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A NORTHPOINT PROPERTY

PROJECT INFORMATION

PROJECT ADDRESS: 800 & 810 NORTH WARD ROAD LEE'S SUMMIT JACKSON MISSOURI

SITE DATA

TOTAL LAND AREA	11.83 ACRES (515,31
TOTAL BUILDING FOOTPRINT BUILDING 1 BUILDING 2	114,936 SF 62,085 SF 52,851 SF
TOTAL BUILDING AREA BUILDING 1 BUILDING 2	474,057 SF 251,600 SF 222,457 SF
TOTAL RESIDENTIAL UNIT COUNT BUILDING 1 BUILDING 2	323 178 145
DENSITY (UNITS/ACRE)	27/ACRE

PARKING DATA

VEHICLE PARKING	
TOTAL PARKING SPACES REQUIRED	565 (1.75/DU)
TOTAL PARKING SPACES PROVIDED SURFACE DETACHED GARAGE TUCK UNDER GARAGE	579 406 48 125

VICINITY MAP



DDO IDOT TEAM

NEIGHBORS CONSTRUCTION COMPANY, INC

OLATHE, KS 66061

TEL: (913) 422-5555

CONTACT: RYAN TERRILL

PROJECT TEAM	
OWNER: NORTHPOINT DEVELOPMENT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (516) 888-7380 EMAIL: BRAD@NORTHPOINTKC.COM CONTACT: BRAD HAYMOND	ARCHITECT: NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: THOMBURG@NSPJARCH.COM CONTACT: TIM HOMBURG, AIA
CIVIL ENGINEER: SITEPOINT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (816) 888-7380 EMAIL: NHAAS@NORTHPOINTKC.COM CONTACT: NEIL HAAS	STRUCTURAL ENGINEER: KRUDWIG STRUCTURAL ENGINEERS, INC 8801 RENNER AVENUE, SUITE 407 LENEXA, KS 66219 TEL: (913) 660-0584 EMAIL: JKRUDWIG@KRUDWIG.COM CONTACT: JOHN KRUDWIG
MEP ENGINEER: LATIMER, SOMMERS & ASSOCIATES 3639 SW SUMMERFIELD DR, SUITE A TOPEKA, KS 66614 TEL: (785) 233-3232 EMAIL: RBEARDMORE@LSAPA.COM CONTACT: RICH BEARDMORE	LANDSCAPE ARCHITECT: NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: BHUS@NSPJARCH.COM CONTACT: BRAD HUS
GENERAL CONTRACTOR:	INTERIOR DESIGNER:

LOWERY DESIGN GROUP

CONTACT: ERIN LOWERY

TEL: (720) 212-6841

EMAIL: RTERRILL@NEIGHBORSCONSTRUCTION.COM EMAIL: ERIN@LOWERYDESIGNGROUP.COM

PRAIRIE VILLAGE, KS 66208

2200 W. 75TH STREET, SUITE 102

PROJECT GENERAL NOTES

	1.	ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE LAWS, REGULATIONS, CODES AND AMENDMENTS.
	2.	THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
CH.COM		

DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED ITEMS AND WORK IS REQUIRED.

THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS AND TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE

THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.

THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN. ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.

IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.

IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES

ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT. EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSTRUED AS ACCEPTANCE OF ALL SUBSURFACES.

UNIT MIX - BLDG. 1			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	13	5.0%	8629 SF
UNIT A2	10	4.2%	7255 SF
UNIT A2 TYPE A	2	0.8%	1451 SF
UNIT A3	33	14.9%	25824 SF
UNIT A3 ALT	12	5.5%	9548 SF
1 BED / 1 BATH / DEN	70 N	30.4%	52707 SF
UNIT B1	9	5.3%	9186 SF
UNIT B1 ALT	4	2.4%	4185 SF
UNIT B2	4	2.6%	4598 SF
UNIT B4	1	0.7%	1148 SF
2 BED / 2 BATH	18	11.0%	19117 SF
UNIT C1	32	21.1%	36713 SF
UNIT C1 ALT 2	2	1.3%	2254 SF
UNIT C1 ALT 3	4	2.7%	4692 SF
UNIT C1 TYPE A	1	0.7%	1147 SF
UNIT C2	14	9.9%	17229 SF
UNIT C3	8	5.6%	9639 SF
UNIT C4	4	2.8%	4947 SF
2 BED / 2 BATH / DEN	65 N	44.1%	76621 SF
UNIT D1	3	2.6%	4497 SF
UNIT D1 ALT	3	2.6%	4497 SF
UNIT PH	6	5.5%	9563 SF
GUEST	12	10.7%	18558 SF
GUEST SUITE	1	0.2%	358 SF
	1	0.2%	358 SF
STUDIO			
UNIT S1	10	2.8%	4800 SF
UNIT S1 ALT	3	0.8%	1446 SF
	13	3.6%	6246 SF

UNIT TYPE	# UNITS	% TOTAL	TOTAL SI
BED / 1 BATH			
NIT A1	7	3.2%	4647 SF
NIT A2	11	5.6%	7980 SF
NIT A2 TYPE A	2	1.0%	1451 SF
NIT A3	18	9.8%	14086 SF
NIT A3 ALT	18	10.0%	14322 SF
NIT A4	3	1.5%	2221 SF
	59	31.1%	44707 SF
BED / 1 BATH / DE	N		
NIT B1	6	4.3%	6124 SF
NIT B3	4	3.0%	4241 SF
	10	7.2%	10365 SF
BED / 2 BATH			
NIT C1	31	24.8%	35566 SF
NIT C1 ALT	4	3.3%	4692 SF
NIT C1 ALT 2	2	1.6%	2254 SF
NIT C1 TYPE A	2	1.6%	2294 SF
NIT C2	12	10.3%	14768 SF
NIT C3	6	5.0%	7229 SF
	57	46.5%	66803 SF
BED / 2 BATH / DE	N		
NIT D1	8	8.4%	11993 SF
NIT PH	4	4.4%	6376 SF
	12	12.8%	18369 SF
TUDIO			
NT S1	7	2.3%	3360 SF
	7	2.3%	3360 SF
OTALS	145	100.0%	143603 SF

△ REVISIONS 1 23 0411 CITY COMMENTS 1 3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4

705921 03.15.2023 DRAWN BY TSC/SIW SHEET NAME COVER SHEET

CONSTRUCTION

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UNIT S1 PLANS

UNIT A1 PLANS

UNIT A2 PLANS

UNIT A3 PLANS

UNIT A4 PLANS

UNIT B1 PLANS

UNIT B2 PLANS

UNIT B3 PLANS

UNIT B4 PLANS

UNIT C1 PLANS

UNIT C2 PLANS

UNIT C3 PLANS

UNIT C4 PLANS

UNIT D1 PLANS

UNIT PH PLANS

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A2.19

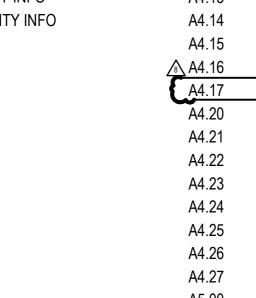
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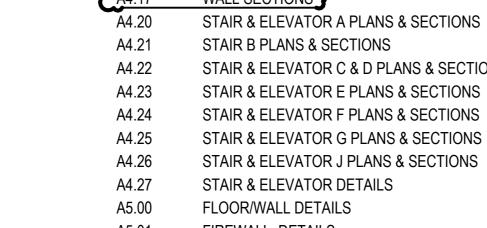
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SEGMENT H 2ND & 3RD FLOOR PLANS

SEGMENT H 4TH FLOOR & ROOF PLAN

SEGMENT J 4TH FLOOR & ROOF PLAN

SEGMENT J 2ND & 3RD FLOOR

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BLDG. 1 EXTERIOR ELEVATIONS

BLDG. 1 EXTERIOR ELEVATIONS

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CLUBHOUSE - INTERIOR ELEVATIONS

CLUBHOUSE - INTERIOR ELEVATIONS

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STORM SEWER PLAN AND PROFILE

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WINDOW SCHEDULE

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WALL SECTIONS

WALL SECTIONS

WALL SECTIONS

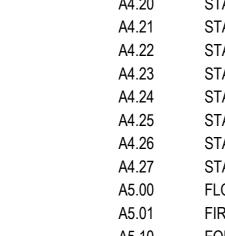
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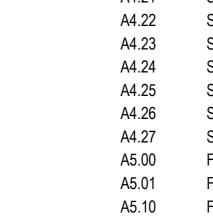
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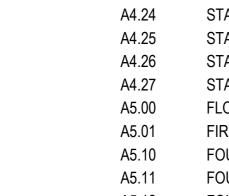
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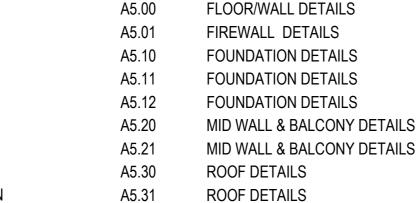
BLDG. 1 COURTYARD ELEVATIONS

SEGMENT J BASEMENT & 1ST FLOOR PLANS









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A7.11

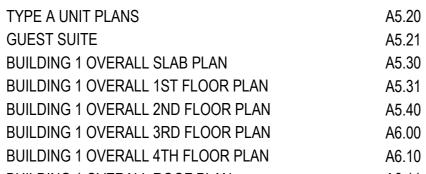
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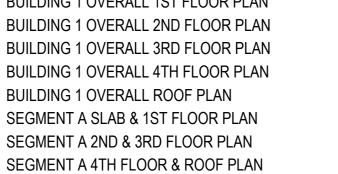
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C-0400

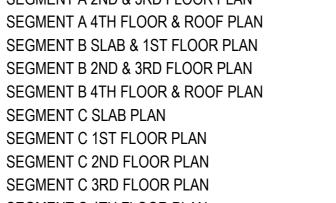
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SEG (G) 2ND & 3RD FLOOR FRAMING PLAN

SEG (G) 4TH FLOOR & ROOF FRAMING PLAN

SEG (F) 4TH FLOOR & ROOF FRAMING PLAN

SEG (G) BASEMENT PT SLAB PLAN / PT SLAB PLAN

SEG (G) BASEMENT FOUNDATION / FOUNDATION & 1

SEG (H) BASEMENT PT SLAB PLAN / PT SLAB PLAN

SEG (H) BASEMENT FOUNDATION / FOUNDATION & 1

SEG (F) PT SLAB & FOUNDATION PLAN

SEG (F) SHEARWALL PLAN

FLOOR FRAMING PLAN

SEG (G) SHEARWALL PLAN

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P1.06	SEGMENT B 1ST & 2ND FLOOR - PLUMBING	
P1.07	SEGMENT B 3RD & 4TH FLOOR - PLUMBING	
P1.08	SEGMENT B - ROOF PLAN - PLUMBING	
P1.09	SEGMENT C 1ST FLOOR - PLUMBING	
P1.10	SEGMENT C 2ND FLOOR - PLUMBING	
P1.11	SEGMENT C 3RD FLOOR - PLUMBING	
P1.12	SEGMENT C 4TH FLOOR - PLUMBING	
D1 12	SECMENT C DOGEDLAN DITIMDING	

SEGMENT C - ROOF PLAN - PLUMBING SEGMENT D 1ST FLOOR - PLUMBING SEGMENT D 2ND FLOOR - PLUMBING SEGMENT D 3RD FLOOR - PLUMBING SEGMENT D 4TH FLOOR - PLUMBING SEGMENT D - ROOF PLAN - PLUMBING

SEGMENT E 1ST FLOOR - PLUMBING

SEGMENT E 2ND FLOOR - PLUMBING

SEGMENT E 3RD FLOOR - PLUMBING

P1.19

M1.37 M2.01 M2.02 M2.04 M2.05 MECHANICAL DETAILS

E1.02

SEGMENT A 1ST FLOOR - HVAC SEGMENT A 2ND FLOOR - HVAC SEGMENT A 3RD FLOOR - HVAC SEGMENT A 4TH FLOOR - HVAC SEGMENT A ROOF - HVAC

UNIT PLUMBING PLANS

UNIT PLUMBING PLANS

UNIT PLUMBING PLANS

UNIT PLUMBING PLANS

UNIT PLUMBING PLANS

PLUMBING RISERS

PLUMBING RISERS

PLUMBING RISERS

PLUMBING RISERS

SEGMENT E 4TH FLOOR - PLUMBING

SEGMENT E - ROOF PLAN - PLUMBING

SEGMENT F 1ST FLOOR - PLUMBING

SEGMENT F 2ND FLOOR - PLUMBING

SEGMENT F 3RD FLOOR - PLUMBING

SEGMENT F 4TH FLOOR - PLUMBING

SEGMENT F - ROOF PLAN - PLUMBING

SEGMENT G BASEMENT & 1ST FLOOR - PLUMBING

SEGMENT H BASEMENT & 1ST FLOOR - PLUMBING

SEGMENT J BASEMENT & 1ST FLOOR - PLUMBING

SEGMENT G 2ND & 3RD FLOOR - PLUMBING

SEGMENT H 2ND & 3RD FLOOR - PLUMBING

SEGMENT J 2ND & 3RD FLOOR - PLUMBING

SEGMENT J 4TH FLOOR & ROOF - PLUMBING

SEGMENT H 4TH FLOOR & ROOF - PLUMBING

SEGMENT G 4TH FLOOR & ROOF - PLUMBING

P1.23

P1.25

P1.26

P1.27

P1.28

P1.29

P1.30

P1.31

P1.32

P1.33

P1.36

P1.37

P2.01

P2.02

P2.04

M1.02 M1.03 M1.04 SEGMENT B 1ST & 2ND FLOOR - HVAC SEGMENT B 3RD & 4TH FLOOR - HVAC SEGMENT B ROOF - HVAC SEGMENT C 1ST FLOOR - HVAC SEGMENT C 2ND FLOOR - HVAC SEGMENT C 3RD FLOOR - HVAC

SEGMENT C 4TH FLOOR - HVAC SEGMENT C ROOF - HVAC M1.13 SEGMENT D 1ST FLOOR - HVAC M1.15 SEGMENT D 2ND FLOOR - HVAC M1.16 SEGMENT D 3RD FLOOR - HVAC M1.17 SEGMENT D 4TH FLOOR - HVAC M1.18 SEGMENT D ROOF - HVAC

SEGMENT E 1ST FLOOR - HVAC SEGMENT E 2ND FLOOR - HVAC SEGMENT E 3RD FLOOR - HVAC SEGMENT E 4TH FLOOR - HVAC SEGMENT E ROOF - HVAC SEGMENT F 1ST FLOOR - HVAC SEGMENT F 2ND FLOOR - HVAC

M1.26 SEGMENT F 3RD FLOOR - HVAC M1.27 SEGMENT F 4TH FLOOR - HVAC M1.28 SEGMENT F ROOF - HVAC SEGMENT G BASEMENT & 1ST FLOOR - HVAC SEGMENT G 2ND & 3RD FLOOR - HVAC SEGMENT G 4TH FLOOR & ROOF - HVAC

SEGMENT H BASEMENT & 1ST FLOOR - HVAC SEGMENT H 2ND & 3RD FLOOR - HVAC SEGMENT H 4TH FLOOR & ROOF - HVAC SEGMENT J BASEMENT & 1ST FLOOR - HVAC SEGMENT J 2ND & 3RD FLOOR - HVAC SEGMENT J 4TH FLOOR & ROOF - HVAC

UNIT PLANS - HVAC UNIT PLANS - HVAC UNIT PLANS - HVAC UNIT PLANS - HVAC UNIT PLANS - HVAC MECHANICAL DETAILS MECHANICAL DETAILS

06 - ELECTRICAL

SEGMENT A 1ST FLOOR - ELECTRICAL SEGMENT A 2ND FLOOR - ELECTRICAL

SEGMENT C 1ST FLOOR - ELECTRICAL E1.10 SEGMENT C 2ND FLOOR - ELECTRICAL SEGMENT C 3RD FLOOR - ELECTRICAL E1.12 SEGMENT C 4TH FLOOR - ELECTRICAL SEGMENT C ROOF - ELECTRICAL E1.13 SEGMENT D 1ST FLOOR - ELECTRICAL SEGMENT D 2ND FLOOR - ELECTRICAL SEGMENT D 3RD FLOOR - ELECTRICAL SEGMENT D 4TH FLOOR - ELECTRICAL SEGMENT D ROOF - ELECTRICAL SEGMENT E 1ST FLOOR - ELECTRICAL SEGMENT E 2ND FLOOR - ELECTRICAI SEGMENT E 3RD FLOOR - ELECTRICAL SEGMENT E 4TH FLOOR - ELECTRICAL SEGMENT E ROOF - ELECTRICAL SEGMENT F 1ST FLOOR - ELECTRICAL SEGMENT F 2ND FLOOR - ELECTRICAL SEGMENT F 3RD FLOOR - ELECTRICAL SEGMENT F 4TH FLOOR - ELECTRICAL SEGMENT F ROOF - ELECTRICAL SEGMENT G BASEMENT & 1ST FLOOR - ELECTRICAL E1.30 SEGMENT G 2ND & 3RD FLOOR - ELECTRICAL SEGMENT G 4TH FLOOR & ROOF - ELECTRICAL SEGMENT H BASEMENT & 1ST FLOOR - ELECTRICAL SEGMENT H 2ND & 3RD FLOOR - ELECTRICAL SEGMENT H 4TH FLOOR & ROOF - ELECTRICAL SEGMENT J BASEMENT & 1ST FLOOR - ELECTRICAL SEGMENT J 2ND & 3RD FLOOR - ELECTRICAL SEGMENT J 4TH FLOOR & ROOF - ELECTRICAL UNIT PLANS - ELECTRICAL UNIT PLANS - ELECTRICAL UNIT PLANS - ELECTRICAL UNIT PLANS - ELECTRICAL E2.04 UNIT PLANS - ELECTRICAL E2.05 E3.01 ELECTRICAL DETAILS ELECTRICAL DETAILS ELECTRICAL DETAILS/SCHEDULES ELECTRICAL DETAILS/SCHEDULES **ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES** E3.06 **ELECTRICAL SCHEDULES** TELECOM

SEGMENT A 3RD FLOOR - ELECTRICAL

SEGMENT A 4TH FLOOR - ELECTRICAL

SEGMENT B 2ND FLOOR - ELECTRICAL

SEGMENT B 3RD & 4TH FLOOR - ELECTRICAL

SEGMENT A ROOF - ELECTRICAL

SEGMENT B ROOF - ELECTRICAL

SEGMENT B 1ST - ELECTRICAL

E1.08

)/ -	I ELECCIVI
1.01	BUILDING 1 - OVERALL 1ST FLOOR PLAN
1.02	BUILDING 1 - OVERALL 2ND FLOOR PLAN
1.03	BUILDING 1 - OVERALL 3RD FLOOR PLAN
1.04	BUILDING 1 - OVERALL 4TH FLOOR PLAN
1.05	BUILDING 2 - OVERALL 1ST FLOOR PLAN
1.06	BUILDING 2 - OVERALL 2ND FLOOR PLAN
1.07	BUILDING 2 - OVERALL 3RD FLOOR PLAN
1.08	BUILDING 2 - OVERALL 4TH FLOOR PLAN

TELECOM DETAILS 08 - INTERIORS

U	
100	CLUBHOUSE - FURNITURE PLAN
200	CLUBHOUSE - FINISH PLANS
300	CLUBHOUSE - FLOORING PLANS
400	CLUBHOUSE - DECORATIVE CEILING & LIGHTING
500	CLUBHOUSE - INTERIOR ELEVATIONS
501	CLUBHOUSE - INTERIOR FLEVATIONS

CLUBHOUSE - INTERIOR ELEVATIONS CLUBHOUSE - ENLARGED PLANS & INTERIOR ELEVATIONS ID.502 ID.600 INTERIOR FINISH & FIXTURE SCHEDULES INTERIOR DECORATIVE LIGHTING SCHEDULES

0

△ REVISIONS 3 23 0511 ADDENDUM 2 7 23 0714 ASI 3 8 23 07 31 ASI 4

705921 03.15.2023 DRAWN BY TSC/SIW

SHEET NAME **DRAWING INDEX**

1 AREA USE - B1 - 1ST FLR.
3/64" = 1'-0"

810 NW WARD RD. | LEE'S SU

DRAWING RELEASE LOG

03.15.2023 - PERMIT SUBMITTAL

AREVISIONS

1 23 0411 CITY COMMENTS 1

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 AREA PLANS

SHEET NO. **A0.10**

2 AREA USE - B1 - 2ND FLR.

KEA SU	MMARY -	BLDG. 1		JNIT MIX	- RFD(
NAME	AREA SF.	% AREA	UNIT TYPE	# UNITS	% TOTAI
g Common Area			1 BED / 1 BATH		
IOUSE	11073 SF	4.4%	UNIT A1	13	5.0%
DOR	24947 SF	10.0%	UNIT A2	10	4.2%
	331 SF	0.1%	UNIT A2 TYPE A	2	0.8%
Œ	14195 SF	5.7%	UNIT A3	33	15.0%
ECH. ROOM	127 SF	0.1%	UNIT A3 ALT	12	5.5%
:P	171 SF	0.1%		70	30.6%
ECH. ROOM	127 SF	0.1%	1 BED / 1 BATH / DEN	١	
	795 SF	0.3%	UNIT B1	9	5.3%
EQUIP	294 SF	0.1%	UNIT B1 ALT	4	2.4%
TOR.	1212 SF	0.5%	UNIT B2	4	2.7%
ROOM	186 SF	0.1%	UNIT B4	1	0.7%
	405 SF	0.2%		18	11.1%
	53863 SF	21.5%	2 BED / 2 BATH		
			UNIT C1	32	21.3%
r Area			UNIT C1 ALT 2	1	0.7%
700	15806 SF	6.3%	UNIT C1 ALT 3	4	2.7%
	15806 SF	6.3%	UNIT C1 TYPE A	1	0.7%
	10000 01	0.070	UNIT C2	14	10.0%
/ertical Penetratio	ın		UNIT C3	8	5.6%
A	288 SF	0.1%	UNIT C4	4	2.9%
C	289 SF	0.1%	ONT OF	64	43.8%
<u> </u>	289 SF	0.1%	2 BED / 2 BATH / DEN	• .	40.070
<u>Б</u> Е	289 SF	0.1%	UNIT D1	3	2.6%
A	1456 SF	0.6%	UNIT D1 ALT	2	1.7%
B1	1456 SF	0.6%	UNIT D1 ALT 2	1	0.9%
B2	1456 SF	0.6%	UNIT PH	6	5.5%
D	1351 SF	0.5%	ONTE	12	10.8%
<u>Б</u> Е	1456 SF	0.6%	GUEST	12	10.076
	8330 SF	3.3%	GUEST SUITE	1	0.2%
	0000 01	3.5 /0	GOEST SOITE	1	0.2%
roo			STUDIO	1	0.270
rea SUITE	358 SF	0.1%	UNIT S1	13	3.6%
1	8629 SF	3.4%	UNIT ST	13	3.6%
2	7255 SF	2.9%	TOTALS	178	100.0%
2 TYPE A			TOTALS	170	100.076
3	1451 SF 25824 SF	0.6%			
3 ALT	9548 SF	3.8%			
1	9186 SF	3.7%			
1 ALT	4185 SF	1.7%			
2	4598 SF	1.8%			
4					
	1148 SF	0.5%			
1 1 7 2	36713 SF	14.7%			
1 ALT 2	1127 SF	0.4%			
1 ALT 3	4692 SF	1.9%			
1 TYPE A	1147 SF	0.5%			
2	17229 SF	6.9%			
3	9639 SF	3.8%			
:4	4947 SF	2.0%			

4947 SF 4497 SF 2998 SF 1499 SF 9563 SF 6240 SF 172474 SF 250473 SF 1.8% 1.2% 0.6% 3.8% 2.5% 68.9% 100.0%

1 AREA USE - B1 - 3RD FLR.
3/64" = 1'-0"

P. 913.831. P. 913

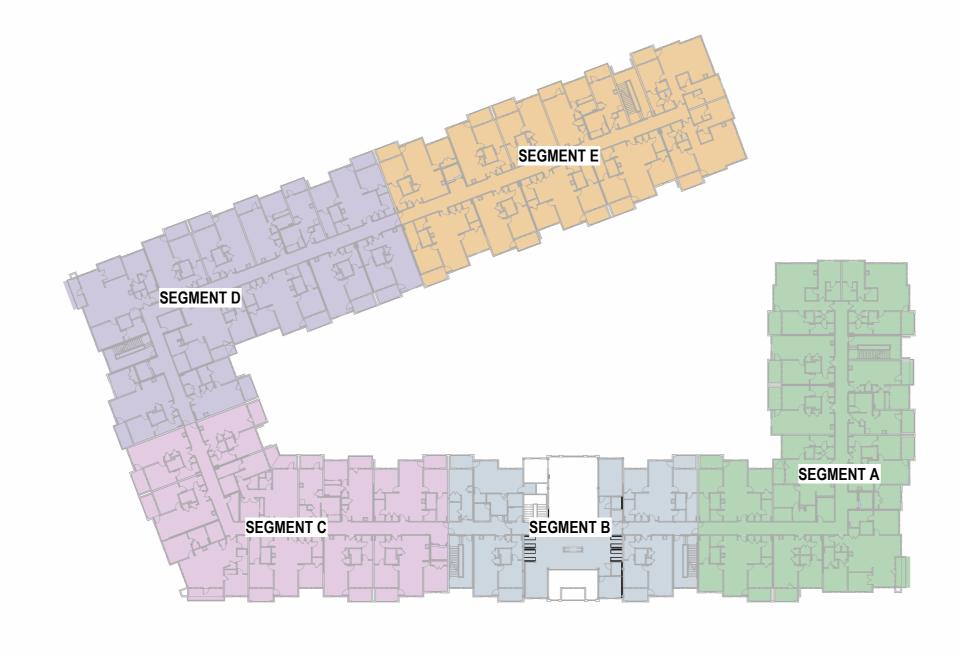
JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 AREA PLANS

2 AREA USE - B1 - 4TH FLR.

JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 2 AREA PLANS

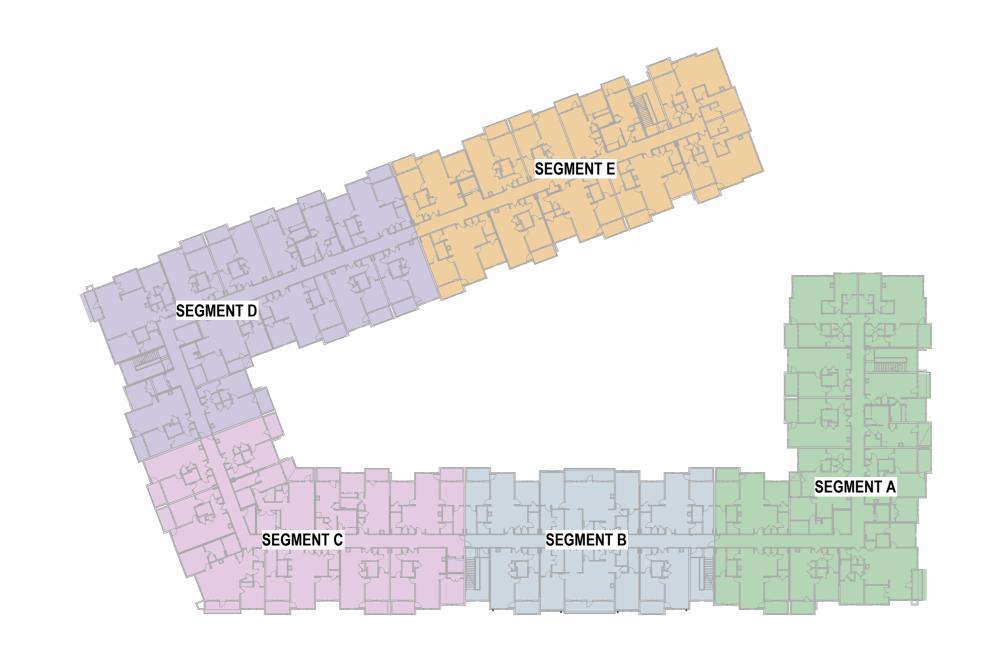


2 CODE REFERENCE PLAN - 1ST FLOOR

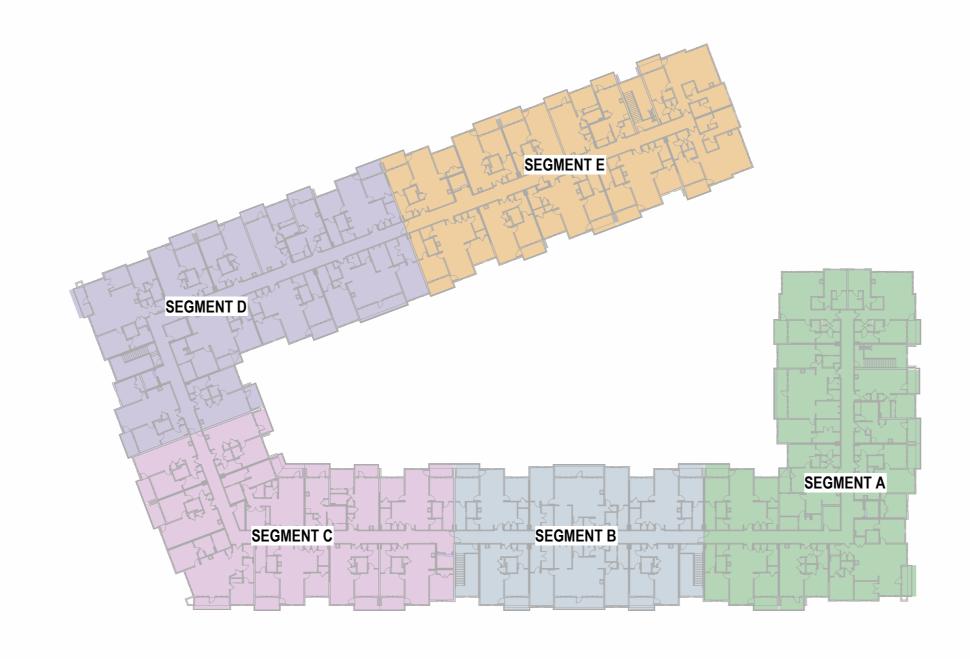


CODE REFERENCE PLAN - 2ND FLOOR

1" = 50'-0"



CODE REFERENCE PLAN - 3RD FLOOR



CODE REFERENCE PLAN - 4TH FLOOR

1" = 50'-0"

CODE REFERENCE

BUILDING CODE:

JURISDICTION: LEE'S SUMMIT, MISSOURI ADOPTED NATIONAL AND INTERNATIONAL CODES: 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC)

2017 NATIONAL ELECTRICAL CODE (NEC) 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINDED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES: REQUIRED: SECTION 1107.6.2.2.2 2% OF TOTAL PER SECTION 1107.6.2.2.1 TYPE A TYPE B PER SECTION 1107.6.2.2.2 PROVIDED: TYPE A TYPE B

USE APPROACHES AS DEFINDED THE IBC.

THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES.

LIFE SAFETY SYSTEMS

ACTIVE SYSTEMS SPRINKLER SYSTEMS

CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, #2 - EXCEPTION)

SMOKE DETECTION IN R2 SECTION 420.6

FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2

EXIT SIGNS **SECTION 1013.1** ILLUMINATED WITH 90 MIN BATTERY BACKUP

PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE

CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION 1.0-HOUR 1.0-HOUR 0.0-HOUR 1.0-HOUR 1.0-HOUR 1.0-HOUR ••••• STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE): 2.0-HOUR ELEVATOR SHAFT WALLS-EXTERIOR(FIRE BARRIER): ELEVATOR SHAFT WALLS-INTERIOR(FIRE BARRIER): SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE):

0.5-HOUR -----1.0-HOUR ••••• 2.0-HOUR ----1.0-HOUR ----2.0-HOUR 2.0-HOUR 2.0 HOUR

SOUND TRANSMISSION CLASS RATING (STC): 50 STC SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION IMPACT INSULATION CLASS RATING (IIC):

FIRE DEPARTMENT GENERAL NOTES

1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F, RESPECTIVELY. 2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING: "FIRE ALARM/SPRINKLER RISER" 3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIST STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE D OOR LEADING FROM THE ITNERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL.

4. IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE

PASSIVE SYSTEMS

FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2

DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4

1. PROVIDE CO MONITOR IN EACH GARAGE STALL

3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WEL AS COMMON AREAS ON THE FLOOR ABOVE

STRUCTURAL FRAME: BEARING WALLS-EXTERIOR:

BEARING WALLS-INTERIOR:

FLOOR CONSTRUCTION:

ROOF CONSTRUCTION:

EXIT PASSAGEWAYS:

SOUND RATINGS

FIRE WALLS:

NON-BEARING WALLS-INTERIOR:

UNIT DEMISING WALLS(FIRE PARTITION):

GARAGE SEPARATION (FIRE BARRIER)

CORRIDOR WALLS(FIRE PARTITION):

SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

2. EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION

SEGMENT A INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDENTIA	L	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 3 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER O	F STORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	65,760 SF 16,440 SF	SECTION 506.2 SECTION 506.2
$\begin{aligned} &A_a = [A_t + (NS \times I_f)] \\ &A_a = [12,000 + (12,000 \times .37)] \\ &A_a = \textbf{16,440 SF} \end{aligned}$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [345/55525]30/30 I _f = .37		SECTION 506.3
2ND FLOOR 14,8	14 SF] 15 SF]	
4TH FLOOR 14,9	5 SF] 6 SF 0 SF	

SEGMENT B INFORMATION

DESCRIPTION:						
4-STORY MULTI-FAMILY RESIDENTI	AL					
DATA:						
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, A-3	CHAPTER 6 CHAPTER 3				
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13 SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.1 SECTION 420.6 SECTION 905.3				
HEIGHT AND NUMBER C	F STORIES					
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3				
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4				
AREA						
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	36,000 SF 108,000 SF	SECTION 506.2 SECTION 506.2				
$\begin{aligned} &A_a = [A_t + (NS \times I_f)] \\ &A_a = [36,000 + (36,000 \times 0)] \\ &A_a = \textbf{36,000 SF} \end{aligned}$		SECTION 506.2.4				
FRONTAGE INCREASE - NONE REQ	UIRED	SECTION 506.3				
2ND FLOOR 7,5 3RD FLOOR 9,3	194 SF] 586 SF] 329 SF] 329 SF					
	138 SF					

SEGMENT C INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDENTIA	AL	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEMYES YES - CLASS 1 NO NO	M SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER O	F STORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	57,600 SF 14,400 SF	SECTION 506.2 SECTION 506.2
$\begin{aligned} &A_a = [A_t + (NS \times I_f)] \\ &A_a = [12,000 + (12,000 \times .2)] \\ &A_a = \textbf{14,400 SF} \end{aligned}$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [216/48125]30/30 I _f = .2		SECTION 506.3
2ND FLOOR 12, 3RD FLOOR 12, 4TH FLOOR 12,	270 SF 813 SF 813 SF 813 SF 8209 SF	

SECMENT D INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDE	NTIAL	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTE YES YES - CLASS 1 NO NO	M SECTION 903.3 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER		
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 SF$		SECTION 506.2
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [216/53525]30/30 I _f = .25		SECTION 506.3
ACTUAL AREA: SEGMENT D 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	13,812 SF] 14,011 SF] 14,011 SF] 14,057 SF] 55,891 SF	

SEGMENT E INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESID	ENTIAL	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWE	YES - 13R SYSTEM YES YES - CLASS 1 NO R NO	SECTION 903.3 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBE	R OF STORIES	
ALLOWABLE BUILDING HEIGHT ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 SF$		SECTION 506.2
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [249/50225]30/30 I _f = .25		SECTION 506.3
ACTUAL AREA: SEGMENT E 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	12,735 SF] 12,904 SF] 12,904 SF] 12,912 SF] 51,455 SF	

CONSTRUCTION As Noted on Plans Review

CONSTRUCTION

△ REVISIONS 1 23 0411 CITY COMMENTS 1 3 23 0511 ADDENDUM 2

705921 03.15.2023 **DRAWN BY** TSC/SIW 5/11/2023 ADDENDUM #2 SHEET NAME
BUILDING 1 CODE
ANALYSIS & PLANS

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review





CODE REFERENCE PLAN - 2ND FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
EXERCISE ROOMS	364 SF	50 GROSS	7
ASSEMBLY- UNCONCENTRAT	ED 2,884 SF	15 NET	190
ACCESSORY STOR/MECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STOR/MECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVE	<u>L 2</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVE	L 2		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,303 SF	200 GROSS	57
TOTAL OCCUPANT LOAD	,		57

ECDECC DECLUDEMENTS

ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTH	IER)	SECTION 1005, 1024
SEGMENT A	[′] 44"/44"	44"/80"
SEGMENT B	44"/44"	44"/80"
SEGMENT C	44"/44"	44"/80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DI	STANCE	TABLE 1017.2
SEGMENT A (R2)	250 FT	101'- 10"
SEGMENT B (R2)	250 FT	68'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)	250 FT	113'-11"
SEGMENT E (R2)	250 FT	92'-5"
MAXIMUM COMMON PATH OF TRAV	EL DISTANCE	TABLE 1006.2.1
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	32'-10"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4
SEGMENT E (R2)	125 FT	31'-7
MAXIMUM DEAD END CORRIDOR LE	ENGTH	SECTION 1020.4
GROUP R2	20 FT	
GROUP R2 PANIC HARDWARE	20 FT	
	ACCESS DOORS S	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPA

CODE REFERENCE PLAN - 1ST FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,897 SF	200 GROSS	45
PARKING GARAGES	2,971 SF	200 GROSS	15
ACCESSORY STOR/MECH	489 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			62
SEGMENT B - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
BUSINESS	687 SF	150 GROSS	5
EXERCISE ROOMS	1,399 SF	50 GROSS	28
ASSEMBLY- UNCONCENTRAT	ED 3,930 SF	15 NET	386
ACCESSORY STOR/MECH	153 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			421
SEGMENT C - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	9,206 SF	200 GROSS	46
PARKING GARAGES	1,407 SF	200 GROSS	7
ACCESSORY STOR/MECH	2,272 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			54
SEGMENT D - LEVE	<u>L 1</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	5,077 SF	200 GROSS	25
PARKING GARAGE	5,427 SF	200 GROSS	27
ACCESSORY STOR/MECH	811 SF	300 GROSS	3
TOTAL OCCUPANT LOAD			55
SEGMENT E - LEVE	L 1		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	5,491 SF	200 GROSS	28
PARKING GARAGE	4,391 SF	200 GROSS	22
A COECCODY CTOD/MECH	44F.OF	300 CDOCC	4

EGRESS REQUIREMENTS

TRAVEL DISTANCE - 138'-2"

TRAVEL DISTANCE - 107'-6"

COMMON PATH OF TRAVEL - 21'-10"

COMMON PATH OF TRAVEL - 30'-8"

COMMON PATH OF TRAVEL - 31'-9"

TRAVEL DISTANCE - 73'-9" —

COMMON PATH OF TRAVEL - 32'-7"

TRAVEL DISTANCE - 153'-5"

COMMON PATH OF TRAVEL - 42'-9"

ELEMENT RE	QUIRED	PROVIDED	
MINIMUM NUMBER OF EXITS			
SEGMENT A	2	3	
SEGMENT B	2	4	
SEGMENT C	2	2	
SEGMENT D	2	2	
SEGMENT E	2	3	
EXIT WIDTH FACTORS (STAIRS/OTHER) SECTION 1	005, 1011, 1024	
SEGMENT A	44"/44"	44"/80"	
SEGMENT B	44"/44"	44"/80"	
SEGMENT C	44"/44"	44"/80"	
SEGMENT D	44"/44"	44"/80"	
SEGMENT E	44"/44"	44"/80"	
MAXIMUM EXIT ACCESS TRAVEL DISTA	ANCE	TABLE 1017.2	
SEGMENT A (R2)	250 FT	107'-6"	
SEGMENT B (R2)	250 FT	73'-9"	
SEGMENT C (R2)	250 FT	148'-6"	
SEGMENT D (R2)	250 FT	153'-5"	
SEGMENT E (R2)	250 FT	138'-2"	
MAXIMUM COMMON PATH OF TRAVEL	DISTANCE	TABLE 1006.2.1	
SEGMENT A (R2)	125 FT	30'-8"	
SEGMENT B (R2)	125 FT	21'-10"	
SEGMENT C (R2)	125 FT	42'-9"	
SEGMENT D (R2)	125 FT	32'-7"	
SEGMENT E (R2)	125 FT	31'-9"	
MAXIMUM DEAD END CORRIDOR LENG	iTH	SECTION 1020.4	
GROUP R2	20 FT		
PANIC HARDWARE			
REQUIRED ON ALL EXIT ACC	CESS DOORS S	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCU	PANT

 \triangle REVISIONS

JOB NO. 705921 DRAWN BY TSC/SIW DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 EGRESS &
OCCUPANCY PLANS
SHEET NO.

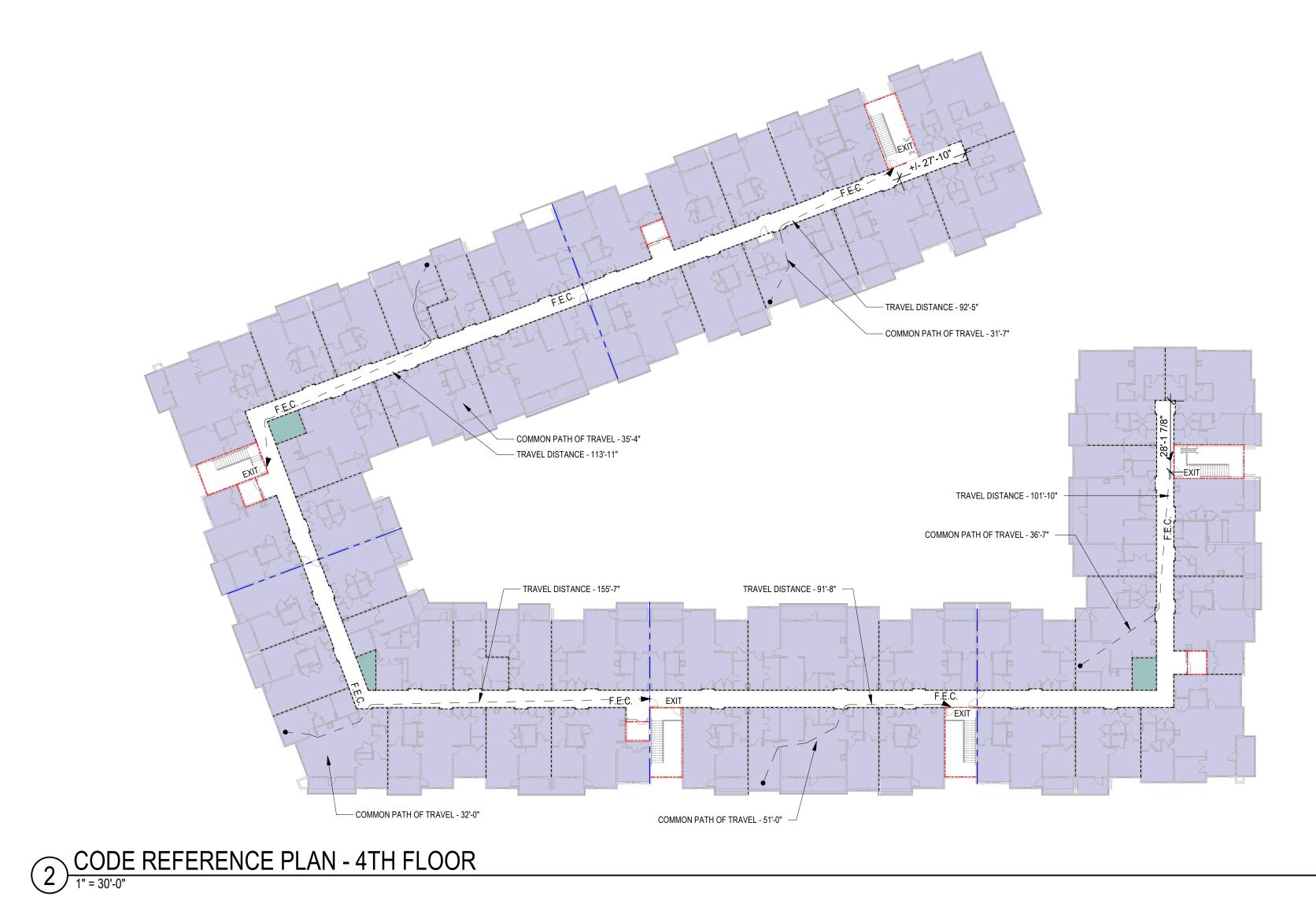
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RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

LEE'S SUMMIT, MO

WARD RD.

810 NW



OCCUPANT LOAD BUILDING CALCULATIONS

CCCCI AI	II LOAD D	OILDIII	JUALU
SEGMENT A - LEVE	EL 4		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STOR/MECH	43 SF	300 GROSS	11
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVE	<u>EL 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STOR/MECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVE	<u> L 4</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVE	L 4		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,303 SF	200 GROSS	57
TOTAL OCCUPANT LOAD			57

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ELEMENT REC	QUIRED	PROVIDED
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTHER)		SECTION 1005, 1011, 1024
SEGMENT A	44"/44"	44"/80"
SEGMENT B	44"/44"	44"/80"
SEGMENT C	44"/44"	44"/80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DISTAN	CE	TABLE 1017.2
SEGMENT A (R2)	250 FT	101'- 10"
SEGMENT B (R2)	250 FT	68'-0"
SEGMENT C (R2)		177
SEGMENT D (R2)		
SEGMENT E (R2)	250 FT	92'-5"
MAXIMUM COMMON PATH OF TRAVEL DI		TABLE 1006.2.1
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	51'-0"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4
SEGMENT E (R2)	125 FT	31'-7
MAXIMUM DEAD END CORRIDOR LENGTI		SECTION 1020.4
GROUP R2	20 FT	

CODE REFERENCE PLAN - 3RD FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

COMMON PATH OF TRAVEL - 32'-0"

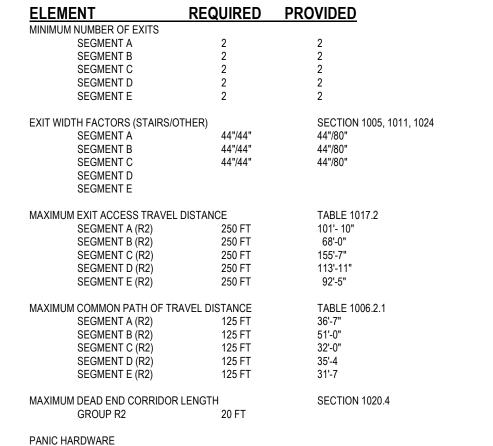
— COMMON PATH OF TRAVEL - 35'-4"

TRAVEL DISTANCE - 113'-11"

TRAVEL DISTANCE - 155'-7"

______________________________EXIT

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOA
RESIDENTIAL	12,953 SF	200 GROSS	65
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVE	<u>:L 3</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOA
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STOR/MECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVE	<u>:L 3</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOA
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STOR/MECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVE	<u>L 3</u>		
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOA
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STOR/MECH	127 SF	300 GROSS	1
ACCESSORY STOR/MECH			
TOTAL OCCUPANT LOAD			61
	L 3		61
TOTAL OCCUPANT LOAD	L 3 GROSS FLOOR AREA	LOAD FACTOR	
TOTAL OCCUPANT LOAD SEGMENT E - LEVE		LOAD FACTOR 200 GROSS	61 OCCUPANT LOA 57



EGRESS REQUIREMENTS

TRAVEL DISTANCE - 94'-2"

COMMON PATH OF TRAVEL - 51'-0" —

TRAVEL DISTANCE - 92'-5"

— COMMON PATH OF TRAVEL - 31'-7"

TRAVEL DISTANCE - 101'-10" -

COMMON PATH OF TRAVEL - 36'-7"

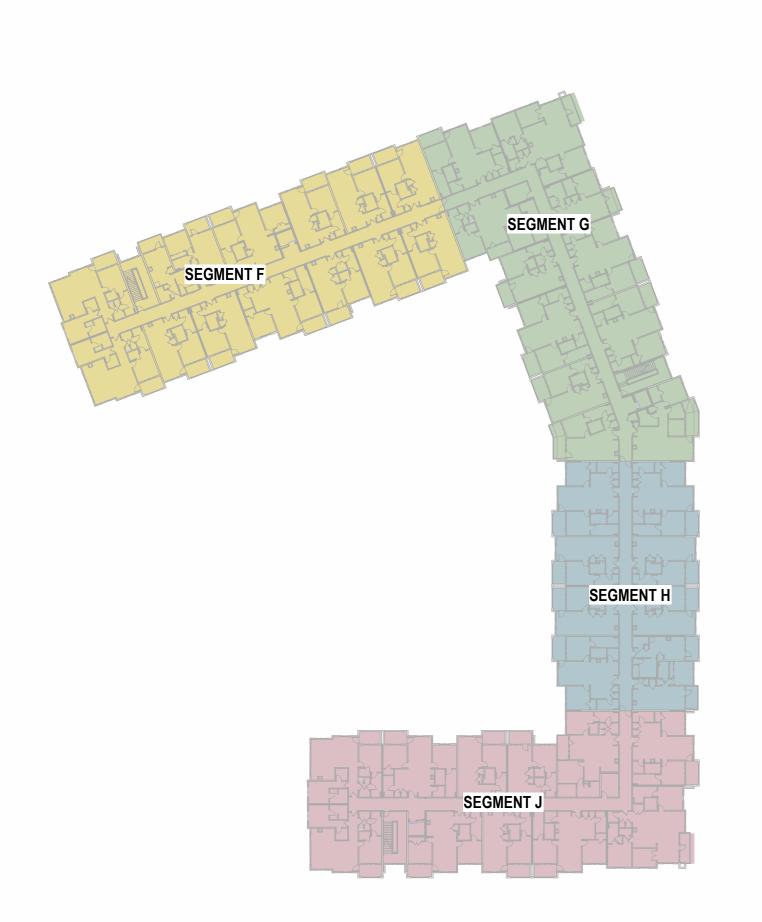
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

 \triangle REVISIONS

JOB NO. **705921** 03.15.2023 DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 EGRESS &
OCCUPANCY PLANS
SHEET NO.

