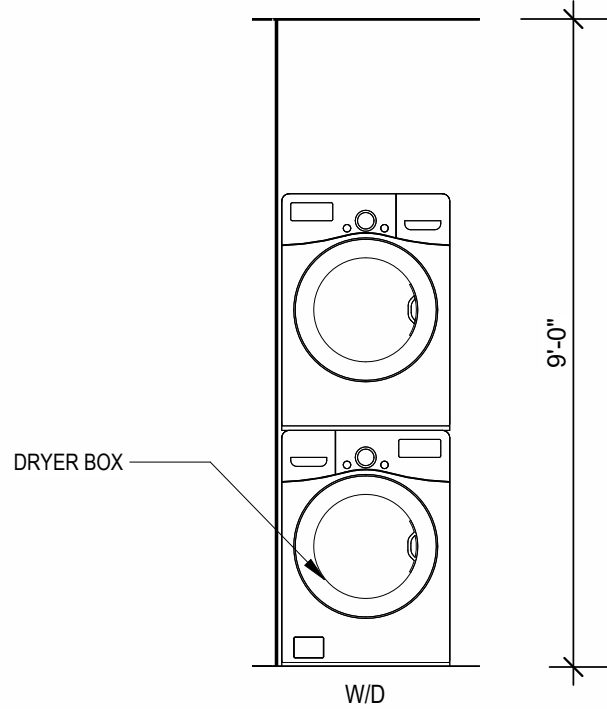
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1205.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE SINK STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMB & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 - FIRE EXTINGUISHER (RE. SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.A.O.



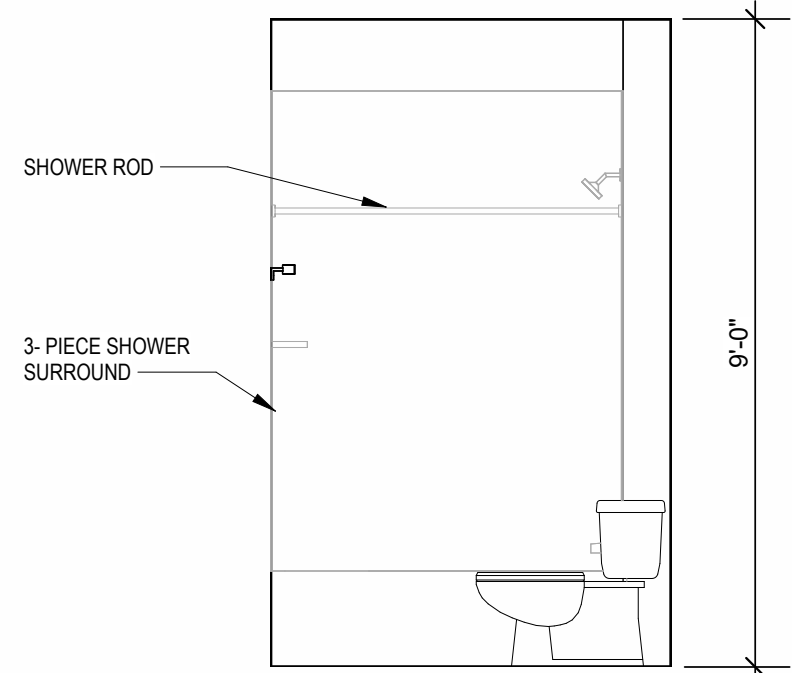
REFLECTED CEILING PLAN
UNIT A1 - 4TH FLOOR RCP
1/4" = 1'-0"



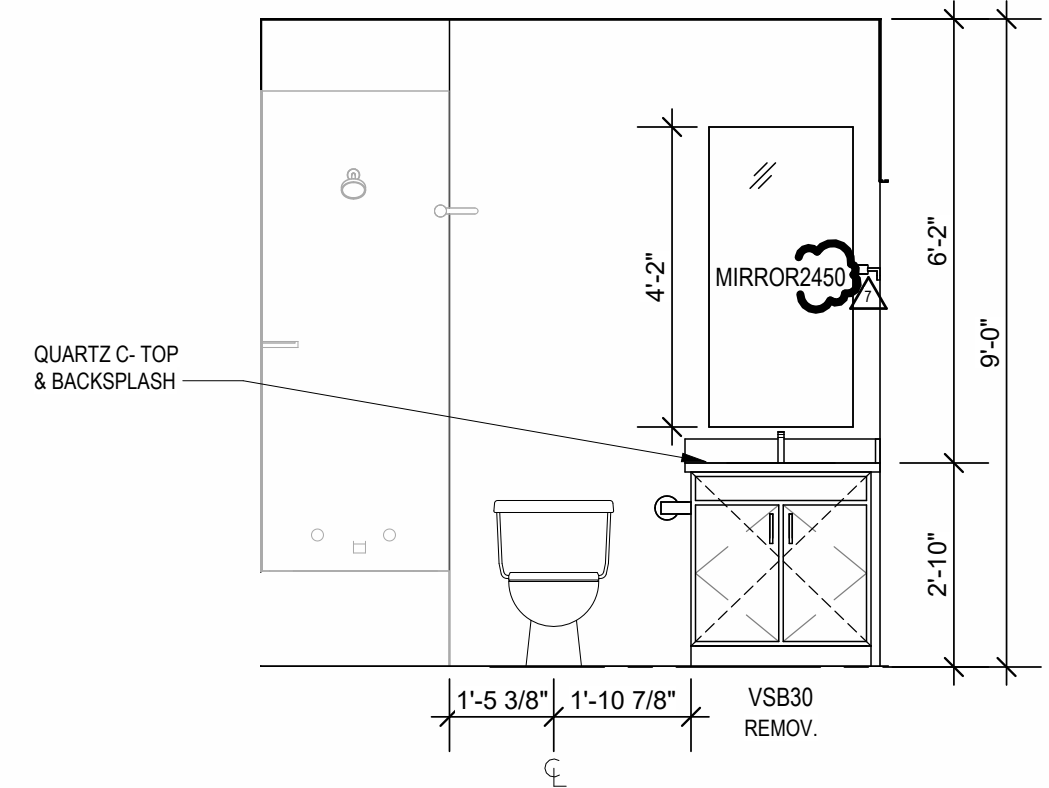
UNIT PLAN
UNIT A1
1/4" = 1'-0"



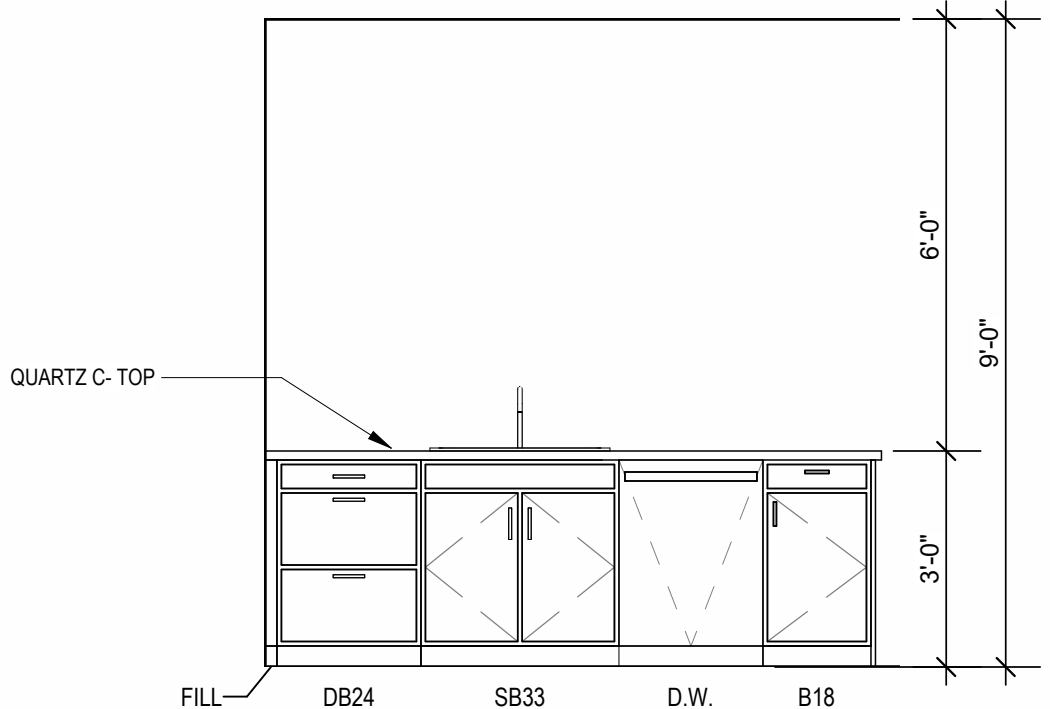
INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



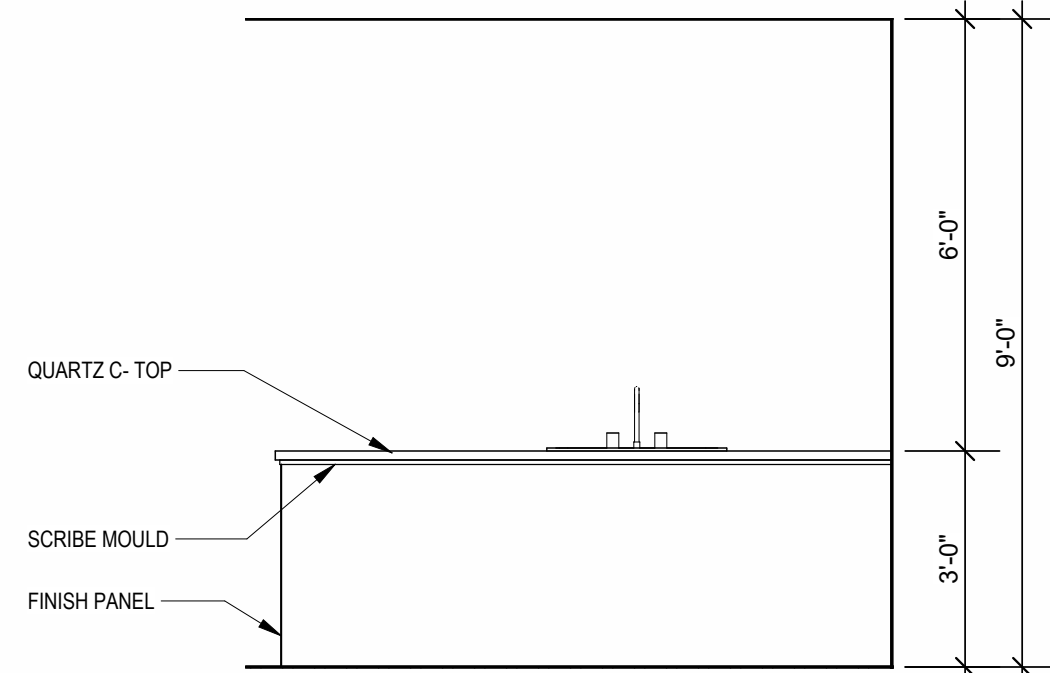
INTERIOR ELEVATION
SHOWER
3/8" = 1'-0"



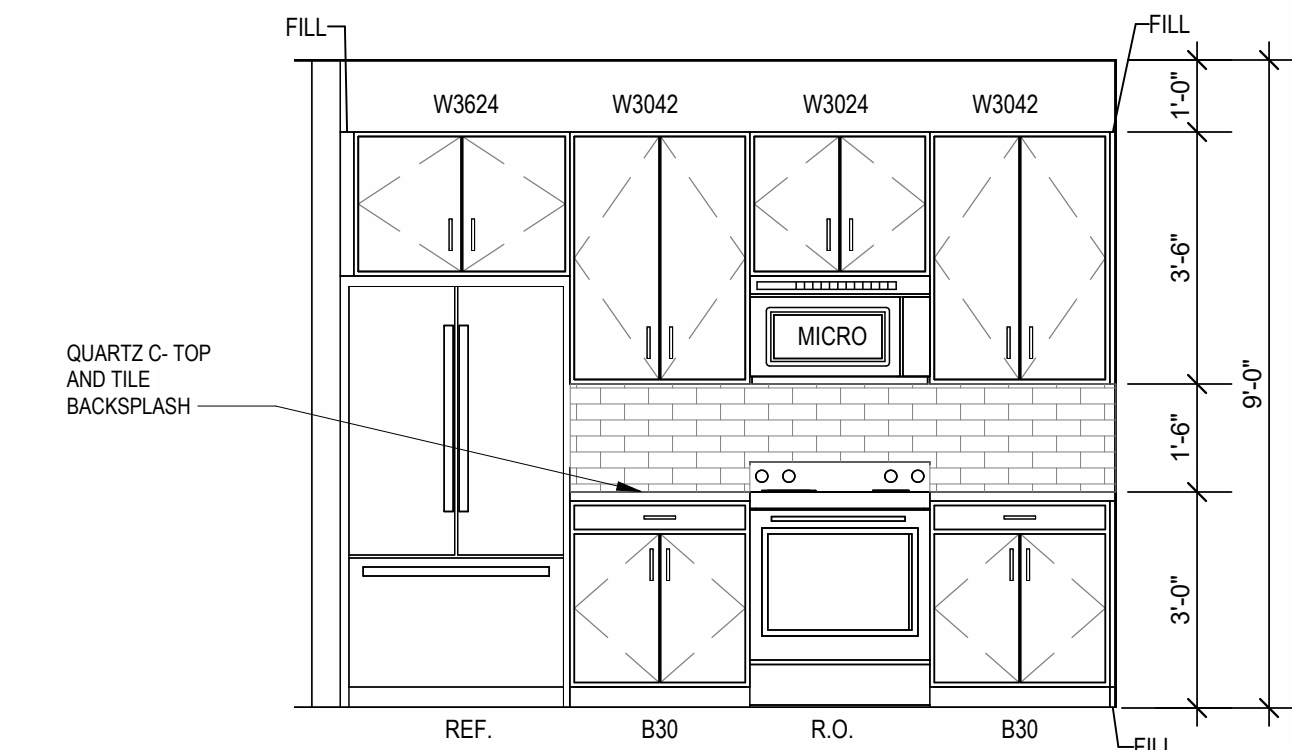
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



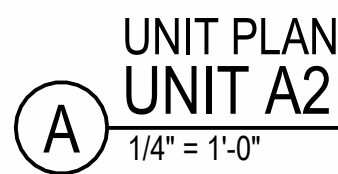
INTERIOR ELEVATION
KITCHEN ISLAND
3/8" = 1'-0"



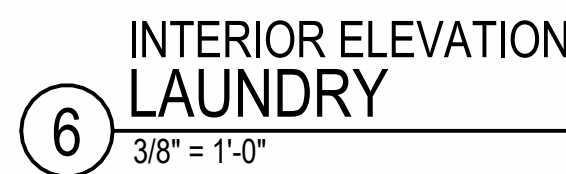
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



- 
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 LANDSCAPE
 ARCHITECTURE
 ENERGY SERVICES
- NOT FOR
 CONSTRUCTION



A NEW RESIDENTIAL COMMUNITY AT:

TRILOGY

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

DRAWING RELEASE LOG
• 03.15.2023 - PERMIT SUBMITTAL

△ REVISIONS
7 23 05XX ASI 3

JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**

6/9/2023
ASI #1

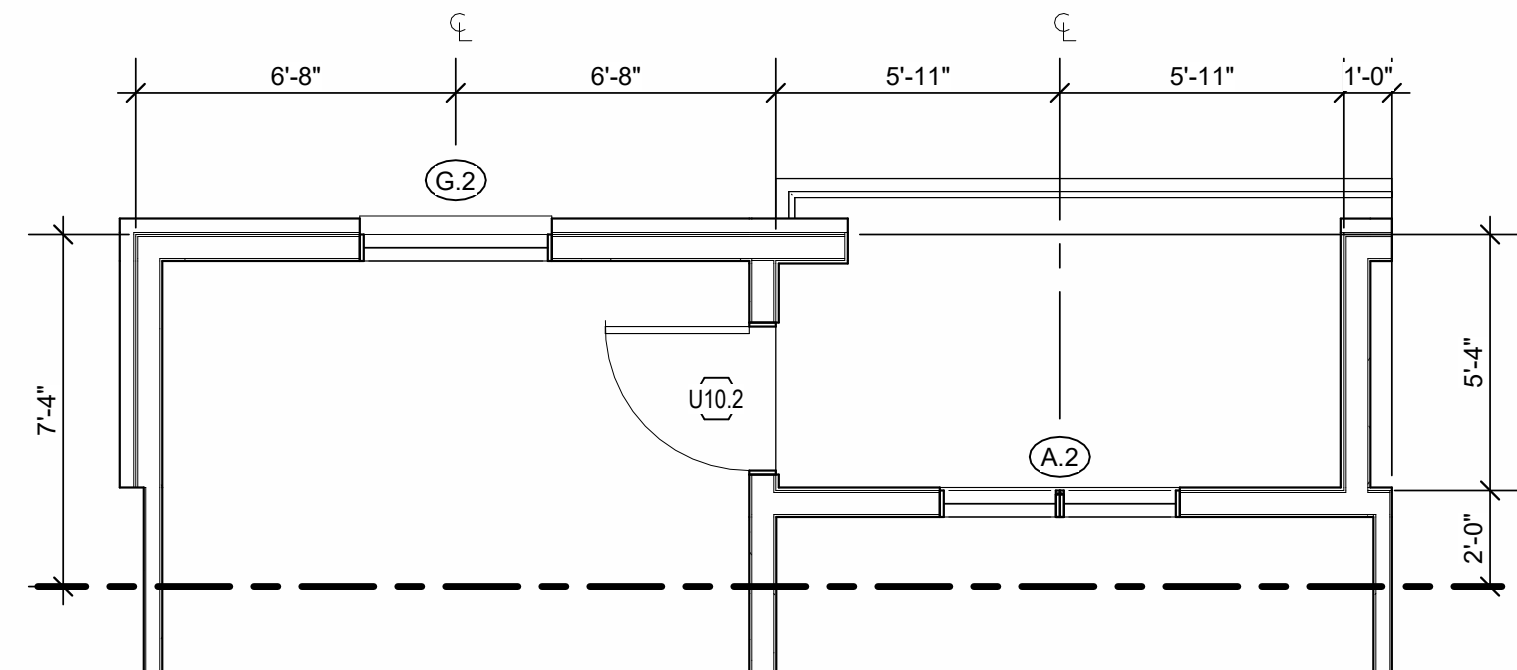
SHEET NAME
UNIT A2 PLANS

SHEET NO.

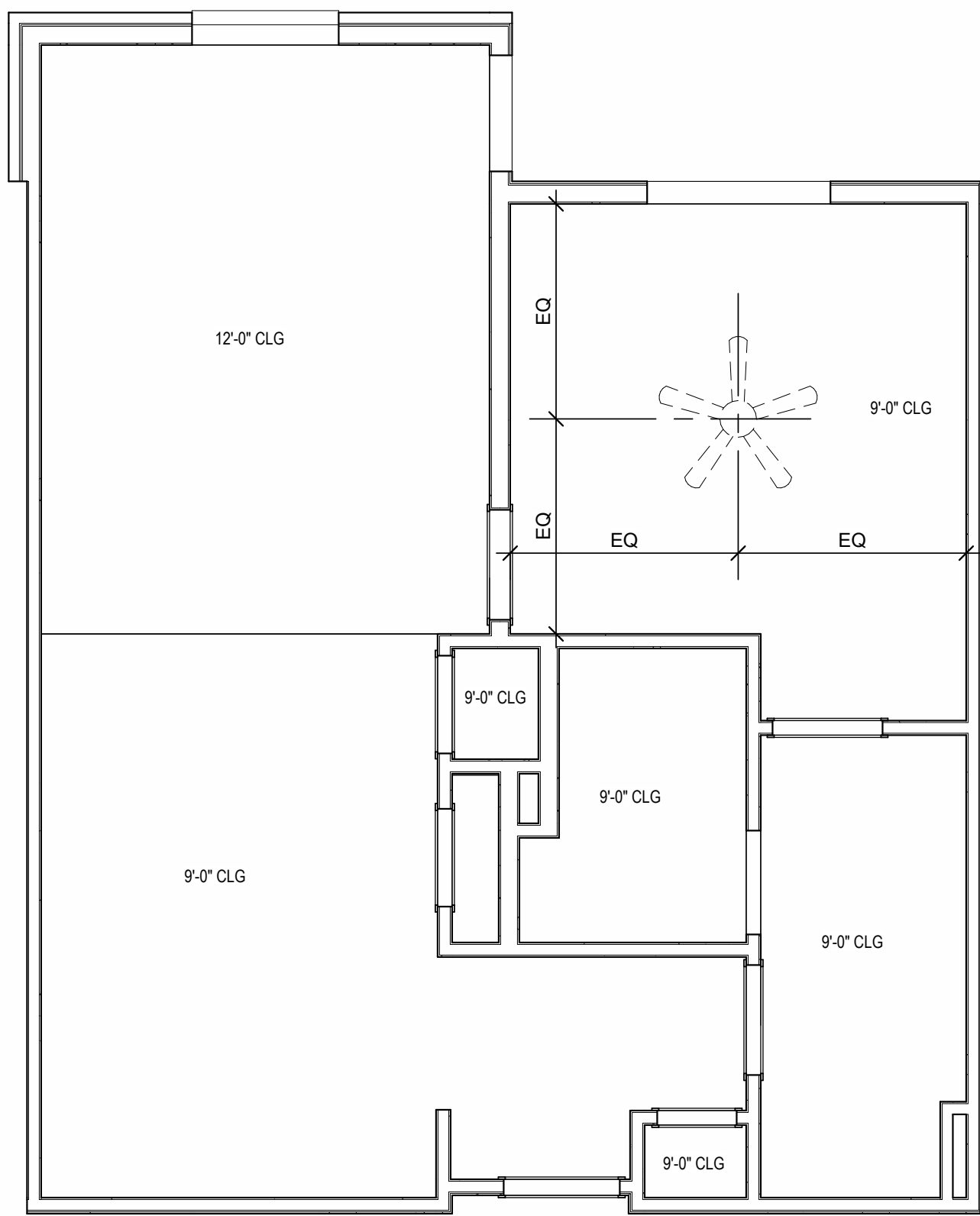
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UNIT PLAN GENERAL NOTES

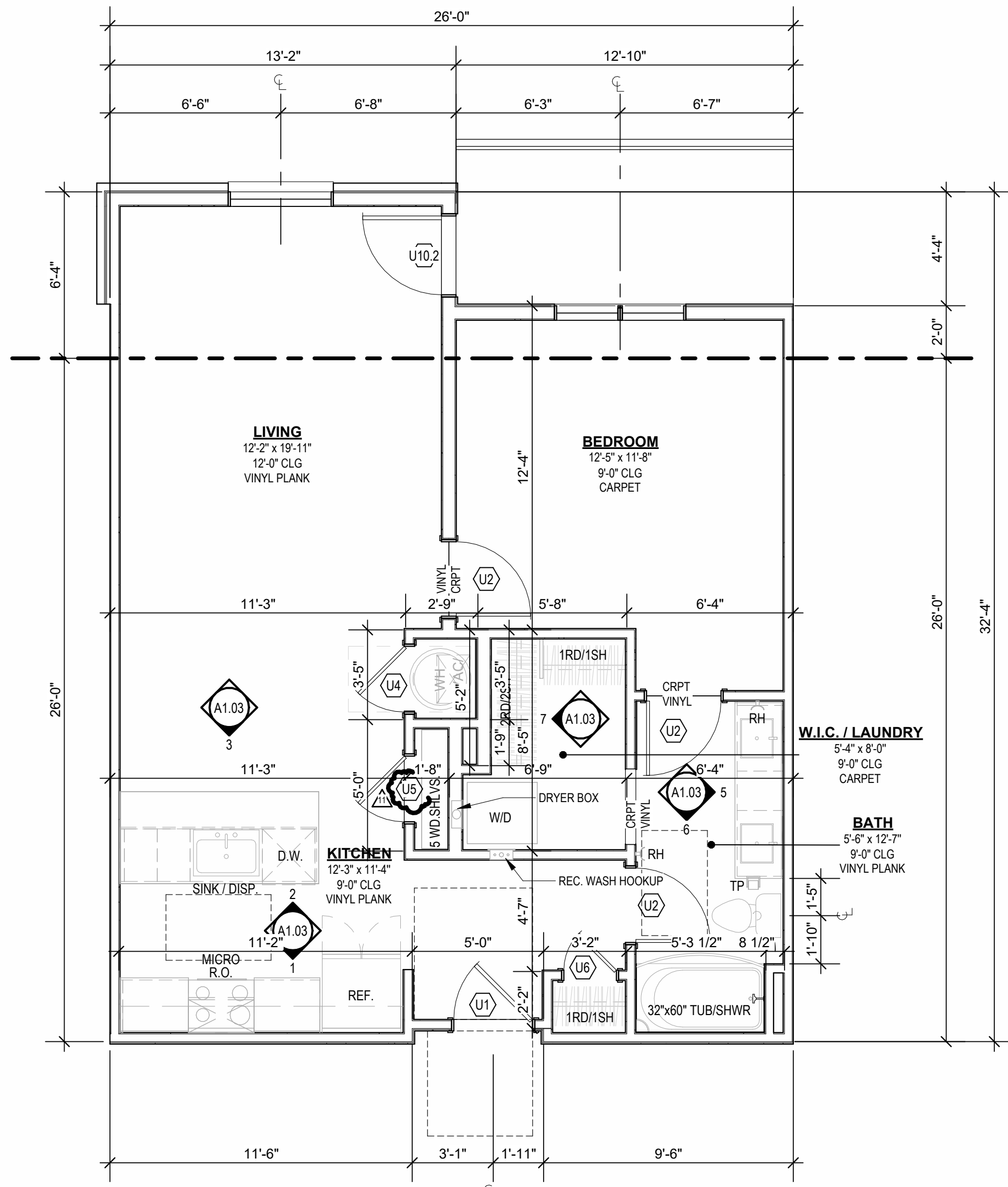
1. REFER TO ASSEMBLY SHEET SERIES A.30 FOR ASSEMBLY'S DIMENSION
2. GRIDS AND THICKNESS.
3. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
4. ACCESSIBILITY REQUIREMENTS.
5. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
6. ACCESSIBILITY REQUIREMENTS.
7. EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS
8. AND CONFIGURATIONS, CLOVINGS, WINDOWS/TRANSOMS, AND PATIO DOOR
9. LOCATIONS.
10. USE TEAR-AWAY DEAD, BACKER ROD, AND CAULK AT ALL DRYWALL
11. RETURNS AT FINISTRATION CONDITIONS.
12. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
13. ACCESSIBILITY REQUIREMENTS.
14. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
15. ACCESSIBILITY REQUIREMENTS.
16. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
17. ACCESSIBILITY REQUIREMENTS.
18. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
19. ACCESSIBILITY REQUIREMENTS.
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21. ACCESSIBILITY REQUIREMENTS.
22. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
23. ACCESSIBILITY REQUIREMENTS.
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25. ACCESSIBILITY REQUIREMENTS.
26. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
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100. FINISHES TO A01, A04, A01 AND A.40 FOR MOUNTING HEIGHTS AND
ACCESSIBILITY REQUIREMENTS.



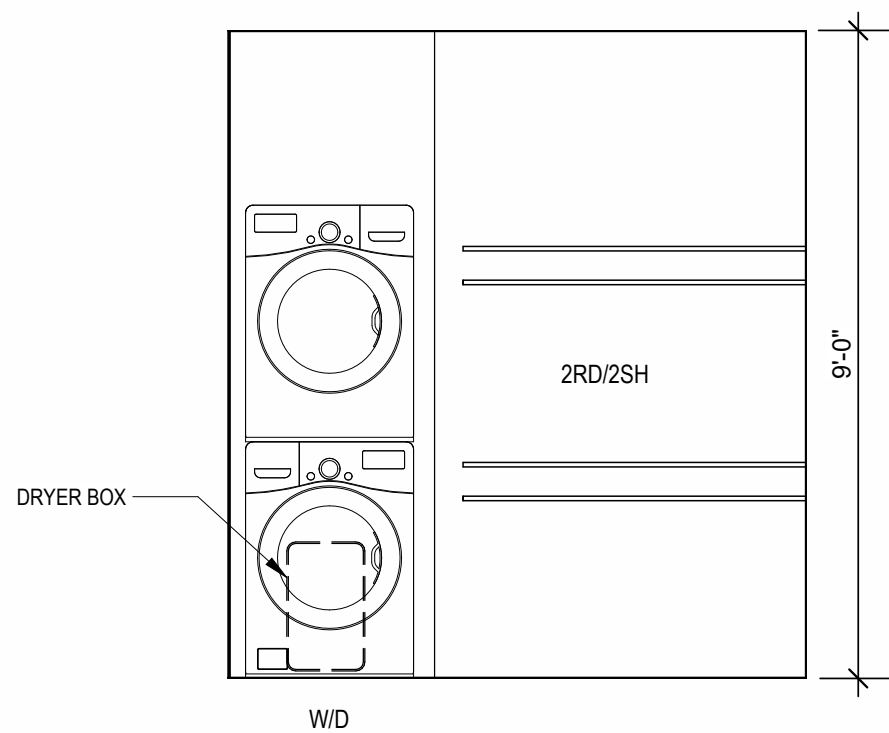
UNIT A3 ALT
1/4" = 1'-0"



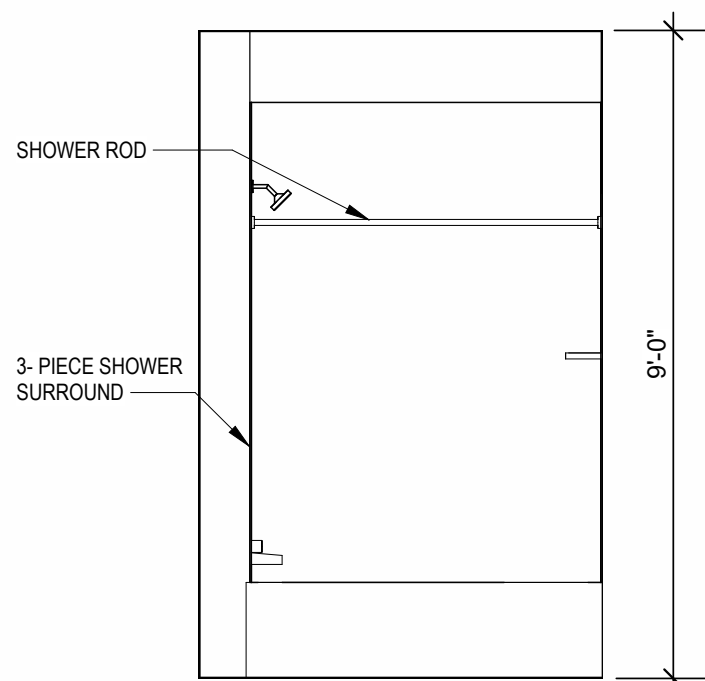
UNIT A3 - 4TH FLOOR RCP
1/4" = 1'-0"



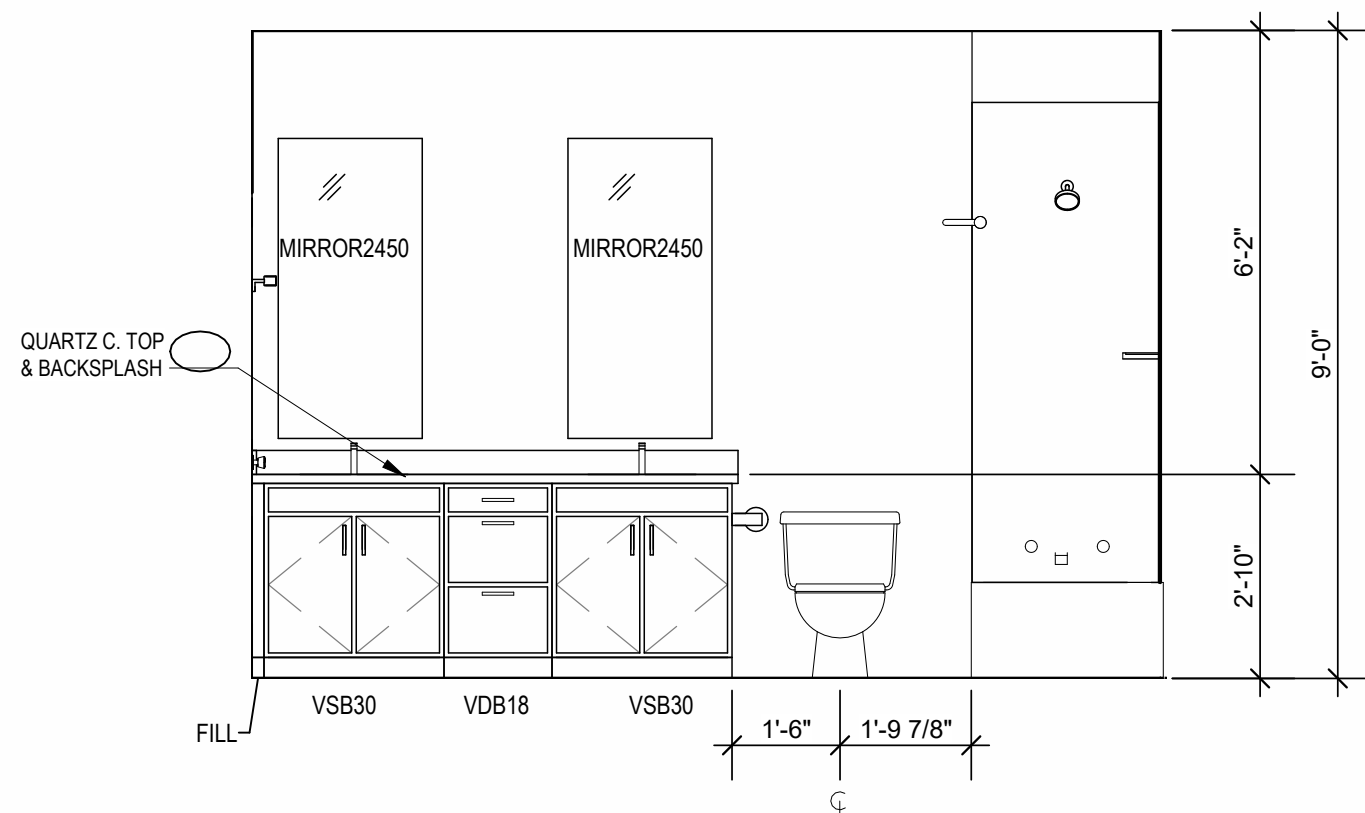
UNIT A3
1/4" = 1'-0"



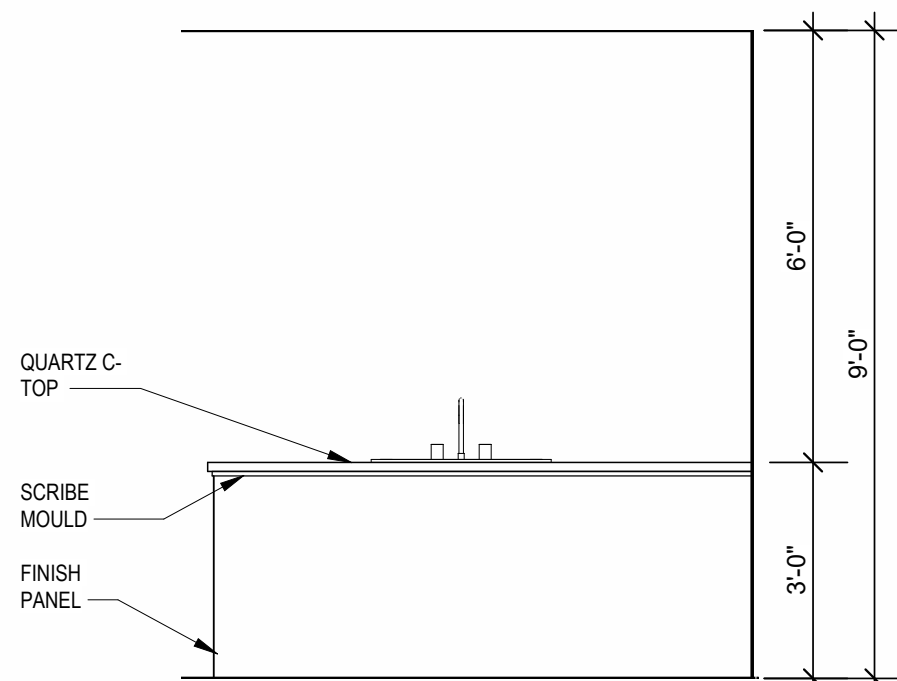
7 INTERIOR ELEVATION
W.I.C. / LAUNDRY
3/8" = 1'-0"



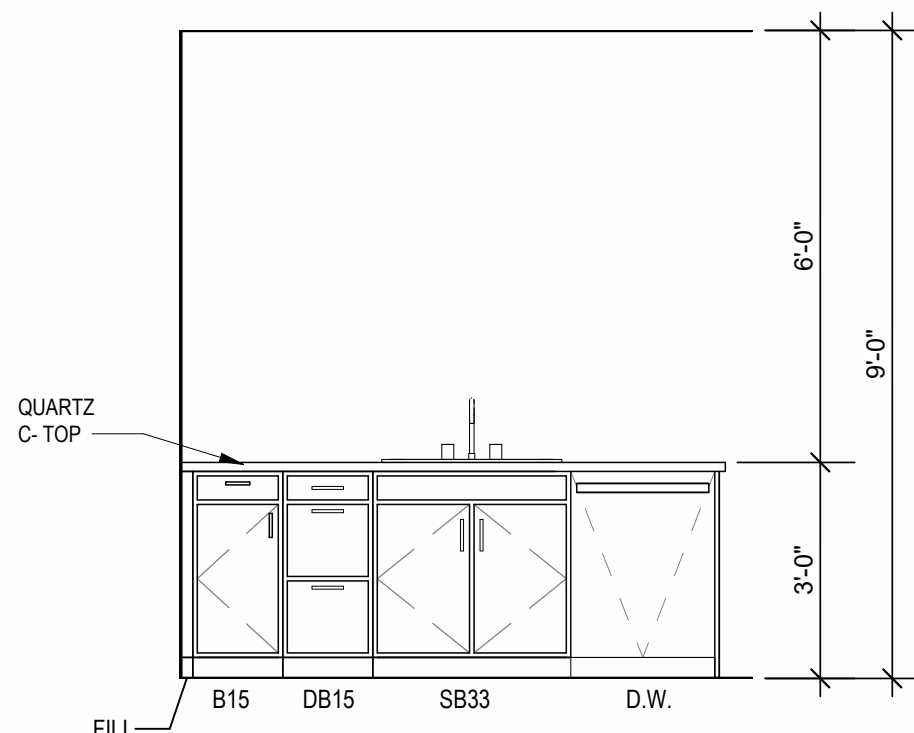
6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



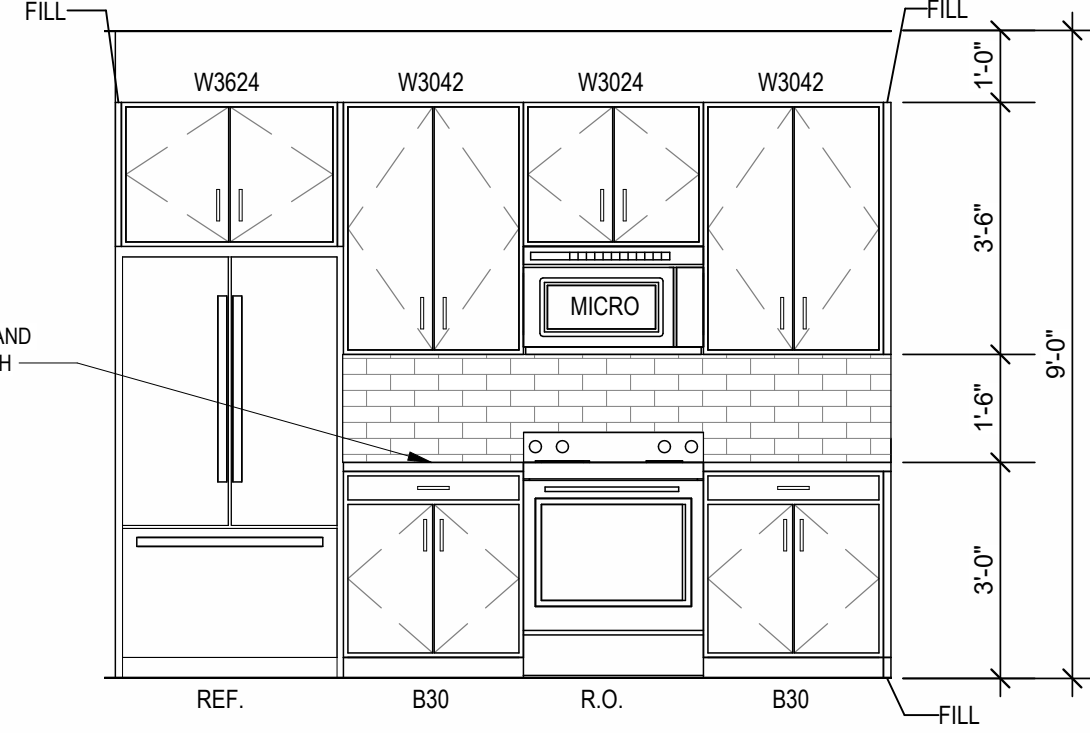
5 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



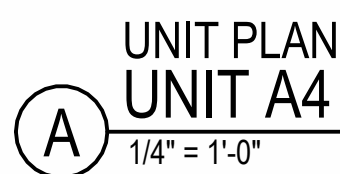
3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



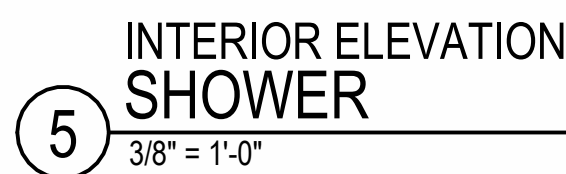
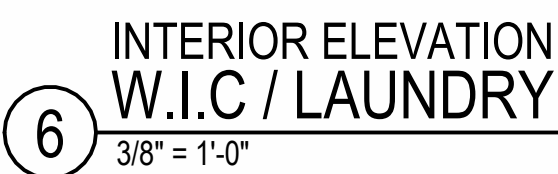
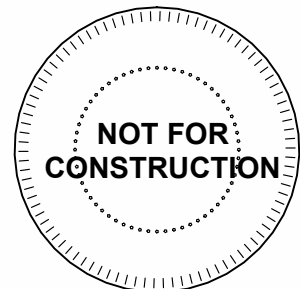
2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

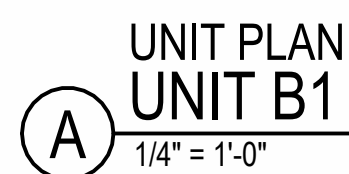


1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

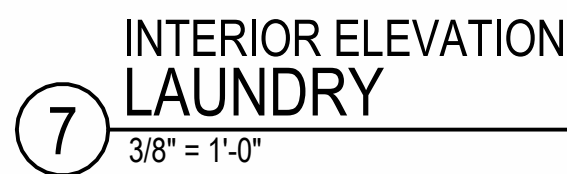
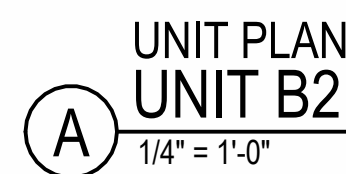


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- ## UNIT PLAN GENERAL NOTES:
- | | |
|-----|---|
| 1. | REFER TO ASSEMBLY SHEET SERIES A0 FOR PROVIDE ADJUSTABLE DIMENSION ORIONS AND THROUGHS. |
| 2. | REFER TO SHEETS A0, A0.1 AND A0.2 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. |
| 3. | REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL FINISHES, ARCHITECTURAL DETAILS, FINISHES INCLUDING BASELINE LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOW/STATIONS, AND PATIO DOOR INFORMATION. |
| 4. | USE HANDWAY DECK, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS. |
| 5. | ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM THE FINISH FACE. |
| 6. | PROVIDE BLOOMING FOR ALL V.L. LOCATIONS, "HANG" HANG TRIMMS ARE TO BE USED BARS, AND ALL V.L. LOCATIONS TO BE USED BARS. |
| 7. | LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 12" LOWER THAN DOORWAY THRESHOLD. |
| 8. | ALL ELECTRICAL CABLES AND TELEPHONE POWER PER NEC SECTION 240K, SEE PLANS FOR LOCATIONS. |
| 9. | PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EQUIPMENT FLUSHED INTO THE BUILDING THROUGH THE POWER SYSTEM PER NEC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. |
| 10. | ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH. |
| 11. | UNIT DEMISING WALLS AND FLOORING ASSEMBLIES SEPARATING DOWELLING UNITS SHALL MEET OR EXCEED 5.0 C.T.C. PER NBC SECTION 1202. |
| 12. | WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED WALL, EXTEND OPPOSITE SIDE BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. |
| 13. | VERIFY ALL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. |
| 14. | MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINE. |
| 15. | WATER LINES IN EXTERIOR WALLS WHERE NOT PROVIDED, INSTALL FLOOR INSULATION BETWEEN WATER LINES & SHEATHING. |
| 16. | PROVIDE A DRAINAGE SYSTEM FOR ALL WATERWAYS ON THE FIRST DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE ALL WINDOWS TO RECEIVE SINK STUOL WITH 1X3 APPROX. & DRYWALL. |
| 17. | ALL JAMBS ARE TO BE FINISHED. |
| 18. | DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. |
| 19. | ELECTRICITY CABINETS SHALL BE DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. |
| 20. | ALL FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. |
| 21. | DOORS FROM HALLWAYS TO KITCHENS SHALL BE MATCHED INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUPPLY AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN AVAILABLE FINISH CANNOT BE OBTAINED. |
| 22. | ALL PLUMBING PENETRATIONS TO RECEIVE ESOTCHOTEN TRIM RINGS TO MATCH ADJACENT FINISH. |
| 23. | STAINLESS STEEL SINK INFORMATION SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.O. N. |

A NEW RESIDENTIAL COMMUNITY AT:

TRILOGY

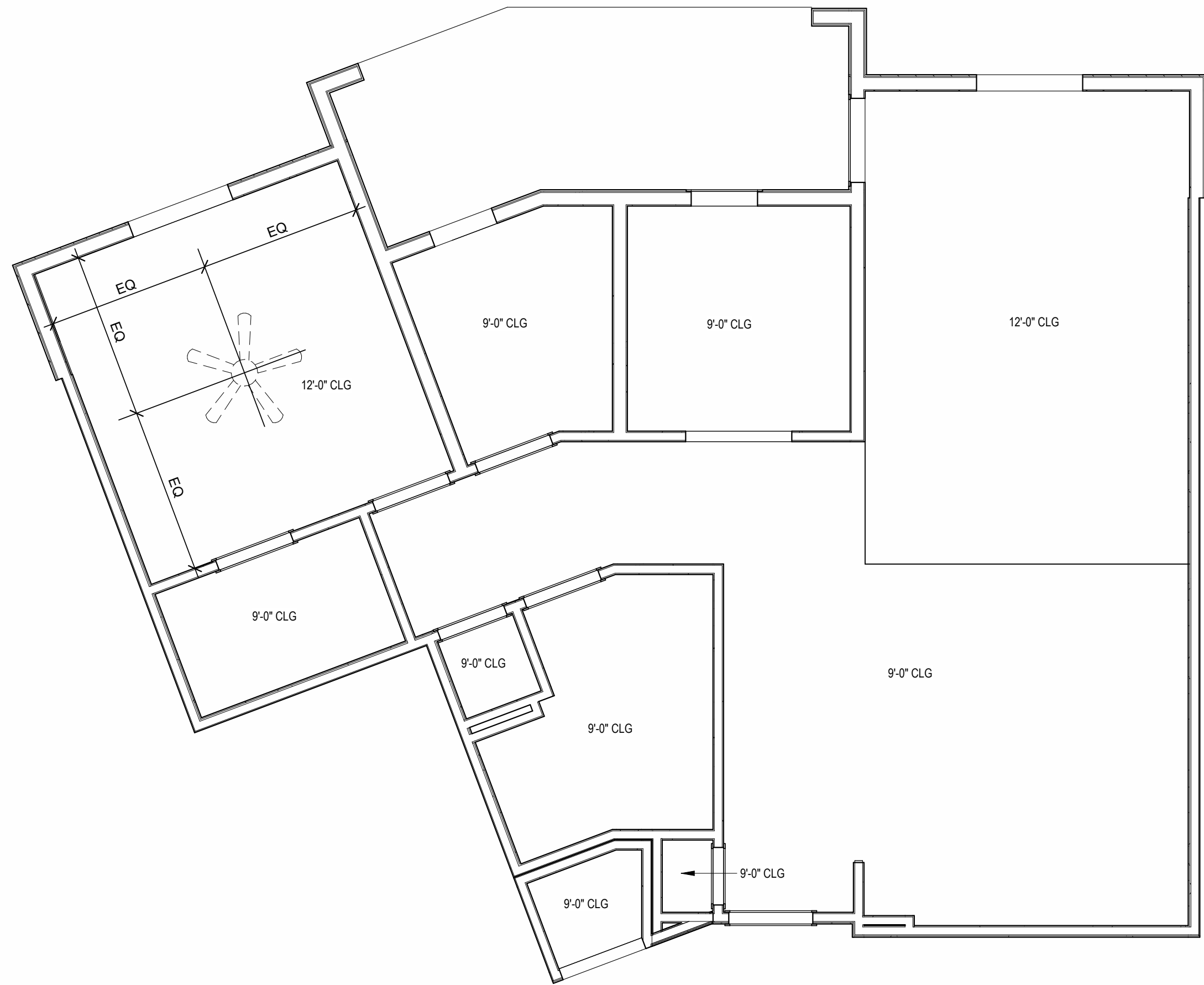
DRAWING RELEASE LOG
● 03.15.2023 - PERMIT SUBMITTAL

Δ REVISIONS
7 23 06XX ASI 3

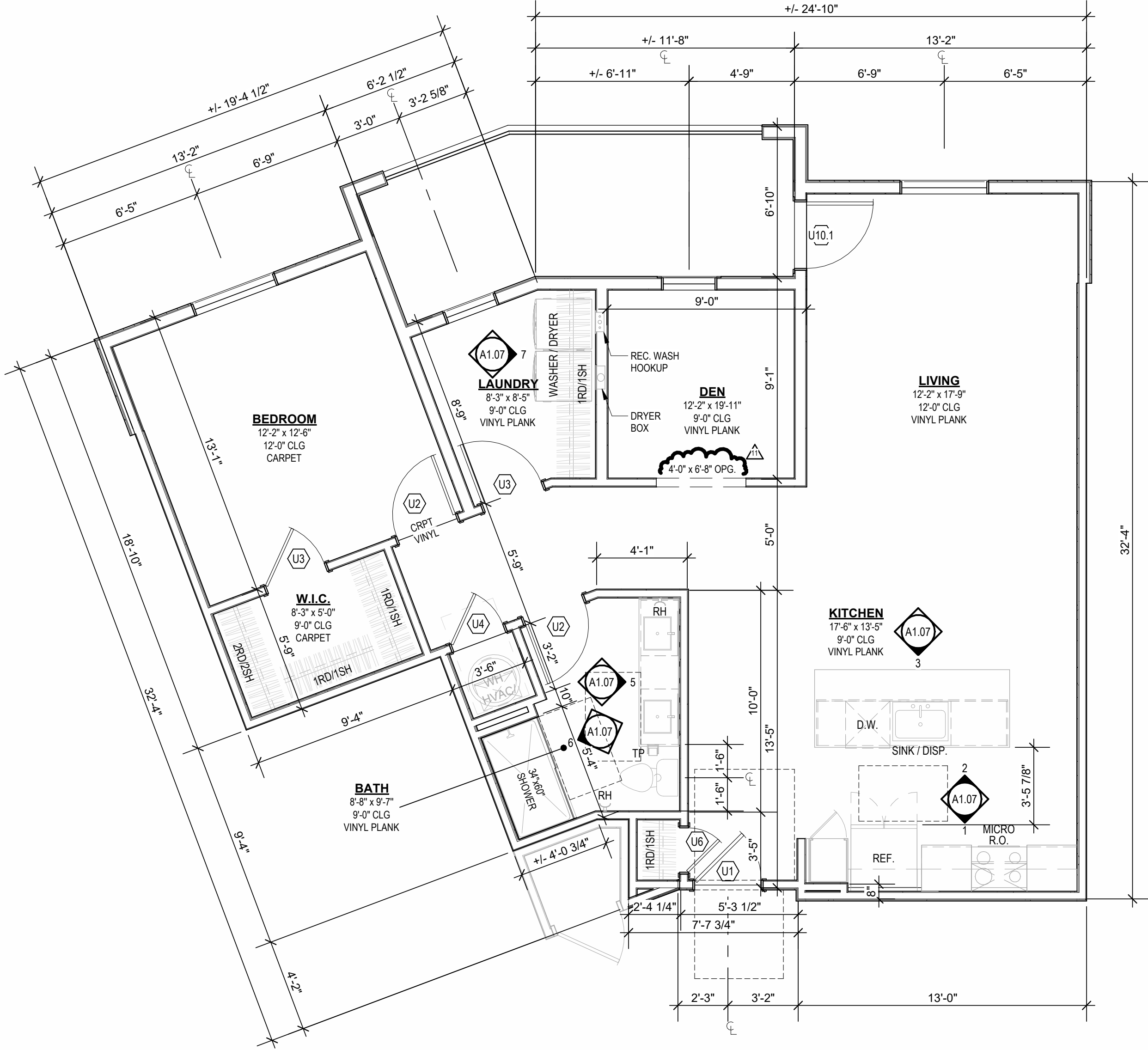
JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**
6/9/2023
ASI #1
SHEET NAME
UNIT B2 PLANS

SHEET NO

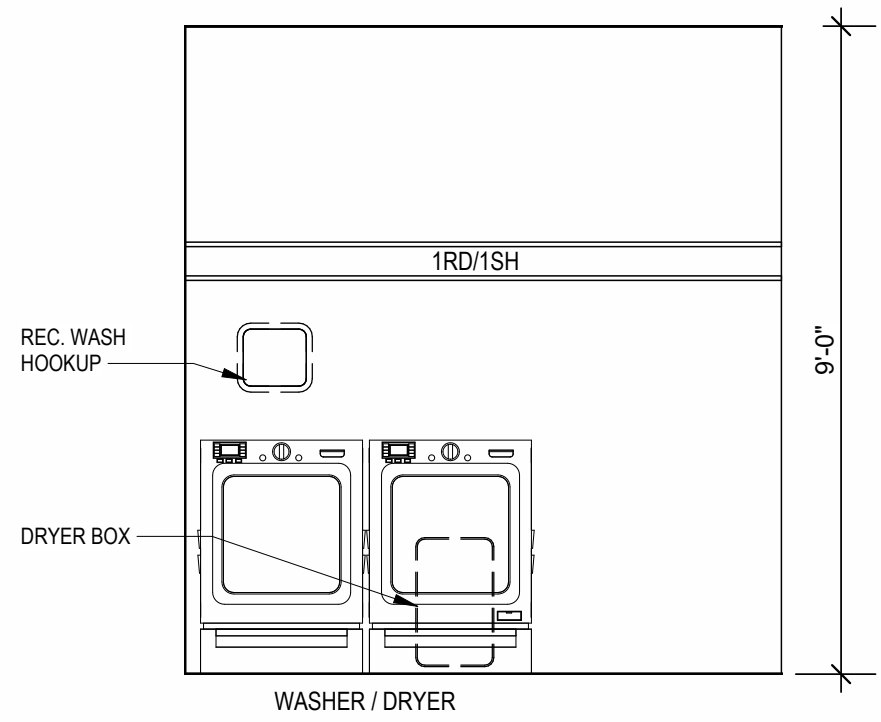
A1.06



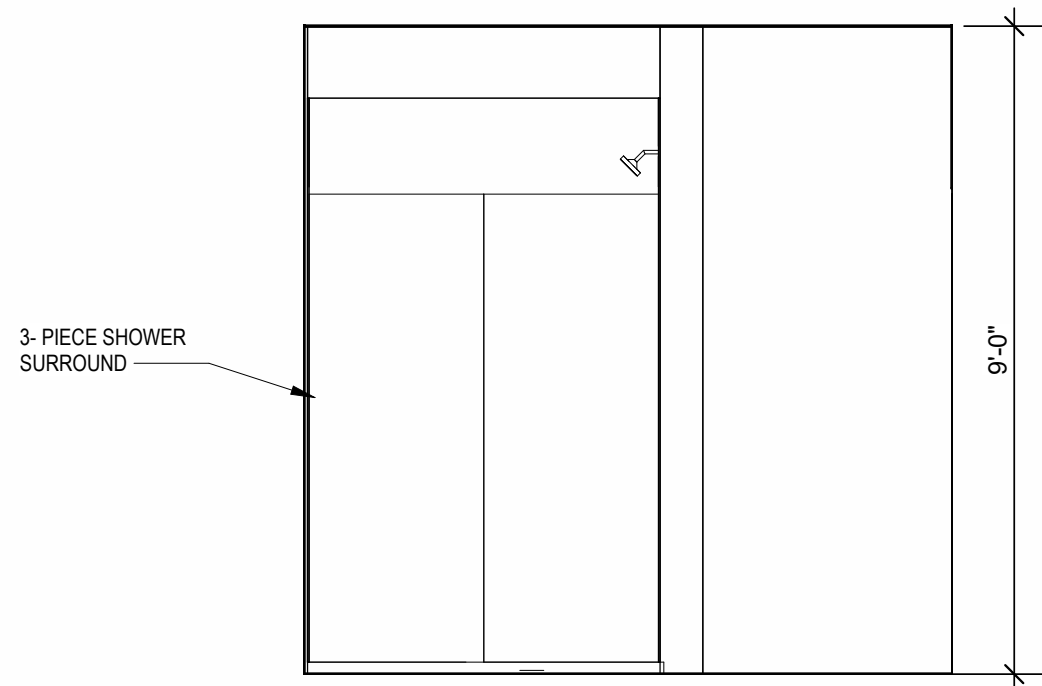
B UNIT B3 - 4TH FLOOR RCP
1/4" = 1'-0"



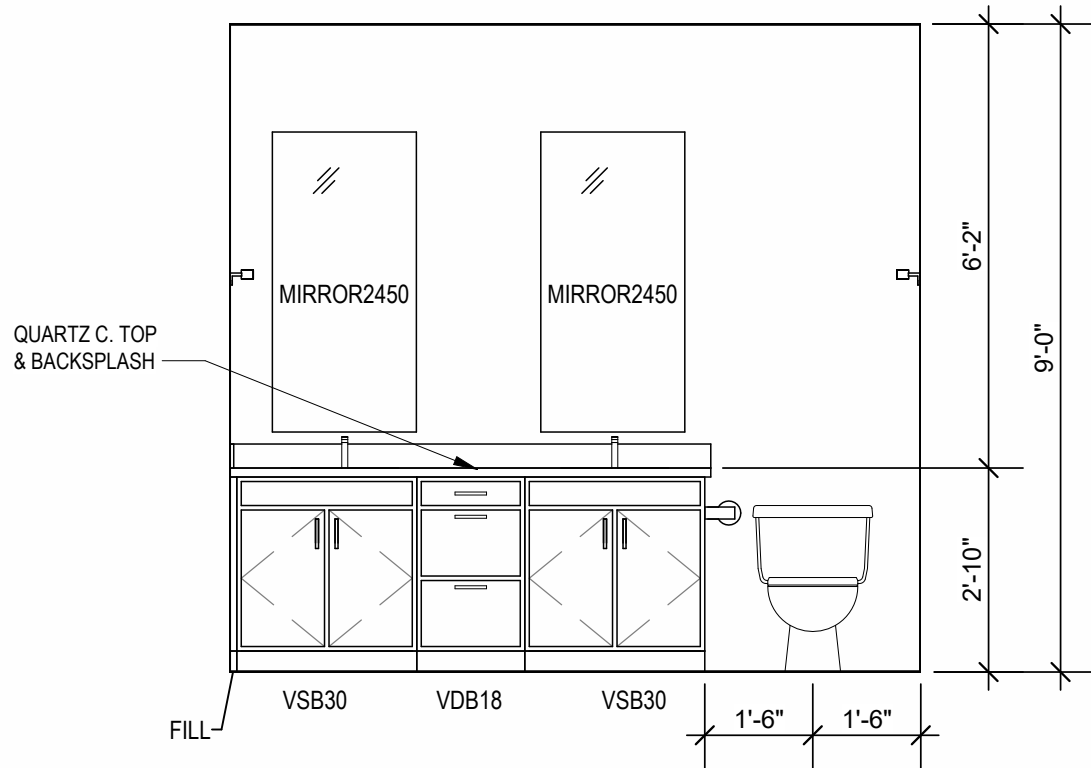
A UNIT B3
1/4" = 1'-0"



7 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"