A022





CODE REFERENCE PLAN - 2ND FLOOR

1" = 50'-0"

SEGMENT F INFORMATION

DESCRIPTION:		
4-STORY MULTI-FAMILY RESIDENTIA	L	
DATA:		
CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION	VA R-2 ,U	CHAPTER 6 CHAPTER 3
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3
HEIGHT AND NUMBER OF	FSTORIES	
ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 4	TABLE 504.4
AREA		
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	60,000 SF 15,000 SF	SECTION 506.2 SECTION 506.2
$A_a = [A_t + (NS \times k_f)]$ $A_a = [12,000 + (12,000 \times .25)]$ $A_a = 15,000 SF$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [276/55625]30/30 I _f = .25		SECTION 506.3
ACTUAL AREA:		

SEGMENT F

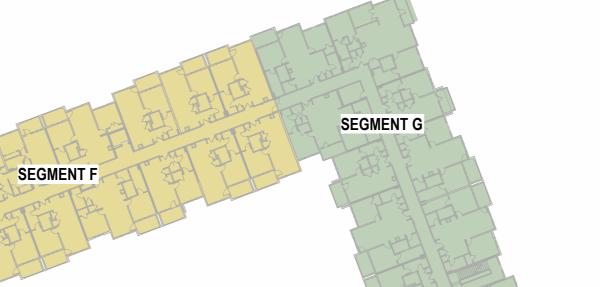
1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL

14,908 SF 14,943 SF 14,985 SF 59,470 SF

SEGMENT G INFORMATION

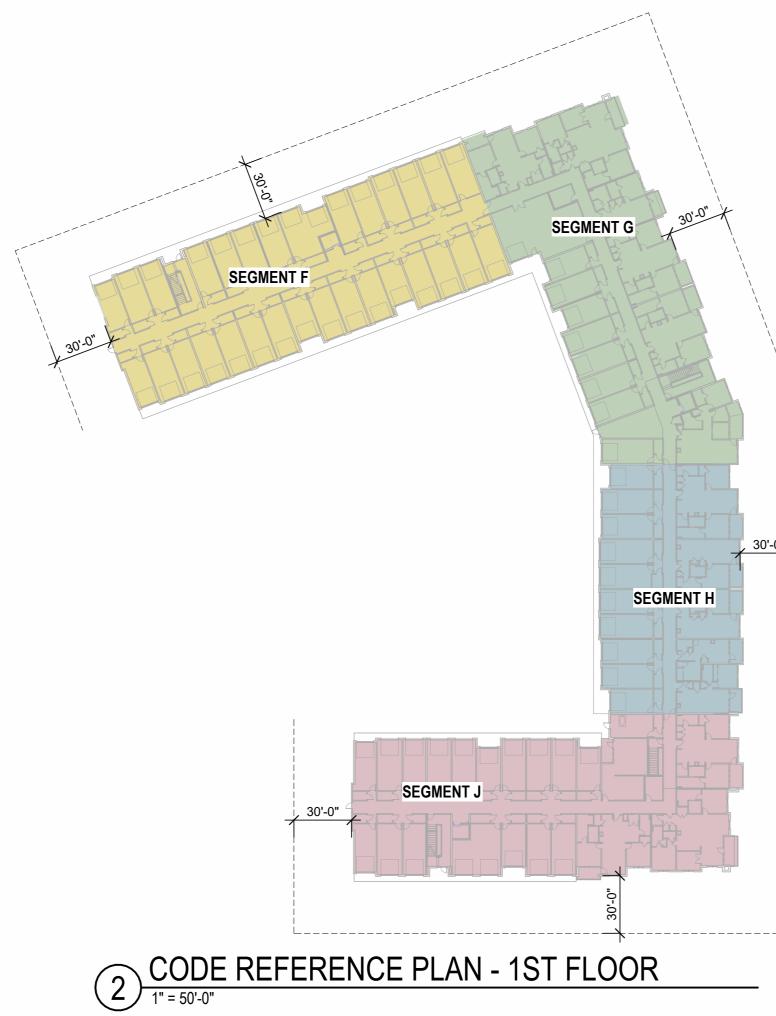
SEGMENT G INFORMATION			
DESCRIPTION:			
BASEMENT + 4-STORY MULTI-FAMILY	RESIDENTIAL		
DATA:			
CONSTRUCTION TYPE DCCUPANCY CLASSIFICATION	VA R-2, U	CHAPTER 6 CHAPTER 3	
SPRINKLERED FIRE ALARM STANDPIPE SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3	
HEIGHT AND NUMBER OF ALLOWABLE BUILDING HEIGHT: ACTUAL BUILDING HEIGHT:	60'-0" 44'-3"	TABLE 504.3	
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES:	4 BSMNT + 4	TABLE 504.4	
AREA			
ALLOWABLE AREA ALLOWABLE AREA PER FLOOR	63,840 SF 15,960 SF	SECTION 506.2 SECTION 506.2	
$A_a = [A_t + (NS \times I_t)]$ $A_a = [12,000 + (12,000 \times .33)]$		SECTION 506.2.4	

$A_a = [A_t + (NS \times I_t)]$ $A_a = [12,000 + (12,000 \times .33)]$ $A_a = 15,960 SF$		SECTION 506.2.4
FRONTAGE INCREASE I _f = [F/P25]W/30 I _f = [282/48525]30/30 I _f = .33 ACTUAL AREA: SEGMENT G		SECTION 506.3
BASEMENT 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	2,006 SF] 14,295 SF] 14,411 SF] 14,425 SF] 14,425 SF] 59,526 SF	



SEGMENT H **SEGMENT J**

CODE REFERENCE PLAN - 3RD FLOOR



SEGMENT H INFORMATION

ESCRIPTION:					
ASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL					
ATA:					
ONSTRUCTION TYPE CCUPANCY CLASSIFICATION		VA R-2, U	CHAPTER 6 CHAPTER 3		
PRINKLERED RE ALARM TANDPIPE MOKE CONTROL SYSTEM MERGENCY/STANDBY POWEI	R	YES - 13R SYSTEM YES YES - CLASS 1 NO NO	SECTION 903.3.1.2 SECTION 420.6 SECTION 905.3		
EIGHT AND NUMBE	R OF S	TORIES			
LLOWABLE BUILDING HEIGHT CTUAL BUILDING HEIGHT:	:	60'-0" 44'-3"	TABLE 504.3		
		4 BSMNT + 4	TABLE 504.4		
REA					
LLOWABLE AREA LLOWABLE AREA PER FLOOR	R	48,000 SF 12,000 SF	SECTION 506.2 SECTION 506.2		
$a_1 = [A_1 + (NS \times I_7)]$ $a_2 = [12,000 + (12,000 \times 0)]$ $a_3 = 12,000 \text{ SF}$			SECTION 506.2.4		
RONTAGE INCREASE - NONE	REQUIRED	1	SECTION 506.3		
CTUAL AREA: SEGMENT H BASEMENT 1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR TOTAL	5,201 SF] 9,318 SF] 9,381 SF] 9,395 SF] 9,395 SF] 42,690 SF				

CODE REFERENCE

BUILDING CODE:

JURISDICTION: LEE'S SUMMIT, MISSOURI ADOPTED NATIONAL AND INTERNATIONAL CODES:

2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2017 NATIONAL ELECTRICAL CODE (NEC) 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINDED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINDED THE IBC.

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES:

SECTION 1107.6.2.2.2 THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIRED: REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING 2% OF TOTAL PER SECTION 1107.6.2.2.1 TYPE B PER SECTION 1107.6.2.2.2 AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT PROVIDED: NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES. TYPE A

LIFE SAFETY SYSTEMS

TYPE B

SEGMENT

SEGMENT H

SEGMENT.

CODE REFERENCE PLAN - BASEMENT

1" = 50'-0"

SEGMENT J INFORMATION

CHAPTER 3

SECTION 905.3

SECTION 506.2 SECTION 506.2

SECTION 506.2.4

SECTION 506.3

SECTION 420.6 3

YES - 13R SYSTEM SECTION 903.3.1.2

YES - CLASS 1

61,920 SF 15,480 SF

14,604 SF 14,755 SF 14,778 SF 14,800 SF **60,684 SF**

DESCRIPTION:

CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION

SMOKE CONTROL SYSTEM EMERGENCY/STANDBY POWER

ACTUAL BUILDING HEIGHT:

ALLOWABLE AREA

A_a = 15,480 SF

FRONTAGE INCREASE

I_f = [F/P -.25]W/30 I_f = [344/633 -.25]30/30 I_f = .29

ACTUAL AREA:

SEGMENT J
BASMENT
1ST FLOOR
2ND FLOOR
3RD FLOOR
4TH FLOOR
TOTAL

ALLOWABLE STORIES
ACTUAL NUMBER OF STORIES:

ALLOWABLE AREA PER FLOOR

 $A_a = [A_t + (NS \times I_f)]$ $A_a = [12,000 + (12,000 \times .29)]$

FIRE ALARM STANDPIPE

BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL

HEIGHT AND NUMBER OF STORIES

SPRINKLER SYSTEMS CONNECTION IN EXIT STAIR (SECTION 905.4, #2 - EXCEPTION)

FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3

EXIT SIGNS

PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE

CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION

STRUCTURAL FRAME: 1.0-HOUR BEARING WALLS-EXTERIOR: 1.0-HOUR 1.0-HOUR BEARING WALLS-INTERIOR: 0.0-HOUR NON-BEARING WALLS-INTERIOR: 1.0-HOUR 1.0-HOUR FLOOR CONSTRUCTION: ROOF CONSTRUCTION: 1.0-HOUR -----UNIT DEMISING WALLS(FIRE PARTITION): CORRIDOR WALLS(FIRE PARTITION): 0.5-HOUR -----GARAGE SEPARATION (FIRE BARRIER) 1.0-HOUR •••••• EXIT PASSAGEWAYS: 2.0-HOUR ----STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE): 2.0-HOUR 1.0-HOUR —---ELEVATOR SHAFT WALLS-EXTERIOR(FIRE BARRIER): ELEVATOR SHAFT WALLS-INTERIOR(FIRE BARRIER): 2.0-HOUR ----SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE):

2.0-HOUR 2.0 HOUR

SOUND RATINGS SOUND TRANSMISSION CLASS RATING (STC):

FIRE WALLS:

50 STC SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION

IMPACT INSULATION CLASS RATING (IIC):

FIRE DEPARTMENT GENERAL NOTES 1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F, RESPECTIVELY. 2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING: "FIRE ALARM/SPRINKLER RISER"

3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIST STAIRWAY OR RAMP, AND THE

IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE ITNERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL. 4. IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE

ACTIVE SYSTEMS

CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM

SMOKE DETECTION IN R2 SECTION 420.6

FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2

ILLUMINATED WITH 90 MIN BATTERY BACKUP

PASSIVE SYSTEMS

FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2

DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4

1. PROVIDE CO MONITOR IN EACH GARAGE STALL 2. EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION

SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006

3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WEL AS COMMON AREAS ON THE FLOOR ABOVE

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

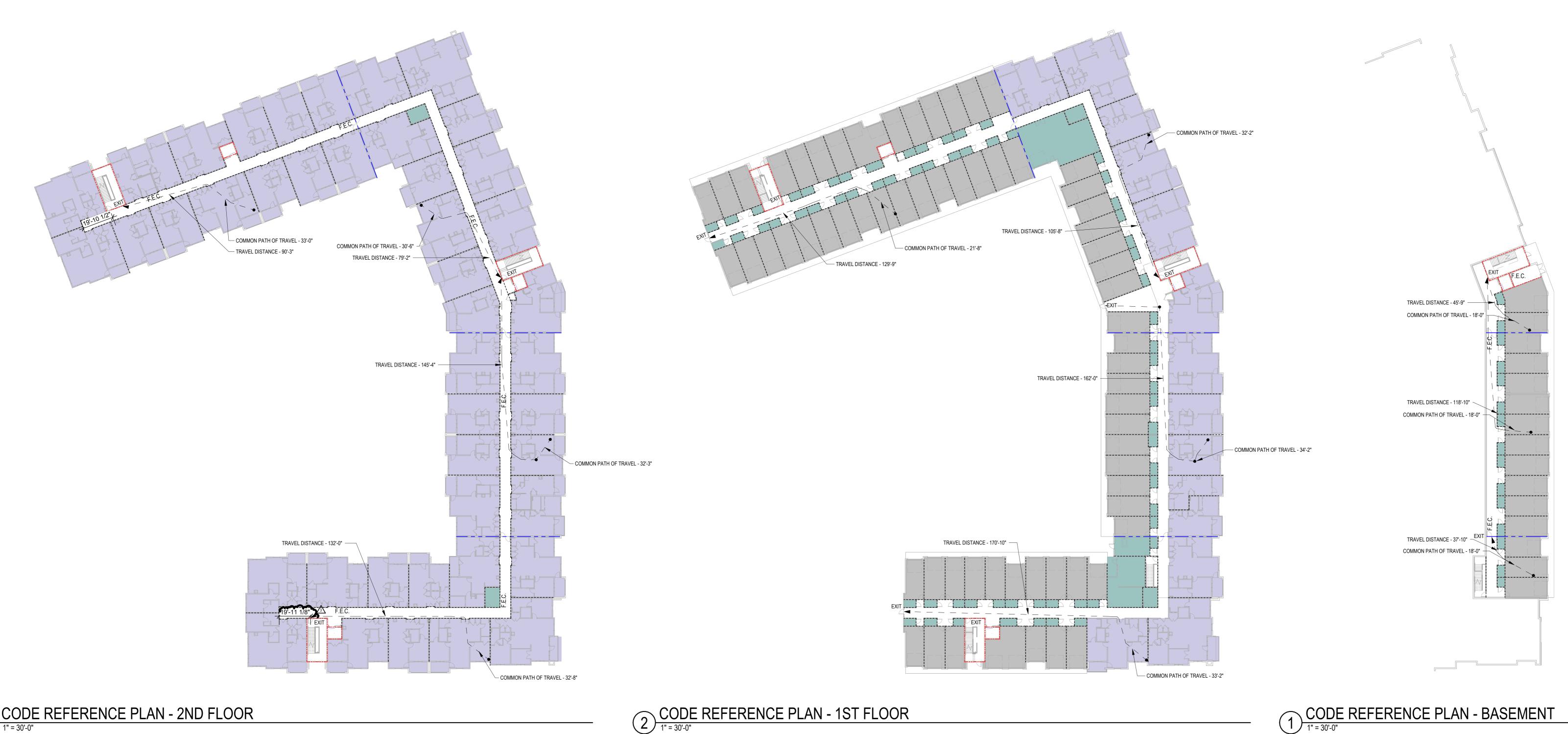
NOT FOR CONSTRUCTION

CONSTRUCTION As Noted on Plans Review

.831. .831. ?CH.

△ REVISIONS 3 23 0511 ADDENDUM 2

705921 03.15.2023 **DRAWN BY** TSC/SIW ADDENDUM #2 SHEET NAME
BUILDING 2 CODE
ANALYSIS & PLANS



3 CODE REFERENCE PLAN - 2ND FLOOR

2 CODE REFERENCE PLAN - 1ST FLOOR

REQU	IREMEN	TS

<u>ELEMENI</u>	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/OT	HER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL D	ISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	129'- 9"
SEGMENT G (R2)	250 FT	105'-8"
SEGMENT H (R2)	250 FT	162'-0"
SEGMENT J (R2)	250 FT	170'-10"
MAXIMUM COMMON PATH OF TRA	VEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	21'-8"
SEGMENT G (R2)	125 FT	32'-2"
SEGMENT H (R2)	125 FT	34'-2"
SEGMENT J (R2)	125 FT	33'-2"
MAXIMUM DEAD END CORRIDOR L	ENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL EXIT	ACCESS DOORS S	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPA

SEGMENT G - LEVE	:L1		
OCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 862 SF 78 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 4 1 5
SEGMENT H - LEVE OCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 3,551 SF 400 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 18 1 19
SEGMENT J - LEVE OCCUPANCY TYPE PARKING GARAGE ACCESSORY STOR/MECH	L 1 GROSS FLOOR AREA 1,029 SF 112 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 5 1 6

EGRESS REQUIREMENTS

<u>ELEMENT</u>	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/OT	HER)	SECTION 1005, 1011, 1024
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL D	DISTANCE	TABLE 1017.2
SEGMENT G (R2)	250 FT	45'-9"
SEGMENT H (R2)	250 FT	118'-10"
SEGMENT J (R2)	250 FT	37'-10"
MAXIMUM COMMON PATH OF TRA	VEL DISTANCE	TABLE 1006.2.1
SEGMENT G (R2)	125 FT	18'-0"
SEGMENT H (R2)	125 FT	18'-0"
SEGMENT J (R2)	125 FT	18'-0"
MAXIMUM DEAD END CORRIDOR L	.ENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		
	ACCESS DOORS SE	RVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVE OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL TOTAL OCCUPANT LOAD	13,137 SF	200 GROSS	66 66
SEGMENT G - LEVE OCCUPANCY TYPE RESIDENTIAL	<u>GROSS FLOOR AREA</u> 12,360 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 62
ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	<u>127 SF</u>	300 GROSS	<u>1</u> 63
SEGMENT H - LEVE OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 8,492 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 43 43
SEGMENT J - LEVE OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 2 GROSS FLOOR AREA 12,826 SF 127 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 64 1 65

LOILLOO IVI	-WOIIVE	
ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/C	OTHER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL	DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	90'- 3"
SEGMENT G (R2)	250 FT	79'-2"
SEGMENT H (R2)	250 FT	145'-4"
SEGMENT J (R2)	250 FT	132'-0"
MAXIMUM COMMON PATH OF TR	RAVEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	33'-0"
SEGMENT G (R2)	125 FT	36'-0"
SEGMENT H (R2)	125 FT	33'-0"
SEGMENT J (R2)	125 FT	32'-8"
MAXIMUM DEAD END CORRIDOR	R LENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL EX	(IT ACCESS DOORS S	SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

EGRESS REQUIREMENTS

KE	QUIKEI	MENIO	OCCUPANT LUAD BUILDING	U/
	REQUIRED	<u>PROVIDED</u>	SEGMENT F - LEVEL 1	
XITS	2 2 2 2 2	2 2 2 2 2	OCCUPANCY TYPE GROSS FLOOR AREA LOAD FACTOR OF PARKING GARAGES 10,789 SF 200 GROSS ACCESSORY STOR/MECH 1,180 SF 300 GROSS TOTAL OCCUPANT LOAD	<u>CCUF</u>
STAIRS/OTI	44"/44" 44"/44" 44"/44" 44"/44"	SECTION 1005, 1011, 1024 44"/80" 44"/80" 44"/80" TABLE 1017.2	SEGMENT G - LEVEL 1 OCCUPANCY TYPE GROSS FLOOR AREA RESIDENTIAL 7,324 SF 200 GROSS PARKING GARAGES 2,759 SF 200 GROSS ACCESSORY STOR/MECH 1,712 SF 300 GROSS TOTAL OCCUPANT LOAD	CCUF
R2) R2) R2) R2) rH OF TRA\ R2) R2)	250 FT 250 FT 250 FT 250 FT /EL DISTANCE 125 FT 125 FT	90'- 3" 79'-2" 145'-4" 132'-0" TABLE 1006.2.1 33'-0" 36'-0"	SEGMENT H - LEVEL 1 OCCUPANCY TYPE GROSS FLOOR AREA LOAD FACTOR OCCUPANCY TYPE RESIDENTIAL 4,295 SF 200 GROSS PARKING GARAGES 3,478 SF 200 GROSS ACCESSORY STOR/MECH 415 SF 300 GROSS TOTAL OCCUPANT LOAD 415 SF 300 GROSS	CCUF
R2) R2) R2) DRRIDOR L	125 FT 125 FT	33'-0" 32'-8" SECTION 1020.4	SEGMENT J - LEVEL 1 OCCUPANCY TYPE GROSS FLOOR AREA LOAD FACTOR OCCUPANTIAL 4,069 SF 200 GROSS PARKING GARAGE 6,078 SF 200 GROSS ACCESSORY STOR/MECH 1,925 SF 300 GROSS TOTAL OCCUPANT LOAD	CCUF

		· · · · · · · ·	
SEGMENT F - LEVELOCCUPANCY TYPE PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 10,789 SF 1,180 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 54 4 58
SEGMENT G - LEVE OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 1 GROSS FLOOR AREA 7,324 SF 2,759 SF 1,712 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 37 14 6 57
SEGMENT H - LEVE OCCUPANCY TYPE RESIDENTIAL PARKING GARAGES ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	L 1 GROSS FLOOR AREA 4,295 SF 3,478 SF 415 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 22 17 1 40
SEGMENT J - LEVEL OCCUPANCY TYPE RESIDENTIAL PARKING GARAGE ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 4,069 SF 6,078 SF 1,925 SF	LOAD FACTOR 200 GROSS 200 GROSS 300 GROSS	OCCUPANT LOAD 20 30 7 57

	.,	
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/OTHER)		SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL DISTAN	ICE	TABLE 1017.2
SEGMENT F (R2)	250 FT	129'- 9"
SEGMENT G (R2)	250 FT	105'-8"
SEGMENT H (R2)	250 FT	162'-0"
SEGMENT J (R2)	250 FT	170'-10"
MAXIMUM COMMON PATH OF TRAVEL D	ISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	21'-8"
SEGMENT G (R2)	125 FT	32'-2"
SEGMENT H (R2)	125 FT	34'-2"
SEGMENT J (R2)	125 FT	33'-2"
MAXIMUM DEAD END CORRIDOR LENGT	Н	SECTION 1020.4
GROUP R2	20 FT	

COMMON PATH OF TRAVEL - 32'-3"

COMMON PATH OF TRAVEL - 32'-8"

WARD RD. | LEE'S SUMMIT, MO

 \triangle REVISIONS 3 23 0511 ADDENDUM 2

JOB NO. 705921 DRAWN BY TSC/SIW DATE **03.15.2023** 5/11/2023
ADDENDUM #2
SHEET NAME
BUILDING 2 EGRESS &
OCCUPANCY PLANS
SHEET NO.

A0.25

- COMMON PATH OF TRAVEL - 33'-0" COMMON PATH OF TRAVEL - 30'-6" -TRAVEL DISTANCE - 90'-3" TRAVEL DISTANCE - 79'-2" -TRAVEL DISTANCE - 145'-4" ---COMMON PATH OF TRAVEL - 32'-3" TRAVEL DISTANCE - 132'-0" — COMMON PATH OF TRAVEL - 32'-8"

CODE REFERENCE PLAN - 4TH FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

<u>SEGMENT F - LEVI</u>	<u>EL 4</u>		
OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 13,220 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 66 66
SEGMENT G - LEV	EL 4		
OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	<u>GROSS FLOOR AREA</u> 12,375 SF <u>146 SF</u>	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 62 _1 63
SEGMENT H - LEV	<u>EL 4</u>		
OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 8,559 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 43 43
SEGMENT J - LEVE	-I 4		
OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 12,871 SF 127 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 64 1 65

EGRESS REQUIREMENTS

EGKE99 KI	=QUIKE	INENIS
ELEMENT	REQUIRED	PROVIDED PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS/C	OTHER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVEL	DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	90'- 3"
SEGMENT G (R2)		79'-2"
SEGMENT H (R2)	250 FT	145'-4"
SEGMENT J (R2)	250 FT	132'-0"
MAXIMUM COMMON PATH OF TR	AVEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	33'-0"
SEGMENT G (R2)	125 FT	36'-0"
SEGMENT H (R2)	125 FT	33'-0"
SEGMENT J (R2)	125 FT	32'-8"
MAXIMUM DEAD END CORRIDOR	LENGTH	SECTION 1020.4
GROUP R2	20 FT	
PANIC HARDWARE REQUIRED ON ALL EX	IT ACCESS DOORS S	ERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

CODE REFERENCE PLAN - 3RD FLOOR

OCCUPANT LOAD BUILDING CALCULATIONS

COMMON PATH OF TRAVEL - 33'-0"

TRAVEL DISTANCE - 132'-0"

TRAVEL DISTANCE - 90'-3"

COMMON PATH OF TRAVEL - 30'-6" -

TRAVEL DISTANCE - 79'-2" —

TRAVEL DISTANCE - 145'-4"

SEGMENT F - LEVEL	3		
OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 13,153 SF 20 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 66 <u>1</u> 67
SEGMENT G - LEVEL	<u>. 3</u>		
OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	<u>GROSS FLOOR AREA</u> 12,375 SF <u>146 SF</u>	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 62 1 63
SEGMENT H - LEVEL	. 3		
OCCUPANCY TYPE RESIDENTIAL TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 8,505 SF	LOAD FACTOR 200 GROSS	OCCUPANT LOAD 43 43
	_		
SEGMENT J - LEVEL OCCUPANCY TYPE RESIDENTIAL ACCESSORY STOR/MECH TOTAL OCCUPANT LOAD	GROSS FLOOR AREA 12,849 SF 127 SF	LOAD FACTOR 200 GROSS 300 GROSS	OCCUPANT LOAD 64 1 65

<u>ELEMENT</u>	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2
EXIT WIDTH FACTORS (STAIRS)	OTHER)	SECTION 1005, 1011, 1024
SEGMENT F	44"/44"	44"/80"
SEGMENT G	44"/44"	44"/80"
SEGMENT H	44"/44"	44"/80"
SEGMENT J	44"/44"	44"/80"
MAXIMUM EXIT ACCESS TRAVE	L DISTANCE	TABLE 1017.2
SEGMENT F (R2)	250 FT	90'- 3"
SEGMENT G (R2)	250 FT	79'-2"
SEGMENT H (R2)	250 FT	145'-4"
SEGMENT J (R2)	250 FT	132'-0"
MAXIMUM COMMON PATH OF T	RAVEL DISTANCE	TABLE 1006.2.1
SEGMENT F (R2)	125 FT	33'-0"
SEGMENT G (R2)	125 FT	36'-0"
SEGMENT H (R2)	125 FT	33'-0"
SEGMENT J (R2)	125 FT	32'-8"
MAXIMUM DEAD END CORRIDO	R LENGTH	SECTION 1020.4
GROUP R2	20 FT	

PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

EGRESS REQUIREMENTS

P. 913.831. P. 913



WALL ASSEMBLY INFORMATION IDENTIFICATION STUD SIZE 4-3/4" 6-3/4" THICKNESS FIRE RATING 0-HR 0-HR N/A N/A FIRE TEST NUMBER ACOUSTICAL RATING N/A N/A ACOUSTICAL TEST NUMBER N/A N/A **ASSEMBLY NOTES** SUBSTITUTE 5/8" TYPE "X" GYP BD AT CONTRACTOR'S OPTION WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS

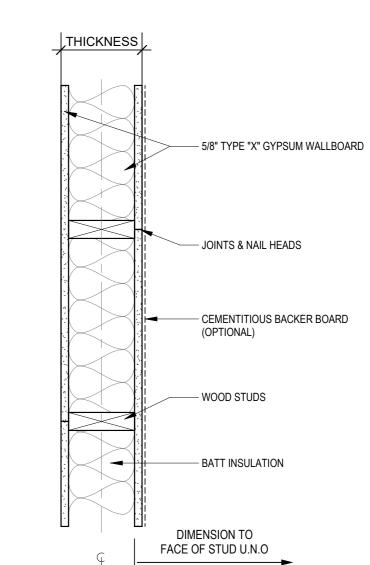
— CEMENTITIOUS BACKER BOARD (OPTIONAL) ------ WOOD STUDS DIMENSION TO FACE OF STUD U.N.O

>----- 5/8" TYPE GYPSUM WALLBOARD

- JOINTS & NAIL HEADS

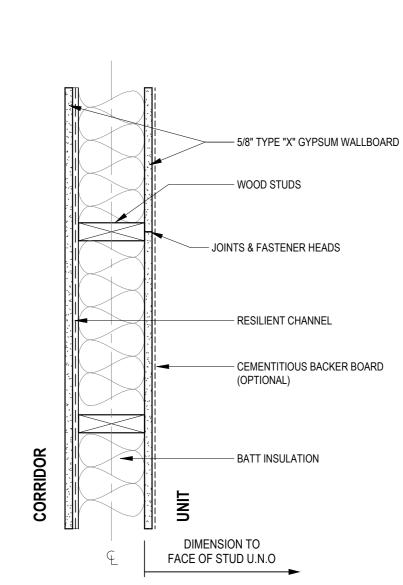
D INTERIOR WOOD STUD WALL
1 1/2" = 1'-0"

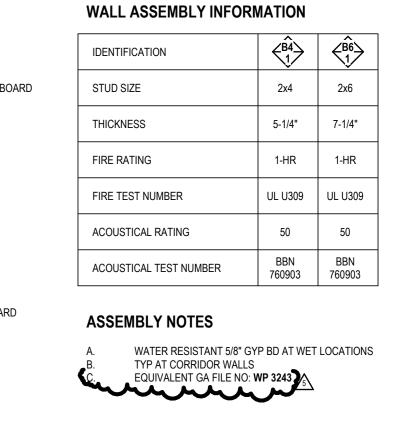
THICKNESS



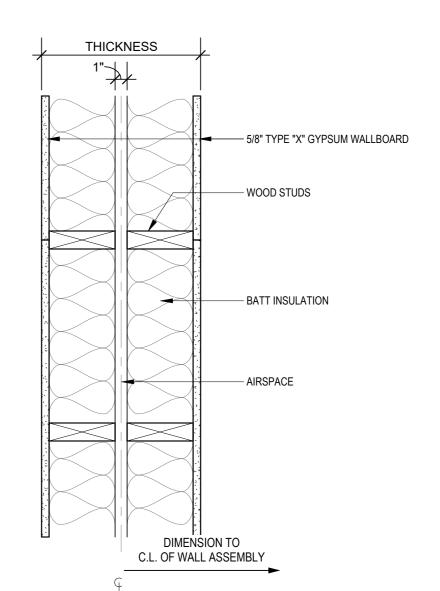
WALL ASSEMBLY INFORMATION IDENTIFICATION 2x4 2x6 STUD SIZE 4-3/4" 6-3/4" THICKNESS 1-HR 1-HR FIRE RATING FIRE TEST NUMBER UL U305 UL U305 STC 56 STC 56 ACOUSTICAL RATING N/A N/A ACOUSTICAL TEST NUMBER ASSEMBLY NOTES WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS EQUIVALENT GA FILE NO: WP 3514

C 1-HOUR INTERIOR WOOD STUD WALL
1 1/2" = 1'-0"





B 1-HR INTERIOR WOOD STUD WALL W/ RES CHANNELS



UL U341 FIRE TEST NUMBER ACOUSTICAL RATING RAL ACOUSTICAL TEST NUMBER TL11-160 **ASSEMBLY NOTES** A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: WP 3370

WALL ASSEMBLY INFORMATION

2x4

9 1/4"

1-HR

IDENTIFICATION

STUD SIZE

THICKNESS

FIRE RATING

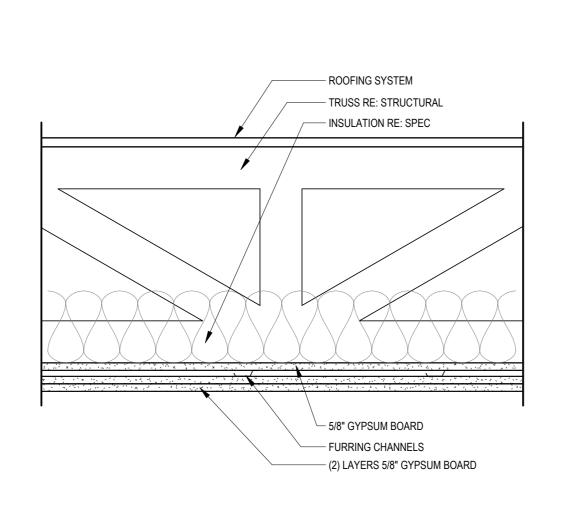
1-HR INTERIOR WOOD STUD DEMISING WALL



ROOF / CLG ASSEMBLY
1 1/2" = 1'-0"

FLOOR / CLG ASSEMBLY
1 1/2" = 1'-0"

55 TO 59 STC



FLOORING SYSTEM CONSISTING OF 3" LIGHTWEIGHT CONC. TOPPING OVER

DRAINAGE MAT OVER WATERPROFING

- OVER STRUCT PANEL AS RE: "S" DWGS.

OR CLASS "A" ROOFING ASSEMBLY RE: DETAILS IN LEIU OF FLOORING SYSTEMS 1

SLOPE (AT EXT. BALCONIES TYP.)

- CROSS BRACING RE: STRUCTURAL

— WOOD JOIST RE: STRUCTURAL NOT

--- LOOSE FILL MATERIAL - FURRING CHANNELS

----- 5/8" GYPSUM BOARD

— FLOORING SYSTEM

LESS THAN 2x10

- NOMINAL 2" TAPERED SLEEPERS FOR DRAINAGE

ROOFING SYSTEM

- TRUSS RE: STRUCTURAL

- INSULATION RE: SPEC

- 5/8" GYPSUM BOARD

- FURRING CHANNELS

- AIR DUCT RE: MECHANICAL

IDENTIFICATION	⟨K ⟩	$ \diamondsuit $
FRAMING	WOOD TRUSS	
THICKNESS	VARIES	
FIRE RATING	2-HR	
FIRE TEST NUMBER	P571	
ACOUSTICAL RATING		
ACOUSTICAL TEST NUMBER		

ROOF ASSEMBLY INFORMATION

WOOD

TRUSS

VARIES

1-HR

P556

IDENTIFICATION

FRAMING

THICKNESS

FIRE RATING

FIRE TEST NUMBER

ACOUSTICAL RATING

ACOUSTICAL TEST NUMBER

ASSEMBLY NOTES

FLOOR ASSEMBLY INFORMATION

2x10

VARIES

1-HR

L569

N/A

IDENTIFICATION

THICKNESS

FIRE RATING

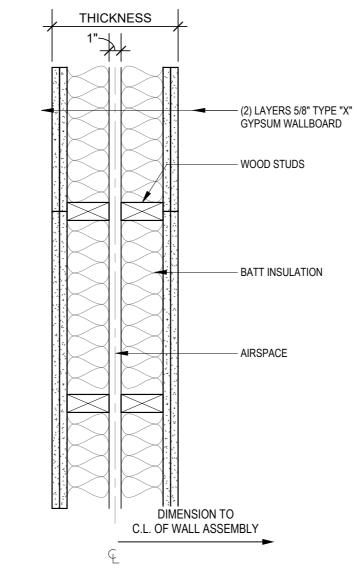
FIRE TEST NUMBER

ACOUSTICAL RATING

ACOUSTICAL TEST NUMBER

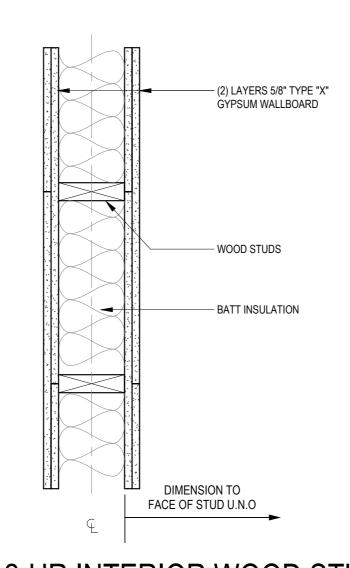
ASSEMBLY NOTES

A. EQUIVALENT GA FILE NO: RC 2602 OR RC 2603



IDENTIFICATION	⟨G4⟩	
STUD SIZE	2x4	
THICKNESS	10 1/2"	
FIRE RATING	2-HR	
FIRE TEST NUMBER	UL U351	
ACOUSTICAL RATING	N/A	
ACOUSTICAL TEST NUMBER	N/A	

G 2-HR INTERIOR WOOD STUD DEMISING WALL



STUD SIZE	2x6
THICKNESS	8"
FIRE RATING	2-HR
FIRE TEST NUMBER	UL U301
ACOUSTICAL RATING	52
ACOUSTICAL TEST NUMBER	USG-810218

WALL ASSEMBLY INFORMATION

	BATT INSULATION	
		ASSEMBLY NOTES A. TYP AT STAIRS, ELEVATORS & TRAS B. EQUIVALENT GA FILE NO: WP 4135
	DIMENSION TO FACE OF STUD U.N.O	
Ę	-	

	2-HR INTERIOR WOOD STUD WALL
V	1 1/2" = 1'-0"

WOOD WOOD TRUSS TRUSS
11.033
ESS 1'-7 7/8" 2'-1 7/8"
ATING 1-HR 1-HR
EST NUMBER L528 L528
TICAL RATING N/A N/A
TICAL TEST NUMBER N/A N/A
MDI V NOTES
MBLY NOTES WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
EQUIVALENT GA FILE NO: FC 5515

		IDENTIFICATION	₹ 60	\Diamond
	5/8" TYPE "X" GYPSUM WALLBOARD	STUD SIZE	2x6	
	WOOD STUDS	THICKNESS	6-7/8"	
		FIRE RATING	1-HR	
	WOOD STRUCTURAL PANEL SHEATHING	FIRE TEST NUMBER	UL U356	
	BATT INSULATION	ACOUSTICAL RATING	N/A	
		ACOUSTICAL TEST NUMBER	N/A	
	CEMENTITIOUS BACKER BOARD UNITS (OPTIONAL)			I
) 		ASSEMBLY NOTES		
5	EXTERIOR FACING	A. WATER RESISTANT 5/8'	" GYP BD AT WET	LOCATIO
	 α			
	RIO			
INTERIOR (FIRE SIDE)	EXTERIOR			
	DIMENSION TO FACE OF SHEATHING U.N.O			
	I			

FLR / CLG
1 1/2" = 1'-0"

STEEL STEEL COLUMN COLUMN VARIES VARIES 1 HR 2 HR UL X650 UL X650

BEAM ASSEMBLY INFORMATION

PER

STRUC.

VARIES

1-HR

N743/X790

BASED ON UL N743 & X790 CAFCO 300 SPRAY APPLIED FIRE PROOFING. APPLY

RE: MANF. INSTRUCTIONS TO DEVELOP REQUIRED

IDENTIFICATION

STUD SIZE

THICKNESS

FIRE RATING

FIRE TEST NUMBER

ASSEMBLY NOTES

ASSEMBLY INFORMATION

IDENTIFICATION

FRAMING

THICKNESS

FIRE RATING

FIRE TEST NUMBER

ACOUSTICAL RATING

ASSEMBLY NOTES

ACOUSTICAL TEST NUMBER

STEEL BEAM

STEEL COLUMN, RE: STRUCT.

INTUMESCENT COATING

APPROPRIATE FINAL DRY THICKNESS AND APPLICABLE

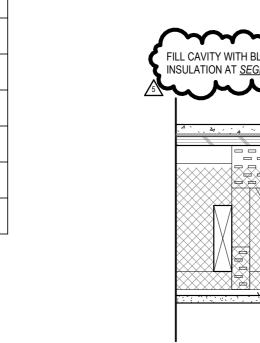
(SEE TABLE IN UL ASSEMBLY FOR

BEAM ASSEMBLY
1 1/2" = 1'-0"

COLUMN ASSEMBLY
1 1/2" = 1'-0"

MATERIALS

—— SPRAY-APPLIED FIRE RESISTIVE



~~~			IDENTIFICATION	₹118>	₹ <del>1</del> 24
FILL CAVITY WITH BLOWN-IN INSULATION AT <u>SEGMENT B ONLY</u>	FLOORING SYSTEM		FRAMING	WOOD TRUSS	WOOD TRUSS
~~~	WOOD TRUSS @ 24 O.C.		THICKNESS	1'-7 7/8"	2'-1 7/8"
A		+	FIRE RATING	1-HR	1-HR
The state of the s			FIRE TEST NUMBER	L528	L528
		THICKNESS	ACOUSTICAL RATING	N/A	N/A
		THIC	ACOUSTICAL TEST NUMBER	N/A	N/A
	FURRING CHANNELS 5/8" GYPSUM BOARD		A. WATER RESISTANT 5/8" (B. EQUIVALENT GA FILE NO		「LOCATIONS

FLOOR ASSEMBLY INFORMATION

ASSEMBLY 1 1/2" = 1'-0"

E 1-HR EXTERIOR WOOD STUD WALL

ARD RD. DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

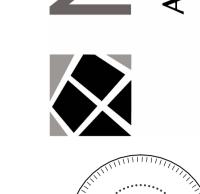
LEE'S SUMMIT, MO

5 23 0609 ASI 1 03.15.2023

 \triangle REVISIONS

3 23 0511 ADDENDUM 2

705921 **DRAWN BY** TSC/SIW 6/9/2023 **ASI #1** SHEET NAME RATED ASSEMBLIES



 $\infty \infty \mathcal{S}$

Floor-Ceiling Assembly - The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory. The 2 hr fire-rated wood joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in Design Nos. L505, L511 or L536 in the UL Fire Resistance Directory. The general construction features of the floor-ceiling assembly are summarized below: A. Flooring System - Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual Floor-Ceiling Design. Max diam of floor opening is 2 in. B. Wood Joists* - For 1 hr fire-rated floor-ceiling assemblies nom 10 in. deep (or deeper) lumber, steel or combination

lumber and steel joists, trusses or Structural Wood Members* with bridging as required and with ends firestopped. For

2 hr fire-rated floor-ceiling assemblies, nom 2 by 10 in. lumber joists spaced 16 in. OC with nom 1 by 3 in. lumber bridging and with ends firestopped. C. Furring Channels - (Not Shown) - In 2 hr fire-rated assemblies, resilient galv steel furring installed perpendicular to wood joists between first and second layers of gypsum board (Item 1D). Furring channels spaced max 24 in. OC. In 1 hr fire-rated assemblies, resilient galv steel furring installed perpendicular to wood joists between gypsum board and wood joists as specified in the individual Floor-Ceiling Design. Furring channels spaced max 24 in: OC. In 1 hr fire-rated assemblies, resilient galv steel furring installed perpendicular to wood joists between gypsum board and wood joists as specified in the individual Floor-Ceiling Design. Furring channels spaced max 24 in. OC.

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to ASTM/UL1479 (ASTM E814)

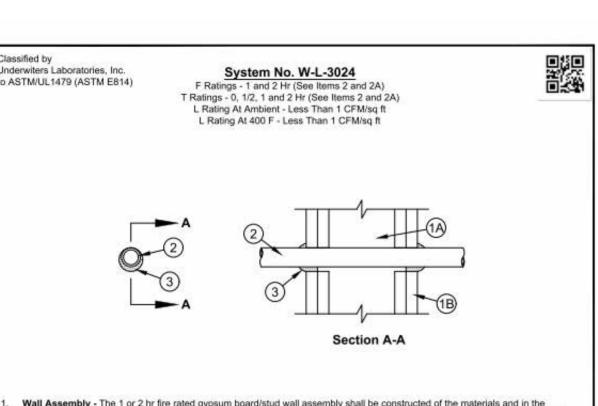
D. Gypsum Board* - Nom 4 ft wide by 5/8 in. thick as specified in the individual Floor-Ceiling Design. First layer of gypsum board secured to wood joists or furring channels as specified in the individual Floor-Ceiling Design. Second layer of wallboard (2 hr fire-rated assembly) screw-attached to furring channels as specified in the individual Floor-Ceiling Design. Max diam of ceiling opening is 2 in.

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SUMMIT,

LEE'S



Underwiters Laboratories, Inc.

to ASTM/UL1479 (ASTM E814)

System No. W-L-2079

L Rating At Ambient - 1 CFM/sq ft

L Rating At 400 F - Less Than 1 CFM/sq ft

. Wall Assembly - The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the

Fire Resistance Directory and shall include the following construction features:

assembly. The following types and sizes of nonmetallic pipes may be used:

pipe for use in closed (process or supply) piping systems.

closed (process or supply) vented (drain, waste, or vent) piping systems.

materials and in the manner described in the individual U300 or U400 Series Wall or Partition Design in the UL

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2

by 4 in. (51 by 102 mm) lumber spaced 16 in. OC (406 mm) with nom 2 by 4 in. (51 by 102 mm) lumber end

plates and cross braces. Steel studs to be min 2-1/2 in. (64 mm) wide and spaced max 24 in. (610 mm) OC.

wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the

The hourly F rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is

individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 10 in. (254

B. Gypsum Board* - 5/8 in. (16 mm) thick, 4 ft (1219 mm) wide with square or tapered edges. The gypsum

2. Through Penetrant - One nonmetallic pipe to be centered within the firestop system. A normannular space of

A. Polyvinyl Chloride (PVC) Pipe - Nom 8 in. (203 mm) diam (or smaller) Schedule 40 PVC pipe for use in

11/16 in. (18 mm) is required within the firestop system. Pipe to be rigidly supported on both sides of the wall

B. Flame Retardant Polypropylene (FRPP) Pipe - Nom 8 in. (203 mm) diam (or smaller) Schedule 40 FRPP

C. Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 8 in. (203 mm) diam (or smaller) SDR 17 13.5 CPVC

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pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.

T Rating - 0 Hr

F Ratings - 1 and 2 Hr (See Item 1B

Wall Assembly - The 1 or 2 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC. B. Gypsum Board* - 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire

Resistance Directory. Max diam of opening is 2-1/2 in. The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. Cables - One cable to be installed either concentrically or eccentricity within the firestop system. The annular space within the firestop system shall be a min 0 in. (point contact) to a max 1/4 in. Cable to be rigidly supported on both sides of wall assembly. The following types and sizes of cables may be used:

A. Max 200 pair No. 24 AWG (or smaller) copper conductor cable with polyvinyl chloride (PVC) jacketing and insulation. When 200 pair No. 24 AWG telephone cable is used, T Rating is 0 hr. When 50 pair No. 24 AWG telephone cable is used, T Rating is equal to the F rating of the firestop system.

B. Max 3/C No. 2/0 AWG (or smaller) aluminum conductor service entrance cable with PVC insulation and jacketing. When service entrance cable is used, the T Rating is equal to the F Rating of the firestop system. C. Max 1/C-750 kcmil copper conductor power cable with cross-linked polyethylene (XLPE) insulation and jacketing. When

1/C-750 kcmil cable is used, the T Rating is equal to the F Rating of the firestop system. D. Max 3/C No. 8 AWG (or smaller) PVC insulated and jacketed nonmetallic sheathed (Romex) cable. When Romex is used, the T Rating is equal to the F Rating of the firestop system. E. Max RG59/U (or smaller) coaxial cable with fluorinated ethylene insulation and jacketing. When coaxial cable is used, the T

Rating is equal to the F Rating of the firestop system. F. Max 62.5/125 micron fiber optic cable with PVC insulation and jacketing. When fiber optic cable is used, the T Rating is equal to the F Rating of the firestop system.

G. Max 4 pair No. 24 AWG (or smaller) copper conductor data cable with Hylar insulation and jacketing. When data cable is used, the T Rating is equal to the F Rating of the firestop system.

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2A. Through-Penetrating Product* - As an alternate to Item 2, max one through-penetrating product to be installed either concentrically or eccentrically within the firestop system. Through-penetrating product to be rigidly supported on both sides of wall assembly. The following types of through-penetrating products may be used: A. Max four copper conductors No. 4/0 AWG (or smaller) aluminum or steel Armored Cable+ or Metal-Clad Cable+. When armored or metal-clad cable is used, the T Rating is 1/2 hr.

AFC CABLE SYSTEMS INC B. Two or more twisted copper conductors No. 6 AWG (or smaller) Power Limited Circuit Cable+ with or without a jacket under a metal armor. When Power Limited Circuit Cable+ is used, the T Rating is 1/2 hr AFC CABLE SYSTEMS INC

C. Two or more twisted copper conductors No. 10 AWG (or smaller) Power Limited Fire Alarm Cable+ with or without a jacket under a metal armor. When Power Limited Fire Alarm Cable+ is used, the T Rating is equal to the F Rating of the AFC CABLE SYSTEMS INC

D. Two or more twisted copper conductors No. 12 AWG (or smaller) Non Power Limited Fire Alarm Cable+ with or without a jacket under a metal armor. When Non Power Limited Fire Alarm Cable+ is the T Rating is equal to the F Rating of the firestop system. AFC CABLE SYSTEMS INC

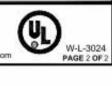
Fill Void or Cavity Material* - Sealant or Putty - Min 5/8 in. thickness of fill material installed within annulus, flush with both surfaces of wall assembly. Additional fill material installed such that a min 1/4 in, diam crown is formed around the through-penetrant on both sides of the wall. SPECIFIED TECHNOLOGIES INC - SpecSeal Series SSS Sealant, SpecSeal Putty or SpecSeal LCI Sealant

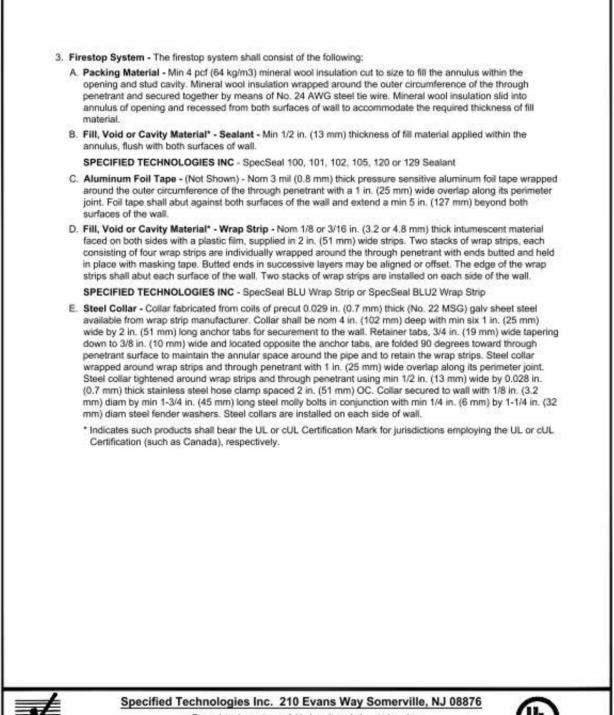
*Bearing the UL Classification Marking +Bearing the UL Listing Mark

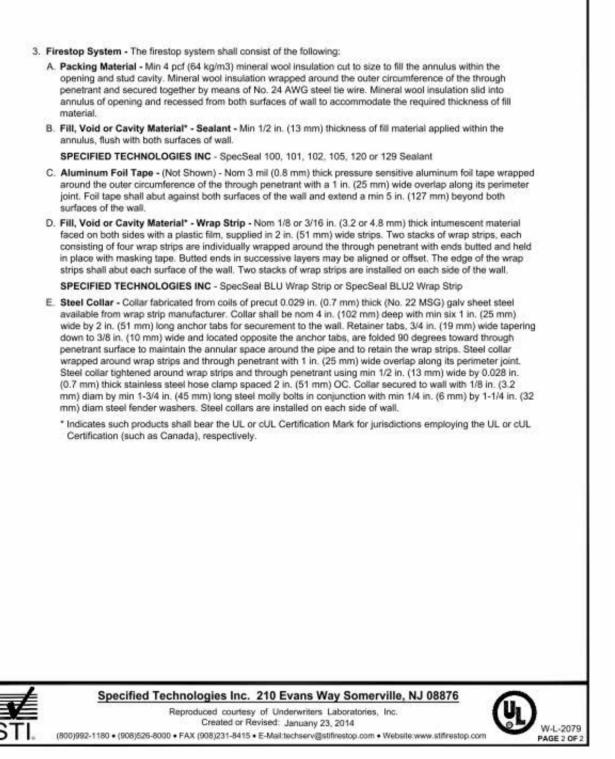


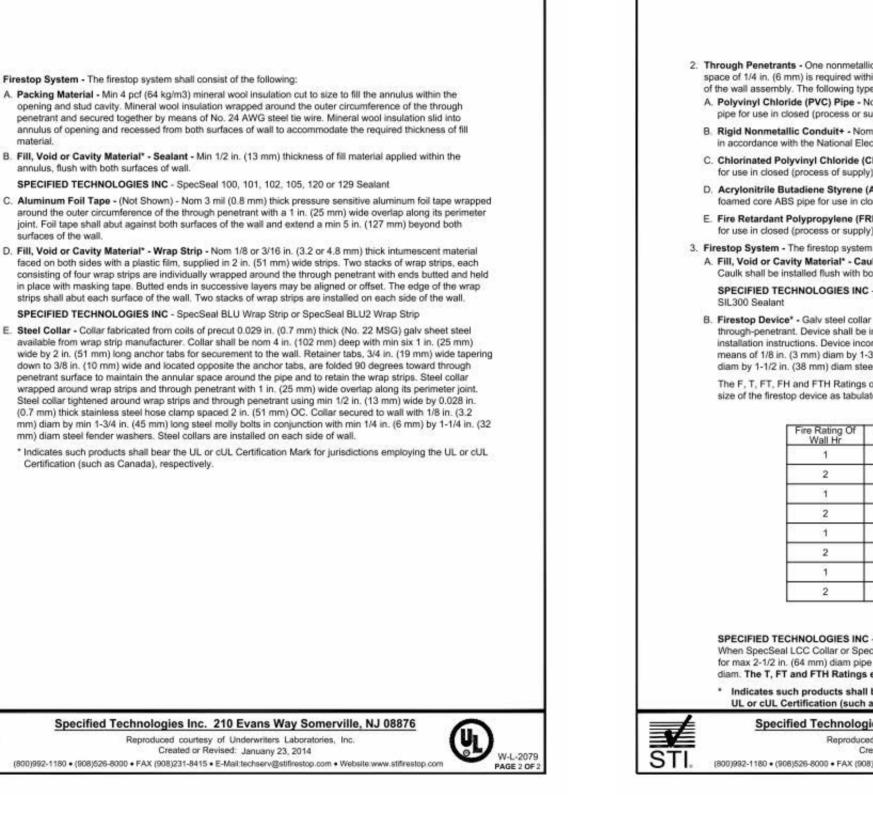
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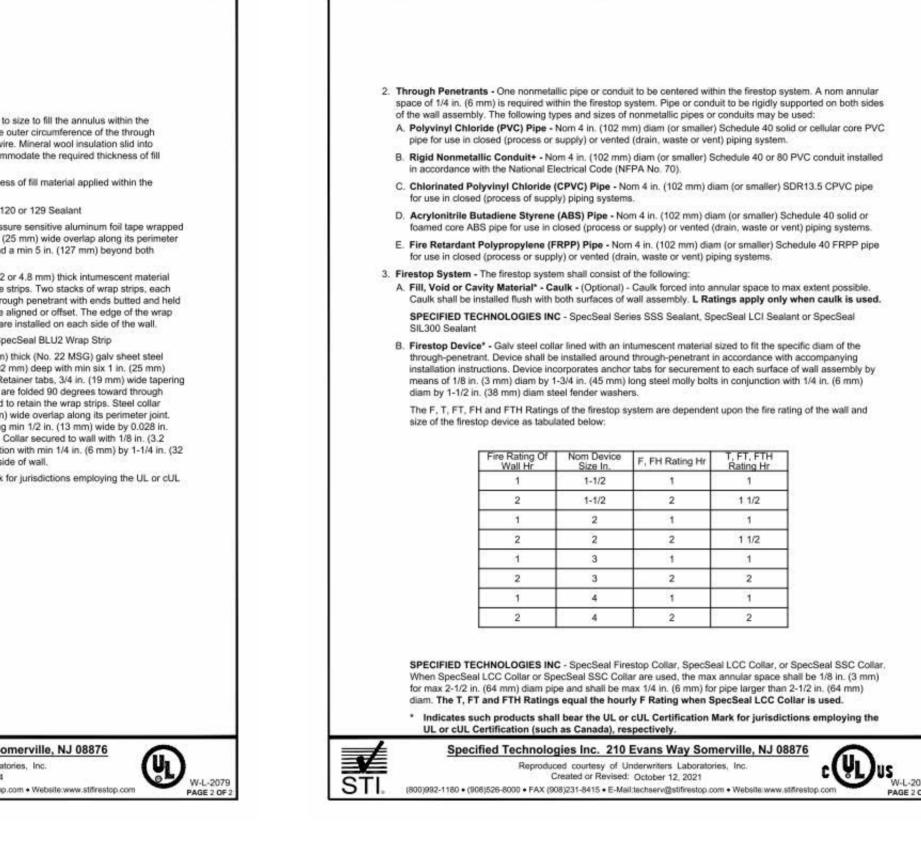
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Underwiters Laboratories, Inc.

to ANSI/UL 1479 (ASTM E814) and CAN/ULC S115 System No. W-L-2029

CAN/ULC S115

F Ratings - 1 and 2 Hr (See Items 1 and 3B)

FT Ratings - 1, 1-1/2 and 2 Hr (See Item 3B)

FH Ratings - 1 and 2 Hr (See Items 1 and 3B)

FTH Ratings- 1, 1-1/2 and 2 Hr (See Item 3B) L Rating At Ambient - Less Than 5.1 L/s/m2 L Rating At 204°C - Less Than 5.1 L/s/m2

Section A-A

System tested with a pressure differential of 2.5 Pa between the exposed and the unexposed surfaces

Wall Assembly - The 1 or 2 hr fire rated gypsum wallboard/stud wall assembly shall be constructed of the

materials and in the manner described in the individual U300, V300, U400, V400 or W400 Series Wall and

A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2

B. Gypsum Board* - 5/8 in. (16 mm) thick, 4 ft (1.2 m) wide with square or tapered edges. The gypsum board

The hourly F and FH Ratings of the firestop system are equal to the hourly fire rating of the wall

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type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual

by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide and

Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

Design in the UL Fire Resistance Directory, Max diam of opening is 5 in. (127 mm).

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ANSI/UL1479 (ASTM E814)

F Ratings - 1 and 2 Hr (See Items 1 and 3B)

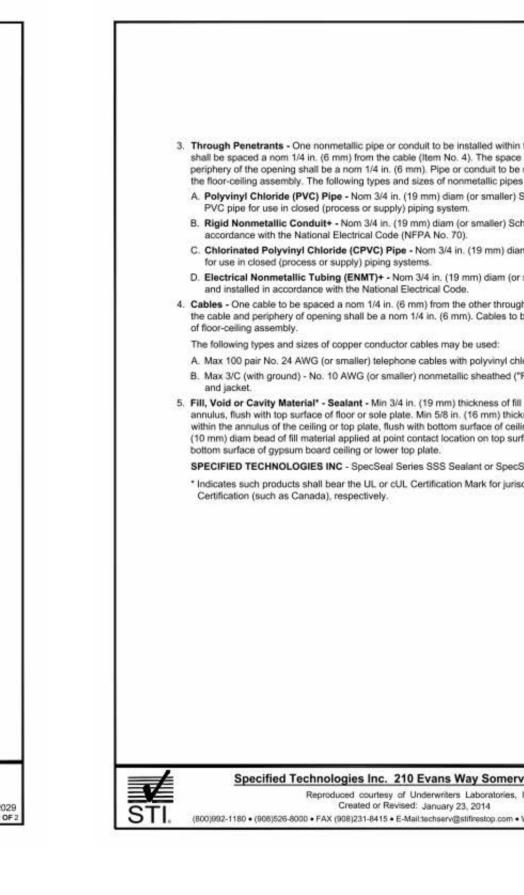
T Ratings - 1, 1-1/2 and 2 Hr (See Item 3B) L Rating At Ambient - Less Than 1 CFM/ft2

L Rating At 400°F - Less Than 1 CFM/ft2

with the higher pressure on the exposed side.

spaced max 24 in. (610 mm) OC.

assembly in which it is installed.



Inderwiters Laboratories, Inc

to ASTM/UL1479 (ASTM E814)

Underwiters Laboratories, Inc.

to ASTM/UL1479 (ASTM E814)

T Rating - 1 Hi

1. Floor-Ceiling Assembly - The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be

A. Flooring System - Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping

Mixture* as specified in the individual Floor-Ceiling Design. Max diam of floor opening is 2 in. (51 mm

UL Fire Resistance Directory, as summarized below:

bridging as required with ends firestopped.

and Partition Design.

Design, Max diam of ceiling opening is 2 in. (51 mm).

constructed of the materials and in the manner specified in individual L500 Series Floor-Ceiling Designs in the

B. Wood Joists - Nom 2 by 10 in. (51 by 254 mm) lumber joists spaced 16 in. OC with nom 1 by 3 in. (25 by 76

mm) lumber bridging and with ends firestopped. As an alternate to lumber joists, nom 10 in. (254 mm) deep

C. Furring Channels - (Not Shown) - Resilient galv steel furring installed perpendicular to wood joists (Item 1B)

D. Gypsum Board* - Nom 4 ft (1.2 m) wide by 5/8 in. (16 mm) thick as specified in the individual Floor-Ceiling

Design. Wallboard secured to wood joists or furring channels as specified in the individual Floor-Ceiling

2. Chase Wall - (Optional) - The through penetrant (Item 3) may be routed through a 1 hr fire-rated single, double

or staggered wood stud/gypsum wallboard chase wall constructed of the materials and in the manner specified

in the individual U300 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include

B. Sole Plate - Nom 2 by 6 in. (51 by 152 mm) or parallel 2 by 4 in. (51 by 102 mm) lumber plates, tightly

C. Top Plate - The double top plate shall consist of two nom 2 by 6 in. (51 by 152 mm) or two sets of parallel 2

D. Gypsum Board* - Thickness, type, number of layers and fasteners shall be as specified in individual Wall

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A. Studs - Nom 2 by 6 in. (51 by 152 mm) or double nom 2 by 4 in. (51 by 102 mm) lumber studs.

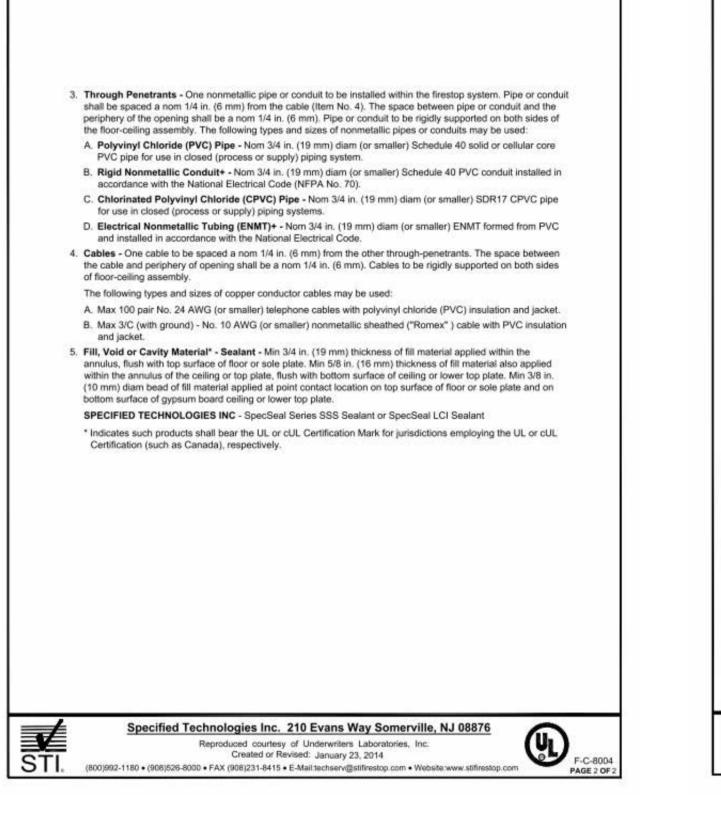
by 4 in. (51 by 102 mm) lumber plates, tightly butted. Max diam of opening is 2 in. (51 mm).

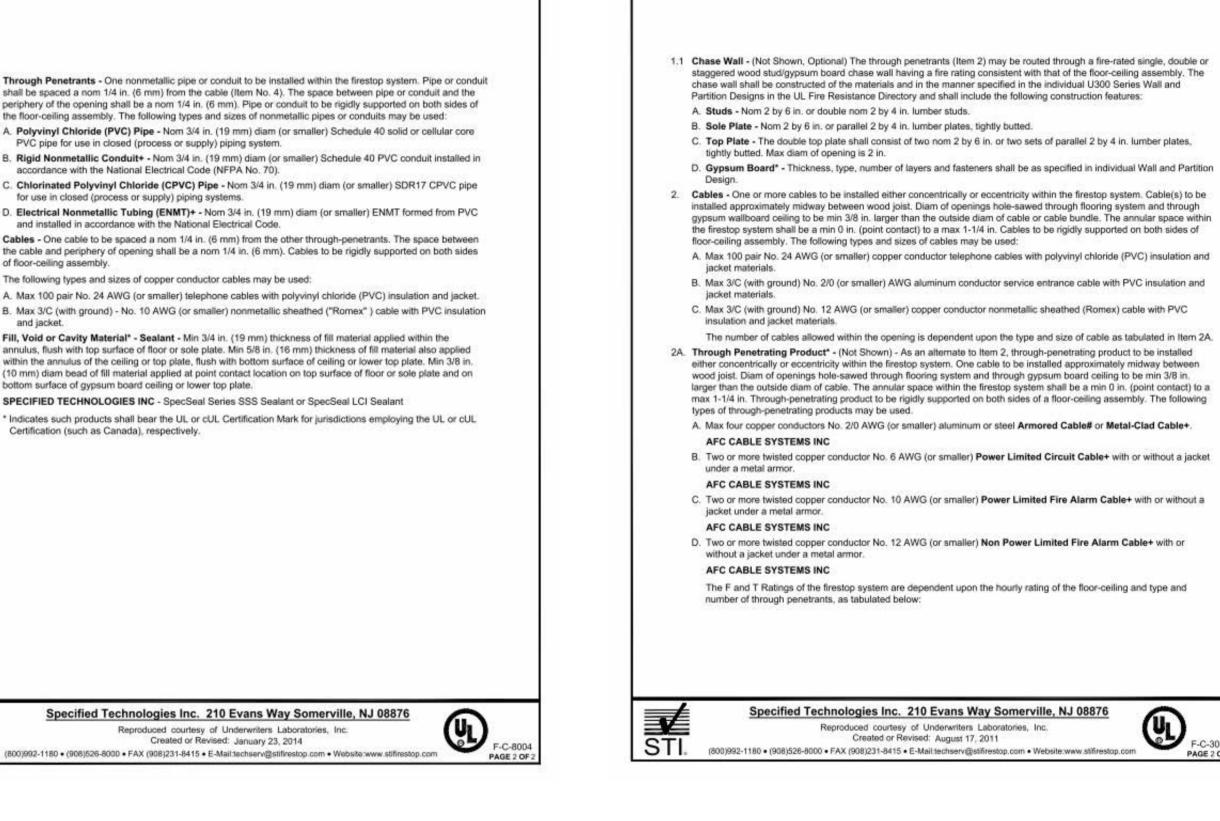
between wallboard (Item 1D) and wood joists or furring channels as required in the individual Floor-Ceiling

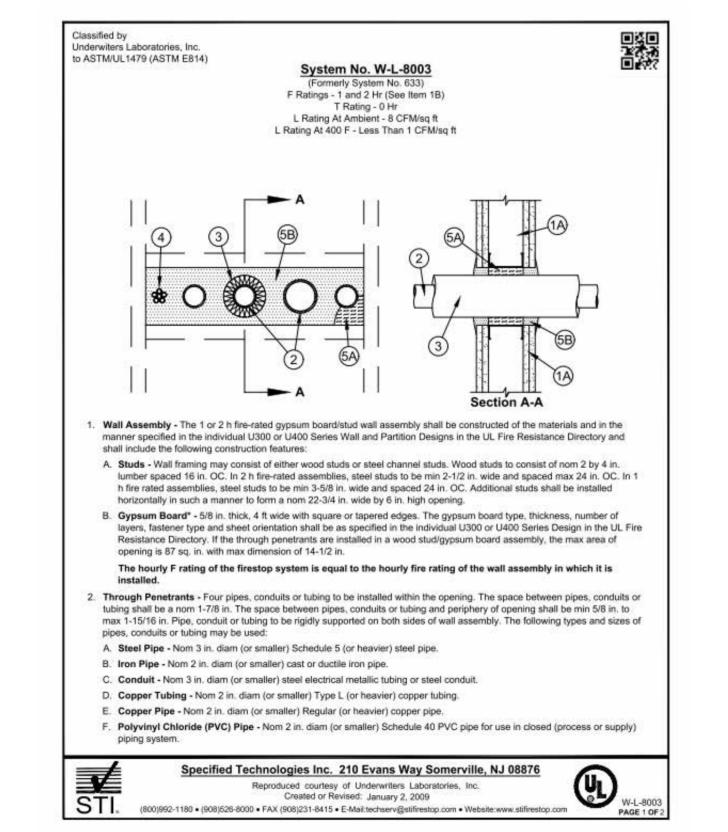
(or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood Members* with

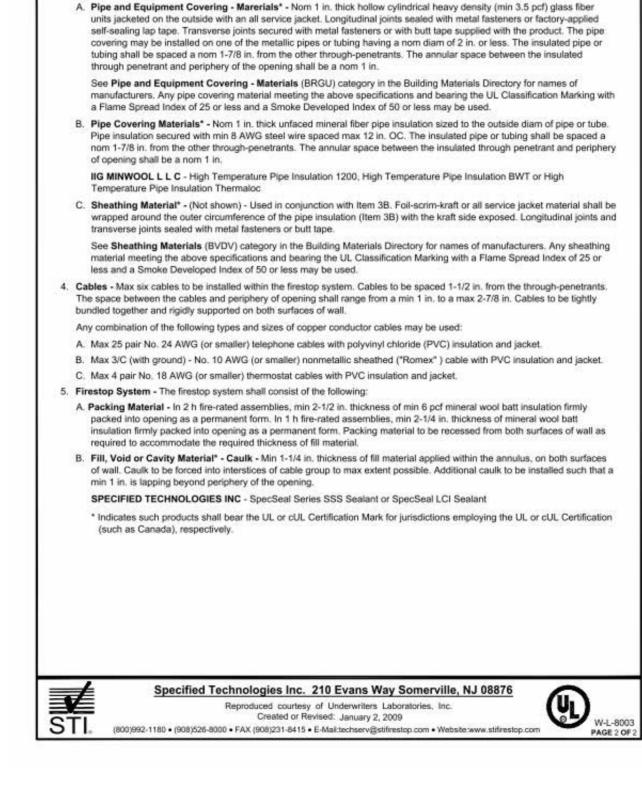
L Rating at Ambient - Less Than 1 CFM/sq ft

L Rating at 400° F - Less Than 1 CFM/sq ft

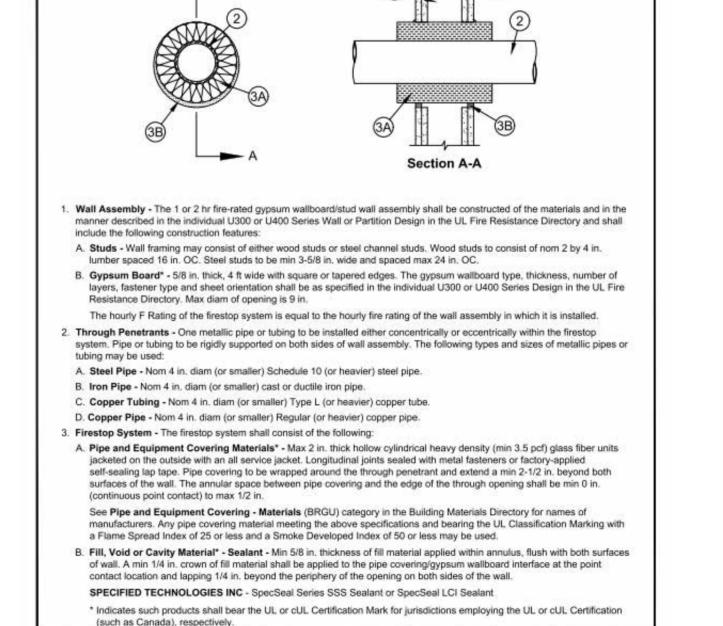








Pipe Covering - One of the following types of pipe coverings shall be used:



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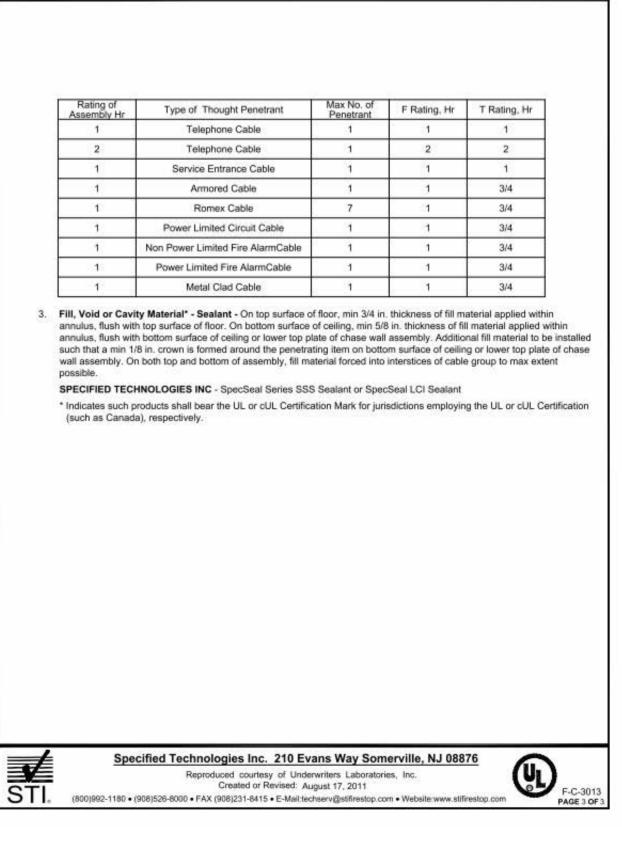
Created or Revised: January 23, 2014

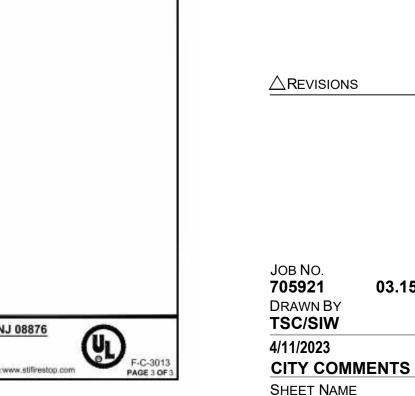
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System No. W-L-110

Ratings - 1 & 2 Hr (See Item 1

T Rating - 0 Hr





RATED PENETRATIONS

03.15.2023

LAVATORY CABINETRY SHALL BE PERMITTED UNDER THE LAVATORY PROVIDED THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY, THE FLOOR FINISH EXTENDS WALD STREET PROVIDED THE CABINETRY

THE WATER CLOSET SHALL BE POSITIONED WITH A WALL TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 16" MIN. AND 18" MAX. FROM THE SIDE WALL. WATER CLOSET FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET

MIRRORS SHALL HAVE THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM AFF. BATHTUB HAND SHOWERS SHALL BE PROVIDED PER A117.1 SECTION 607.6. KITCHEN CLEARANCES SHALL COMPLY WITH A117.1 SECTION 1003.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTERTOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORKSARPEN SHAULENESSON 1003.12.1. CLEARANCE SHALL BE 60" MIN. A CLEAR FLOOR SPACE OF 30"x48" AT EACH APPLIANCE. HOWEVER, A REFRIGEPATOR MUST PROVIDE A PARALLEL APPROACH. PROVIDE A PARALLEL APPROACH AT REFRIGERATORS AND RANGES. ALL OTHER APPLIANCES MAY BE PARALLEL OR

CLEAR FLOOR SPACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR THE TOOM WASHER, WITHOUT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION, SHALL

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING.

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS THAT ARE A PART OF THE UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN. ALL ROOMS SERVED BY AN ACSHANDLETAE 60" WHEELCHAIR

ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: FLOOR OR GROUND SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS / DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) LIFTS.

BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THRESHOLDS AT EXTERIOR SLIDING DOORS SHALL BE PERMITTED TO BE 3/4" HIGH MAX. PROVIDED THEY ARE BEVELED WITH A SLOPE NOT

COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. AFF.

WATER CLOSET SEAT HEIGHT SHALL BE A MIN. 15" AND A MAX 19" A.F.F., MEASURED TO THE TOP OF THE SEAT

REINFORCEMENT SHALL BE PROVIDED IN WALLS TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS.

ALL CABINETS SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD APPROACH. THE SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MEET OPERABLE PARTS PROVISIONS. A WORK SURFACE 30" MIN. IN LENGTH, WITH A CLEAR FLOOR SPACE OF 30"x48" AND POSITIONED FOR FORWARD APPROACH, KNEE AND TOE CLEARANCES PER A117.1 SECTION 306 SHALL BE PROVIDED. CLEAR FLOOR SPACE SHALL BE CENTERED ON THE WORK SURFACE. WORK SURFACE HEIGHT SHALL BE 34" MAX. UNLESS ADJUSTABLE.

WORK SURFACE CABINETRY SHALL BE PERMITTED IF THE CABINETRY IS EASILY REMOVABLE WITHOUT REMOVING WORK SURFACE, THE FINISH FLOORING EXTENDS UNDER, AND THE WALLS BEHIND AND SURROUNDING ARE FINISHED. A SINK COMPLYING WITH A CLEAR FLOOR SPACE OF 30"x48" AND POSITIONED FOR FORWARD APPROACH, KNEE AND TOE CLEARANCES PER A117.1 SECTION 306 SHALL BE PROVIDED AS INMEAS LURE OF SOUNTER SURFACE WHICHEVER IS

SINK CABINETRY SHALL BE PERMITTED IF THE CABINETRY IS EASILY REMOVABLE WITHOUT REMOVING THE SINK, THE FINISH FLOORING EXTENDS UNDER, AND THE WALLS BEHIND AND SURROUNDING ARE FINISHED.

MICROWAVE / HOOD COMBOS ARE NOT COMPLIANT DUE TO REACH RANGES. PROVIDE A SEPARATE SWITCHED HOOD VENT AND COUNTERTOP MICROWAVE. SWITCH MUST COMPLY WITH OUTLET REQUIREMENTS AND HAVE A 30" BY 48" CLEAR FLOOR SPACE CENTERED ON THE SWITCH.

THE LOCATION OF COOKTOP AND OVEN CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS.

TYPE "A" DWELLING UNITS - ACCESSIBILITY NOTES

DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

GREATER THAN 1:2.

BLOCKING

- LOCATE TUB

CONTROLS IN

HATCHED AREA.

CONTROL LOCATION

CURTAIN ROD

SHOWER HEAD

UNITS DESIGNATED ON THE PLANS AS "TYPE A" SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1003.

THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.

TURNING SPACE EXCEPT FOR BATHROOMS NOT REQURED TO COMPLY. A TURNING SPACE IS NOT REQIRED WITHIN CLOSETS OR PANTRES THAT ARE 48" MAXIMUM IN DEPTH.

HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLSHOPSOM BOTH

AT LEAST ONE TOILET AND BATHING FACILITY MUST COMPLY HAVING AT LEAST ONE LAVATORY, WATER CLOSET, AND EITHER A BATHTUB OR SHOWER

DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SLIDING DOORS.

LAVATORY HEIGHT SHALL BE 34" MAX A.F.F. LAVATORY CLEAR FLOOR SPACE SHALL BE 30"x48" AND POSITIONED FOR FORWARD APPROACH WITH KNEE AND TOE CLEARANCES PER A117.1 SECTION 606

A CLEAR FLOOR SPACE (30"x48") COMPLYING WITH A117.1 SECTION 305 POSITIONED FOR PARALLEL APPROACH SHALL BE PROVIDED. FOR TOP LOADING MACHINES, THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE. FOR FRONT LOADING MACHINES, THE CENTERLINE OF THE CLEAR FLOOR SPACE SHALL BE OFFSET 24" MAX.FROM THE CENTERLINE OF THE DOOR OPENING.

TOP LOADING LAUNDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36" MAX. ABOVE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOOT TIMES BOTTING BOTTING

GENERAL ACCESSIBILITY NOTES

INSTALL CONCEALED 2X8 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE.

INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS

TYPE "A" DWELLING UNIT MOUNTING HEIGHTS *VERIFY W/ MANUFACTURER THE OBSTRUCTED REACH RANGE STORAGE FACILITY SHALL TO CONTROLS THAT ARE NOT LOCATED ON THE MACHINE'S BE PROVIDED WITHIN THE OPERABLE PARTS TO BE WITHIN *BOTTOM OF WASHING MACHINE OR DRYER DOOR TO BE NOT REACH RANGE LESS THAN 15" OR GREATER THAN 36" A.F.F. ACTUAL CABINET CONFIGURATION — 36" MIN. IF PART OF T-SHAPED TURNING SPACE PER A117.1 SECTIONS 304.3.2 & 1003.3.2 STORAGE REACH RANGE LAUNDRY OPERABLE PARTS REACH RANGE

TOWEL

TOWEL RING (TR)

ROBE HOOK (RH)

TOILET PAPER (TP)

HAND HELD SHOWERHEAD ON SLIDEBAR.

INSTALL PER MRF. RECOMMENDATIONS TO MEET ACCESSIBILITY REQUIREMENTS —

HOOK

TYPE "A" DWELLING UNIT LAVATORIES-VANITIES

TYPE "A" UNIT - REQUIRED KNEE SPACE CLEARANCES AT LAVATORIES-VANITIES

ENTRY DOOR

INSTALLING

1" MAX. RUN IN 6" RISE —

BASE CABINET -

CABINET -

REMOVABLE BASE

STROBES

** REFER TO ROLL-UNDER

COUNTERTOP DETAIL FOR

ADDITIONAL INFORMATION

— TO RIM OF SINK OR

WHICHEVER IS HIGHER

DEVICES

** CABINET CONSTRUCTION

SHALL FACILITATE REMOVAL OF

BASE CABINET W/O REMOVING

OR DAMAGING THE COUNTER,

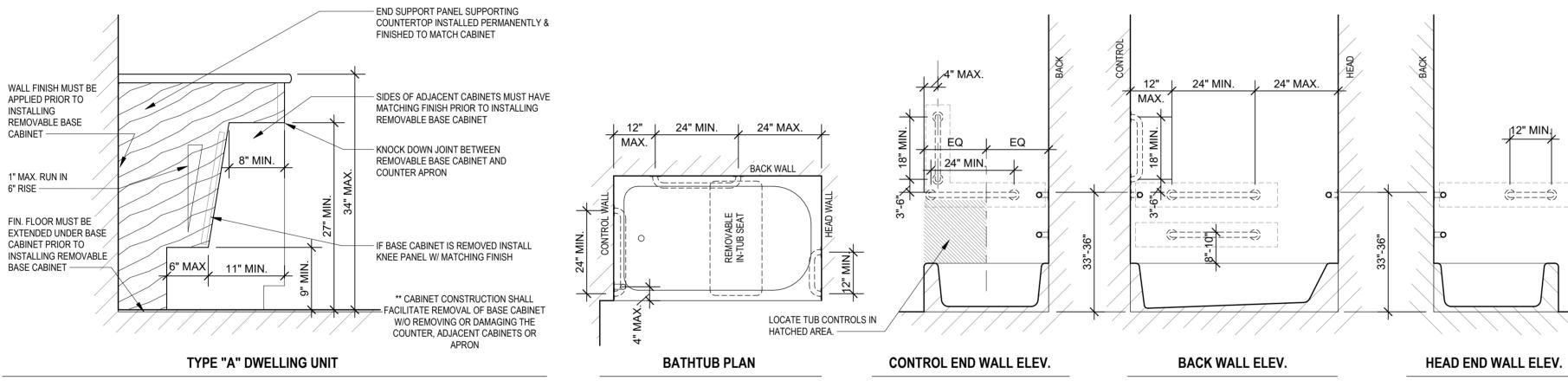
ADJACENT CABINETS OR APRON

KITCHEN COUNTERTOPS

A II IP

TYPE "A" DWELLING UNIT ACCESSIBLE REACH RANGE

COUNTERTOPS



MIN. OR AS NECESSARY TO SPAN STUD BAYS

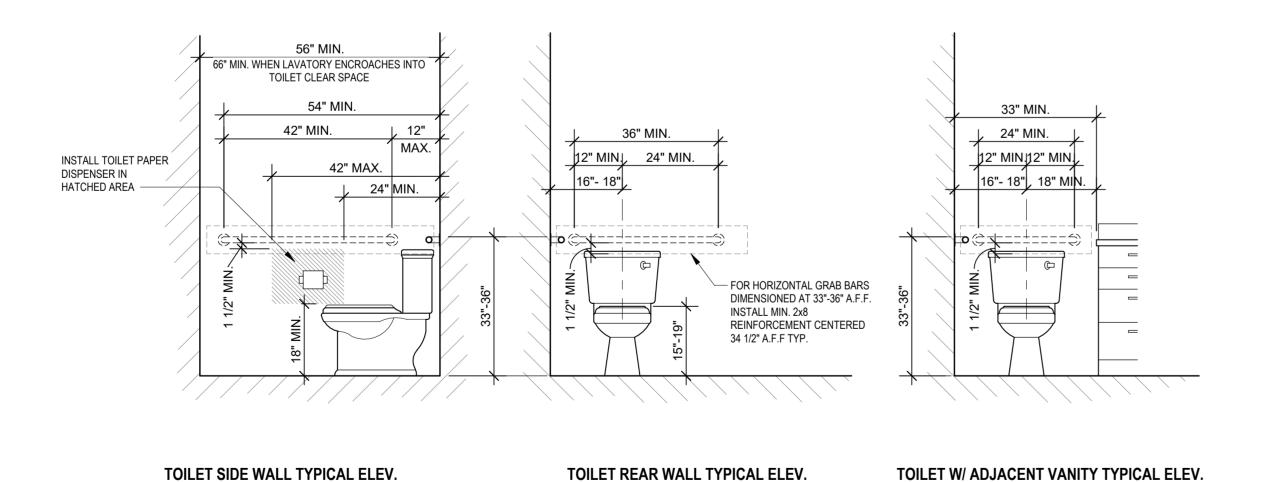
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CENTER BLKG. ON WALLS, OR PER ARCHITECT'S DIRECTION

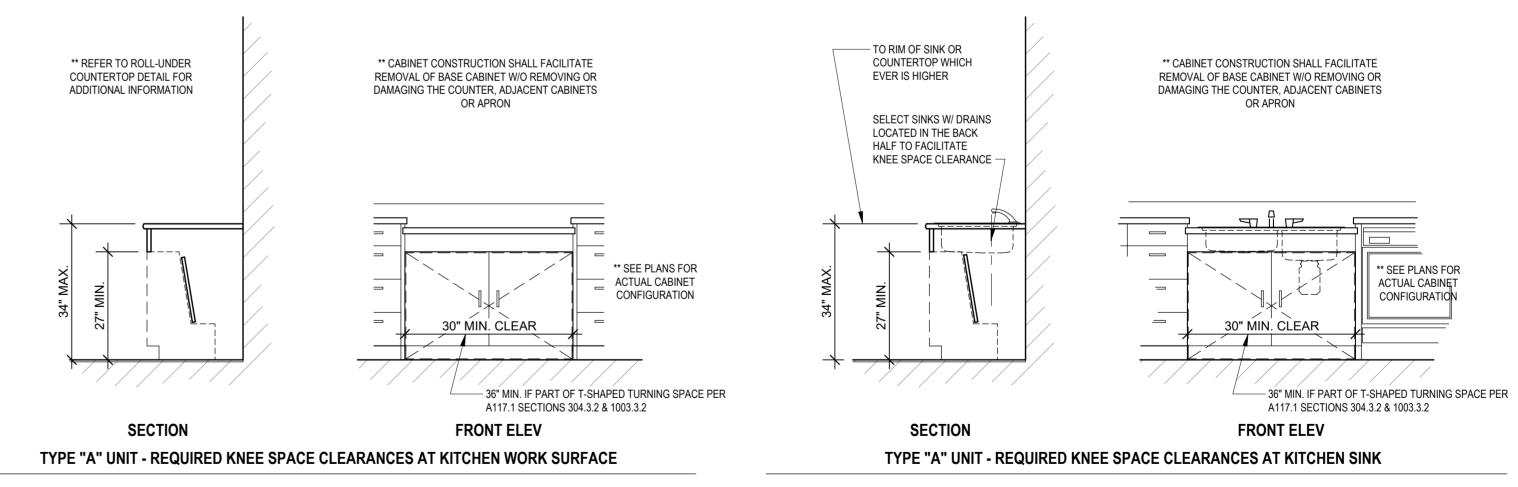
T.V. BLOCKING

ROLL-UNDER COUNTERTOP DETAIL

TYPE "A" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS



TYPE "A" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS



TYPE "A" DWELLING UNIT AT KITCHEN

△REVISIONS

03.15.2023 TSC/SIW 4/11/2023 **CITY COMMENTS** SHEET NAME
TYPE "A" UNIT
ACCESSIBILITY INFO

LEE'S

IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPAREMENTOSE 130RGER THAN 36" BY 36". CLEARANCES SHALL COMPLY WITH A117.11004.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40" MINIMUM. IN U-SHAPED KITCHENS THIS CLEARANCE

A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED. A PARALLEL APPROACH SHALL BE PROVIDED FOR A TOP LOADING MACHINE. A FORWARD OR PARALLEL APPROACH SHALL BE PROVIDED FOR A FRONT LOADING MACHINE. WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLEDSHRAML WITHDEN EXCEPTACLE OUTL

TYPE "B" DWELLING UNITS - ACCESSIBILITY NOTES

ACCESSIBLE ROUTE:

1. THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.

INSTALL CONCEALED 2X8 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE. INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS.

CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 36" MAX IN HEIGHT AND 25 1/2" MAX IN DEPTH

ALL UNITS NOT DESIGNATED AS "TYPE A" OR "EXEMPT" ARE CONSIDERED "TYPE B" AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1004 AND THE FAIR HOUSING ACT..

ARE IMPERVIOUS, THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX. BELOW THE FLOOR LEVEL OF THE ADJACENT INTERIOR SPACES OF THE UNIT.

THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS.

THAT THE ROOM DOES NOT CONTAIN THE ONLY LAVATORY OR WATER CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT.

A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE LAVATORY.

THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.

THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.

THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.

MIN, MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK.

A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR.

ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY.

GENERAL ACCESSIBILITY NOTES

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN.

ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLANTICUS MINISCONTY SS WARTERIES EXTERIOR

THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOPEN WITH THE

THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2", EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4". CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2"

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.

ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.

WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48" OR LESS THAN 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4" MIN.

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED BEYOND THEARC OF THE DOOR SWING.

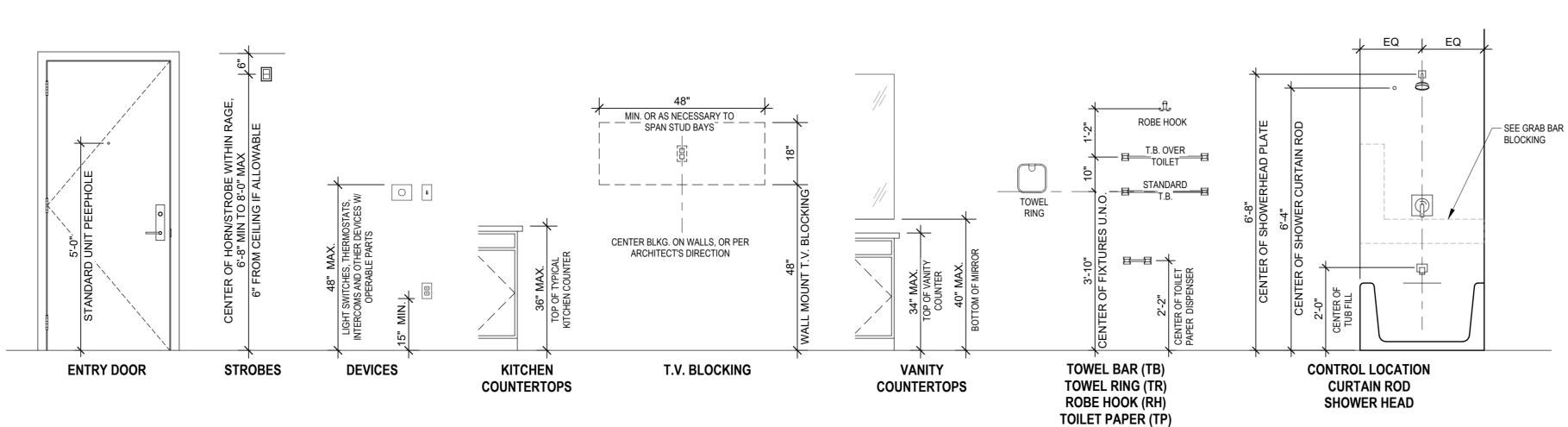
LARGER THAN 36" BY 36". CLEARANCE 30" MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN., MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

A CLEARANCE 48" MIN IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN. IN WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS.

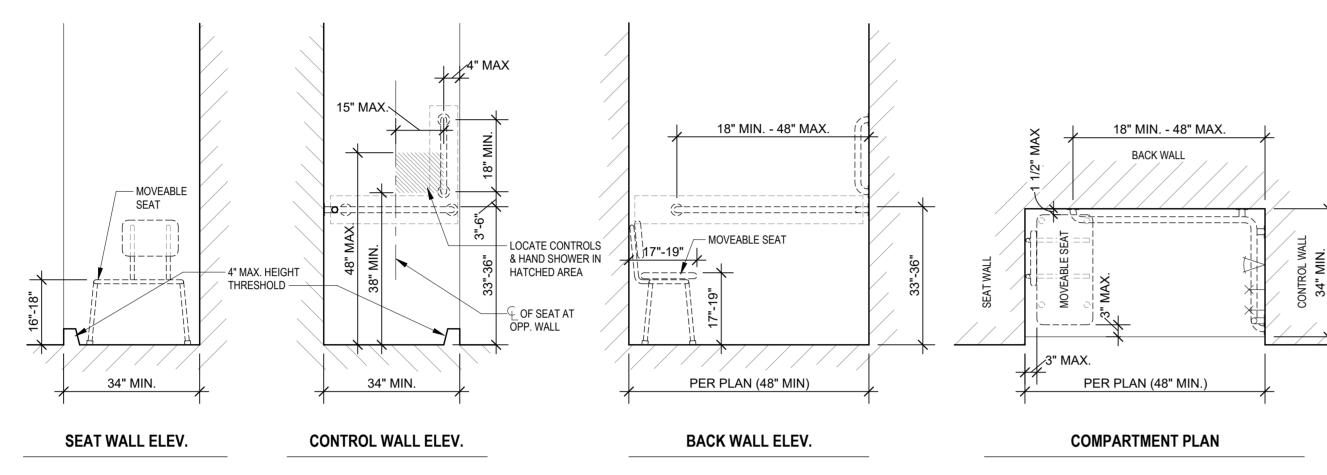
OPTION B:

ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT.