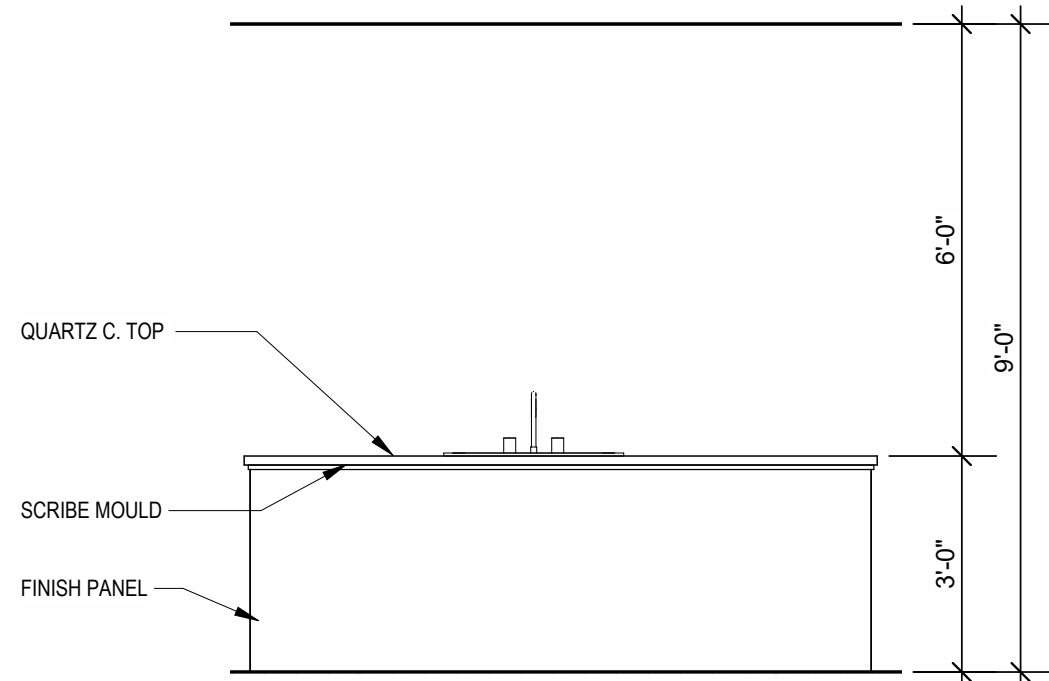


6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

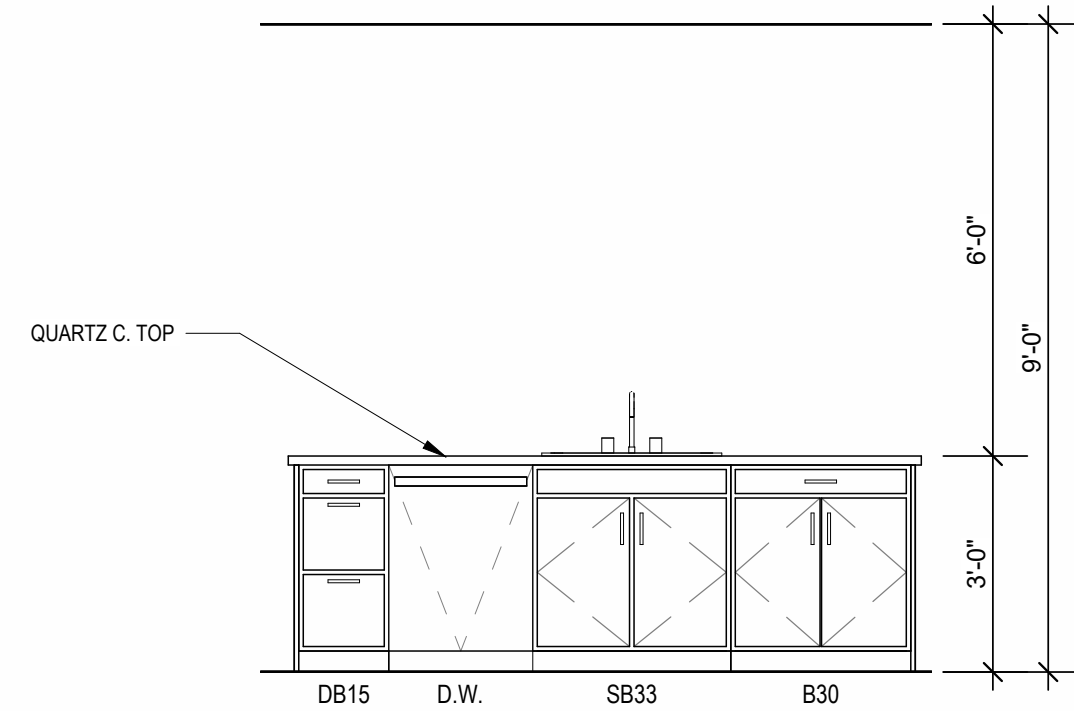


5 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

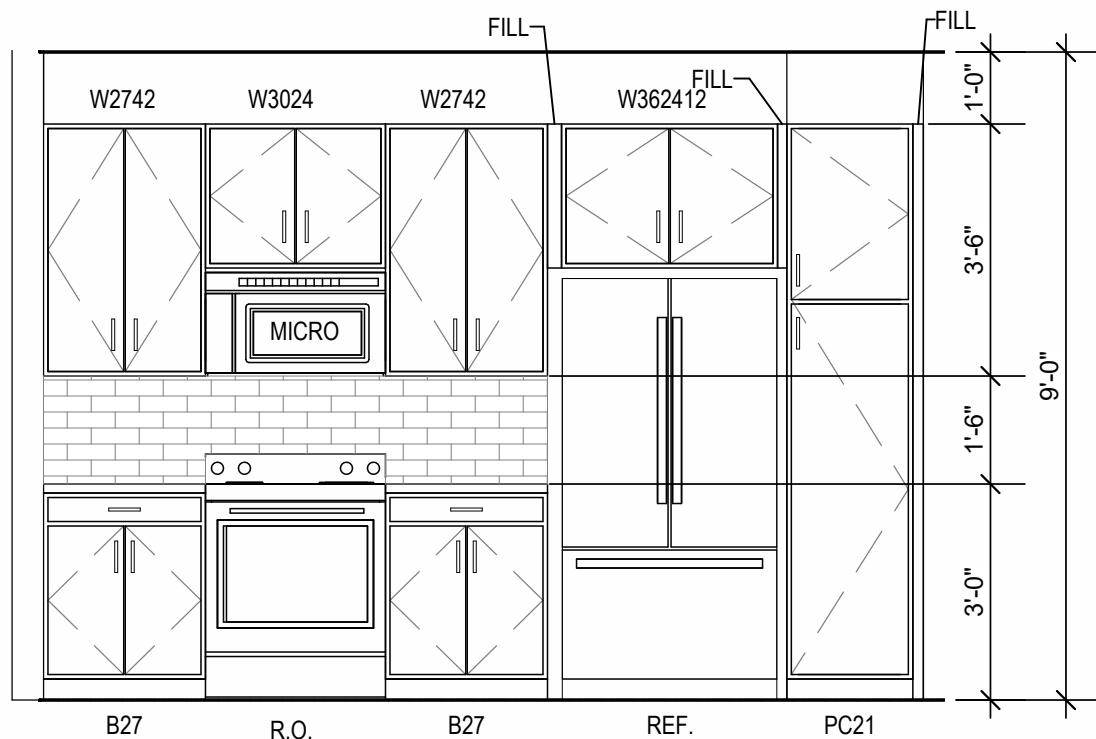
NOT USED



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
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 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FEATURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 3/4" STUOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 - FIRE EXTINGUISHER (RE. SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

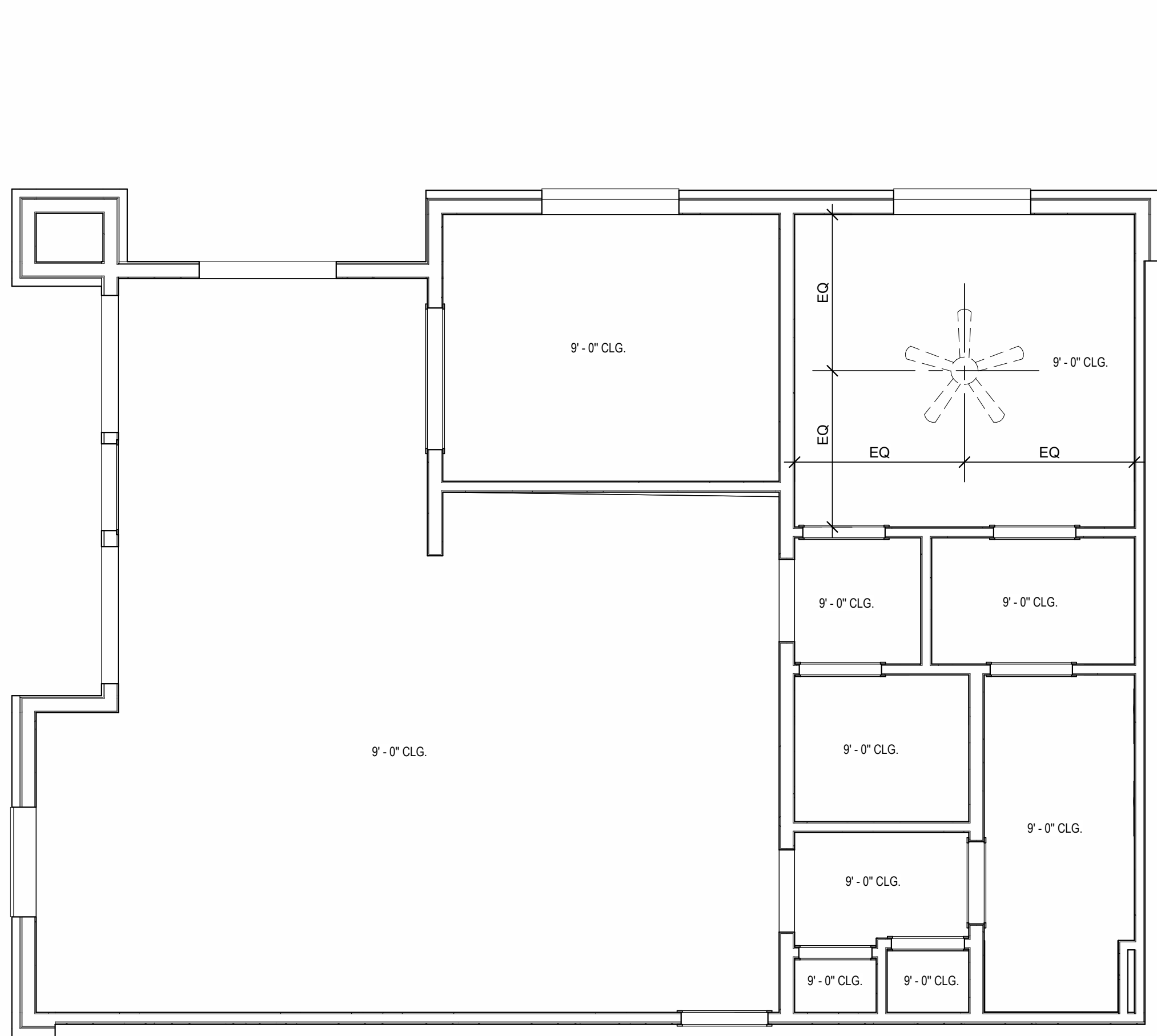
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7 23.07.24 AS 3
11 23.11.03 AS 7

JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**
9/15/2023
SHEET NAME **UNIT B3 PLANS**

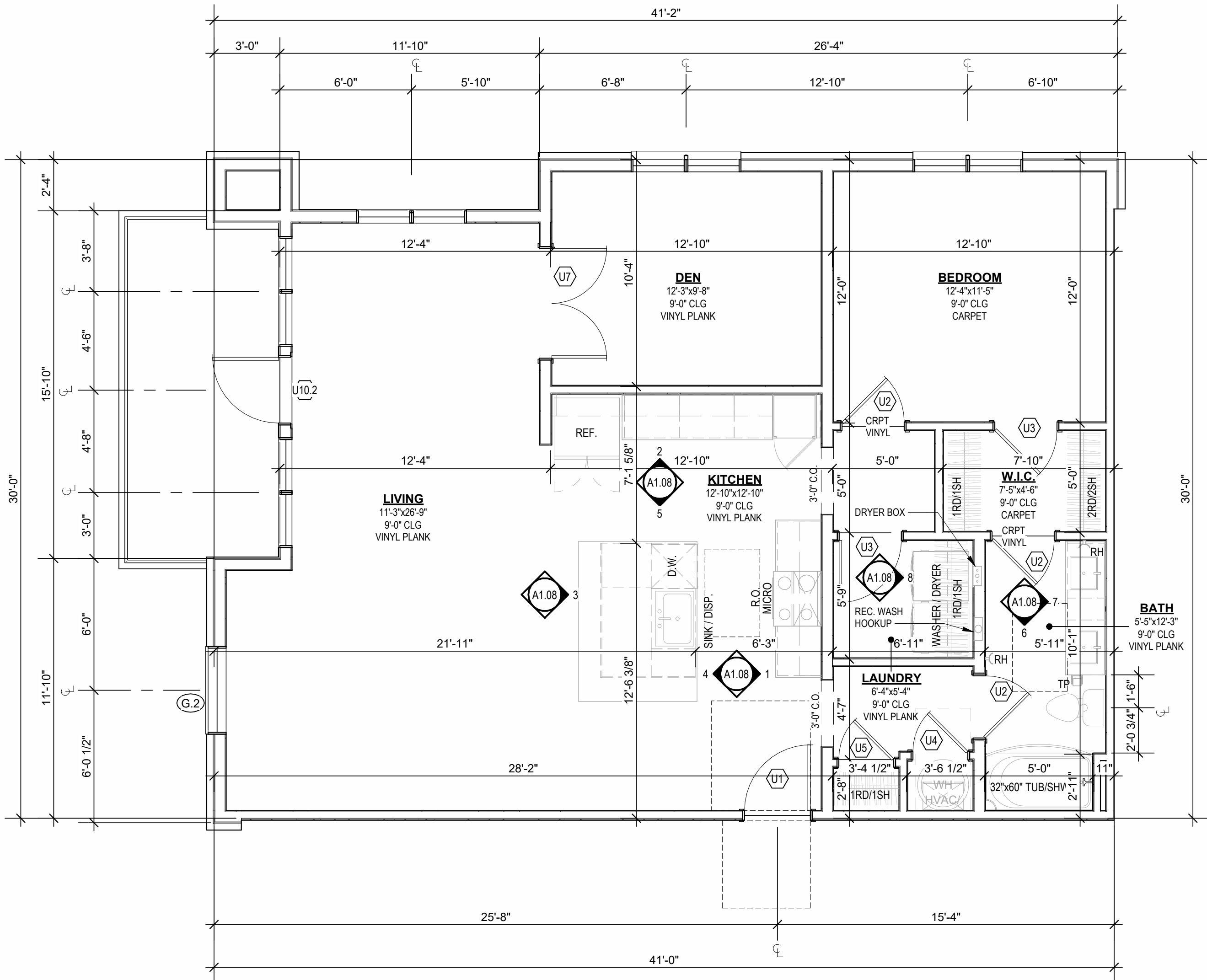
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A1.07

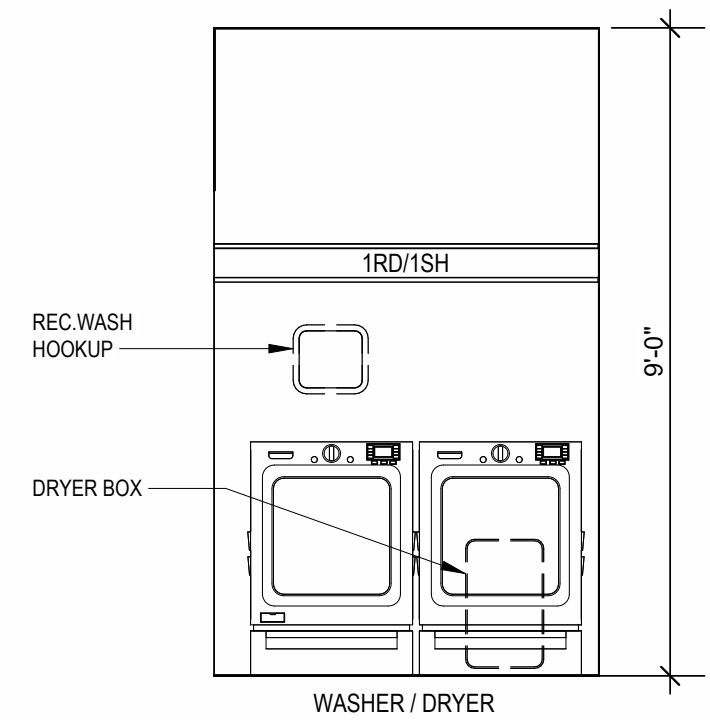
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LADENGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 64X STUOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBES & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
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 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



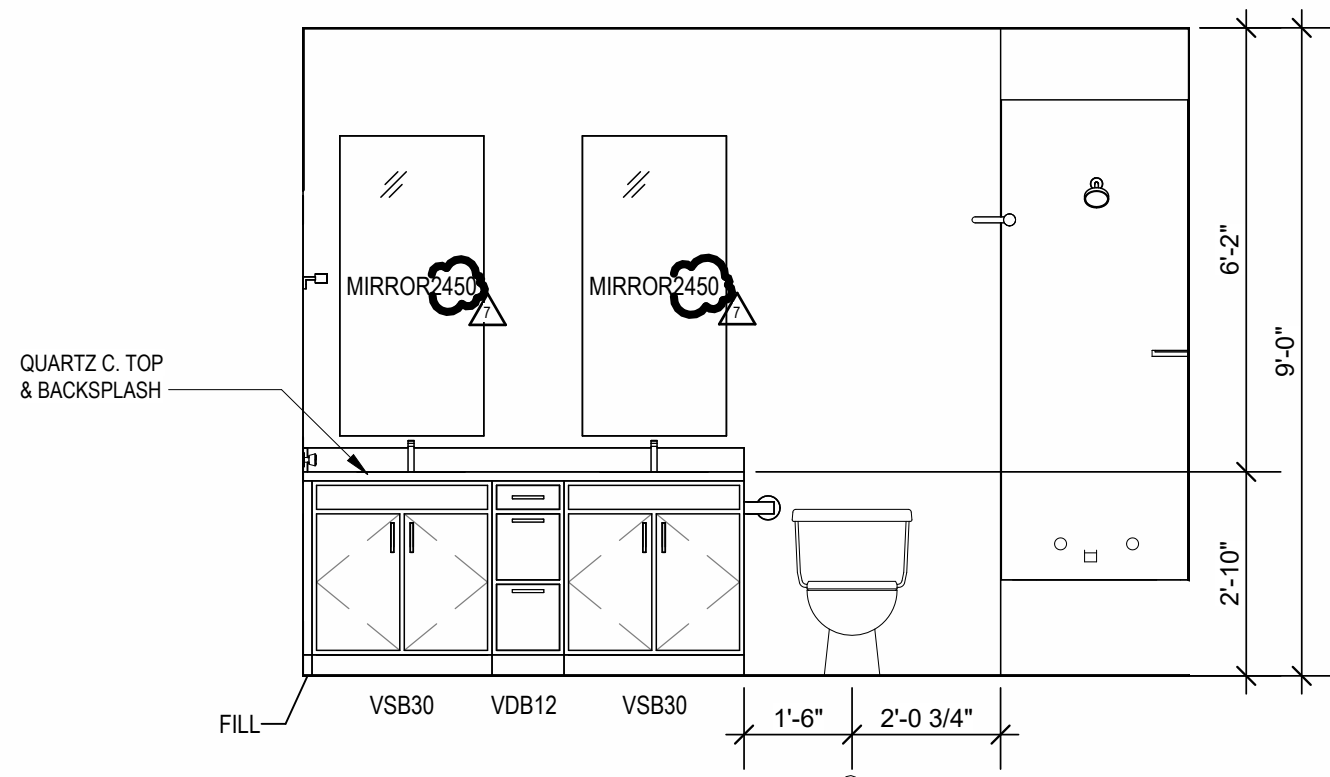
B UNIT B4 - RCP
1/4" = 1'-0"



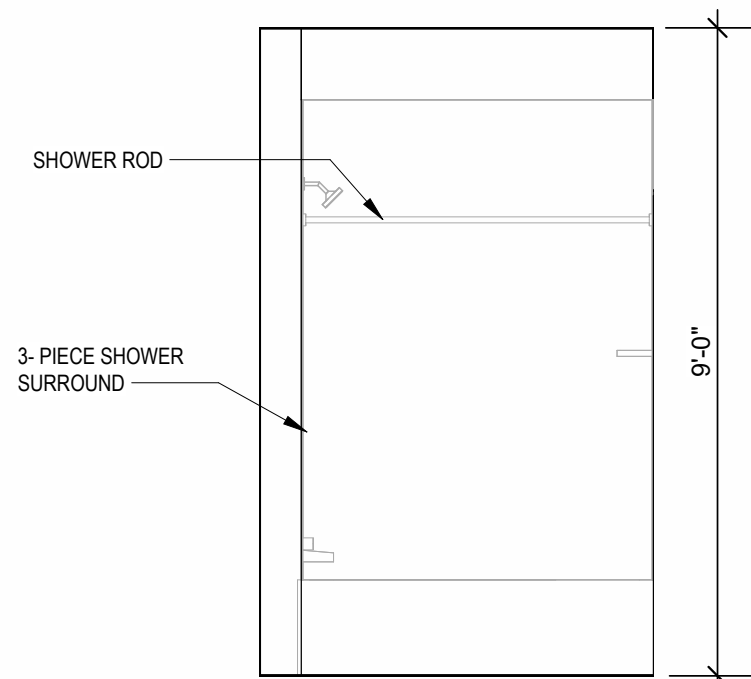
A UNIT B4 PLAN
1/4" = 1'-0"



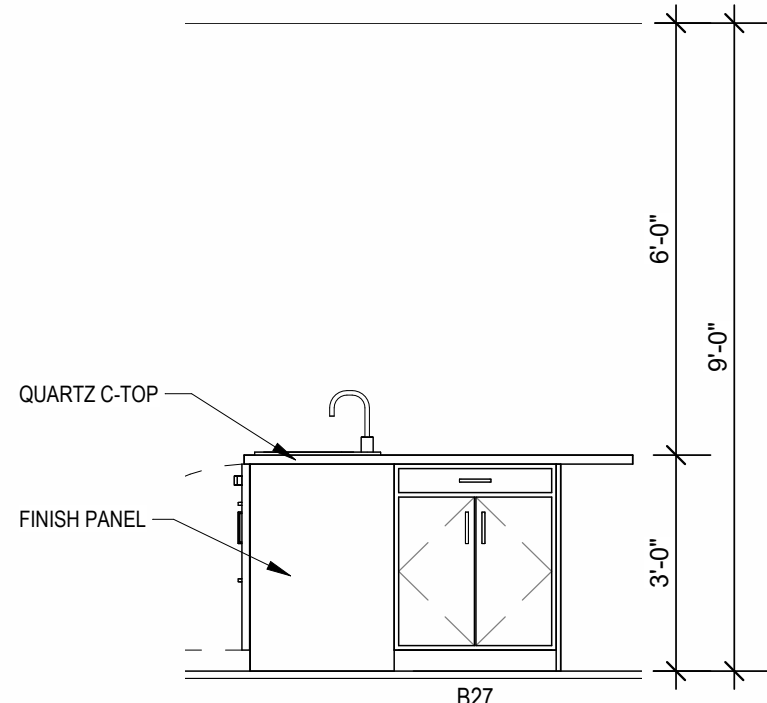
8 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



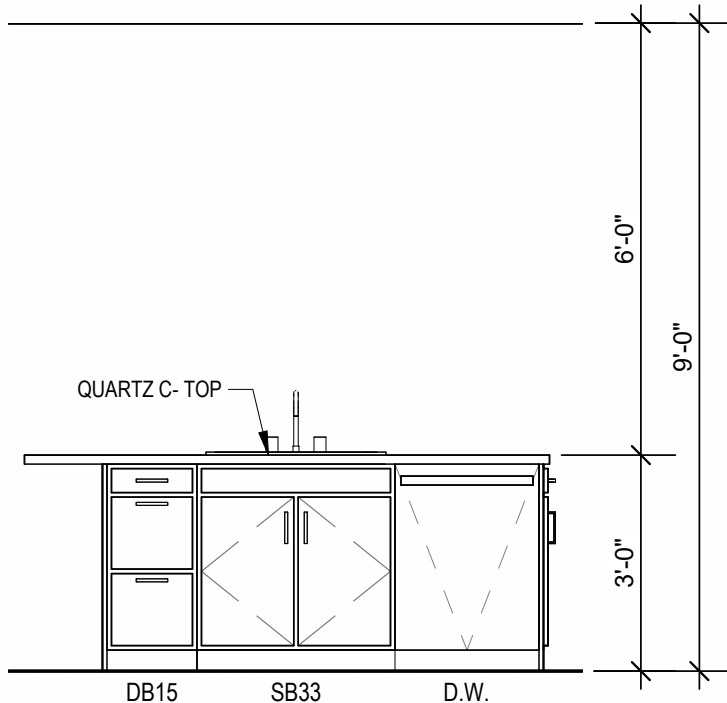
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



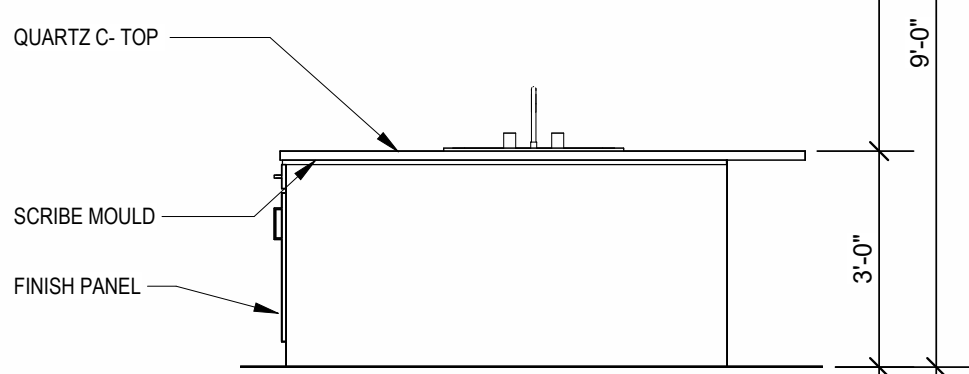
6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



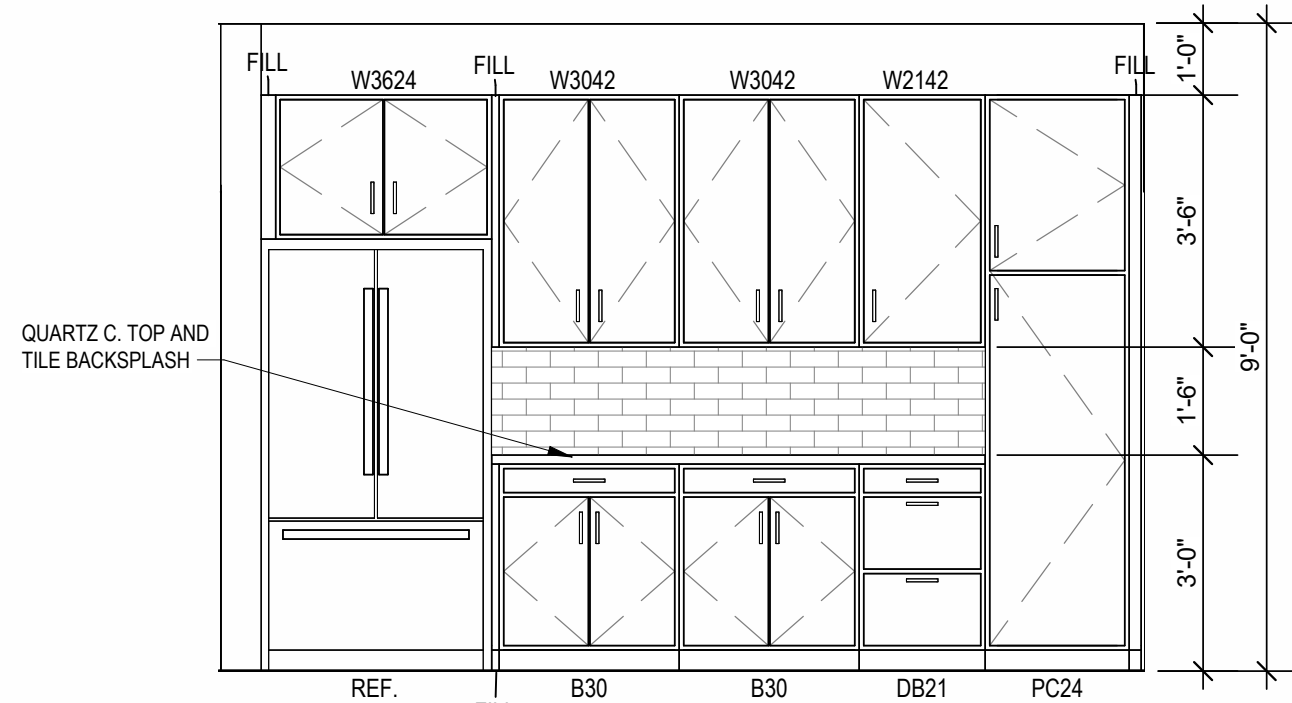
5 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



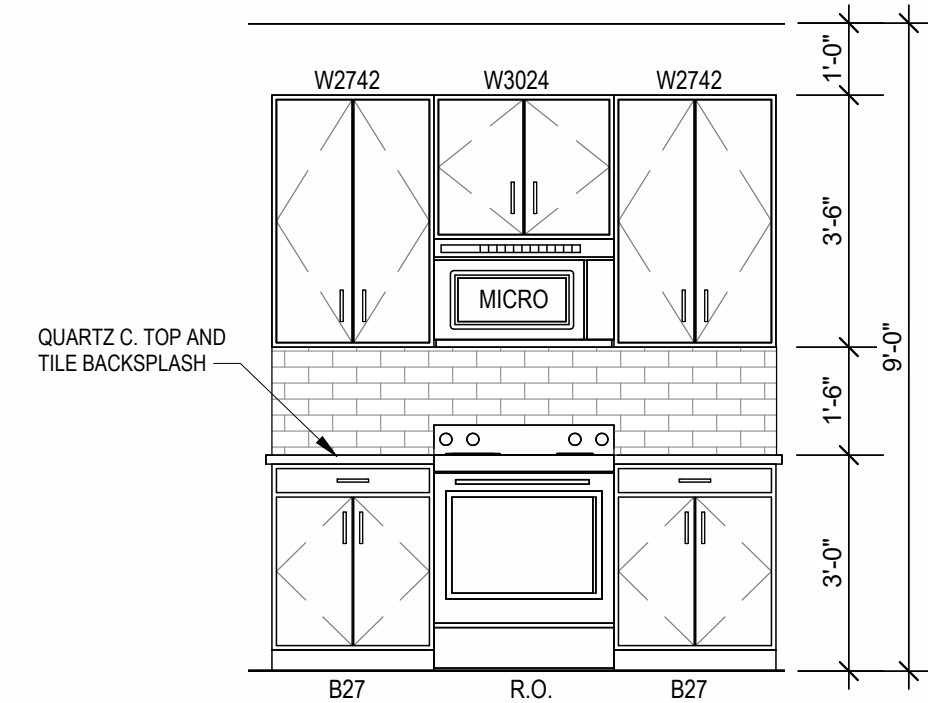
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

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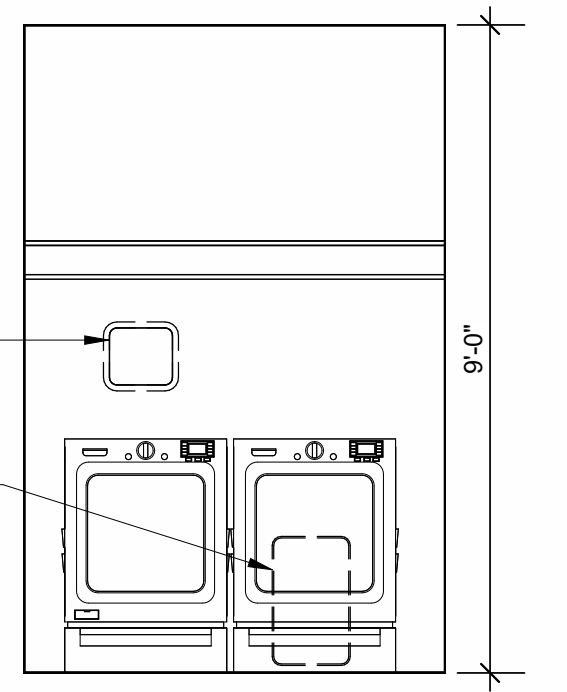
REVISIONS
7 23.06X AS 3

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME UNIT B4 PLANS
SHEET NO.

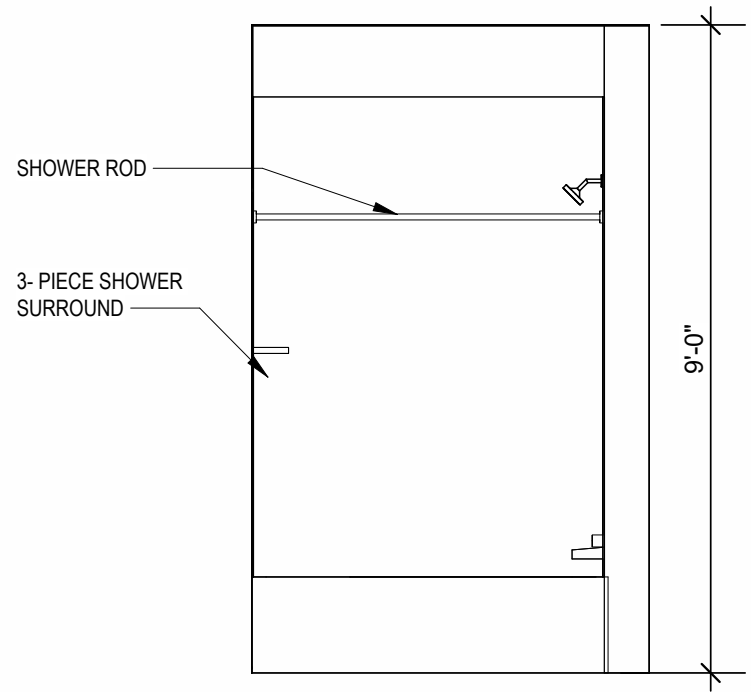
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800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

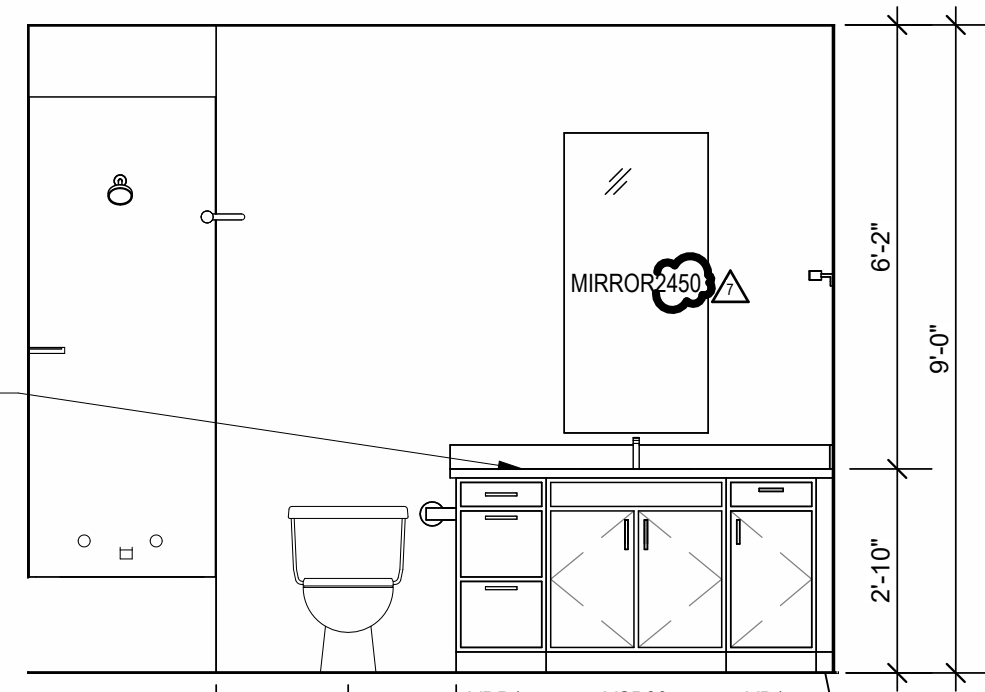
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNING AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVEING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2006. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - N-SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 54X STOOD WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
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 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCLITCHED TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK CASE CABINET UNDER KITCHEN SINK U/I N.C.



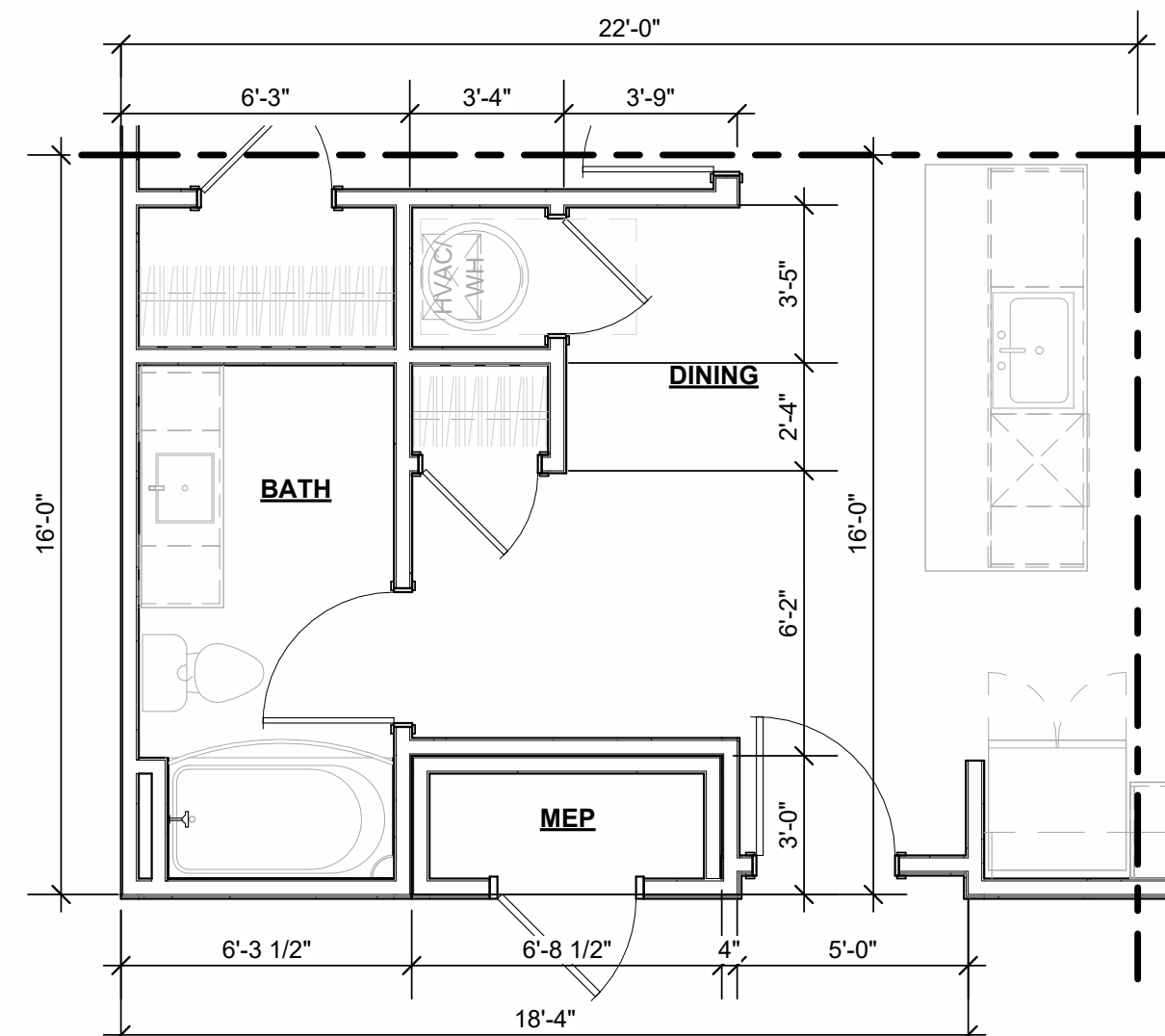
9
INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



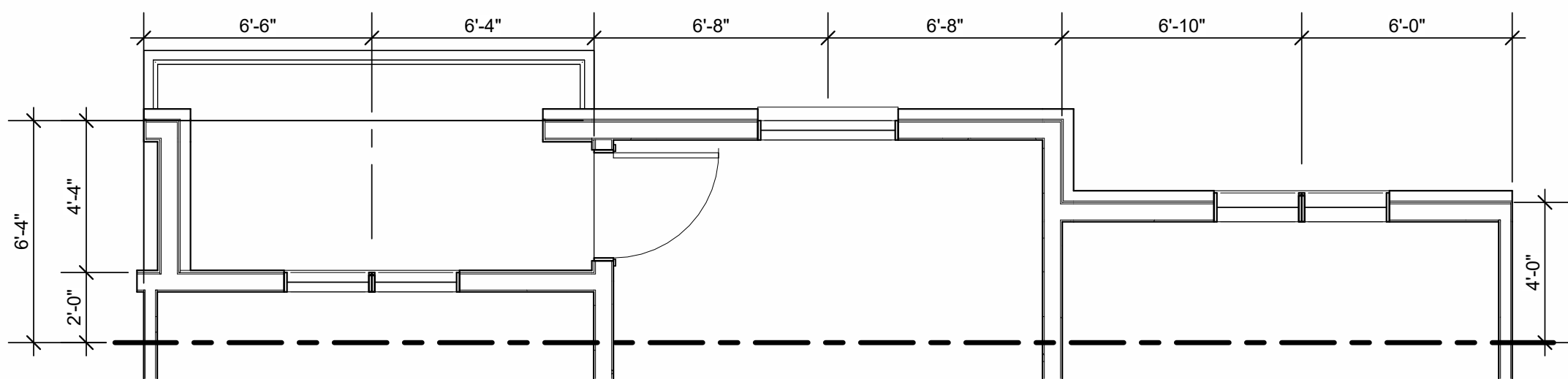
8
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



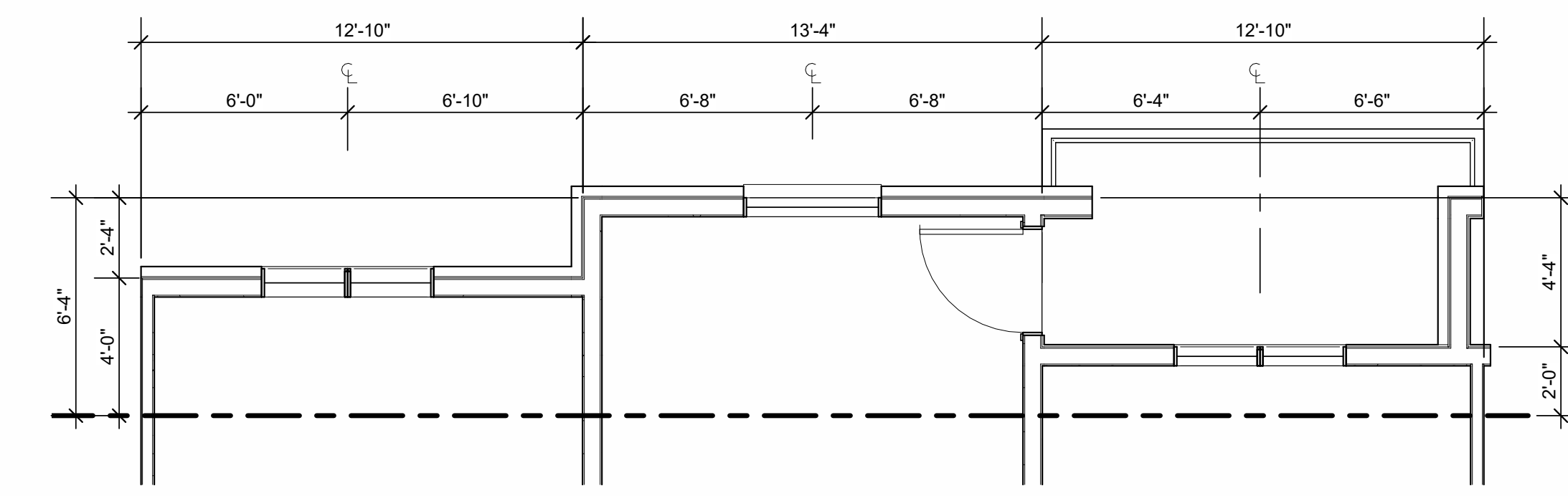
7
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



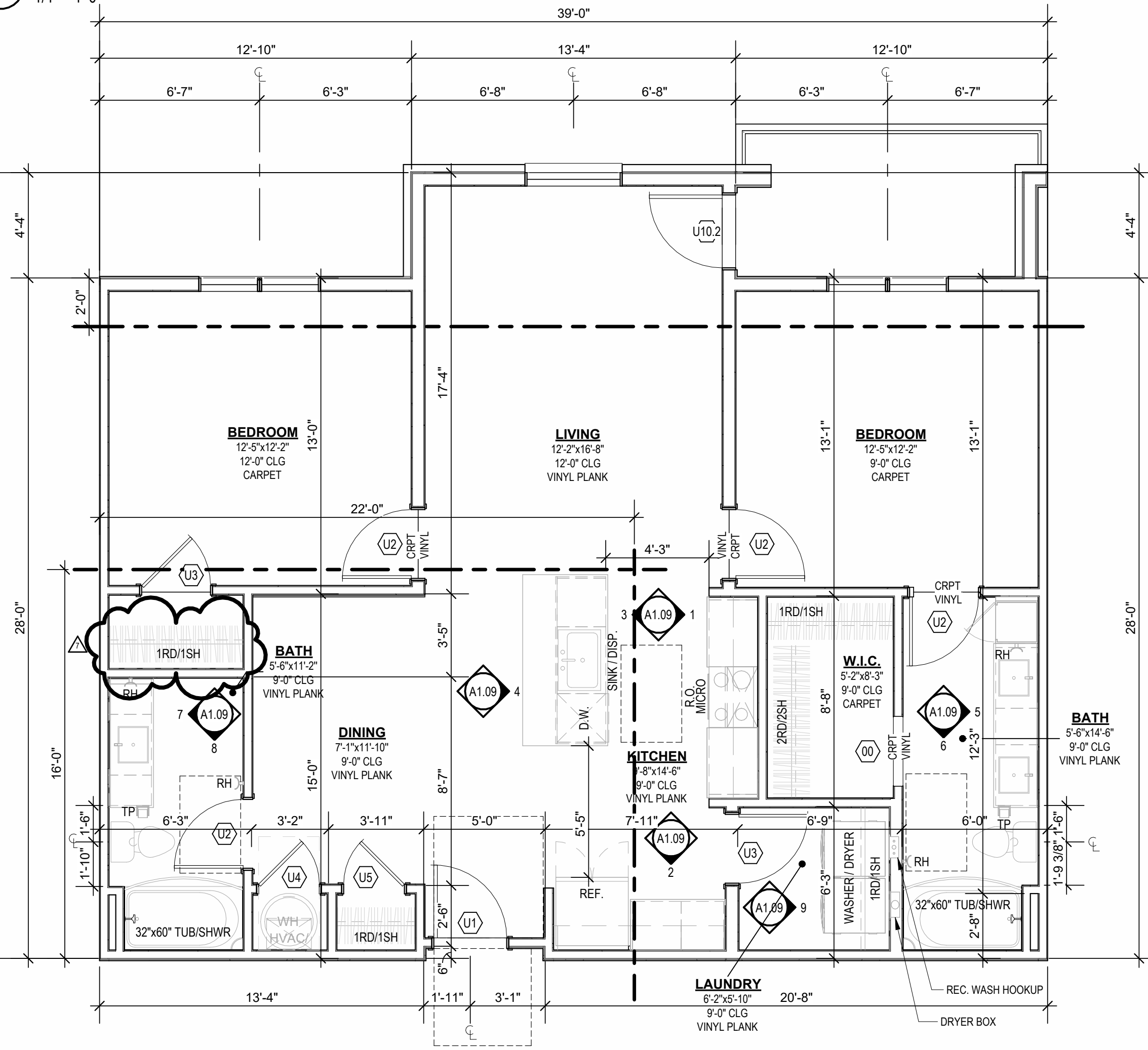
D
UNIT C1 ALT 2
1/4" = 1'-0"
OCCURS AT UNITS:
BUILDING 1 - 349 & 449
BUILDING 2 - 343 & 443



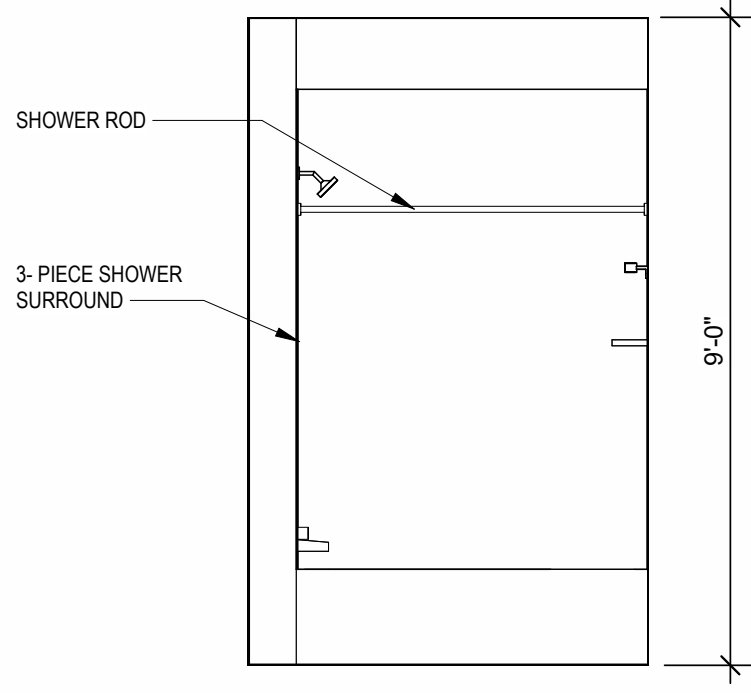
10
UNIT PLAN
UNIT C1 ALT 3
1/4" = 1'-0"



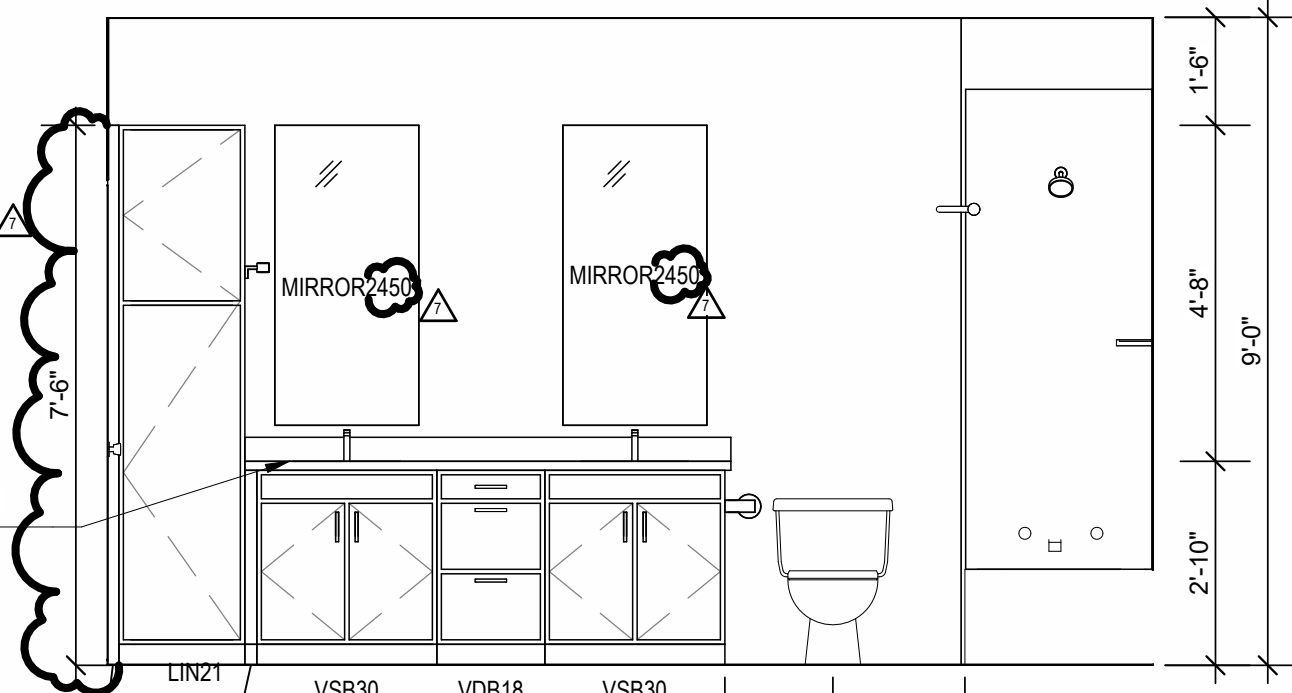
C
UNIT PLAN
UNIT C1 ALT
1/4" = 1'-0"



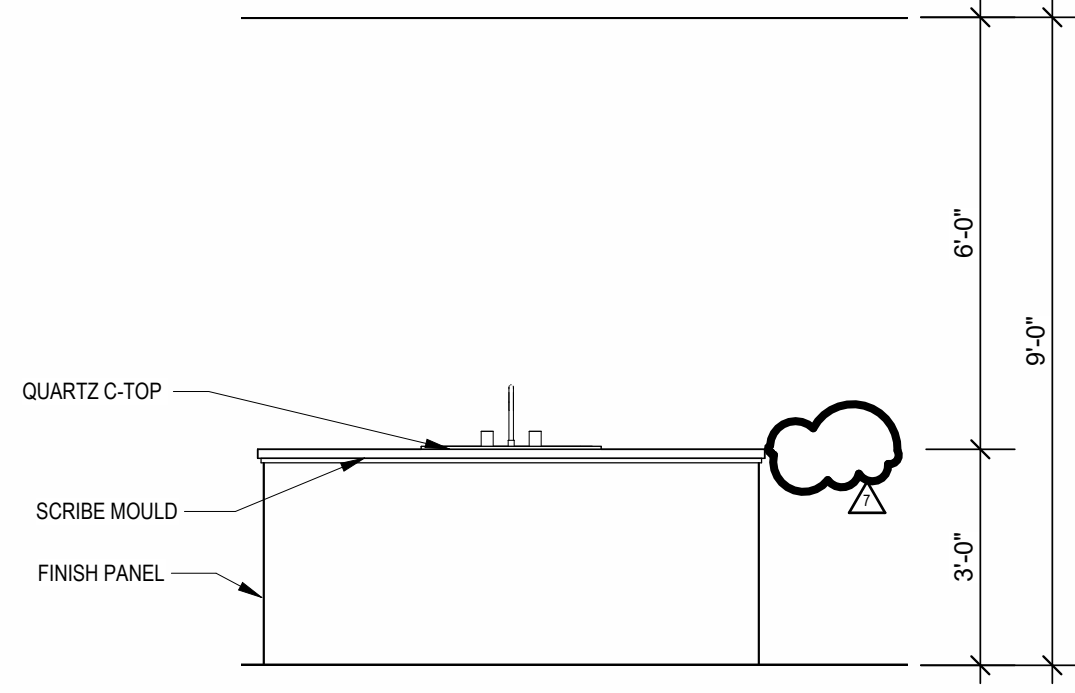
A
UNIT PLAN
UNIT C1
1/4" = 1'-0"



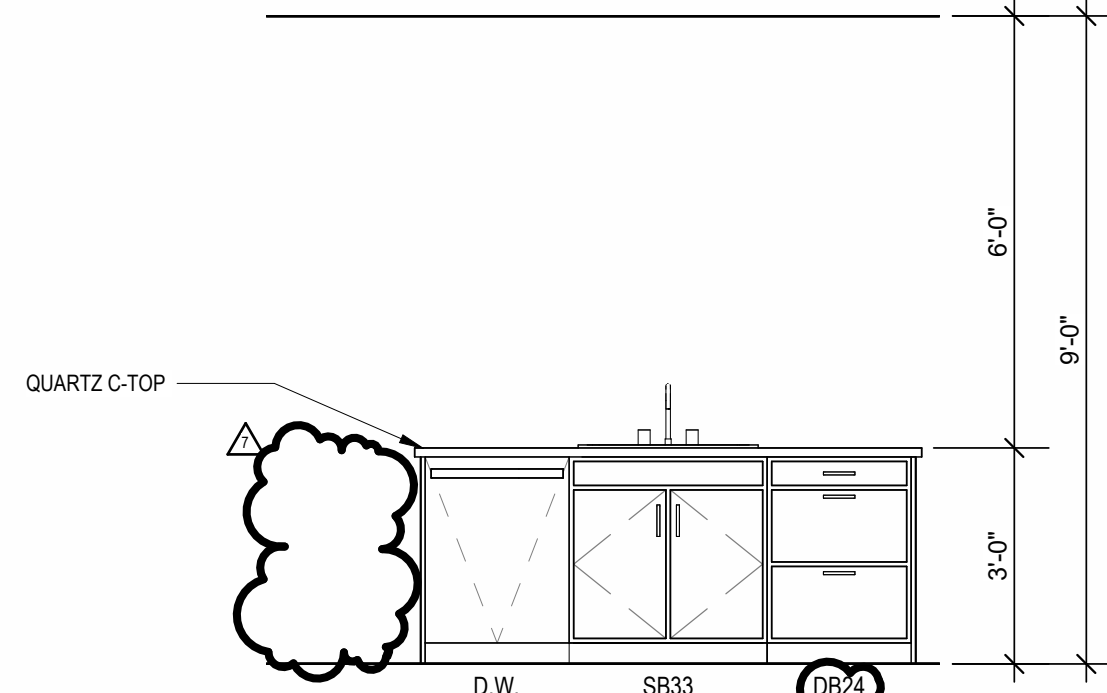
6
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



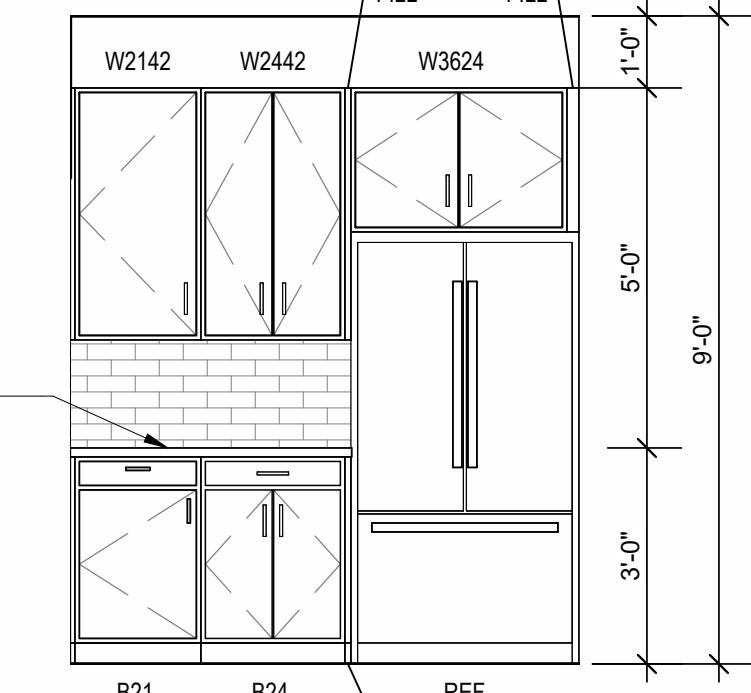
5
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



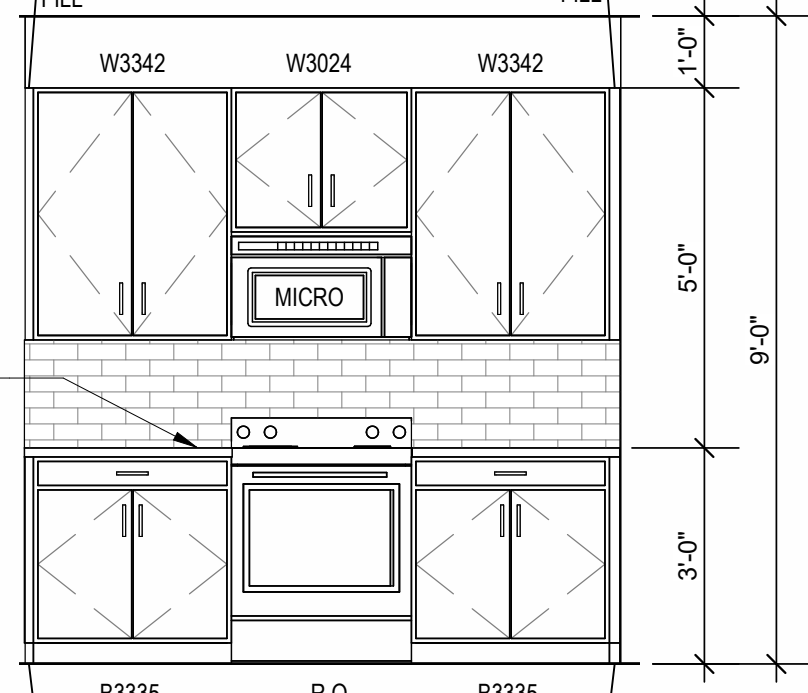
4
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



B
REFLECTED CEILING PLAN
UNIT C1 - 4TH FLOOR RCP
1/4" = 1'-0"

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REVISIONS

1 23.0411 CITY COMMENTS 1

7 23.0803 AS1 3

JOB NO.
705921

DRAWN BY
TSC/SIW

6/9/2023

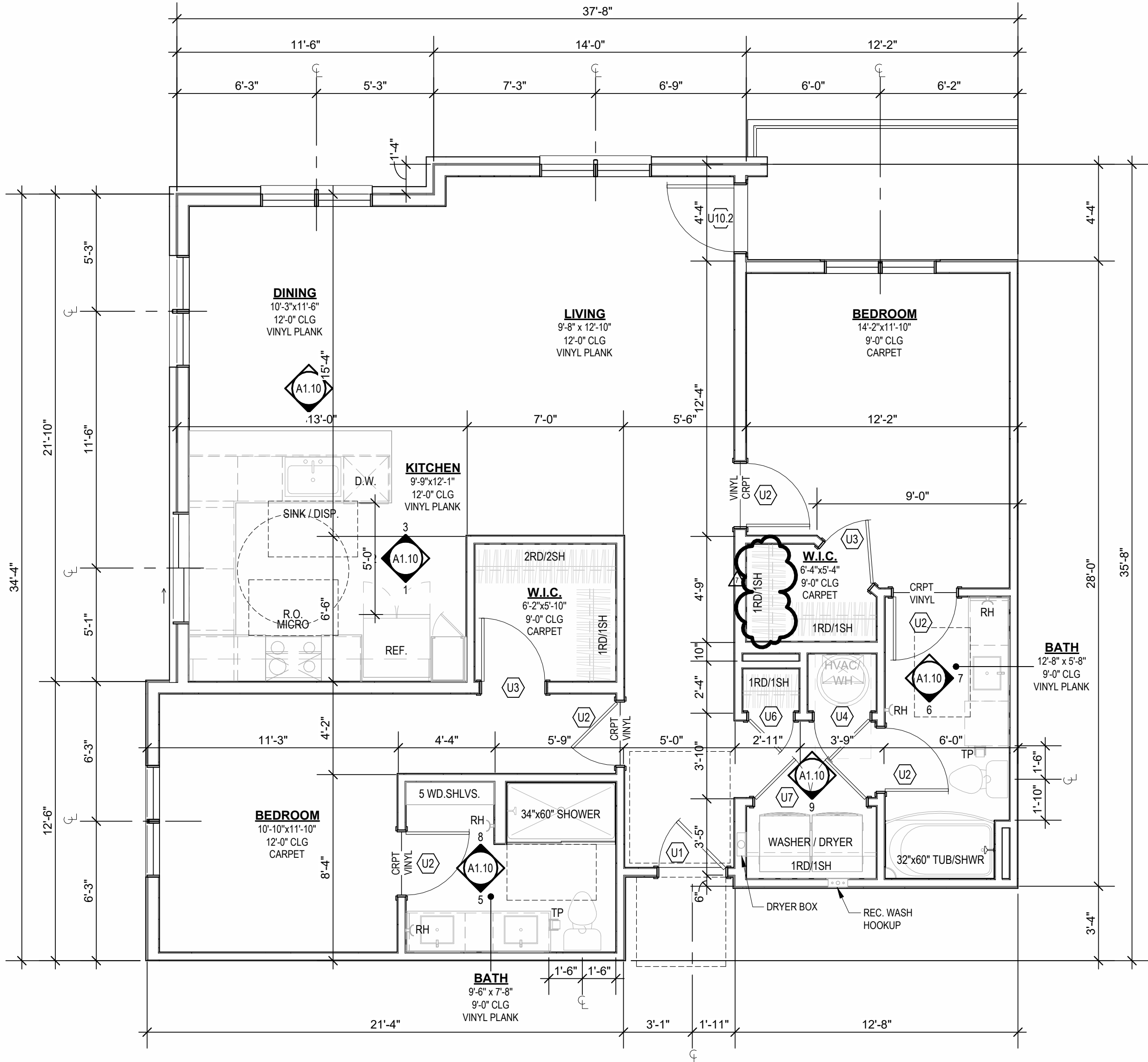
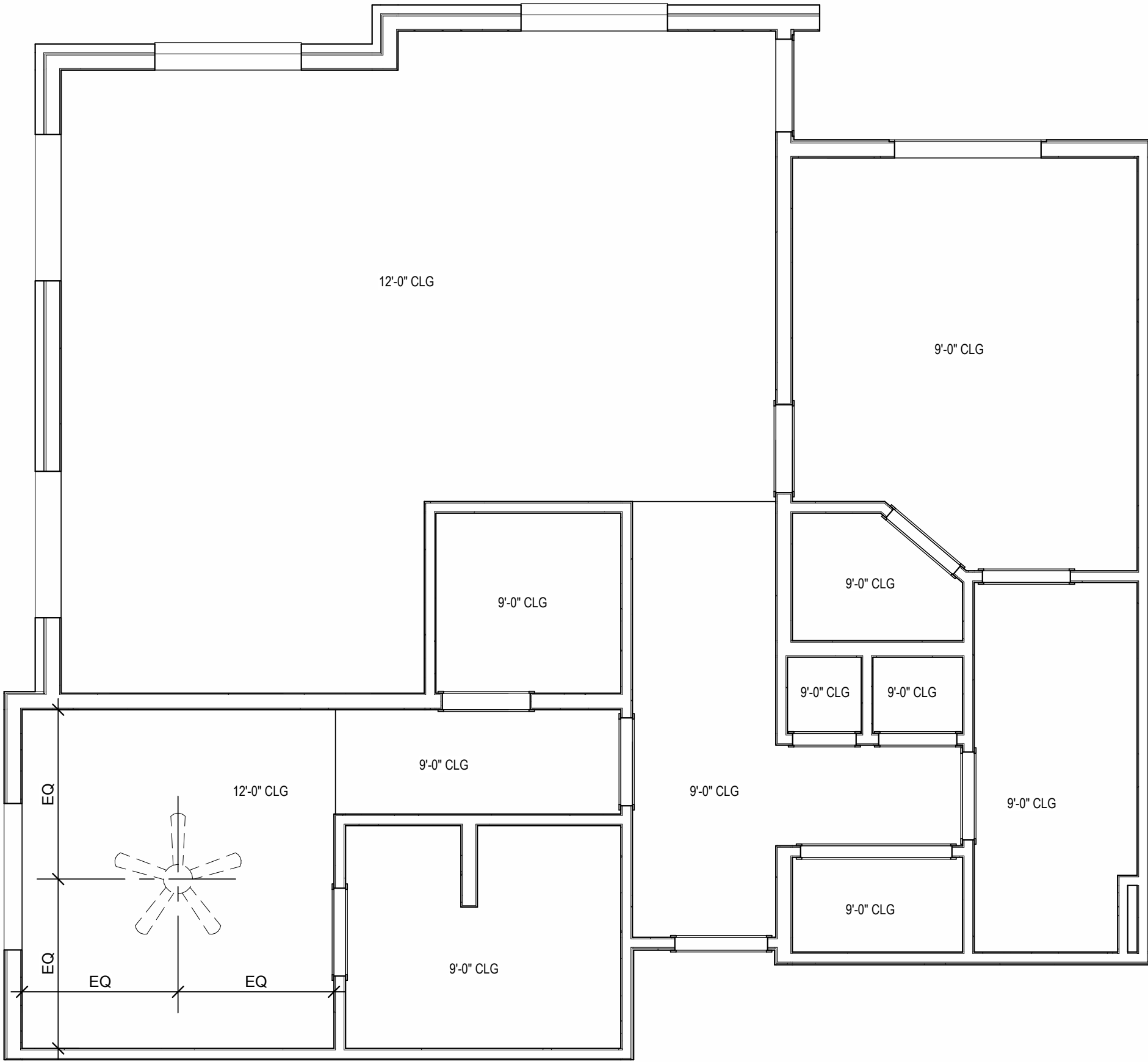
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SHEET NAME
UNIT C1 PLANS

SHEET NO.