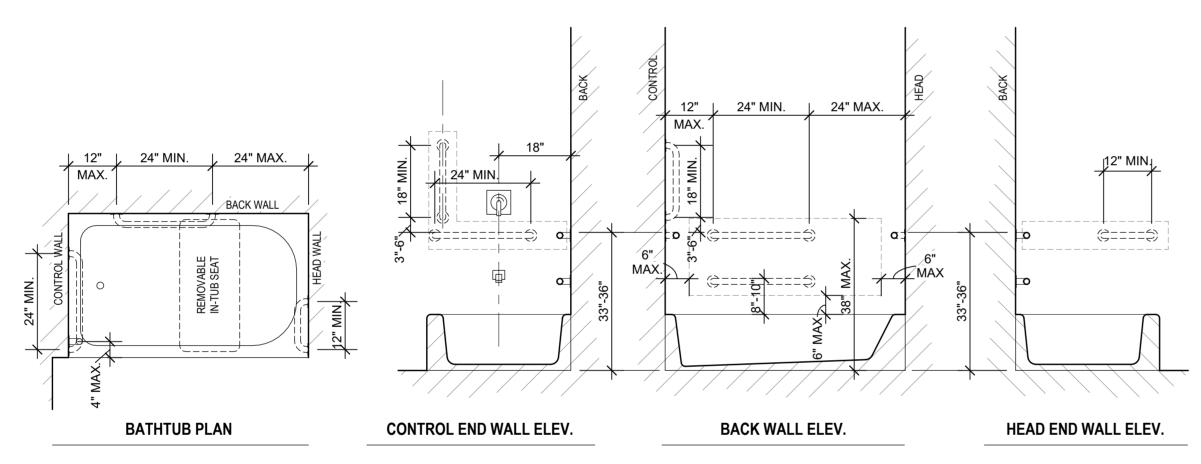
EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS.



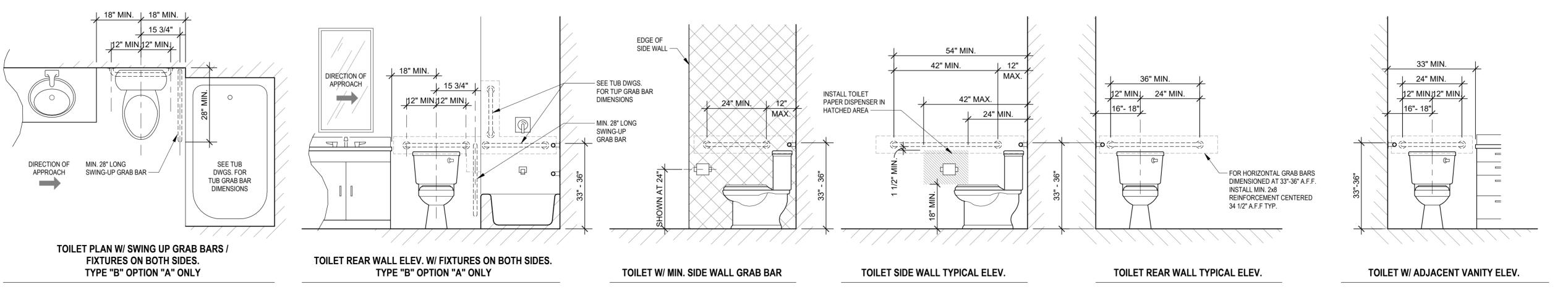
TYPE "B" DWELLING UNIT MOUNTING HEIGHTS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR SHOWERS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS



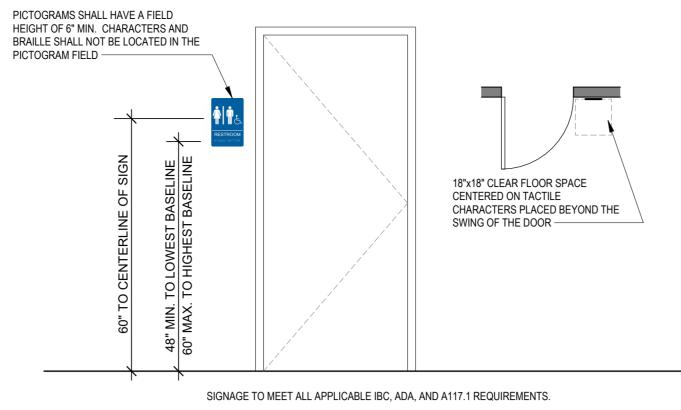
TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS

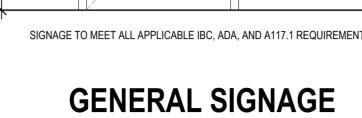
△ REVISIONS

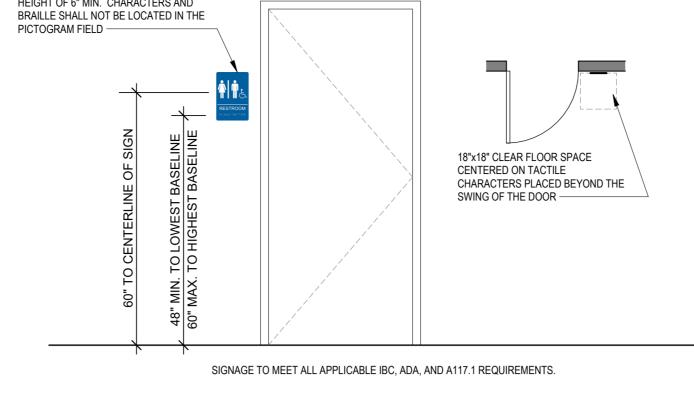
03.15.2023 TSC/SIW 4/11/2023 CITY COMMENTS SHEET NAME
TYPE "B" UNIT
ACCESSIBILITY INFO

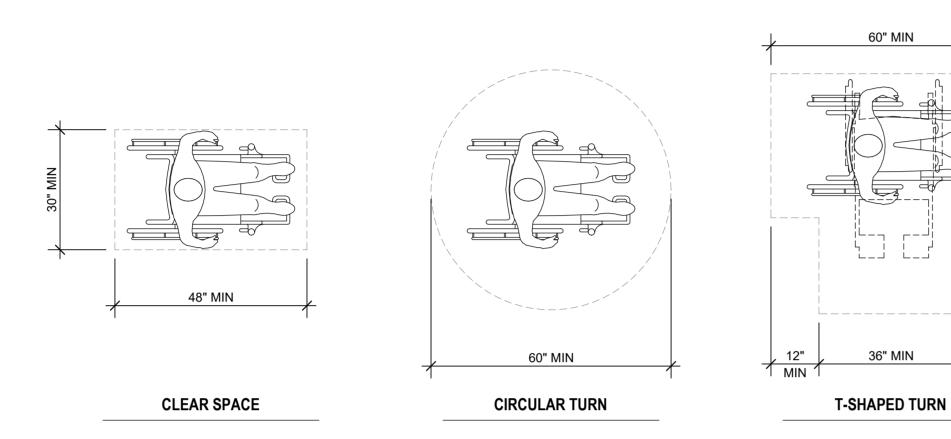
LEE'S

ELEVATOR COMPONENTS

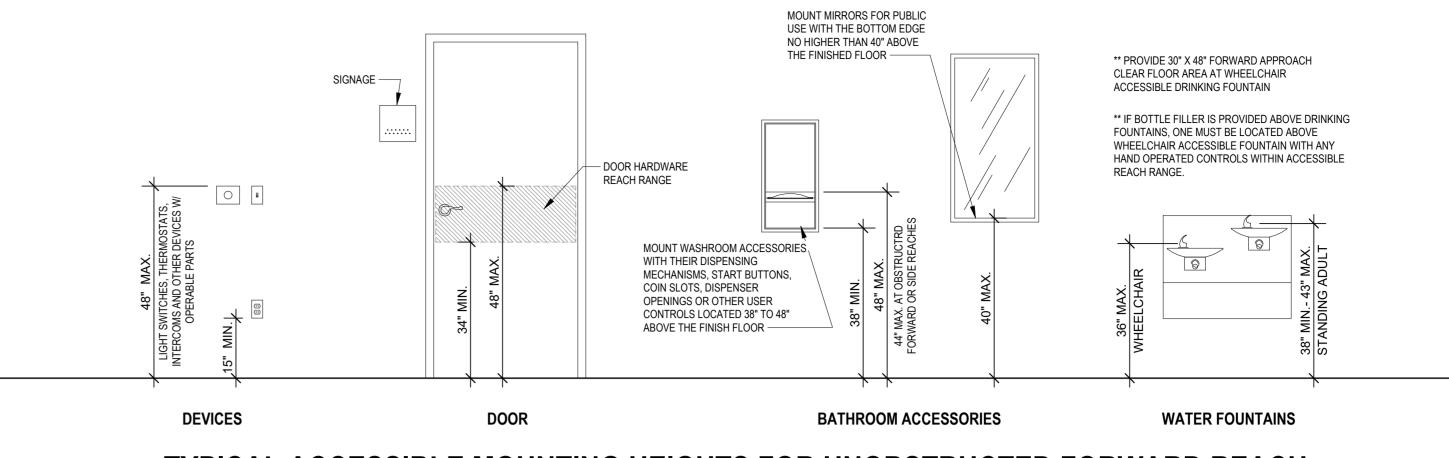




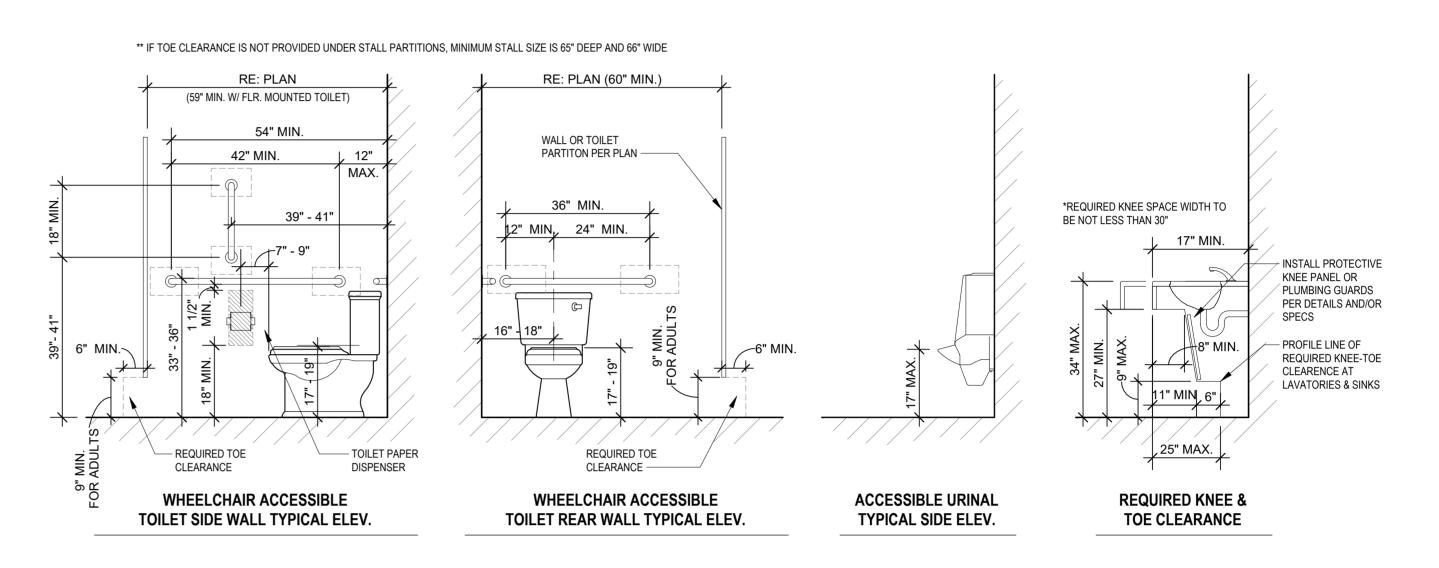




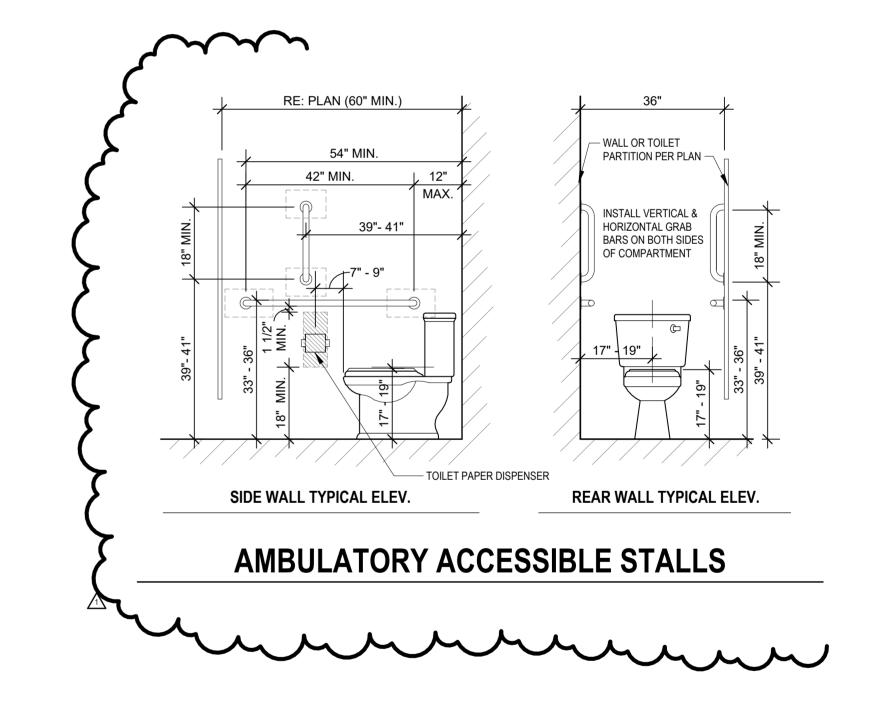
TURNING AND CLEAR FLOOR SPACES



TYPICAL ACCESSIBLE MOUNTING HEIGHTS FOR UNOBSTRUCTED FORWARD REACH



GRAB BARS AND CLEARANCES FOR PUBLIC RESTROOMS

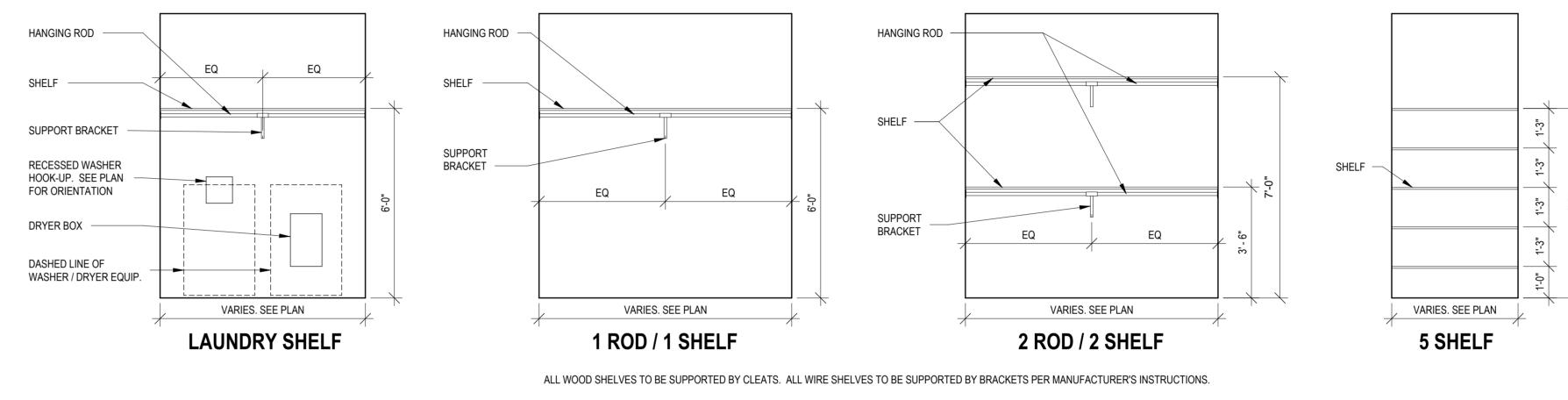


RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

 \triangle REVISIONS

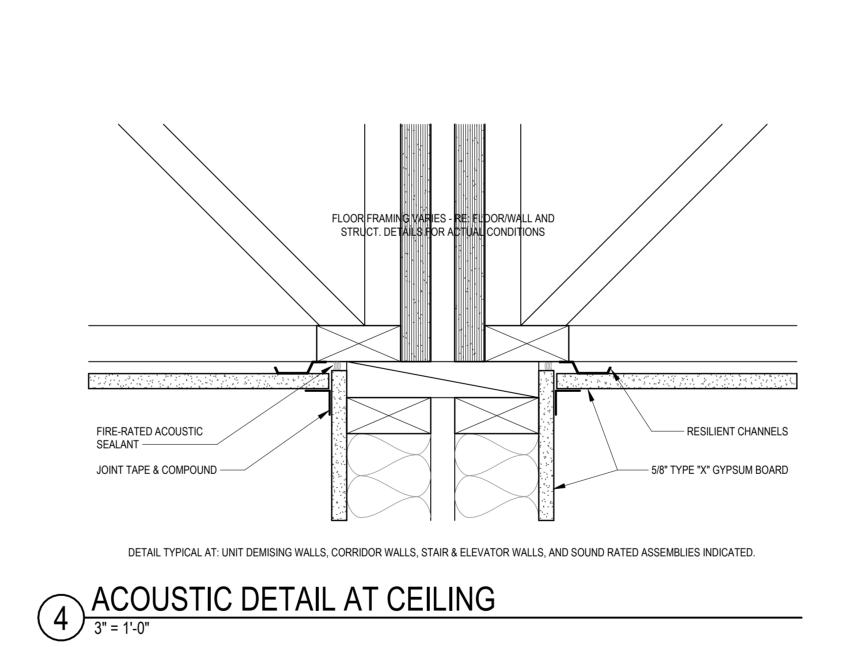
DATE **03.15.2023** DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
COMMON AREA
ACCESSIBILITY INFO
SHEET NO.

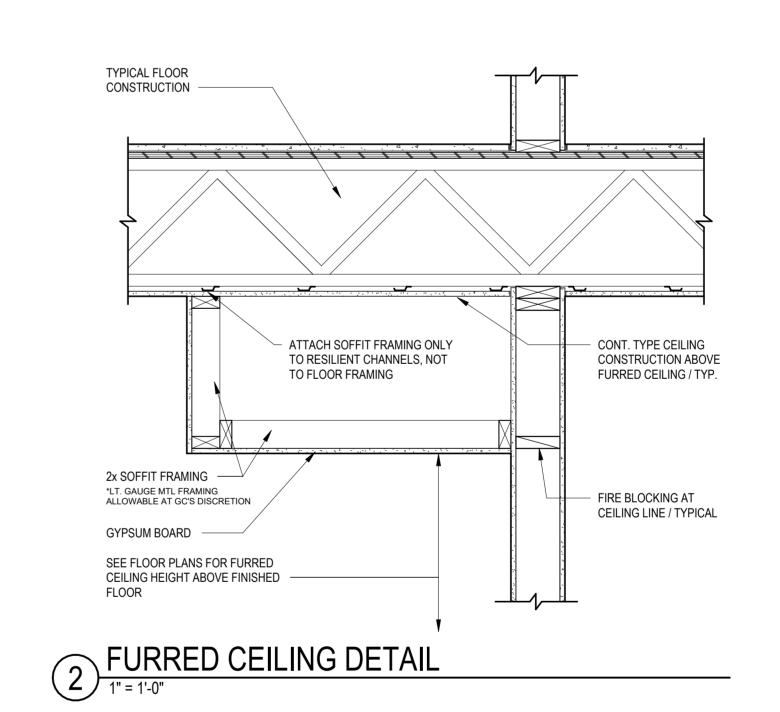
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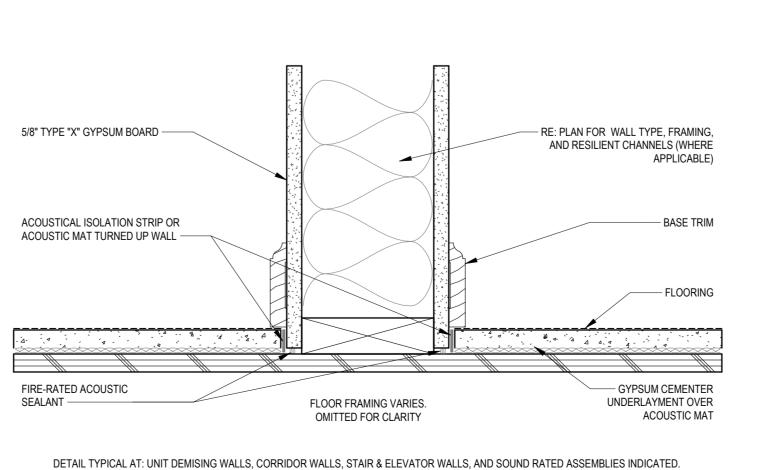


UNIT SHELVES MOUNTING HEIGHTS

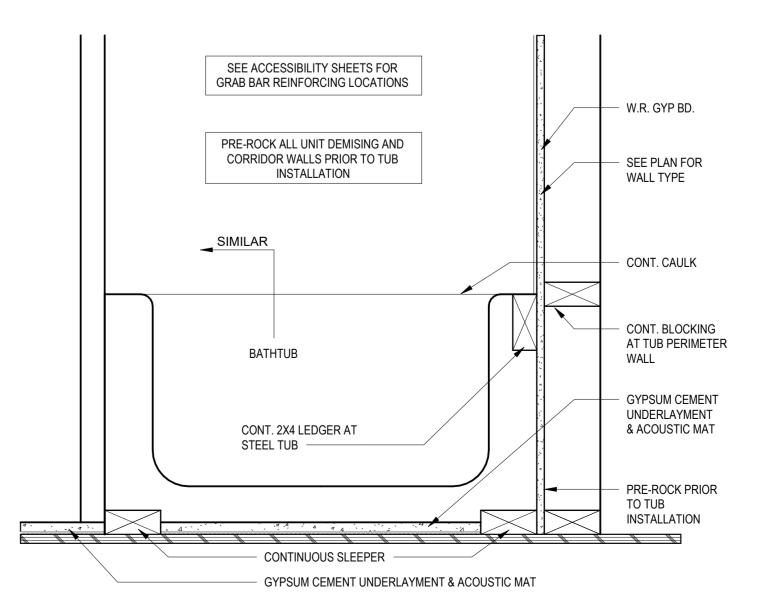
3/8" = 1'-0"







3 ACOUSTIC DETAIL AT FLOOR
3" = 1'-0"



INTERIOR DETAIL - SECTION AT BATHTUB

1 1/2" = 1'-0"

 \triangle REVISIONS

SUMMIT,

LEE'S

Јов No. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 4/11/2023 **CITY COMMENTS** SHEET NAME TYPICAL UNIT INFO



NOT FOR

CONSTRUCTION

UNIT PLAN GENERAL NOTES: REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

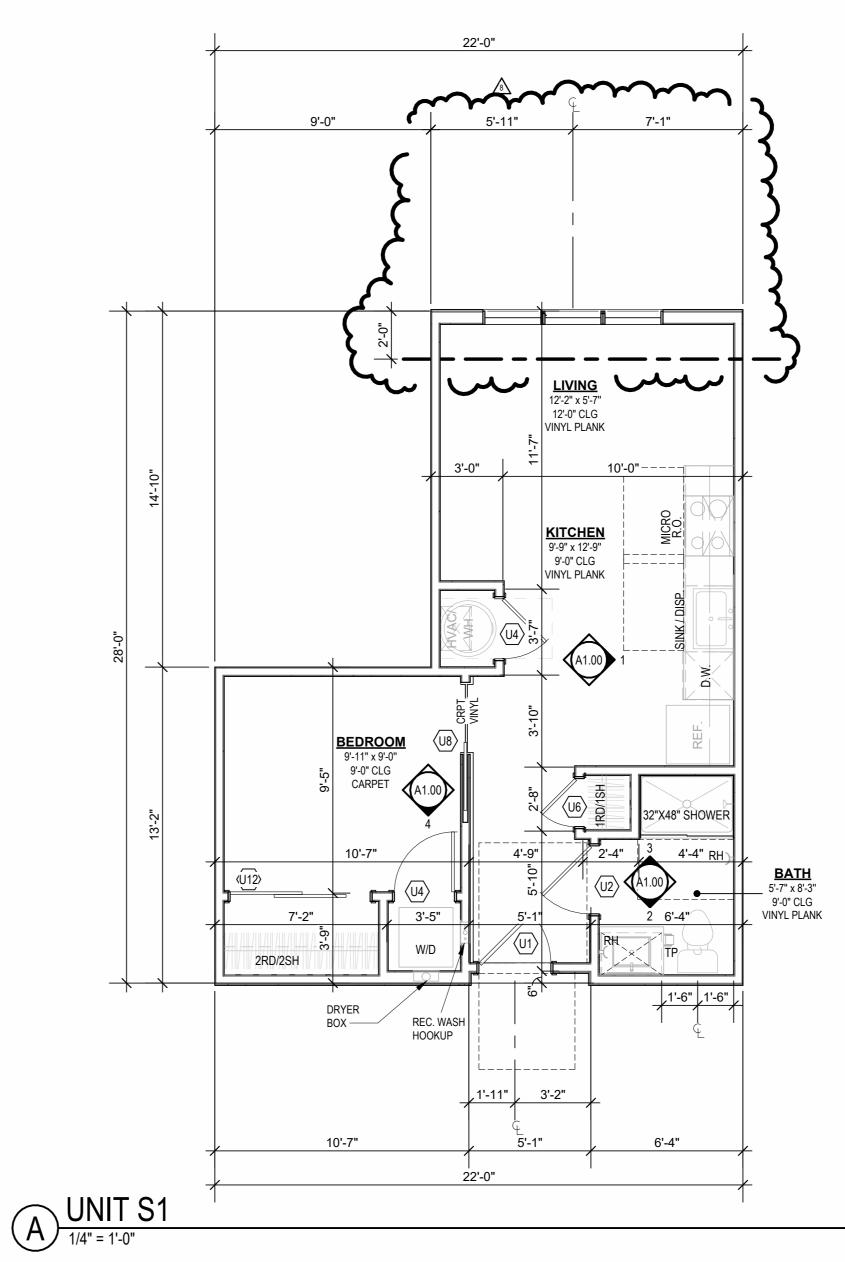
ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH

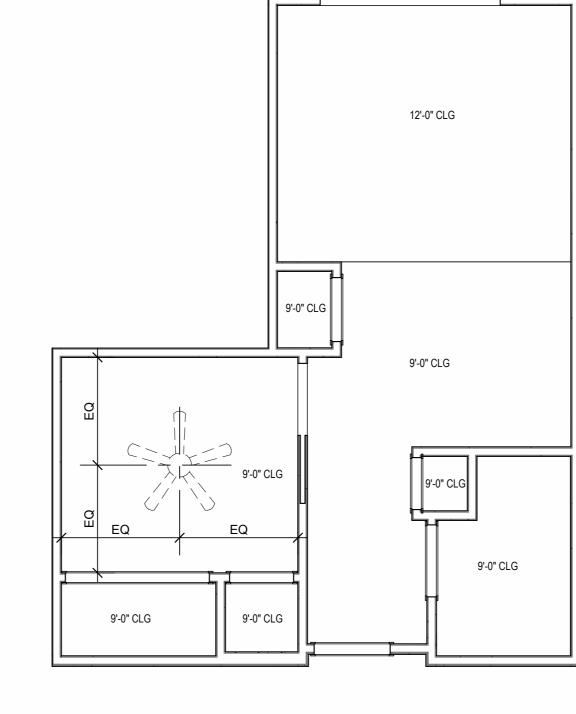
ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS &

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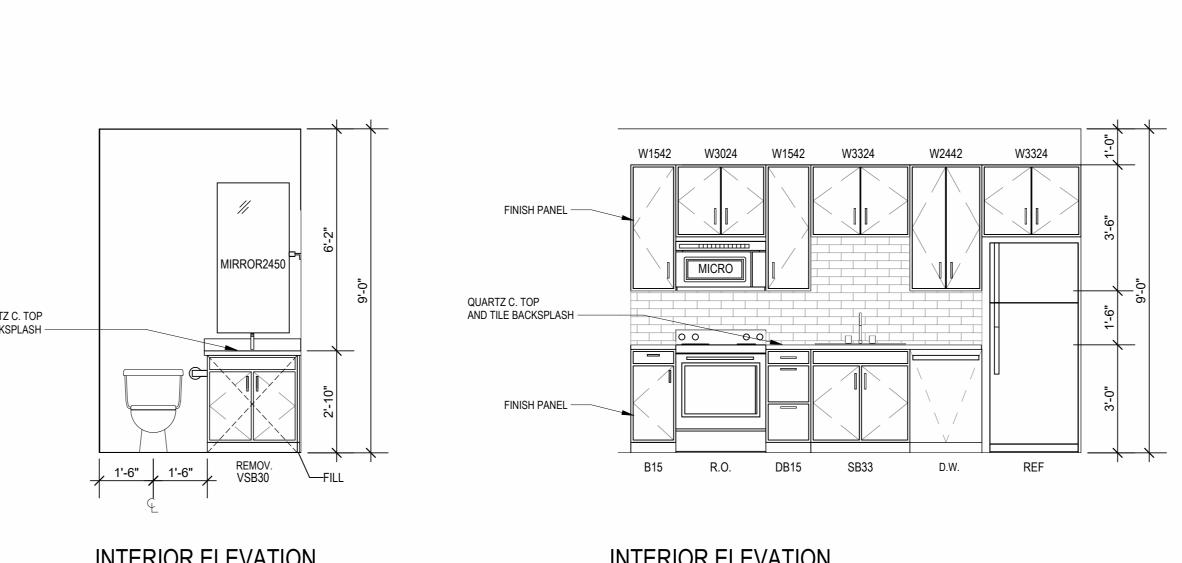
CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END

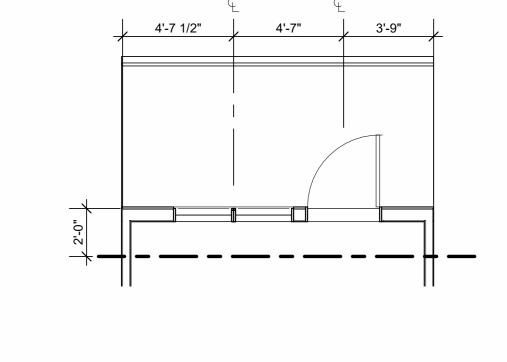
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

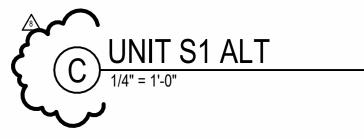


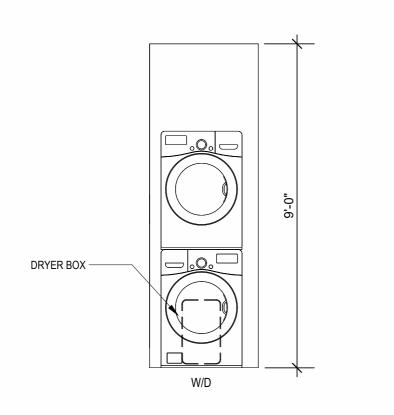


B UNIT S1 - 4TH FLOOR RCP

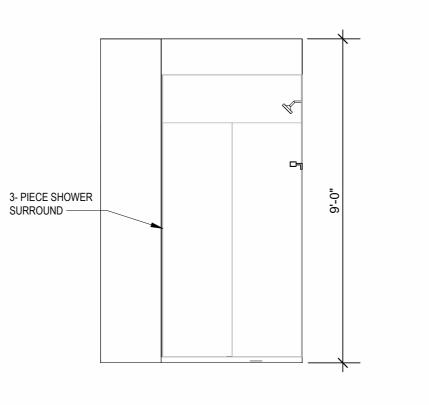






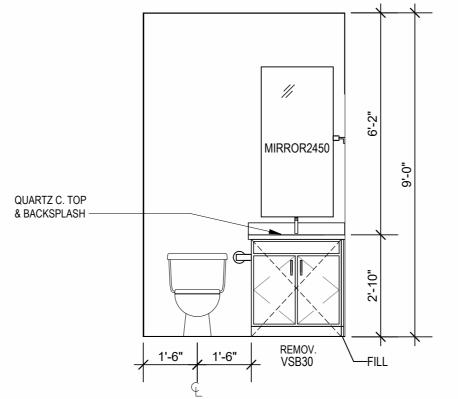






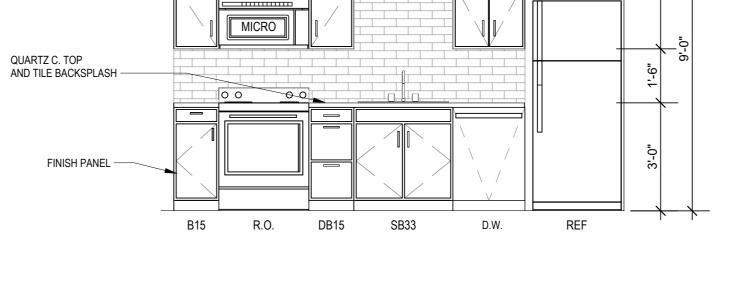
INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"



INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

 \triangle REVISIONS

ЈОВ NO. **705921**

DRAWN BY TSC/SIW 6/9/2023

2 23 0428 ADD 1/CC 2 7 23 0714 ASI 3 8 23 07 31 ASI 4

ASI #1 SHEET NAME
UNIT S1 PLANS

03.15.2023

ARD RD. | LEE'S SUMMIT, MO

NOT FOR CONSTRUCTION

FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

RETURNS AT FENESTRATION CONDITIONS.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

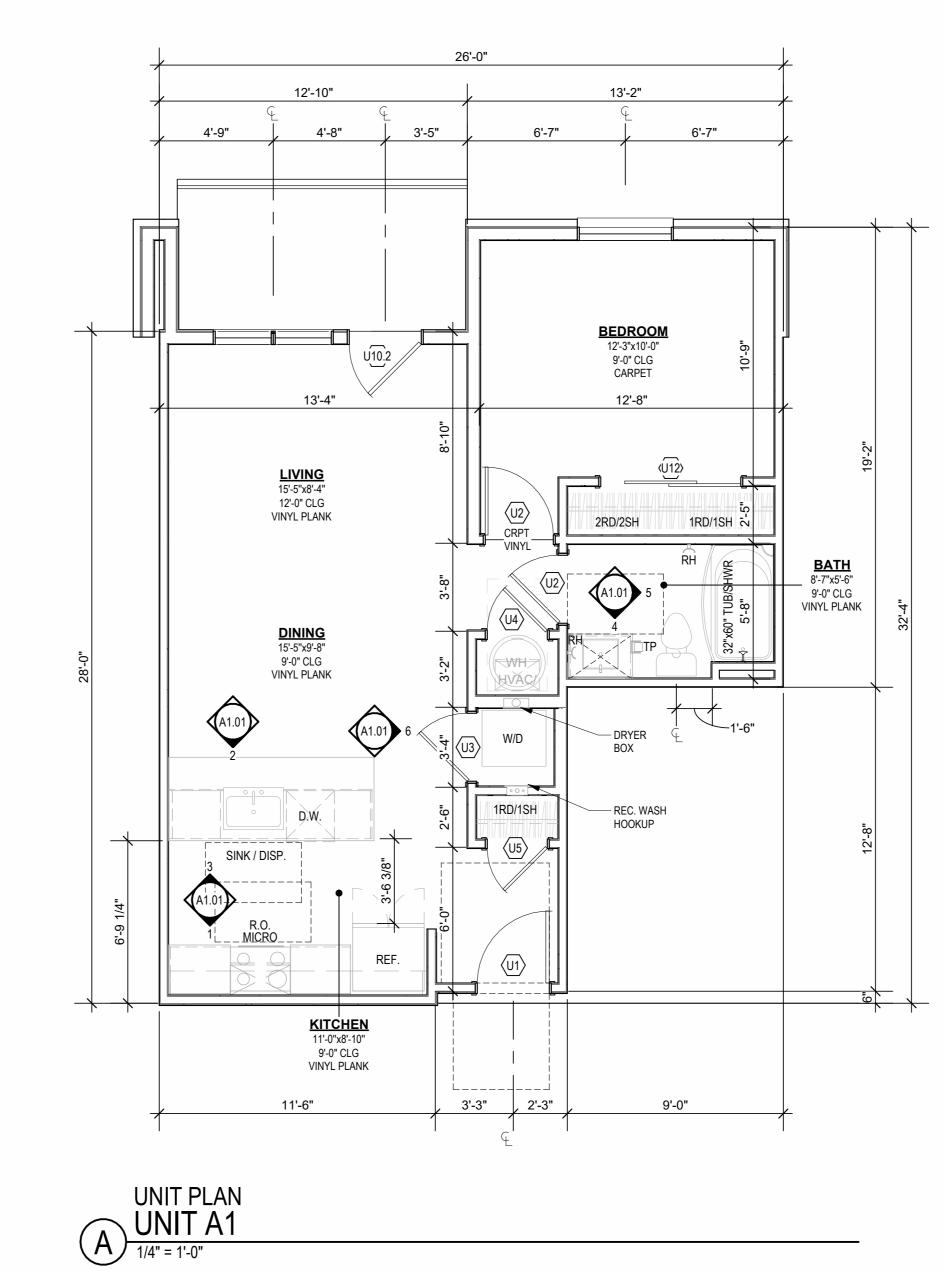
USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

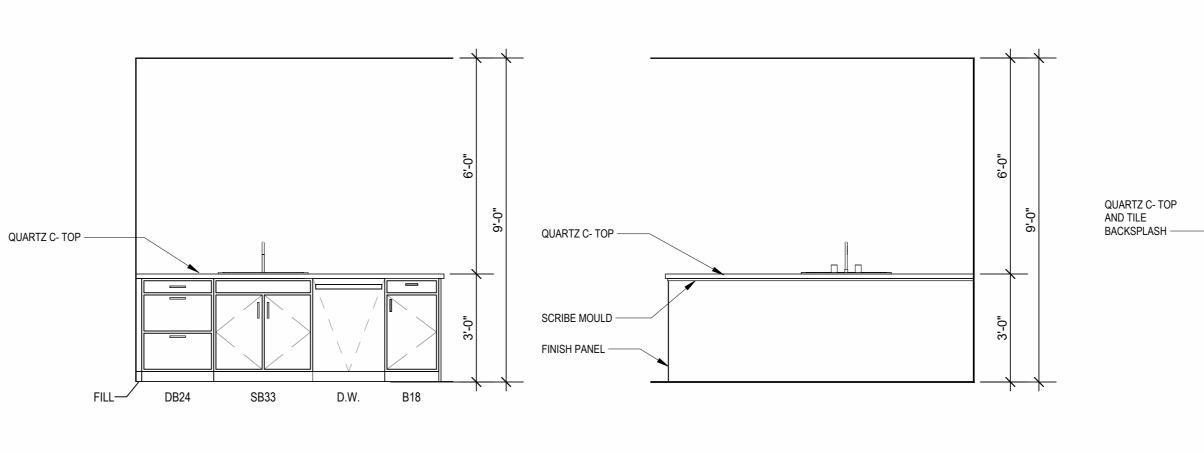
LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

12' - 0" CLG. 9' - 0" CLG.

REFLECTED CEILING PLAN
UNIT A1 - 4TH FLOOR RCP

1/4" = 1'-0"







W3042

B30

W3024

 \triangle REVISIONS 5 23 0609 ASI 1 7 23 06XX ASI 3

> DRAWN BY 6/9/2023 ASI #1 SHEET NAME
> UNIT A1 PLANS

ЈОВ NO. **705921**

DATE **03.15.2023**

DRYER BOX — 6 INTERIOR ELEVATION LAUNDRY

SHOWER ROD — 3- PIECE SHOWER QUARTZ C- TOP & BACKSPLASH — INTERIOR ELEVATION
SHOWER

3/8" = 1'-0"

1'-5 3/8" 1'-10 7/8" VSB30 REMOV. INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"

3 INTERIOR ELEVATION KITCHEN ISLAND

3/8" = 1'-0"

NOT FOR CONSTRUCTION

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE

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UNIT PLAN GENERAL NOTES:

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

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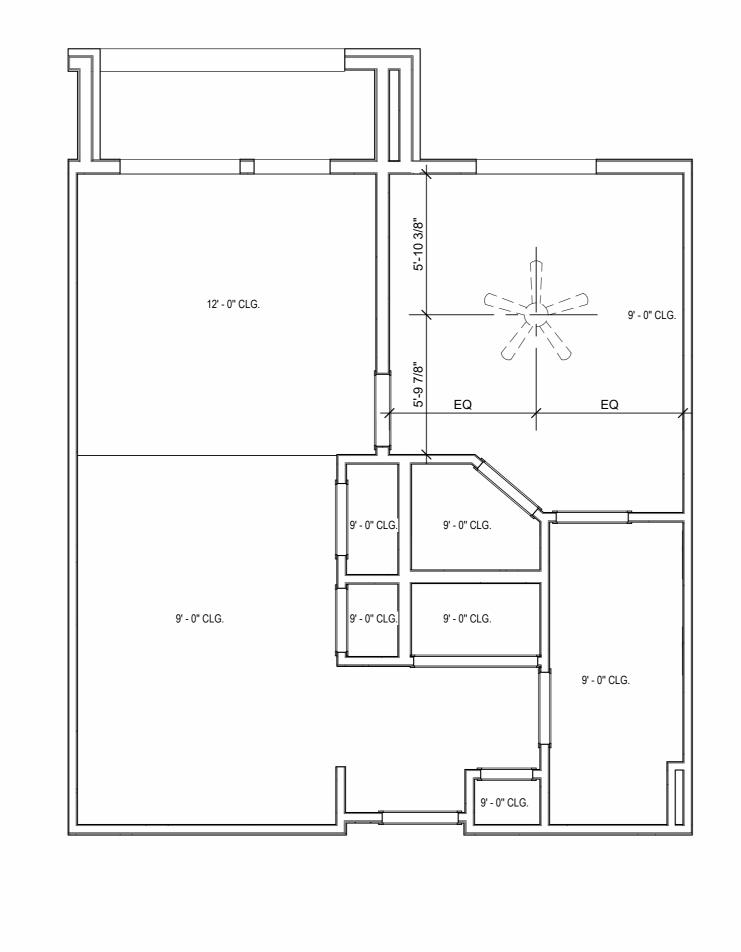
REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

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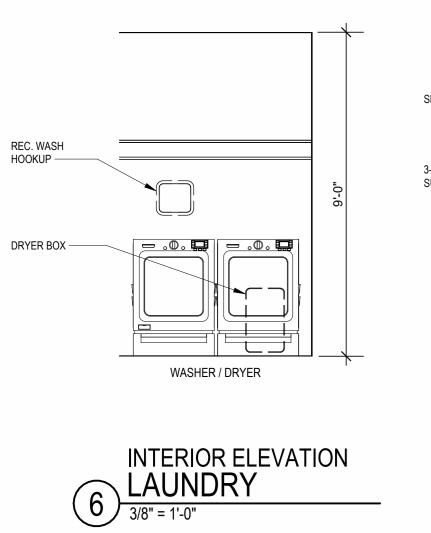
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

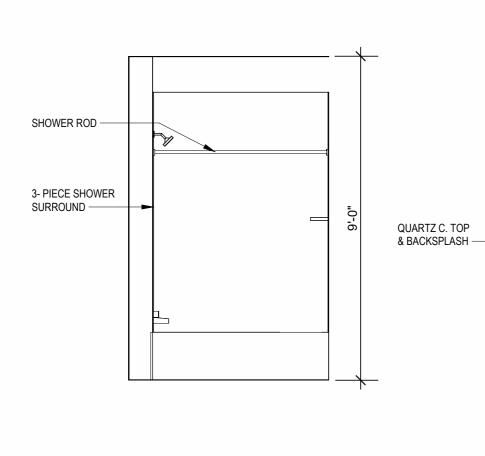
3'-6" 4'-8" 4'-8" BEDROOM 14'-2"x12'-4" **LIVING** 10'-10"x11'-10" 12'-0" CLG VINYL PLANK KITCHEN 10'-10"x10'-4" 9'-0" CLG VINYL PLANK 11'-6"

UNIT PLAN UNIT A2 1/4" = 1'-0"

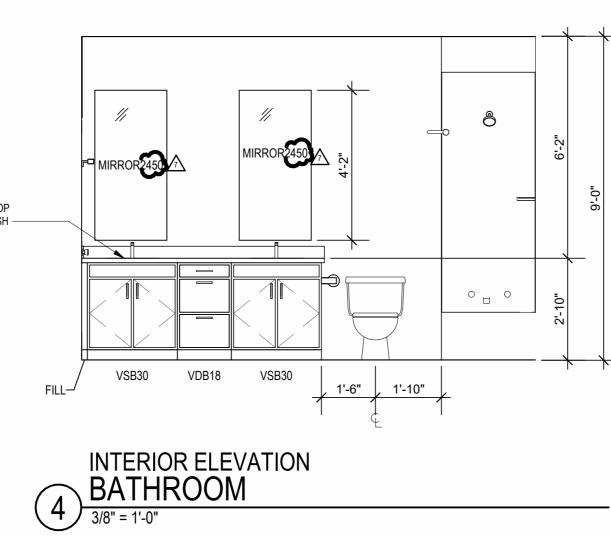


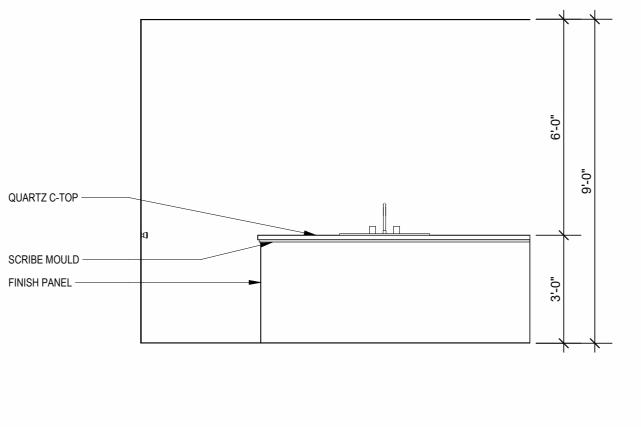




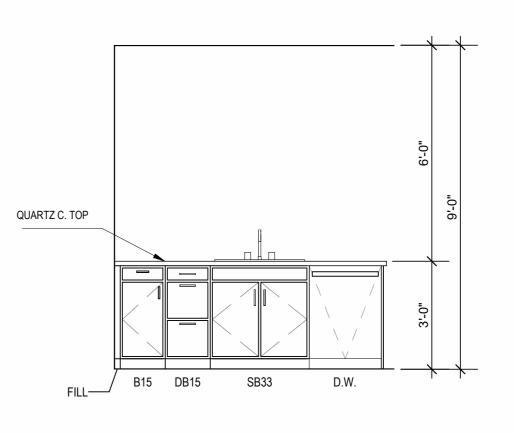












11'-8"

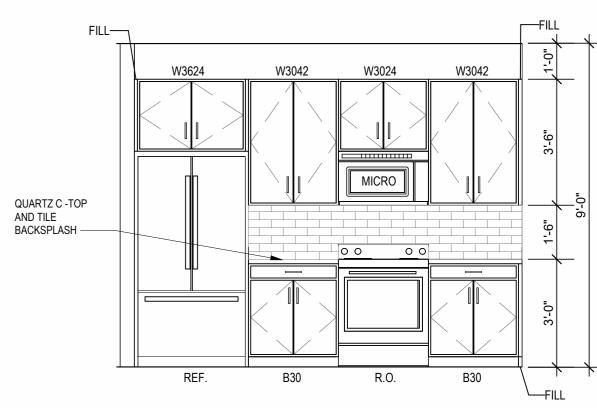
9'-0" CLG

---- REC. WASH HOOKUP

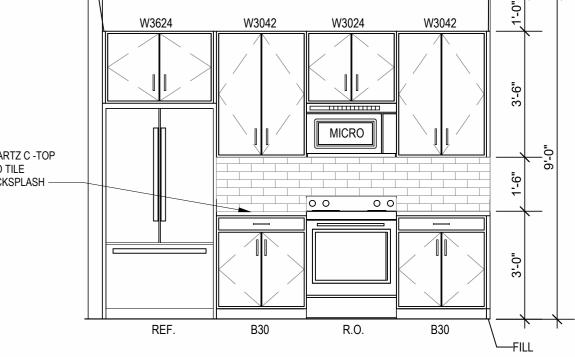
> 9'-0" CLG VINYL PLANK

6'-6"









 \triangle REVISIONS 7 23 06XX ASI 3

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL

FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C.

SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

RETURNS AT FENESTRATION CONDITIONS.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

INFORMATION. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS,

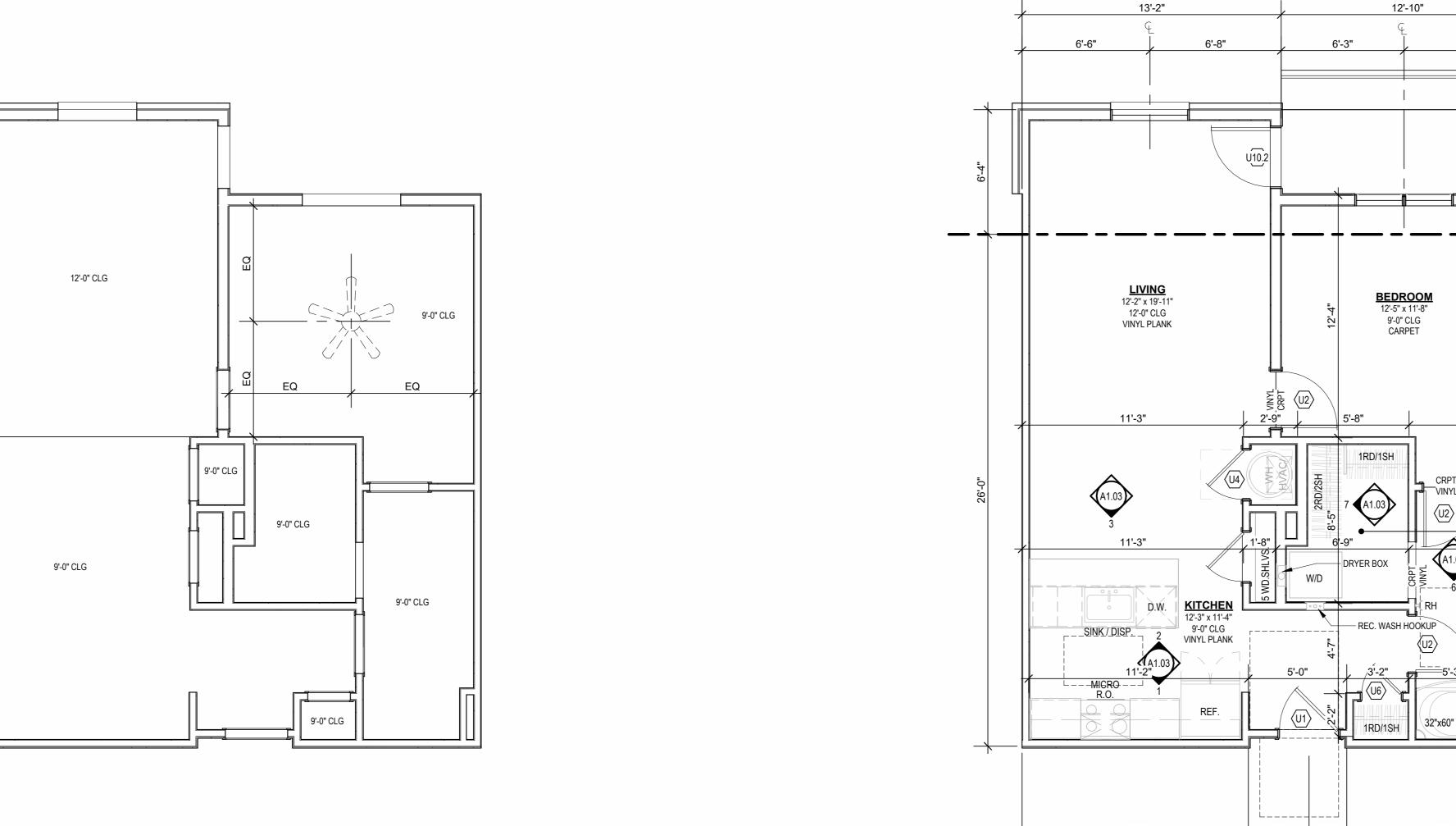
MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING
DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

NOT FOR CONSTRUCTION

6'-8" 6'-8" 5'-11" C UNIT A3 ALT

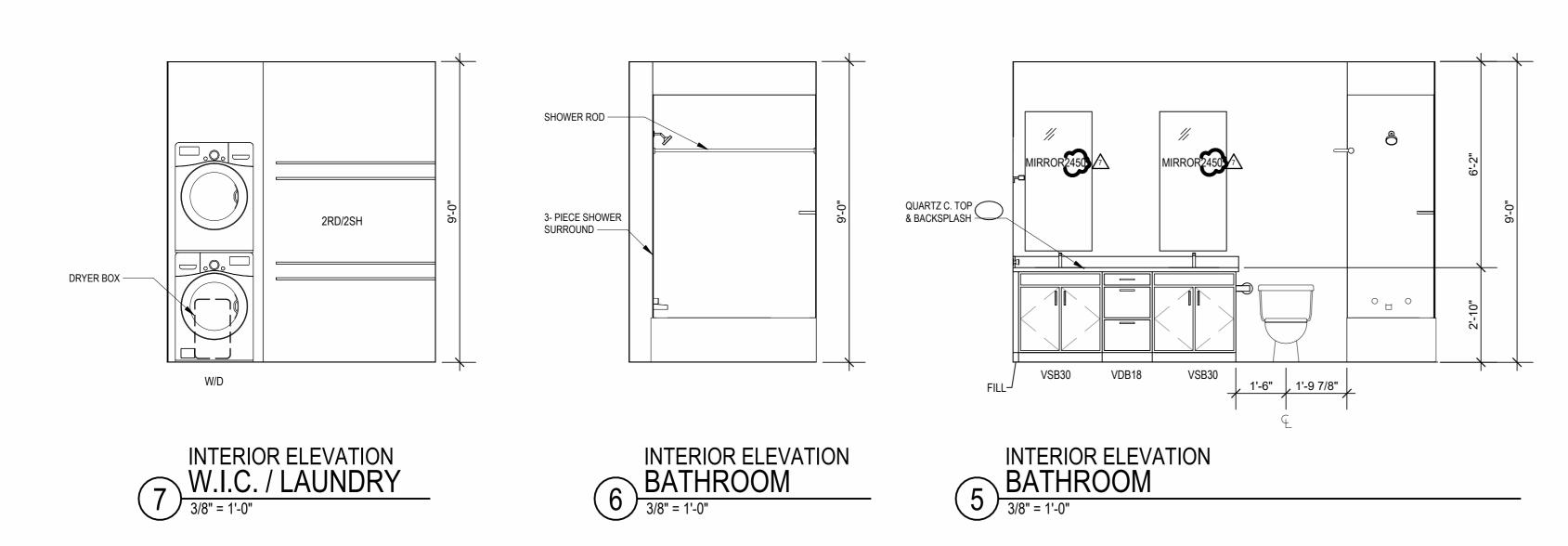


A UNIT A3

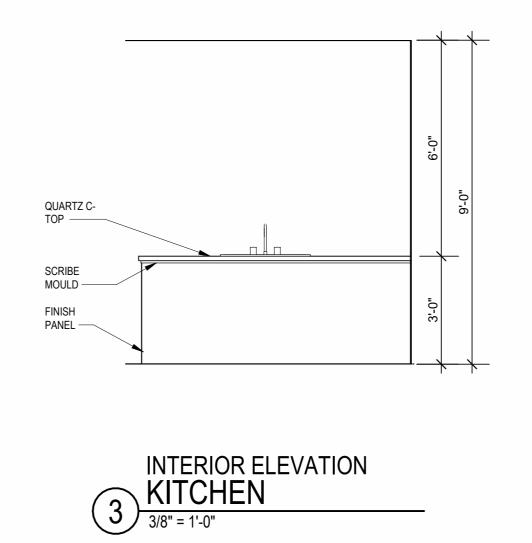
 \triangle REVISIONS 7 23 06XX ASI 3

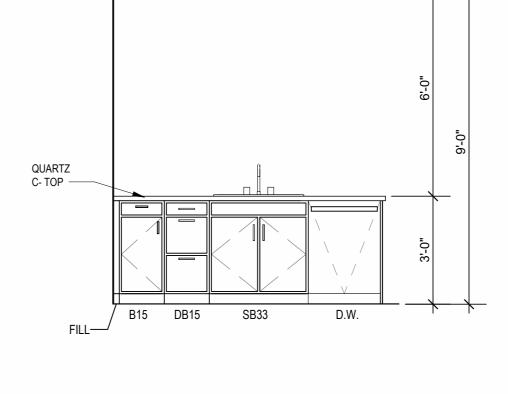
DATE **03.15.2023** ЈОВ NO. **705921** DRAWN BY

6/9/2023 ASI #1 SHEET NAME
UNIT A3 PLANS

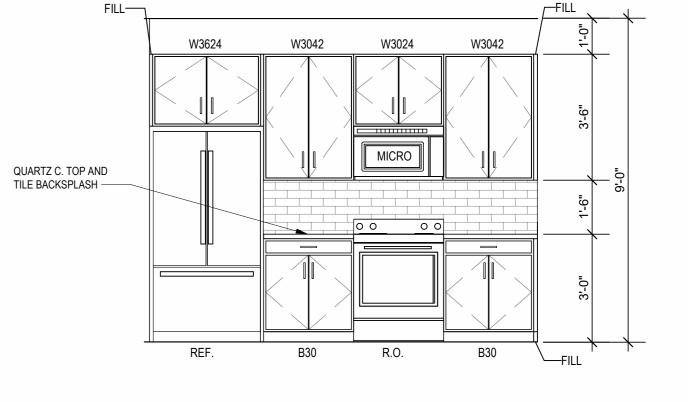


B UNIT A3 - 4TH FLOOR RCP









AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS &

CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO

MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS ON JAMBS & HEAD.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

RETURNS AT FENESTRATION CONDITIONS.

BEDROOM 11'-9"x11'-8" 9'-0" CLG W.I.C./ LAUNDRY 5'-9"x7'-4" 9'-0" CLG CARPET 5'-6"x15'-0" 9'-0" CLG VINYL PLANK HOOKUP <

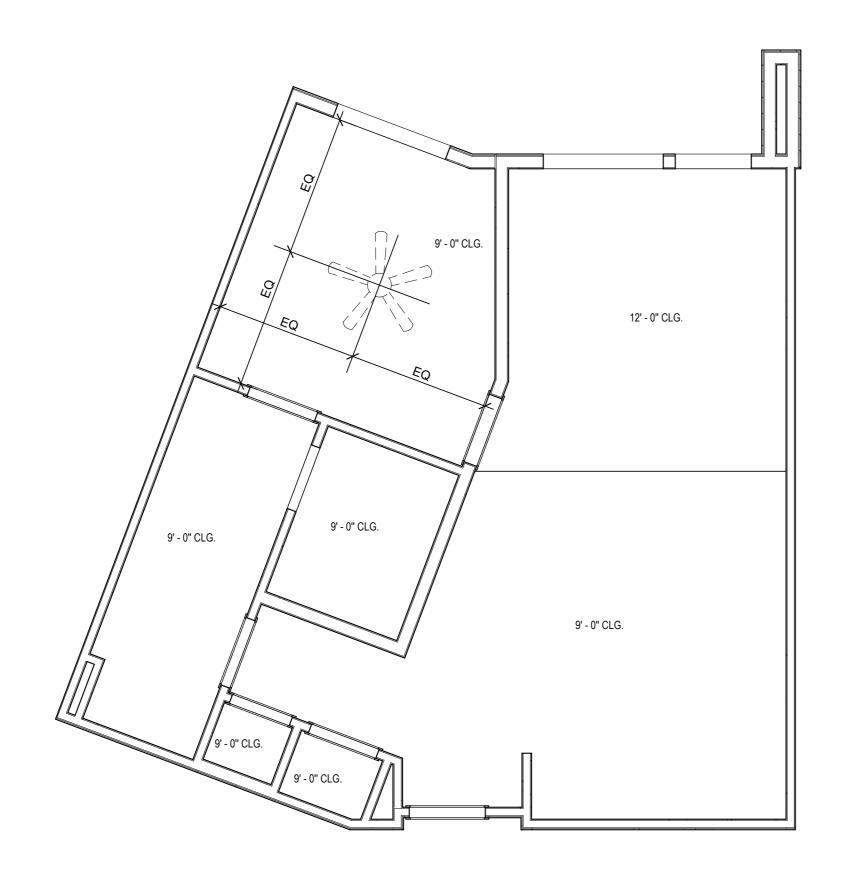
LIVING 11'-7"x8'-10"

12'-0" CLG

VINYL PLANK

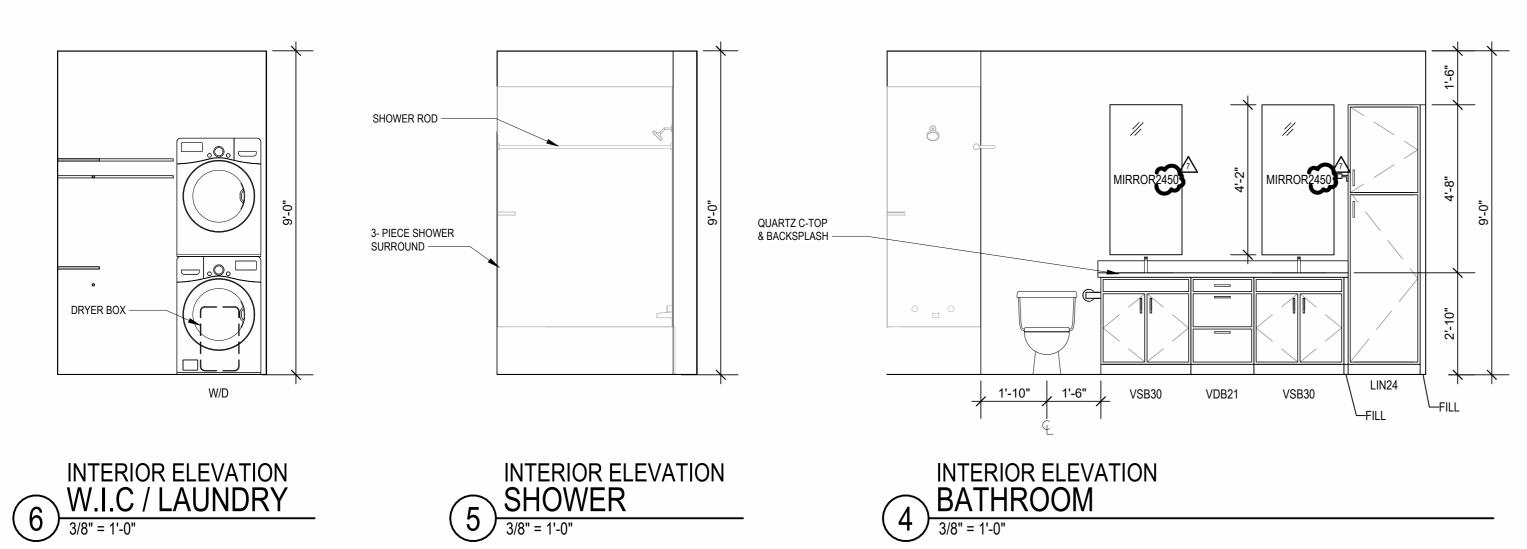
DINING 10'-6"x8'-7" 9'-0" CLG VINYL PLANK

KITCHEN 10'-6"x9'-5" 9'-0" CLG VINYL PLANK

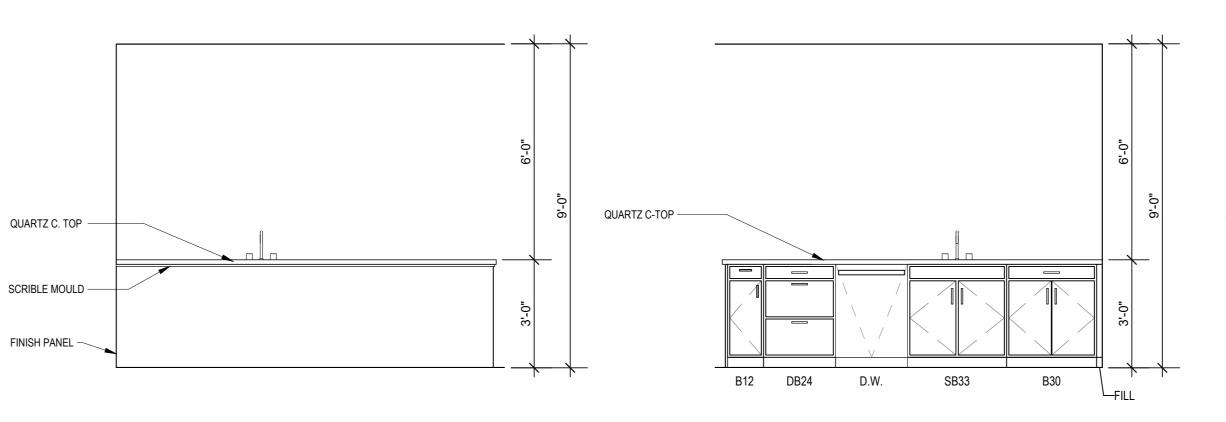


REFLECTED CEILING PLAN
UNIT A4 - 4TH FLOOR RCP

1/4" = 1'-0"



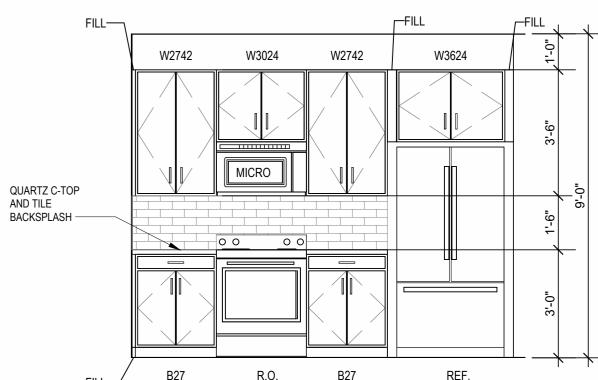






UNIT PLAN
UNIT A4

1/4" = 1'-0"



INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DATE **03.15.2023** ЈОВ NO. **705921**

DRAWN BY 6/9/2023 ASI #1 SHEET NAME
UNIT A4 PLANS

 \triangle REVISIONS

FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.

VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE

RETURNS AT FENESTRATION CONDITIONS.

LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

FINISH STRIP.

ORIGINS AND THICKNESS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

UNIT PLAN UNIT B1 ALT 39'-0" 13'-4" 12'-10" 6'-7" LIVING 10'-0" x 12'-10" 12'-0" CLG VINYL PLANK **DINING** 8'-3"x12'-4" 9'-0" CLG 12'-0" CLG VINYL PLANK VINYL PLANK 13'-4" DRYER BOX — 1RD/1SH KITCHEN 14'-3"x12'-9" 9'-0" CLG VINYL PLANK 29'-6"

QUARTZ C-TOP & BACKSPLASH -

12'-10"

13'-4"

12'-10"

BEDROOM 12'-5"x11'-8"

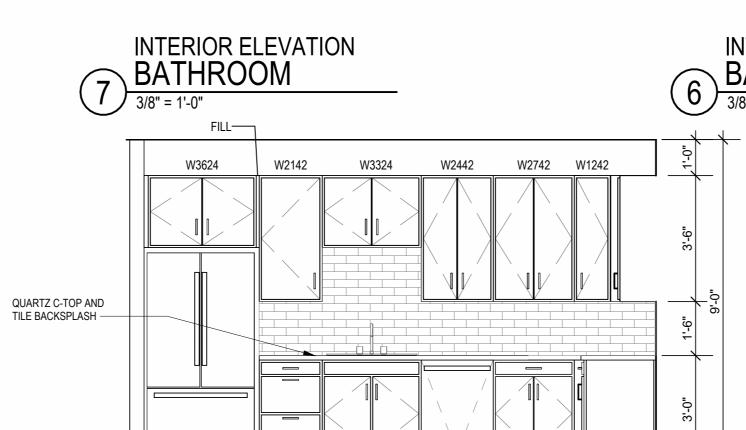
BATH_ 5'-6"x14'-11"

9'-0" CLG VINYL PLANK

SHOWER ROD -3- PIECE SHOWER SURROUND —

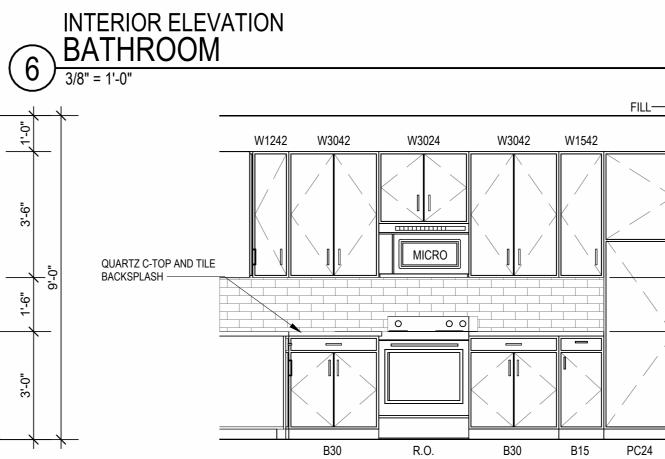
UNIT PLAN
UNIT B1

1/4" = 1'-0"



SB33

D.W.

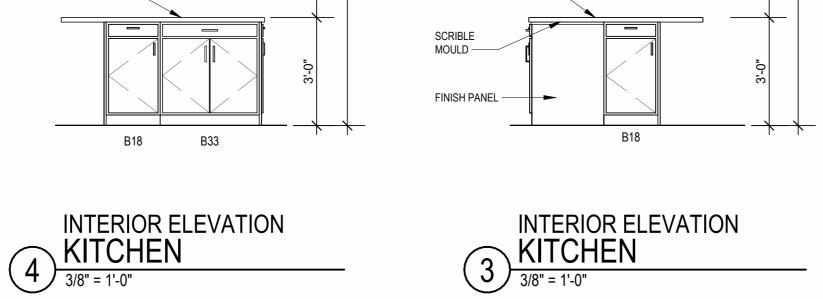


VSB30 1'-6" 1'-10"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DB21



QUARTZ C- TOP -

NTERIOR ELEVATION
W.I.C / LAUNDRY

3/8" = 1'-0"

9' - 0" CLG.

9' - 0" CLG.

9' - 0" CLG.

REFLECTED CEILING PLAN
UNIT B1 - 4TH FLOOR RCP

1/4" = 1'-0"

QUARTZ C- TOP -

9' - 0" CLG.

12' - 0" CLG.

9' - 0" CLG.

9' - 0" CLG.

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

VSB30 VDB21

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

LEE'S SUMMIT, MO

ARD RD.

 \triangle REVISIONS 7 23 06XX ASI 3

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 **ASI #1**

SHEET NAME UNIT B1 PLANS

ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS ON JAMBS & HEAD.

PANELS WHERE EXPOSED.

SURFACE THEY ARE APPLIED TO.

EXACT MATCH CANNOT BE MADE.

MATCH ADJACENT FIXTURE FINISH.

LINES AND VAULTED CEILING INFORMATION.

MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

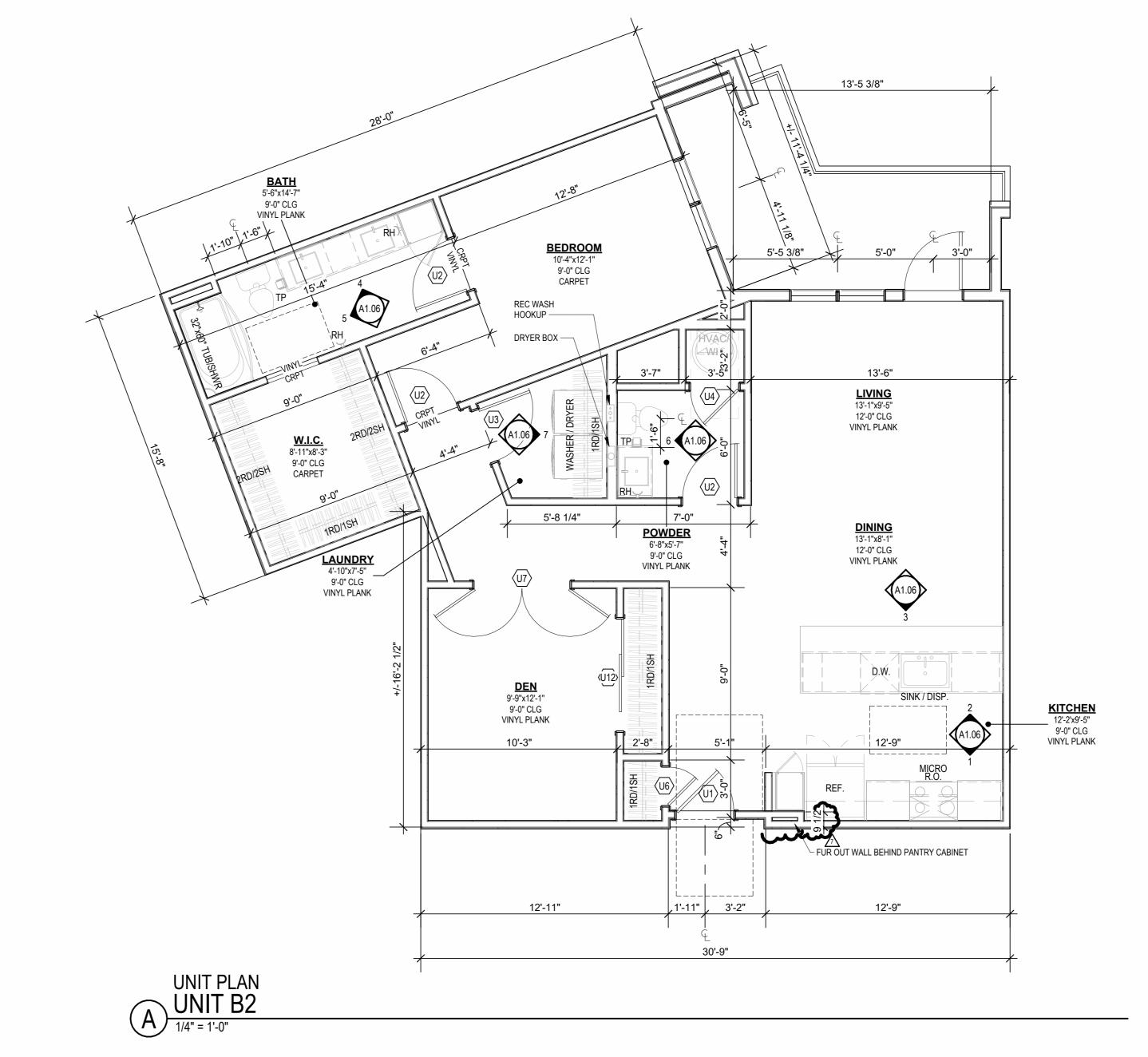
DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL

DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE

FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT,

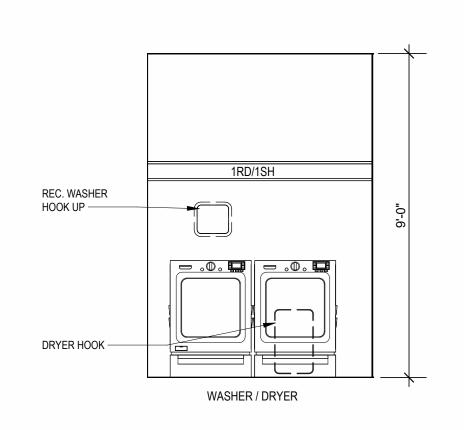
NOT FOR **CONSTRUCTION**

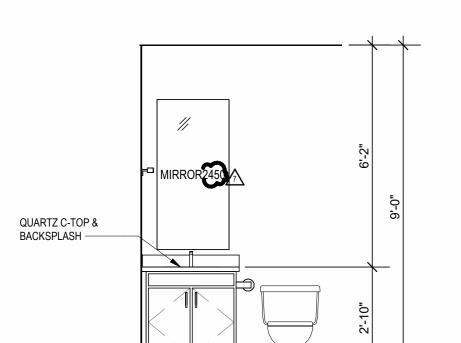


9' - 0" CLG. 9' - 0" CLG. 12' - 0" CLG. 9' - 0" CLG.

REFLECTED CEILING PLAN
UNIT B2 - 4TH FLOOR RCP

1/4" = 1'-0"





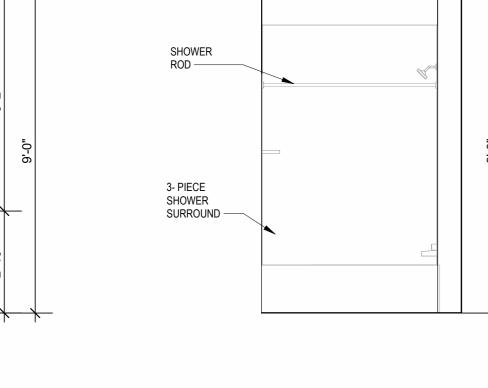
VSB30

6 INTERIOR ELEVATION POWDER ROOM

3/8" = 1'-0"

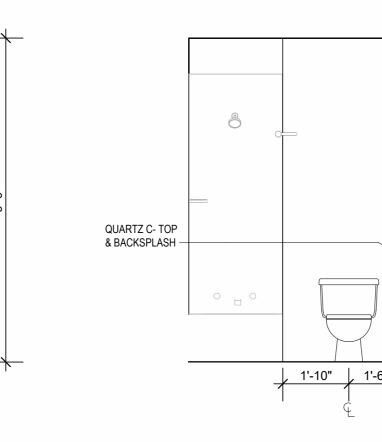
INTERIOR ELEVATION LAUNDRY

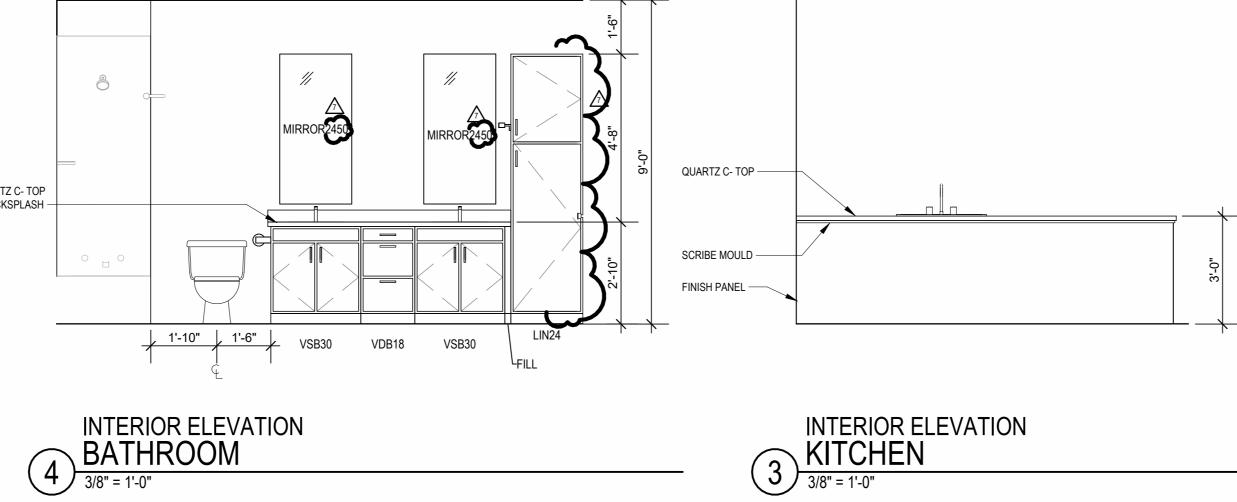
3/8" = 1'-0"

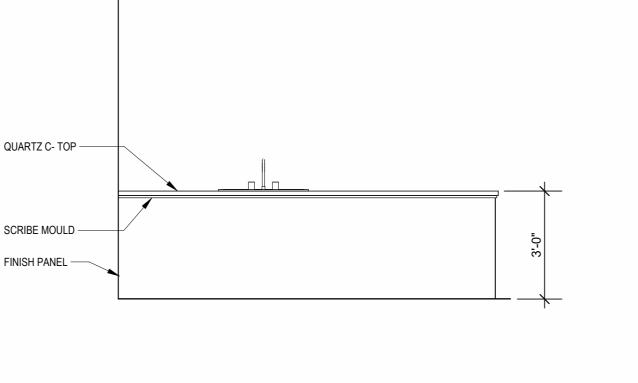


INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"









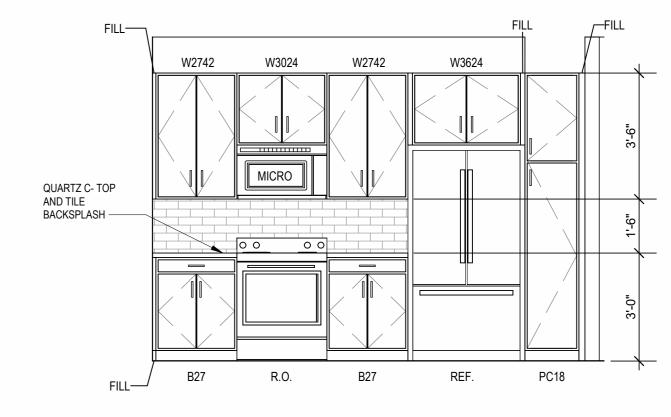
D.W.

SB33

B30

QUARTZ C- TOP -

B12 DB24



INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

 \triangle REVISIONS

7 23 06XX ASI 3

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

LEE'S SUMMIT, MO

DATE **03.15.2023 DRAWN BY** TSC/SIW 6/9/2023 ASI #1 SHEET NAME
UNIT B2 PLANS

ЈОВ NO. **705921**

UNIT PLAN GENERAL NOTES:

INFORMATION.

FINISH STRIP.

ORIGINS AND THICKNESS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS ON JAMBS & HEAD.

SURFACE THEY ARE APPLIED TO.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

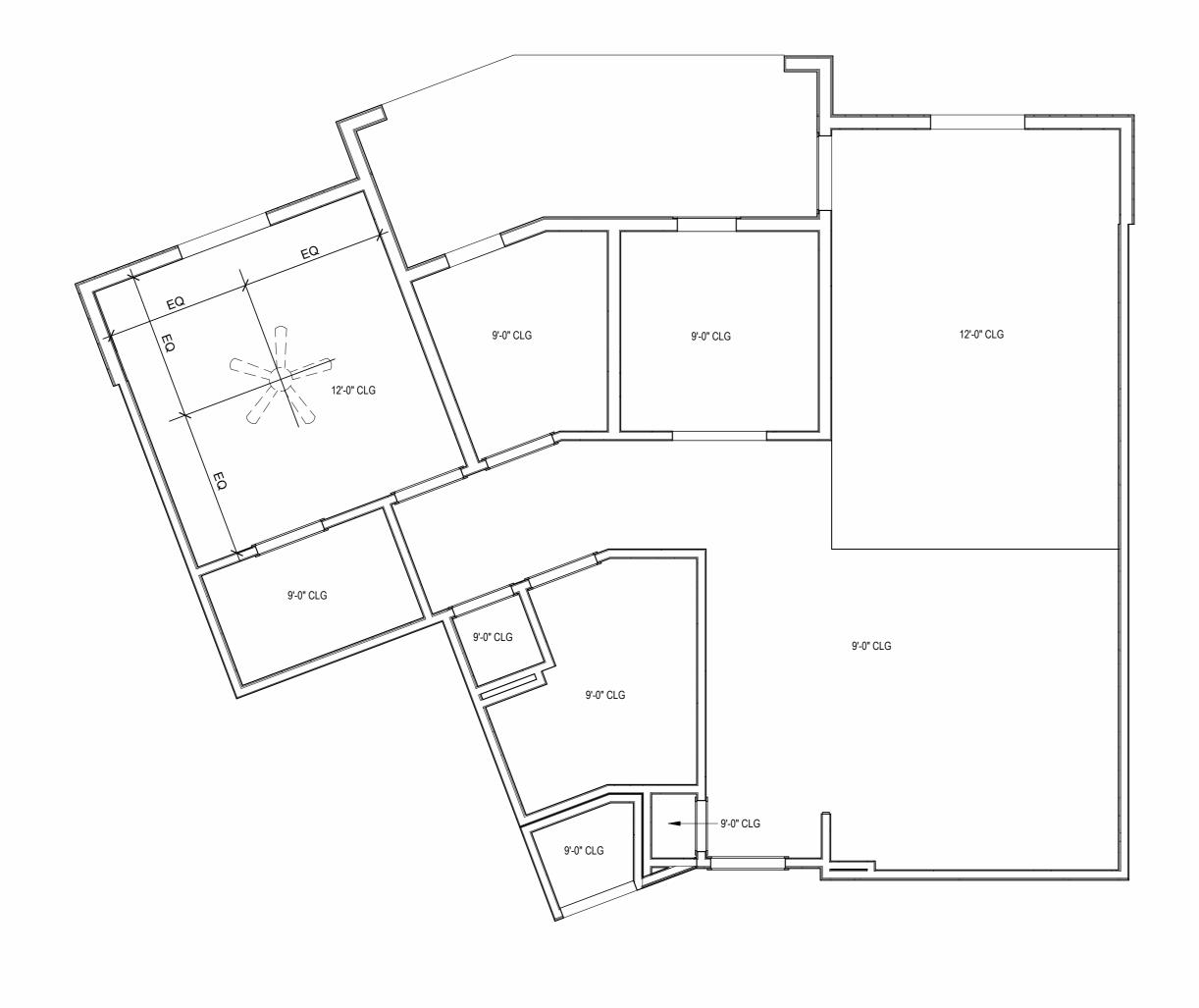
NOT FOR CONSTRUCTION

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING
DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.

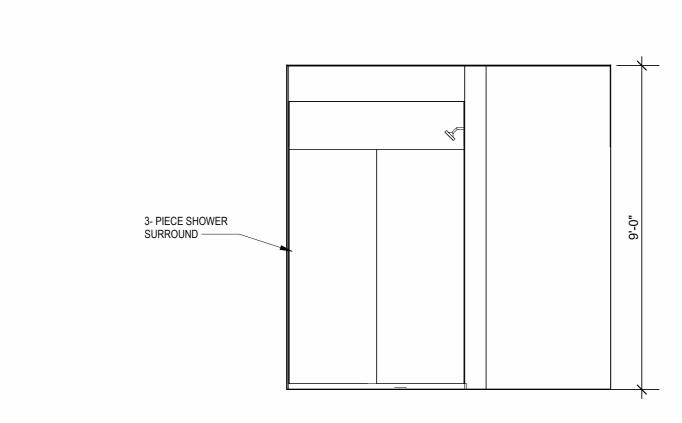
AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END

+/- 11'-8" +/- 6'-11" 6'-9" 6'-5" 9'-0" - REC. WASH HOOKUP **LIVING** 12'-2" x 17'-9" 12'-0" CLG 8'-3" x 8'-5" 9'-0" CLG VINYL PLANK **BEDROOM** 12'-2" x 12'-6" 9'-0" CLG VINYL PLANK BOX VINYL PLANK 12'-0" CLG CARPET KITCHEN 17'-6" x 13'-5" 9'-0" CLG VINYL PLANK D.W. SINK / DISP. **BATH** 8'-8" x 9'-7" 9'-0" CLG VINYL PLANK

+/- 24'-10"



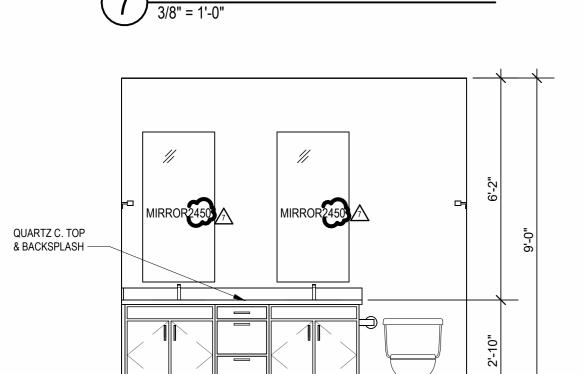




6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



WASHER / DRYER

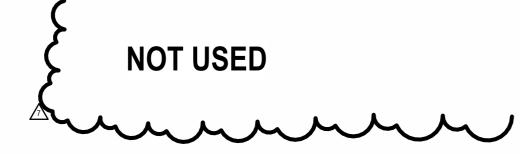


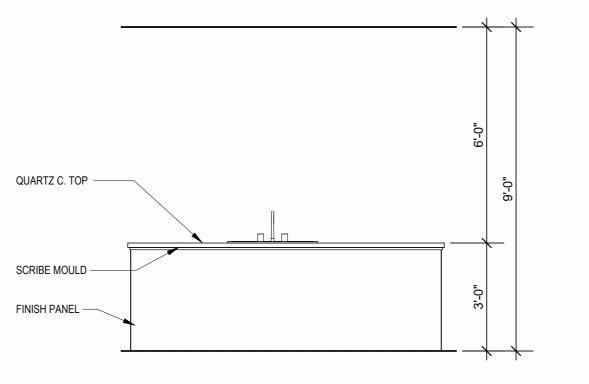
INTERIOR ELEVATION
BATHROOM

3/8" = 1'-0"

VDB18

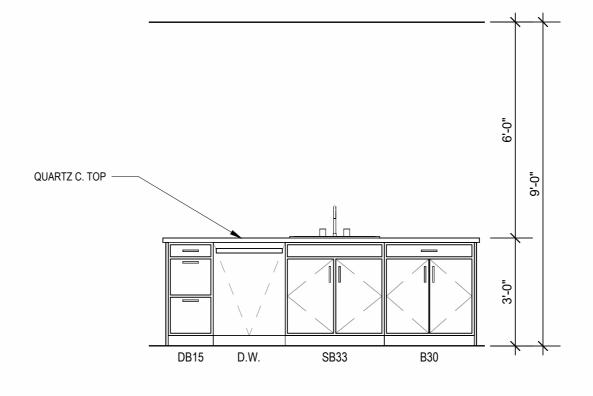




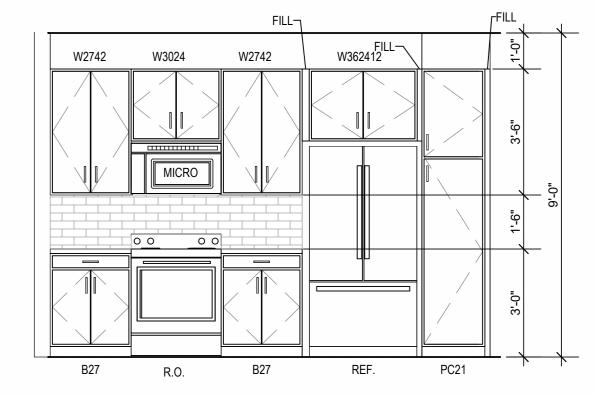


A UNIT B3





INTERIOR ELEVATION KITCHEN 3/8" = 1'-0"	
3/8" = 1'-0"	



INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

LEE'S SUMMIT,

 \triangle REVISIONS 7 23 06XX ASI 3

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW

6/9/2023 ASI #1 SHEET NAME
UNIT B3 PLANS

CONSTRUCTION

LEE'S SUMMIT,

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

UNIT PLAN GENERAL NOTES:

INFORMATION.

ORIGINS AND THICKNESS.

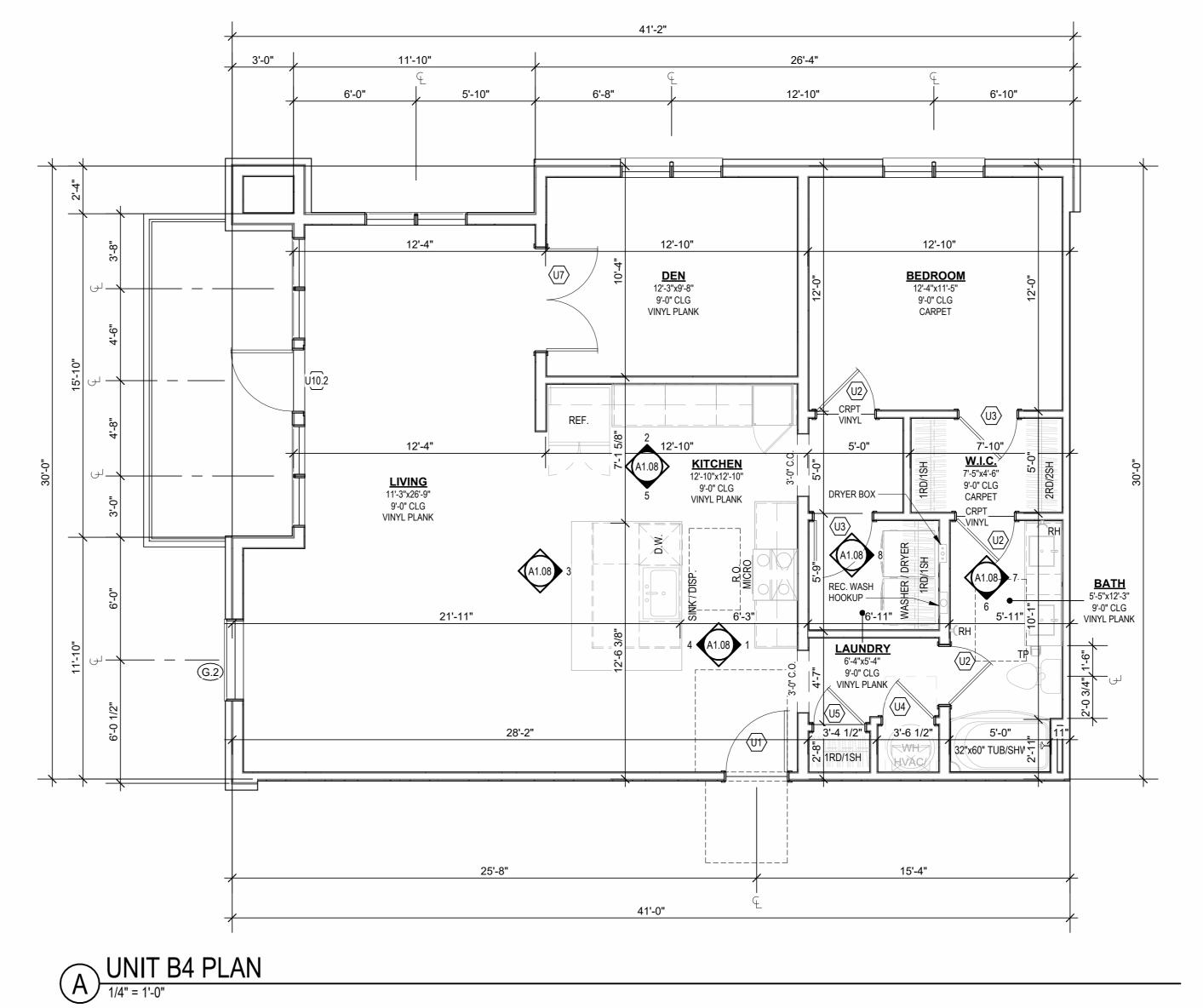
ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C.

SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



B UNIT B4 - RCP

REC.WASH HOOKUP ----

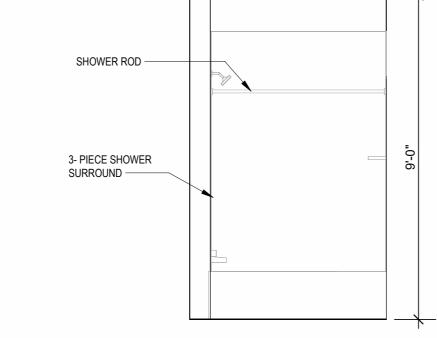
DRYER BOX —

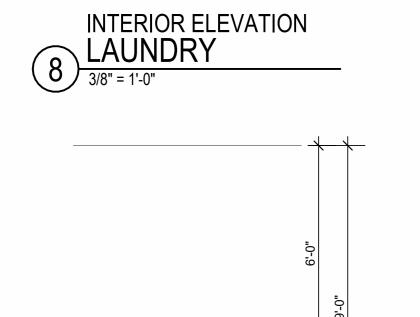
QUARTZ C-TOP —

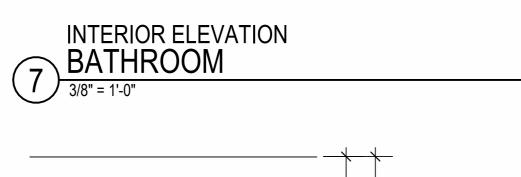
1RD/1SH QUARTZ C. TOP & BACKSPLASH — WASHER / DRYER VSB30 VDB12 VSB30 1'-6" 2'-0 3/4"

9' - 0" CLG.