A1.09

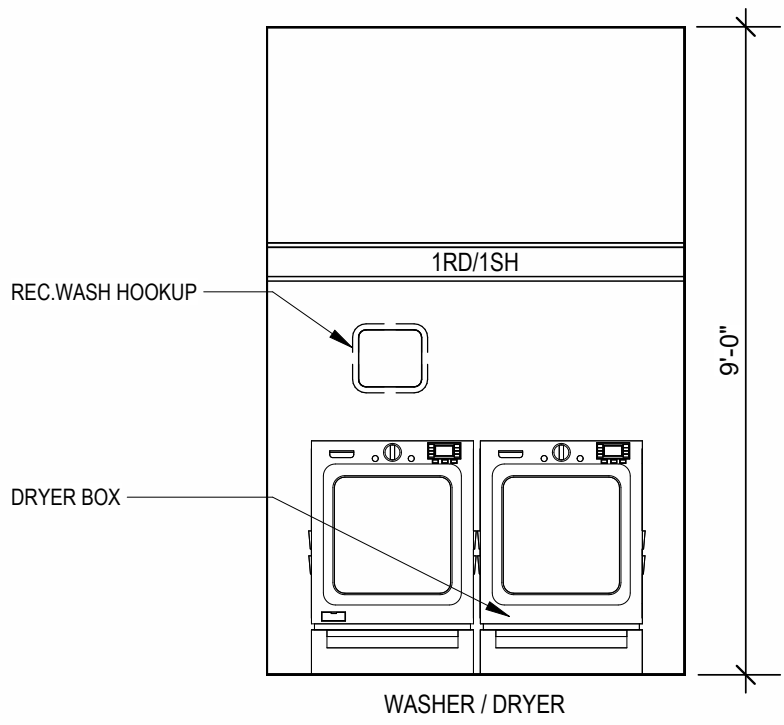
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



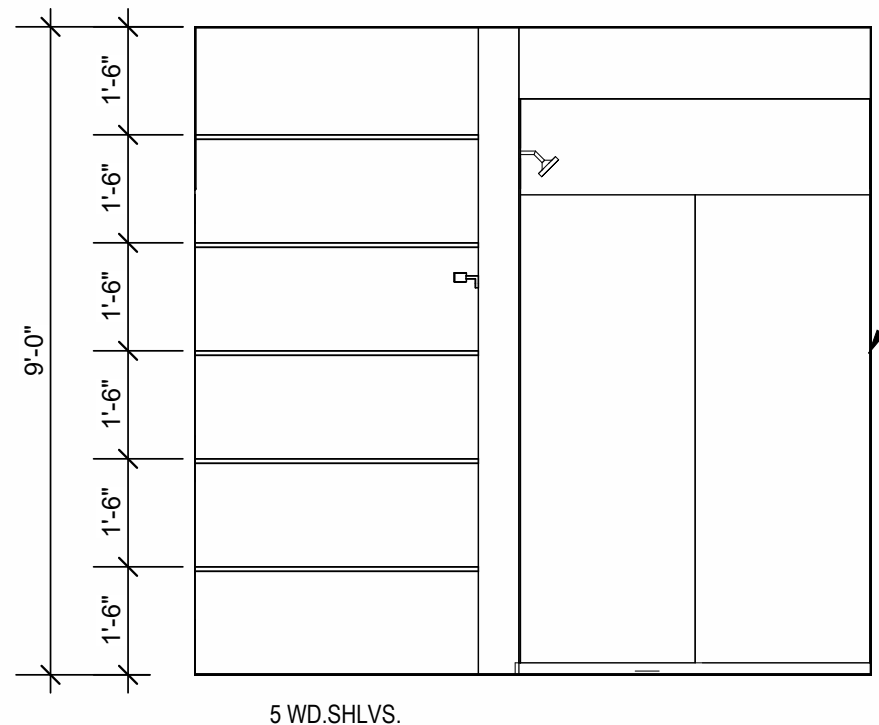
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0-30 FOR ASSEMBLY DIMENSION, ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0-40, A0-41 AND A0-42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
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 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
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 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 6/4" STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
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 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
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 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT TEXTURE FINISH.
 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

B UNIT C2 - 4TH FLOOR RCP
1/4" = 1'-0"

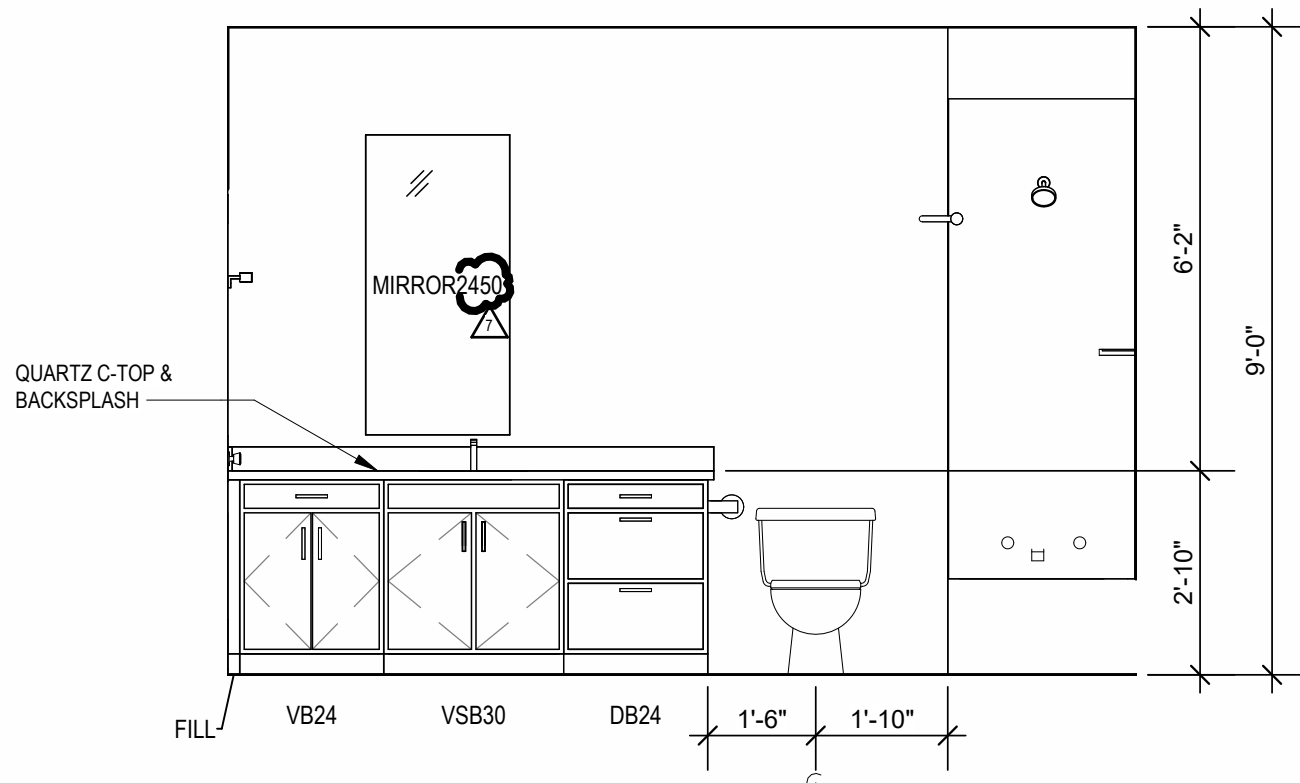
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1/4" = 1'-0"



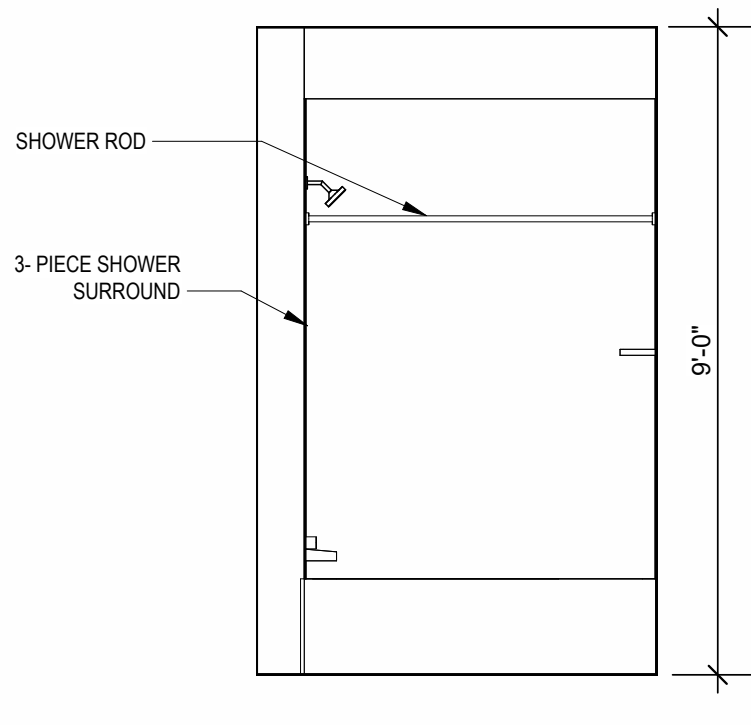
9 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



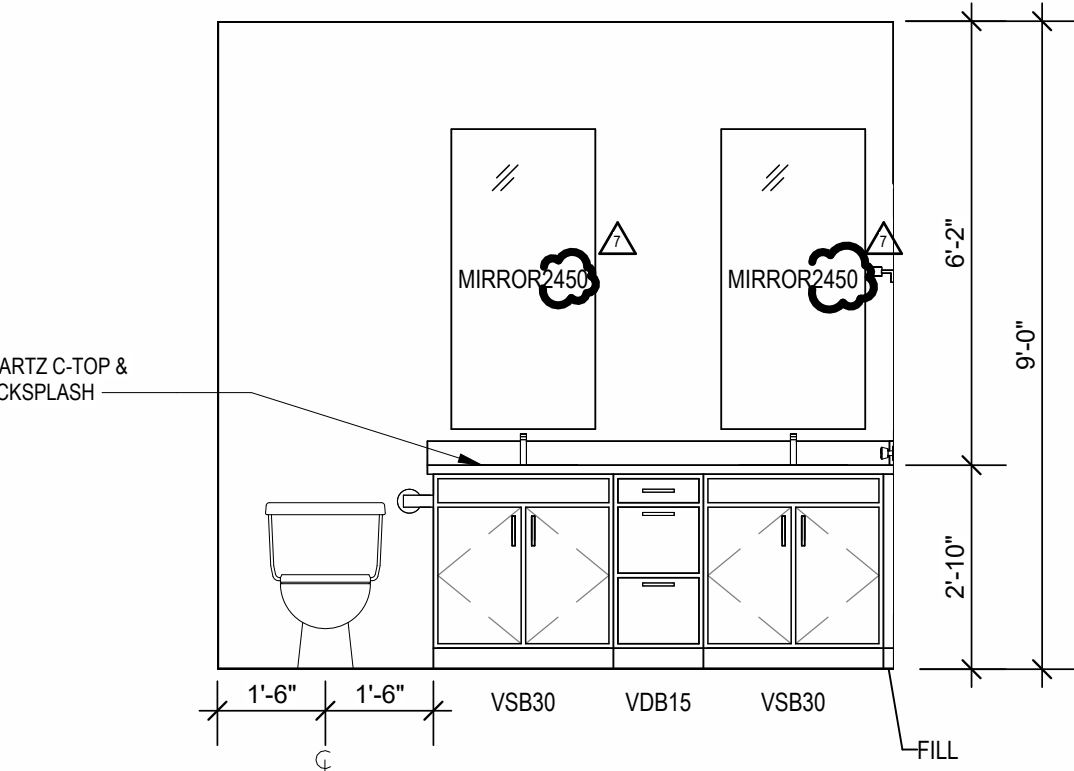
8 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



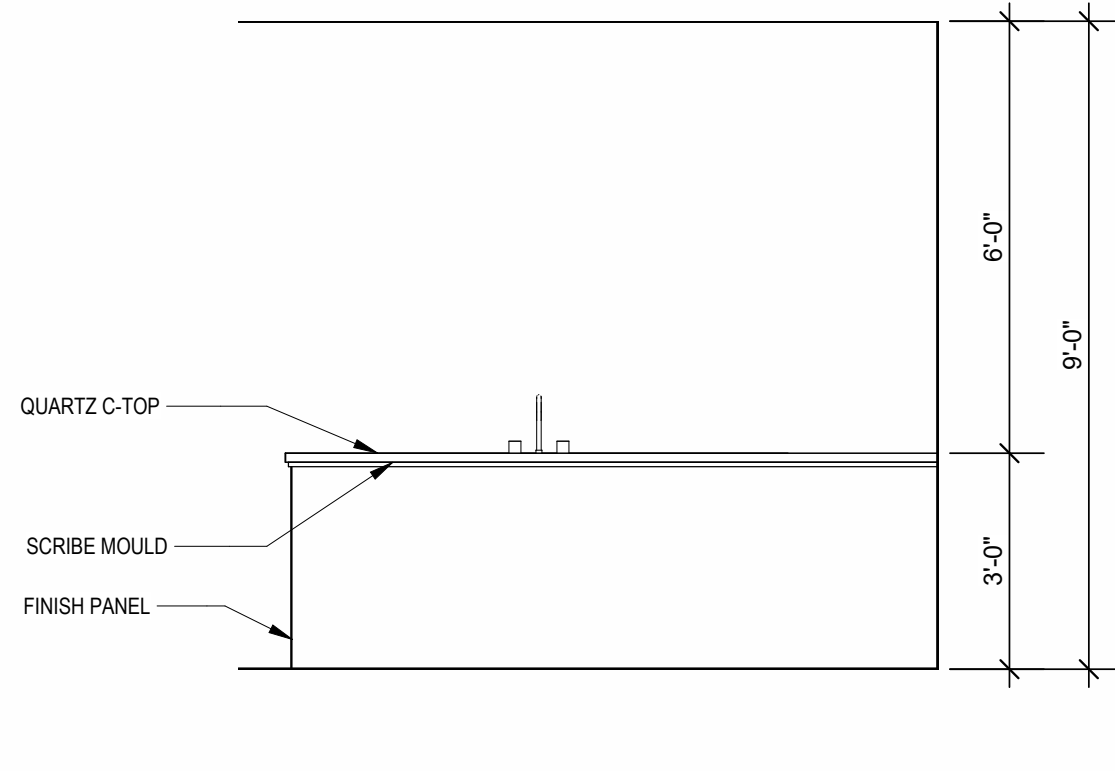
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



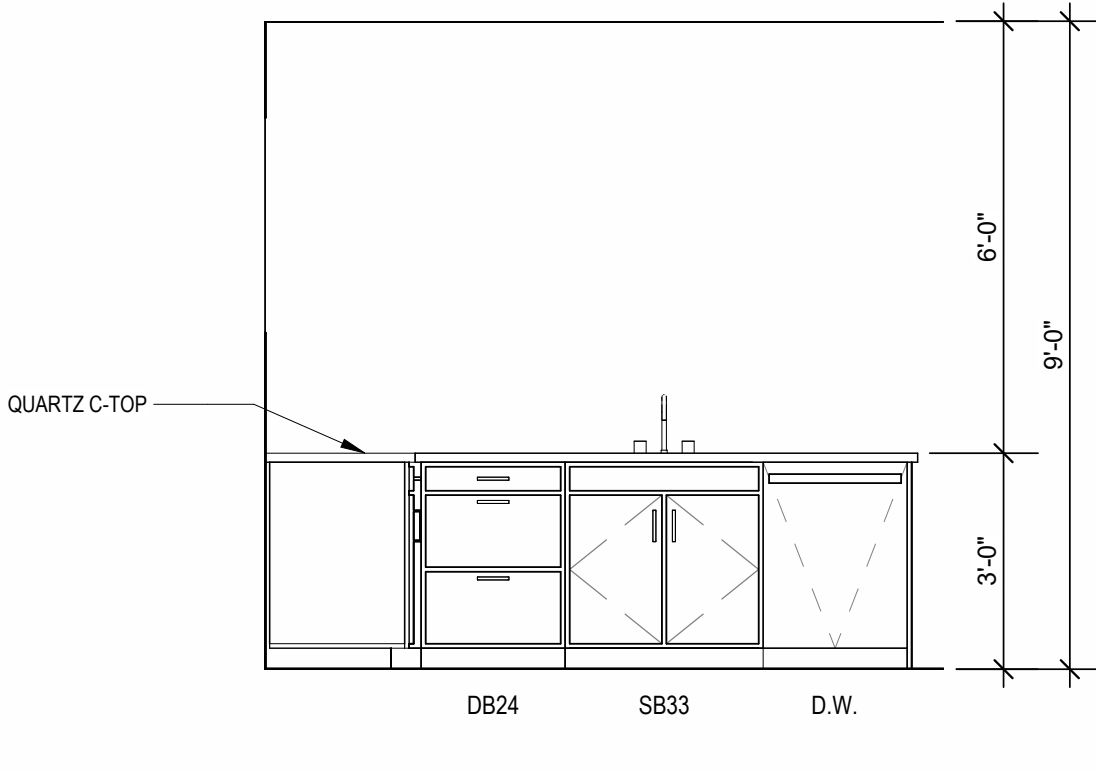
6 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



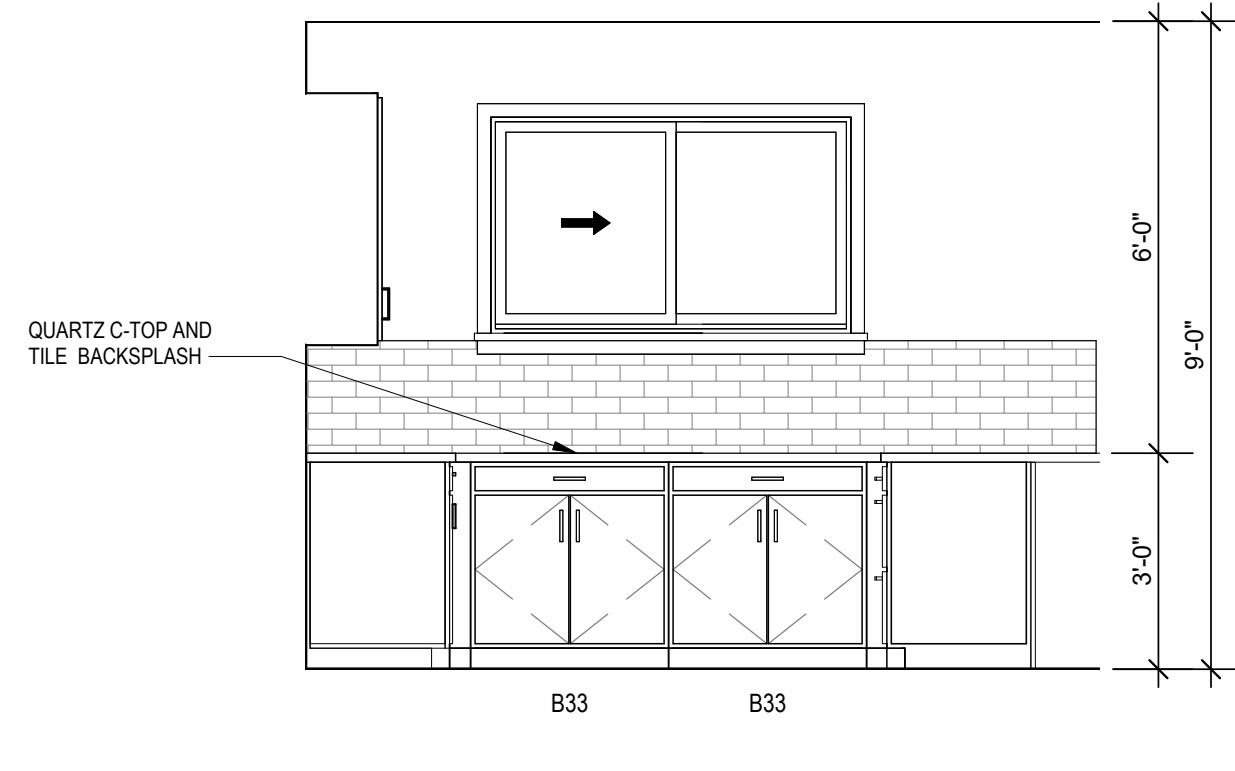
5 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



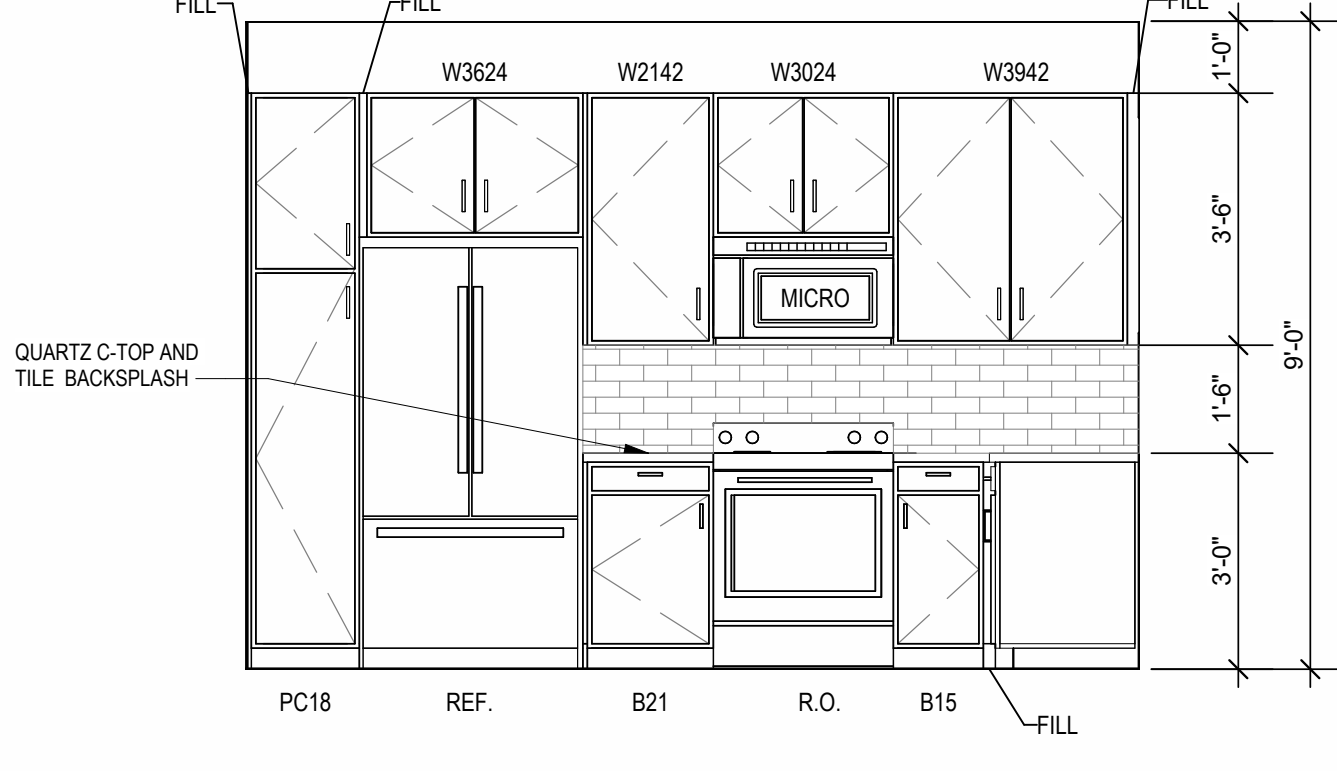
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

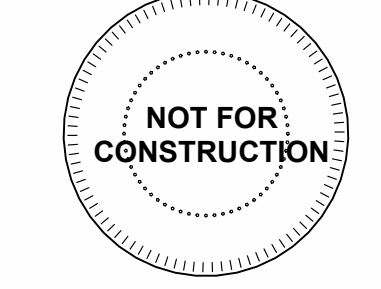
DRAWING RELEASE LOG
7 23 16X4X ASI 3

REVISIONS
7 23 16X4X ASI 3

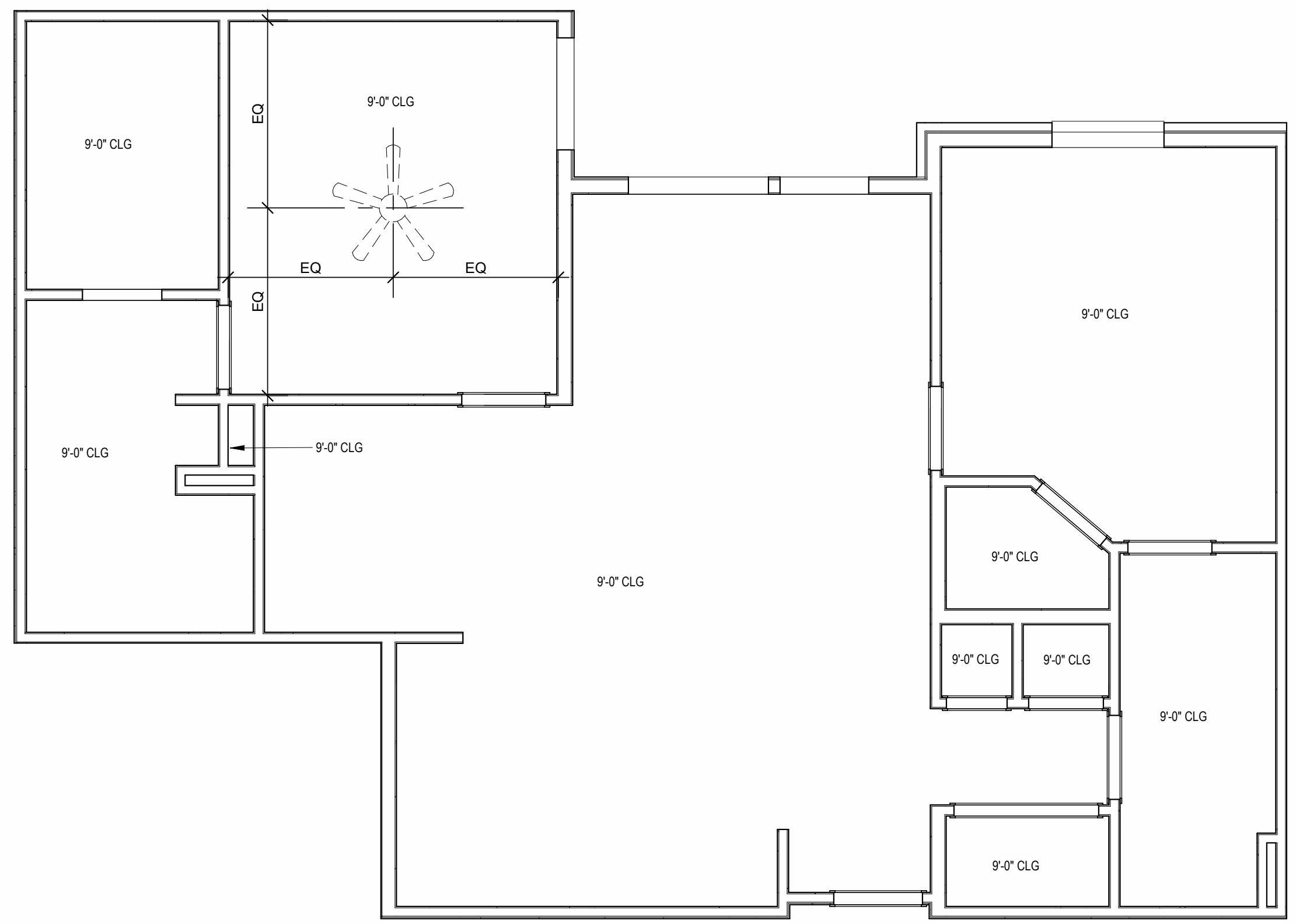
JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME UNIT C2 PLANS

SHEET NO.

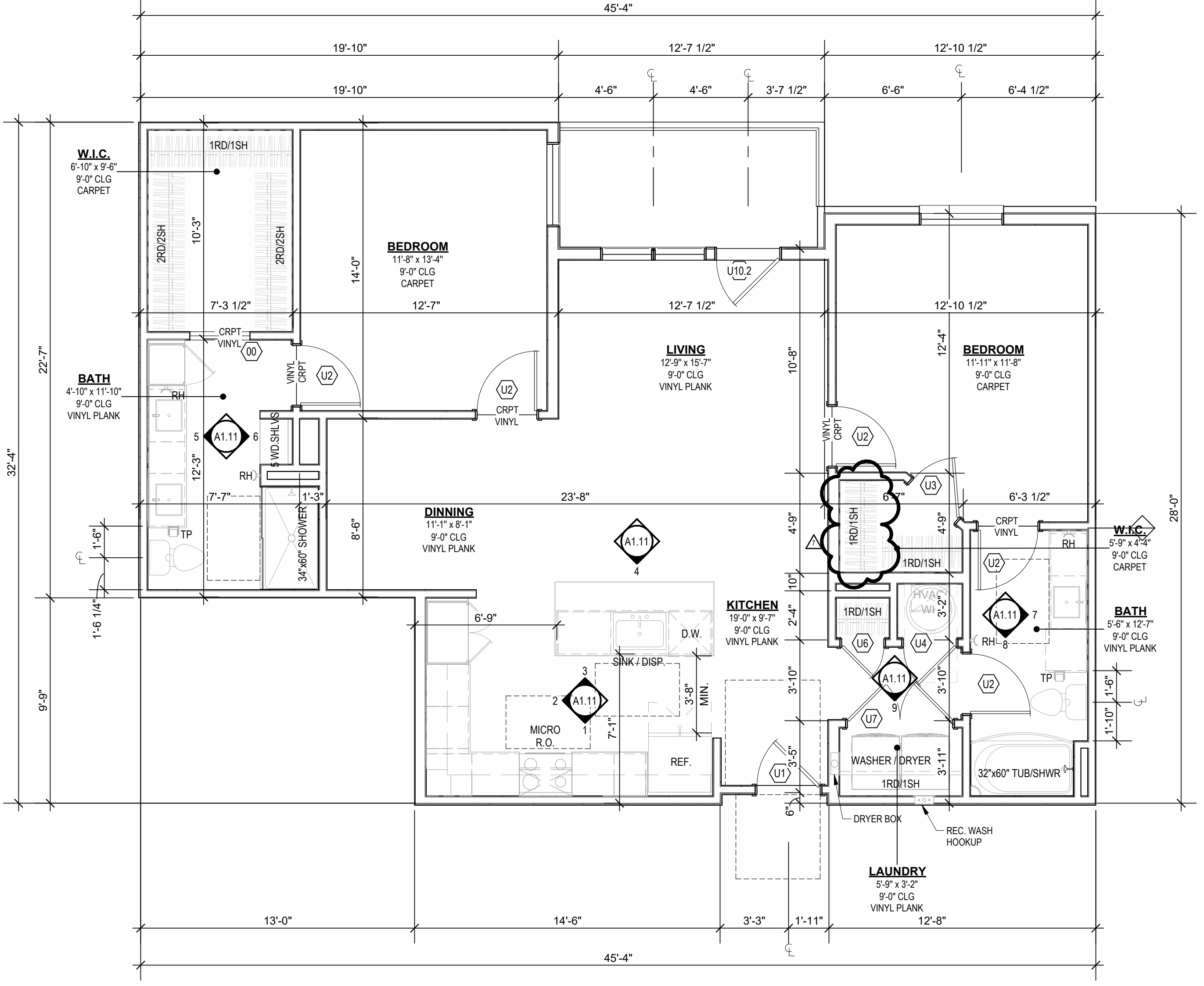
A1.10



- UNIT PLAN GENERAL NOTES:
1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 4. USE TEAR AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 5. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 6. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 7. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 8. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 9. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 10. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.
 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 13. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 14. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 16. ALL WINDOWS TO RECEIVE SAK STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 17. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 18. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 19. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 20. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 21. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 22. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK U.N.O.

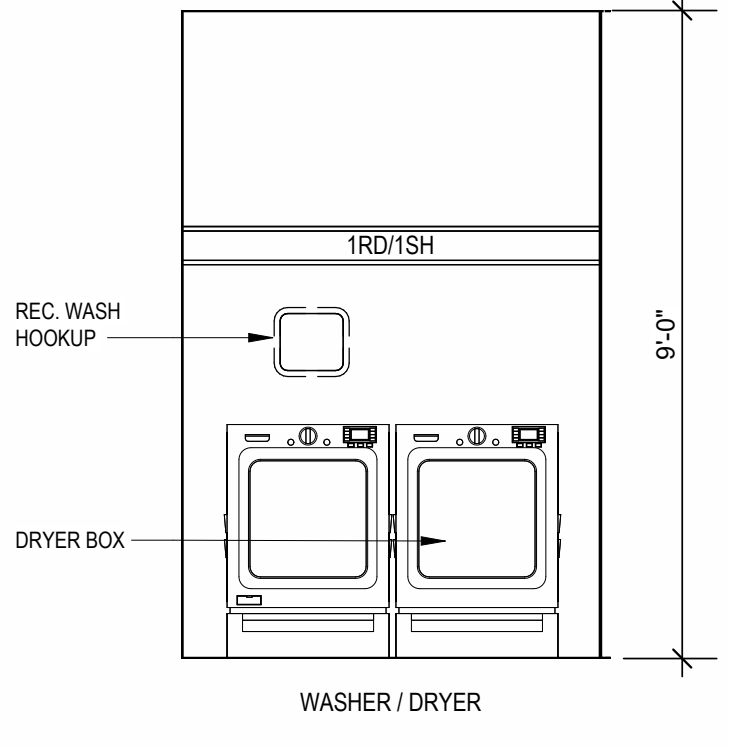


B UNIT C3 - RCP
1/4" = 1'-0"

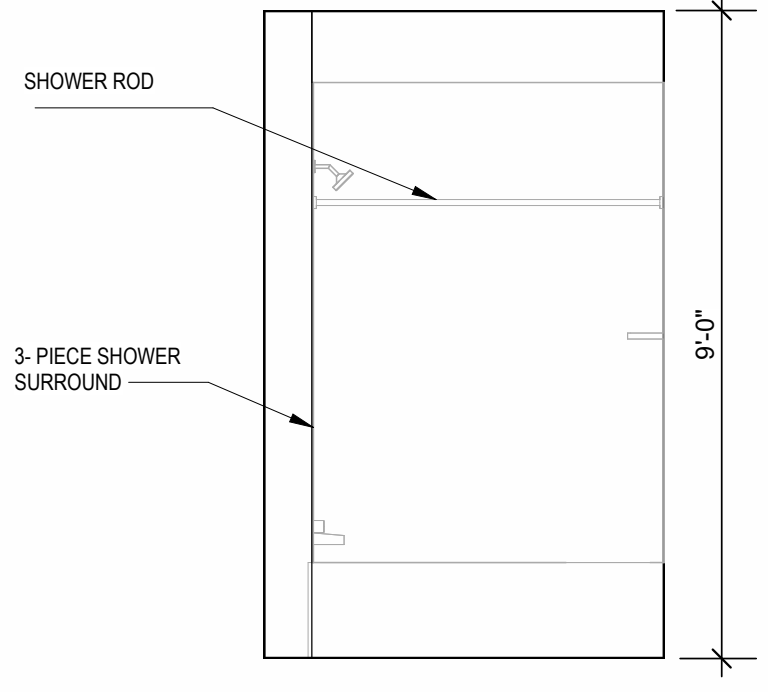


A UNIT C3
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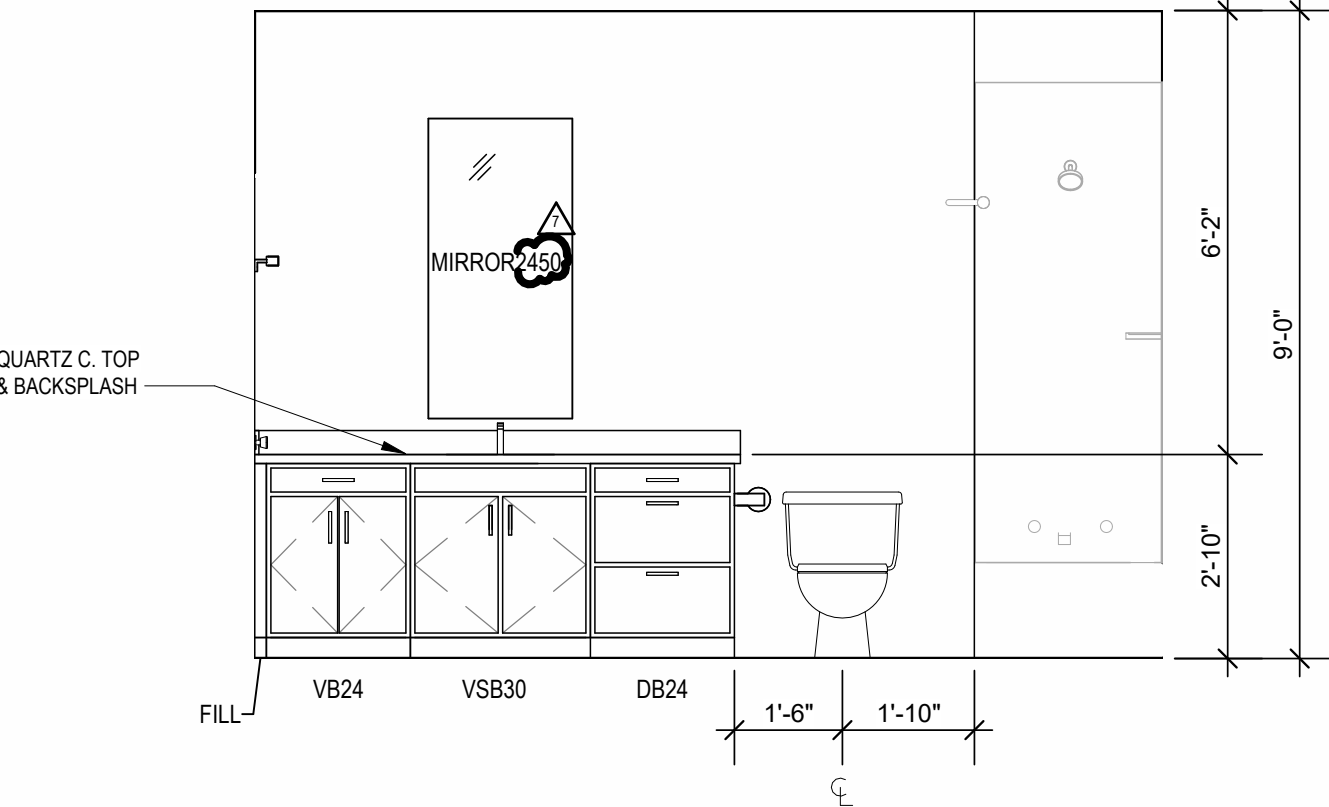
9 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



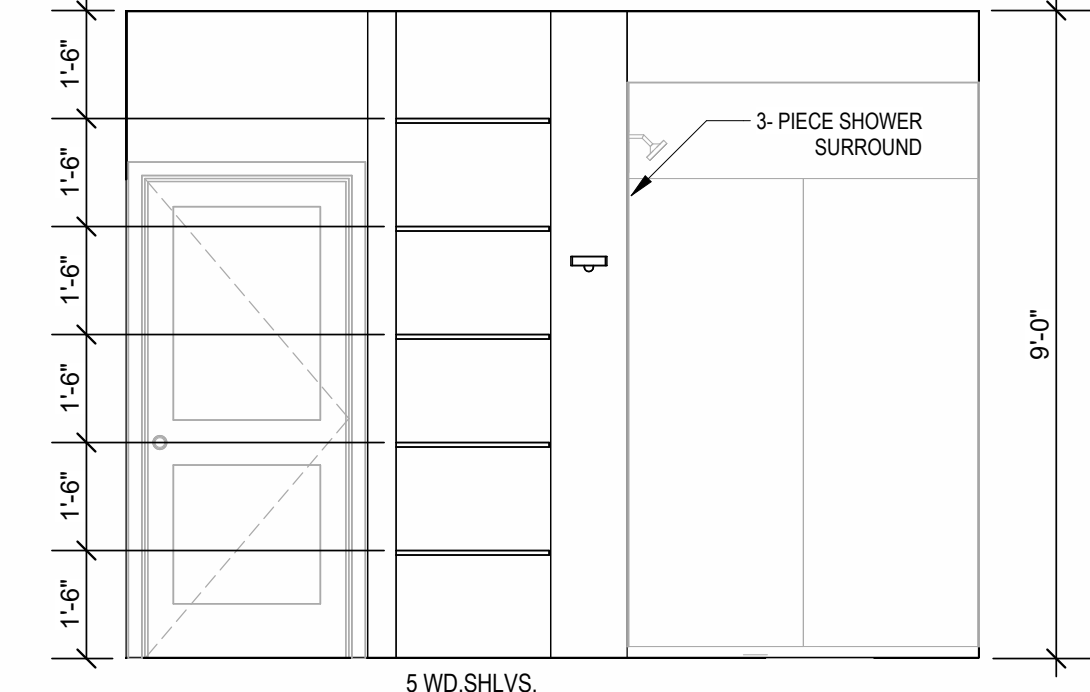
8 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



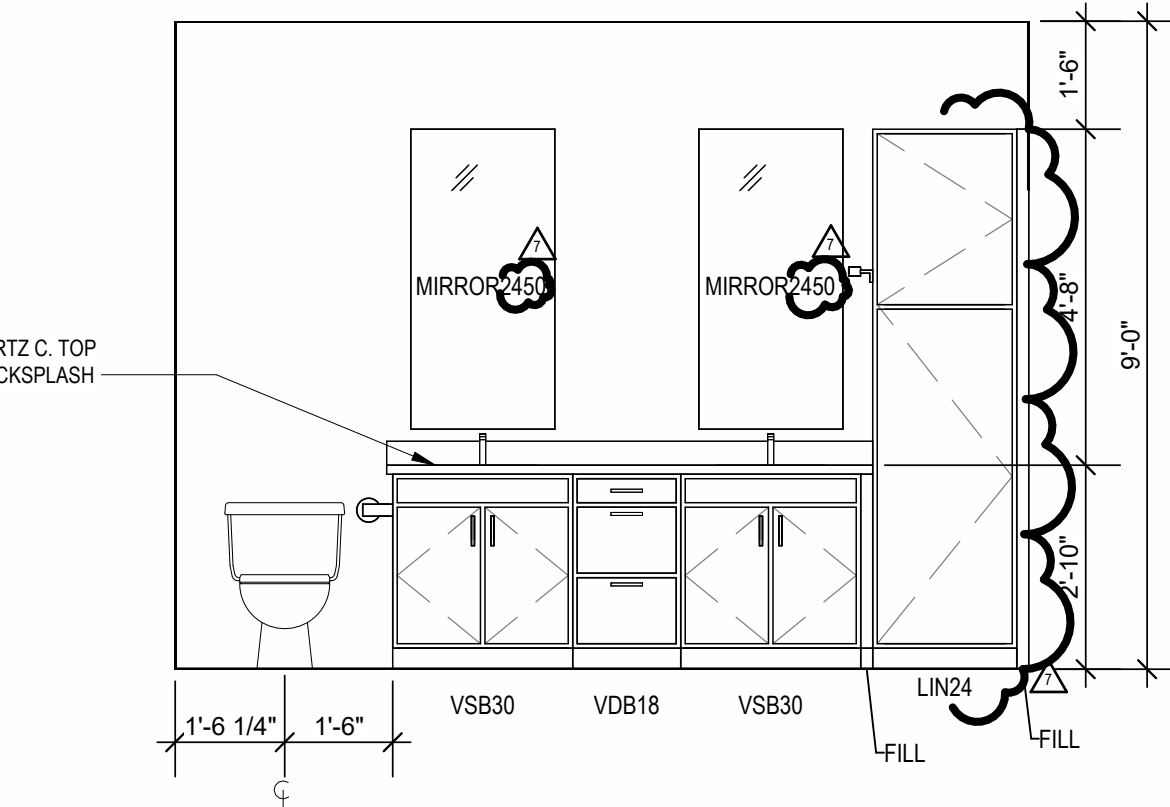
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



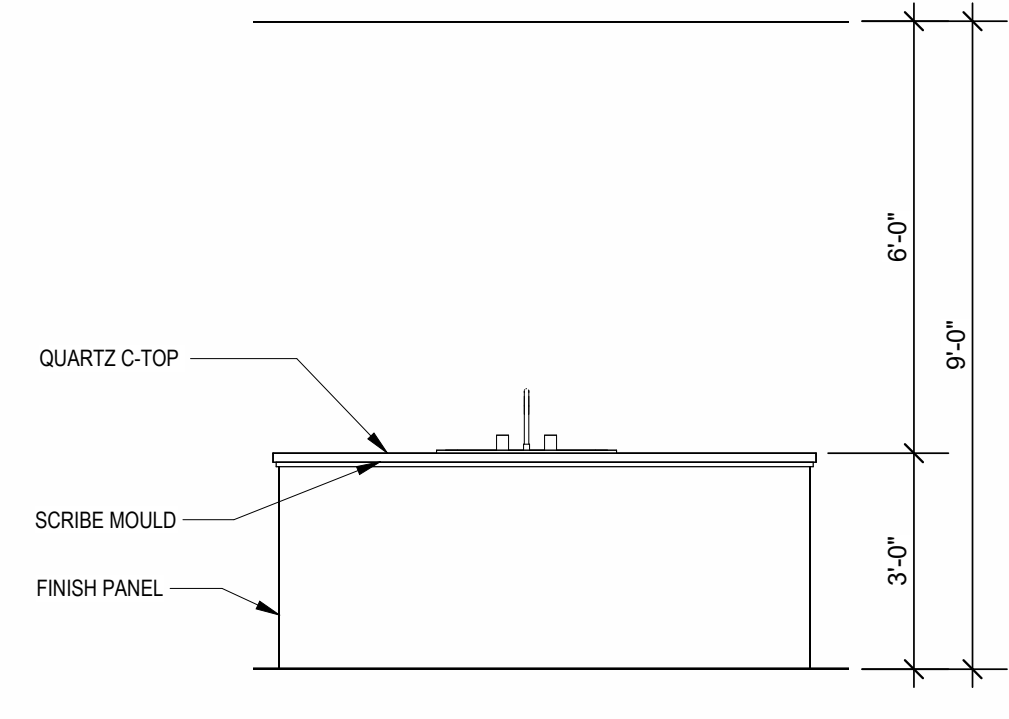
6 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



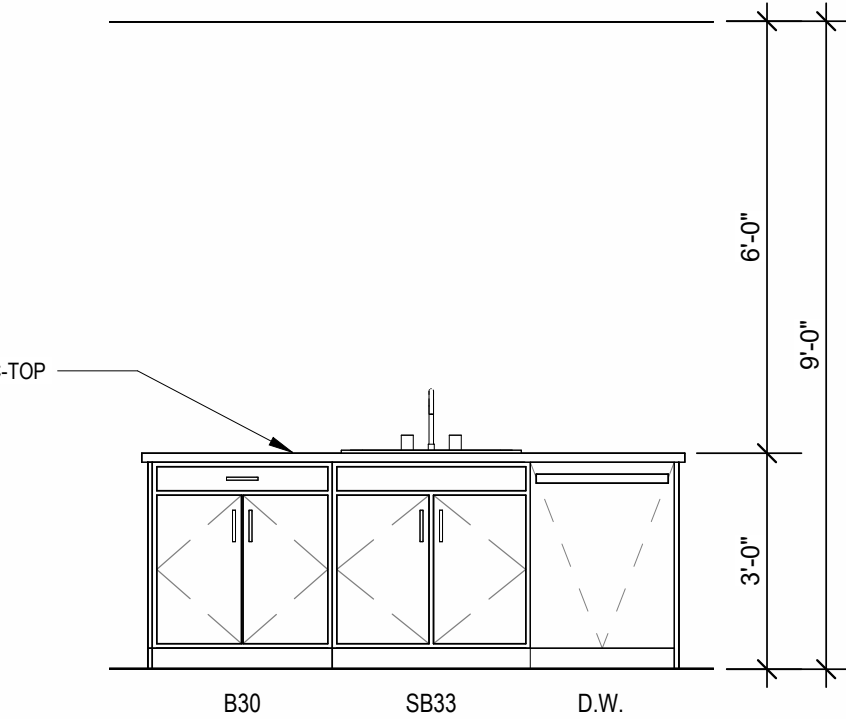
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MASTER BATHROOM
3/8" = 1'-0"



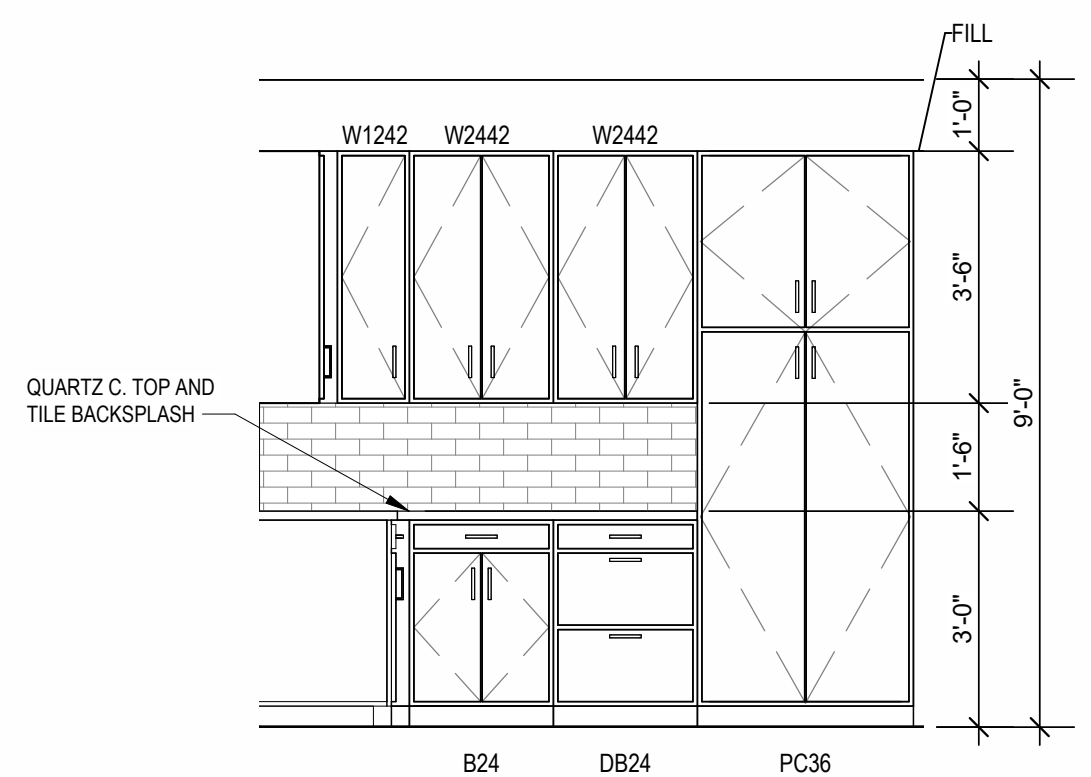
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



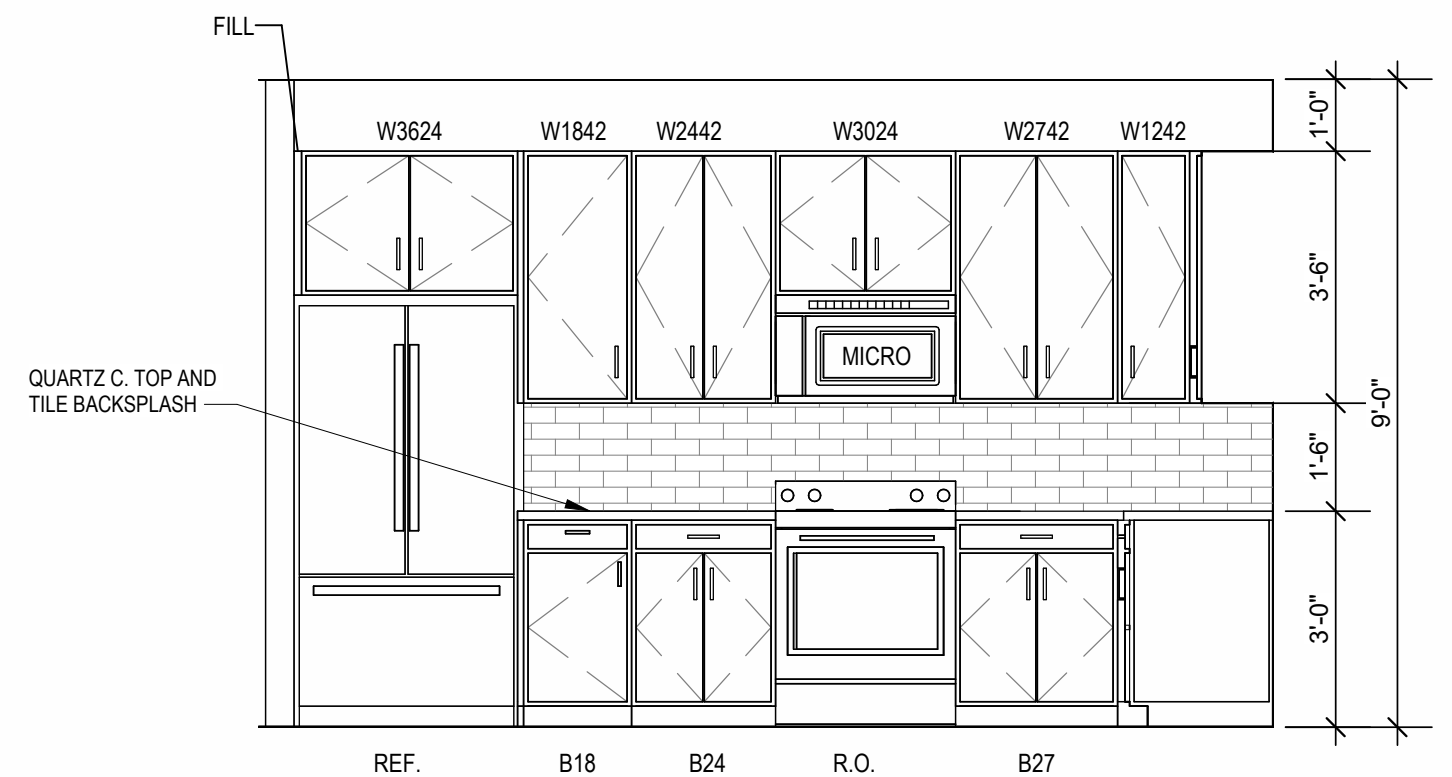
3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

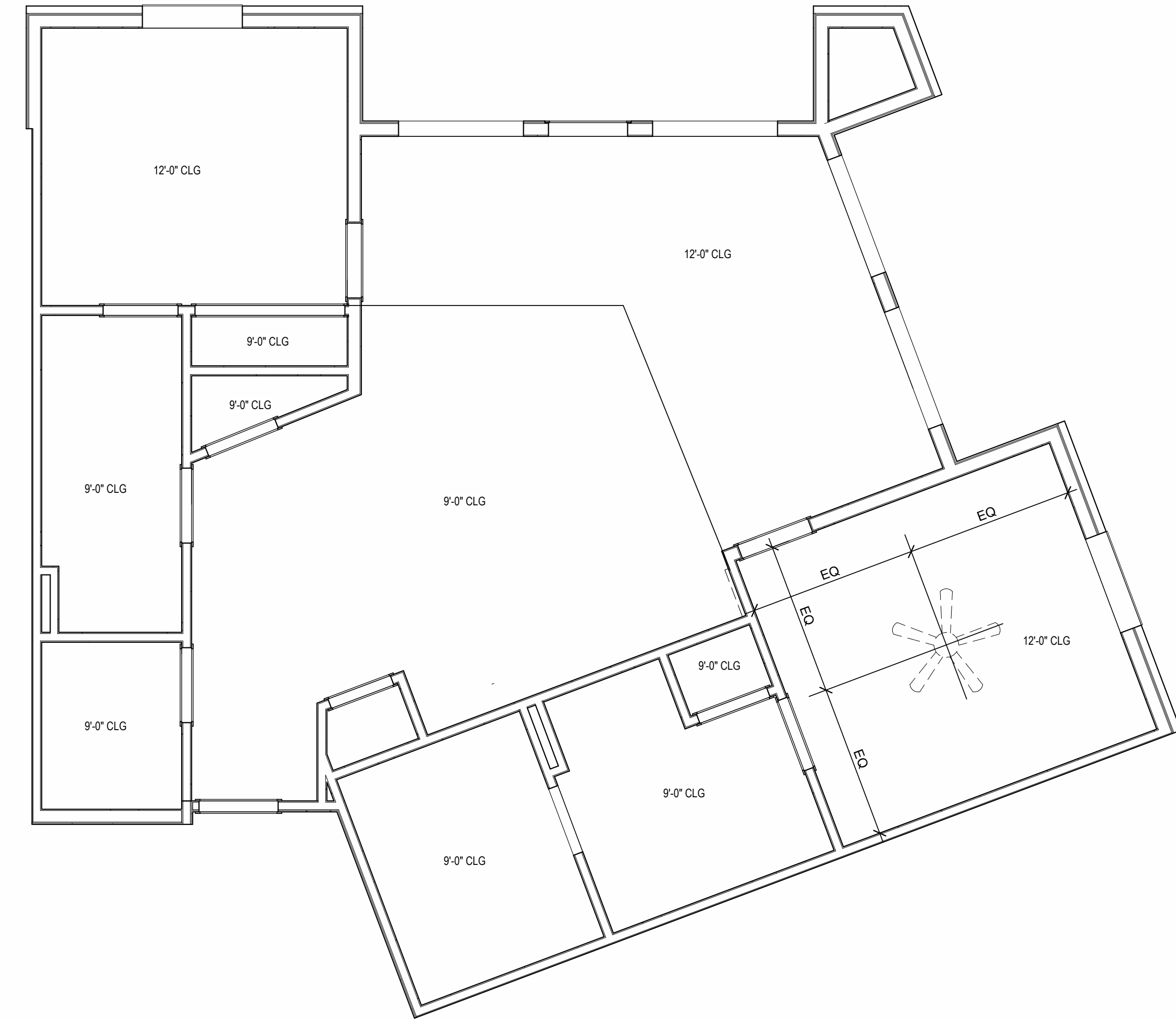
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JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
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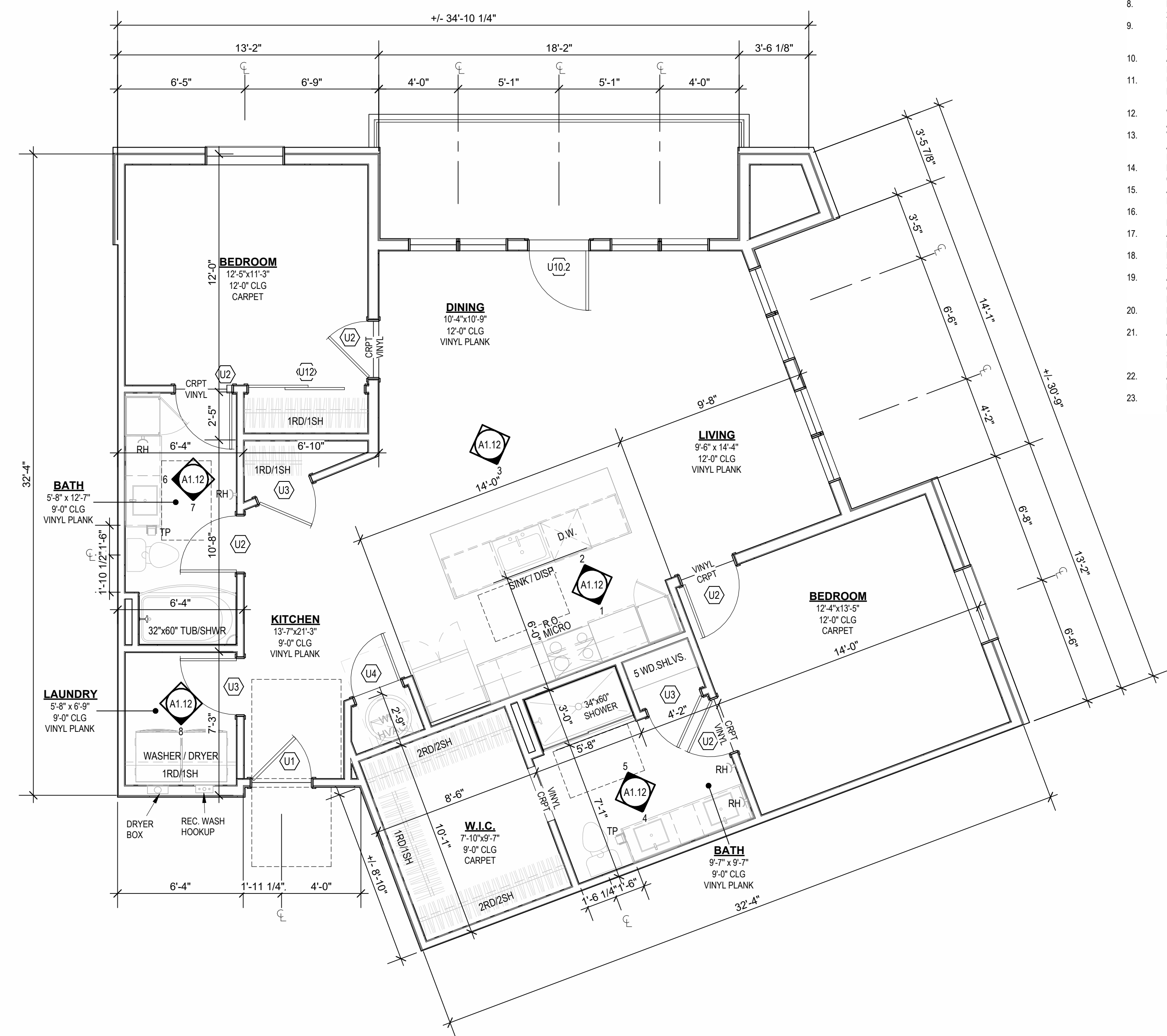
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800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

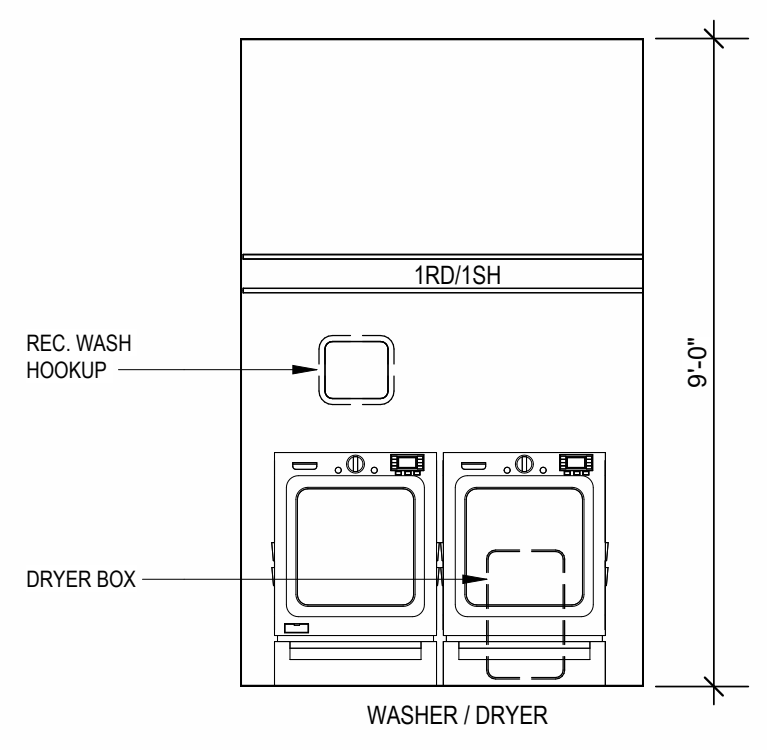
- UNIT PLAN GENERAL NOTES:
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 16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER & DRYERS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 17. ALL WINDOWS TO RECEIVE MAX STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 18. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
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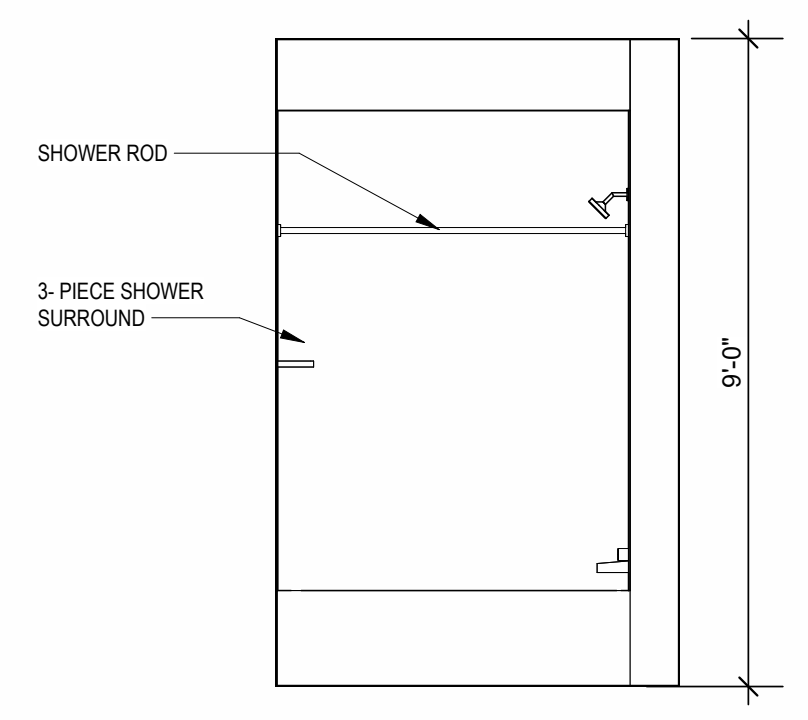
B UNIT C4 - 4TH FLOOR RCP
1/4" = 1'-0"



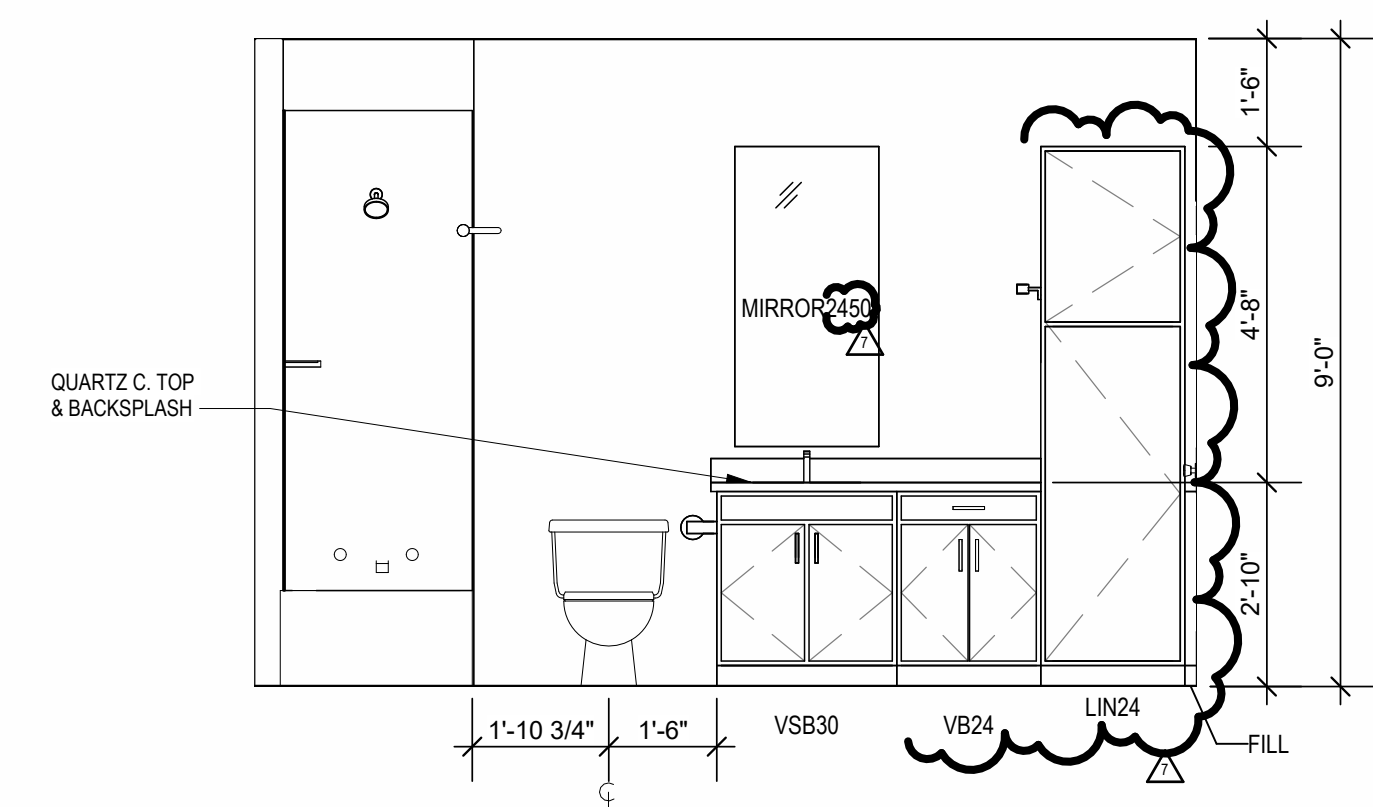
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1/4" = 1'-0"



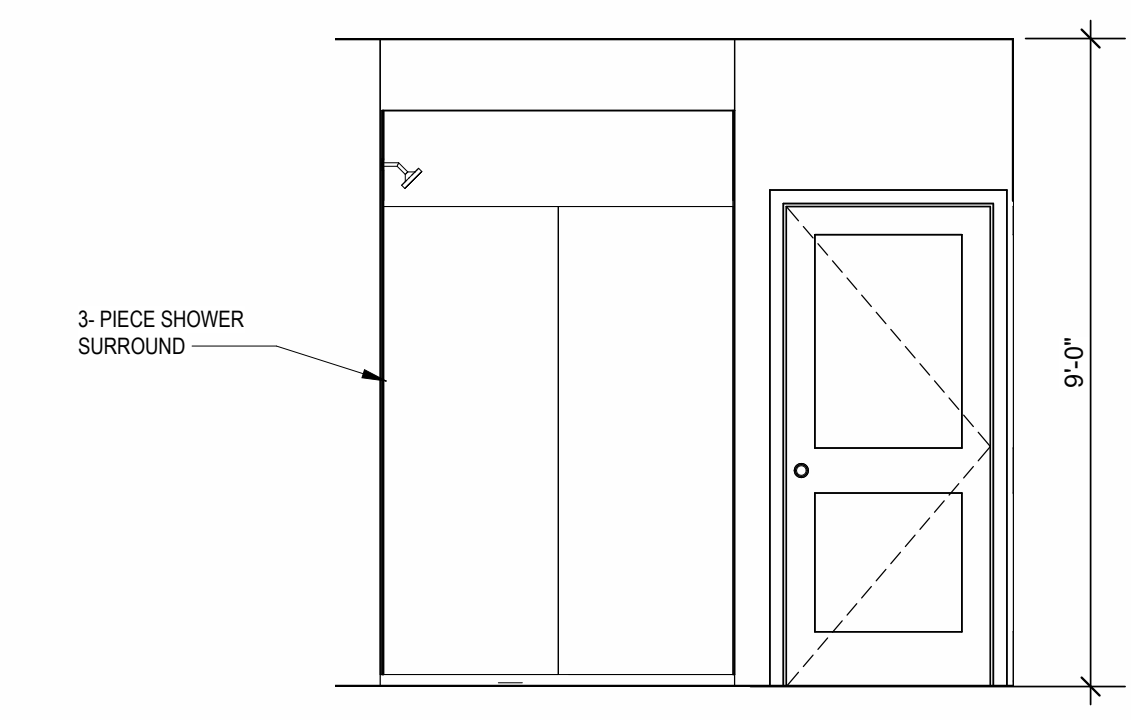
8 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



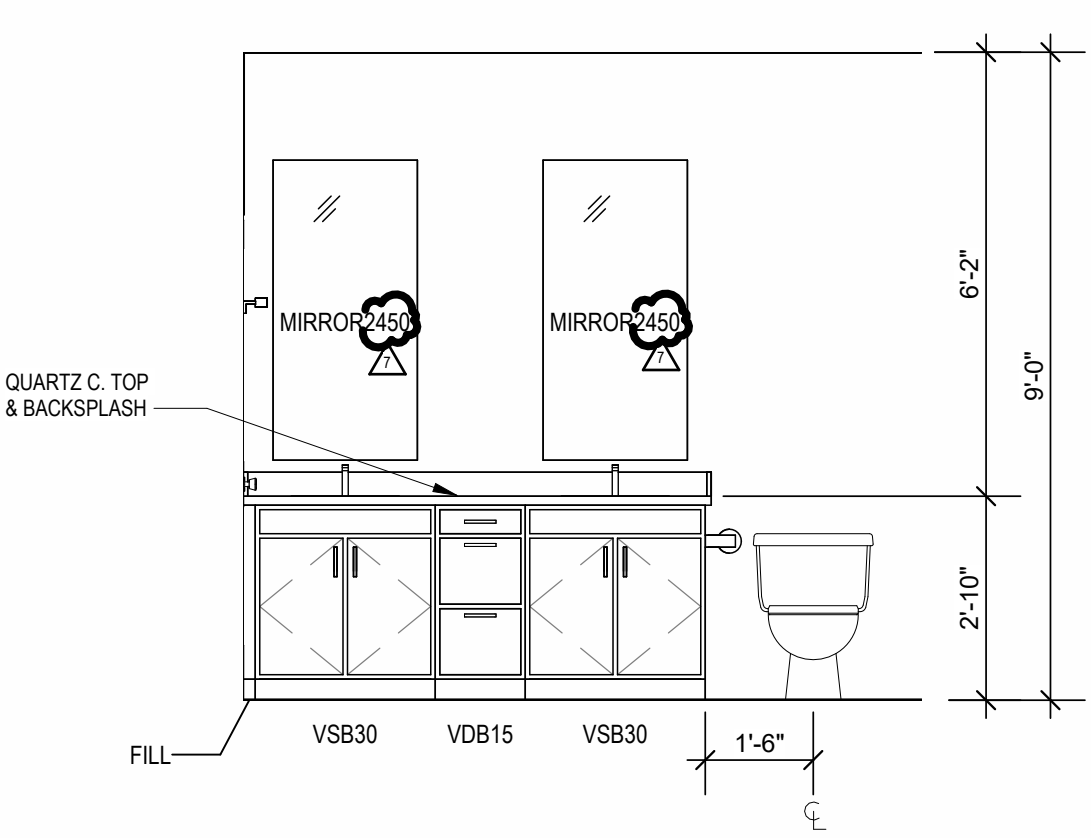
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



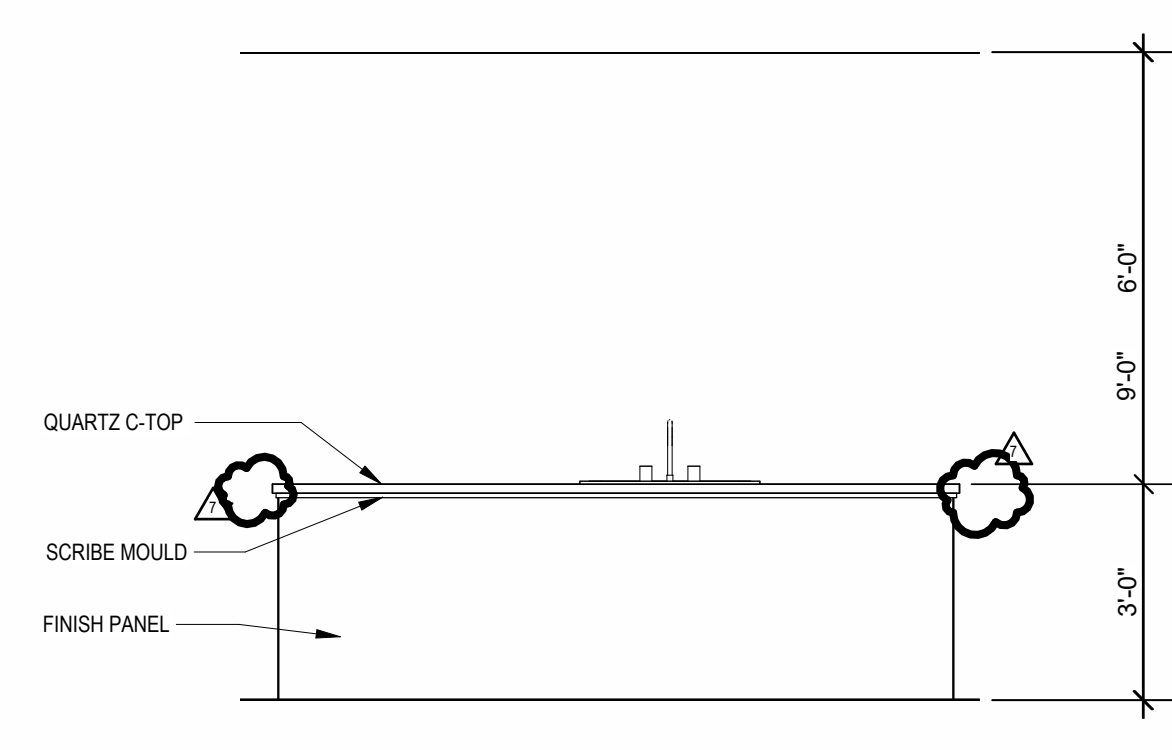
6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



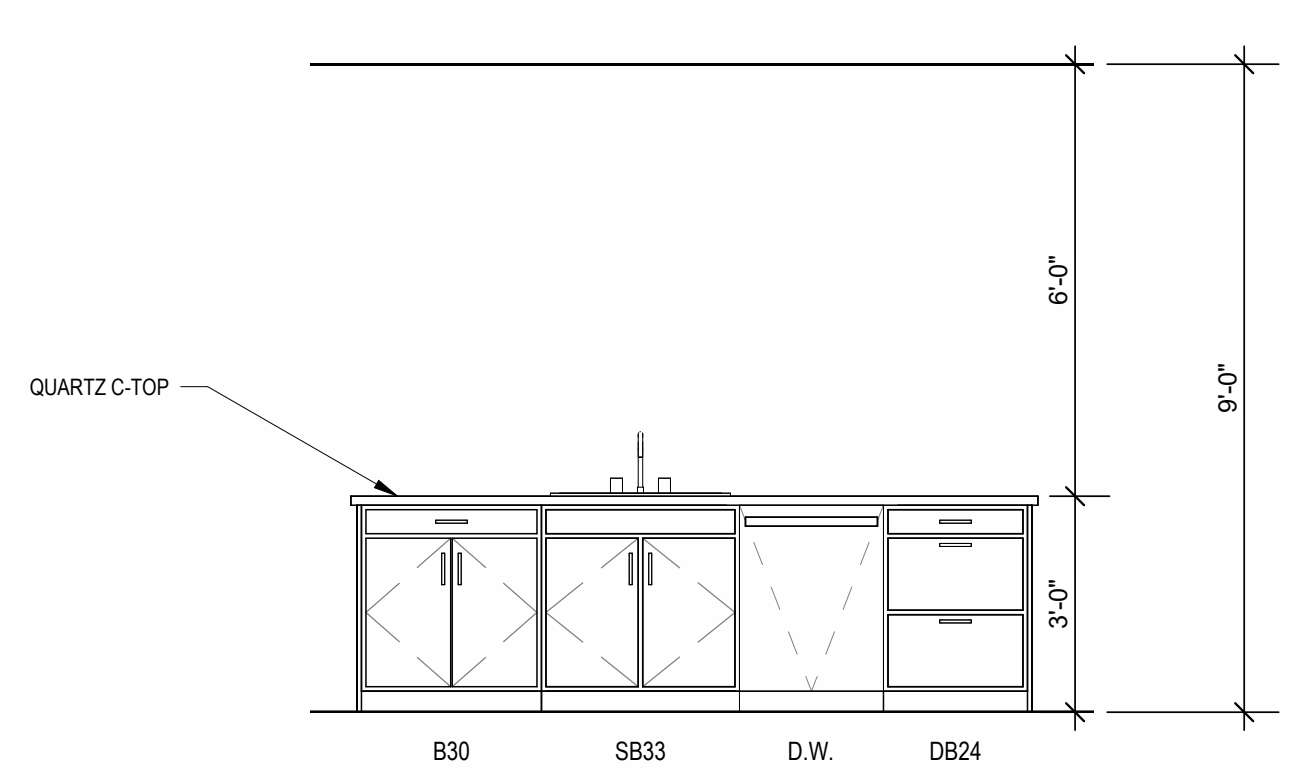
5 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



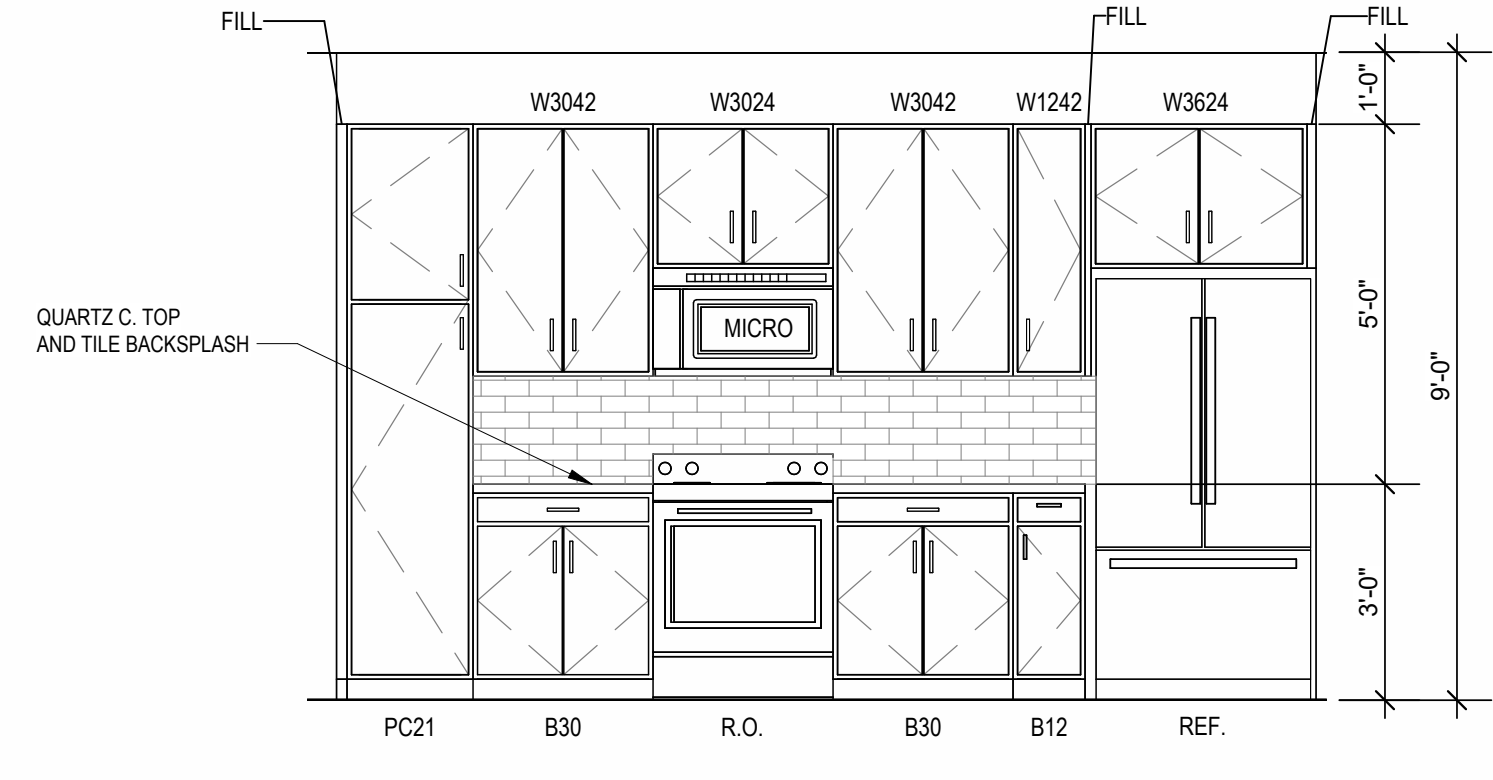
4 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

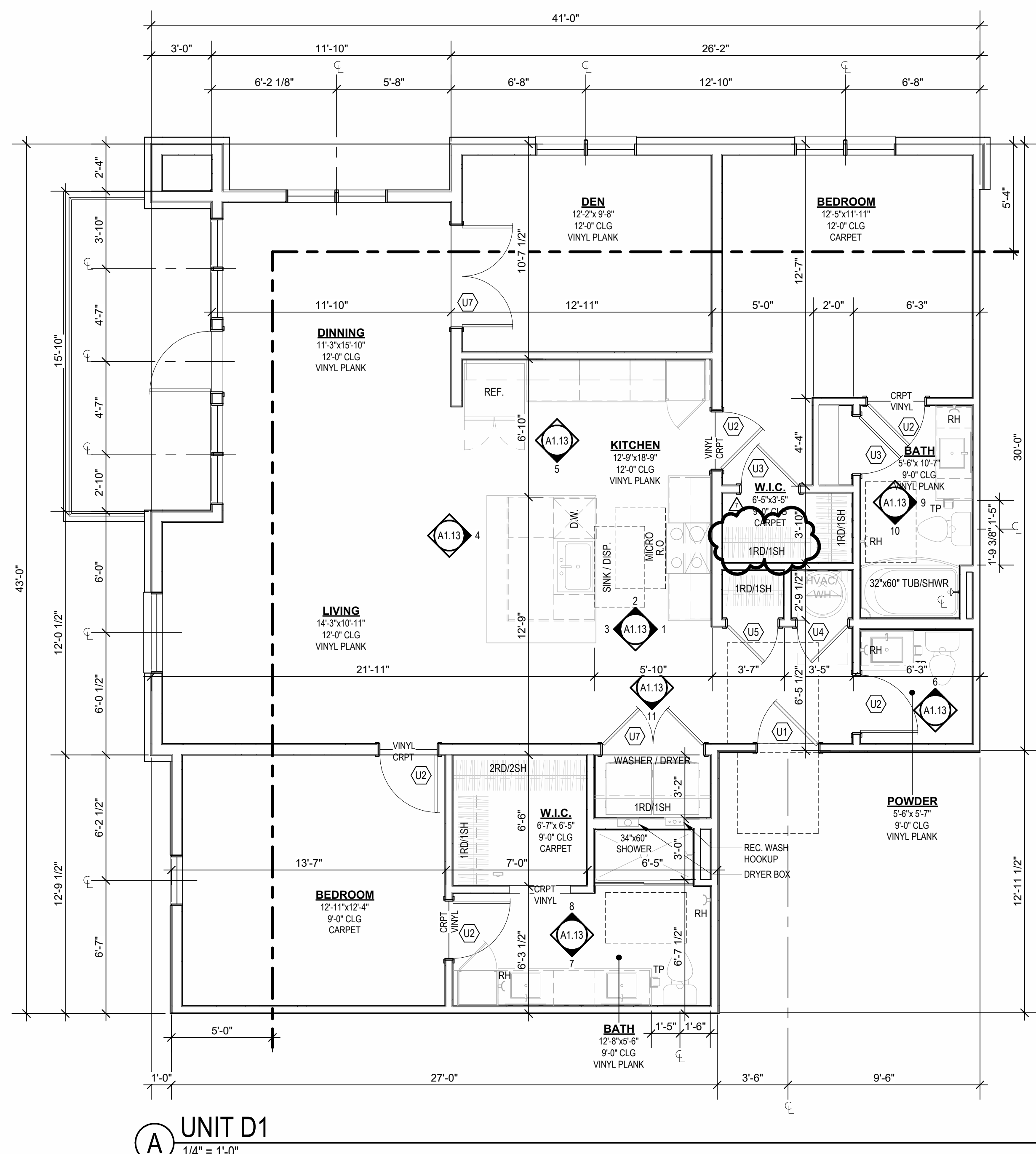
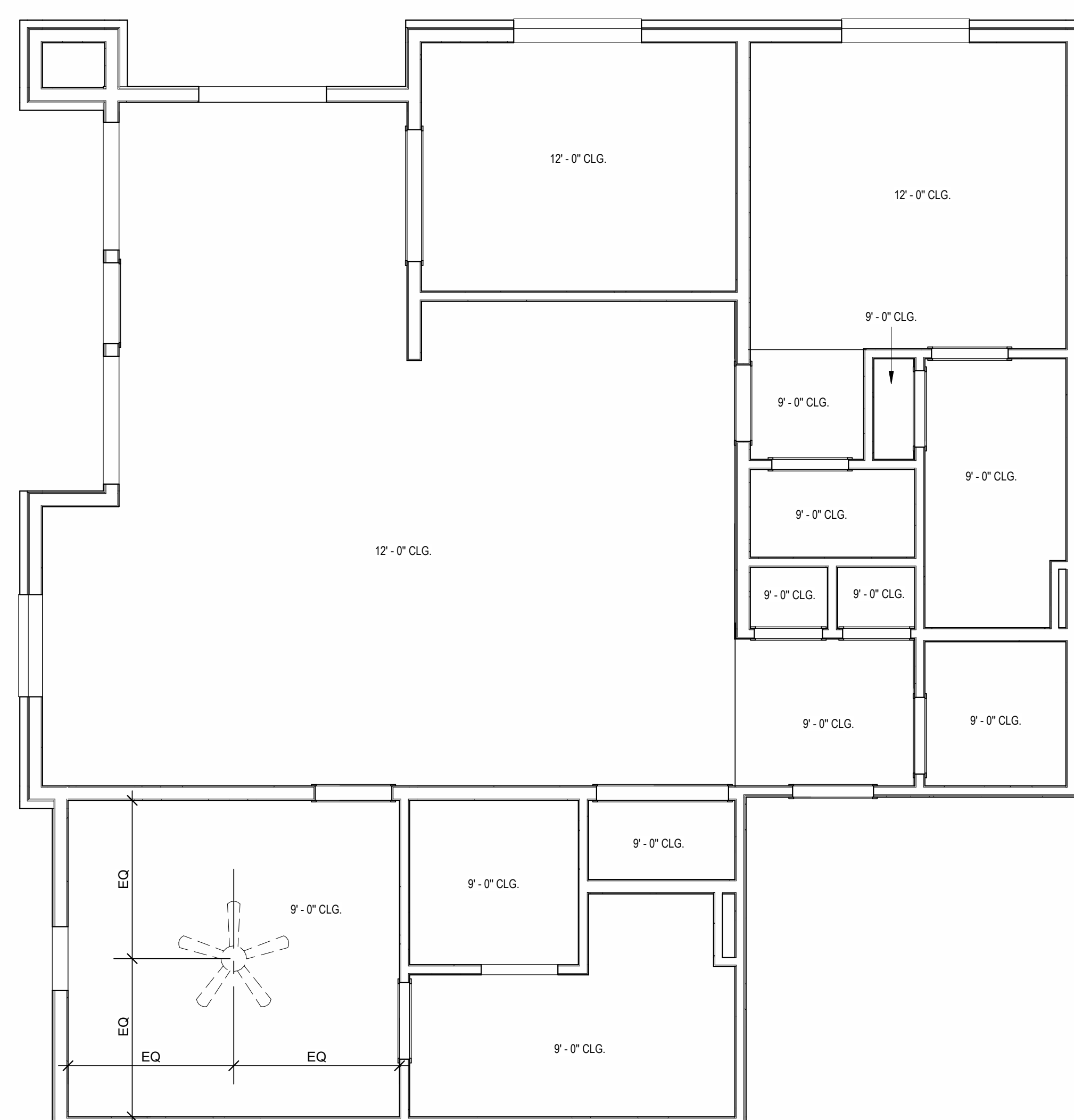
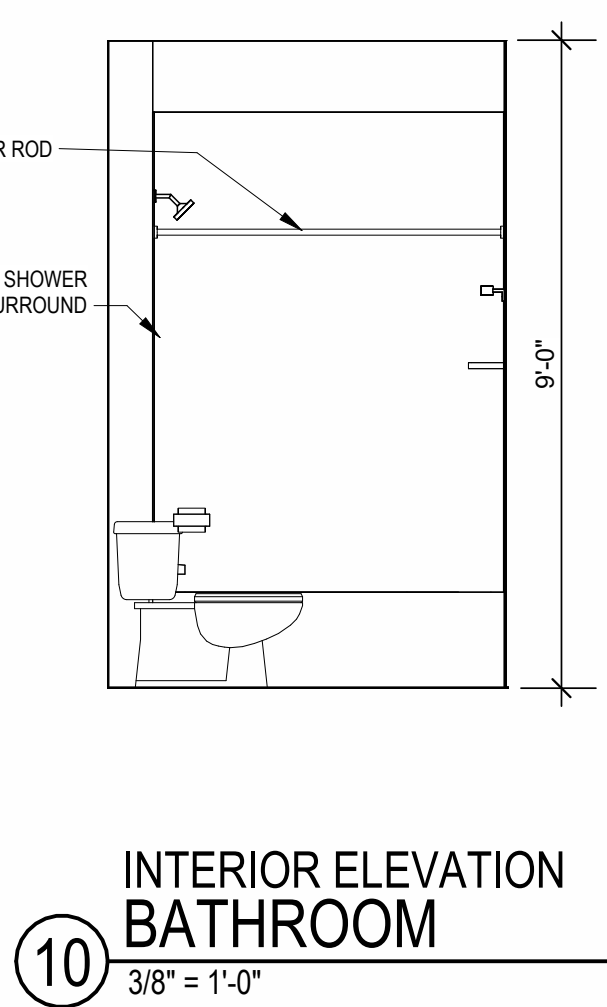
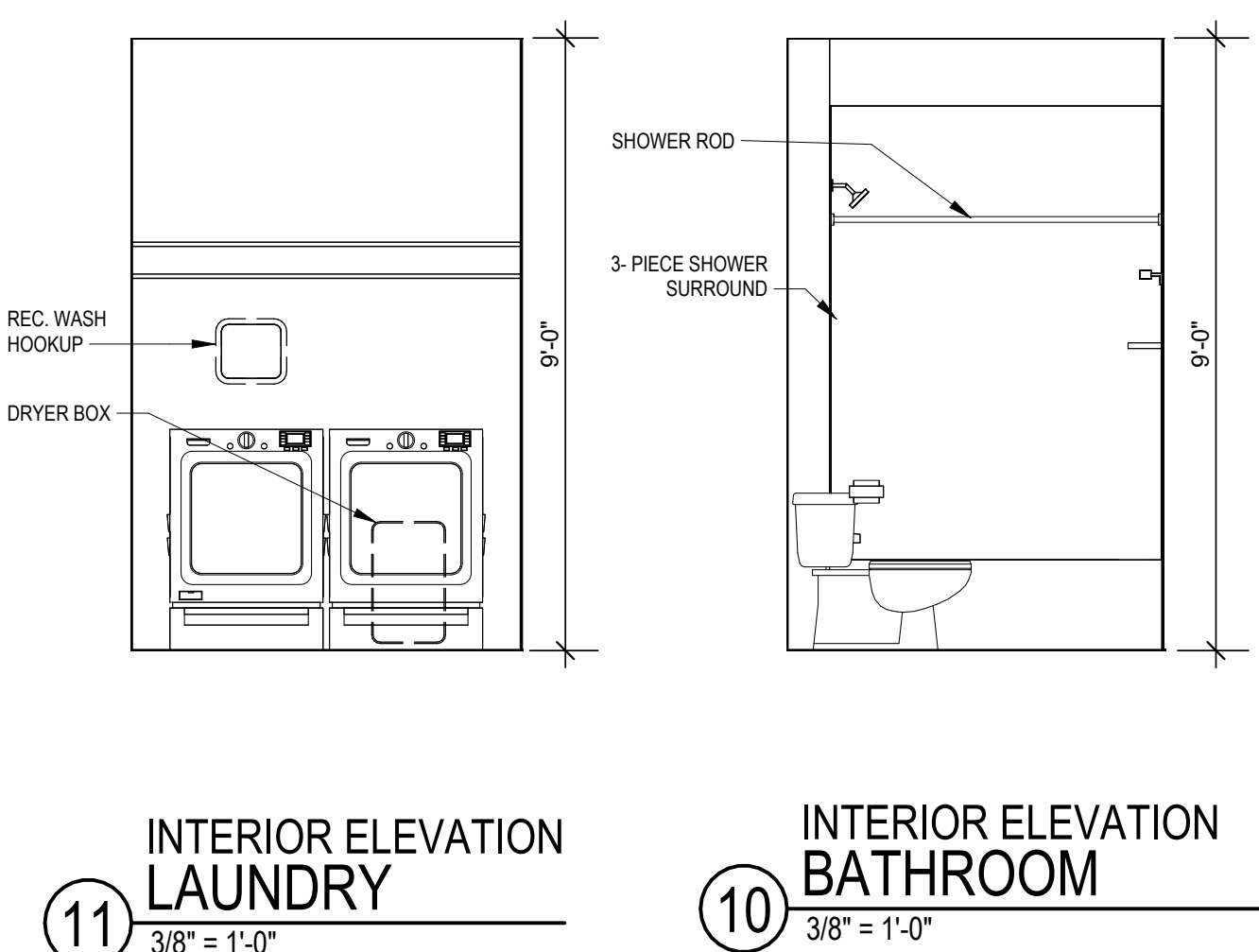
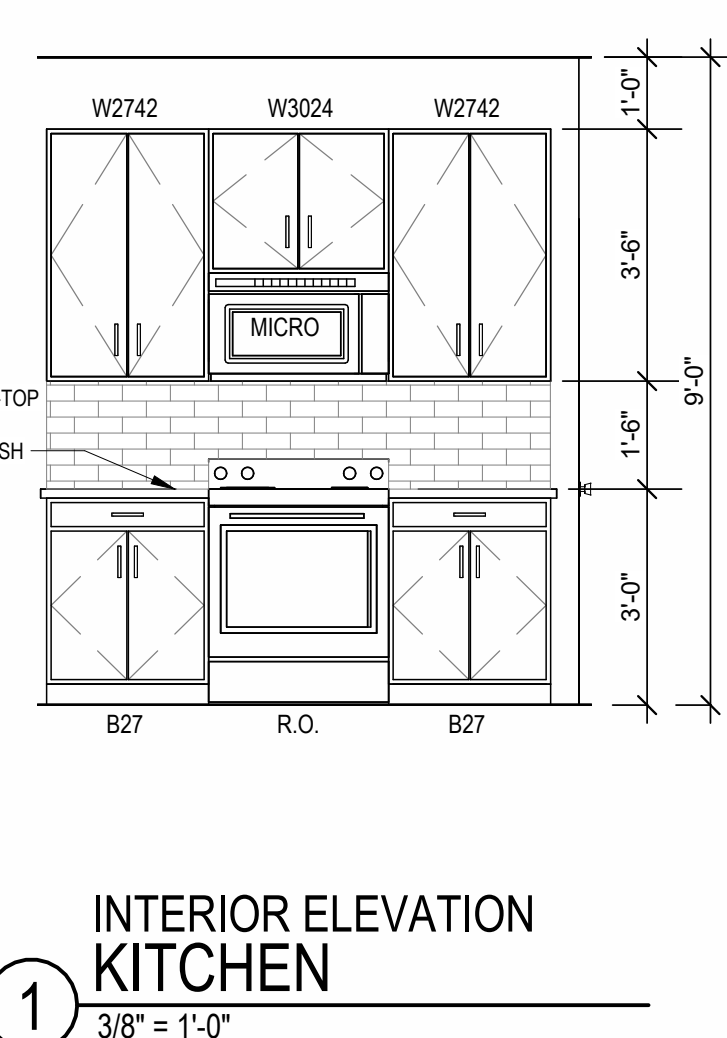
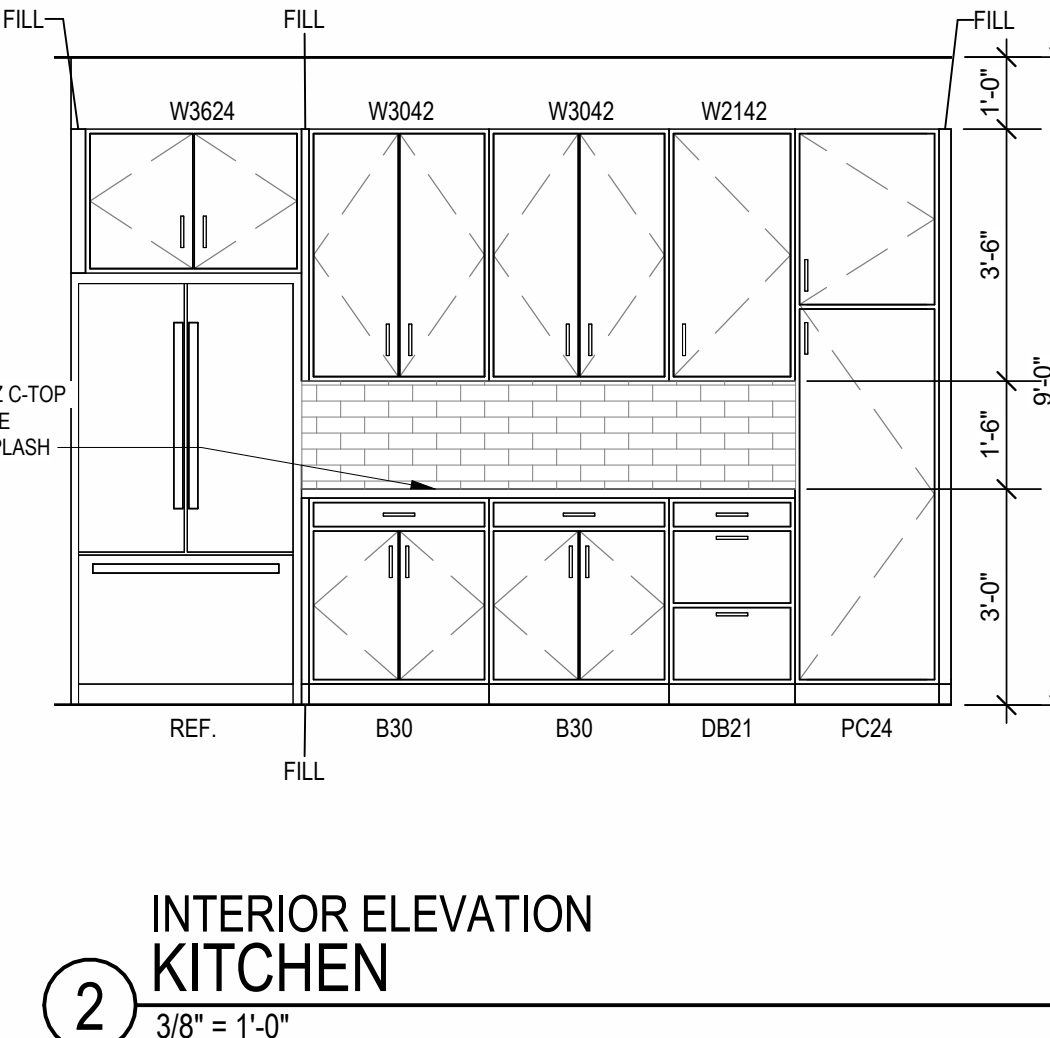
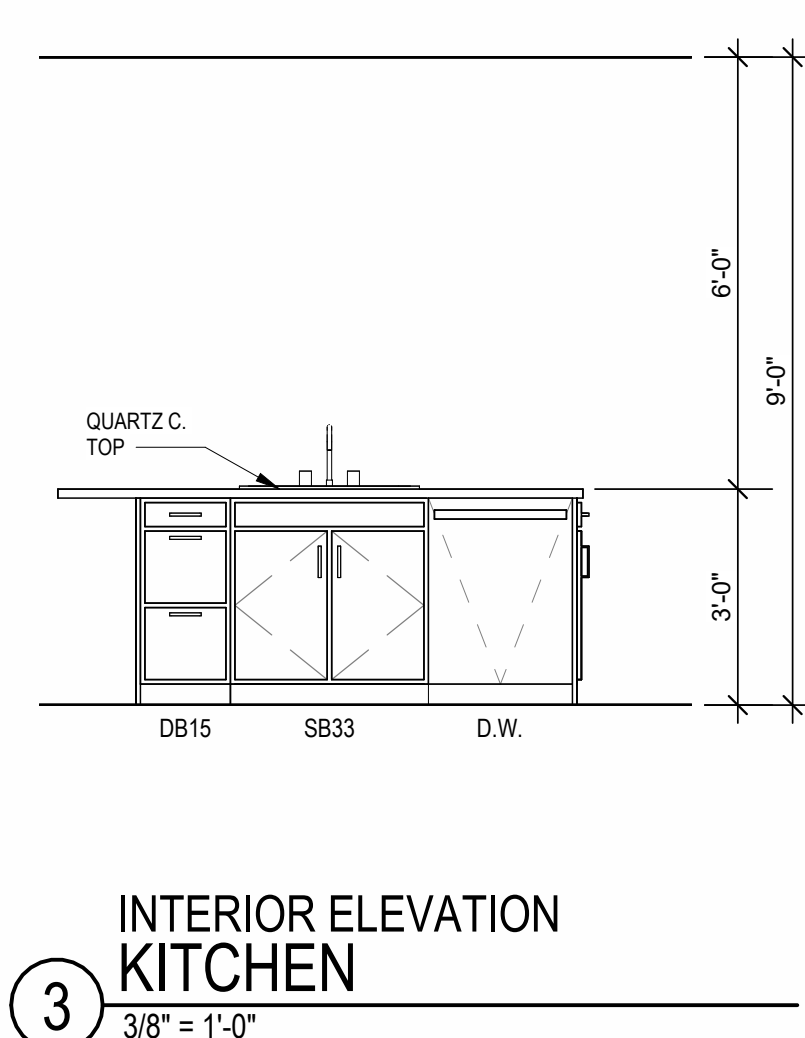
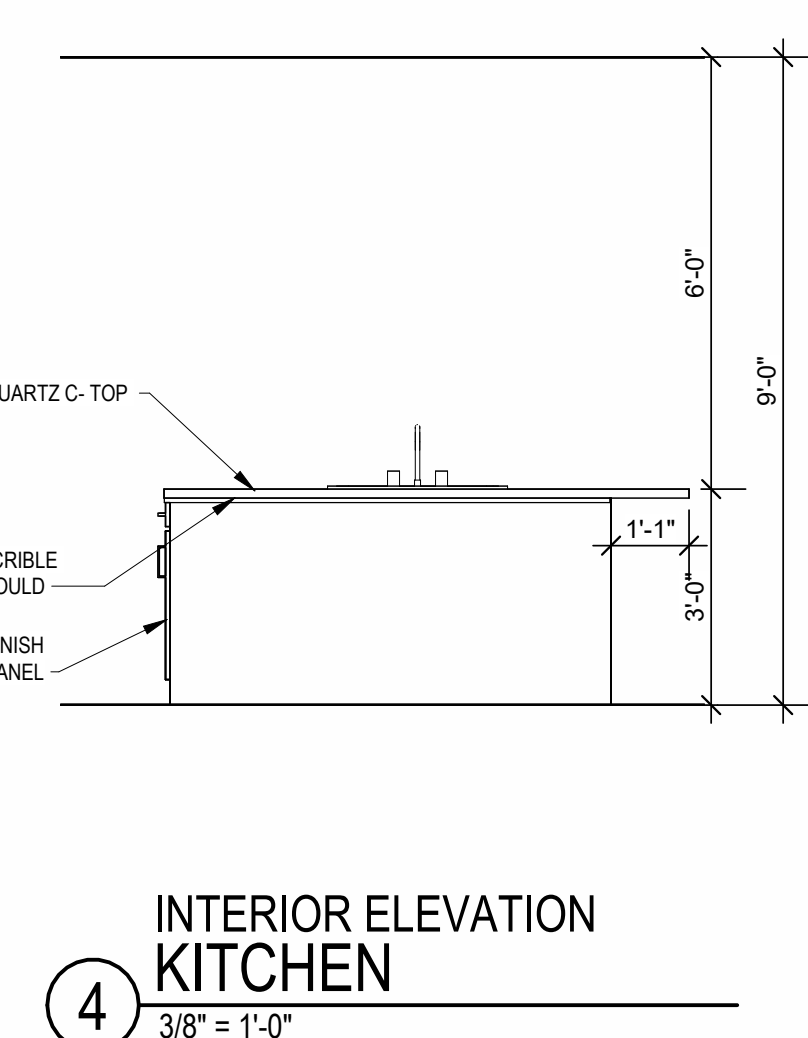
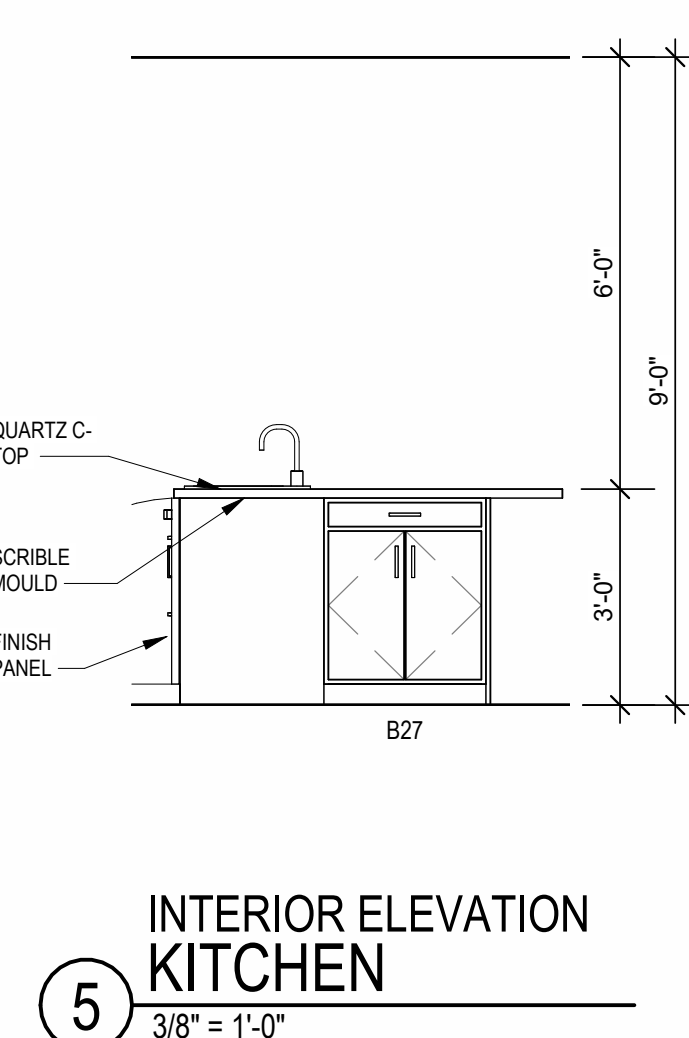
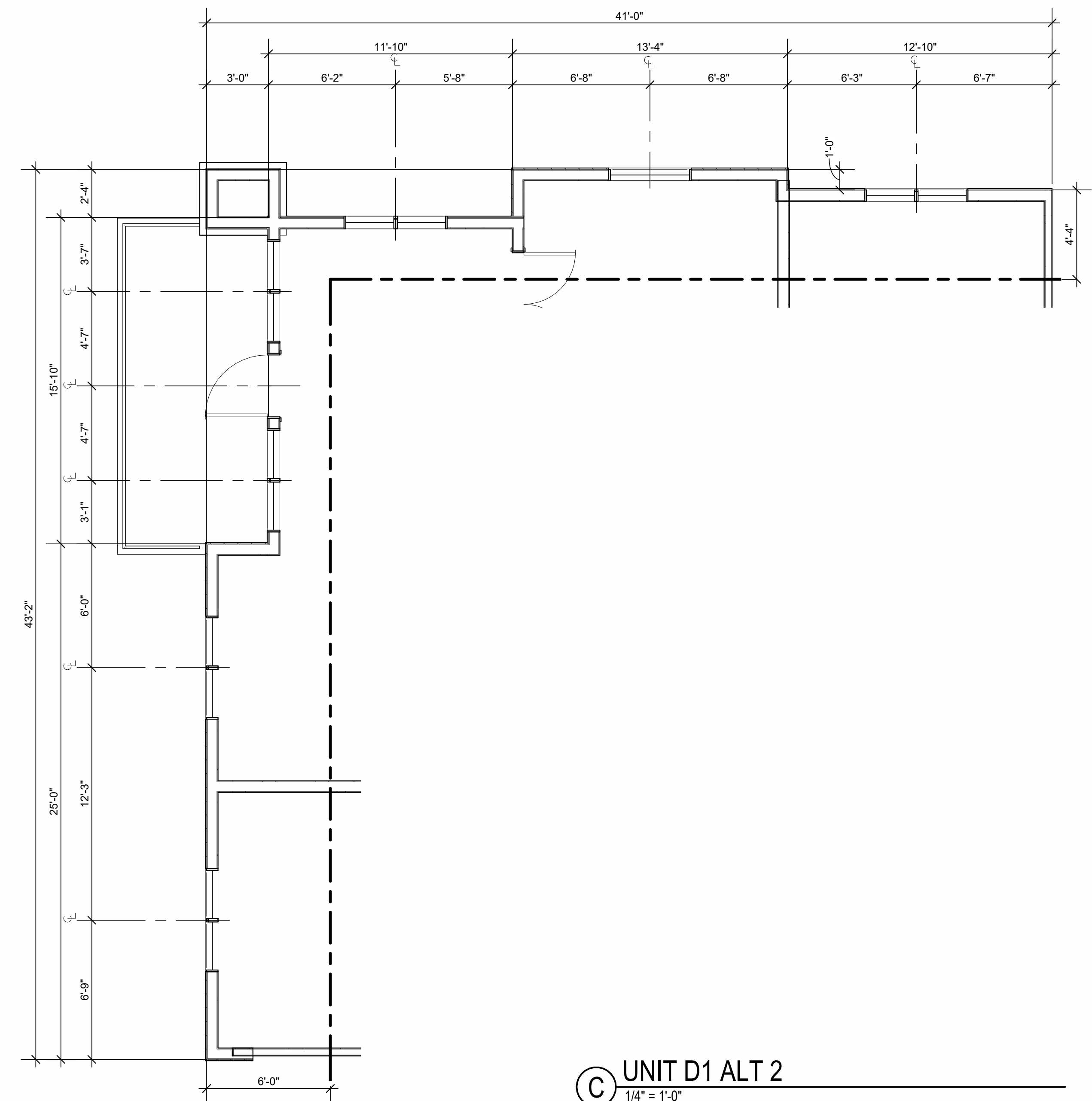
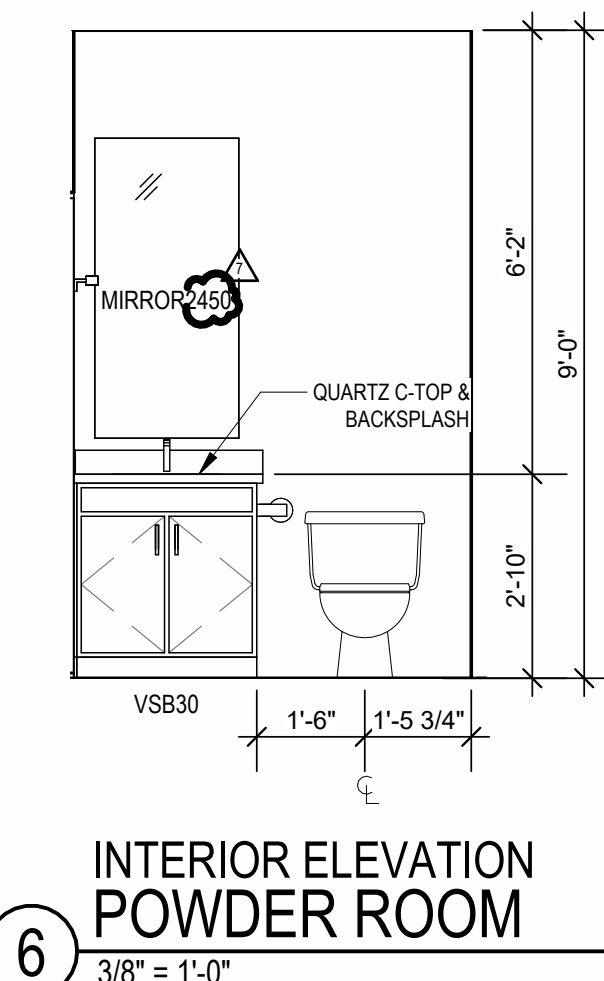
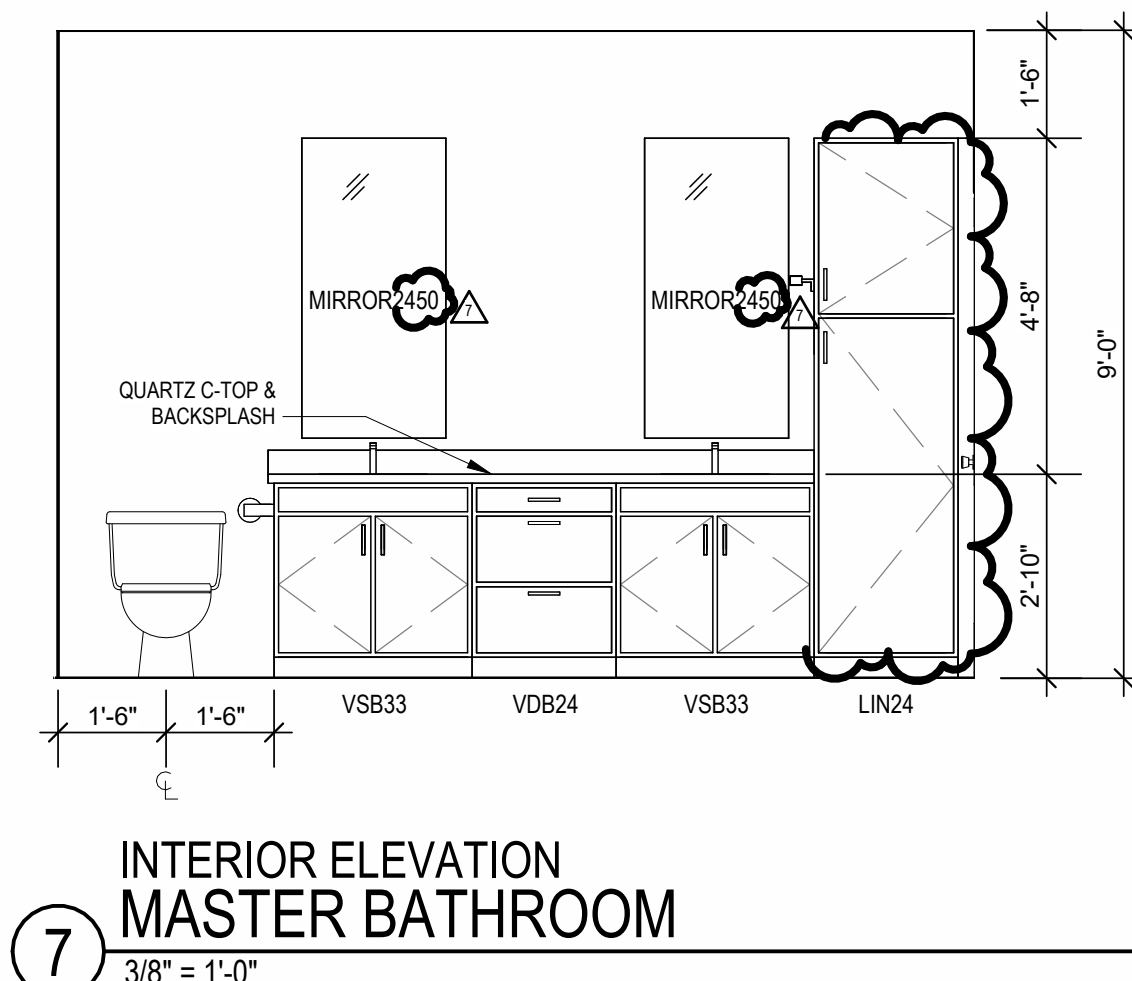
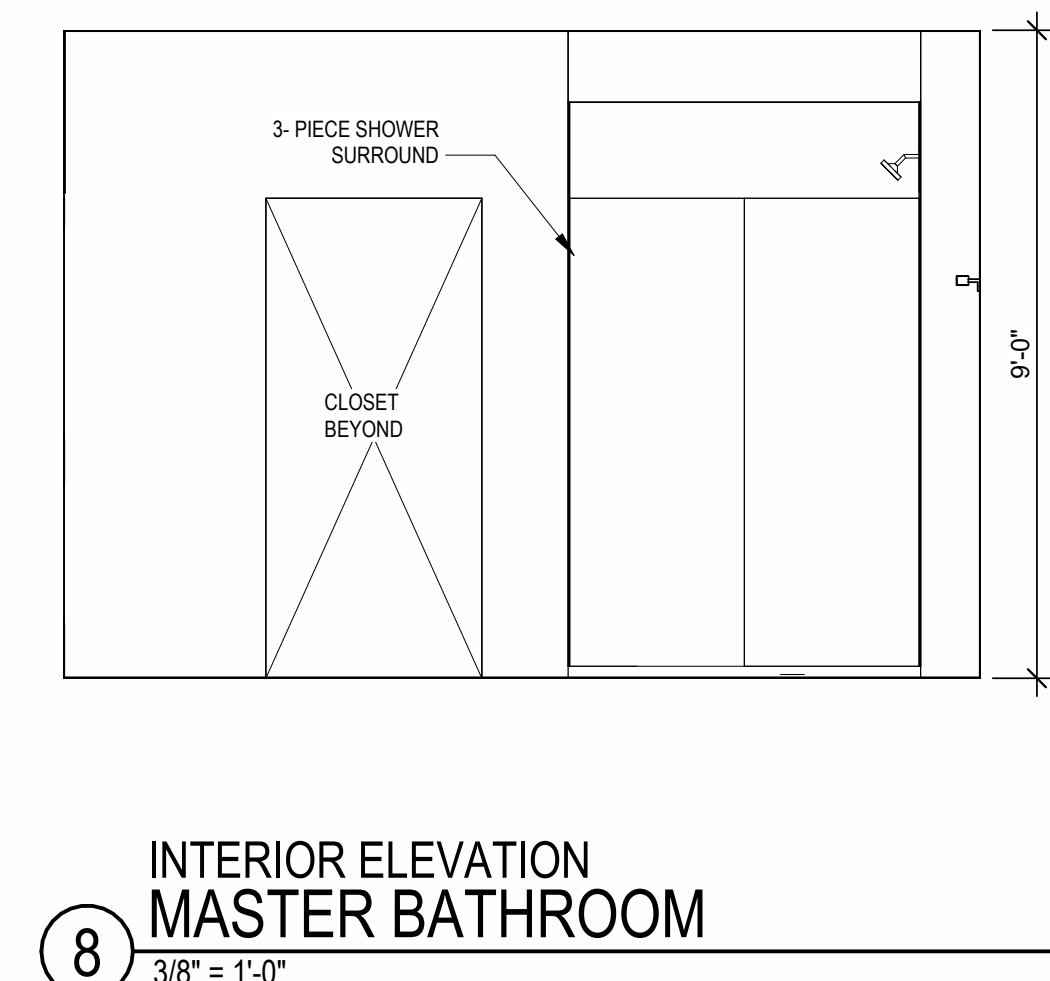
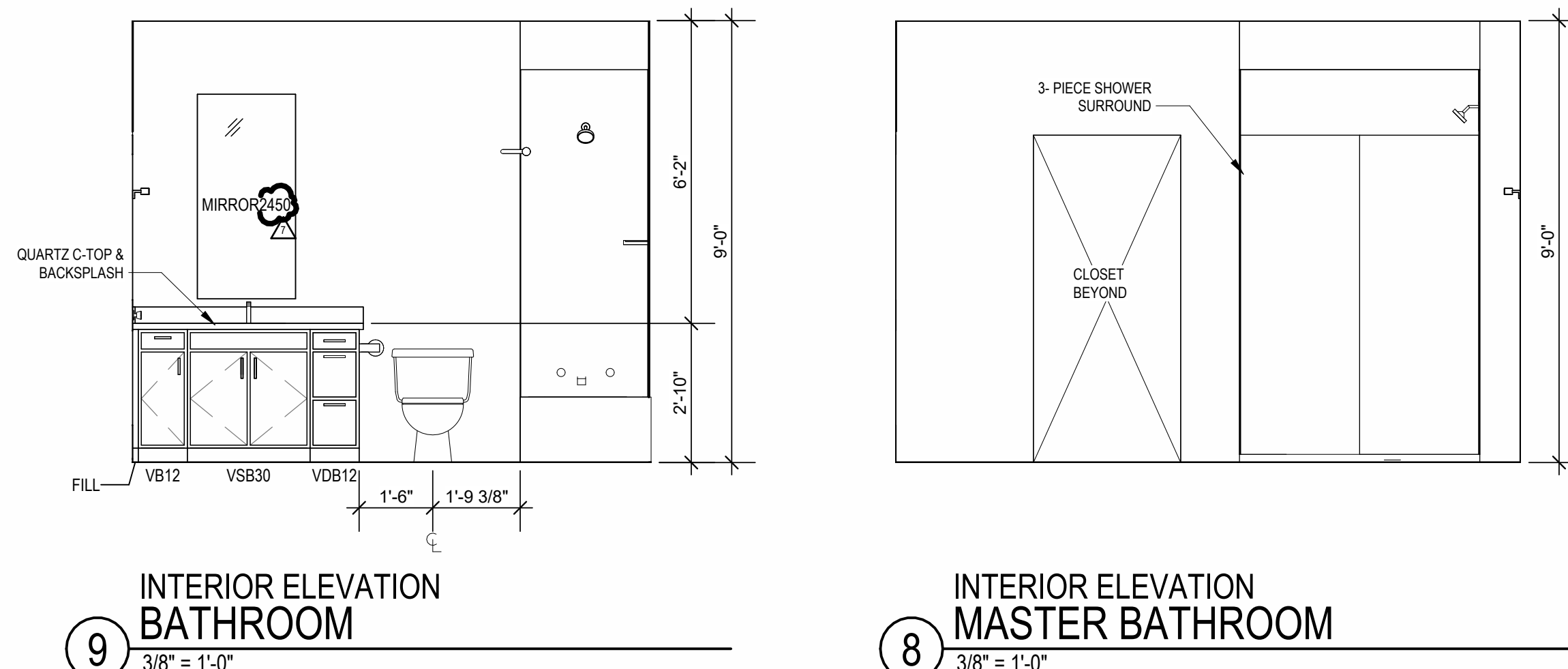
DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS
7 23.06X AS1.3

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME UNIT C4 PLANS
SHEET NO.