9' - 0" CLG.

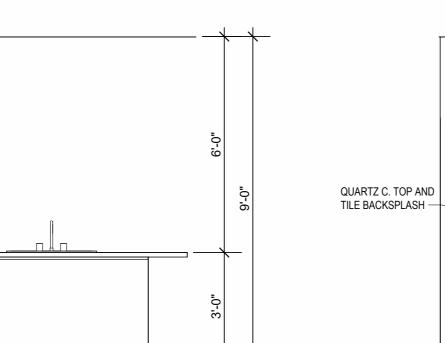






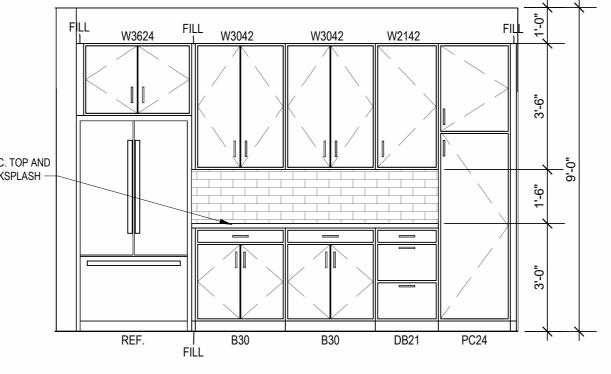
9'-0" CLG.

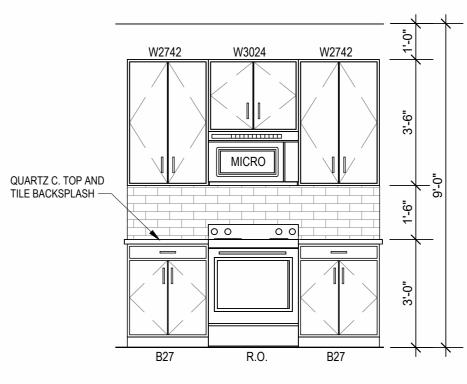
9' - 0" CLG. 9' - 0" CLG.



6 BATHROOM

3/8" = 1'-0"





INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

QUARTZ C- TOP —

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

QUARTZ C- TOP -

SCRIBE MOULD —

FINISH PANEL —

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW

6/9/2023 ASI #1 SHEET NAME
UNIT B4 PLANS

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SHOWER ROD —

3- PIECE SHOWER

INTERIOR ELEVATION
MASTER BATHROOM

3/8" = 1'-0"

QUARTZ C-TOP —

SURROUND -

REC.WASH

HOOKUP —

DRYER BOX —

INTERIOR ELEVATION LAUNDRY

3/8" = 1'-0"

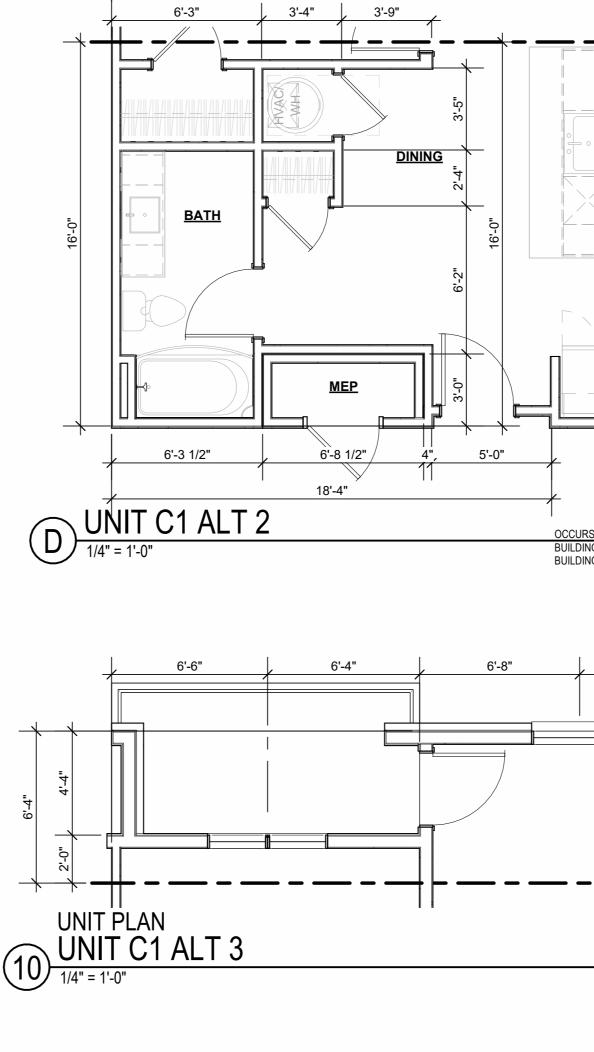
QUARTZ C-TOP &

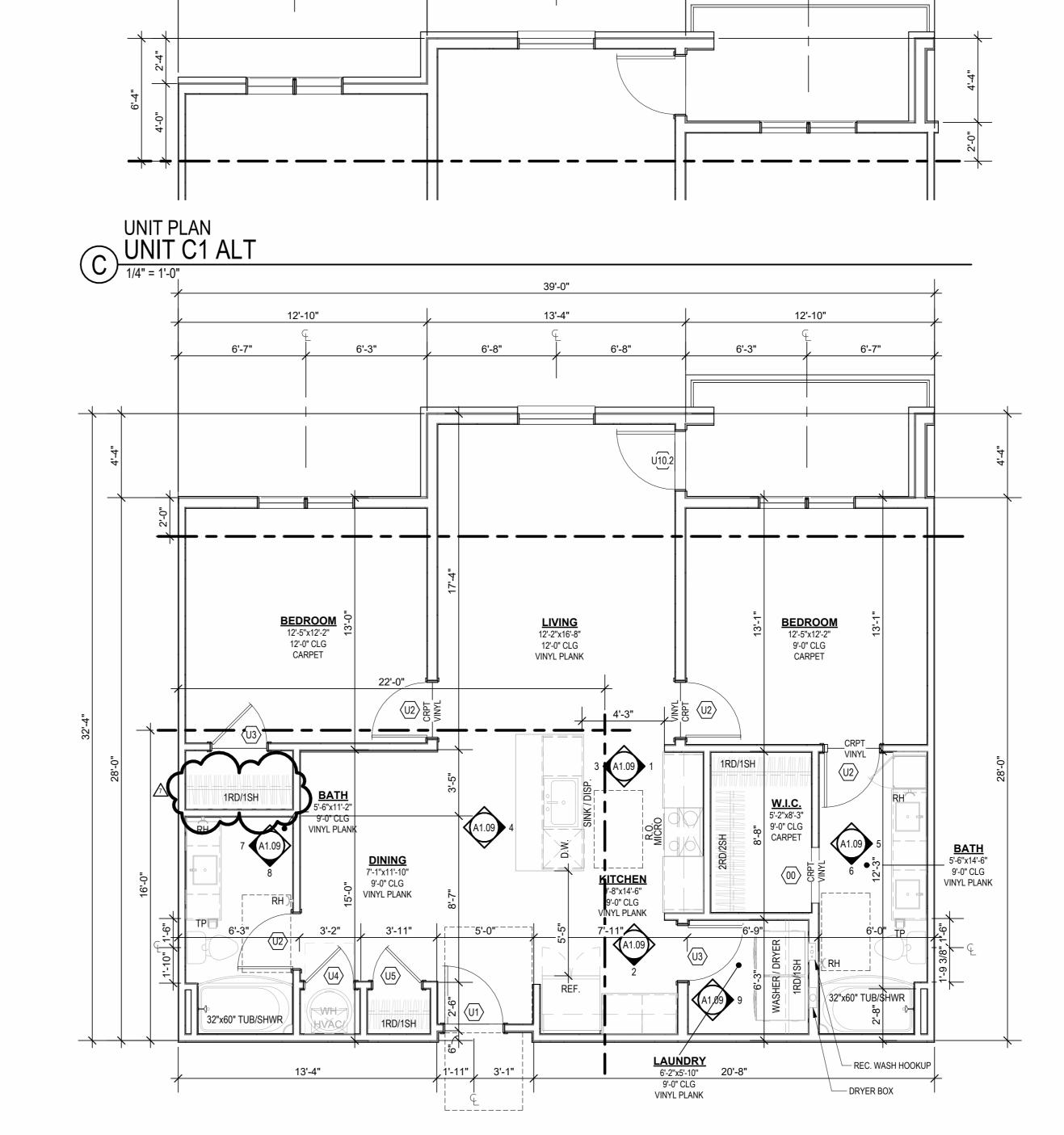
BACKSPLASH —

SB33

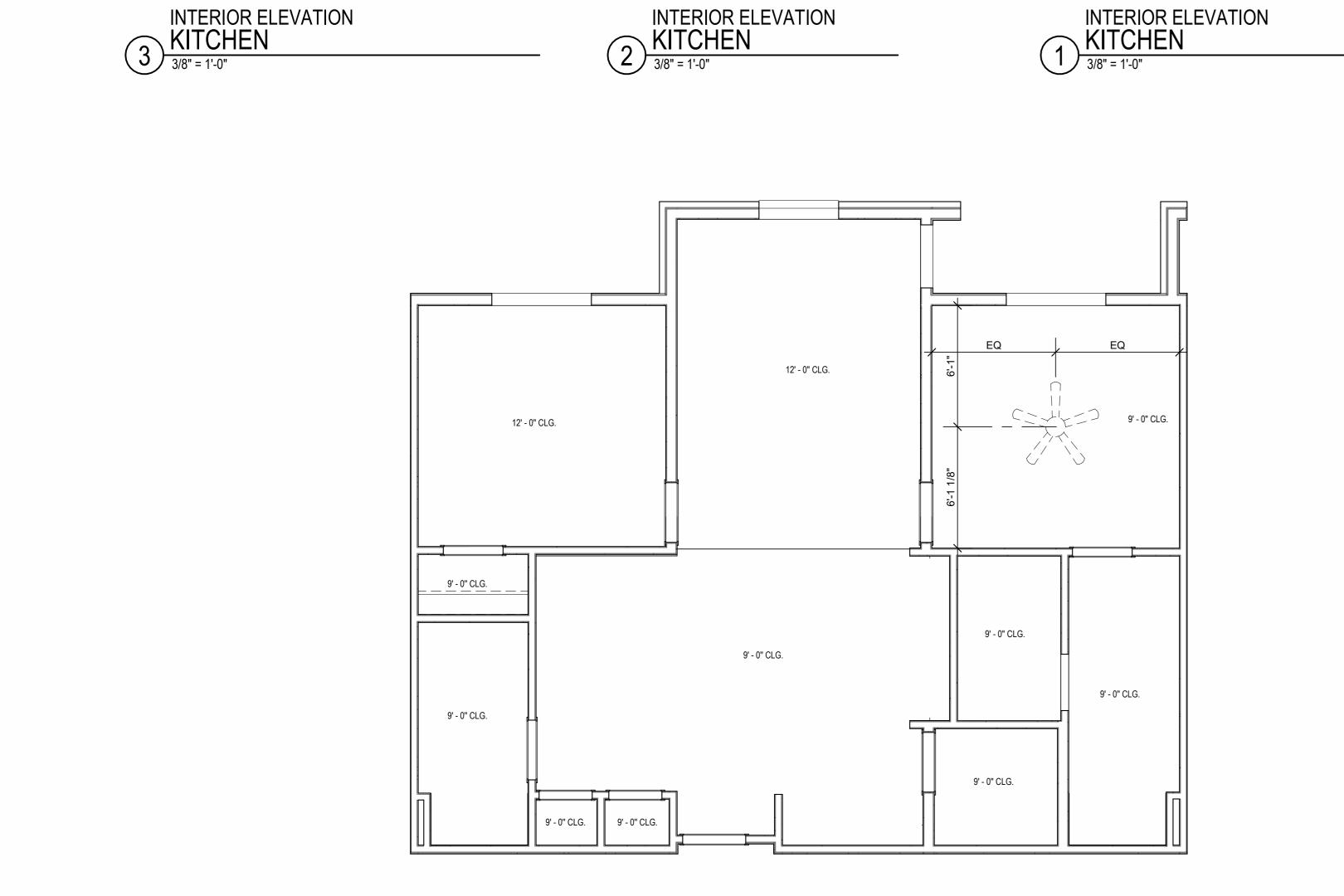
UNIT PLAN GENERAL NOTES: REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. FINISH STRIP.

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. OCCURS AT UNITS: BUILDING 1 - 349 & 449 ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. BUILDING 2 - 343 & 443 DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.









SHOWER ROD —

3- PIECE SHOWER SURROUND ----

VSB30 VDB18 VSB30 1'-6" 1'-10"

W2142 W2442

INTERIOR ELEVATION

MASTER BATHROOM

3/8" = 1'-0"

QUARTZ C-TOP & BACKSPLASH ——

8 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

0 0

QUARTZ C-TOP &

QUARTZ C-TOP -

SCRIBE MOULD -

FINISH PANEL —

QUARTZ C-TOP AND TILE BACKSPLASH —

VSB30 VB15 VSB30 VB15

7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

W3024

BACKSPLASH —

REFLECTED CEILING PLAN
UNIT C1 - 4TH FLOOR RCP

1/4" = 1'-0"

ЈОВ NO. **705921**

DRAWN BY

TSC/SIW

6/9/2023

ASI #1

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1 23 0411 CITY COMMENTS 1 7 23 06XX ASI 3

03.15.2023

SHEET NAME
UNIT C1 PLANS

LEE'S SUMMIT, MO

ARD RD.

UNIT PLAN GENERAL NOTES: REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS

AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS,

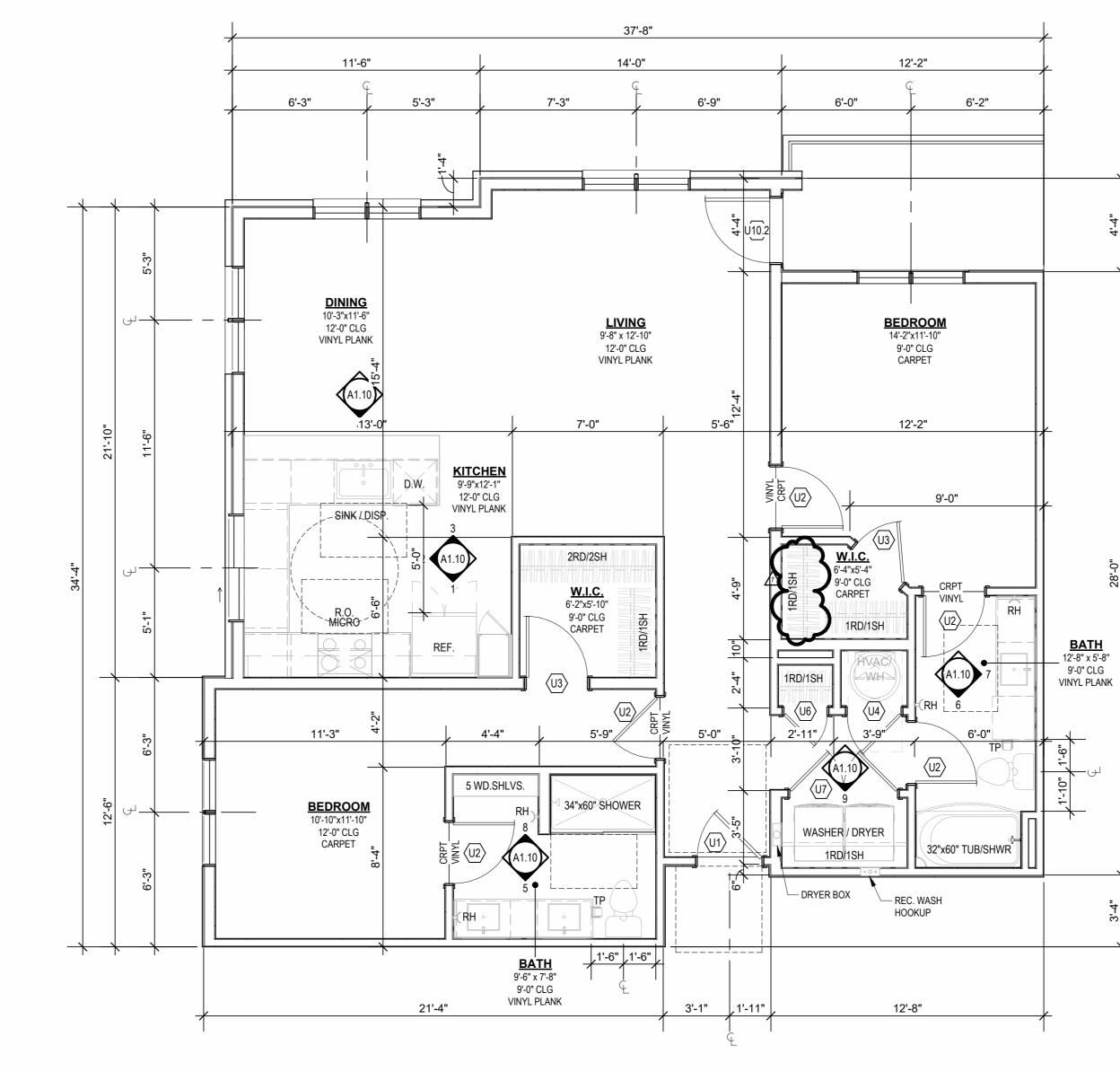
SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT. DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.

ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.

ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



B UNIT C2 - 4TH FLOOR RCP

12'-0" CLG

12'-0" CLG

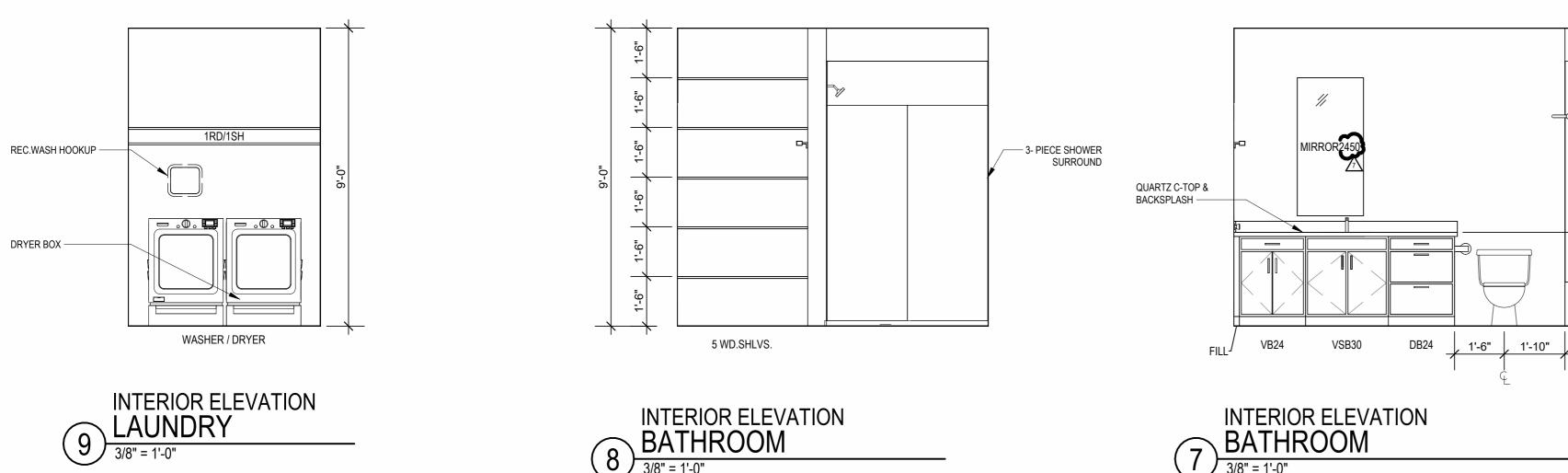
9'-0" CLG

9'-0" CLG

9'-0" CLG

A UNIT C2

0 🗆 0



QUARTZ C-TOP —

SCRIBE MOULD -

FINISH PANEL -

8 INTERIOR ELEVATION BATHROOM

3/8" = 1'-0"

9'-0" CLG

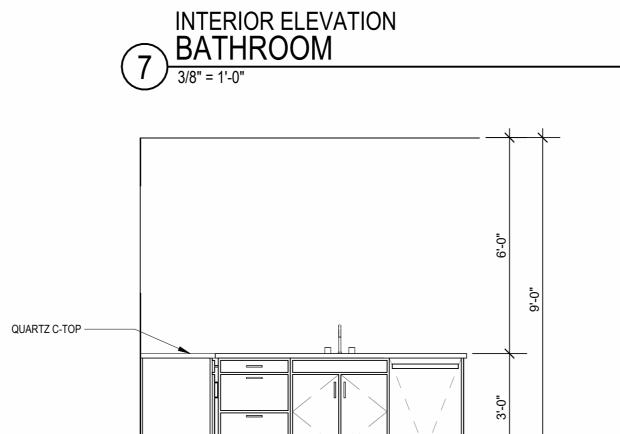
9'-0" CLG

9'-0" CLG

9'-0" CLG 9'-0" CLG

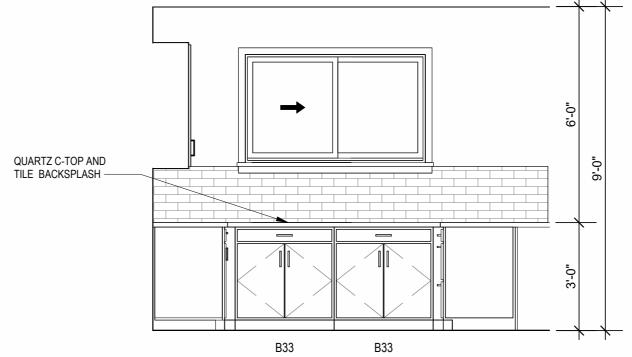
9'-0" CLG

9'-0" CLG



SB33

D.W.



INTERIOR ELEVATION

MASTER BATHROOM

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

SHOWER ROD -

3- PIECE SHOWER

SURROUND -

W2142 W3024 W3942 MICRO QUARTZ C-TOP AND TILE BACKSPLASH — R.O. B15 FILL PC18

12'-8" x 5'-8" 9'-0" CLG

INTERIOR ELEVATION

MASTER BATHROOM

3/8" = 1'-0"

1'-6" 1'-6" VSB30 VDB15 VSB30

QUARTZ C-TOP & BACKSPLASH ——

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

DB24

INTERIOR ELEVATION
KITCHEN

3/8" = 1'-0"

03.15.2023

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• 03.15.2023 - PERMIT SUBMITTAL

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ЈОВ NO. **705921**

6/9/2023

ASI #1

SHEET NAME UNIT C2 PLANS

DRAWN BY TSC/SIW

ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. 22. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

UNIT PLAN GENERAL NOTES:

INFORMATION.

FINISH STRIP.

ORIGINS AND THICKNESS.

ACCESSIBILITY REQUIREMENTS.

FINISH FACE TO FINISH FACE.

2406. SEE PLANS FOR LOCATIONS.

RETURNS AT FENESTRATION CONDITIONS.

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION

REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND

REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR

ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM

PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION

PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC

UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE

MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL

IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.

SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.

FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.

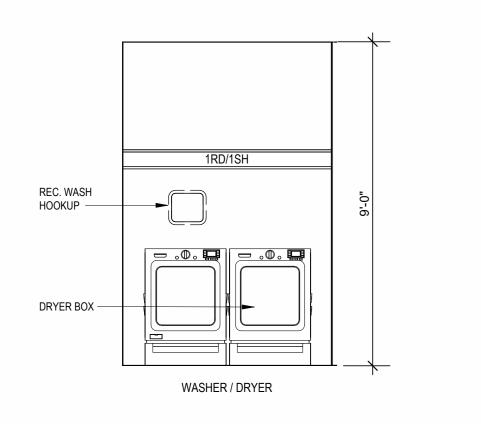
CONSTRUCTION

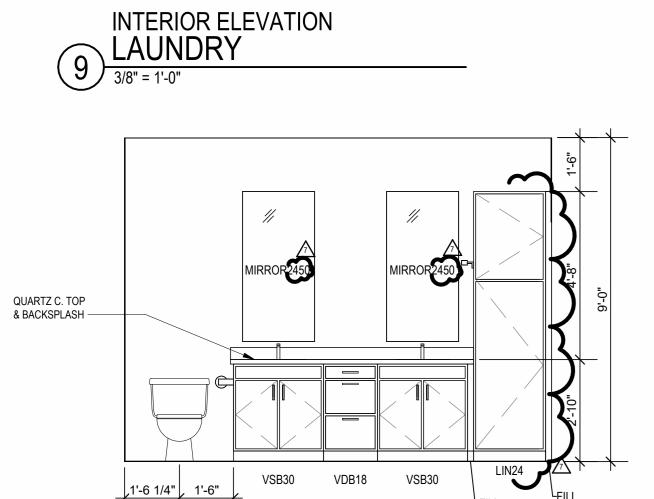
12'-10 1/2" 19'-10" 4'-6" 6'-6" 6'-4 1/2" **W.I.C.** 6'-10" x 9'-6"_ 9'-0" CLG CARPET 11'-8" x 13'-4" 9'-0" CLG CARPET 12'-7 1/2" 12'-10 1/2" BEDROOM 11'-11" x 11'-8" 9'-0" CLG **BATH** 4'-10" x 11'-10" VINYL PLANK 9'-0" CLG VINYL PLANK 9'-0" CLG VINYL PLANK KITCHEN 19'-0" x 9'-7" 9'-0" CLG 9'-0" CLG VINYL PLANK WASHER / DRYER URYER BOK LAUNDRY 5'-9" x 3'-2" 9'-0" CLG VINYL PLANK 45'-4" <u>UNIT C3</u>
1/4" = 1'-0"

45'-4"

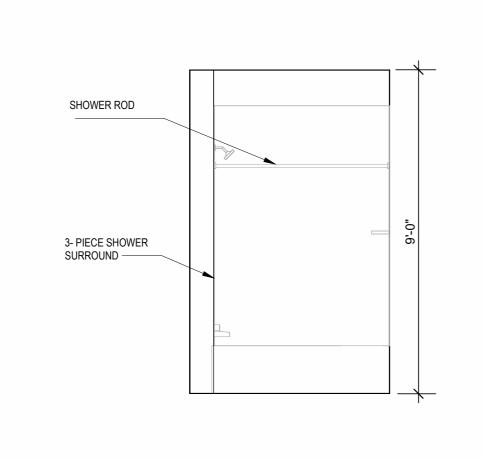
9'-0" CLG 9'-0" CLG ---- 9'-0" CLG 9'-0" CLG

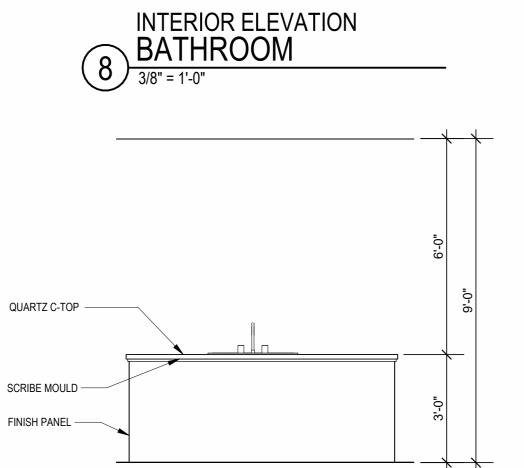
B UNIT C3 - RCP



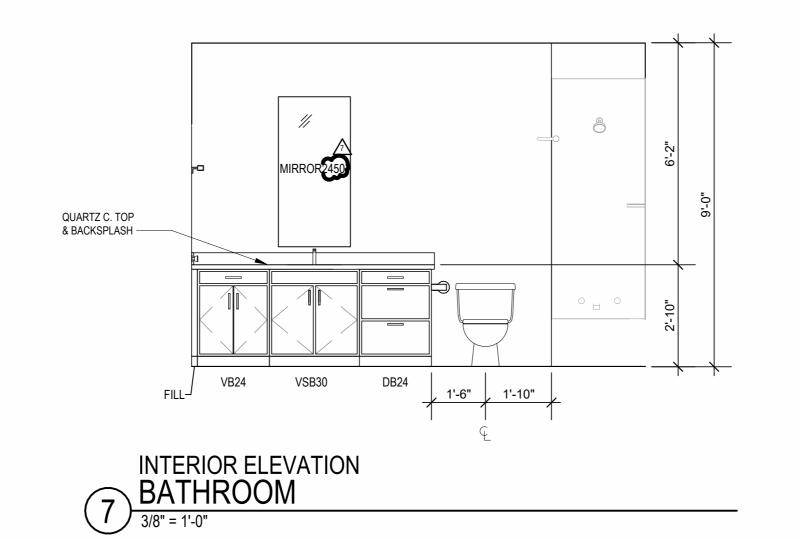


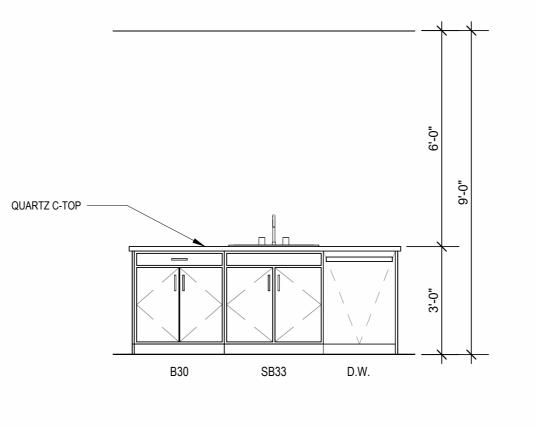




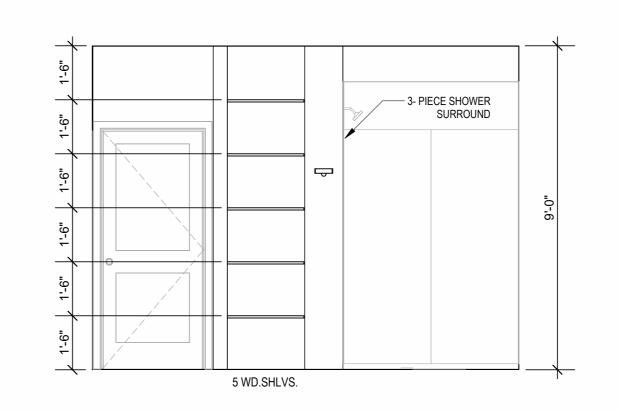




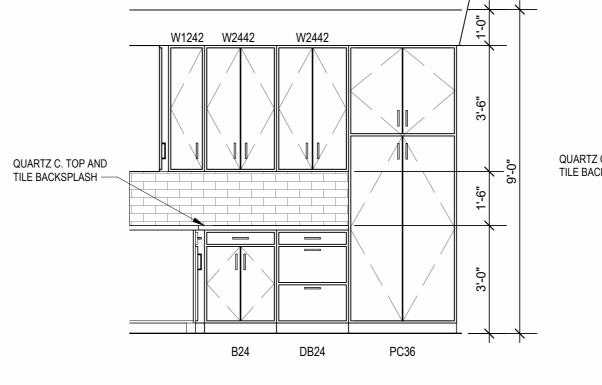




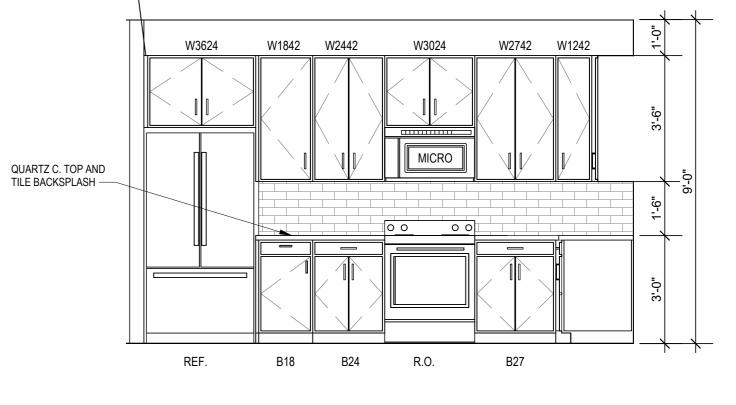












INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

 \triangle REVISIONS

DRAWING RELEASE LOG

• 03.15.2023 - PERMIT SUBMITTAL

LEE'S SUMMIT,

ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 6/9/2023 **ASI #1** SHEET NAME **UNIT C3 PLANS**



NOT FOR CONSTRUCTION

UNIT PLAN GENERAL NOTES: 1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS. 2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS. 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS

AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION. 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE

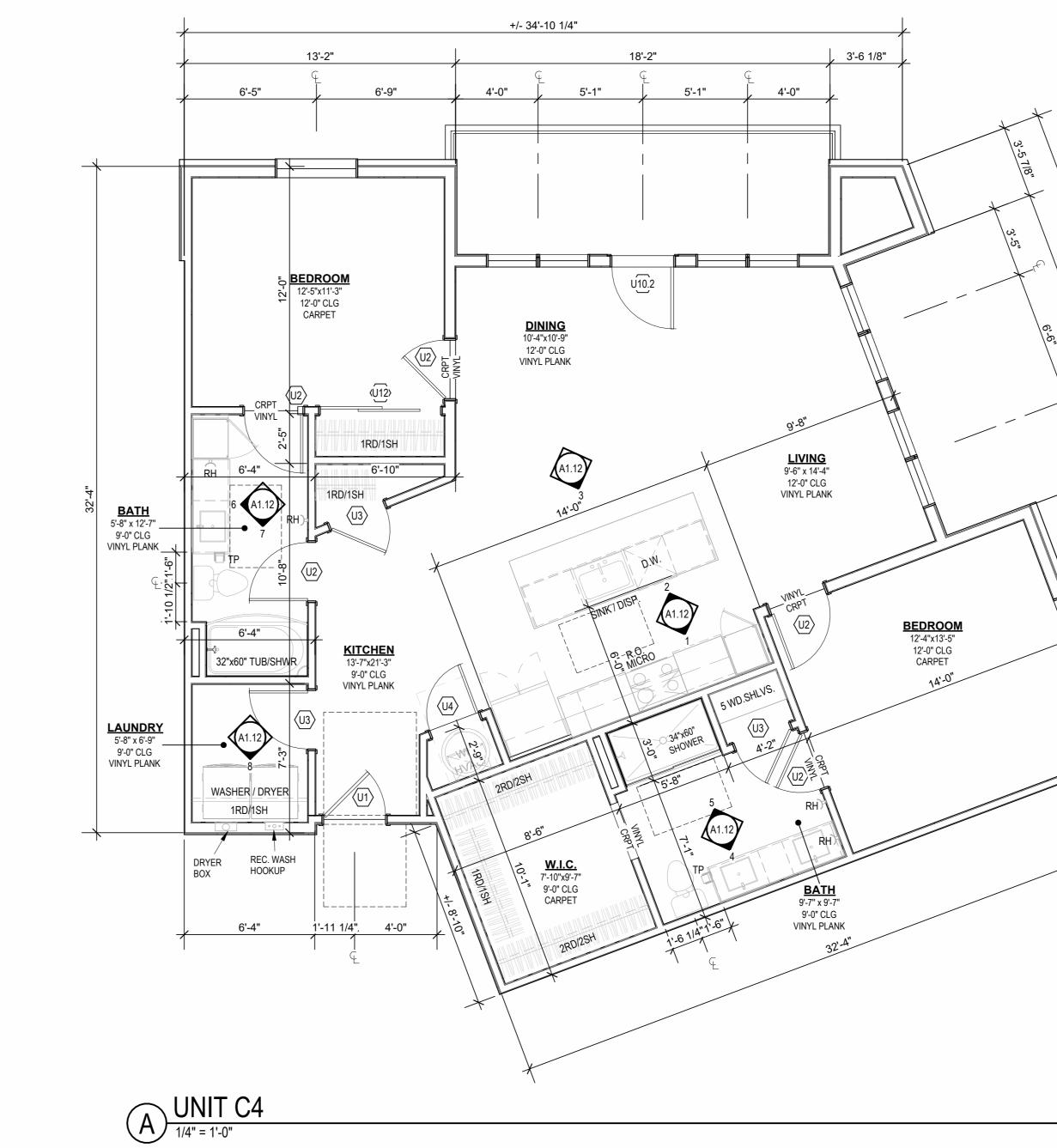
11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION

12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. 14. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE

AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING. 16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. 17. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. 18. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. 19. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS &

CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.

ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



B UNIT C4 - 4TH FLOOR RCP

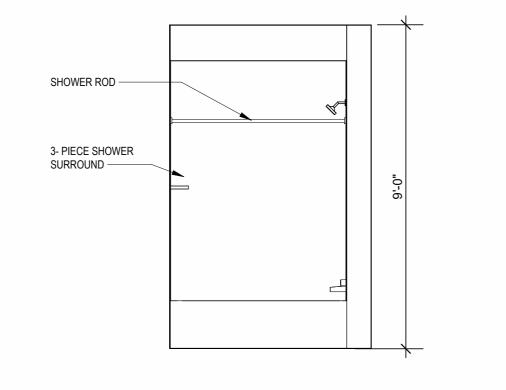
12'-0" CLG

9'-0" CLG

9'-0" CLG

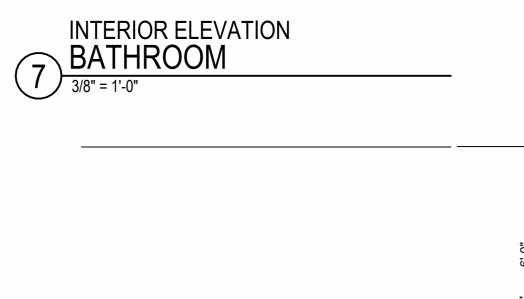
9'-0" CLG

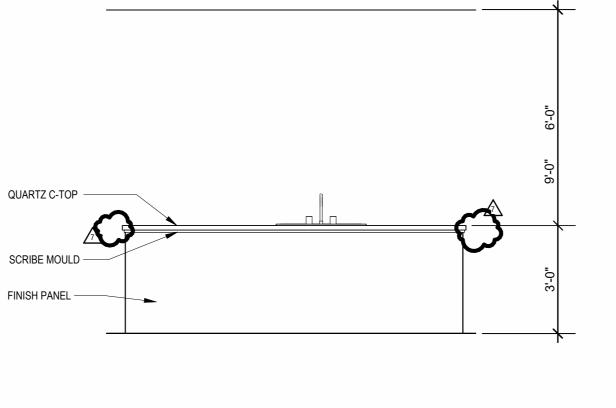
9'-0" CLG

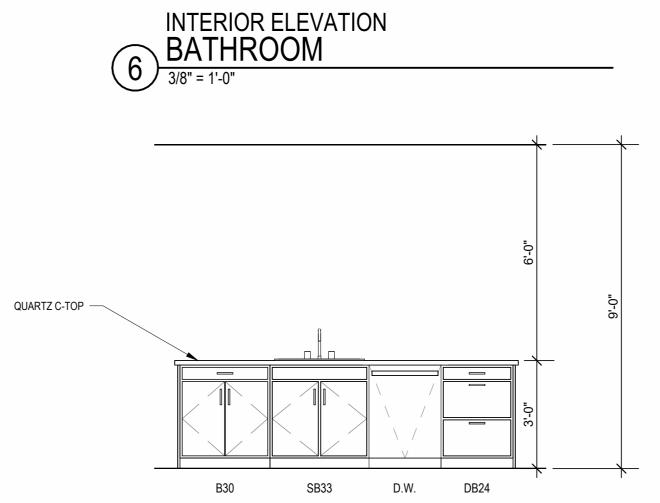


12'-0" CLG

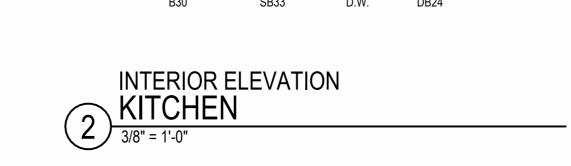
9'-0" CLG

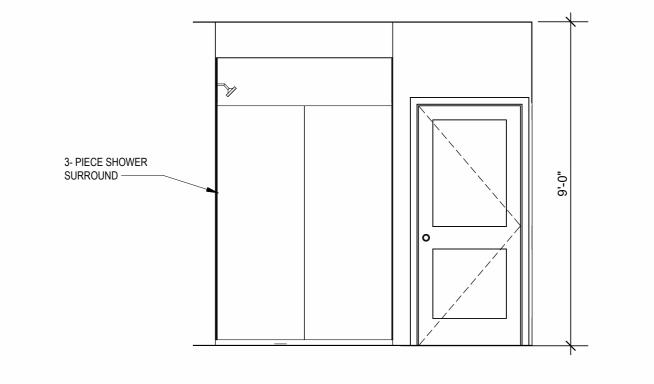


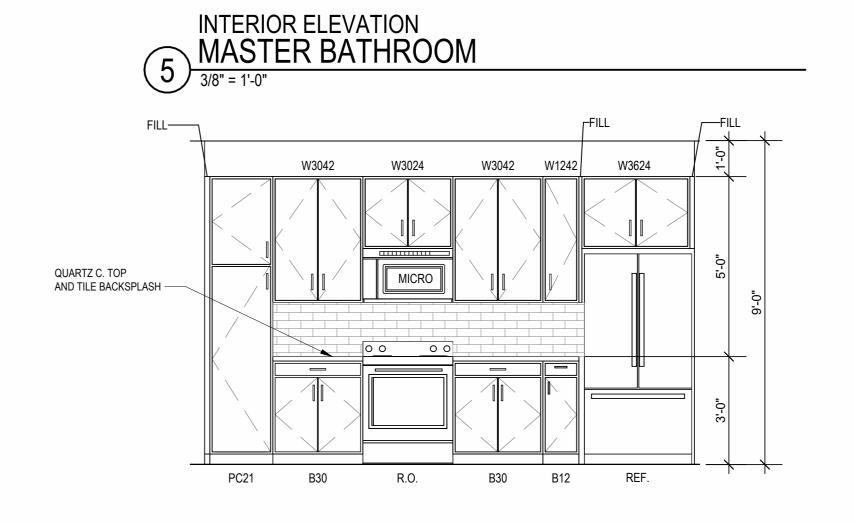




QUARTZ C. TOP & BACKSPLASH —





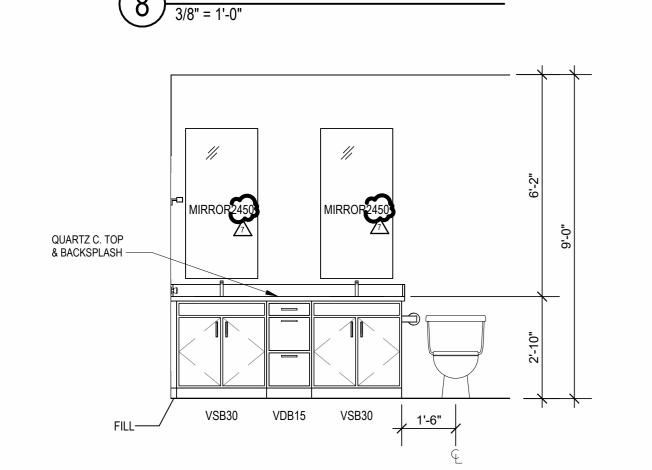


INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

1RD/1SH REC. WASH HOOKUP — DRYER BOX — INTERIOR ELEVATION LAUNDRY

3/8" = 1'-0"



INTERIOR ELEVATION

MASTER BATHROOM

3/8" = 1'-0"

INTERIOR ELEVATION KITCHEN

3/8" = 1'-0"

ARD RD.

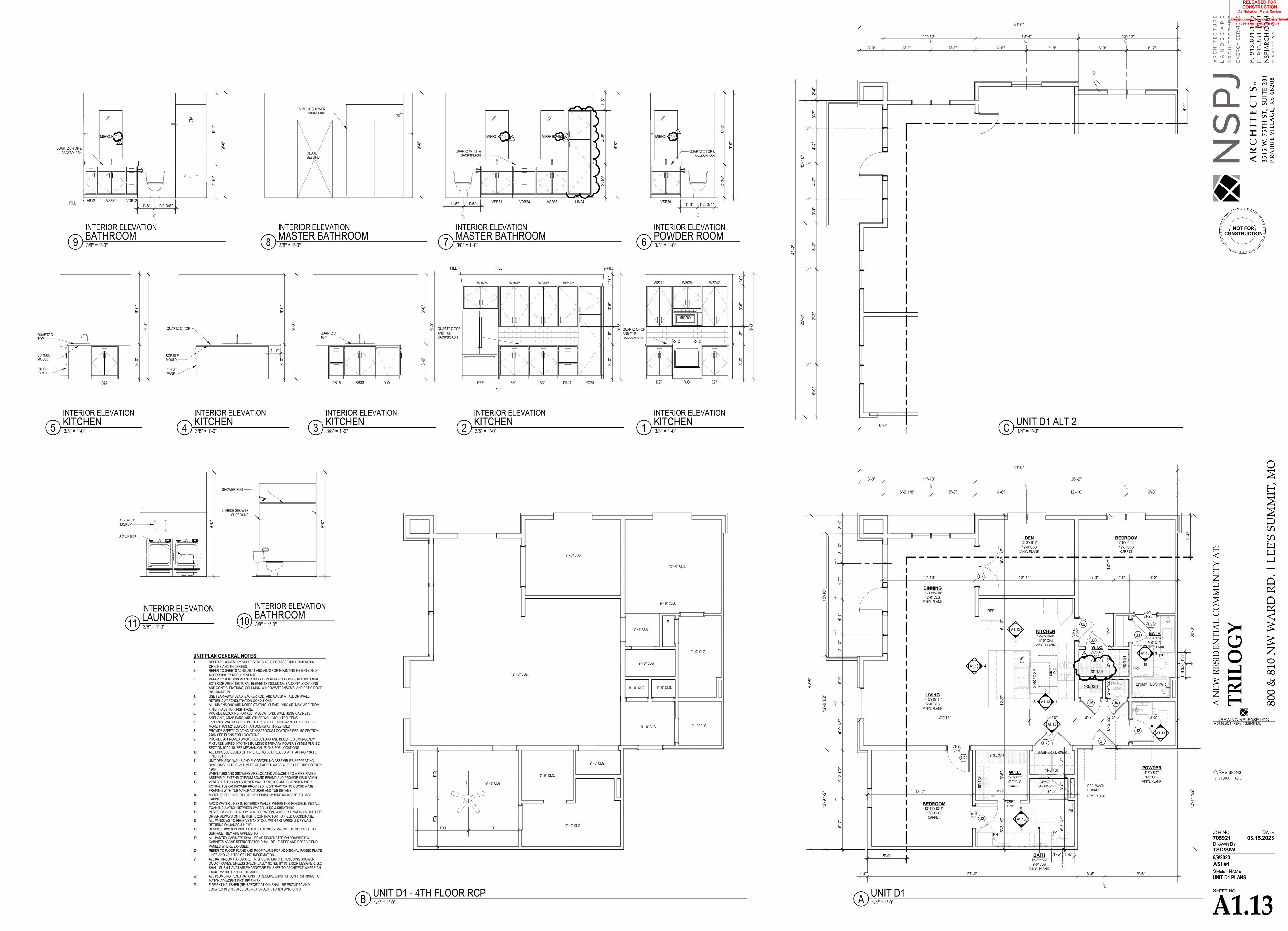
LEE'S SUMMIT, MO

03.15.2023

 \triangle REVISIONS 7 23 06XX ASI 3

DRAWN BY TSC/SIW 6/9/2023 **ASI #1** SHEET NAME **UNIT C4 PLANS**

ЈОВ NO. **705921**



)23 9:40:51 AM

UNIT PLAN GENERAL NOTES:

REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOO

CHITECTS A. 75TH ST., SUITE 201

CONSTRUCTION
As Noted on Plans Review





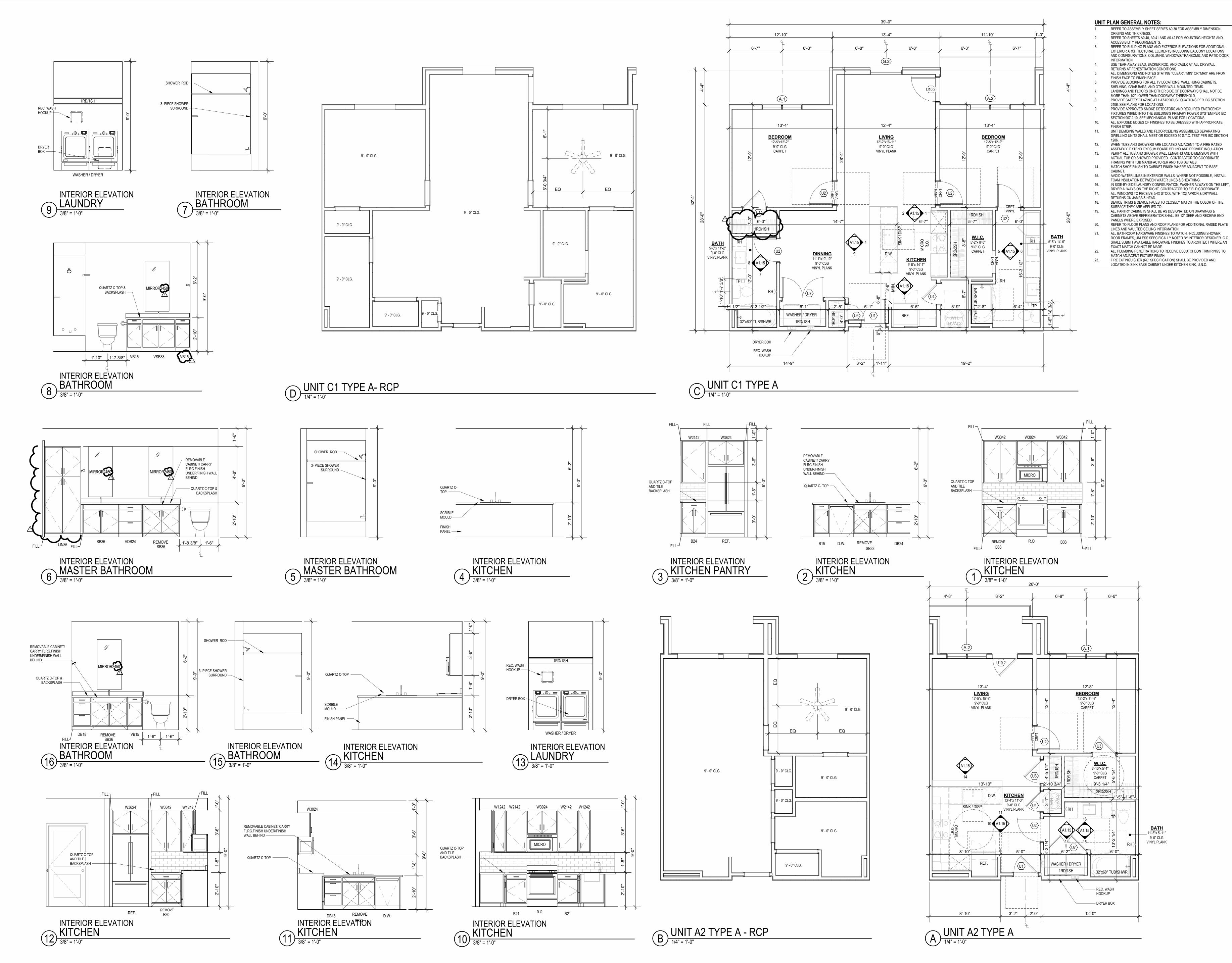
TRILOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

> D. DATE 21 03.15.2023 N BY

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
6/9/2023
ASI #1
SHEET NAME
UNIT PH PLANS

A1.14



A C HITECTS P. 9

S W. 75TH ST., SUITE 201

IRIE VILLAGE, KS 66208

CONSTRUCTION
As Noted on Plans Review

NOT FOR CONSTRUCTION

EW RESIDENTIAL COMMUNITY AT:

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

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7 23 06XX ASI 3

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
6/9/2023
ASI #1
SHEET NAME
TYPE A UNIT PLANS

SHEET NO.