DATE 03.15.2023
A1.12

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



- UNIT PLAN GENERAL NOTES:**
1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
 5. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 6. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 7. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 8. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 9. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.16. SEE MECHANICAL PLANS FOR LOCATIONS.
 10. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
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 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENCIES AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
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 14. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 16. ALL WINDOWS TO RECEIVE 54X STUOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 17. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 18. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
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A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG

03.15.2023 - PERMIT SUBMITTAL

REVISIONS

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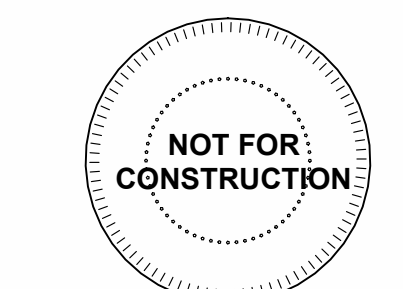
JOB NO. 705921
DATE 03.15.2023
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME ASI #1
UNIT D1 PLANS

SHEET NO.

A1.13

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
P. 913.8311
F. 913.8311
NSPIARCHITECTS
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NSPJ ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

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17. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.

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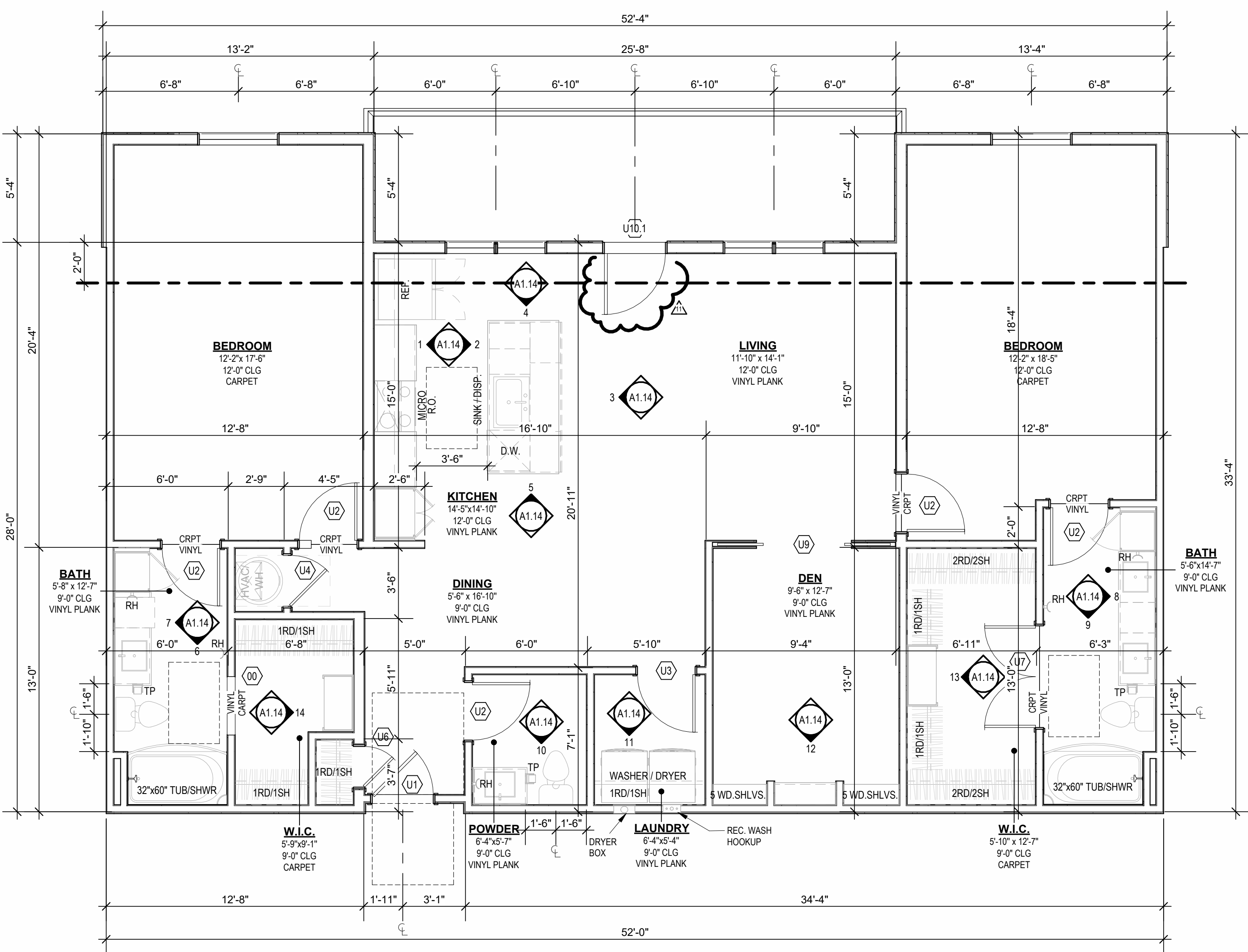
19. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.

20. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.

21. ALL PLUMBING PENETRATIONS TO RECEIVE ESOUTCHEON TRIM RINGS TO MATCH ADJACENT FINISHES.

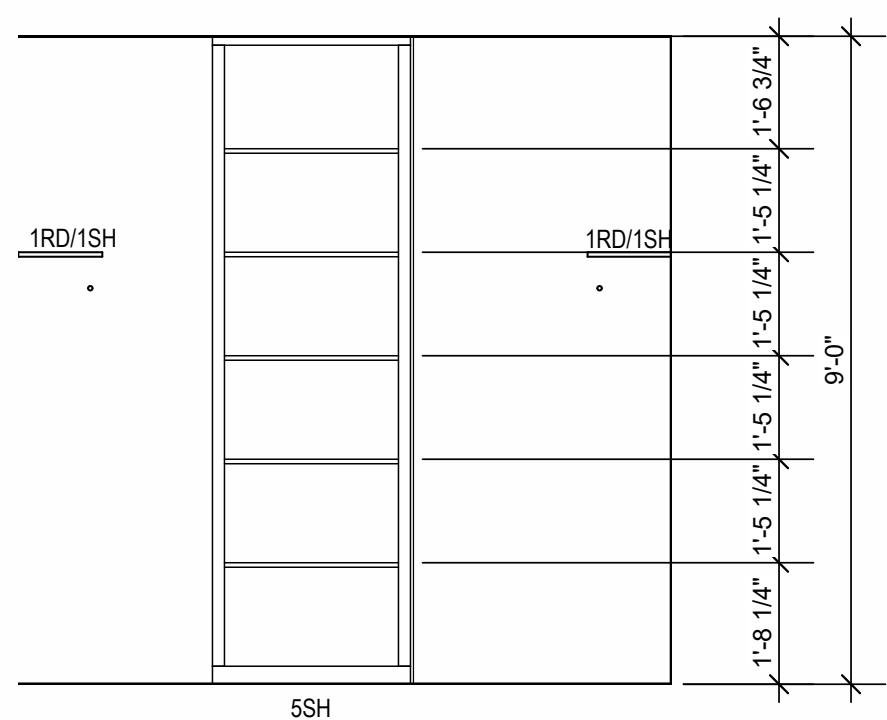
22. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK. U.N.G.

23.

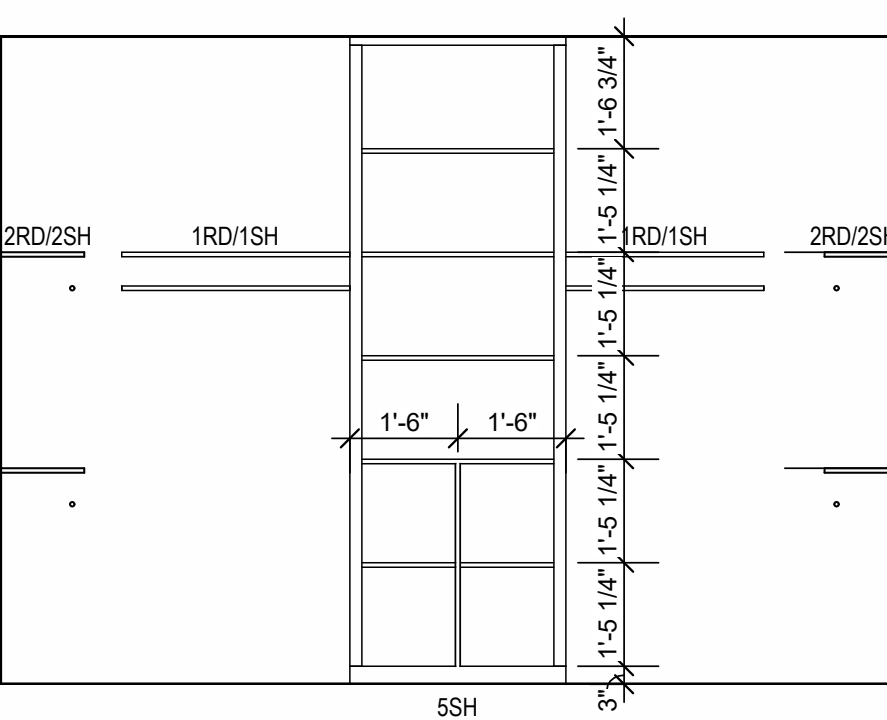


B PENTHOUSE - RCP
1/4" = 1'-0"

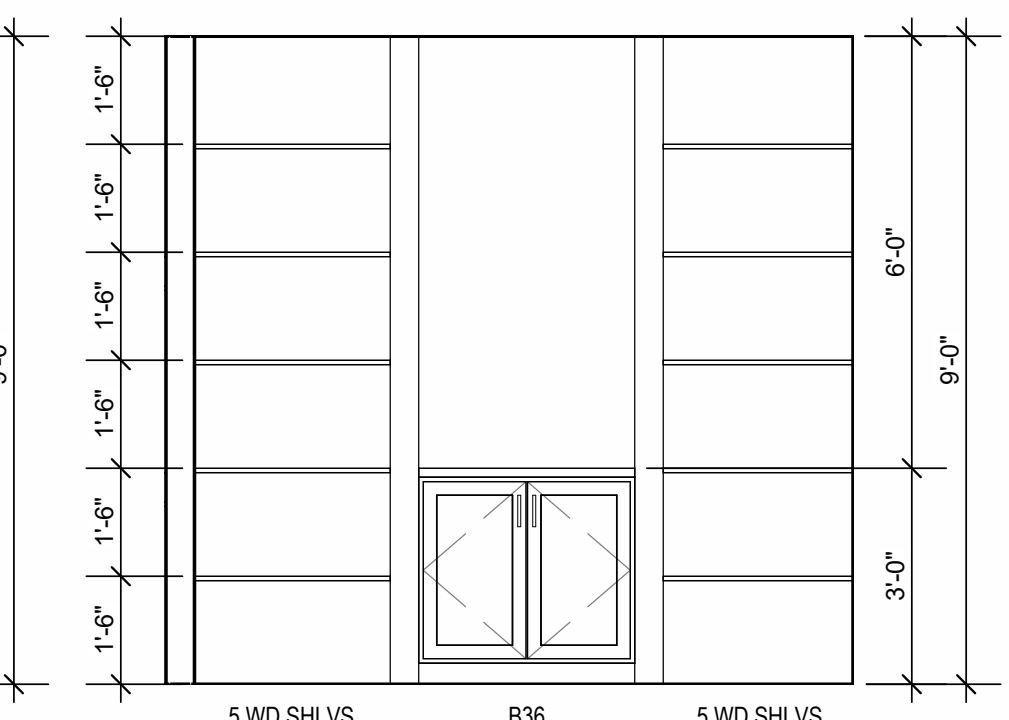
A PENTHOUSE
1/4" = 1'-0"



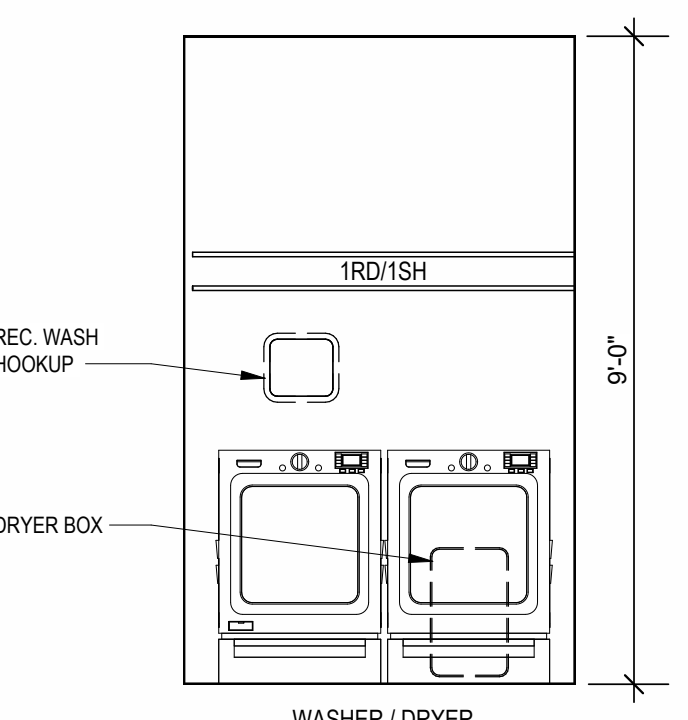
14 INTERIOR ELEVATION
W.I.C.
3/8" = 1'-0"



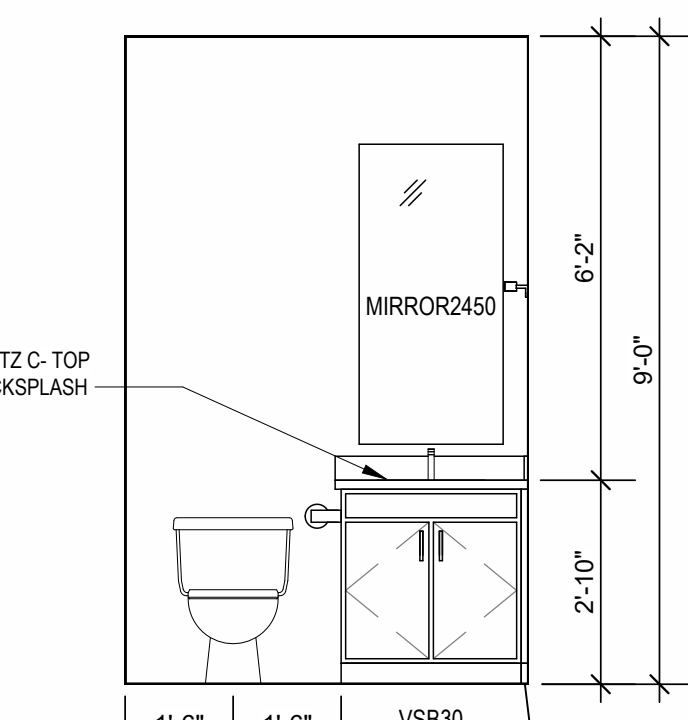
13 INTERIOR ELEVATION
W.I.C.
3/8" = 1'-0"



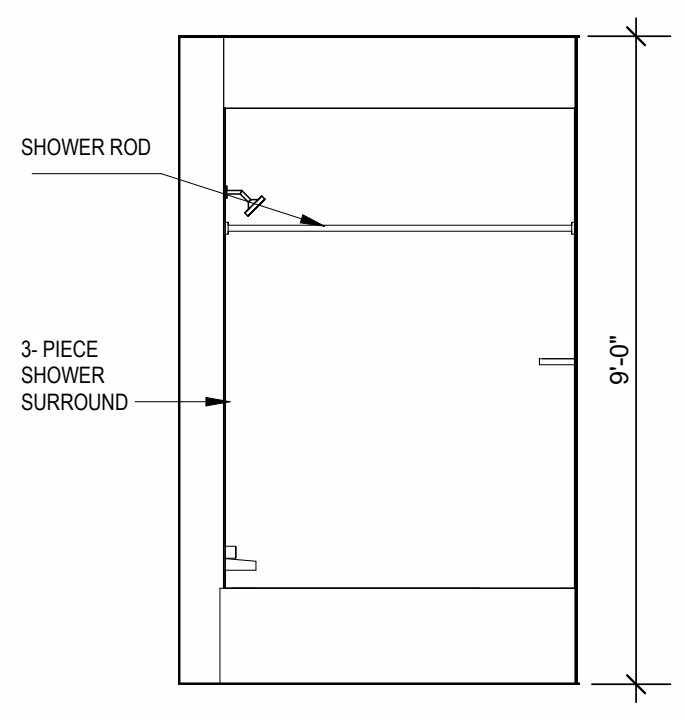
12 INTERIOR ELEVATION
DEN
3/8" = 1'-0"



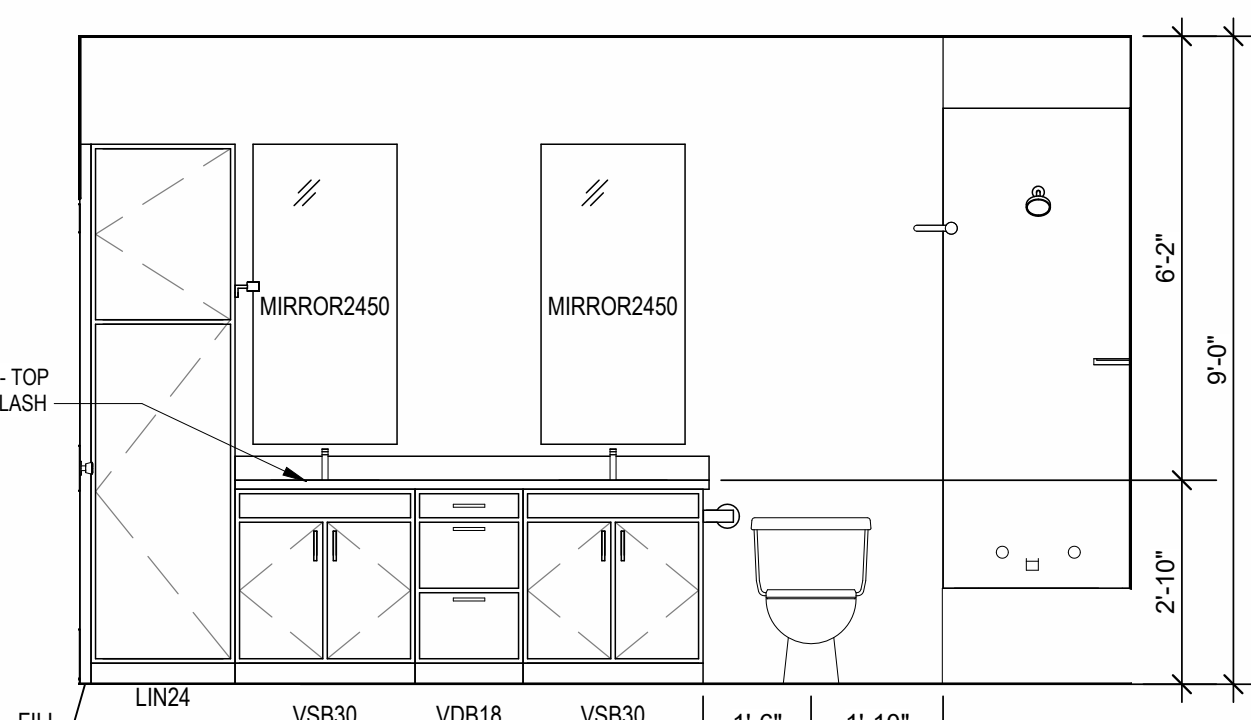
11 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



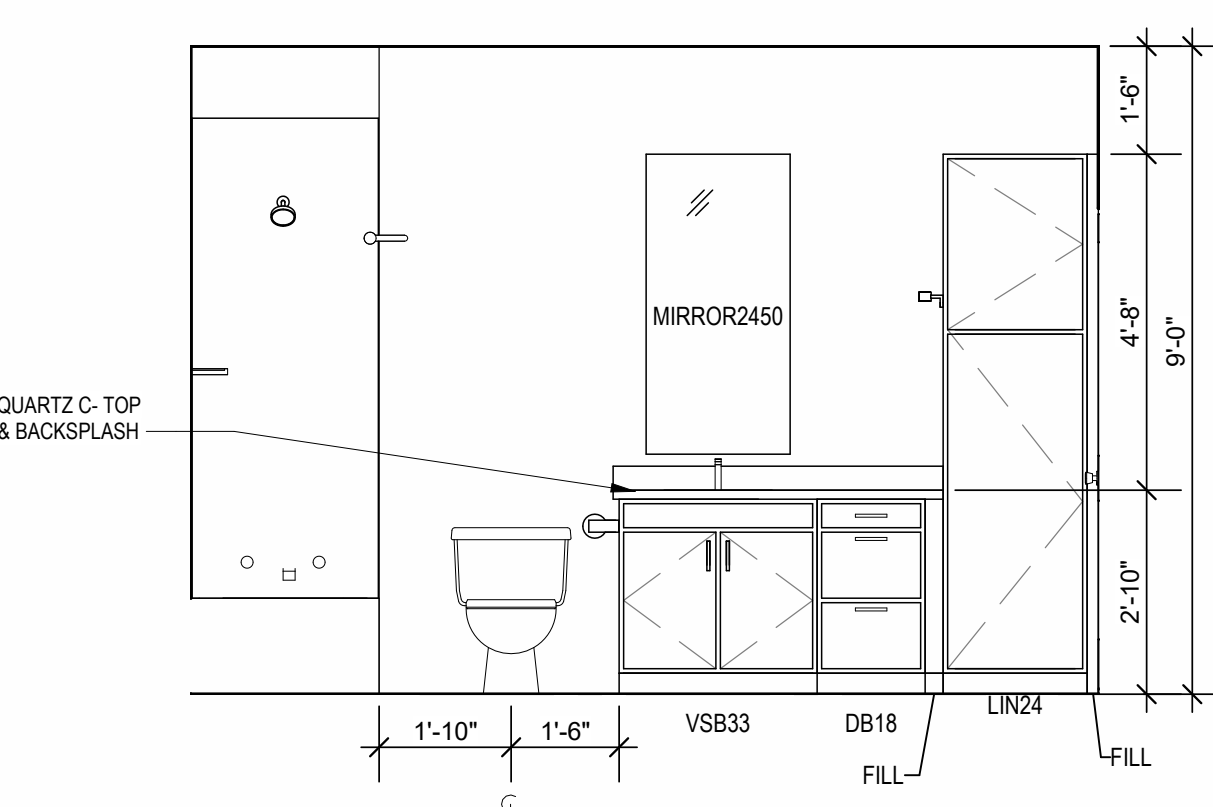
10 INTERIOR ELEVATION
POWDER ROOM
3/8" = 1'-0"



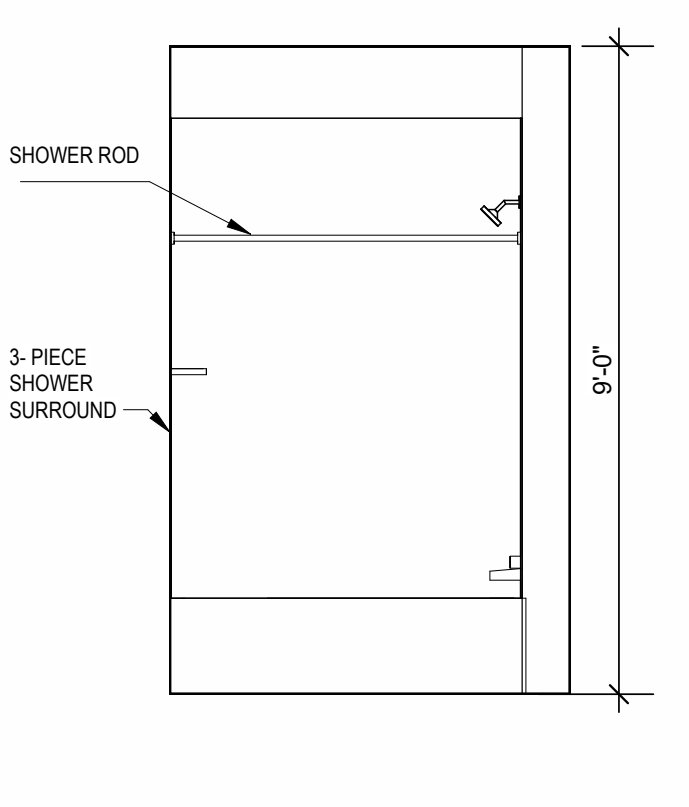
9 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



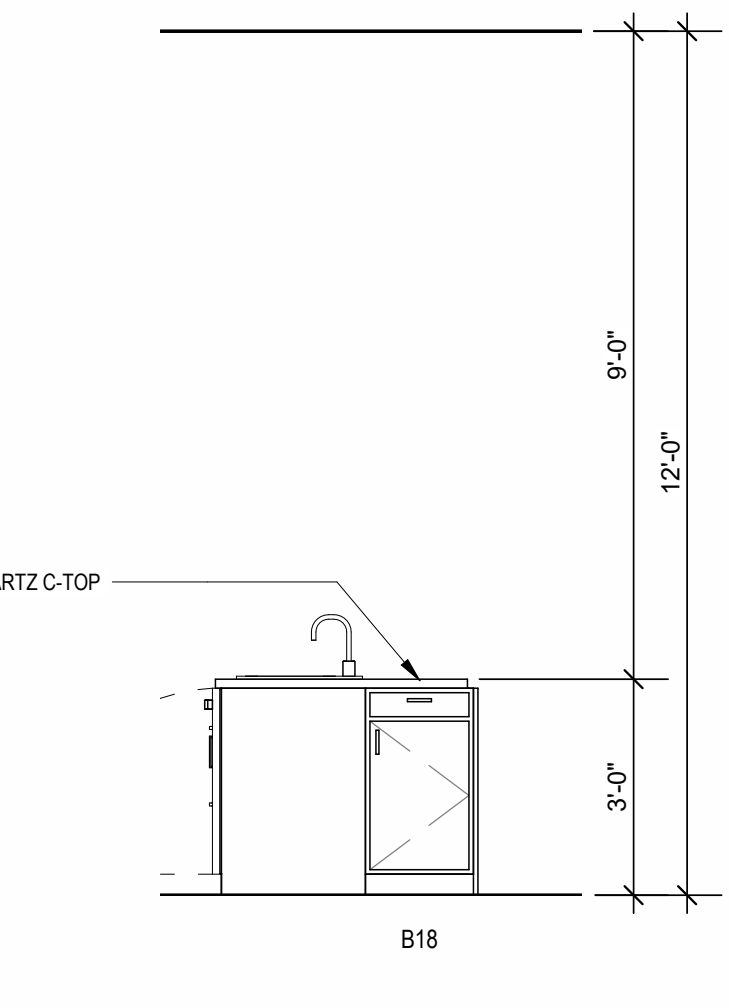
8 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



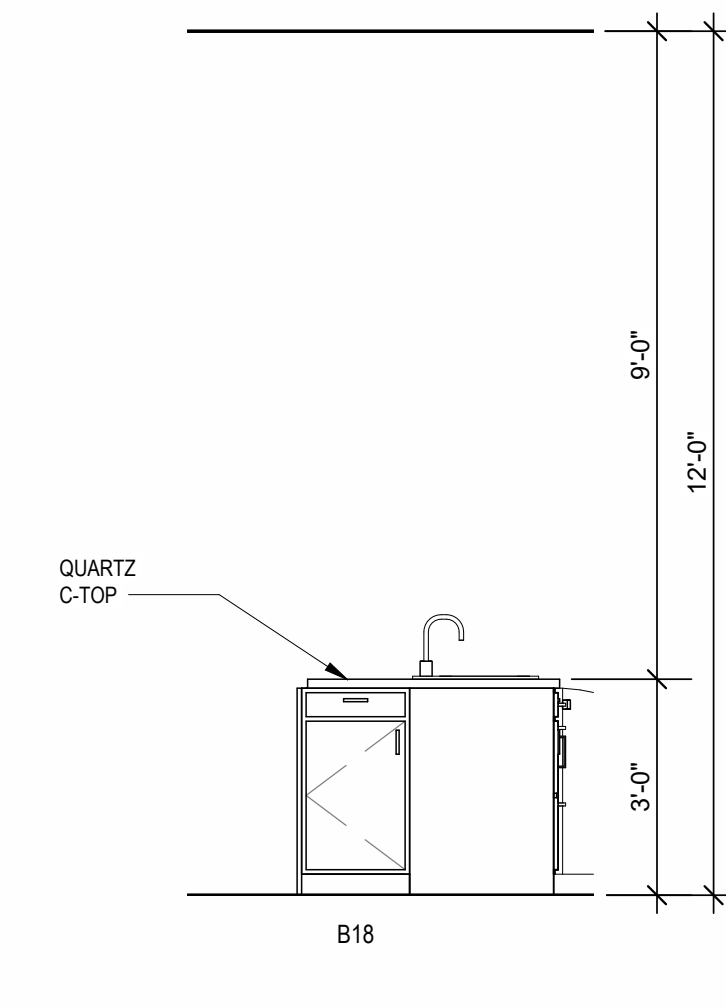
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



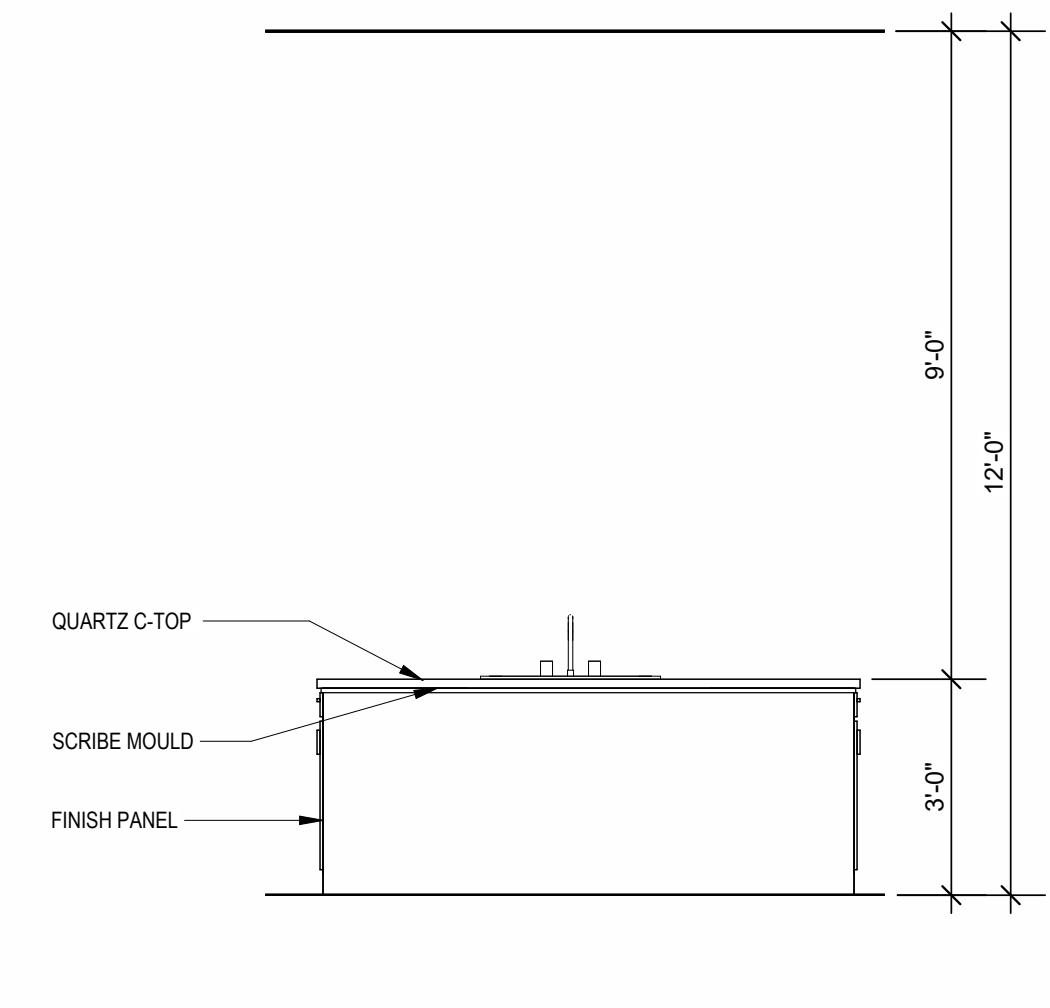
6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



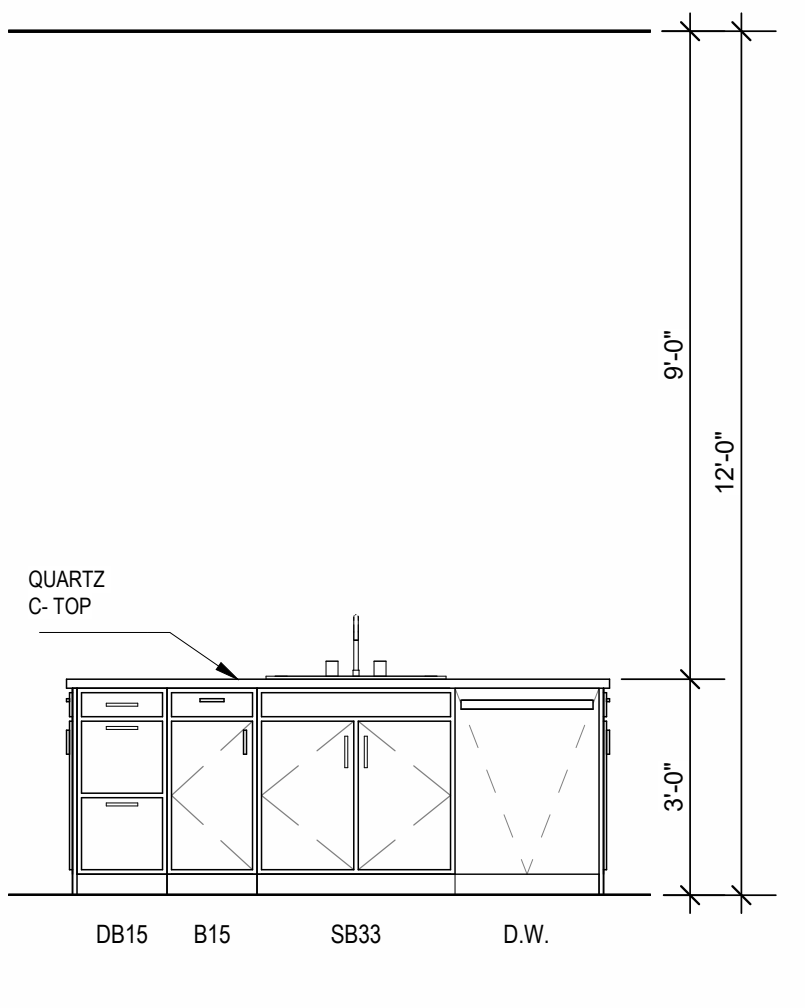
5 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



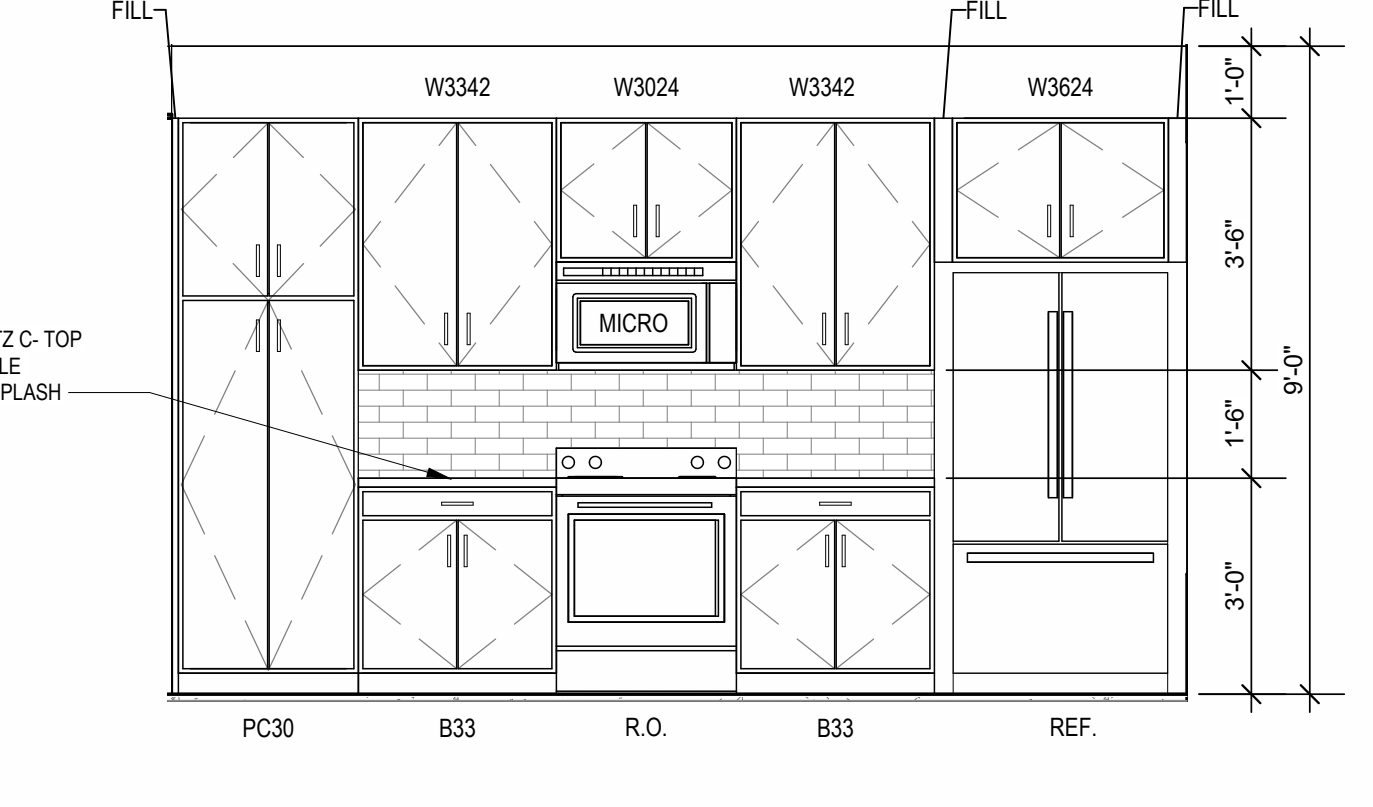
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

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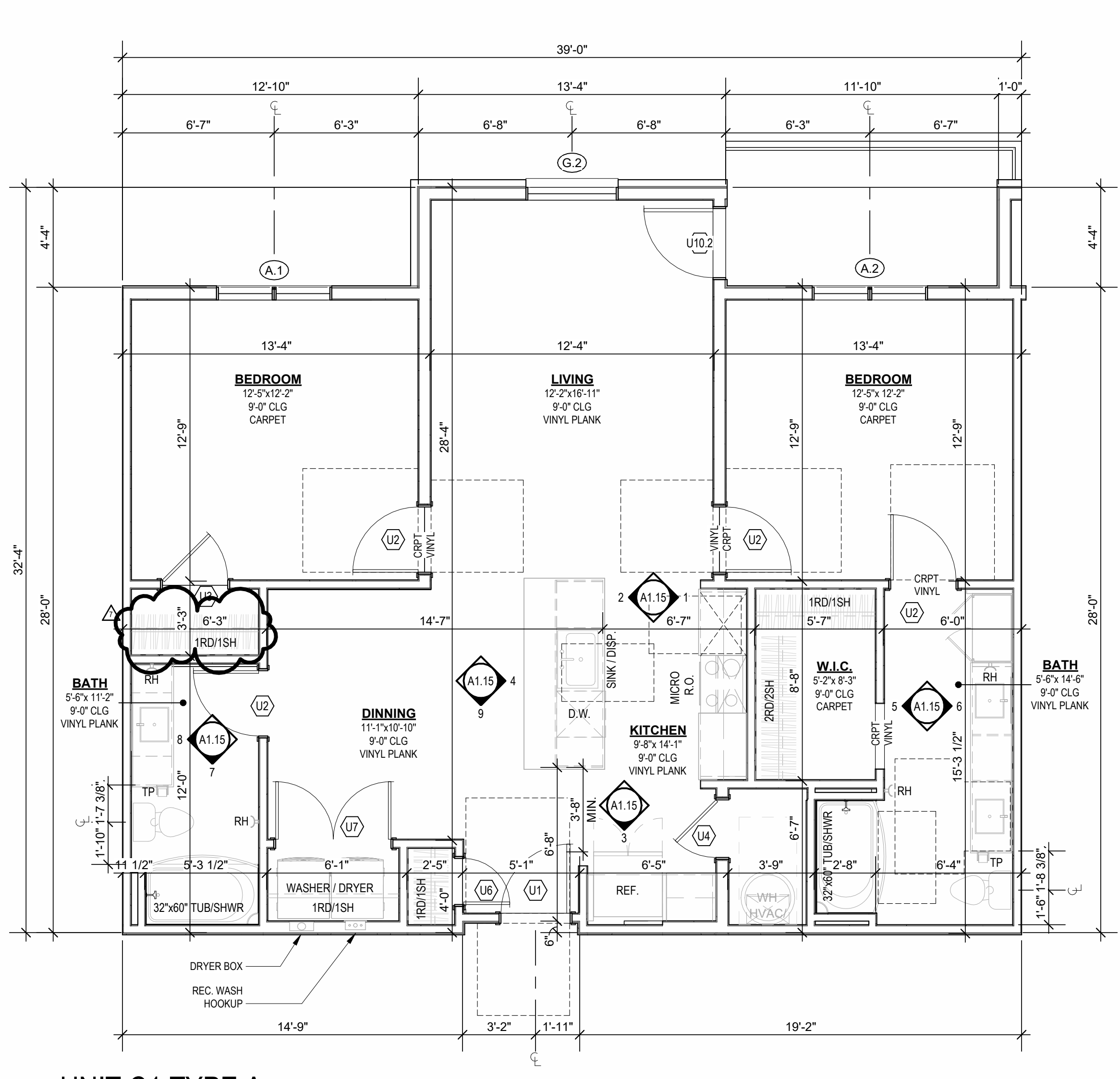
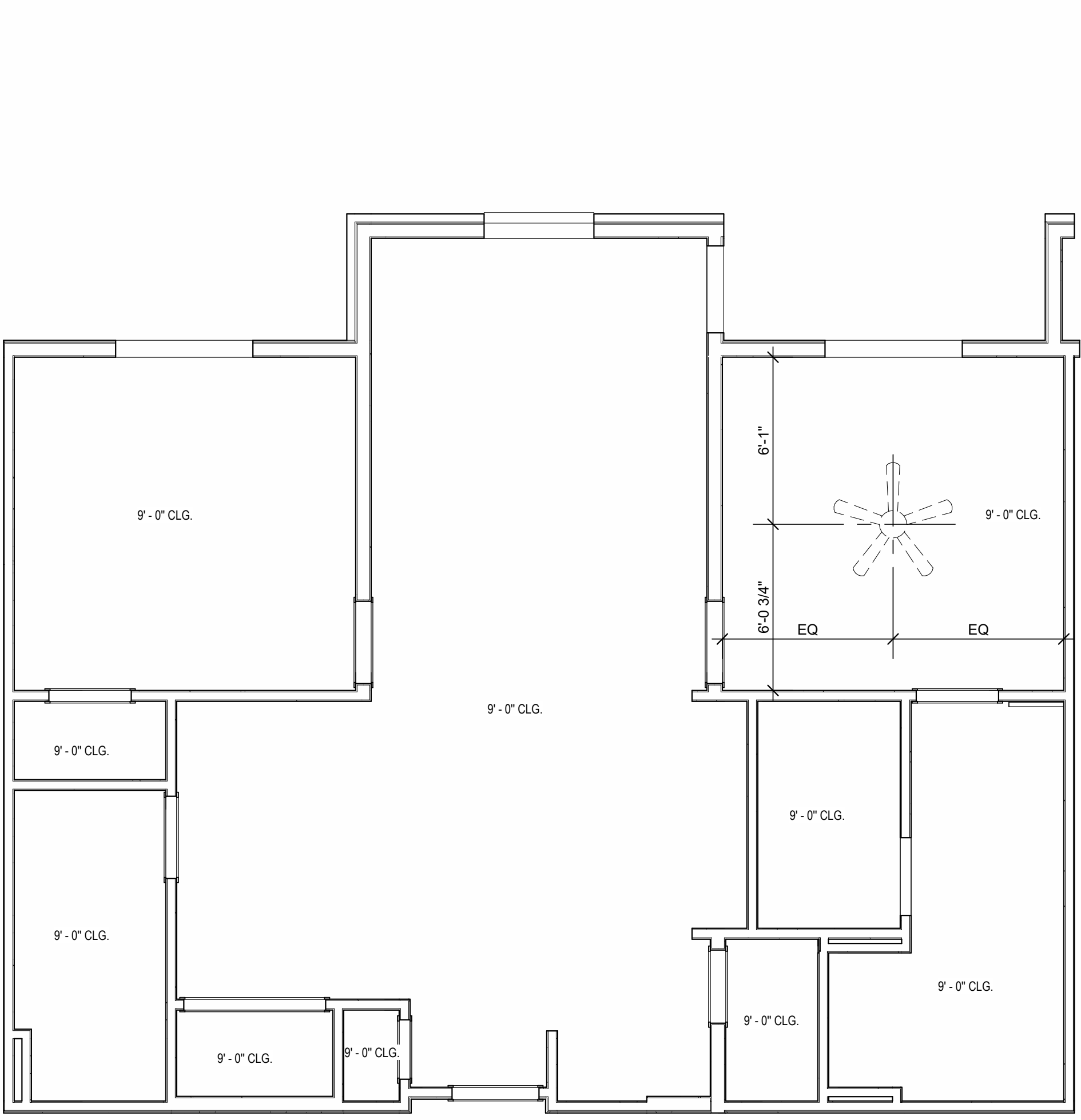
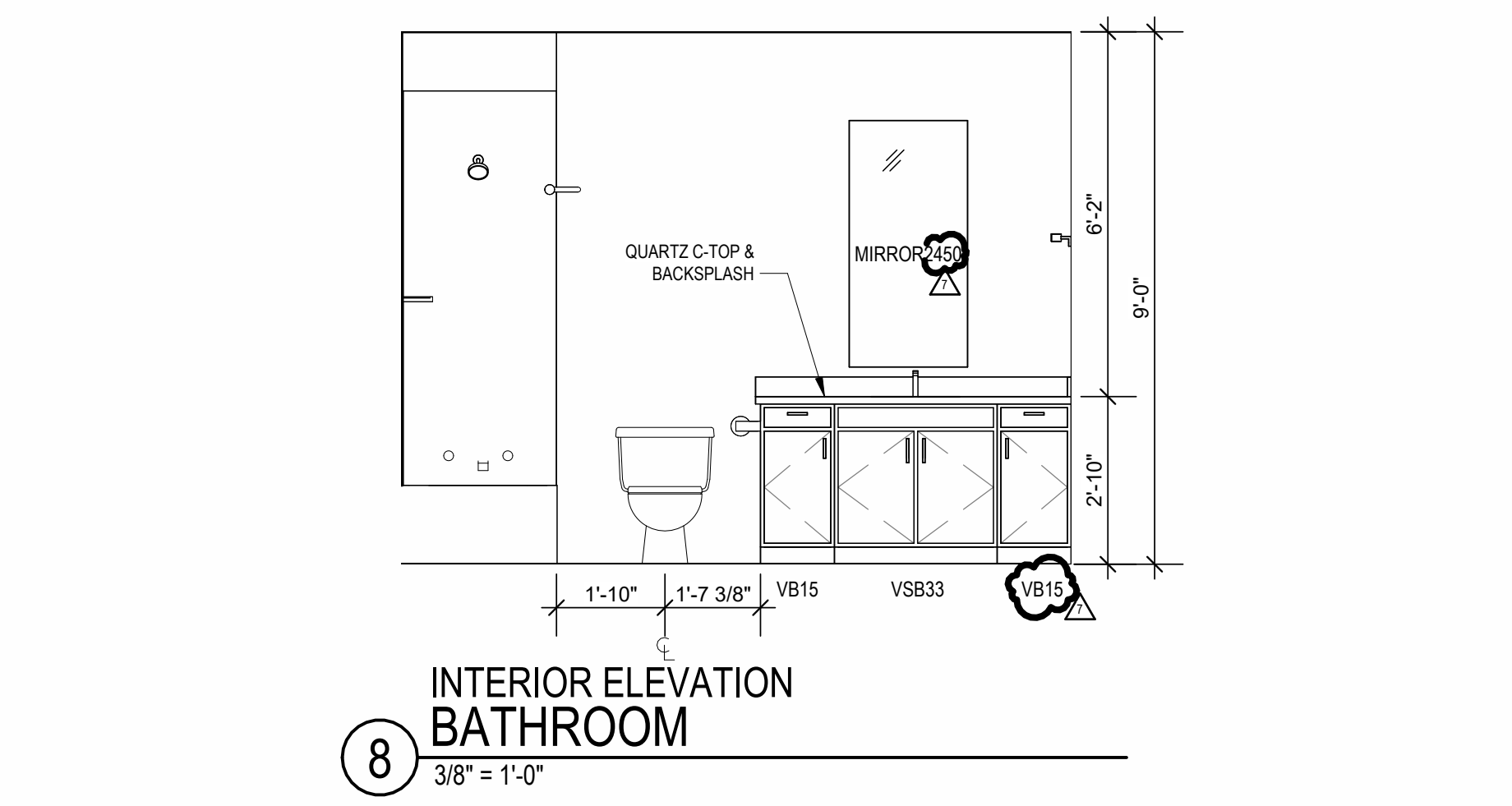
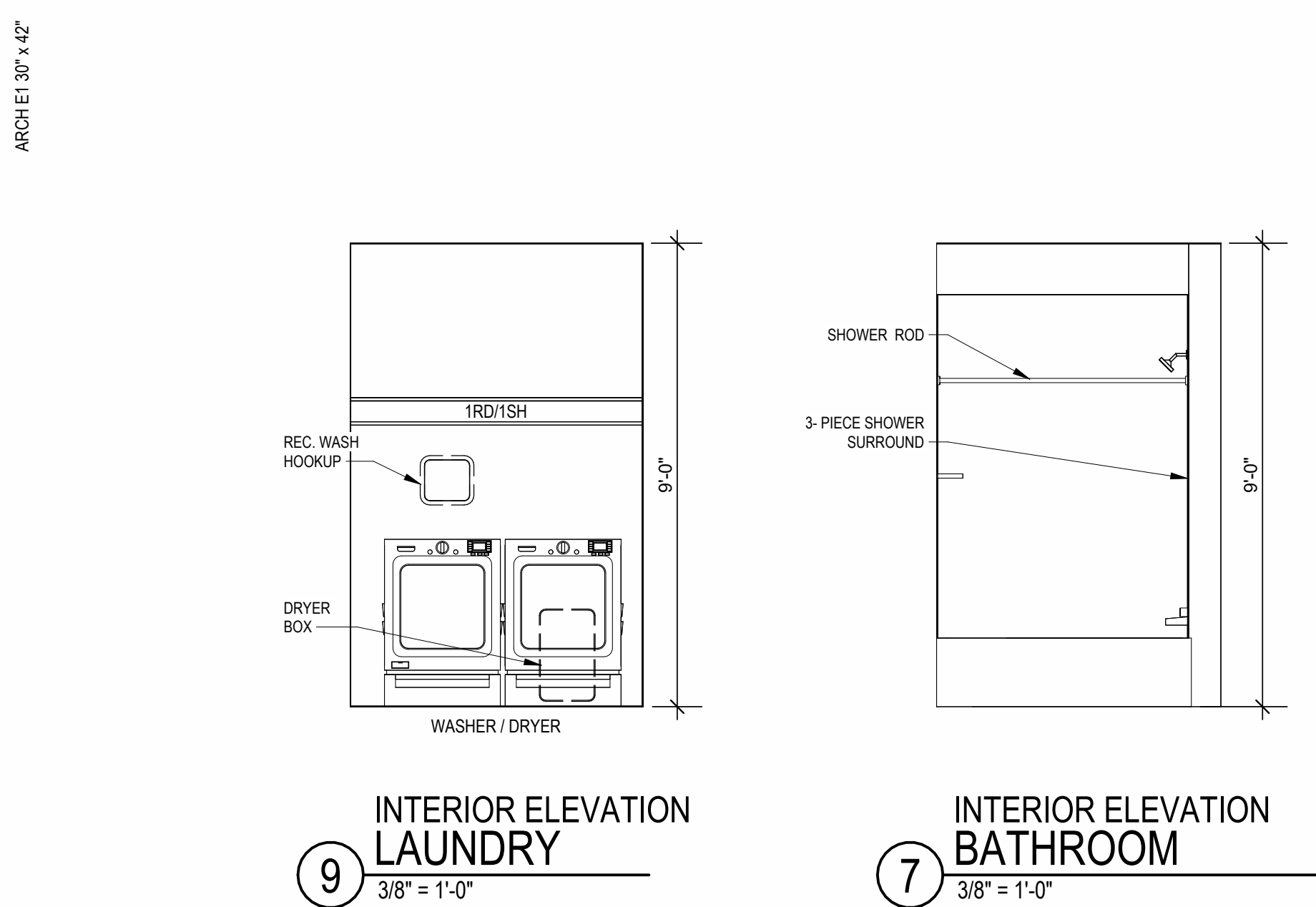
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| 7 | 23.07.14 | AS3 |
| 11 | 23.11.03 | AS17 |

JOB NO.
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SHEET NAME
UNIT PH PLANS

SHEET NO.

A1.14

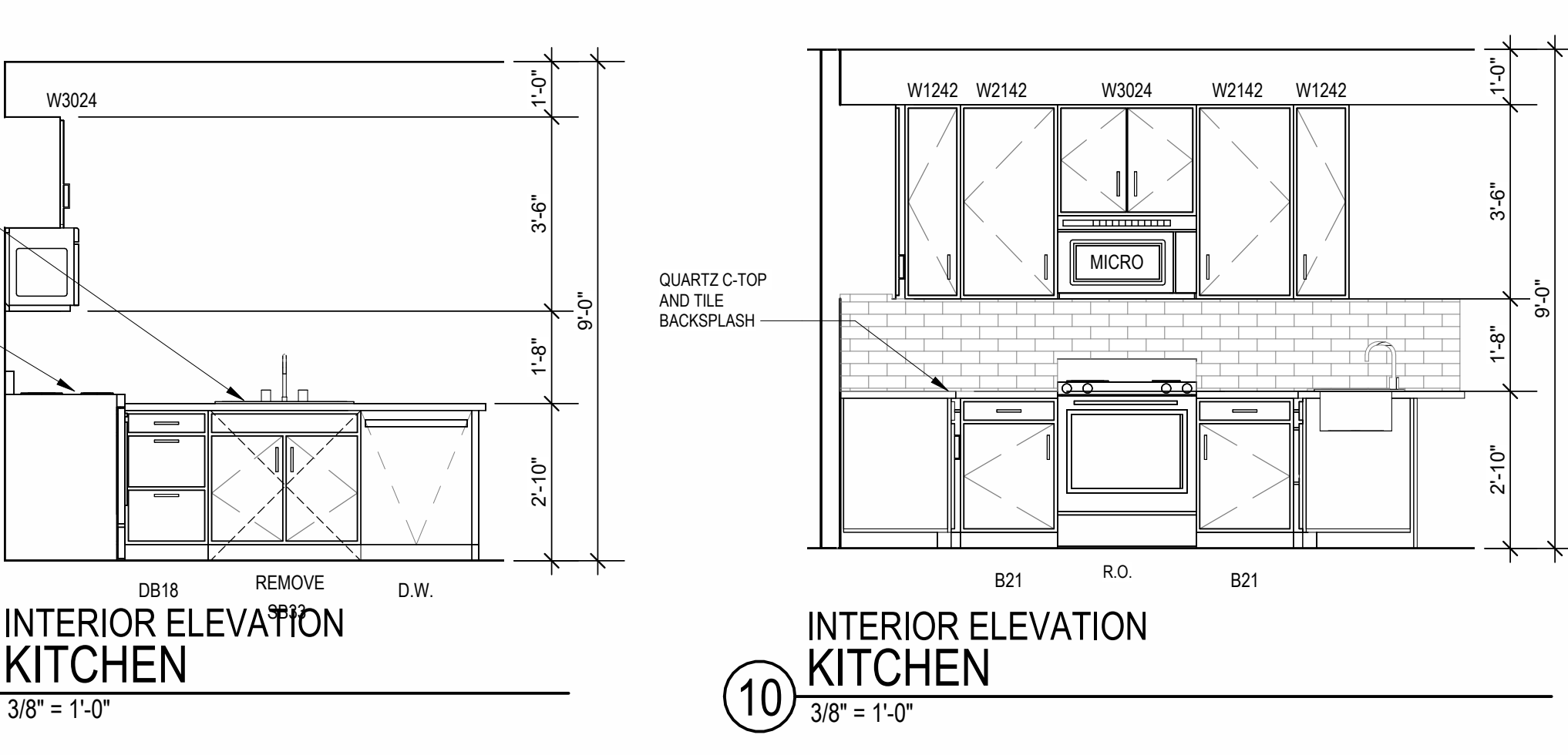
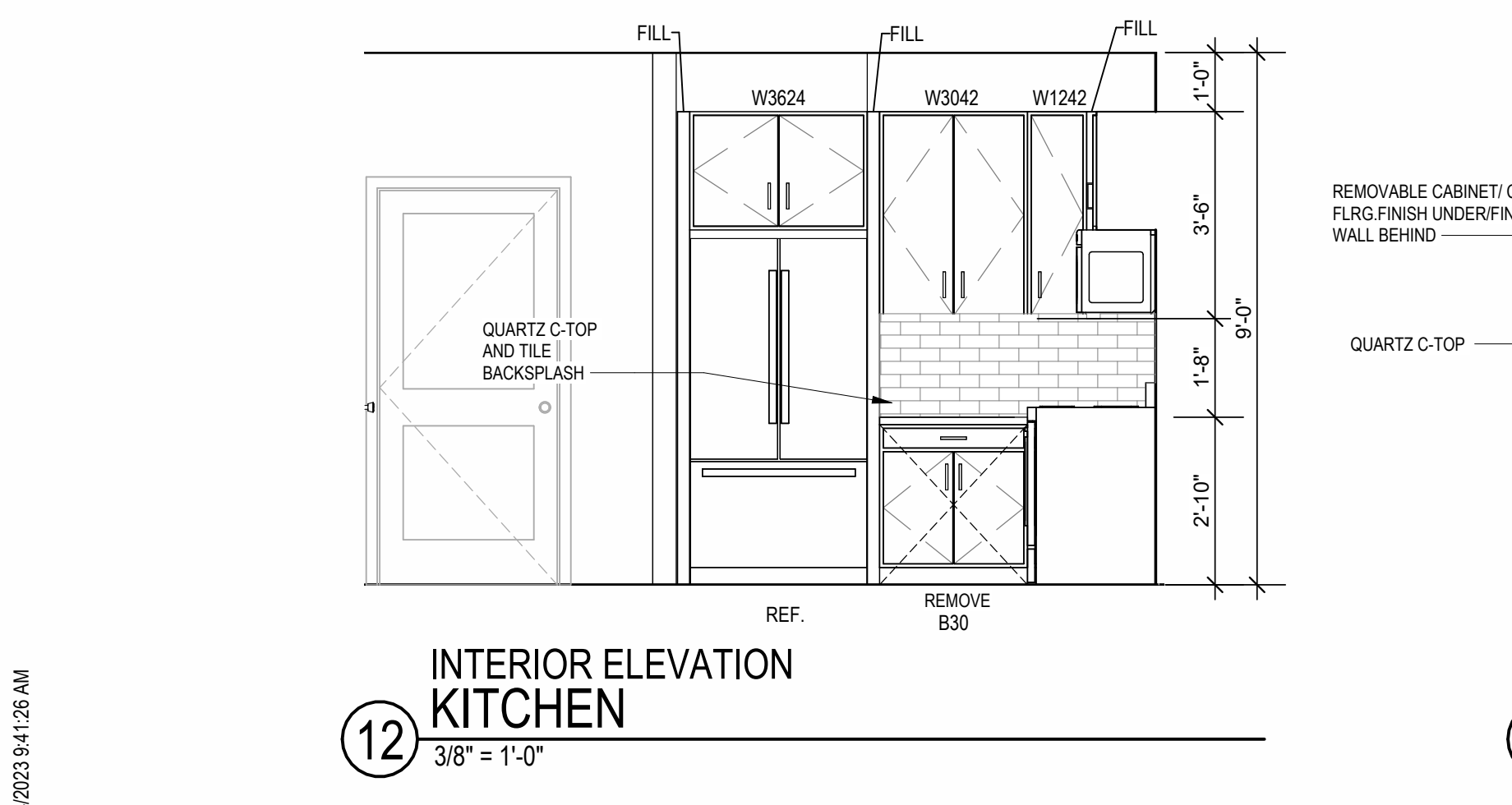
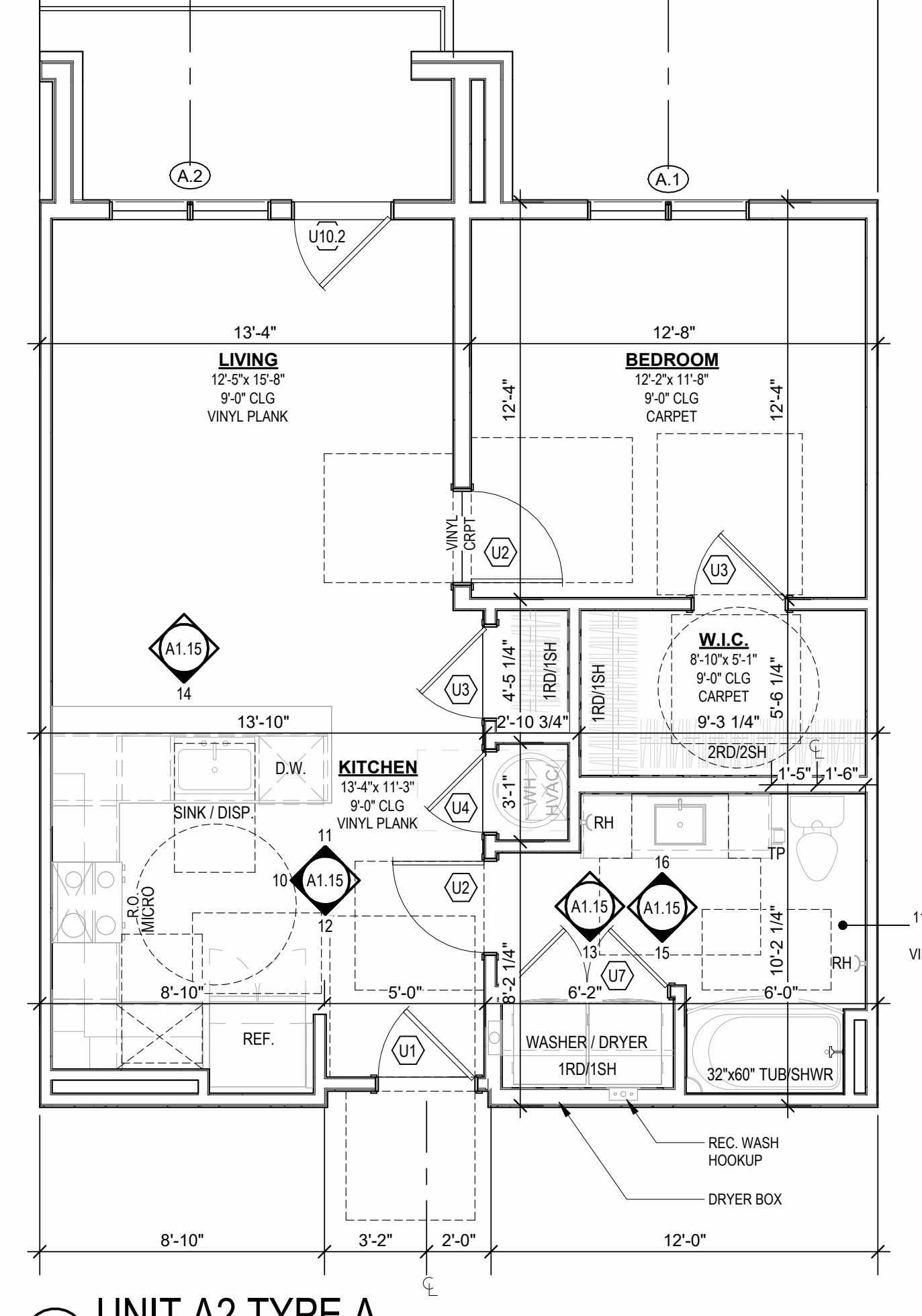
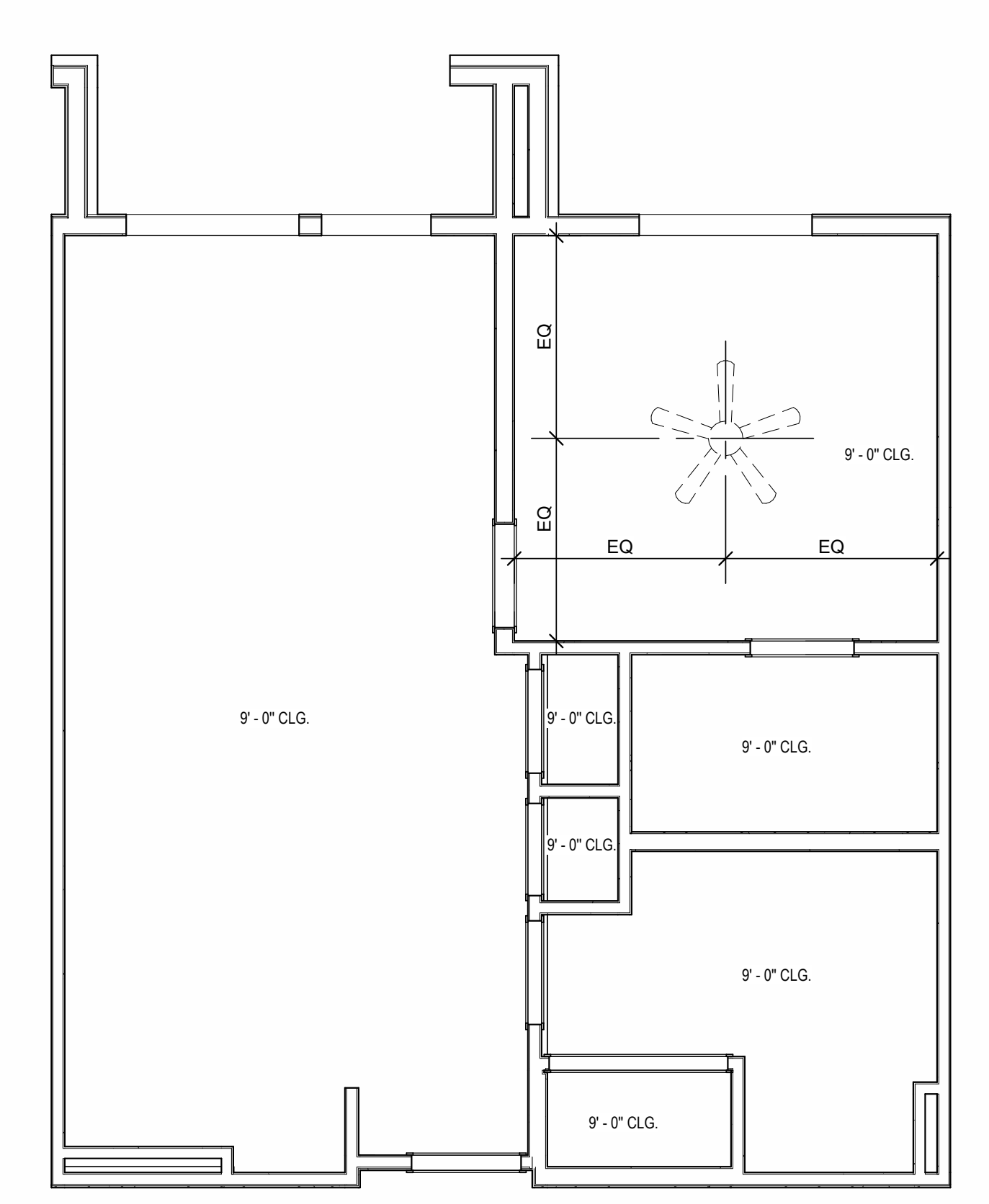
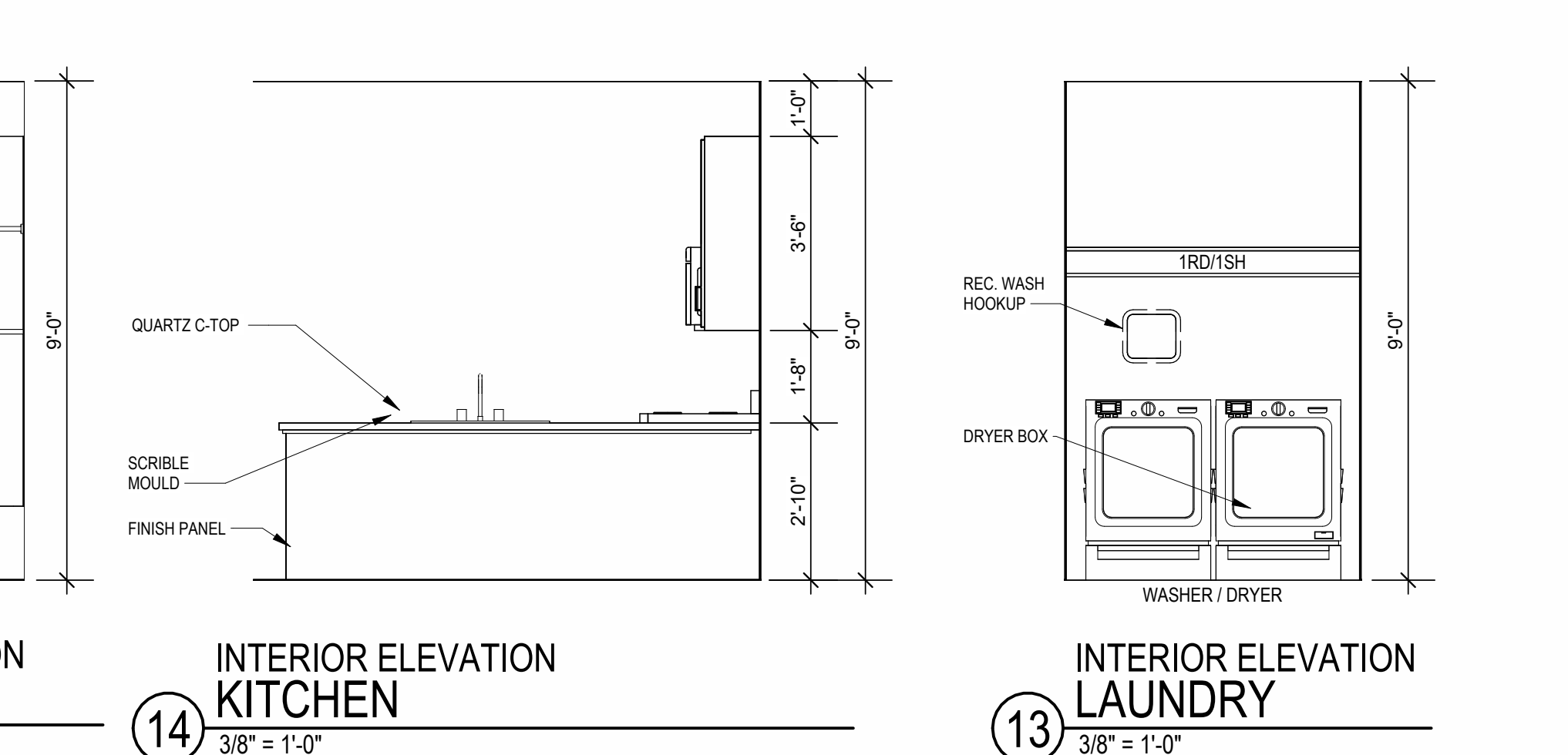
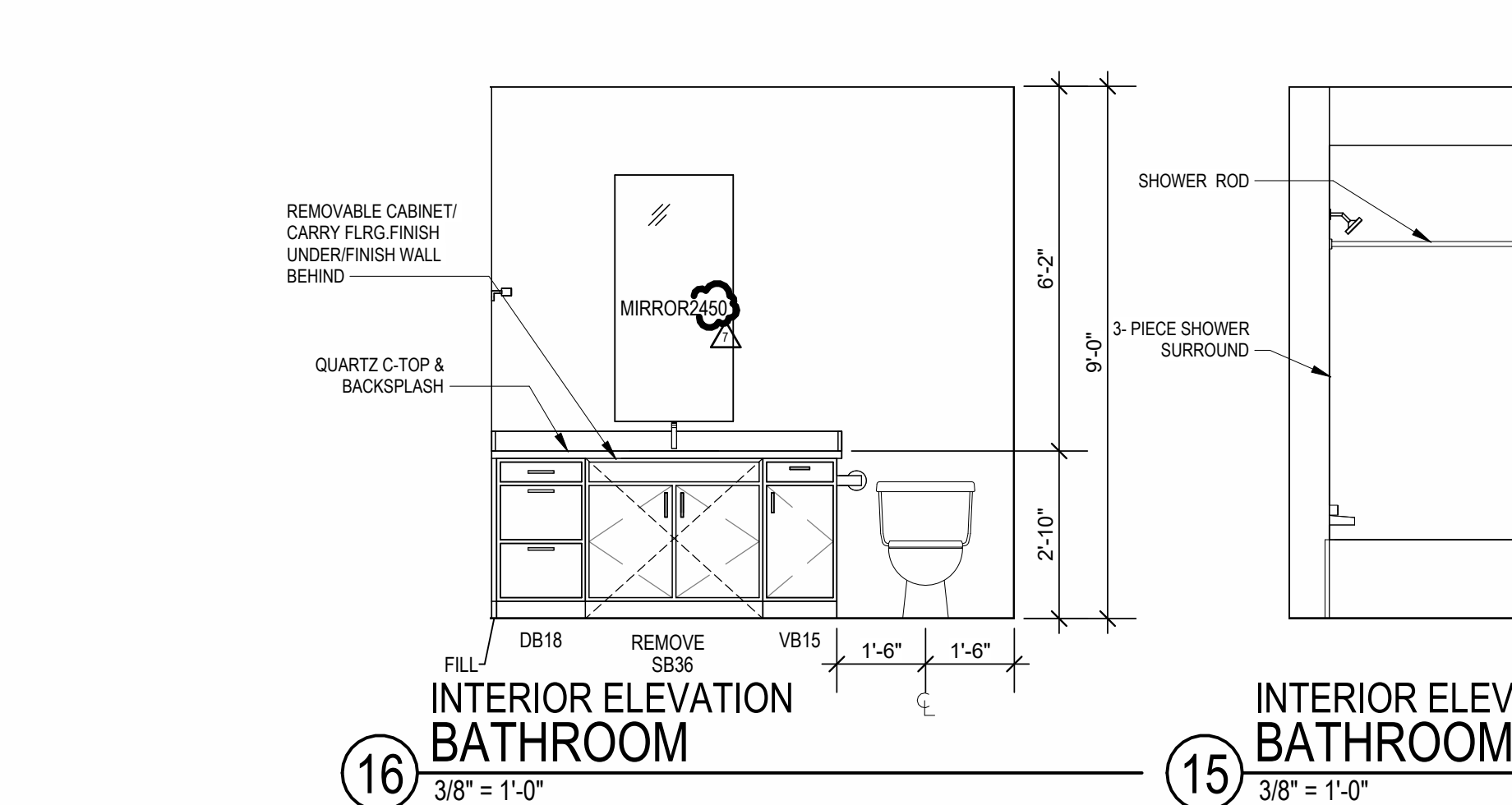
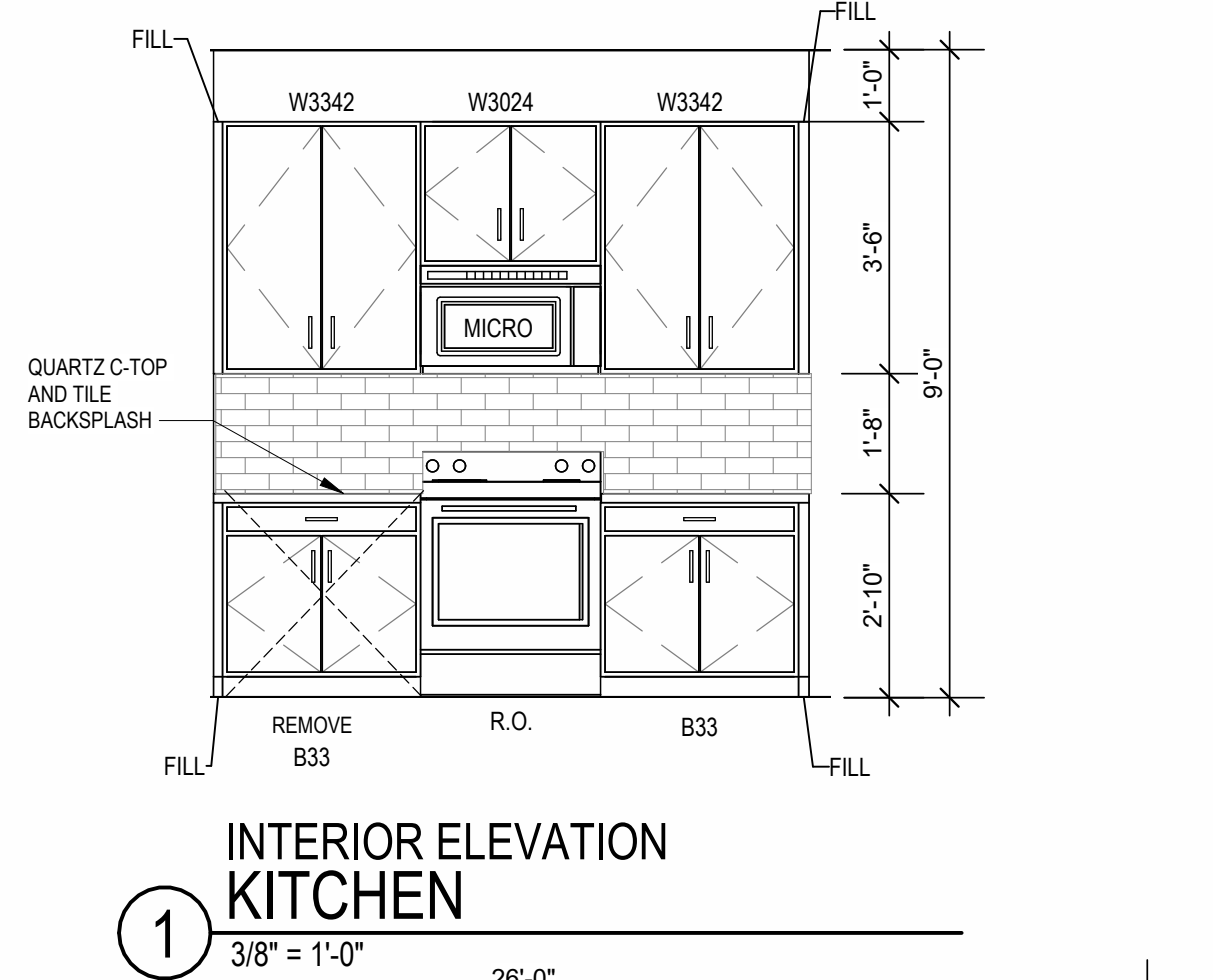
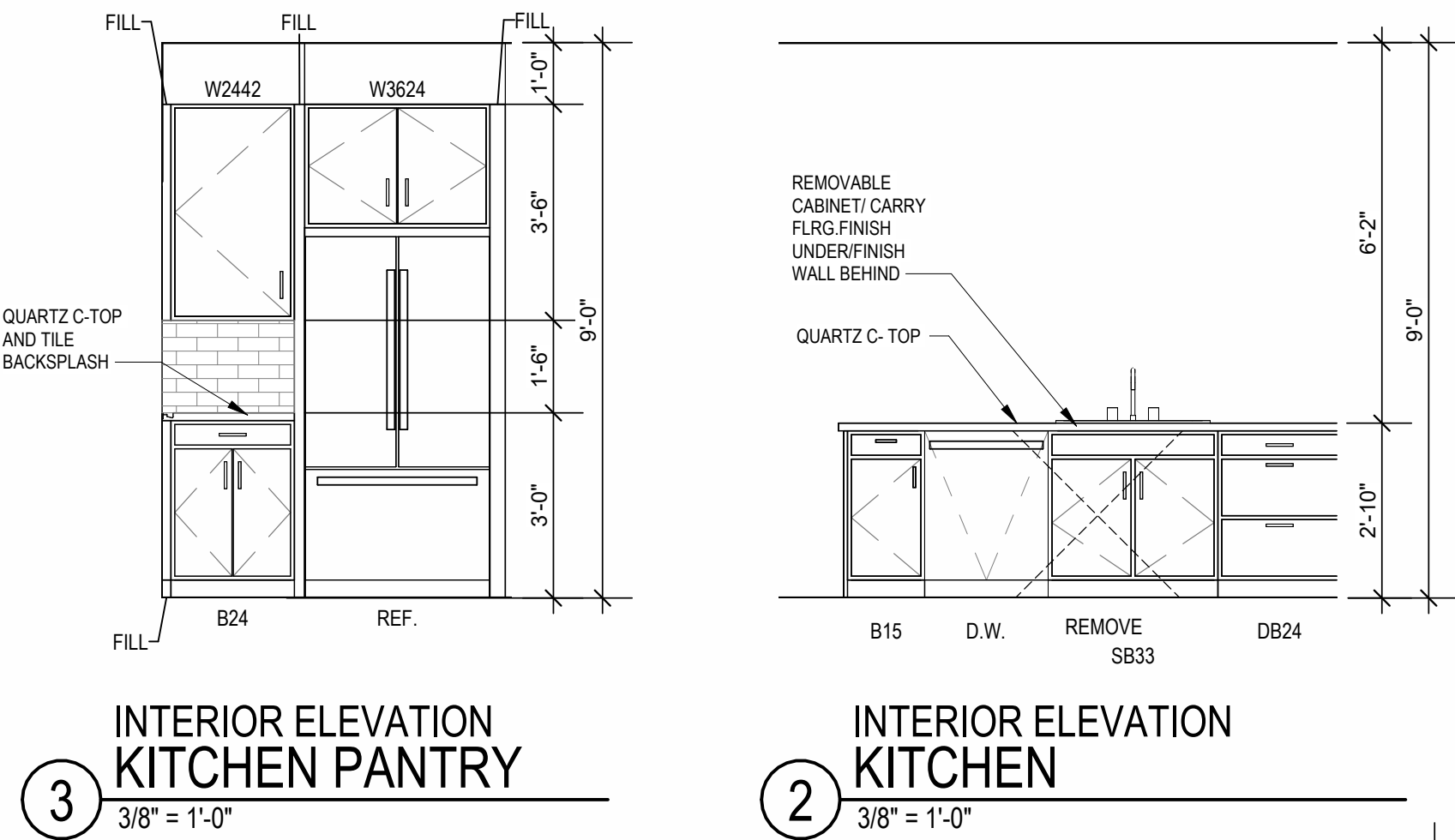
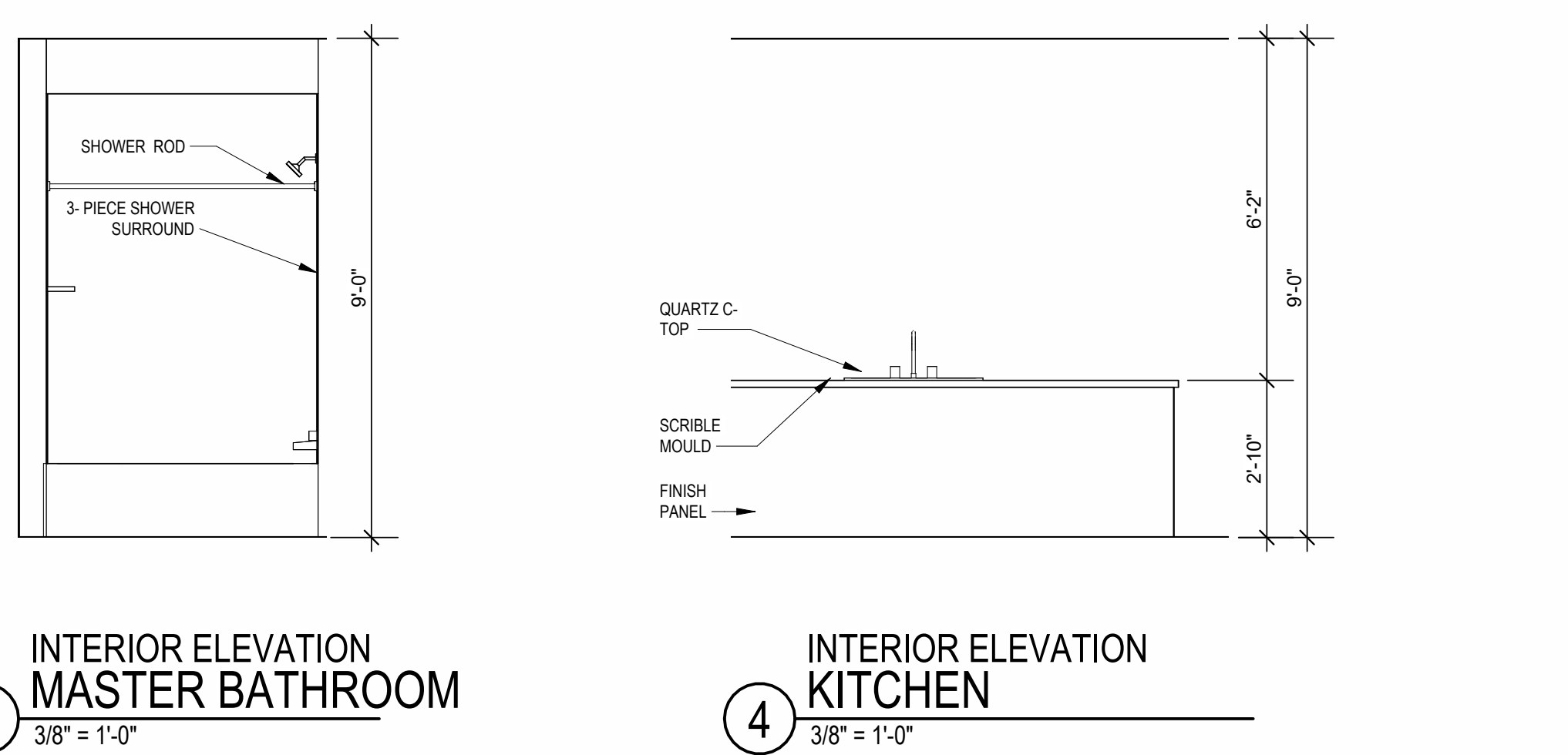
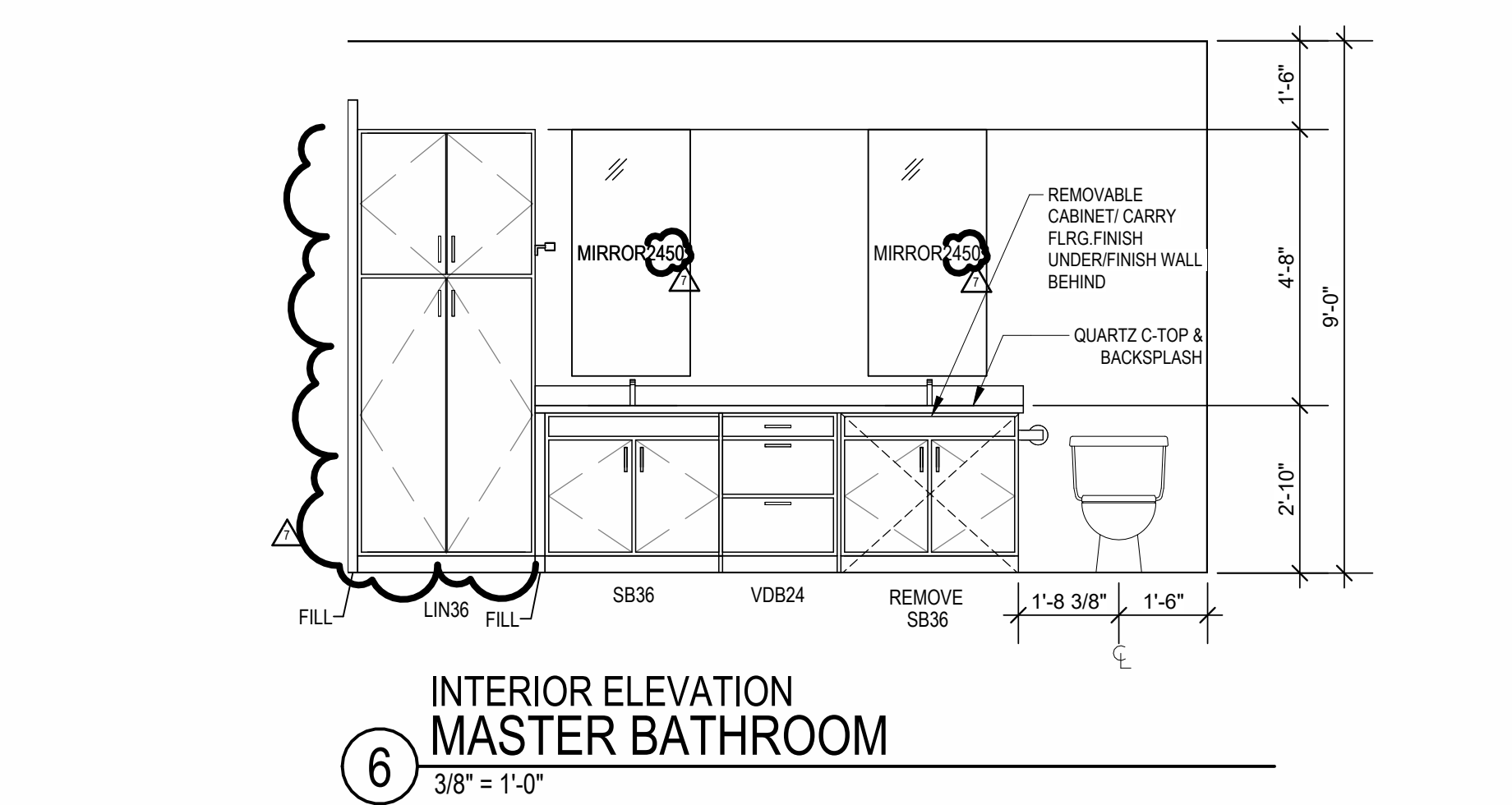


- UNIT PLAN GENERAL NOTES:
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVEING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IRC SECTION 2406. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IRC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DIMMING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IRC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SINK FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE BY SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE S4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMB & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FINISH FINISH.
 - FIRE EXTINGUISHER (RE SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.10.0.

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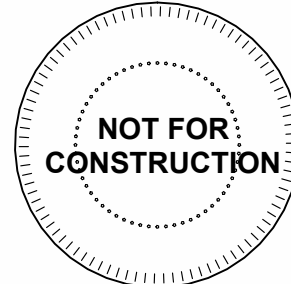
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7 23.06X AS.3

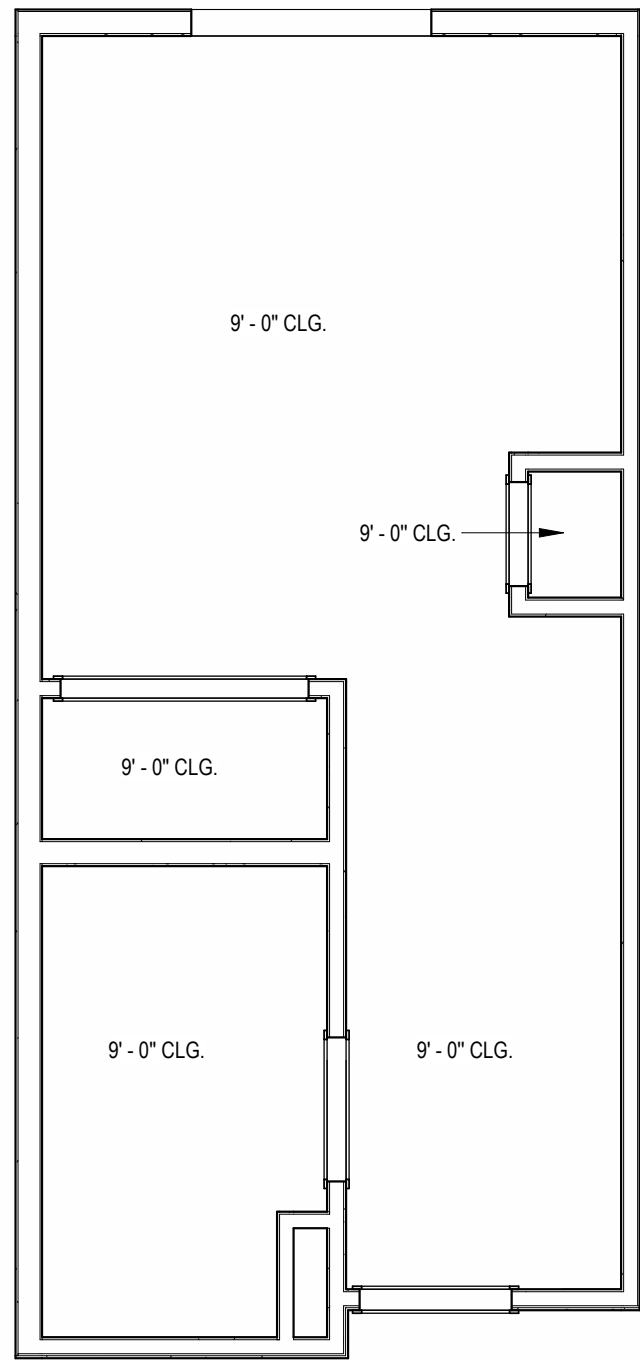
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6/9/2023
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DATE
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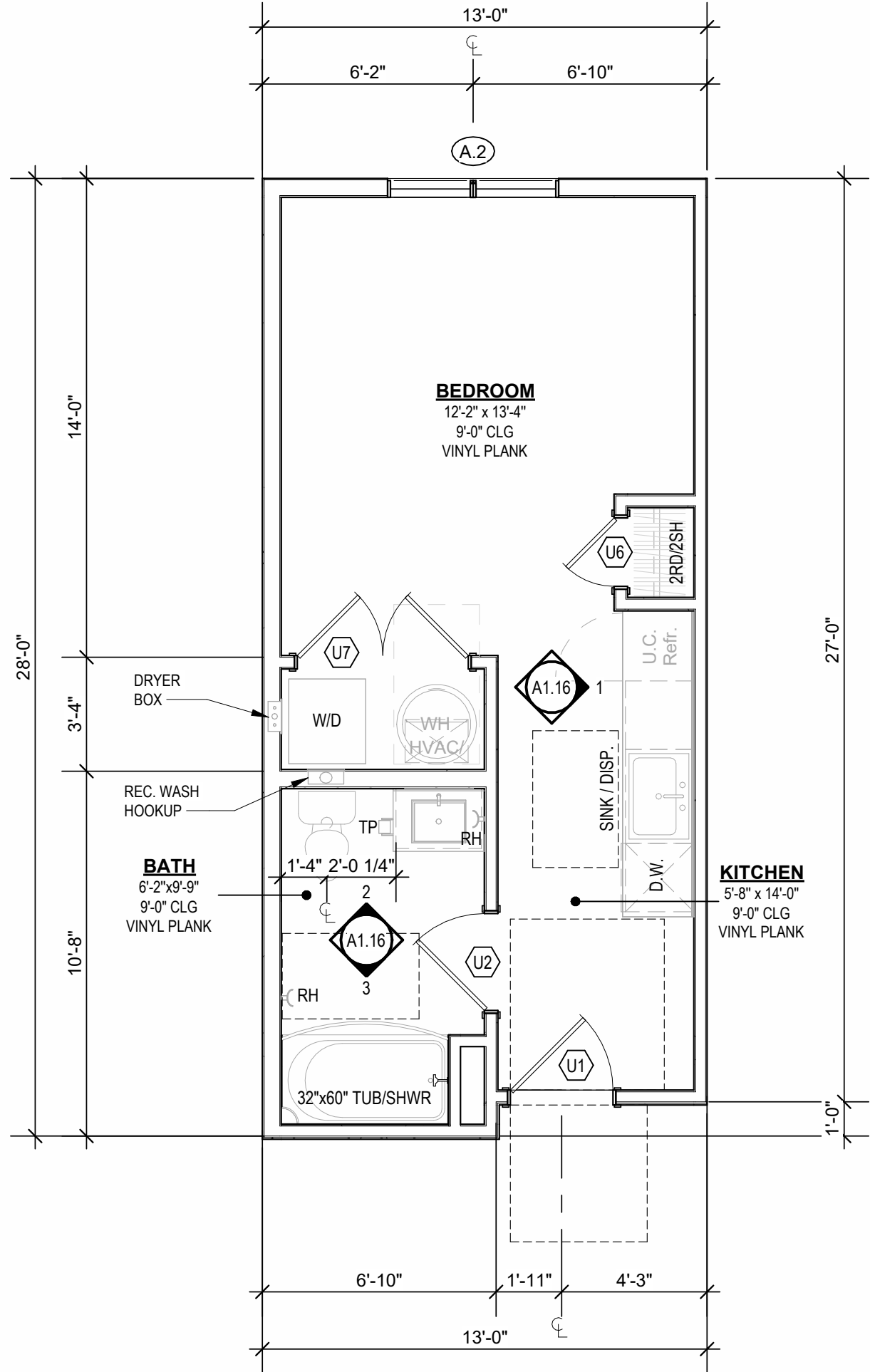
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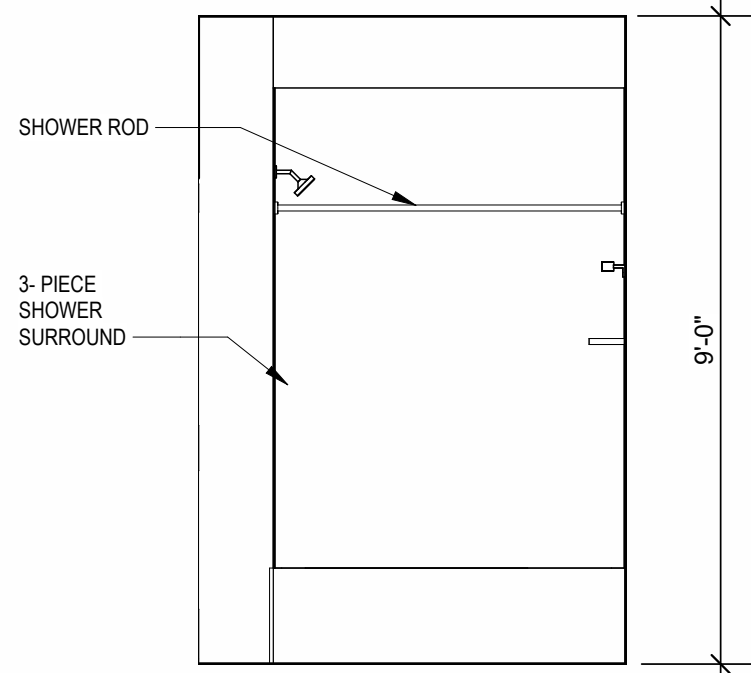
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 906. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STOP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
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 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE ALL WINDOWS TO RECEIVE SINK STOOD, WITH 1/2" APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
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 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT TEXTURE FINISH.
 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



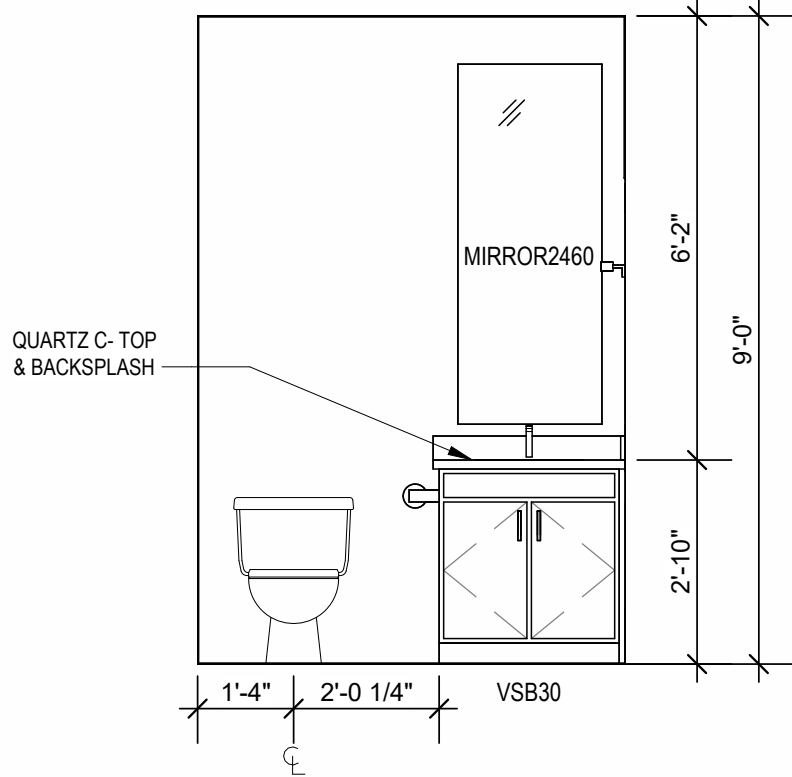
B GUEST SUITE - RCP
1/4" = 1'-0"



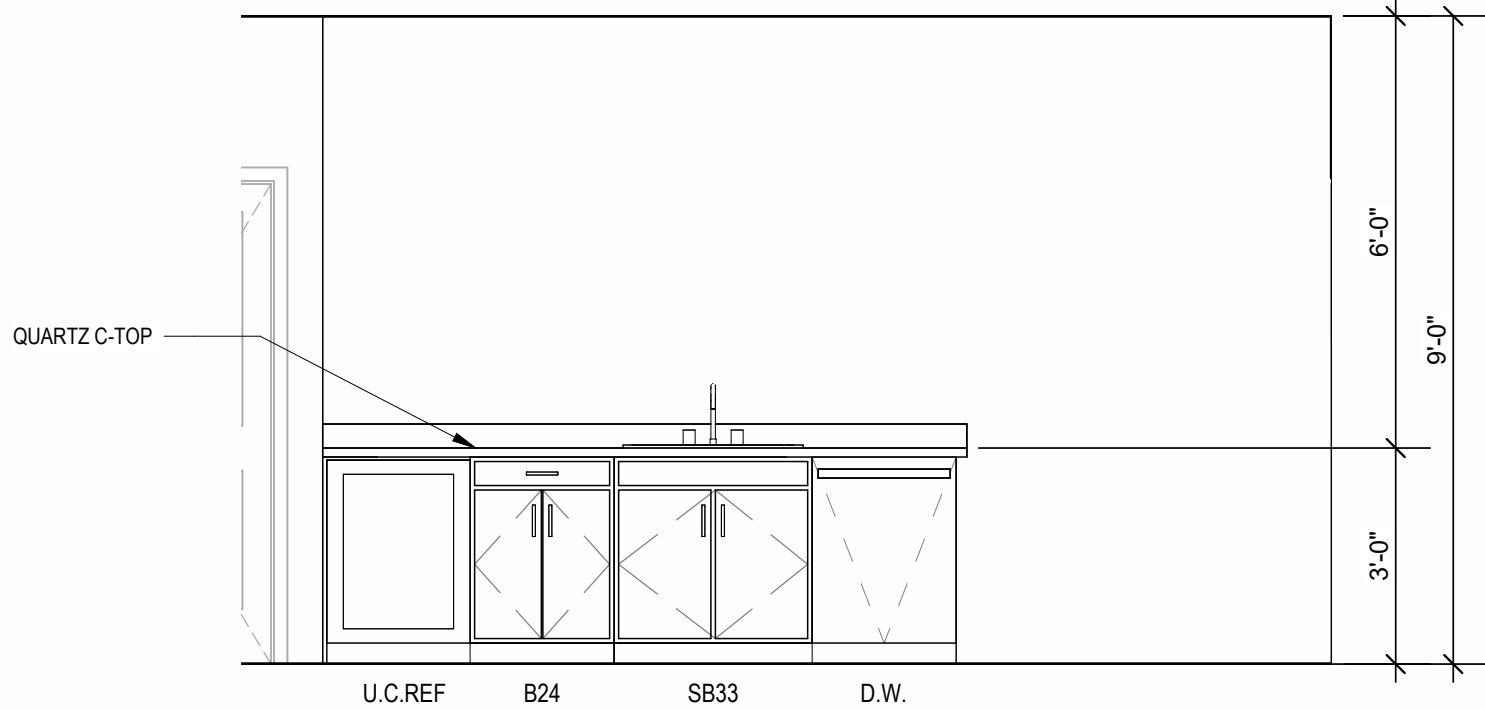
A GUEST SUITE
1/4" = 1'-0"



3 BATHROOM
3/8" = 1'-0"



2 BATHROOM
3/8" = 1'-0"



1 KITCHEN
3/8" = 1'-0"

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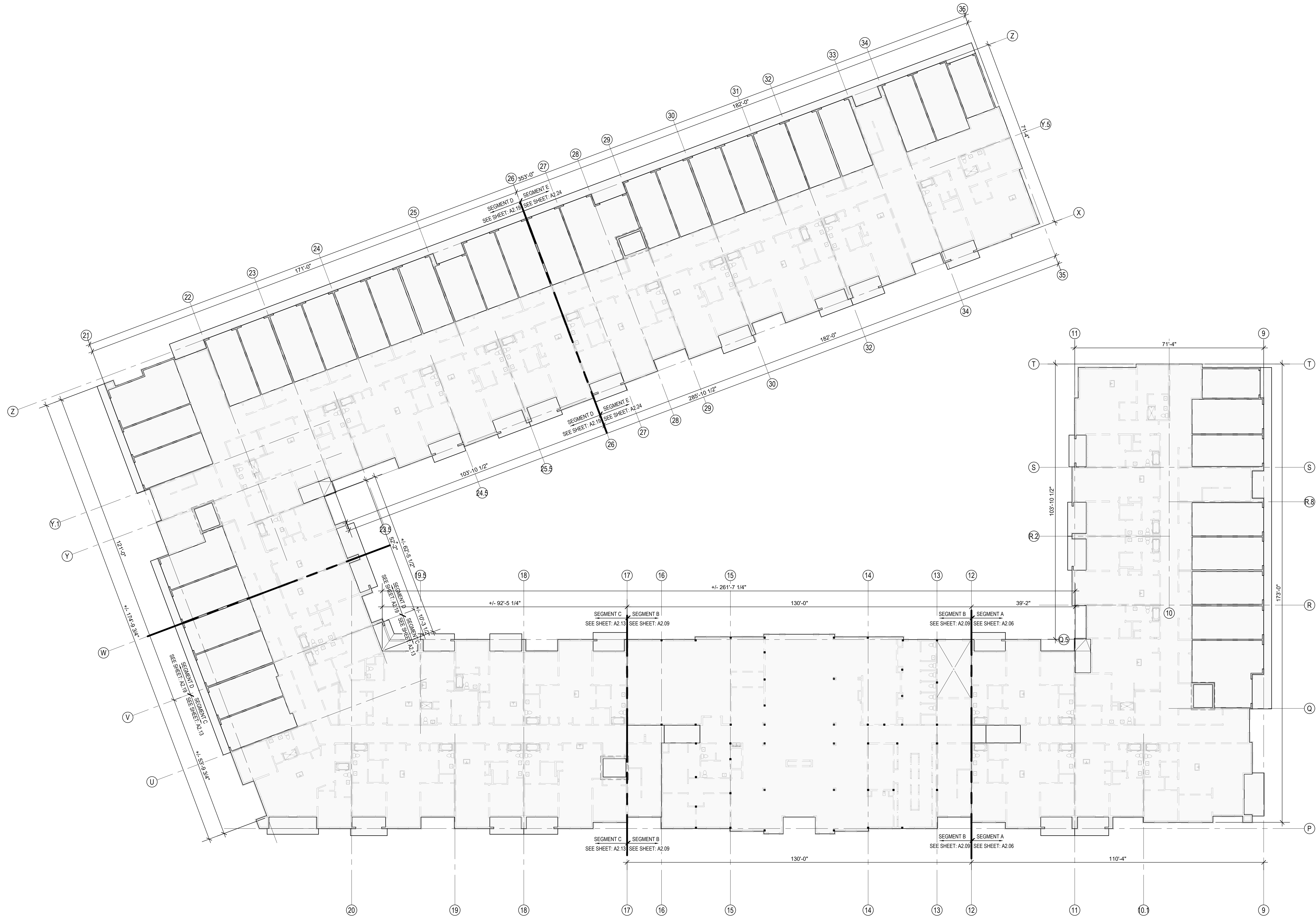
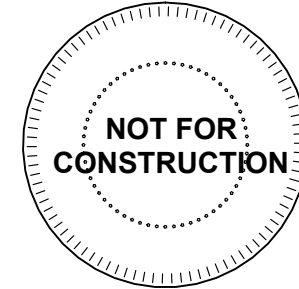
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CITY COMMENTS
SHEET NAME GUEST SUITE
SHEET NO.

A1.16

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1 BUILDING 1 - OVERALL SLAB PLAN
1/16" = 1'-0"

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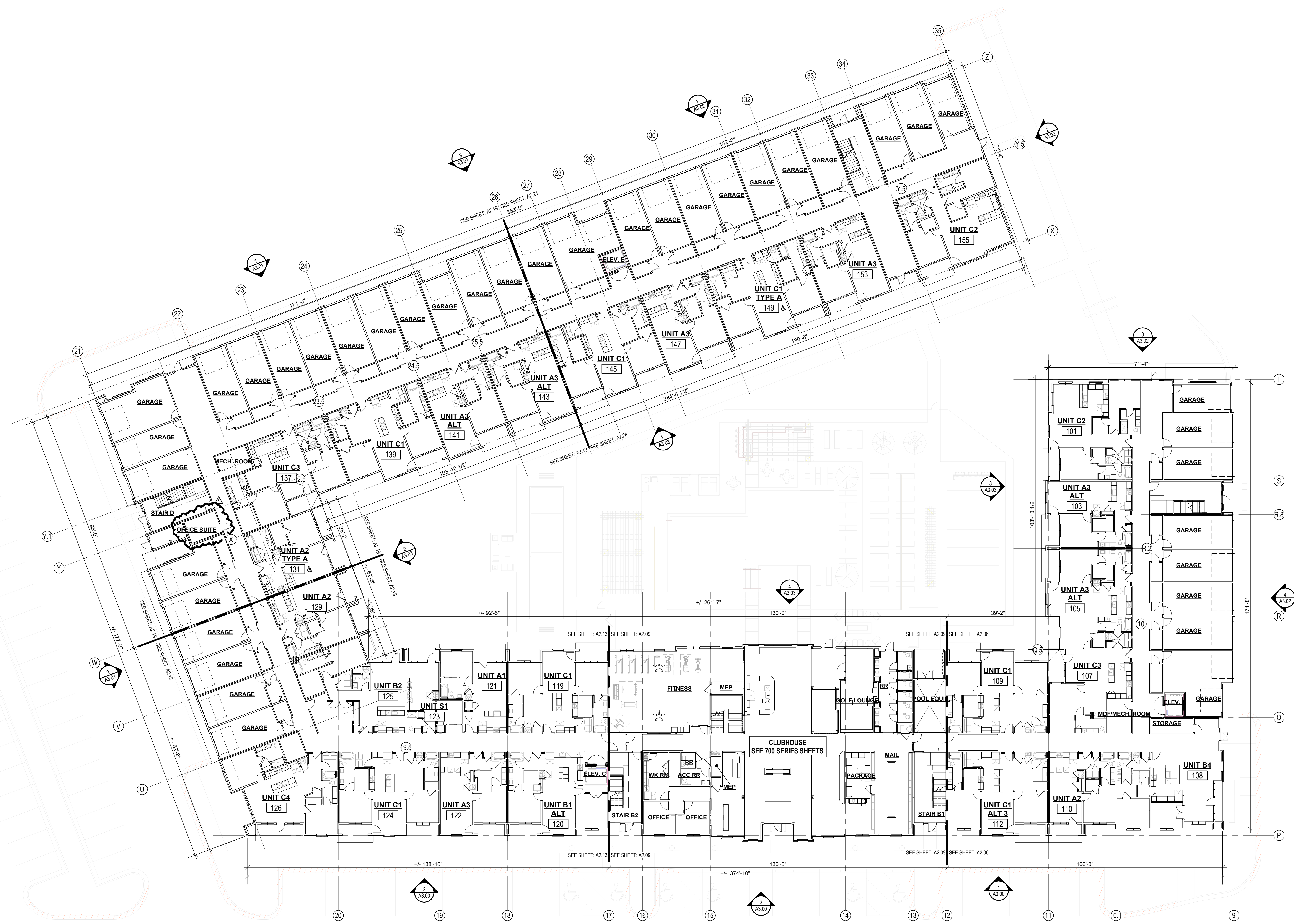
REVISIONS

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
4/11/2023
SHEET NAME CITY COMMENTS
BUILDING 1 OVERALL SLAB PLAN
SHEET NO.