A115

4/2023 9:41:26 AM

INFORMATION. 4. USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE. SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.

PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.

10. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION.

VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH

ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS. 14. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE 15. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.

16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.

17. ALL WINDOWS TO RECEIVE 5/4X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO. ALL PANTRY CABINETS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.

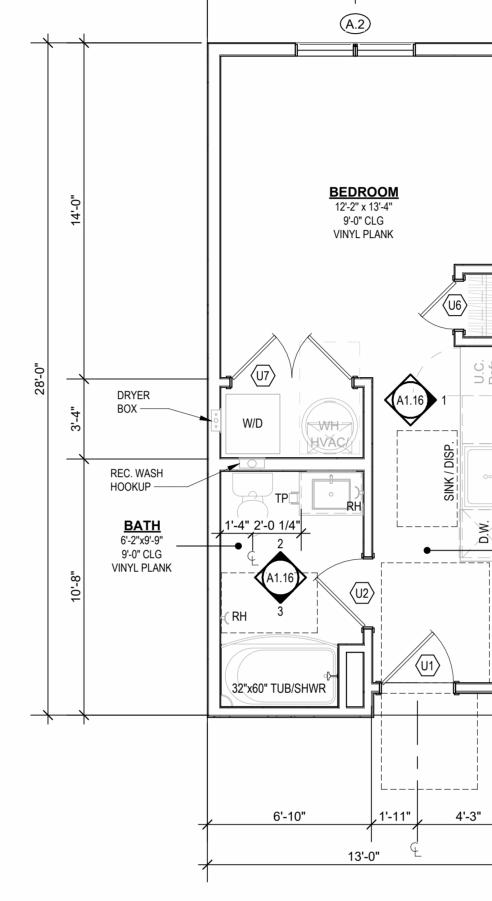
ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.

23. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

HOOKUP ---**BATH** 6'-2"x9'-9" _ 9'-0" CLG VINYL PLANK 32"x60" TUB/SHWR

A GUEST SUITE

1/4" = 1'-0"



KITCHEN 5'-8" x 14'-0" 9'-0" CLG VINYL PLANK

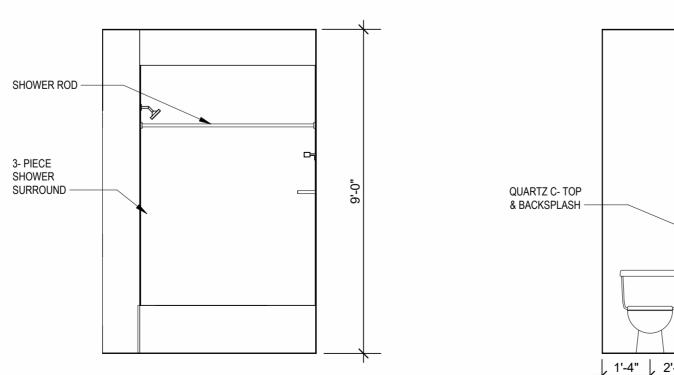
B GUEST SUITE - RCP

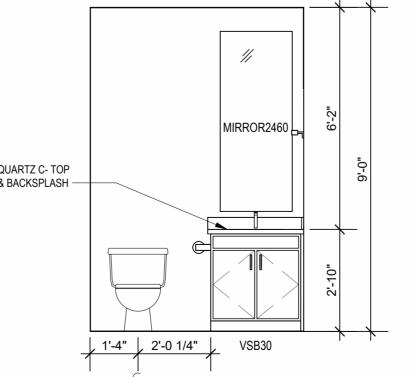
9' - 0" CLG.

9' - 0" CLG.

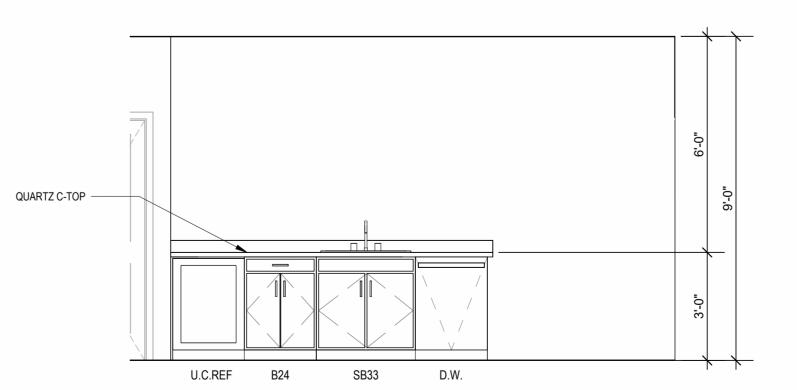
9' - 0" CLG.

9' - 0" CLG.





2 BATHROOM
3/8" = 1'-0"



1 KITCHEN
3/8" = 1'-0"

NOT FOR CONSTRUCTION

CONSTRUCTION
As Noted on Plans Review

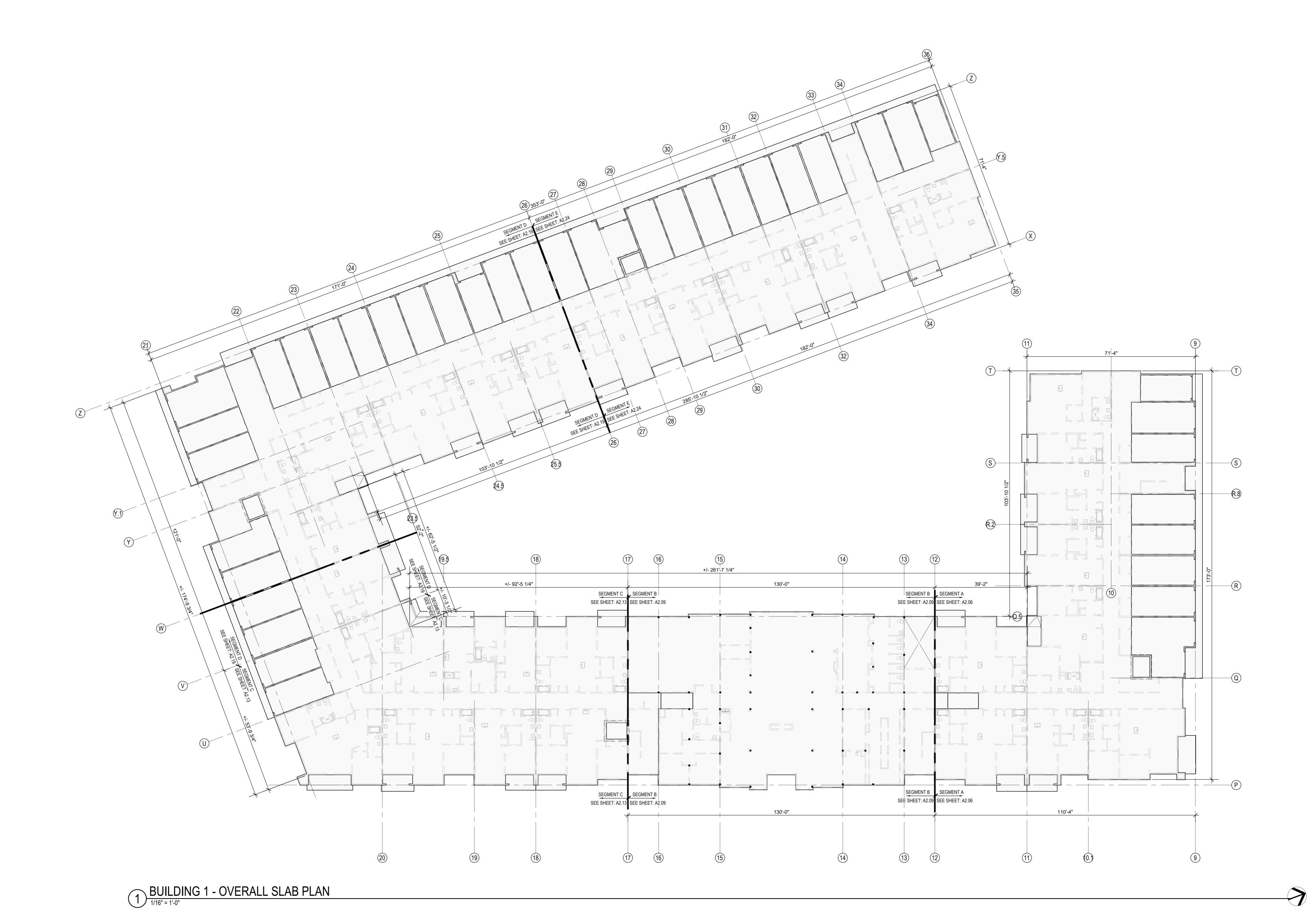
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JOB NO. 705921 DRAWN BY TSC/SIW DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
GUEST SUITE

 \triangle REVISIONS

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 OVERALL SLAB
PLAN

PLAN
SHEET NO.



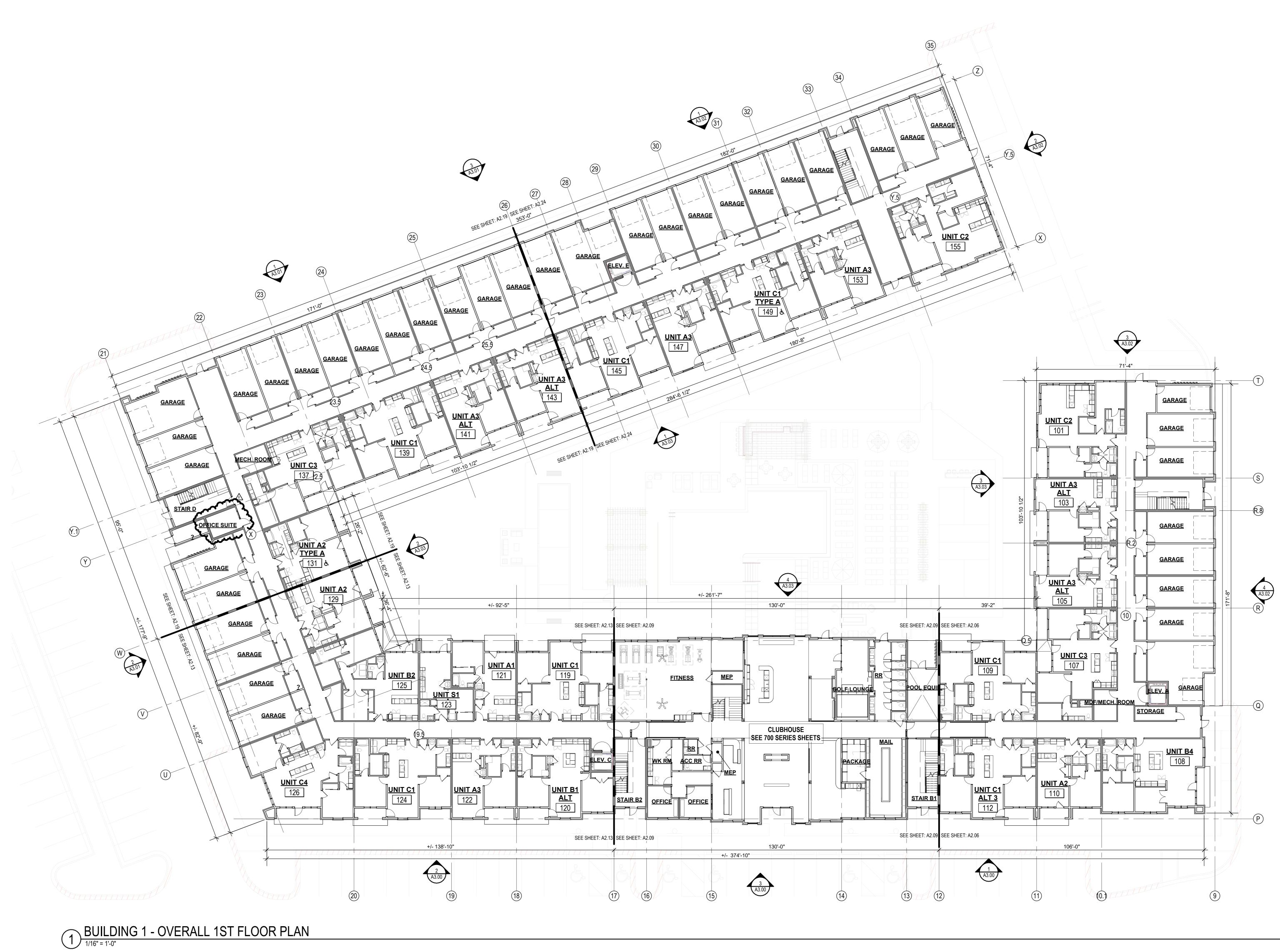
1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4

ЈОВ NO. **705921** DATE **03.15.2023**

DRAWN BY ASI #1

SHEET NAME
BUILDING 1 OVERALL 1ST
FLOOR PLAN
SHEET NO.

A 2 0 1





1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4

DATE **03.15.2023**

SHEET NAME
BUILDING 1 OVERALL 2ND
FLOOR PLAN
SHEET NO.

A 2 0 2

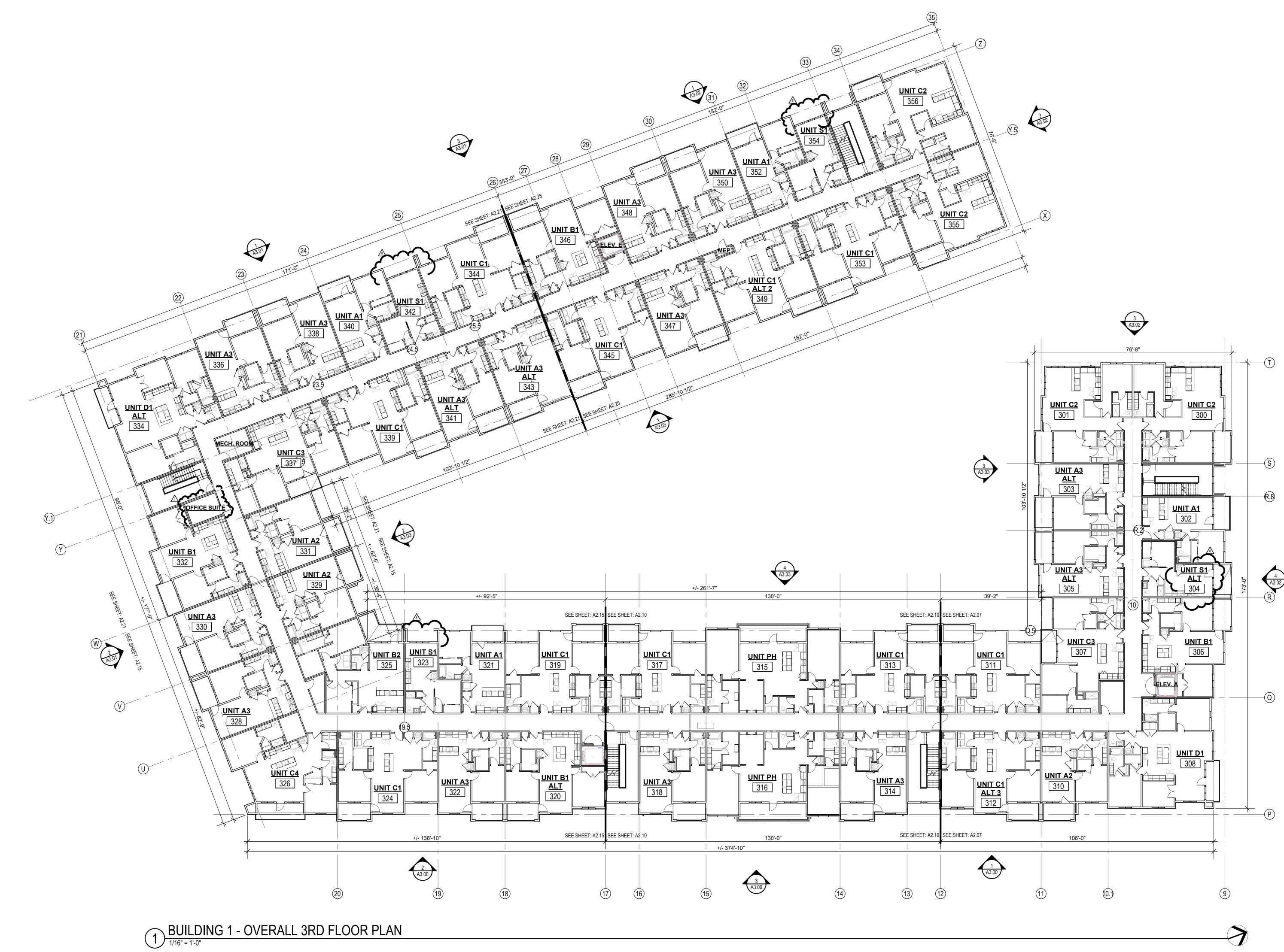
 \triangle REVISIONS 1 23 0411 CITY COMMENTS 1 8 23 07 31 ASI 4

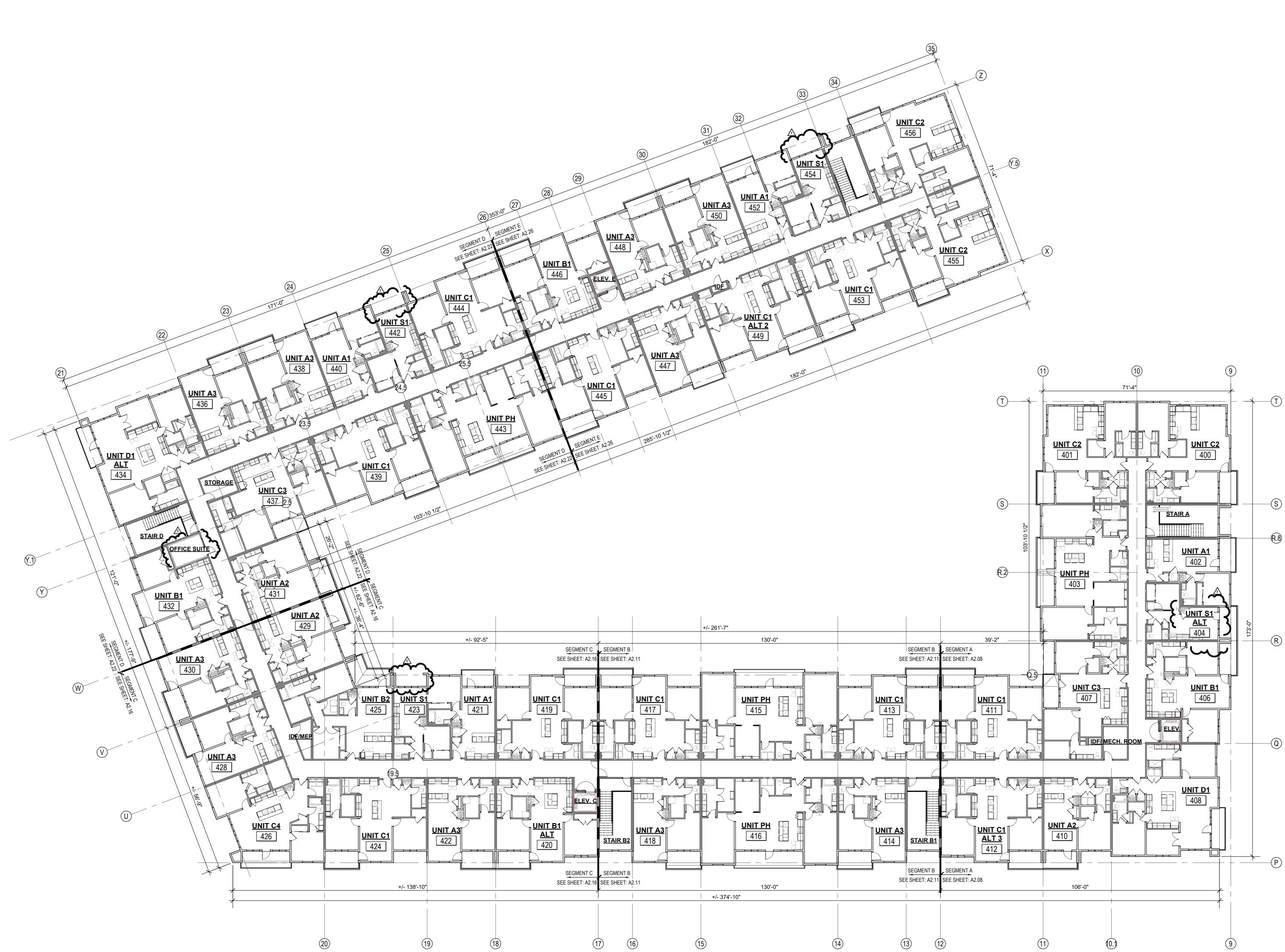
ЈОВ NO. **705921** DATE **03.15.2023**

DRAWN BY 6/9/2023 ASI #1

SHEET NAME
BUILDING 1 OVERALL 3RD
FLOOR PLAN
SHEET NO.

A 2.03





BUILDING 1 - OVERALL 4TH FLOOR PLAN

1/16" = 1'-0"

JOB NO. D.
705921 03.15.20
DRAWN BY
TSC/SIW
6/9/2023
ASI #1

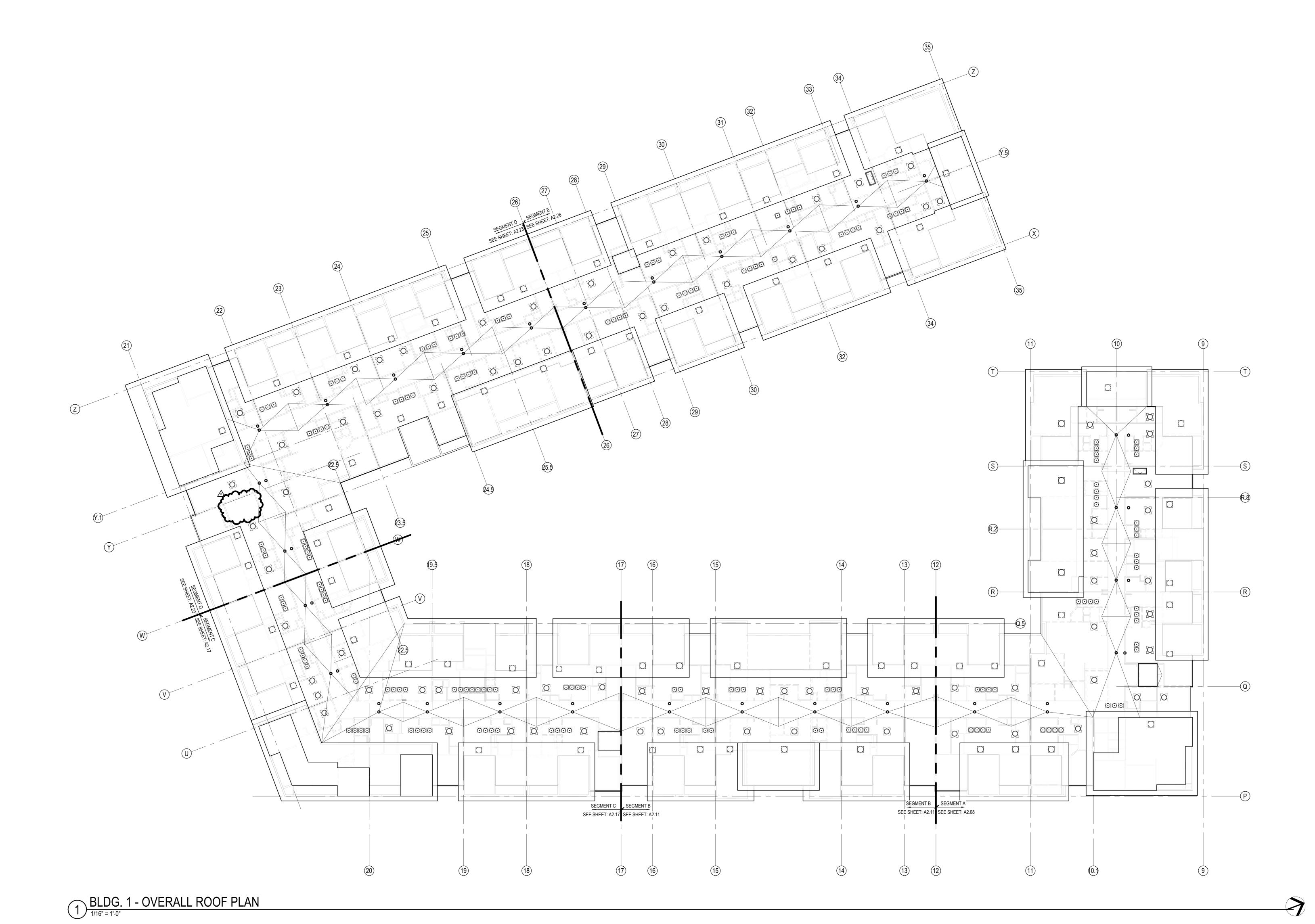
SHEET NAME
BUILDING 1 OVERALL 4TH
FLOOR PLAN
SHEET NO.

A2.04

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
6/9/2023
ASI #1
SHEET NAME
BUILDING 1 OVERALL ROOF
PLAN

PLAN
SHEET NO.

A2.05



ЈОВ NO. **705921** 03.15.2023 **DRAWN BY** TSC/SIW 5/11/2023 ADDENDUM #2 SHEET NAME **SEGMENT A SLAB & 1ST** FLOOR PLAN

 \triangle REVISIONS

1 23 0411 CITY COMMENTS 1 2 23 0428 ADD 1/CC 2

3 23 0511 ADDENDUM 2

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review
evelopment Services Departme
U Lee's Sumpait, Missouri

KEY PLAN - BUILDING SEGMENTS

- SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
- FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE
- CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

ARCHITECTS PRAIRIE VILLAGE, KS 66208

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

NOT FOR CONSTRUCTION

RILOGY

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03.15.2023 - PERMIT SUBMITTAL

AREVISIONS

1 23 0411 CITY COMMENTS 1
3 23 0511 ADDENDUM 2

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
5/11/2023
ADDENDUM #2
SHEET NAME
SEGMENT A 2ND & 3RD
FLOOR PLAN

KEY PLAN - BUILDING SEGMENTS

LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

508 in²

508 in²

HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED

ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.

ROUGH-INS, TRIM/PANELING, ETC.

CONDUIT AND PULL STRINGS AS NEEDED.

LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE

PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE

RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL



1 23 0411 CITY COMMENTS 1

3 23 0511 ADDENDUM 2

705921 03.15.2023 **DRAWN BY** TSC/SIW 5/11/2023 ADDENDUM #2 SHEET NAME **SEGMENT A 4TH FLOOR &**

ROOF PLAN

DRAFTSTOP A-3 2303 SF

DRAFTSTOP A-4 1273 SF

DRAFTSTOP A-5 1948 SF

DRAFTSTOP A-6 2584 SF

DRAFTSTOP A-7 1529 SF

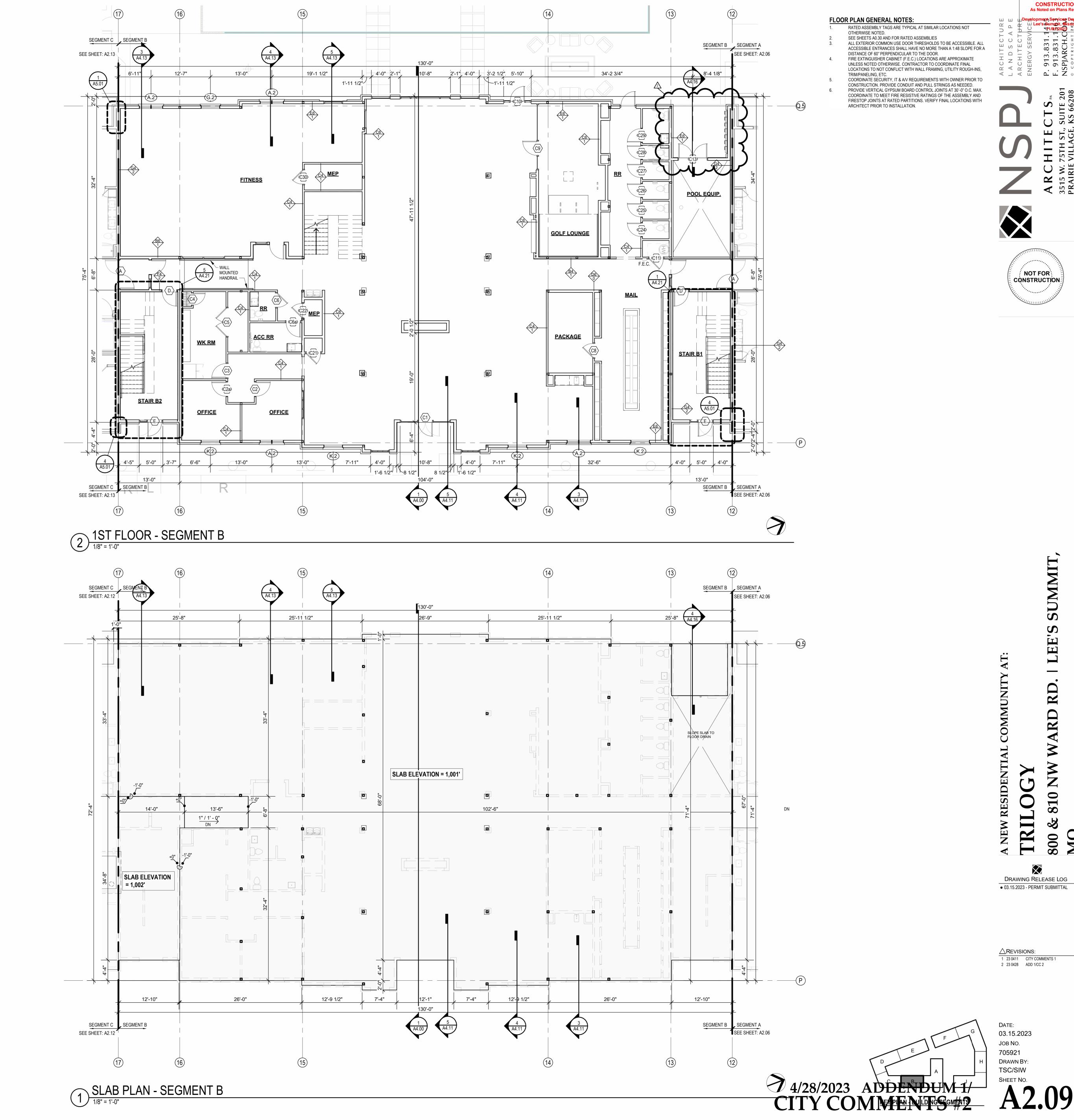
DRAFTSTOP A-8 1302 SF

1016 in²

1016 in²

1016 in²

1016 in²



CONSTRUCTION
As Noted on Plans Review



NOT FOR CONSTRUCTION

FLOOR PLAN GENERAL NOTES:

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES

ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review



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5 23 0609 ASI 1

ЈОВ NO. **705921** DATE **03.15.2023 DRAWN BY** TSC/SIW

KEY PLAN - BUILDING SEGMENTS

ASI #1 SHEET NAME
SEGMENT B 2ND & 3RD
FLOOR PLAN
SHEET NO.

SEG B ROOF VENT CALCULATOR

Free Area

Free Area of | Free Area of | Percentage at | Per Static | Vented Units |

50.00%

40.00%

50.00%

1426 in²

1029 in²

610 in²

740 in²

1270 in²

1016 in²

1016 in²

2143 SF

1272 SF

DRAFTSTOP B-2

DRAFTSTOP B-3

DRAFTSTOP B-4

DRAFTSTOP B-5

UPPER VENTING

STATIC VENTING

LOWER VENTING

Total Lower

Venting

Provided

762 in²

762 in² 508 in²

STATIC VENT

Per Lower | Static Vents

Free Area of | Vented Net

Provided

508 in²

508 in²

Free Area

254 in²

254 in²

ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS. ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

FLOOR PLAN GENERAL NOTES:

OTHERWISE NOTED.

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES

ARCHITECT PRIOR TO INSTALLATION.

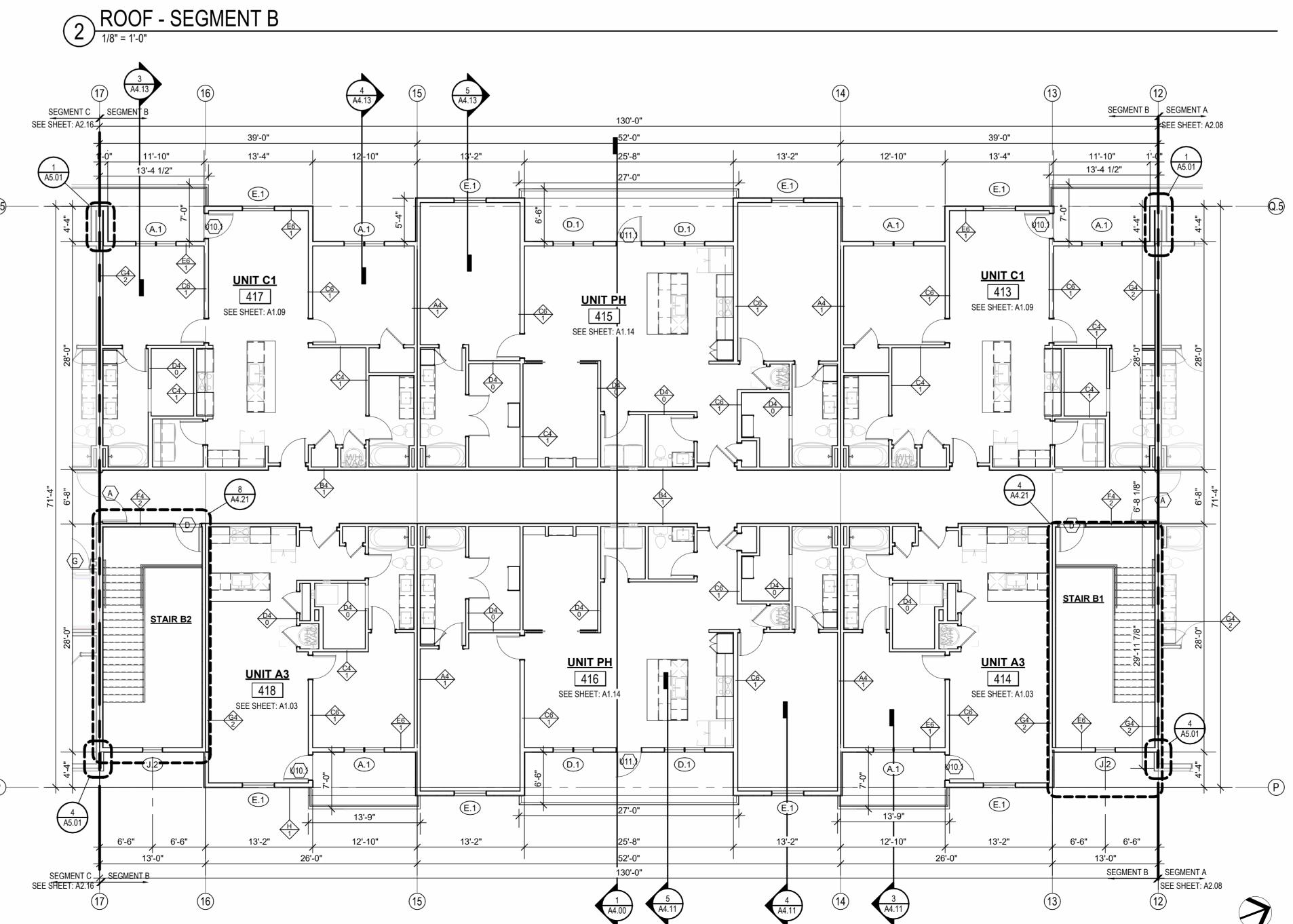
ROOF PLAN GENERAL NOTES:

RAISED CEILING HEIGHT KEY

11'-0" CEILING

12'-0" CEILING

SEGMENT C SEGMENT B SEGMENT B SEGMENT A _ FIRE-RETARDANT FIRE-RETARDANT TREATED SHEATHING, TREATED SHEATHING, _ 48" ON EITHER SIDE OF 48" ON EITHER SIDE OF 2-HR FIREWALL 2-HR FIREWALL **DRAFTSTOP B-5** - MECHANICAL UNIT RE: MECH **DRAFTSTOP B-1** 1/4" / 1'-0" MIN AT ALL CRICKET TYP. \odot **DRAFTSTOP B-4** DRAFTSTOP B-2 TERMINATE 2 HR FIREWALL AT TERMINATE 2 HR FIREWALL AT — UNDERSIDE OF ROOF SHEATHING UNDERSIDE OF ROOF SHEATHING -SEGMENT B SEGMENT A SEGMENT C SEGMENT B
SEE SHEET: A2.11



Јов No. **705921 DRAWN BY** TSC/SIW 4/11/2023 CITY COMMENTS
SHEET NAME
SEGMENT B 4TH FLOOR &
ROOF PLAN
SHEET NO. KEY PLAN - BUILDING SEGMENTS

 \triangle REVISIONS

DATE **03.15.2023**

1 4TH FLOOR - SEGMENT B

FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE

UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND

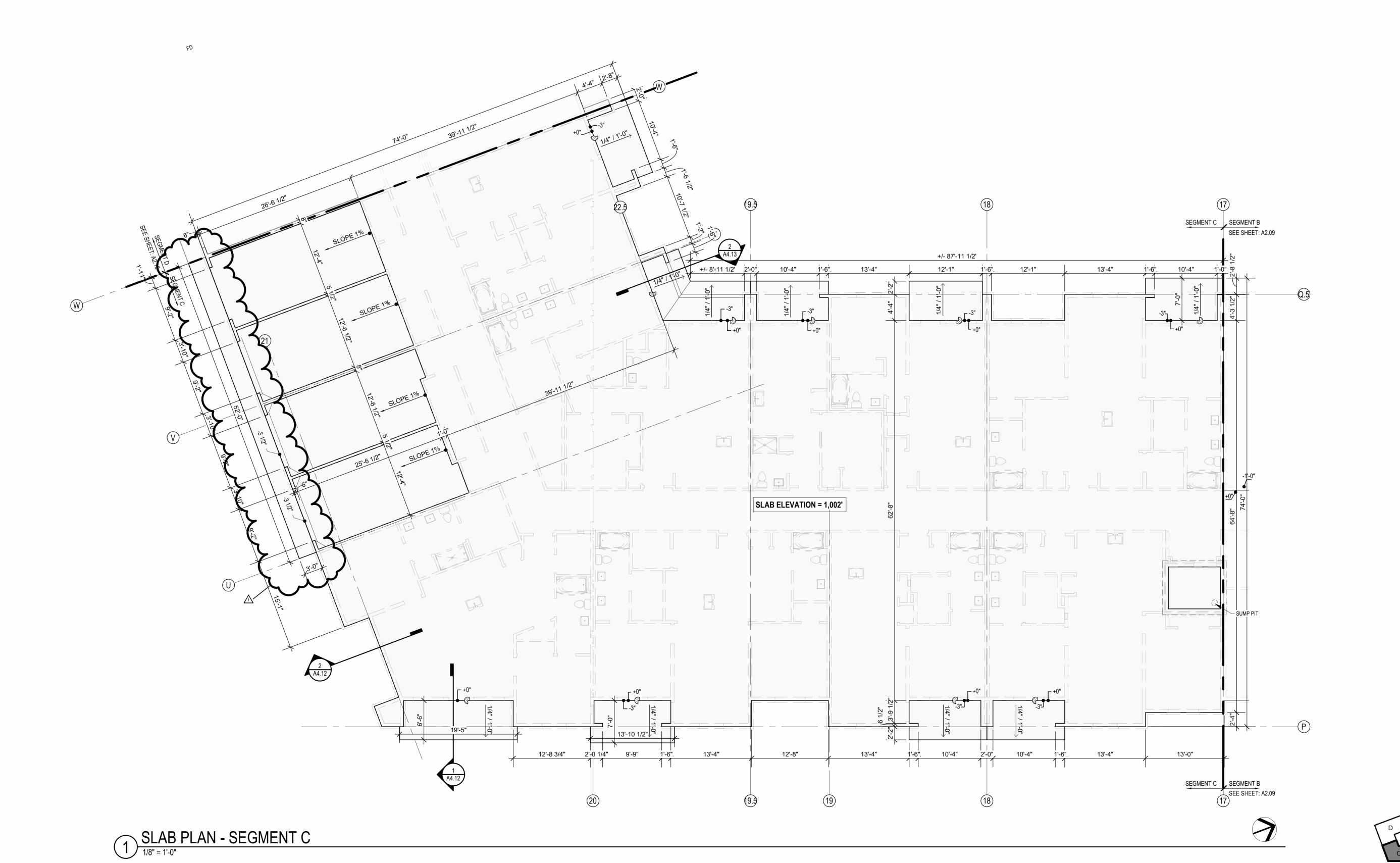
ARCHITECT PRIOR TO INSTALLATION.

FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH

CONSTRUCTION
As Noted on Plans Review







1 23 0411 CITY COMMENTS 1

JOB NO. **705921** DRAWN BY **TSC/SIW** DATE **03.15.2023** 4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT C SLAB PLAN

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.

SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL

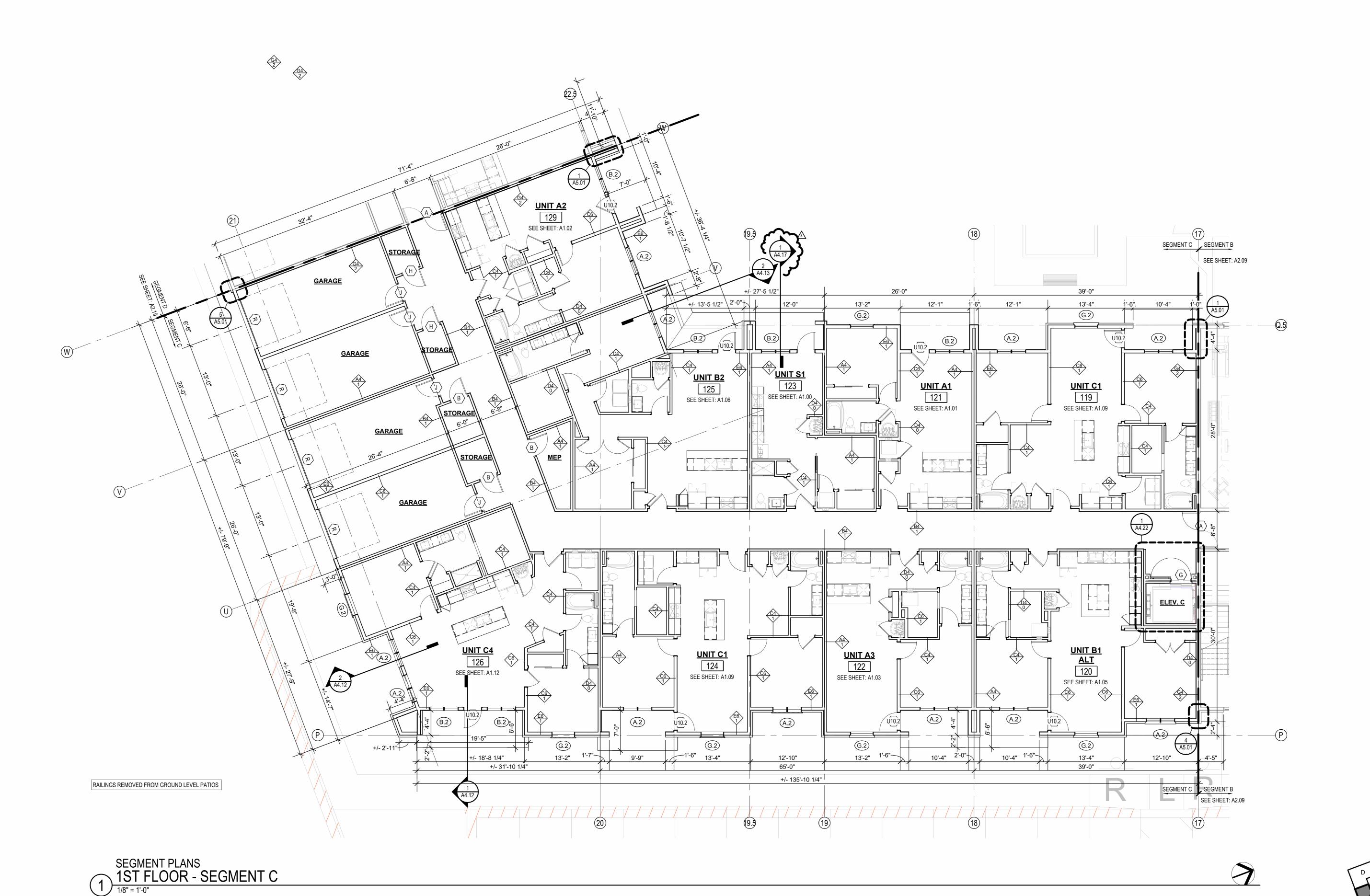
LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC.