A2.00

ARCH E1 30' x 42'

6/14/2023 4:30:45 PM



1 BUILDING 1 - OVERALL 1ST FLOOR PLAN
1/16" = 1'-0"

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1 23.04.11 CITY COMMENTS 1
2 23.07.31 ASH 4

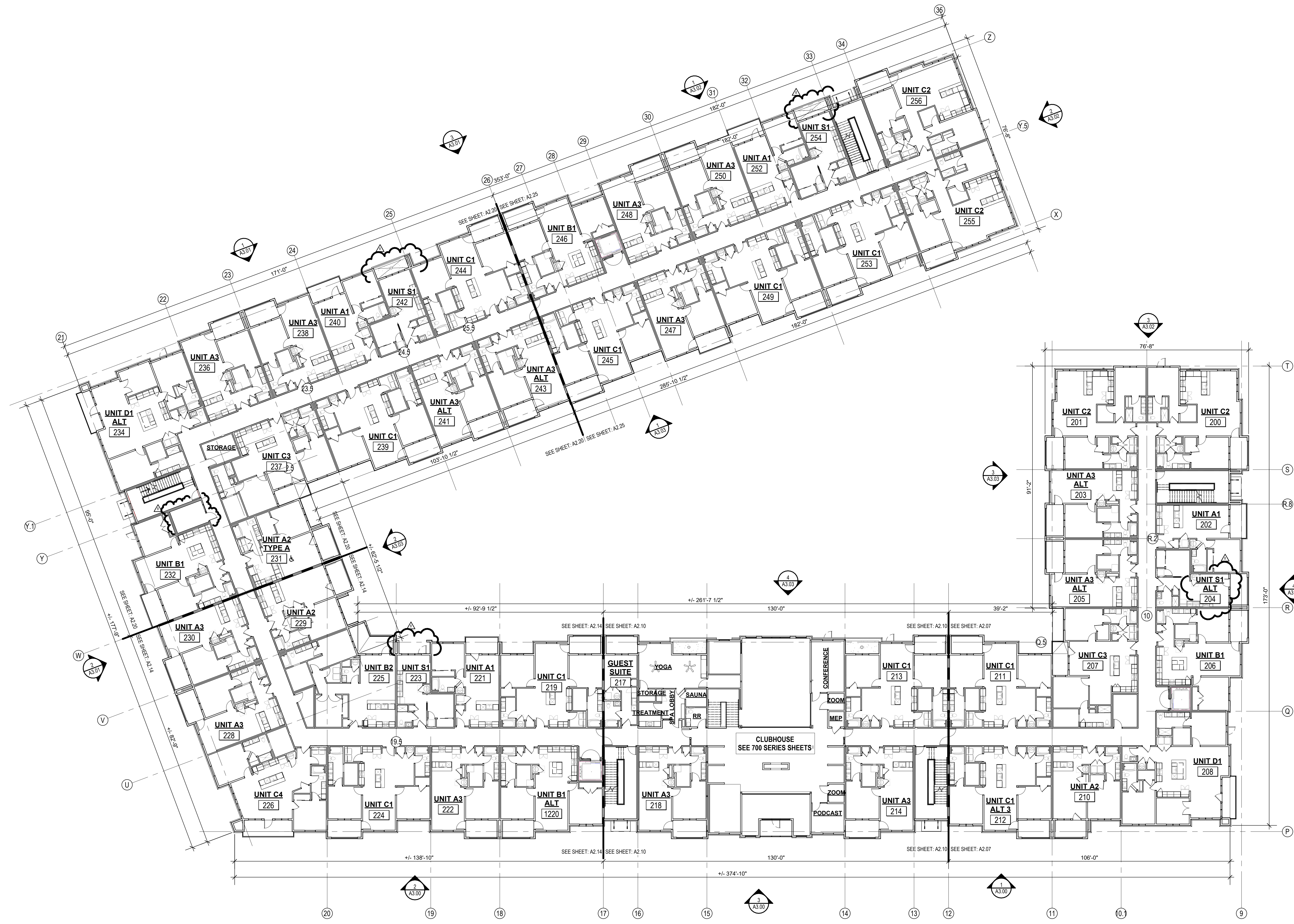
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705921
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6/9/2023
SHEET NAME
BUILDING 1 OVERALL 1ST
FLOOR PLAN
SHEET NO.

DATE
03.15.2023

A2.01

ARCH E1 30' x 42'

8/10/2023 4:10:00 PM



1 BUILDING 1 - OVERALL 2ND FLOOR PLAN
1/16" = 1'-0"

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1 23.04.11 CITY COMMENTS 1
2 23.07.31 AS1 4

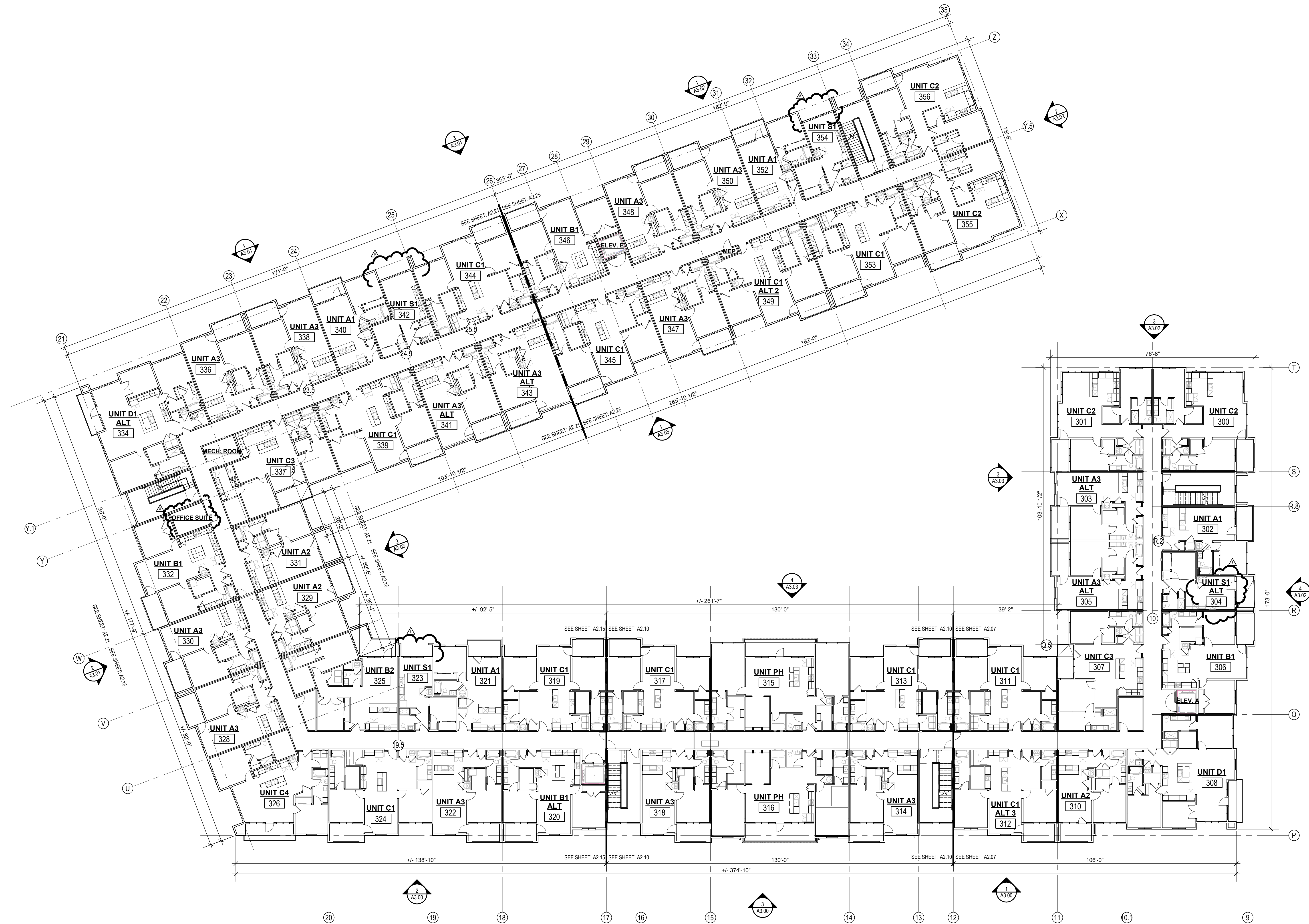
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705921
DRAWN BY
TSC/SIW
6/9/2023
SHEET NAME
BUILDING 1 OVERALL 2ND
FLOOR PLAN
SHEET NO.

DATE
03.15.2023

A2.02

ARCH: E1 30' x 42'

6/14/2023 4:31:17 PM



1 BUILDING 1 - OVERALL 3RD FLOOR PLAN
1/16" = 1'-0"

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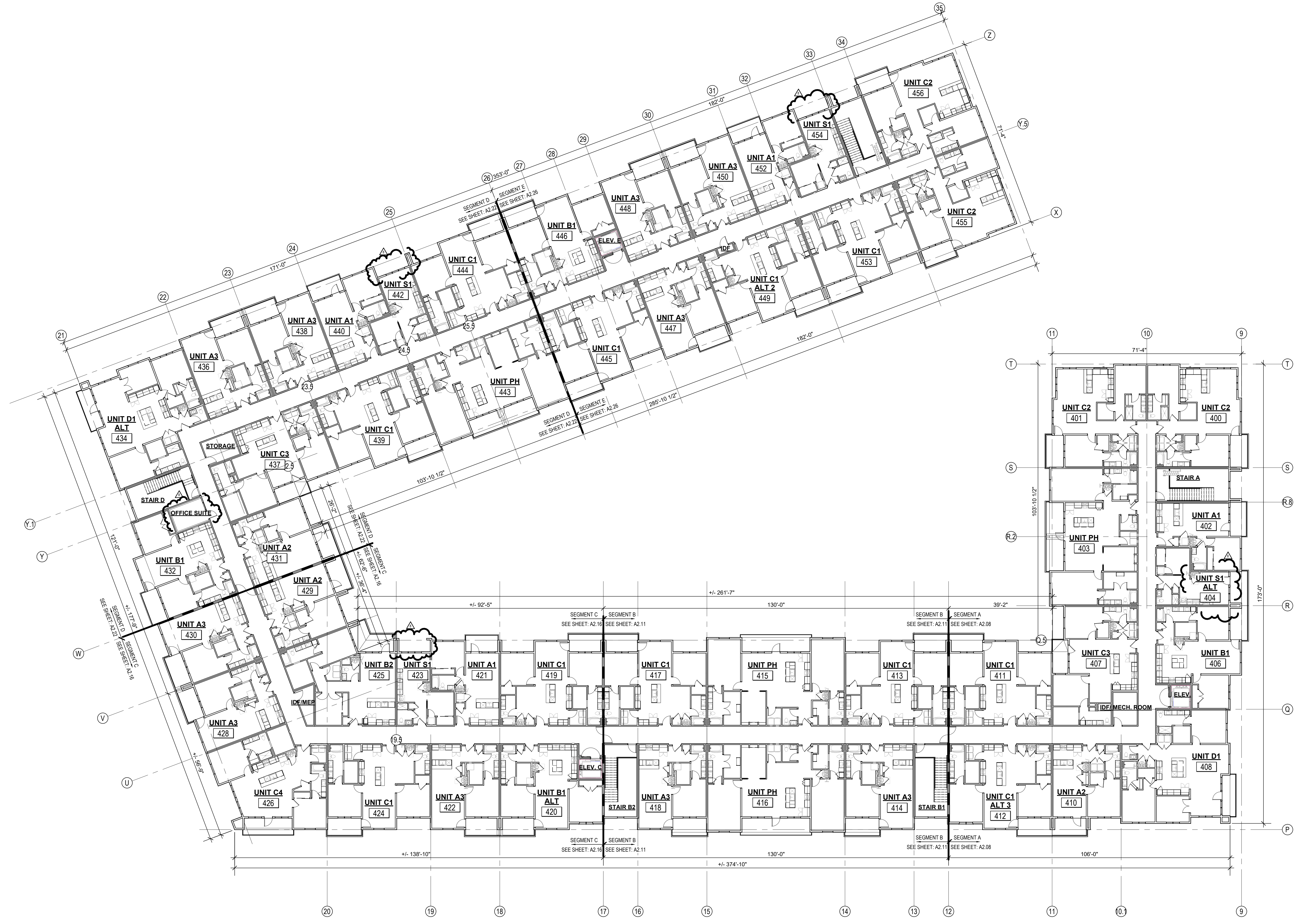
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2 23.07.31 ASR 4

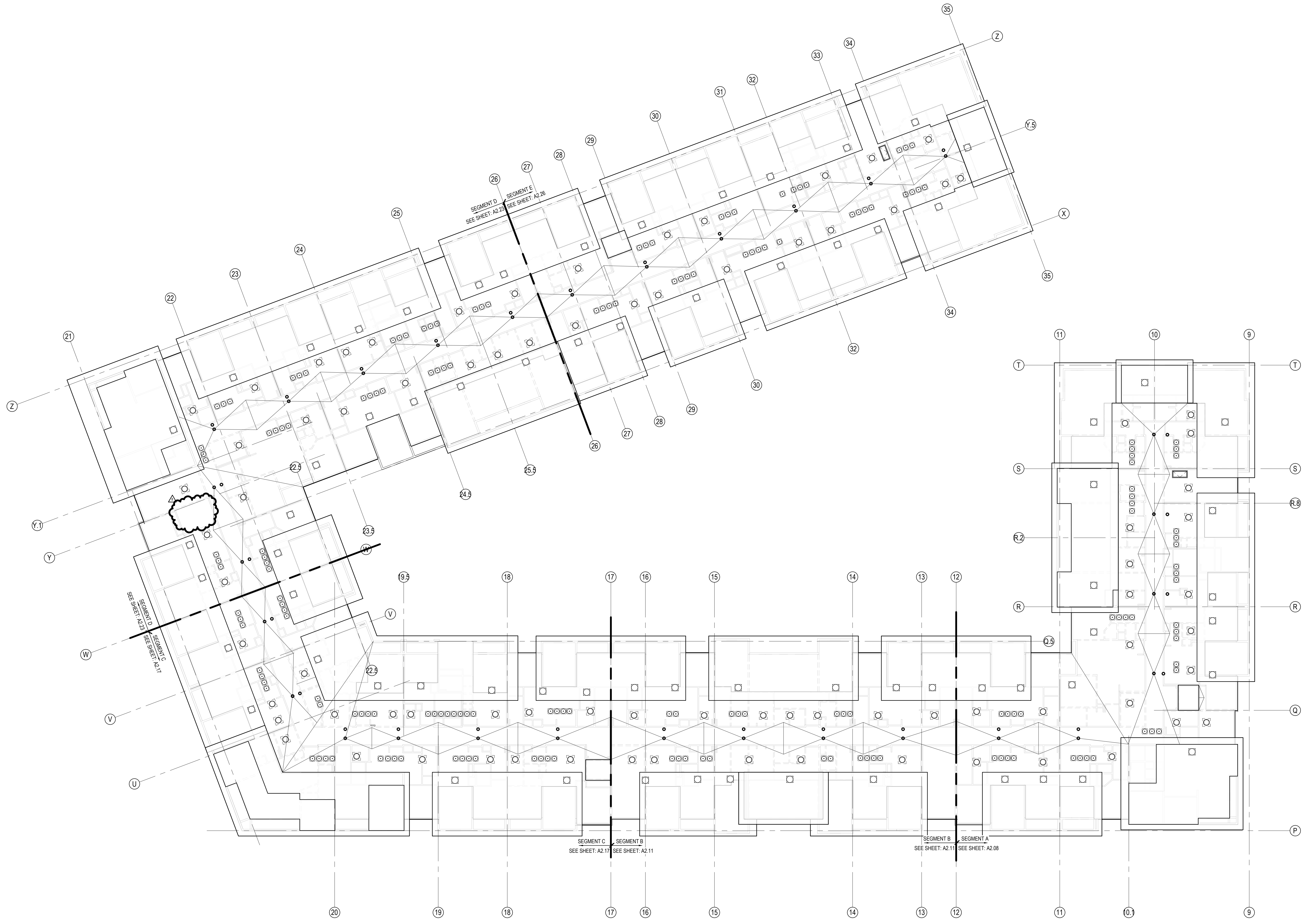
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705921
DRAWN BY
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6/9/2023
SHEET NAME
BUILDING 1 OVERALL 3RD
FLOOR PLAN
SHEET NO.

DATE
03.15.2023

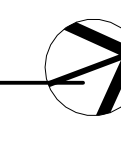
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1 BUILDING 1 - OVERALL 4TH FLOOR PLAN
1/16" = 1'-0"



1 BLDG. 1 - OVERALL ROOF PLAN
1/16" = 1'-0"



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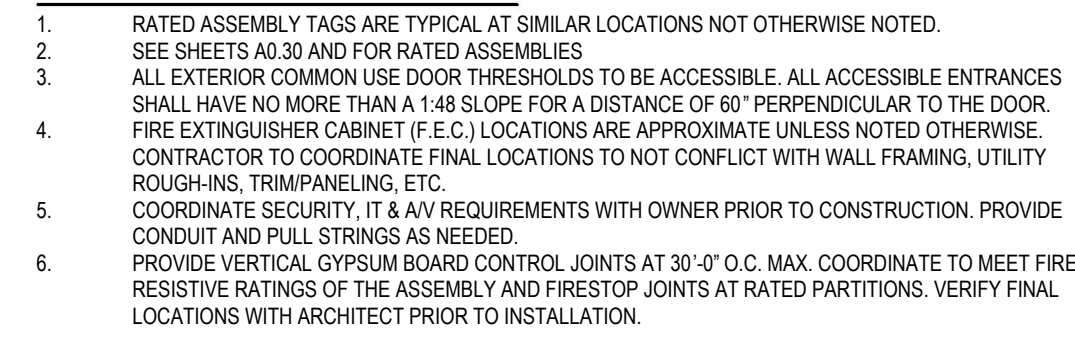
DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS
8 23.07.31 ASI 4

JOB NO.
705921
DRAWN BY
TSC/SIW
6/9/2023
SHEET NAME
**BUILDING 1 OVERALL ROOF
PLAN**
SHEET NO.

DATE
03.15.2023

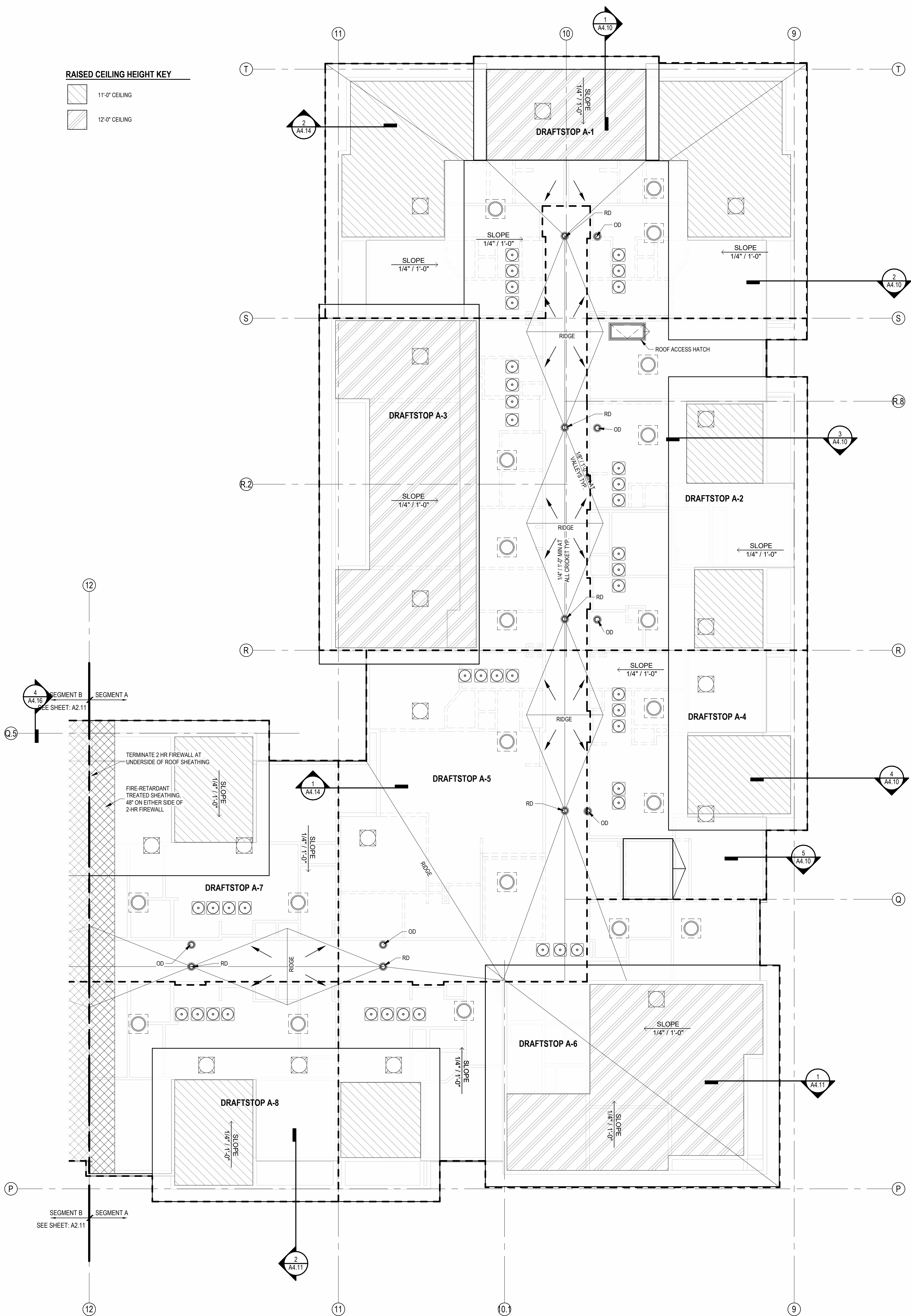
A2.05



RAISED CEILING HEIGHT KEY

11'-0" CEILING

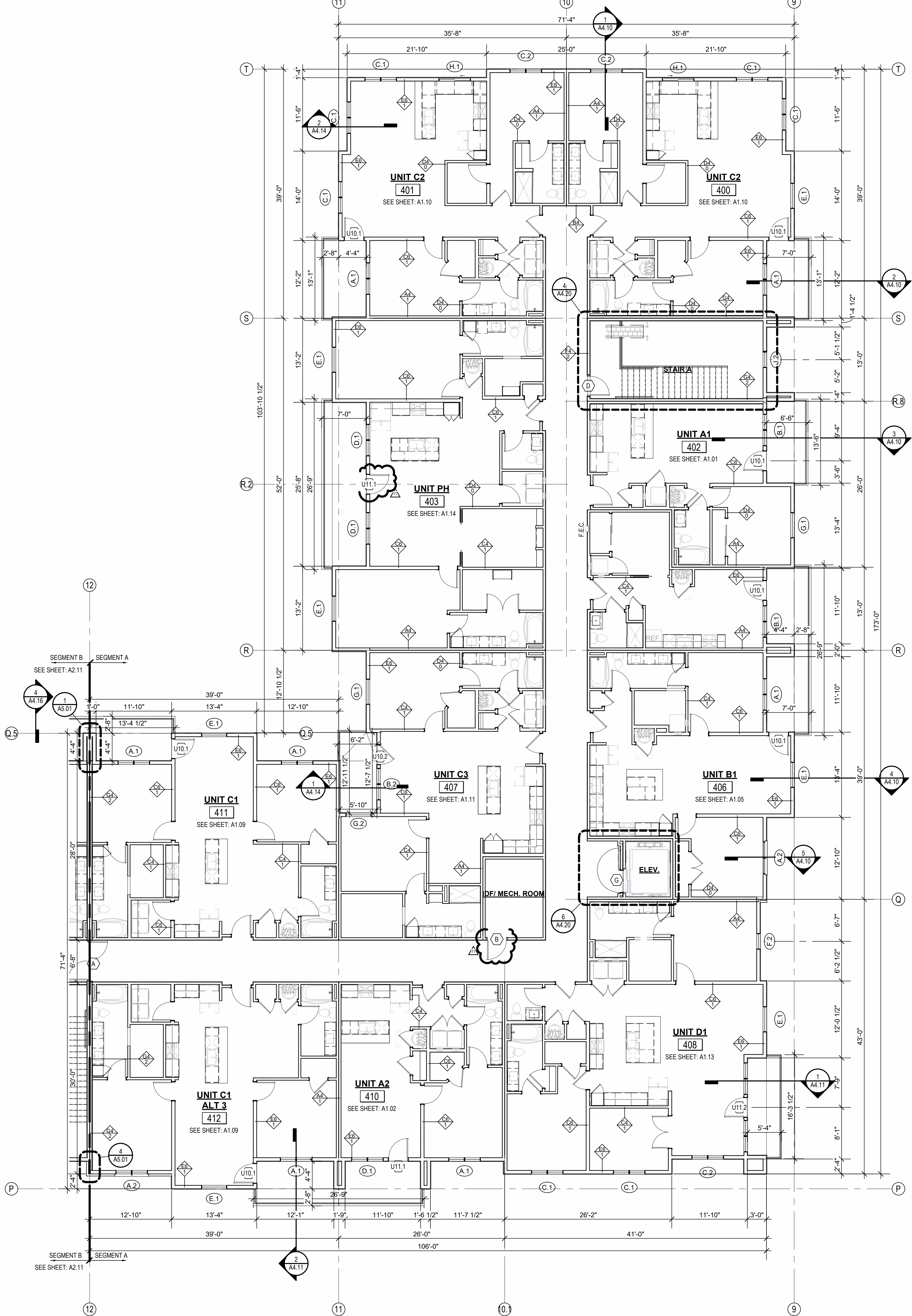
12'-0" CEILING



2 ROOF - SEGMENT A
1/8" = 1'-0"

SEG A ROOF VENT CALCULATOR

| Name | Area | Total Net Free Area of Venting Required | Total Net Free Area of Venting Provided | Vented Area Percentage at Upper Roof Provided | UPPER VENTING | | | LOWER VENTING | | | Total Lower Venting Provided |
|---------------|---------|---|---|---|--|-------------------------------------|---|--|-----------------------|---------------------|------------------------------|
| | | | | | STATIC VENTING | | | STATIC VENT | | | |
| | | | | | Vented Net Free Area Per Static Vent at Upper Roof | Vented Units Provided at Upper Roof | Total Net Free Area of Upper Venting Provided | Vented Net Free Area Per Lower Static Vent | Static Vents Provided | | |
| DRAFTSTOP A-1 | 2823 SF | 1403 in ² | 1524 in ² | 50.00% | 254 in ² | 3 | 762 in ² | 254 in ² | 3 | 762 in ² | 762 in ² |
| DRAFTSTOP A-2 | 1750 SF | 840 in ² | 1016 in ² | 50.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 2 | 508 in ² | 508 in ² |
| DRAFTSTOP A-3 | 2303 SF | 1155 in ² | 1270 in ² | 40.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 3 | 762 in ² | 762 in ² |
| DRAFTSTOP A-4 | 1273 SF | 611 in ² | 1016 in ² | 50.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 2 | 508 in ² | 508 in ² |
| DRAFTSTOP A-5 | 1948 SF | 935 in ² | 1016 in ² | 50.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 2 | 508 in ² | 508 in ² |
| DRAFTSTOP A-6 | 2584 SF | 1240 in ² | 1270 in ² | 40.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 3 | 762 in ² | 762 in ² |
| DRAFTSTOP A-7 | 1520 SF | 734 in ² | 1016 in ² | 50.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 2 | 508 in ² | 508 in ² |
| DRAFTSTOP A-8 | 1302 SF | 625 in ² | 1016 in ² | 50.00% | 254 in ² | 2 | 508 in ² | 254 in ² | 2 | 508 in ² | 508 in ² |



1 4TH FLOOR - SEGMENT A
1/8" = 1'-0"

ATTIC VENTING REQUIREMENTS

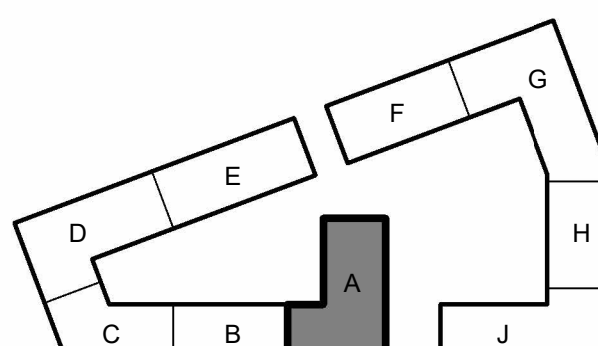
REQUIREMENTS PER 2019 IBC SECTION 1202.2
MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA
PROVIDE 40%-50% VENT AREA HIGH; 50%-60% LOW
PROPOSED ROOF VENTILATION:
LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)
HIGH: AJURA ROOF VENT (254 SQ. IN. NET FREE AREA PER VENT)

ROOF PLAN GENERAL NOTES:

- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL, AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
- ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
- ALL CROCKETS SHALL SLOPE 1/2" PER FOOT MINIMUM.
- PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
- PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.
- ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

FLOOR PLAN GENERAL NOTES:

- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
- SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/8" SLOPE FOR A DISTANCE OF 80" PERPENDICULAR TO THE DOOR.
- FIRE EXTINGUISHER CABINET (IF E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGHINS, TRAMPOLINE, ETC.
- COORDINATE SECURITY IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
- PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



KEY PLAN - BUILDING SEGMENTS

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03/15/2023 - PERMIT SUBMITTAL

REVISIONS

- | | | |
|----|----------|-----------------|
| 1 | 23/04/11 | CITY COMMENTS 1 |
| 3 | 23/06/11 | ADDENDUM 2 |
| 11 | 23/11/03 | AS17 |

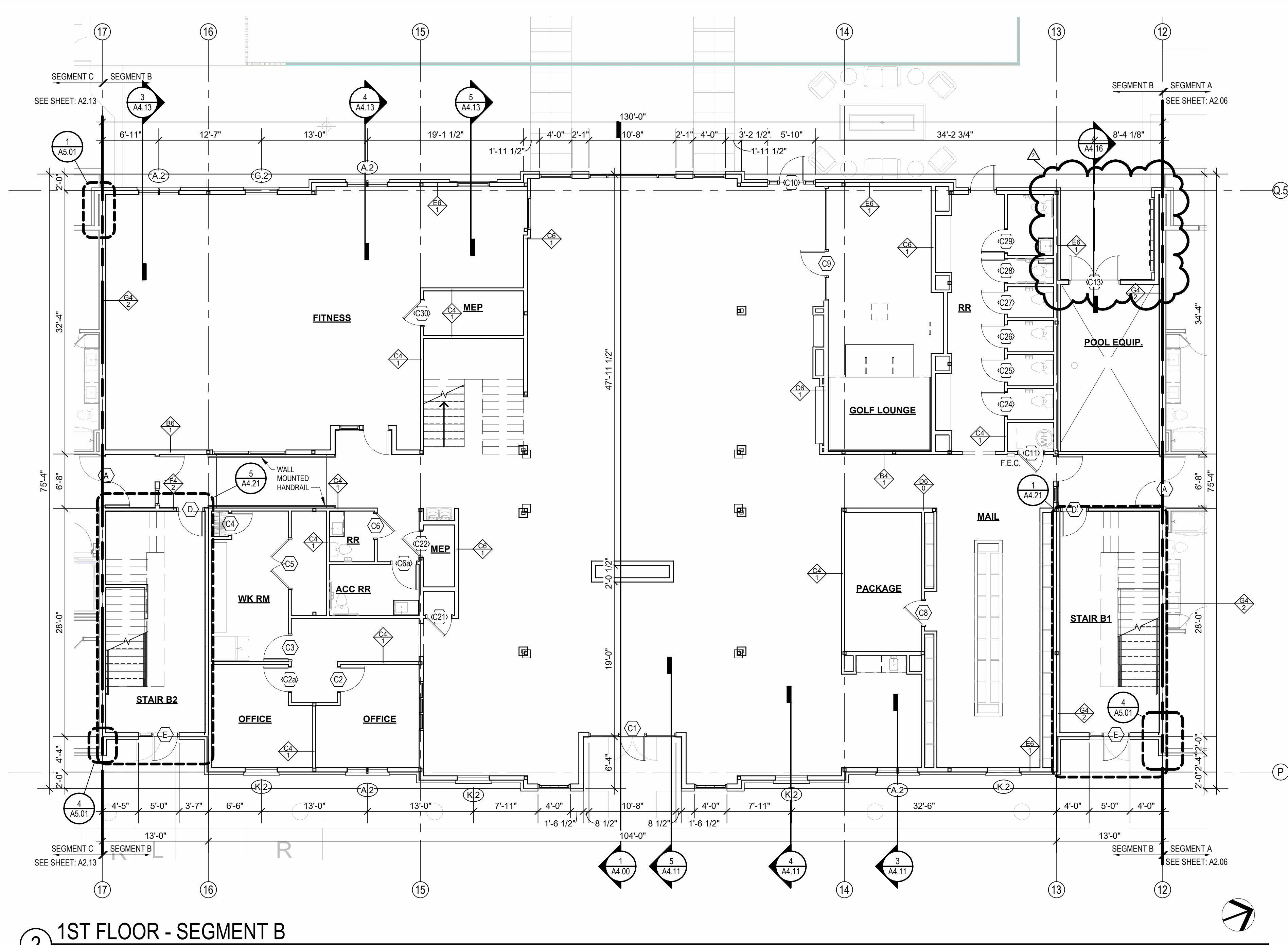
JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**

9/15/2023
ASI #6

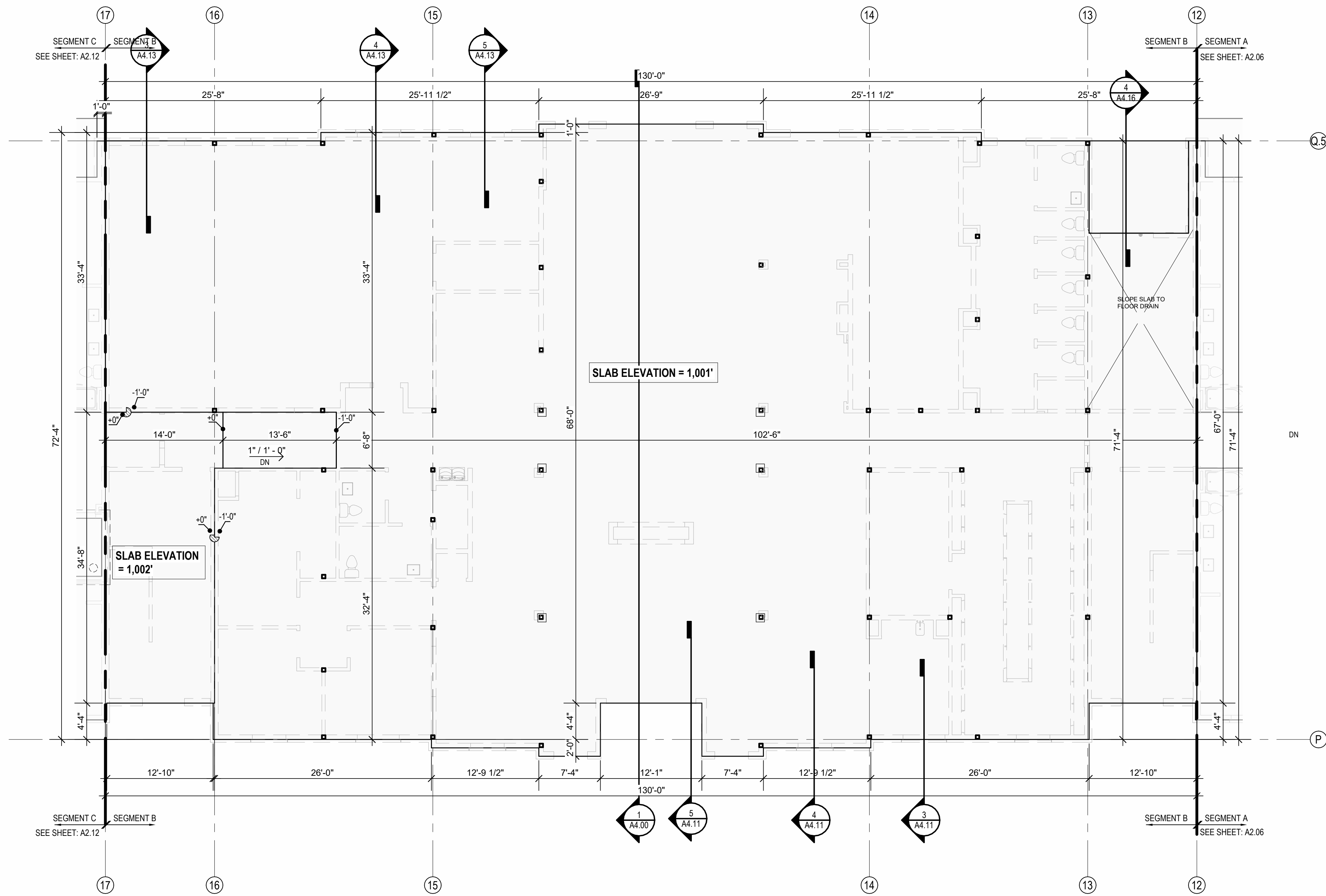
SHEET NAME
SEGMENT A 4TH FLOOR &

ROOF PLAN
SHEET NO.

A2.08

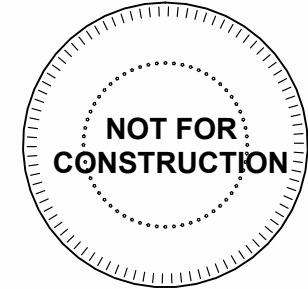


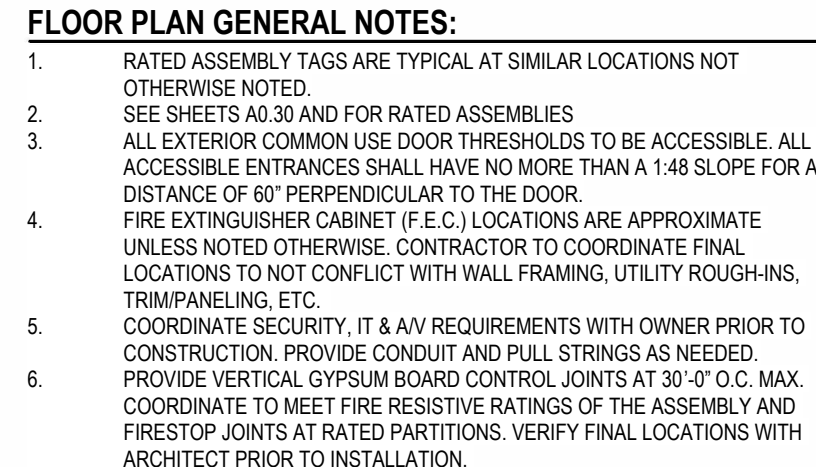
② 1ST FLOOR - SEGMENT B
1/8" = 1'-0"



① SLAB PLAN - SEGMENT B
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRAMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.





(2) $\frac{1}{8}'' = 1.5$

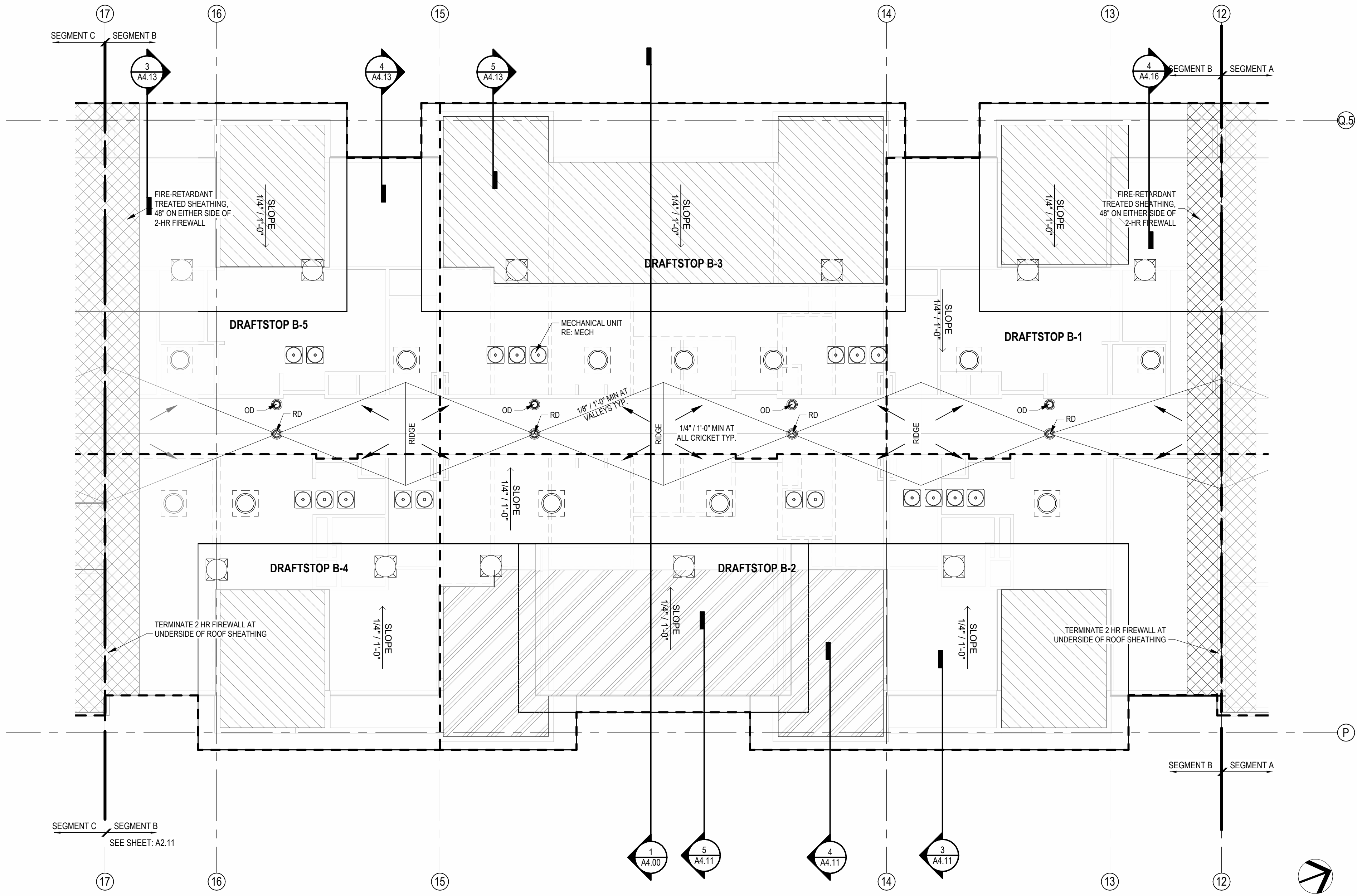


KEY PLAN - BUILDING SEGMENTS

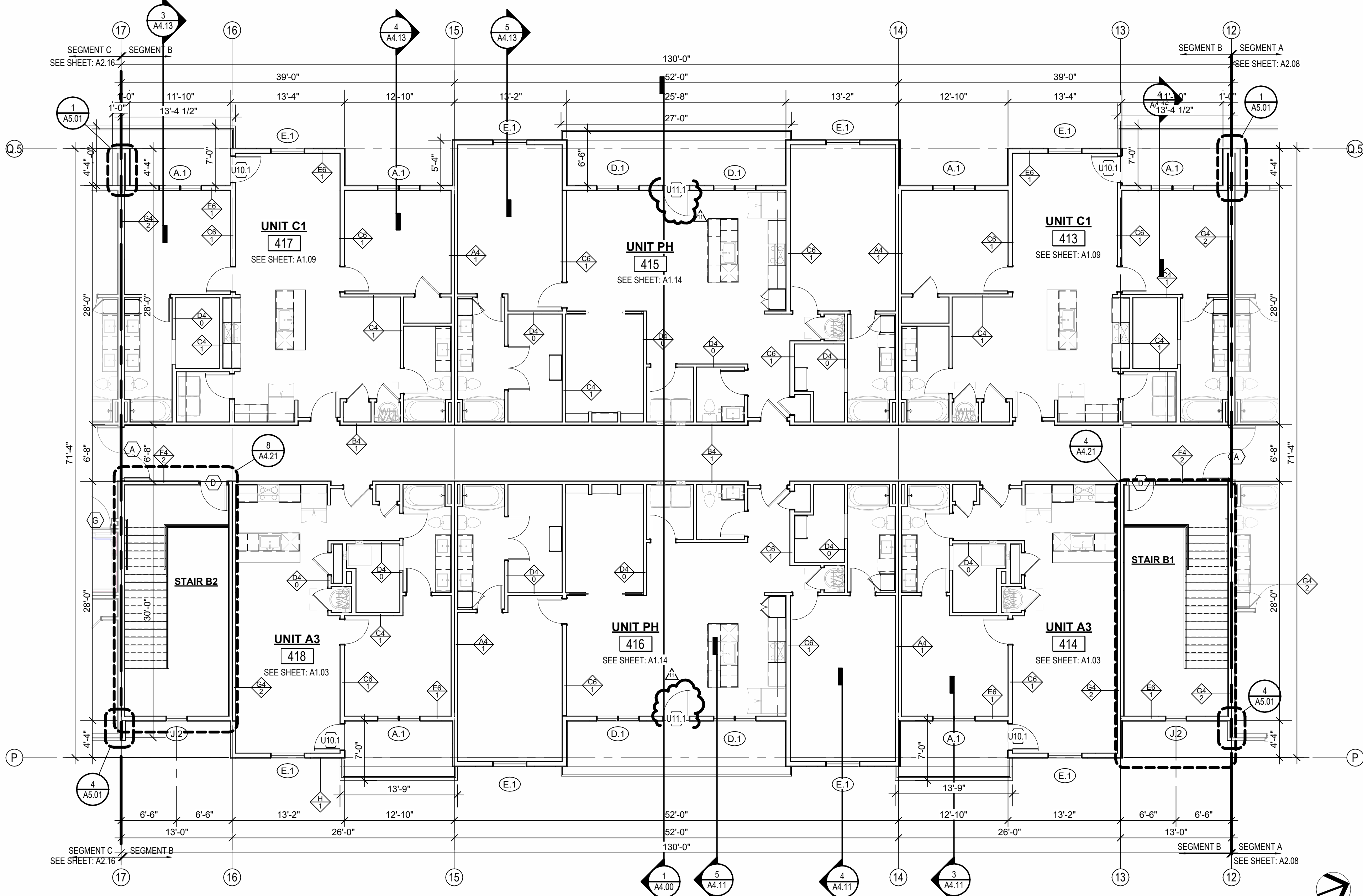
ARCH E1 30' x 42'

11/1/2023 6:08:04 PM

| SEG B ROOF VENT CALCULATOR | | | | | | | | | |
|----------------------------|---------|---|---|---|--|-------------------------------------|---|--|------------------------------|
| Name | Area | Total Net Free Area of Venting Required | Total Net Free Area of Venting Provided | Vented Area Percentage at Upper Roof Provided | UPPER VENTING | | LOWER VENTING | | |
| | | | | | STATIC VENTING | | STATIC VENT | | |
| | | | | | Vented Net Free Area Per Static Vent at Upper Roof | Vented Units Provided at Upper Roof | Total Net Free Area of Upper Venting Provided | Vented Net Free Area Per Lower Static Vent | Total Lower Venting Provided |
| DRAFTSTOP B-1 | 1539 SF | 734 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |
| DRAFTSTOP B-2 | 2971 SF | 1426 in² | 1524 in² | 50.00% | 254 in² | 3 | 762 in² | 254 in² | 762 in² |
| DRAFTSTOP B-3 | 2143 SF | 1029 in² | 1270 in² | 40.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |
| DRAFTSTOP B-4 | 1272 SF | 610 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |
| DRAFTSTOP B-5 | 1542 SF | 740 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |



2 ROOF - SEGMENT B
1/8" = 1'-0"



1 4TH FLOOR - SEGMENT B
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 - SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 - ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 - FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGHINS, TRAMPANELING, ETC.
 - COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 - PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ROOF PLAN GENERAL NOTES:**
- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 - ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 - ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - ALL CRACKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
 - PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.
 - ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

- RAISED CEILING HEIGHT KEY**
- 11'-0" CEILING
 - 12'-0" CEILING

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03.15.2023 - PERMIT SUBMITTAL

REVISIONS
11 23 1103 AS17

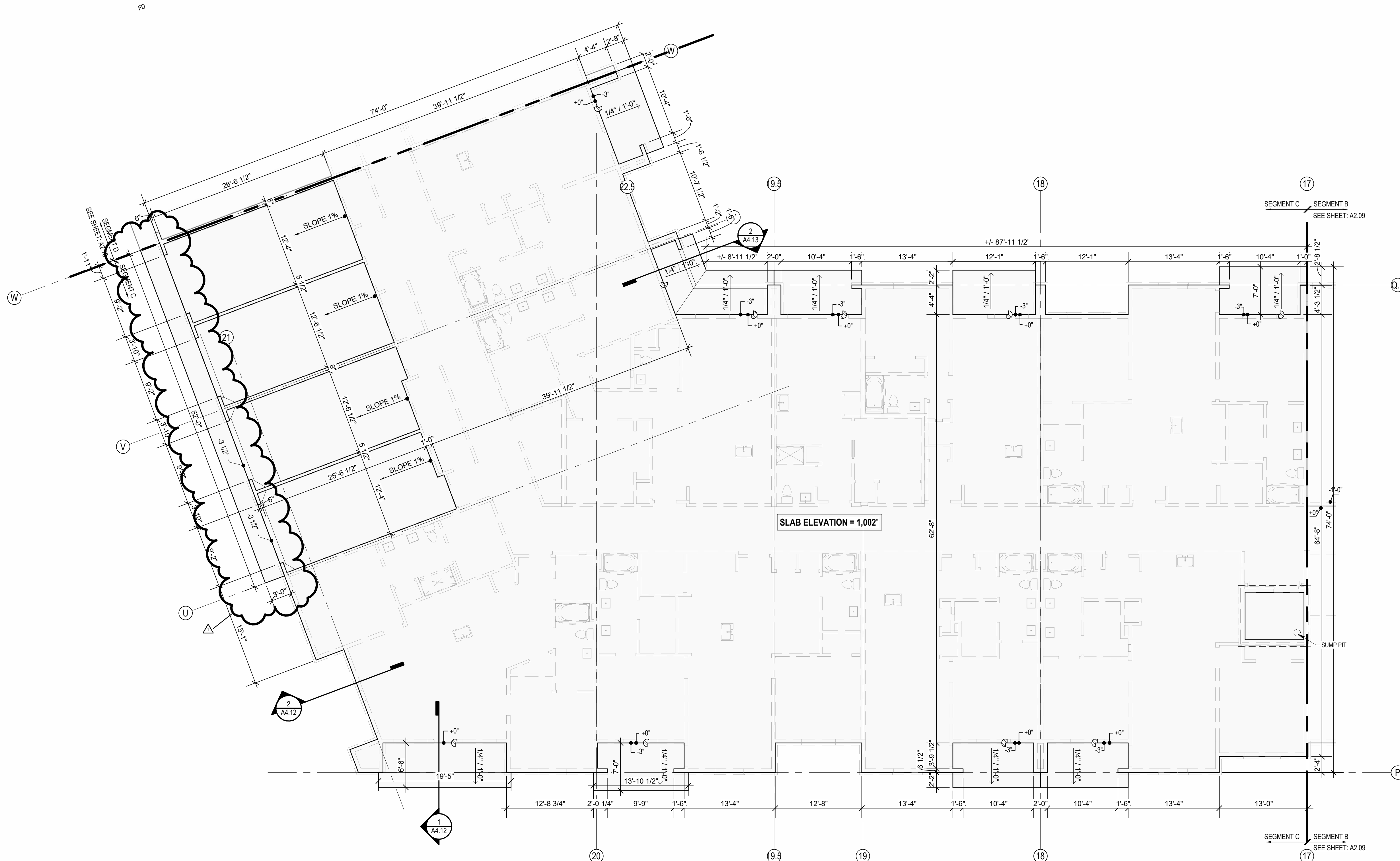
JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW

9/15/2023
SHEET NAME
SEGMENT B 4TH FLOOR & ROOF PLAN

SHEET NO.

A2.11

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As Noted on Plans Review
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F. 913.831
NSPIARCHITECTS
ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208
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1 SLAB PLAN - SEGMENT C
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST OF JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

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Lee's Summit, MO Department
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DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS
1 23.0411 CITY COMMENTS 1

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME SEGMENT C SLAB PLAN
SHEET NO. A2.12

KEY PLAN - BUILDING SEGMENTS

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
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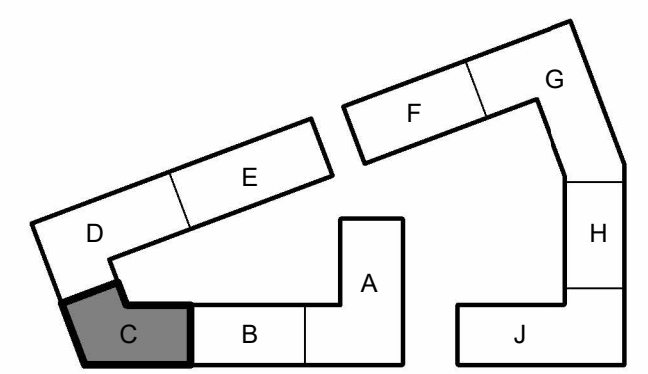
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

| REVISIONS | | |
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| 2 | 23.04.28 | A00.100.2 |
| 3 | 23.05.11 | A00.100.2 |
| 8 | 23.07.31 | AS1 |
| 11 | 23.11.03 | AS1 |

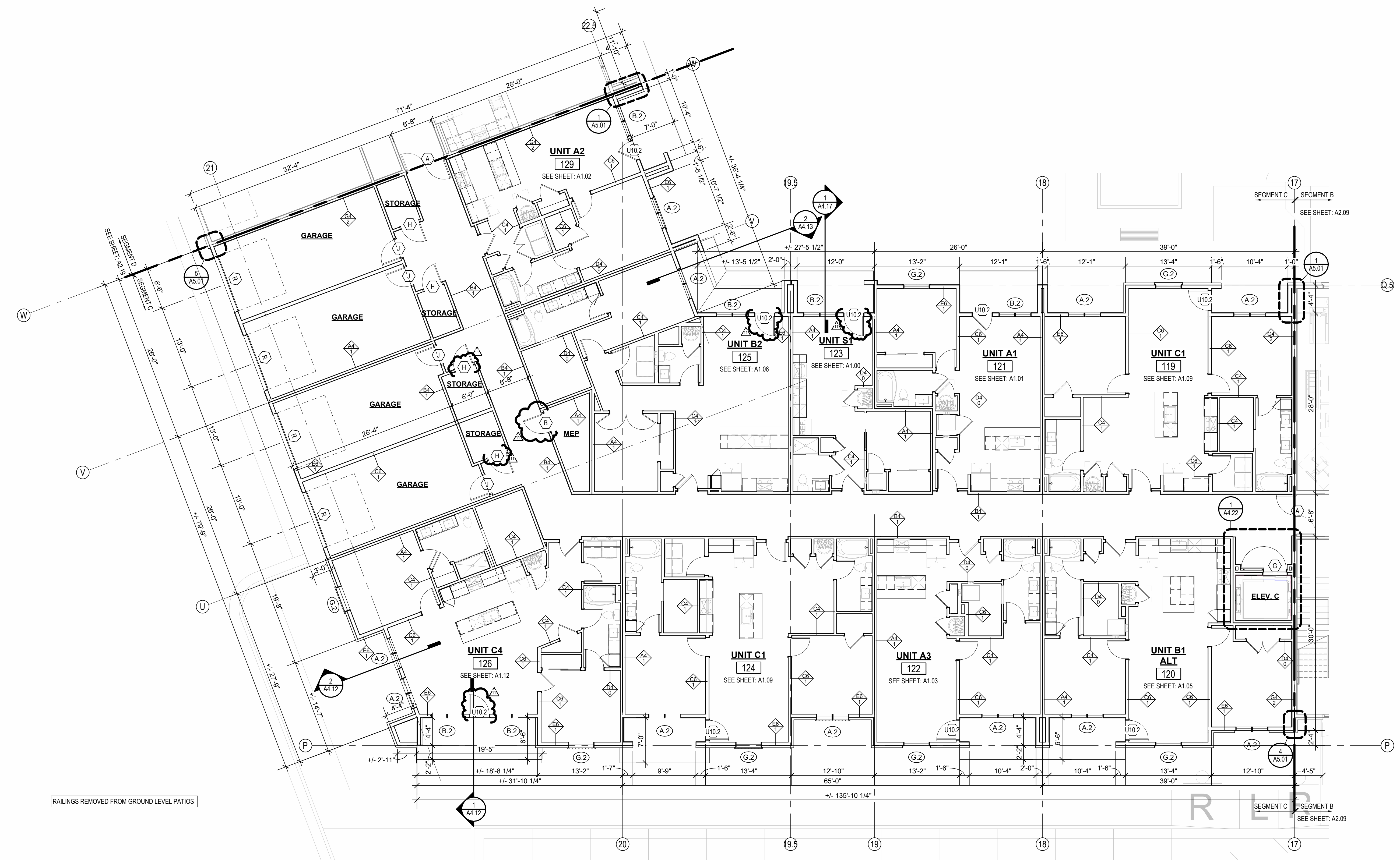
JOB NO.
705921
DRAWN BY
TSC/SIW
9/15/2023
SHEET NAME
SEGMENT C 1ST FLOOR PLAN
SHEET NO.

DATE
03.15.2023



KEY PLAN - BUILDING SEGMENTS

A2.13



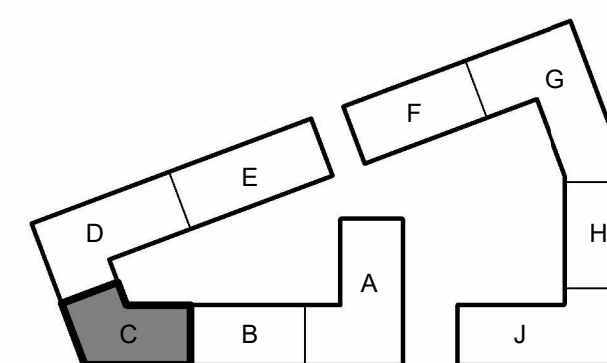
SEGMENT PLANS
1ST FLOOR - SEGMENT C
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST TOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

| REVISIONS |
|-------------------|
| 8 23.07.31 AS1.4 |
| 11 23.10.03 AS1.7 |

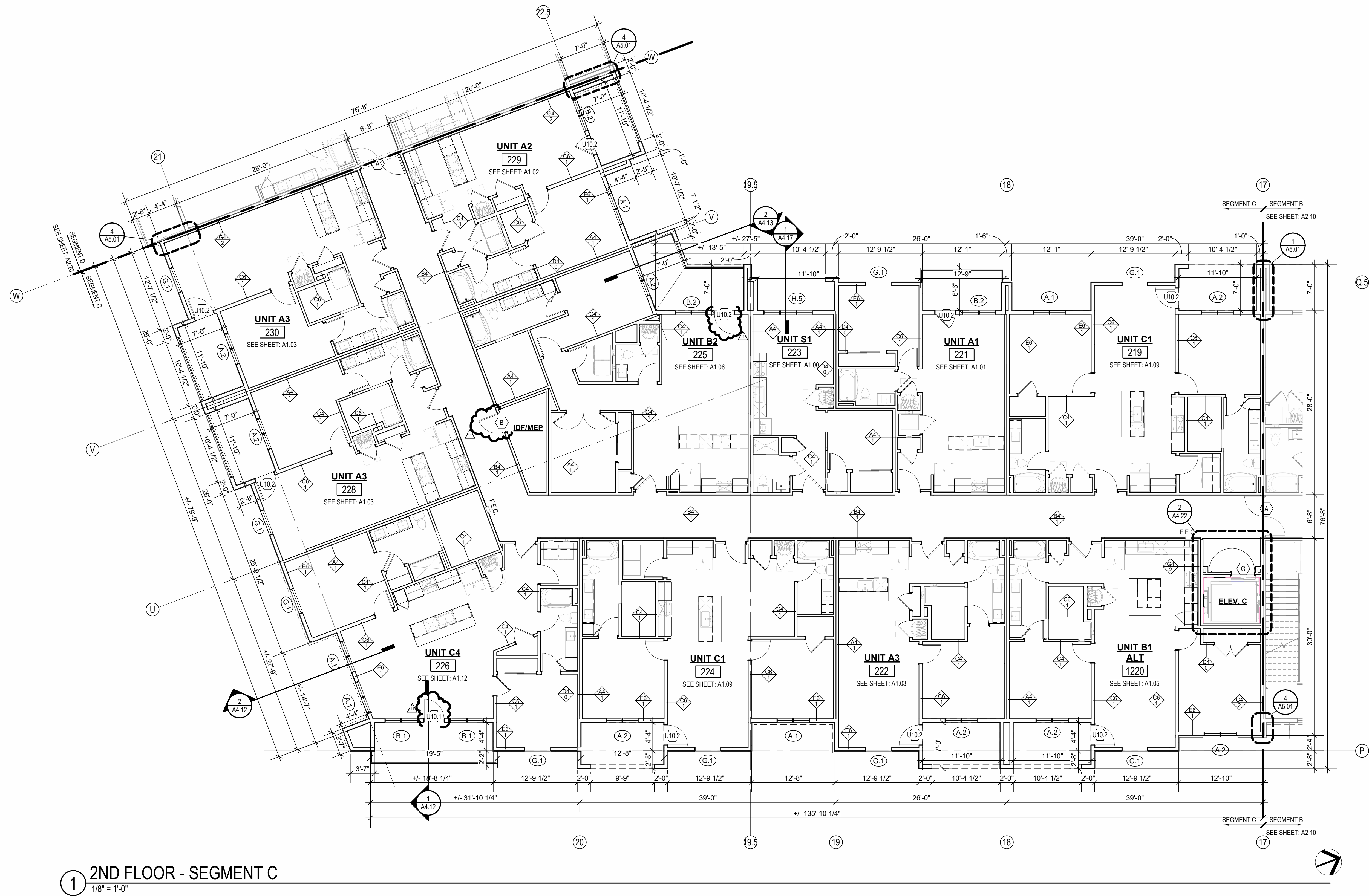
JOB NO.
705921
DRAWN BY
TSC/SIW
9/15/2023
SHEET NAME
SEGMENT C 2ND FLOOR PLAN
SHEET NO.

DATE
03.15.2023



KEY PLAN - BUILDING SEGMENTS

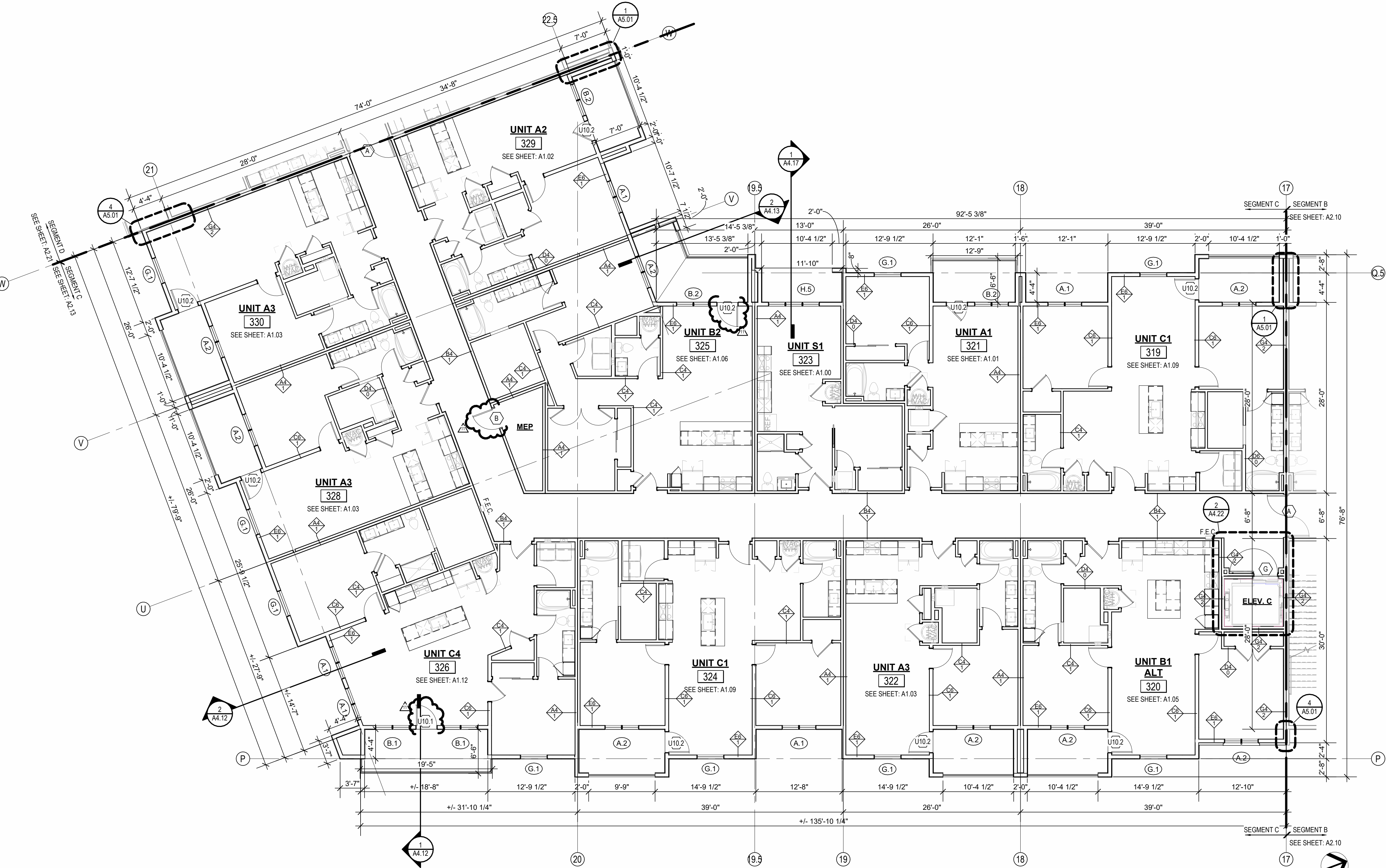
A2.14



1 2ND FLOOR - SEGMENT C
1/8" = 1'-0"

11/10/2023 9:21:28 PM

ARCH E1 30' x 42'



1 3RD FLOOR - SEGMENT C
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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11 23.11.03 AS1.7

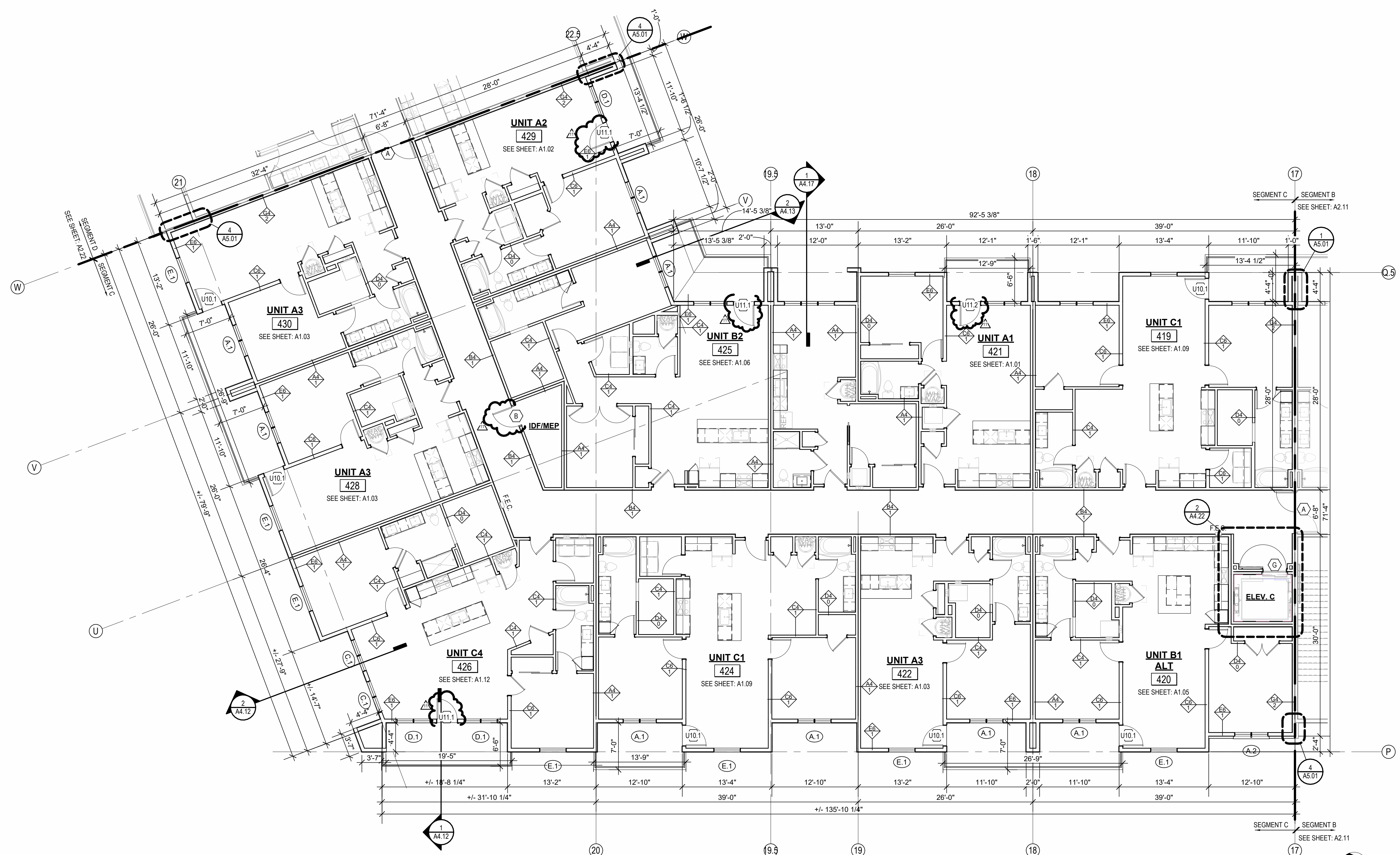
JOB NO.
705921
DRAWN BY
TSC/SIW
9/15/2023
SHEET NAME
SEGMENT C 3RD FLOOR
PLAN
SHEET NO.

DATE
03.15.2023

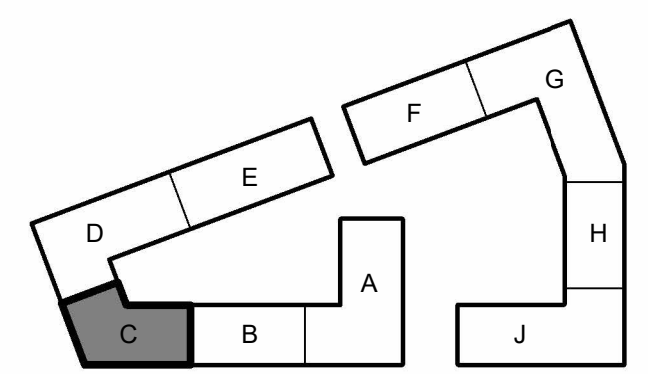
KEY PLAN - BUILDING SEGMENTS

A2.15

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 3'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST TOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



1 4TH FLOOR - SEGMENT C
1/8" = 1'-0"



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03.15.2023 - PERMIT SUBMITTAL

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|-----------|----------|-------|
| 8 | 23.07.31 | AS1.4 |
| 11 | 23.10.03 | AS1.7 |

JOB NO. 705921
DRAWN BY TSC/SIW
9/15/2023
SHEET NAME AS1 #6
SEGMENT C 4TH FLOOR PLAN
SHEET NO.

DATE 03.15.2023

A2.16

| SEG C ROOF VENT CALCULATOR | | | | | | | | | |
|----------------------------|---------|---|---|---|--|-------------------------------------|---|--|------------------------------|
| Name | Area | Total Net Free Area of Venting Required | Total Net Free Area of Venting Provided | Vented Area Percentage at Upper Roof Provided | UPPER VENTING | | LOWER VENTING | | |
| | | | | | STATIC VENTING | | STATIC VENT | | |
| | | | | | Vented Net Free Area Per Static Vent at Upper Roof | Vented Units Provided at Upper Roof | Total Net Free Area of Upper Venting Provided | Vented Net Free Area Per Lower Static Vent | Total Lower Venting Provided |
| DRAFTSTOP C-1 | 1554 SF | 746 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |
| DRAFTSTOP C-2 | 2190 SF | 1051 in² | 1270 in² | 40.00% | 254 in² | 2 | 508 in² | 254 in² | 762 in² |
| DRAFTSTOP C-3 | 1599 SF | 798 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |
| DRAFTSTOP C-4 | 2816 SF | 1351 in² | 1524 in² | 50.00% | 254 in² | 3 | 762 in² | 254 in² | 762 in² |
| DRAFTSTOP C-5 | 2853 SF | 1369 in² | 1524 in² | 50.00% | 254 in² | 3 | 762 in² | 254 in² | 762 in² |
| DRAFTSTOP C-6 | 1785 SF | 887 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 508 in² |

ROOF VENTING LEGEND

- 1

3'-0"
1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT:
(LOCATIONS AS NOTED ON DRAWINGS)
- 2

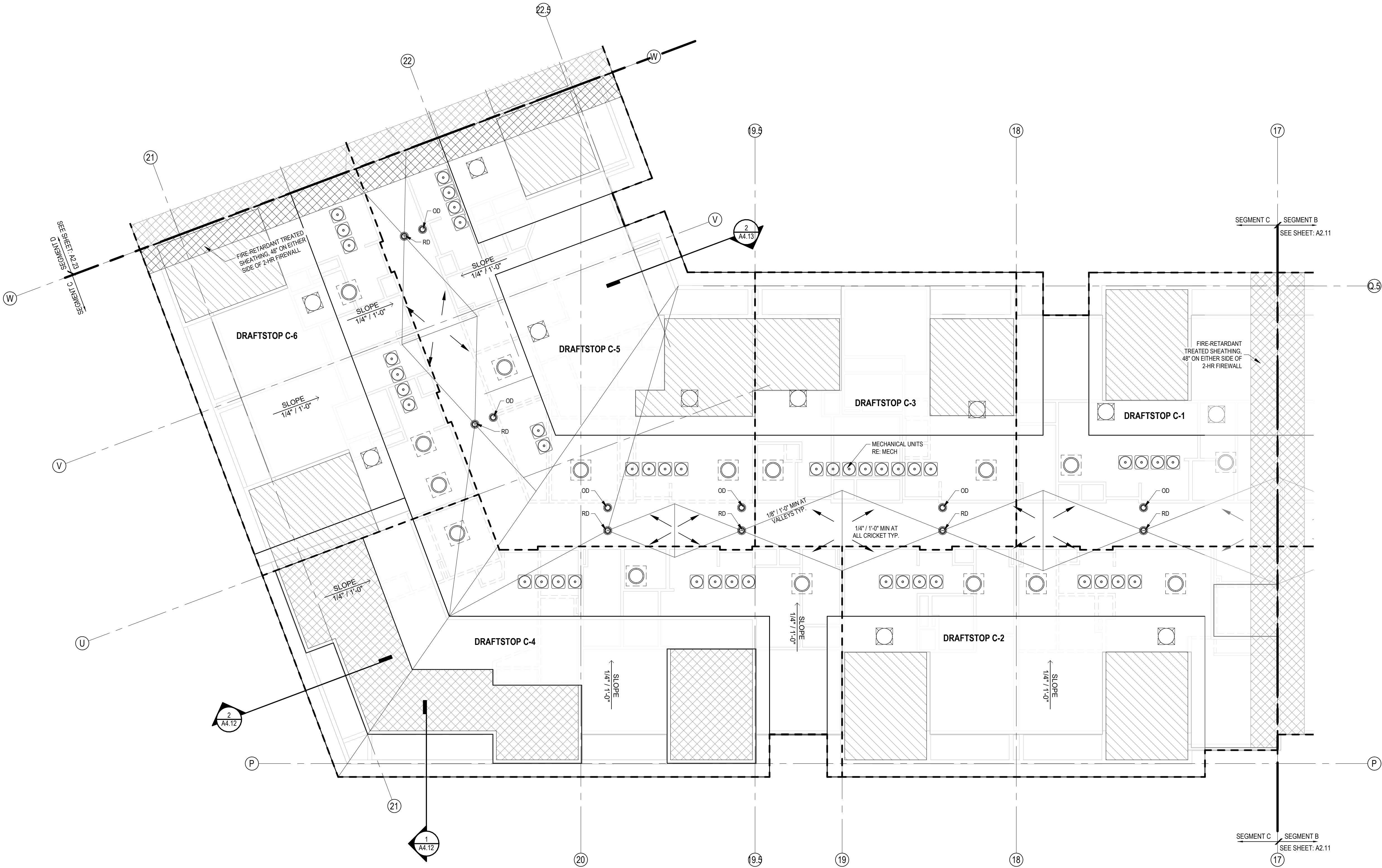
3'-0"
2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT:
(LOCATIONS AS NOTED ON DRAWINGS)
- MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE.
RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.
NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEPI/ARCH OF ANY CONFLICTS

- FLOOR PLAN GENERAL NOTES:
- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 - SEE SHEETS A0.30 AND A0.40 FOR RATED ASSEMBLIES.
 - ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 - FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
 - COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 - PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30' 0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ROOF PLAN GENERAL NOTES:
- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 - ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 - ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
 - PROVIDE KICK-OUT FLASHING AT ALL SIDE WALL CONDITIONS.
 - ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

- ATTIC VENTILING REQUIREMENTS
- REQUIREMENTS PER 2018 IBC SECTION 1202.2:
MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA
- PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW
- PROPOSED ROOF VENTILATION:
LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)
HIGH: AURA ROOF VENT (254 SQ. IN. NET FREE AREA PER VENT)

RAISED CEILING HEIGHT KEY

- 11'-0" CEILING
- 12'-0" CEILING



1 ROOF - SEGMENT C
1/8" = 1'-0"

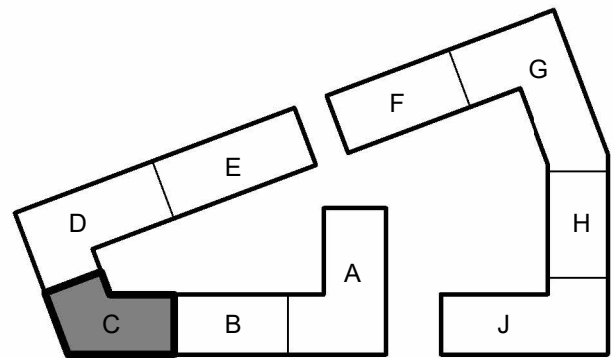
A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS

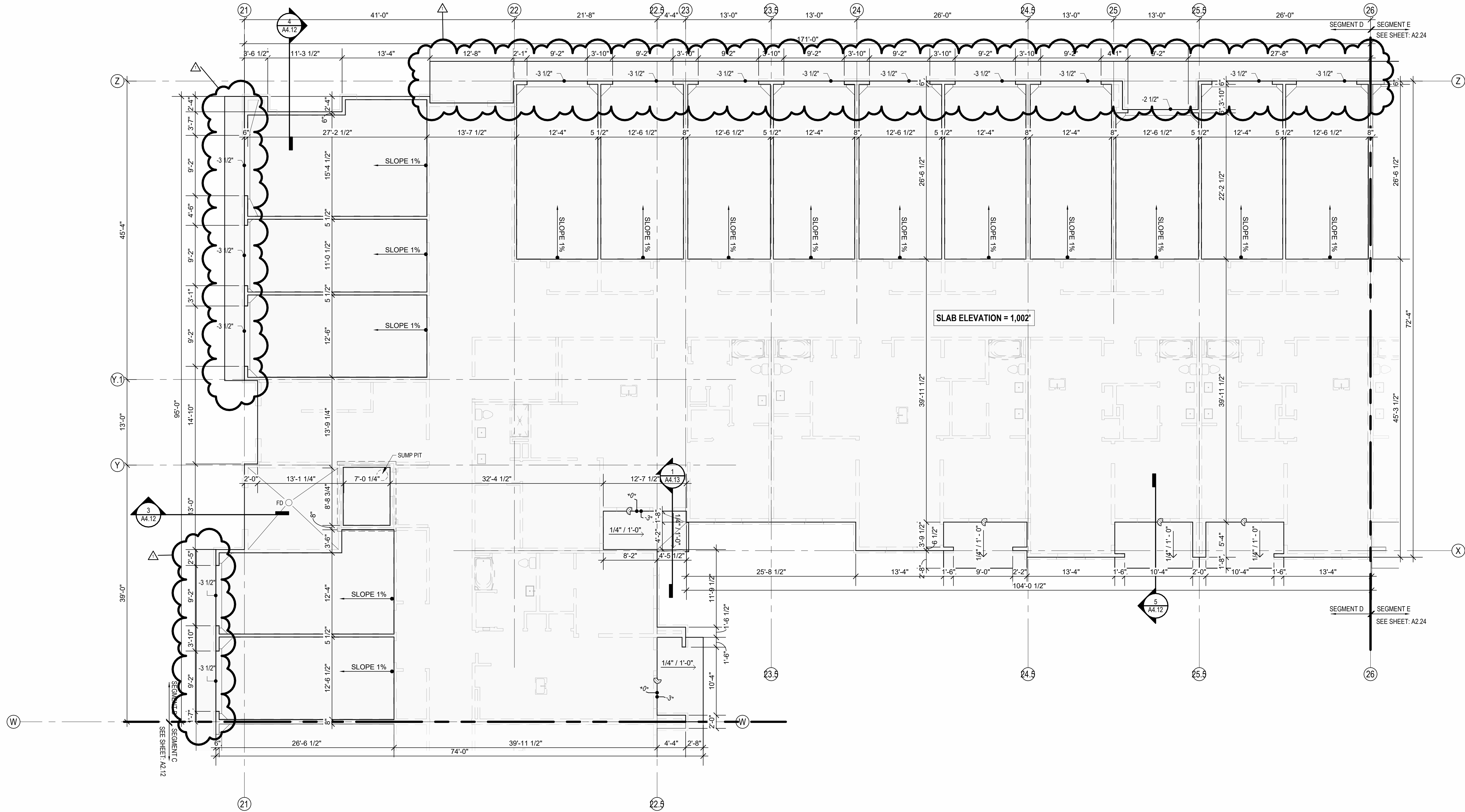
JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SEGMENT C ROOF PLAN
SHEET NAME
SHEET NO.



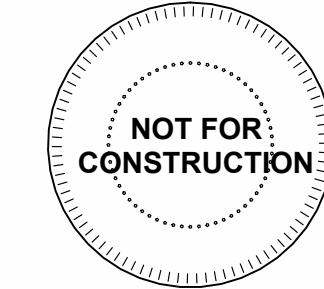
KEY PLAN - BUILDING SEGMENTS

A2.17

1 SLAB PLAN - SEGMENT D
1/8" = 1'-0"



- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST OF JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



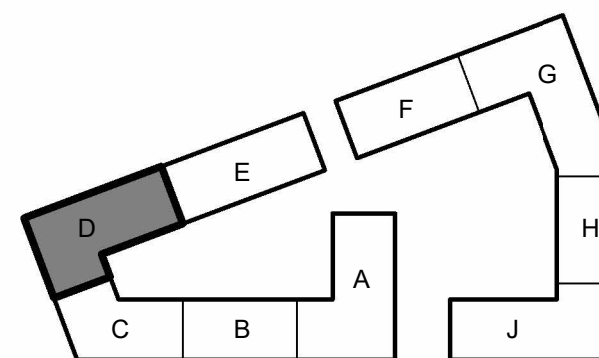
A NEW RESIDENTIAL COMMUNITY AT:

TRILogy

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS

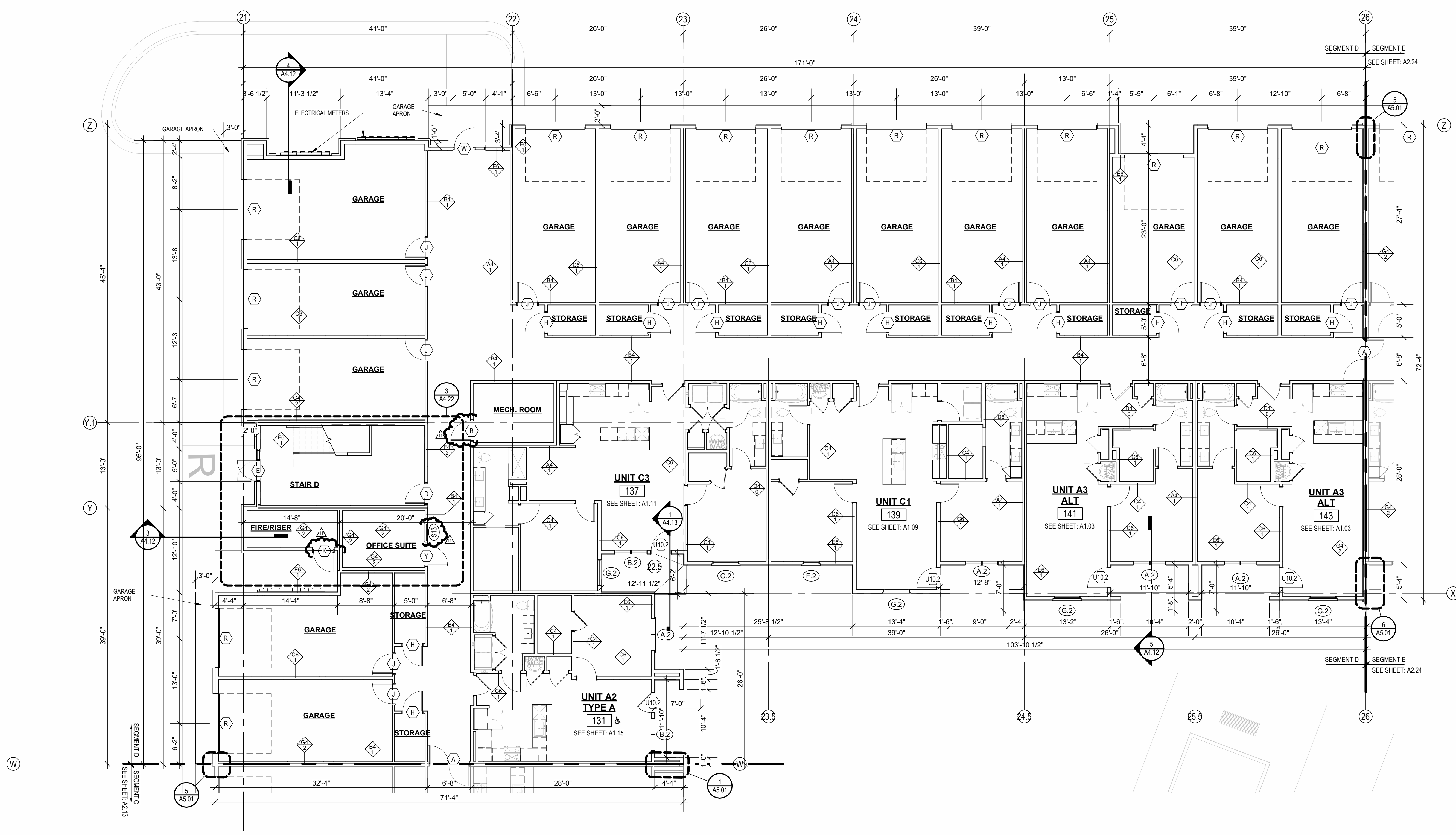


KEY PLAN - BUILDING SEGMENTS

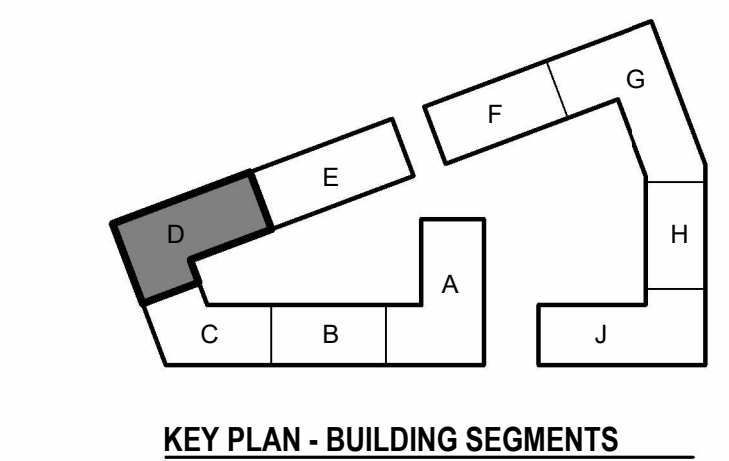
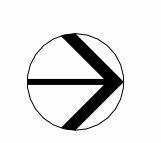
JOB NO. 705921
DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SEGMENT D SLAB PLAN
SHEET NAME
SHEET NO.

DATE 03.15.2023
A2.18

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
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1 1ST FLOOR - SEGMENT D
1/8" = 1'-0"



RAILINGS REMOVED FROM GROUND LEVEL PATIOS

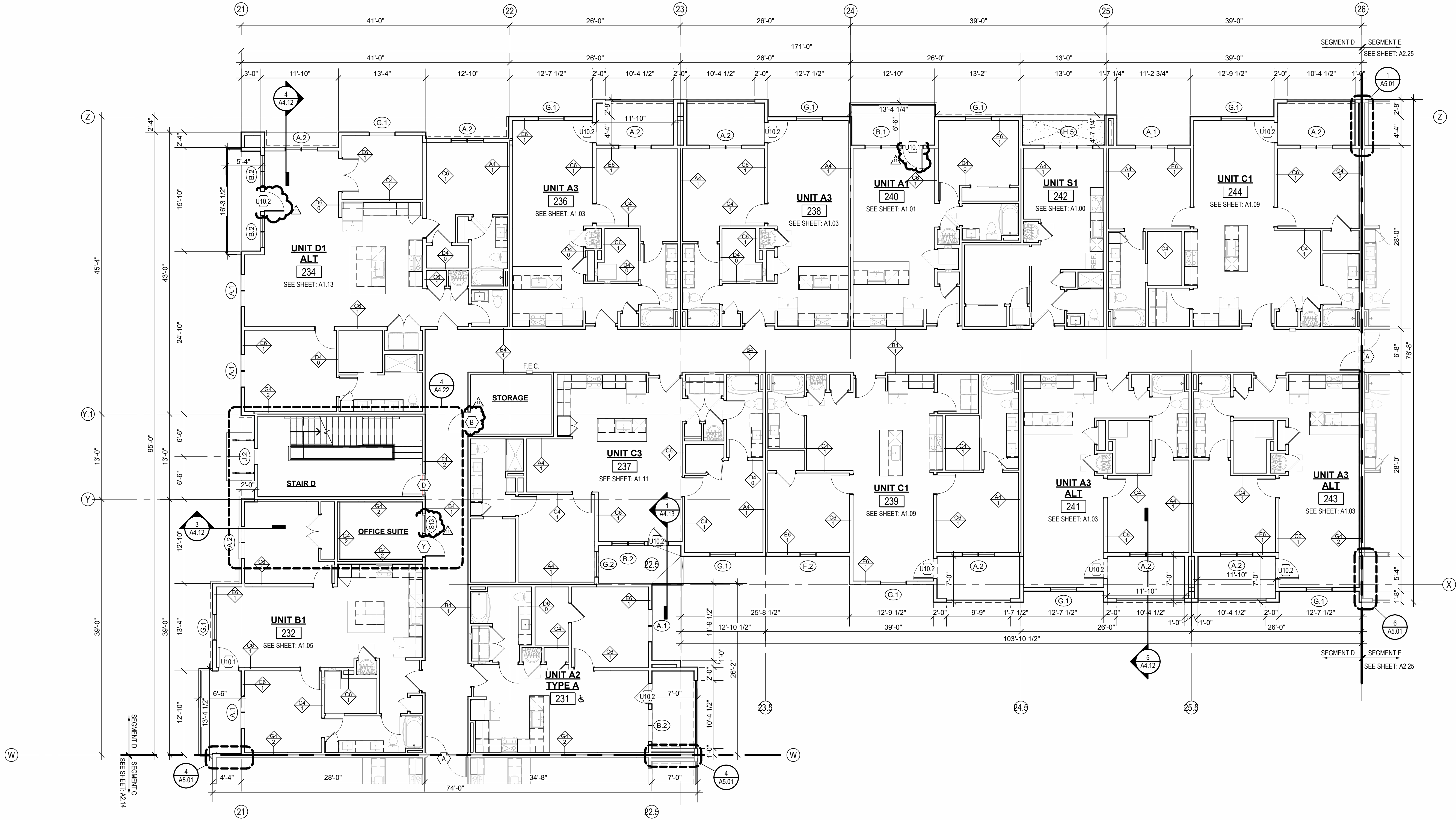
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| 2 | 23.04.08 | A00.10C.2 |
| 3 | 23.05.11 | A00.10C.2 |
| 8 | 23.07.31 | AS4 |
| 9 | 23.08.17 | AS5 |
| 10 | 23.09.16 | AS6 |
| 11 | 23.11.03 | AS7 |

JOB NO.
705921
DRAWN BY
TSC/SIW
9/15/2023
SHEET NAME
SEGMENT D 1ST FLOOR
SHEET NO.

DATE
03.15.2023

A2.19

- FLOOR PLAN GENERAL NOTES:
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST-UP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



1 2ND FLOOR - SEGMENT D
1/8" = 1'-0"

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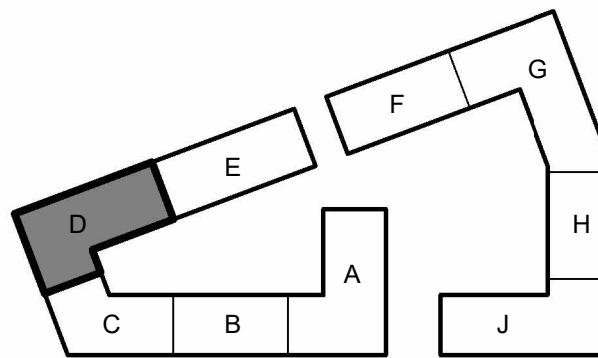
DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

| REVISIONS | |
|-----------|--------------------------|
| 1 | 23.04.11 CITY COMMENTS 1 |
| 3 | 23.05.11 ADDENDUM 2 |
| 8 | 23.07.31 AS4 |
| 11 | 23.11.03 AS7 |

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
9/15/2023
SHEET NAME AS1 #6
SEGMENT D 2ND FLOOR

SHEET NO.

A2.20



ARCH E1 30' x 42'

11/2/2023 4:38:30 PM

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 36" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST OF JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

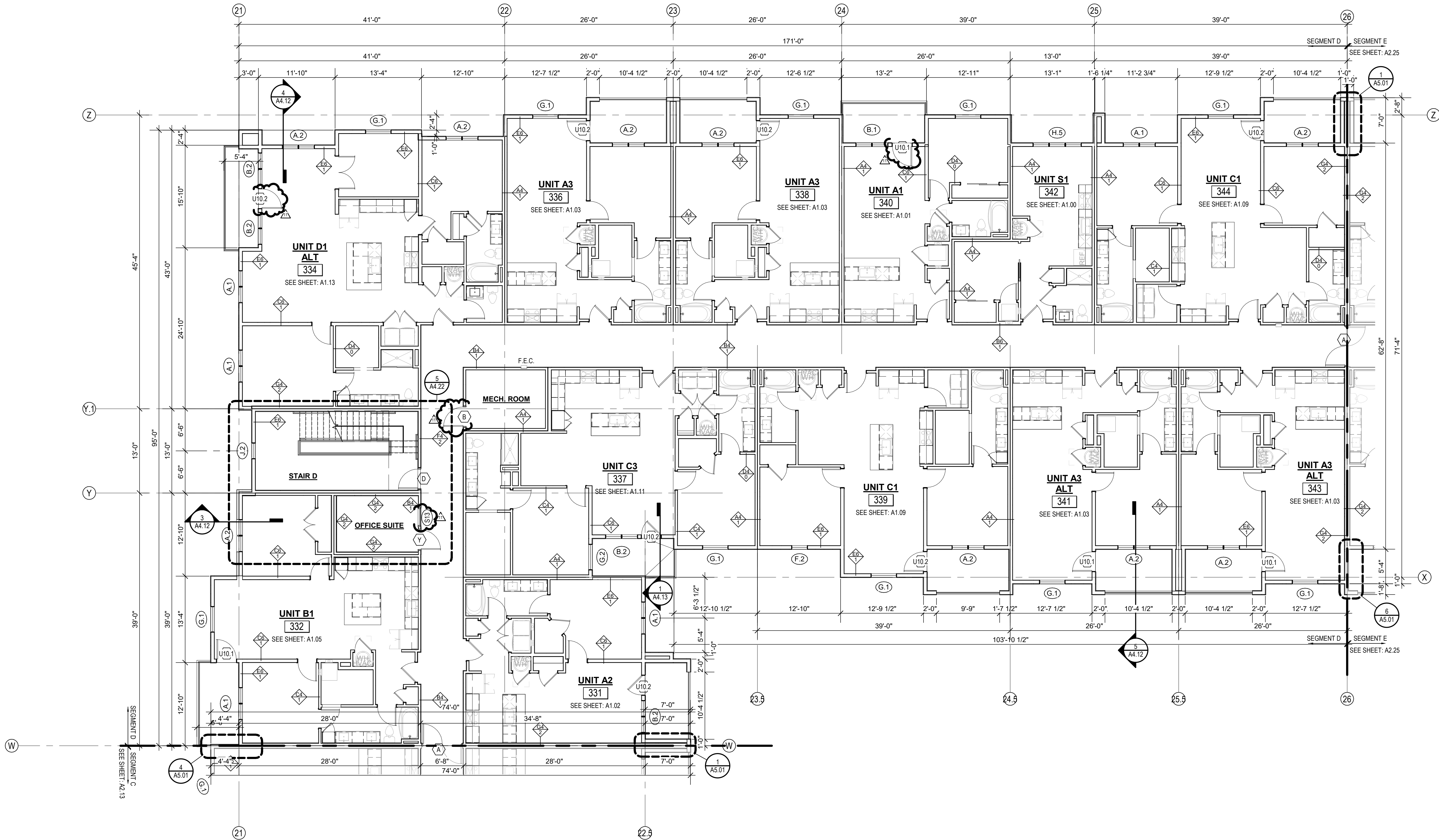
RELEASED FOR CONSTRUCTION
As Noted on Plans Review

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

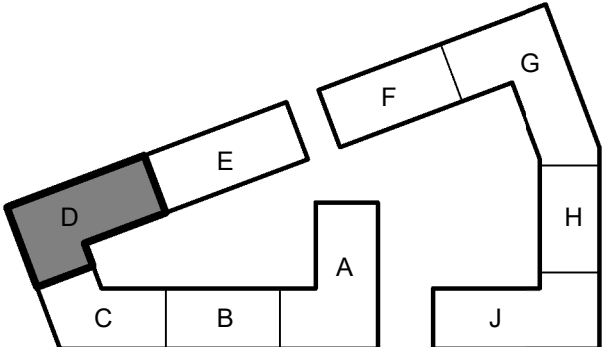
P. 913.831.1111
F. 913.831.1111
NSPJARCHITECTS.COM

NSPJ ARCHITECTSSM
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

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1 3RD FLOOR - SEGMENT D
1/8" = 1'-0"



KEY PLAN - BUILDING SEGMENTS

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DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

| REVISIONS | | |
|-----------|----------|------------|
| 3 | 23.05.11 | ADDENDUM 2 |
| 8 | 23.07.31 | AS4 |
| 11 | 23.11.03 | AS7 |

JOB NO. 705921 DATE 03.15.2023

DRAWN BY TSC/SIW

9/15/2023

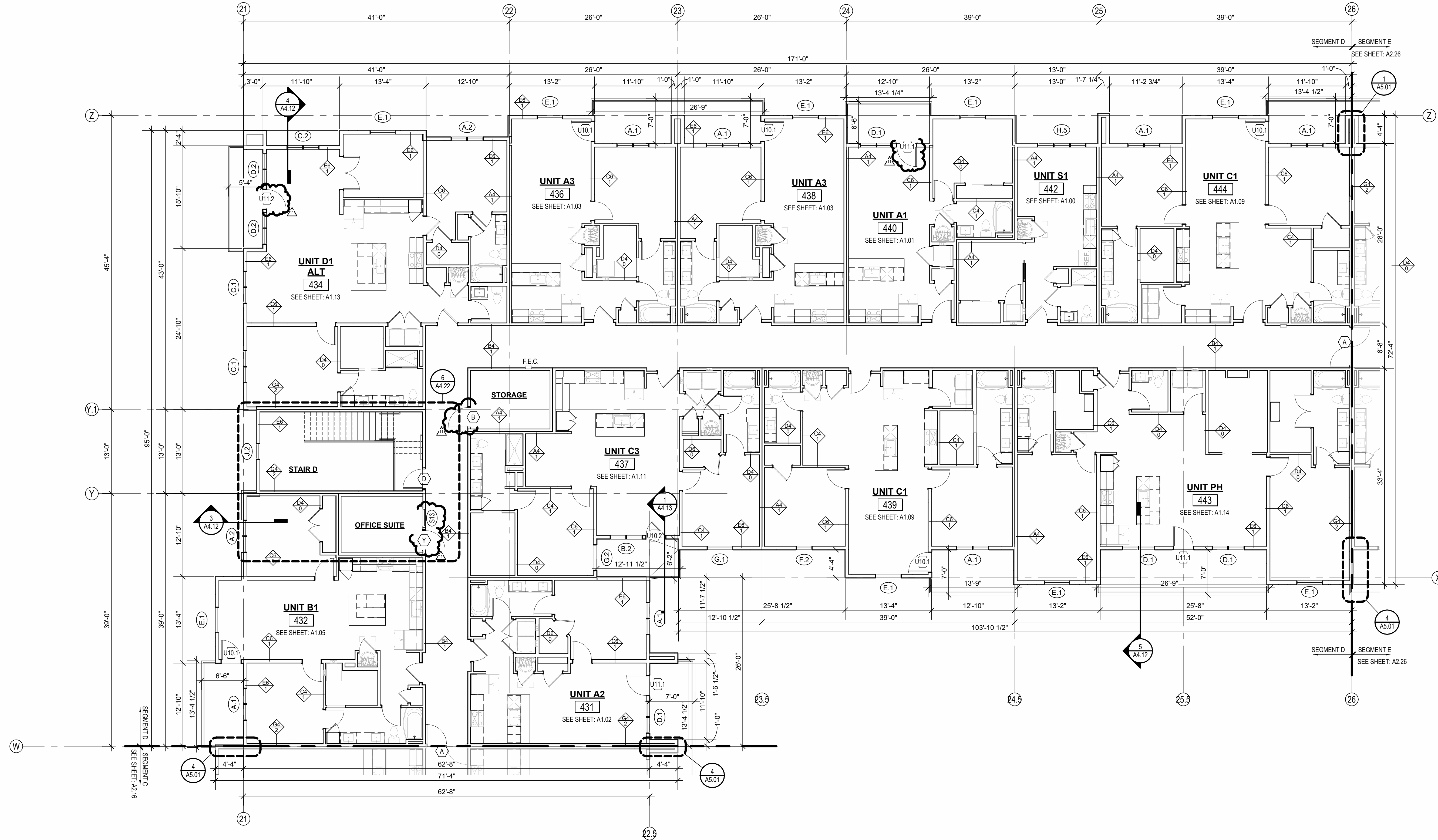
AS1 #6

SHEET NAME SEGMENT D 3RD FLOOR

SHEET NO.

A2.21

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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1 4TH FLOOR - SEGMENT D
1/8" = 1'-0"

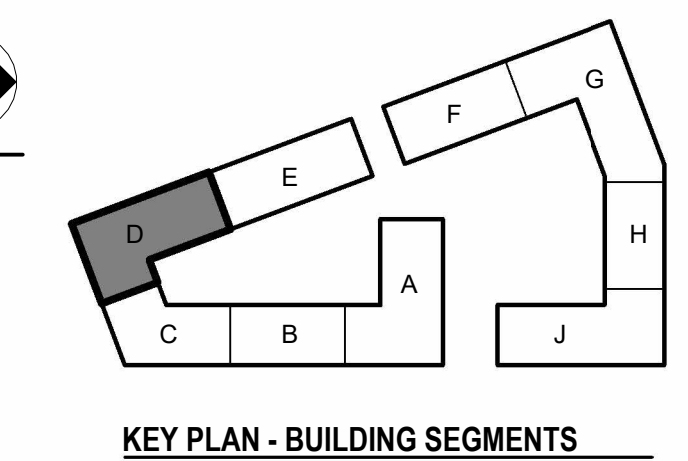
A NEW RESIDENTIAL COMMUNITY AT:
TRIOLOGY
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

| REVISIONS | | |
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| 3 | 23.05.21 | ADDENDUM 2 |
| 8 | 23.07.31 | ASH |
| 11 | 23.11.03 | ASH |

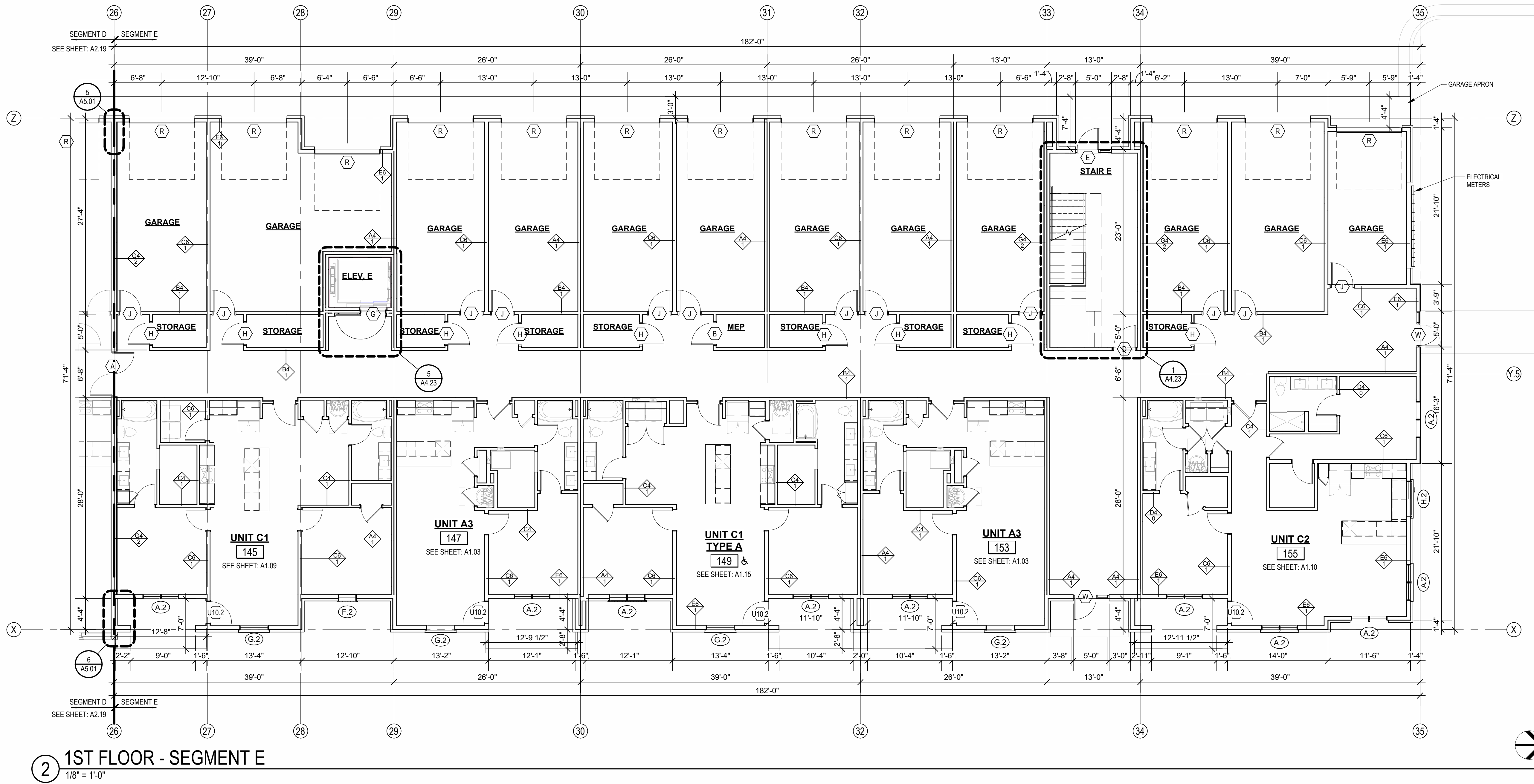
JOB NO. 705921
DRAWN BY TSC/SIW
9/15/2023
SHEET NAME SEGMENT D 4TH FLOOR
SHEET NO. A2.22

DATE 03.15.2023



ARCH E1 30' x 42'

5/11/2023 2:22:24 PM



- FLOOR PLAN GENERAL NOTES:
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST TOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

RELEASED FOR CONSTRUCTION
As Noted on Plans Review

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ
ARCHITECTS
P. 913.831.1000
F. 913.831.1000
NSPIARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

NOT FOR CONSTRUCTION

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

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DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

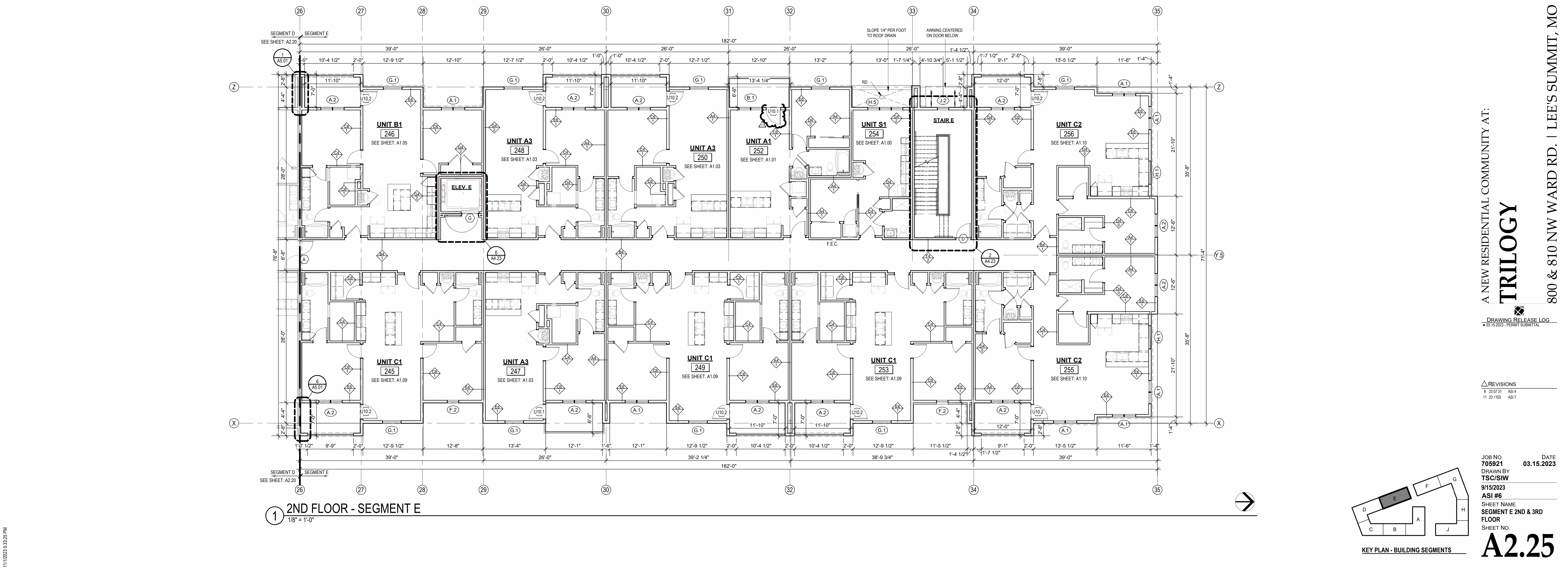
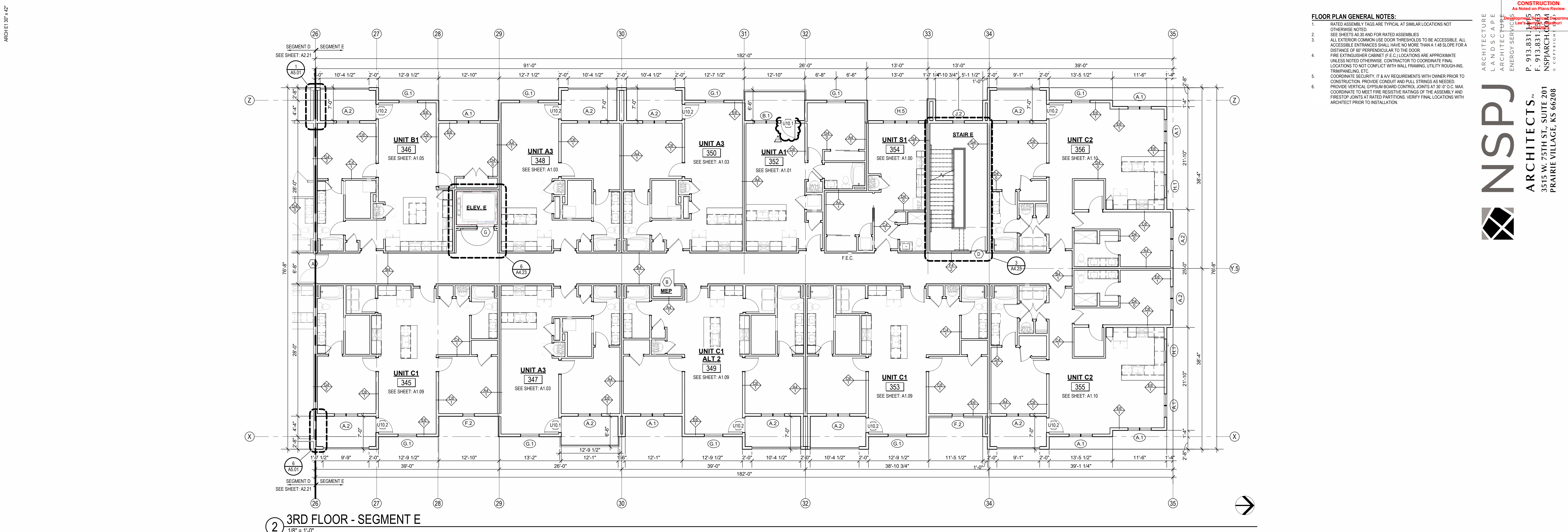
REVISIONS
3 23.0511 ADDENDUM 2

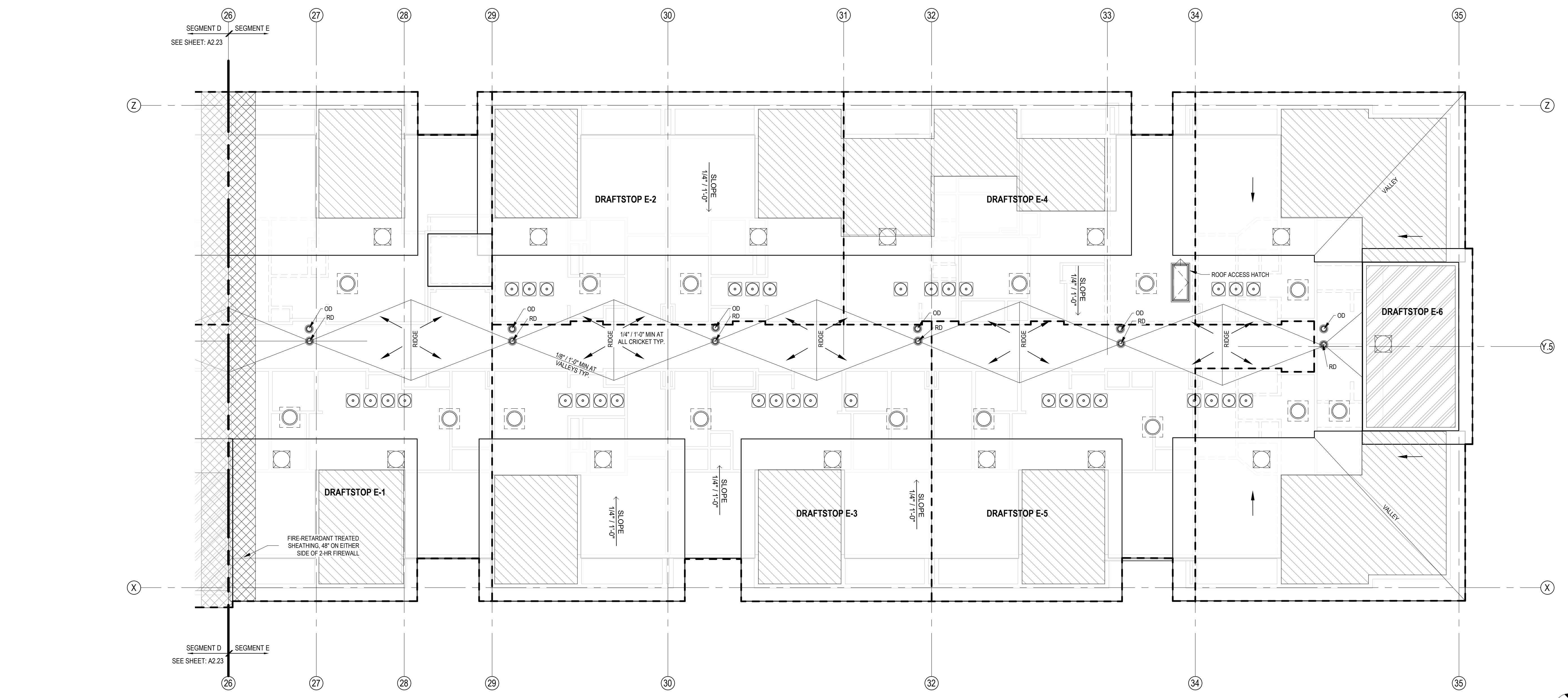
JOB NO. 705921
DRAWN BY TSC/SIW
5/11/2023
SHEET NAME SEGMENT E SLAB AND 1ST FLOOR PLAN
SHEET NO. 2

DATE 03.15.2023

KEY PLAN - BUILDING SEGMENTS

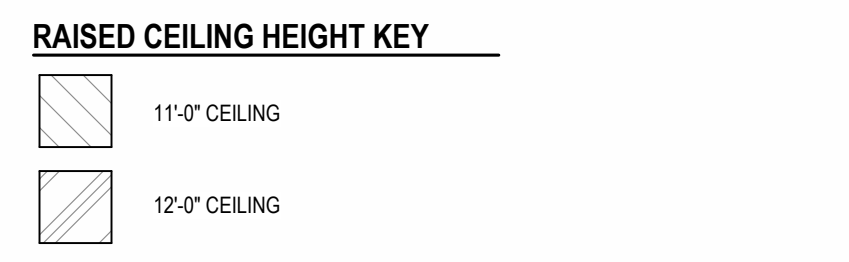
A2.24





- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE. UNLESS NOTED OTHERWISE, CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 3'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ROOF PLAN GENERAL NOTES:**
1. REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 2. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 3. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 4. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 5. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEM.
 6. PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.
 7. ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

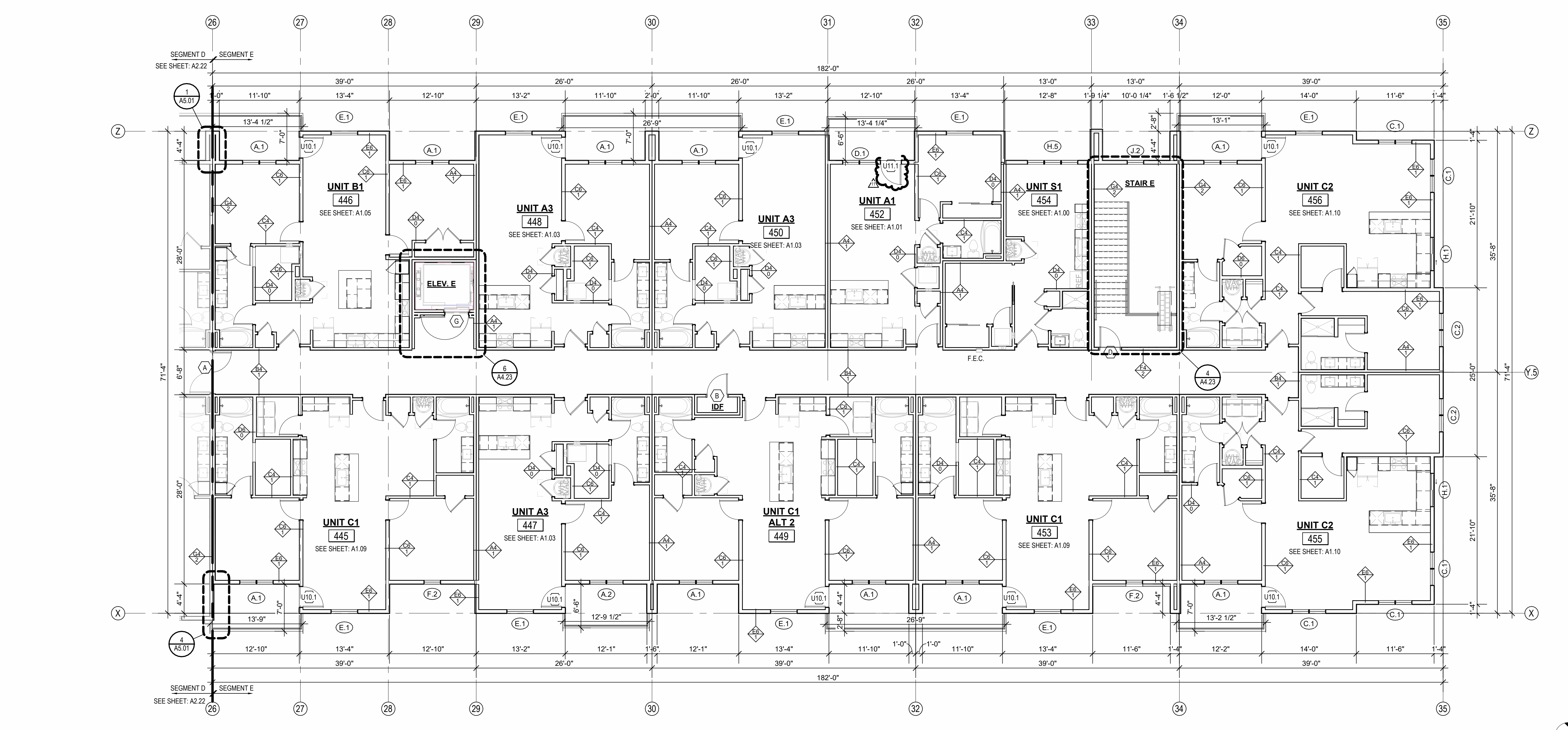
ATTIC VENTING REQUIREMENTS
REQUIREMENTS PER 2018 IRC SECTION 1502.2:
MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA
PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW
PROPOSED ROOF VENTILATION:
LOW POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)
HIGH AURA ROOF VENT (254 SQ. IN. NET FREE AREA PER VENT)



| SEG E ROOF VENT CALCULATOR | | | | | | | | | | |
|----------------------------|---------|--|--|---|--|---|--|---|-------------------|---------------------------------------|
| Name | Area | Total Net Free Area of Venting Required | Total Net Free Area of Venting Provided | Vented Area Percentage at Upper Roof Provided | UPPER VENTING | | LOWER VENTING | | | |
| | | | | | STATIC VENTING | | STATIC VENT | | | |
| | | | | | Vented Net Free Area Per Static Vent at Upper Roof | Vented Units Provided at Upper Roof | Total Net Free Area of Upper Venting Provided | Vented Net Free Area Per Lower Static Vent | Stats Provided | Total Lower Venting Provided |
| | | | | | | | | | | |
| DRAFTSTOP E-1 | 2823 SF | 1355 in² | 1524 in² | 50.00% | 254 in² | 3 | 762 in² | 254 in² | 3 | 762 in² |
| DRAFTSTOP E-2 | 1785 SF | 857 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 2 | 508 in² |
| DRAFTSTOP E-3 | 2615 SF | 1255 in² | 1270 in² | 40.00% | 254 in² | 2 | 508 in² | 254 in² | 3 | 762 in² |
| DRAFTSTOP E-4 | 1146 SF | 638 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 2 | 508 in² |
| DRAFTSTOP E-5 | 1671 SF | 802 in² | 1016 in² | 50.00% | 254 in² | 2 | 508 in² | 254 in² | 2 | 508 in² |
| DRAFTSTOP E-6 | 2917 SF | 1400 in² | 1524 in² | 50.00% | 254 in² | 3 | 762 in² | 254 in² | 3 | 762 in² |

- ROOF VENTING LEGEND**
1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT: (LOCATIONS AS NOTED ON DRAWINGS)
 2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT: (LOCATIONS AS NOTED ON DRAWINGS)
- MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MPR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.
NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

2 ROOF - SEGMENT E
1/8" = 1'-0"



1 4TH FLOOR - SEGMENT E
1/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:
TRIOLOGY
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

REVISIONS
1 23.04.11 CITY COMMENTS 1
2 23.07.31 ASH
11 23.11.03 ASH

JOB NO. 705921
DRAWN BY TSC/SIW
9/15/2023
SHEET NAME SEGMENT E 4TH FLOOR & ROOF PLAN
SHEET NO. A2.26

DATE 03.15.2023