5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

ARCHITECTS PA 3515 W. 75TH ST., SUITE 201





TRICOGY

JOB NO. DATE
705921 03.15.2023
DRAWN BY
TSC/SIW
6/9/2023
ASI #1
SHEET NAME

SHEET NAME
SEGMENT C 1ST FLOOR
PLAN
SHEET NO.

MENTS

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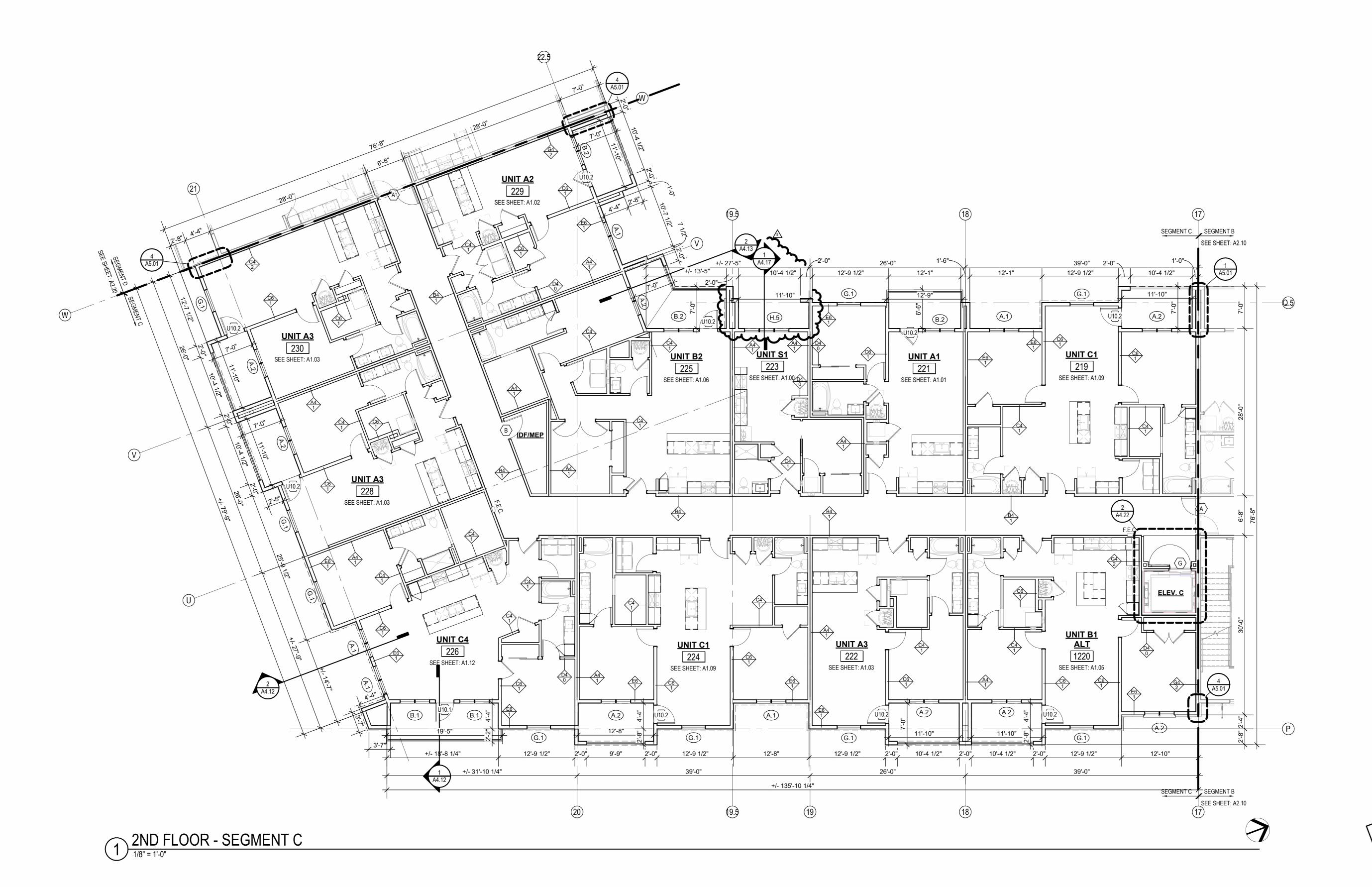
TRIM/PANELING, ETC.

5. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review





NEW RESIDENTIAL COMMUNITY AT:

|| RILOGY|

Drawing Release Log

DATE **03.15.2023**

JOB NO.
705921
DRAWN BY
TSC/SIW
6/9/2023
ASI #1
SHEET NAN
SEGMENT
PLAN
SHEET NO.

SHEET NAME
SEGMENT C 2ND FLOOR
PLAN
SHEET NO.

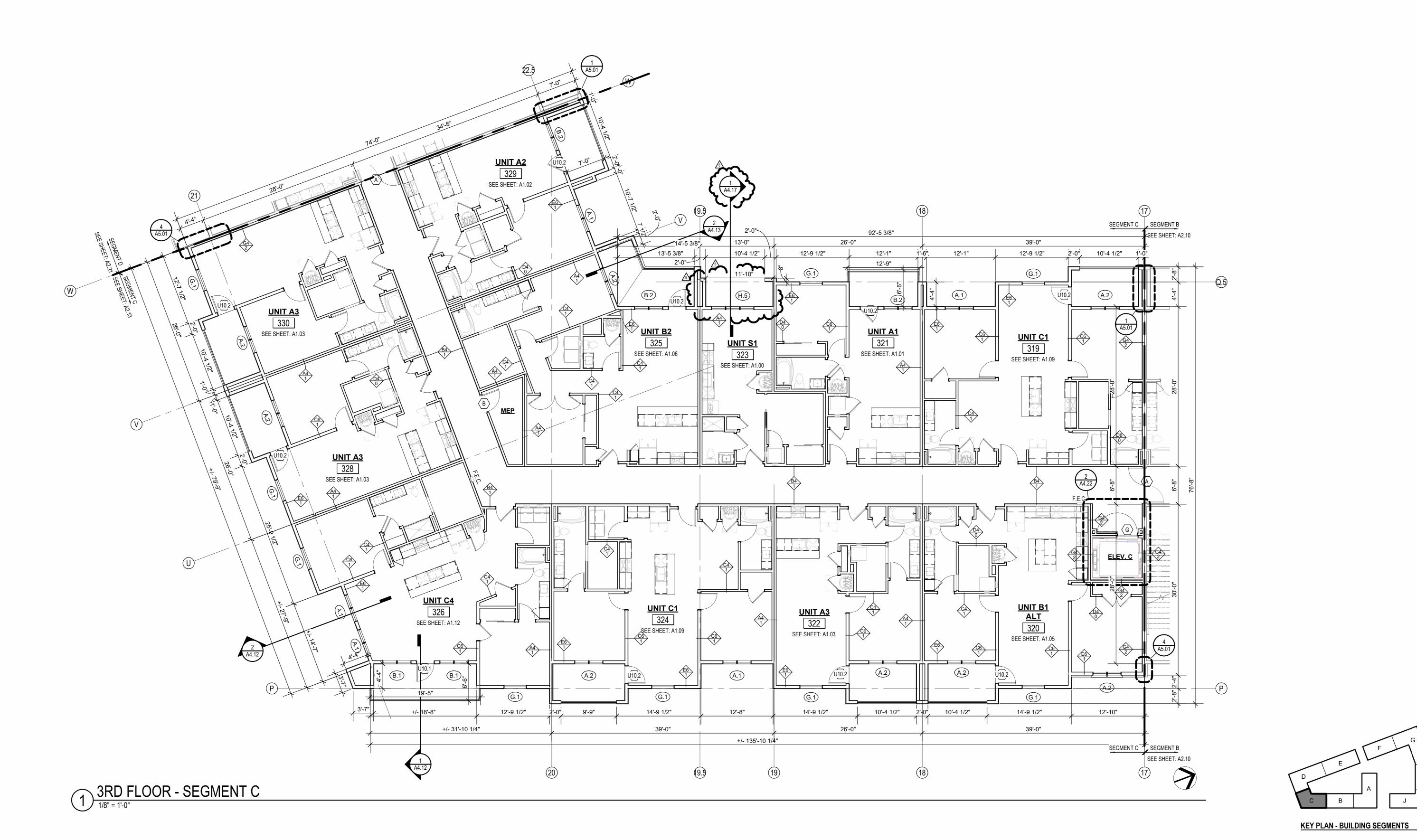
KEY PLAN - BUILDING SEGMENTS

SHEET NAME
SEGMENT C 2ND FLOOR
PLAN
SHEET NO.

OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

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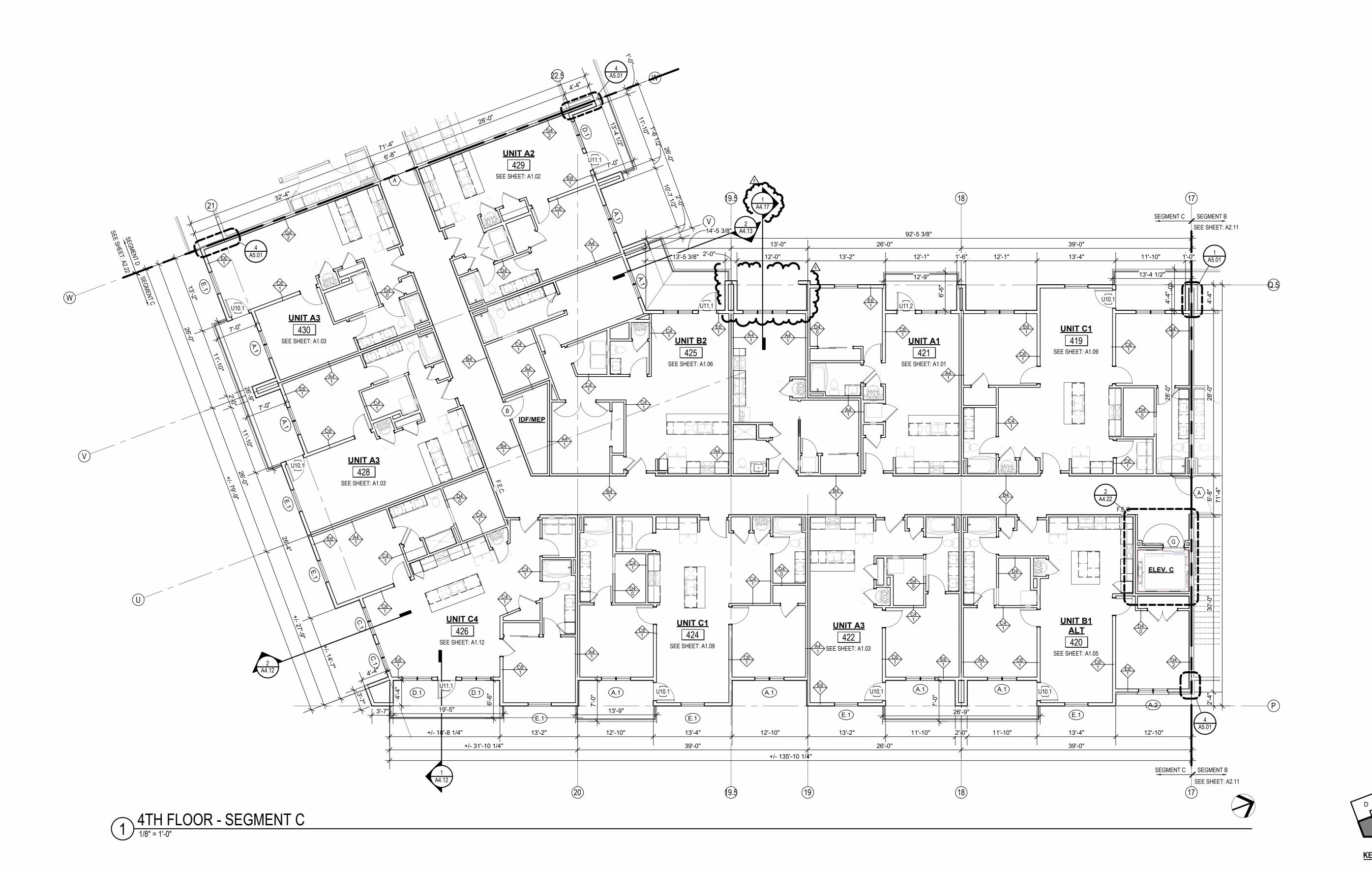
8 23 07 31 ASI 4 ЈОВ NO. **705921 DRAWN BY** TSC/SIW SHEET NAME
SEGMENT C 3RD FLOOR
PLAN

DATE **03.15.2023**

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8 23 07 31 ASI 4 ЈОВ NO. **705921** SHEET NAME
SEGMENT C 4TH FLOOR
PLAN

DATE **03.15.2023**

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL

ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO

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ROOF PLAN GENERAL NOTES:

SEG C ROOF VENT CALCULATOR

Vented Net

254 in²

254 in²

254 in²

254 in²

(LOCATIONS AS NOTED ON DRAWINGS)

- MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT

HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN.

(LOCATIONS AS NOTED ON DRAWINGS)

- MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT

HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL

CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL

Venting Upper Roof Vent at Provided at

Total Net | Total Net | Vented Area | Free Area

1270 in²

1016 in²

1524 in²

1524 in² 1016 in²

DRAFTSTOP C-1

DRAFTSTOP C-2

DRAFTSTOP C-3

DRAFTSTOP C-4

DRAFTSTOP C-5

DRAFTSTOP C-6

2190 SF

1599 SF

2816 SF

2853 SF 1785 SF

1351 in²

1369 in² 857 in²

Free Area of | Free Area of | Percentage at | Per Static | Vented Units |

40.00%

50.00%

50.00%

50.00%

50.00%

CLEARANCES.

CLEARANCES.

ROOF VENTING LEGEND

UPPER VENTING

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT:

2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT:

Total Net

Venting

Provided

508 in²

508 in²

Free Area of Vented Net

Free Area

Static Vent

254 in²

STATIC VENTING

LOWER VENTING

Provided

762 in²

762 in²

508 in²

STATIC VENT

Per Lower Static Vents

REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED

PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.

ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

ATTIC VENTING REQUIREMENTS REQUIEMENTS PER 2018 IBC SECTION 1202.2: MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA

PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW PROPOSED ROOF VENTILATION LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT) HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

RAISED CEILING HEIGHT KEY

11'-0" CEILING 12'-0" CEILING

NOT FOR CONSTRUCTION

CONSTRUCTION As Noted on Plans Review

913.831. 913.831. SPJARCH.

SEGMENT C SEGMENT B
SEE SHEET: A2.11 **DRAFTSTOP C-6** FIRE-RETARDANT
TREATED SHEATHING,
48" ON EITHER SIDE OF
2-HR FIREWALL DRAFTSTOP C-5 DRAFTSTOP C-3 **DRAFTSTOP C-1** 1/4" / 1'-0" MIN AT ALL CRICKET TYP. \odot 0000 DRAFTSTOP C-2 DRAFTSTOP C-4 A4.12 SEGMENT C SEGMENT B
SEE SHEET: A2.11 ROOF - SEGMENT C

 \triangle REVISIONS

DATE **03.15.2023** Јов No. **705921** DRAWN BY TSC/SIW 4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT C ROOF PLAN

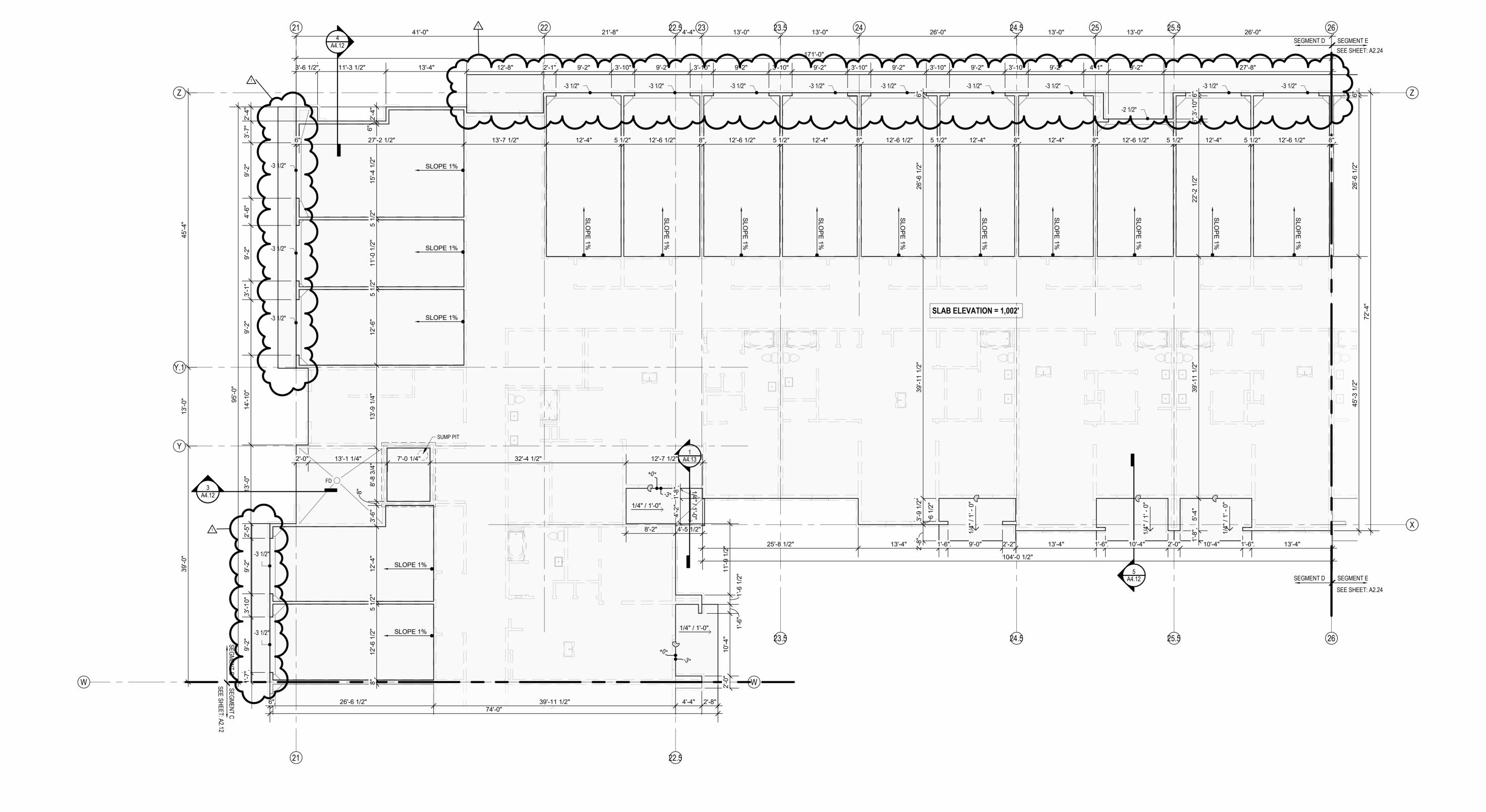
ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO

ENERGY SERVICE CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review



CONSTRUCTION



4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT D SLAB PLAN

SLAB PLAN - SEGMENT D

1/8" = 1'-0"

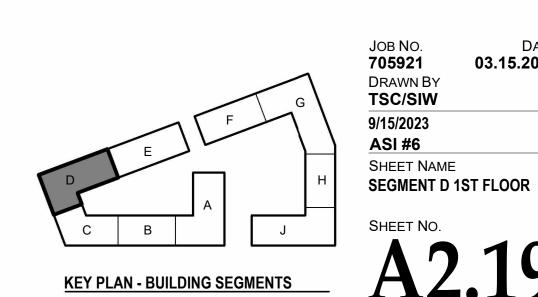
FLOOR PLAN GENERAL NOTES:

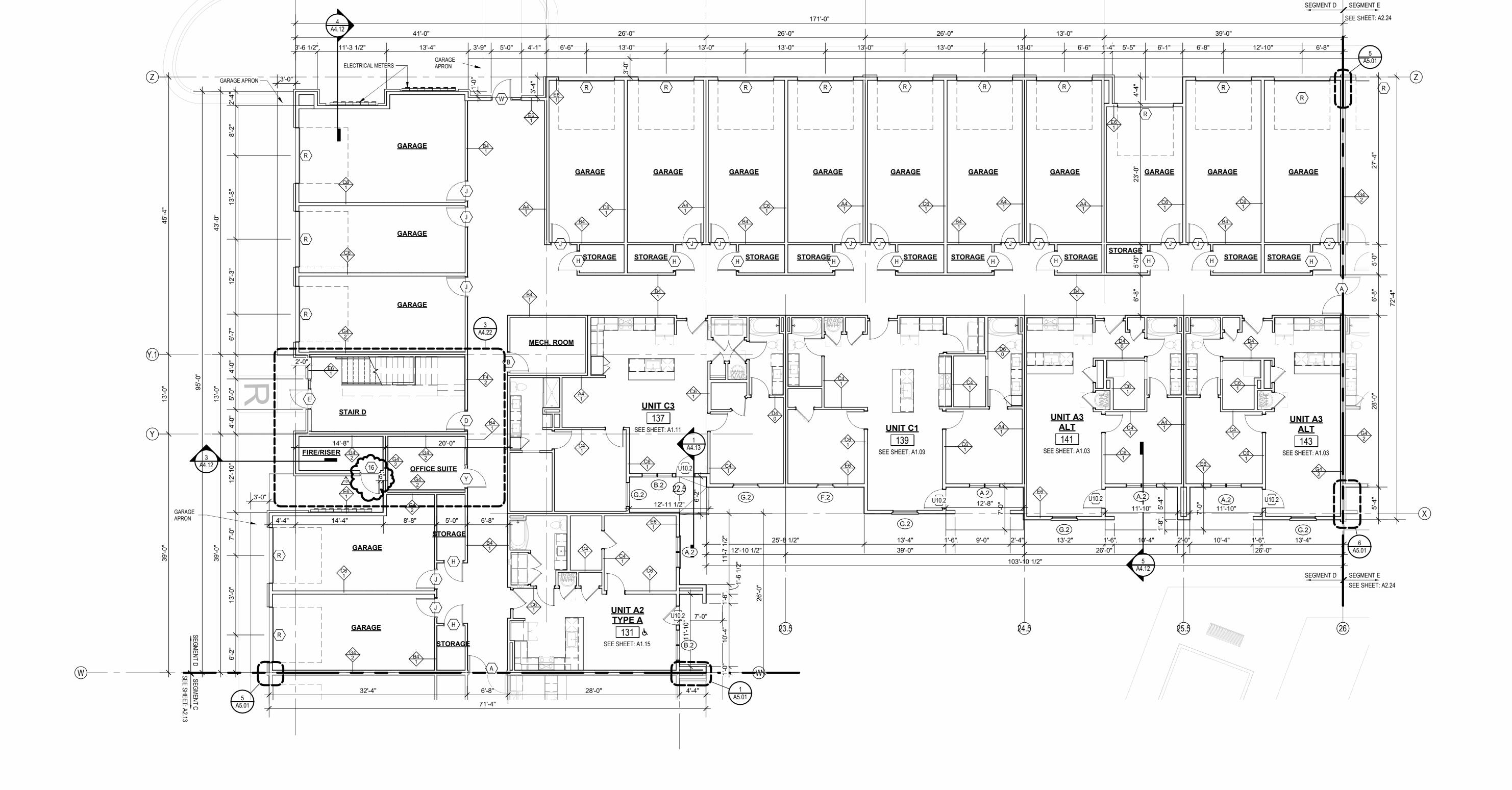


RAILINGS REMOVED FROM GROUND LEVEL PATIOS

2 23 0428 ADD 1/CC 2 3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4 9 23 08 17 ASI 5 10 23 0915 ASI 6

03.15.2023





FLOOR PLAN GENERAL NOTES:

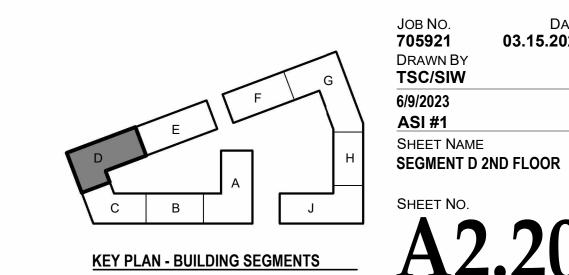
DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

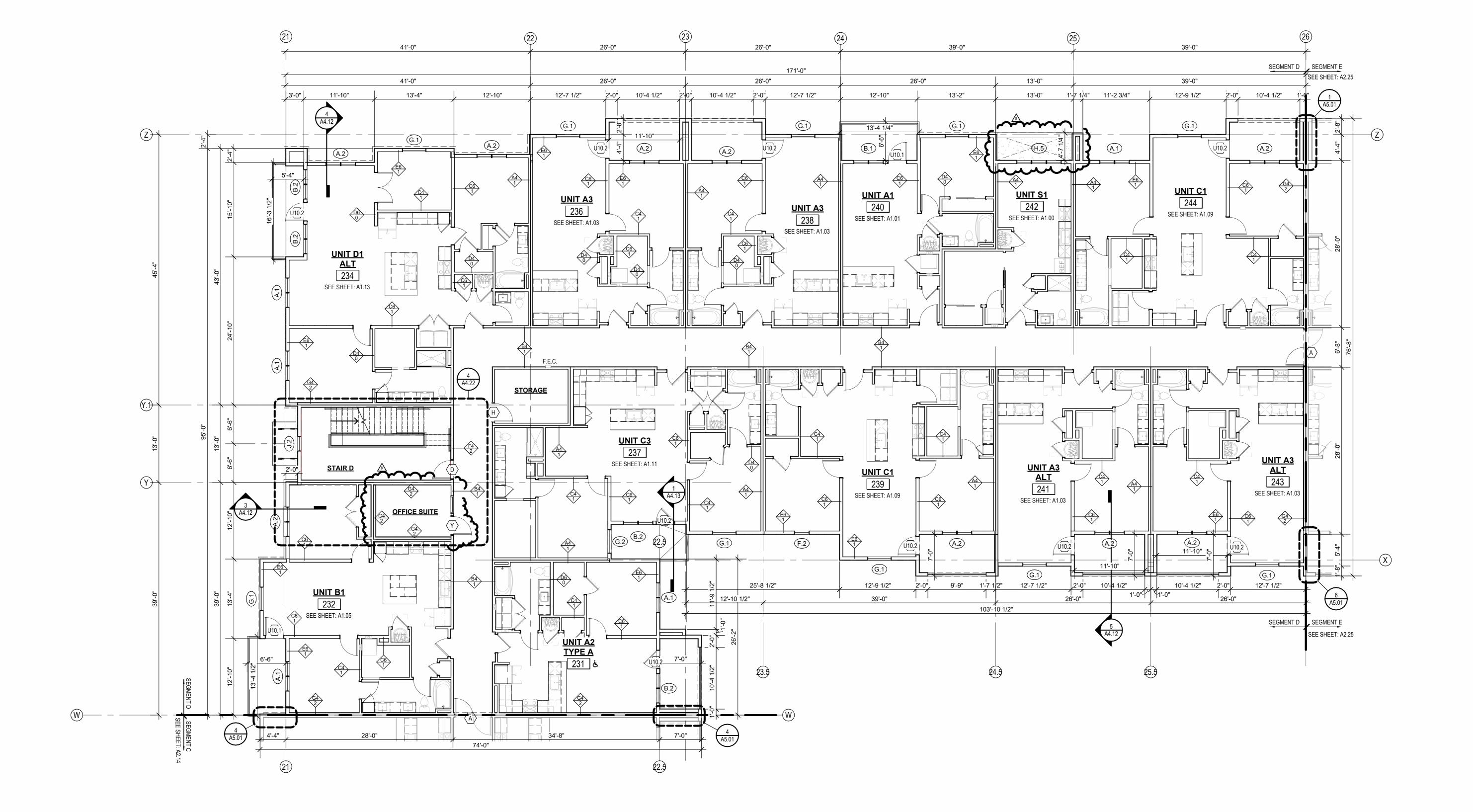
OTHERWISE NOTED.

TRIM/PANELING, ETC.

ARCHITECT PRIOR TO INSTALLATION.

CONSTRUCTION
As Noted on Plans Review





COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH



CONSTRUCTION

FLOOR PLAN GENERAL NOTES:

OTHERWISE NOTED.

TRIM/PANELING, ETC.

39'-0"

ARCHITECT PRIOR TO INSTALLATION.

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT

FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

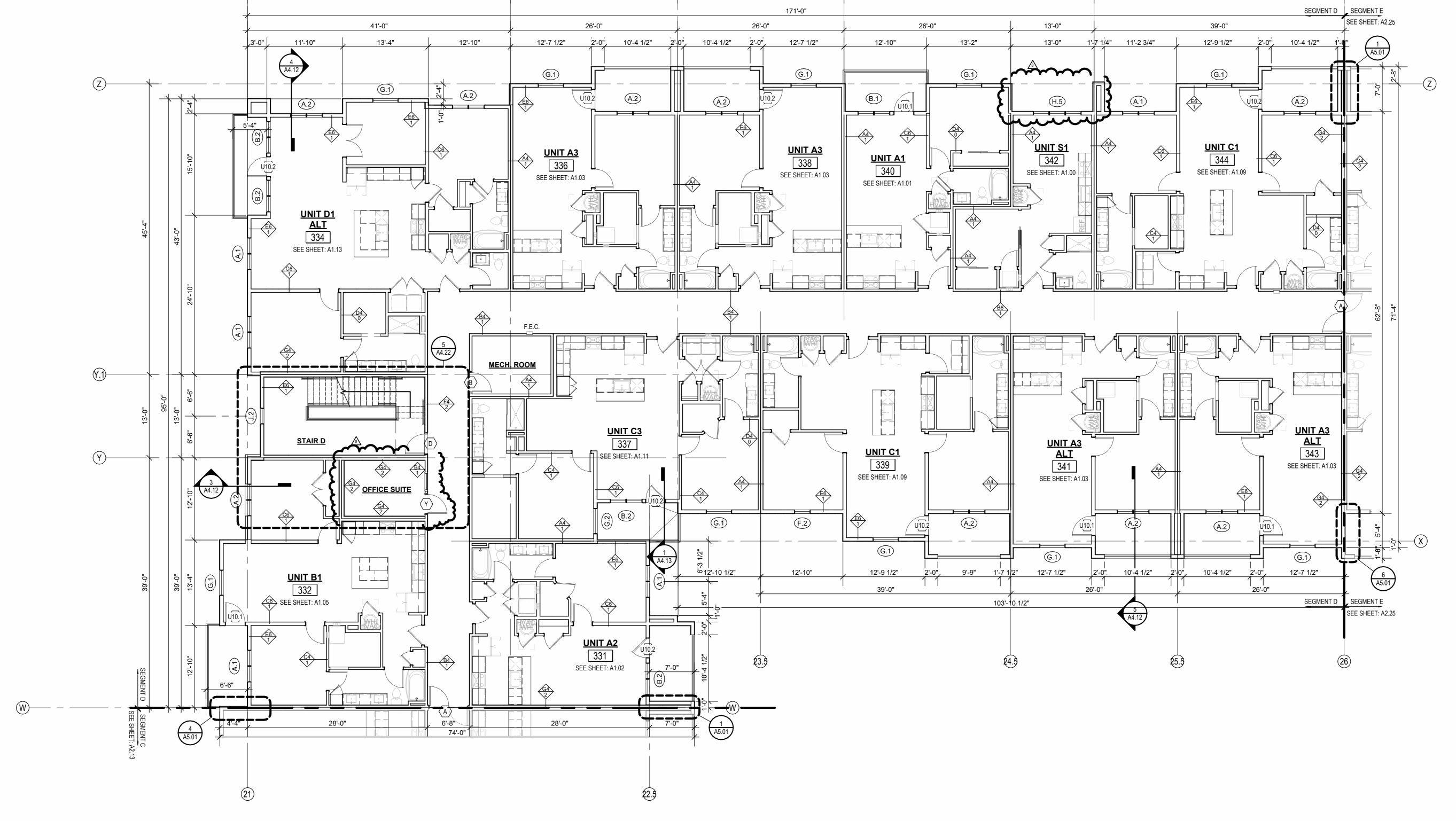
CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.

DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A

 \triangle REVISIONS 3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4

SHEET NAME
SEGMENT D 3RD FLOOR



26'-0"

41'-0"

26'-0"

DISTANCE OF 60" PERPENDICULAR TO THE DOOR.

TRIM/PANELING, ETC.

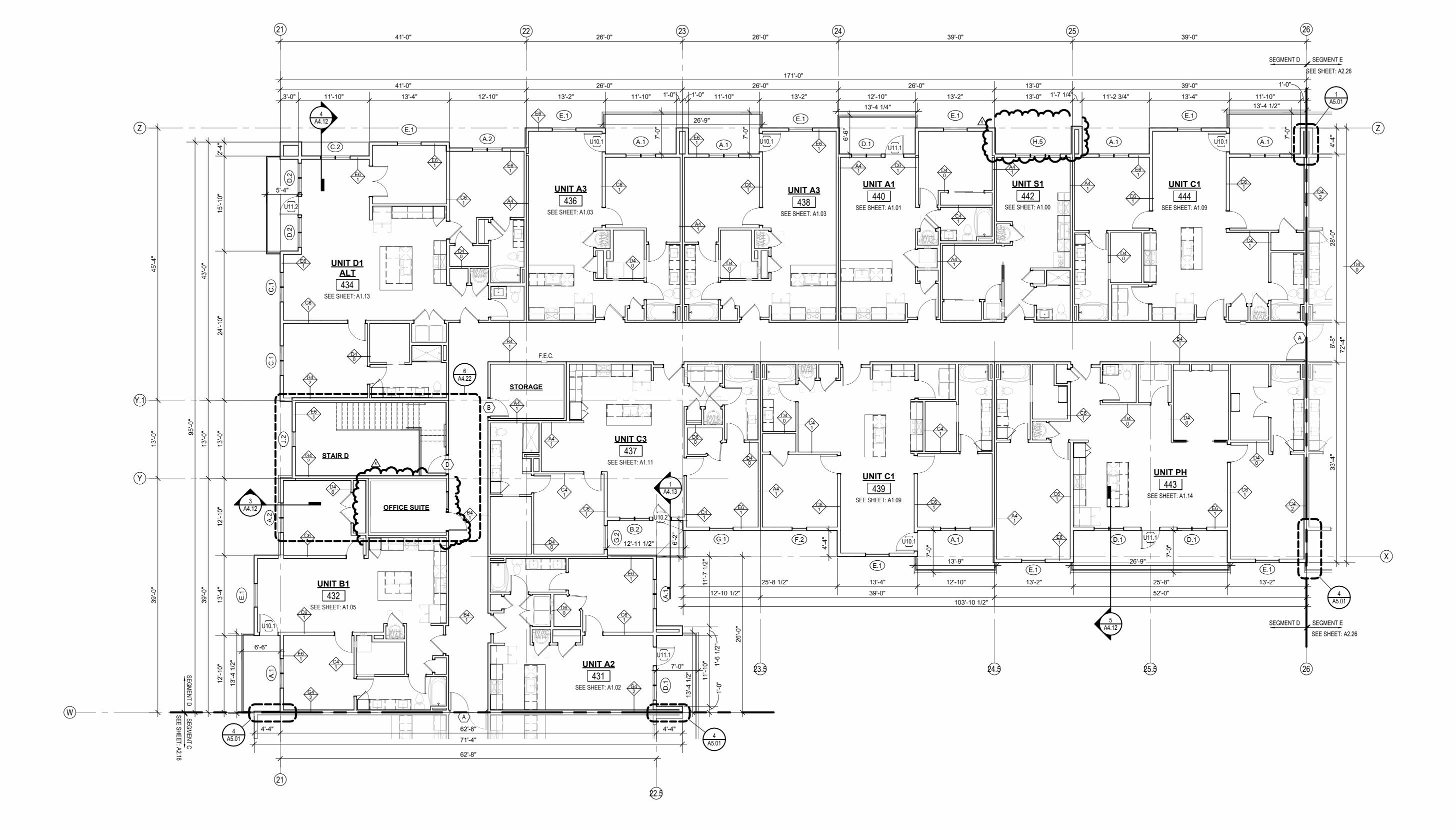
ARCHITECT PRIOR TO INSTALLATION.

ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO

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CONSTRUCTION



3 23 0511 ADDENDUM 2 8 23 07 31 ASI 4

SEG D ROOF VENT CALCULATOR												
						LOWER VENTING						
					STATIC VENTING			STATIC VENT		Total Lower		
Name	Area	Total Net Free Area of Venting Required	1	Vented Area Percentage at Upper Roof Provided		Vented Units Provided at Upper Roof	Total Net Free Area of Upper Venting Provided	Vented Net Free Area Per Lower Static Vent	Static Vents Provided	Venting Provided		
TSTOP D-1	1630 SF	782 in ²	1016 in ²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in²		
TSTOP D-2	2957 SF	1419 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²		
TSTOP D-3	2035 SF	977 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²		
TSTOP D-4	1533 SF	736 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²		
TSTOP D-5	1785 SF	857 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in ²		
TSTOP D-6	2179 SF	1046 in²	1270 in²	40.00%	254 in²	2	508 in²	254 in²	3	762 in²		
TSTOP D-7	1338 SF	642 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in ²		
TSTOP D-8	1291 SF	620 in ²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in ²		

ROOF VENTING LEGEND 2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT: 1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT: (LOCATIONS AS NOTED ON DRAWINGS) (LOCATIONS AS NOTED ON DRAWINGS) MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS. HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS *GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

FLOOR PLAN GENERAL NOTES:

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE

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ROOF PLAN GENERAL NOTES:

REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS. ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM. ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM. PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED

ARCHITECT PRIOR TO INSTALLATION.

PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS. ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

ATTIC VENTING REQUIREMENTS

REQUIEMENTS PER 2018 IBC SECTION 1202.2: MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW

PROPOSED ROOF VENTILATION LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT) HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

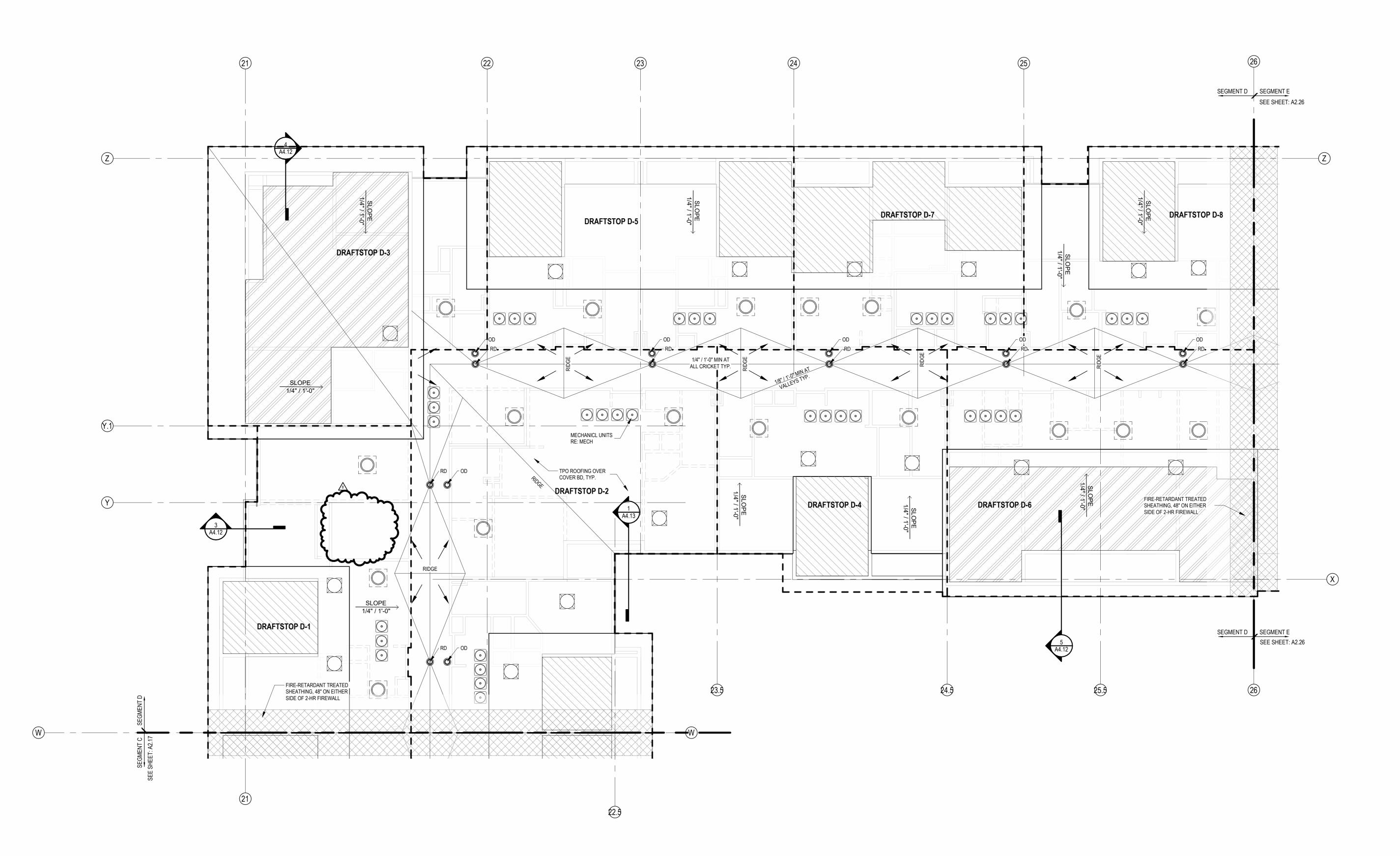
RAISED CEILING HEIGHT KEY

11'-0" CEILING 12'-0" CEILING

NOT FOR CONSTRUCTION

CONSTRUCTION As Noted on Plans Review

913.831. 913.831. SPJARCH.



ROOF - SEGMENT D

SHEET NAME
SEGMENT D ROOF PLAN

 \triangle REVISIONS

10'-4"

14'-0"

11'-6"

12'-8"

SEGMENT D SEE SHEET: A2.18

SLAB PLAN - SEGMENT E

13'-4"

FLOOR PLAN GENERAL NOTES: RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO

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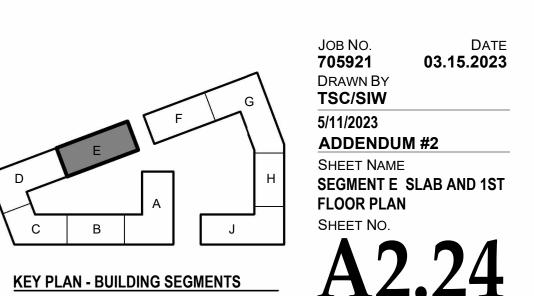


CONSTRUCTION
As Noted on Plans Review

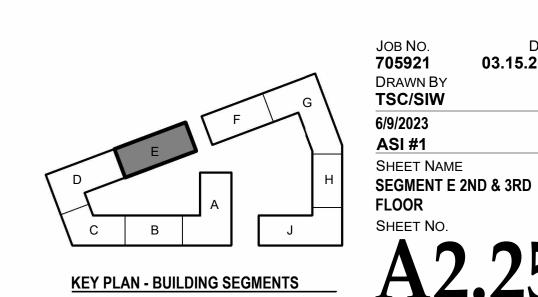


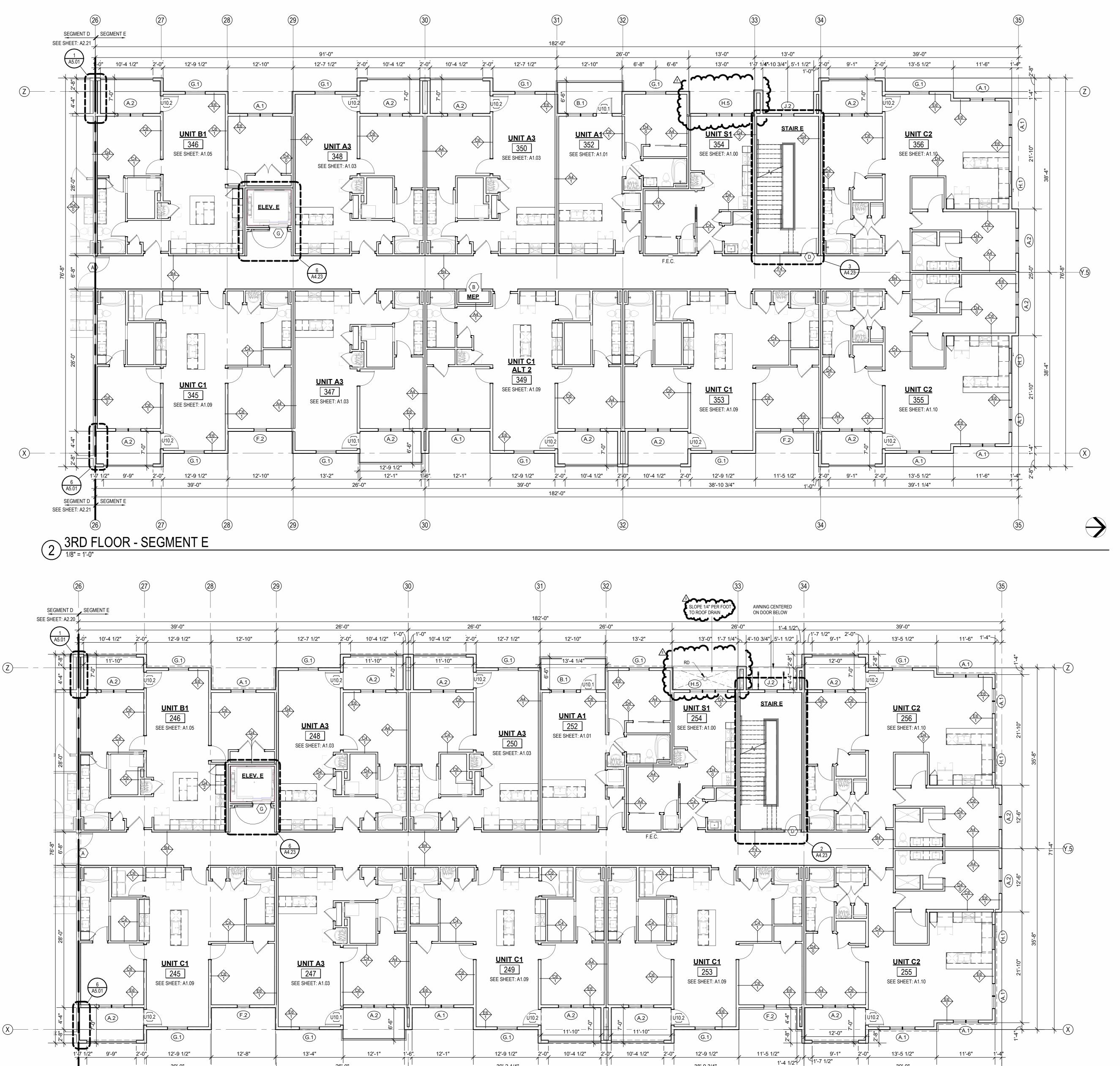


 \triangle REVISIONS 3 23 0511 ADDENDUM 2



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182'-0"

SEGMENT D
SEE SHEET: A2.20

2ND FLOOR - SEGMENT E

FLOOR PLAN GENERAL NOTES:

RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL

LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS,

CONSTRUCTION As Noted on Plans Review

NOT FOR

CONSTRUCTION

TRIM/PANELING, ETC. COORDINATE SECURITY, IT & A/V REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

ROOF PLAN GENERAL NOTES:

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ATTIC VENTING REQUIREMENTS REQUIEMENTS PER 2018 IBC SECTION 1202.2:

MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW

PROPOSED ROOF VENTILATION LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)

HIGH: AURA ROOF VENT (254 SQ. IN NET FREE AREA PER VENT)

RAISED CEILING HEIGHT KEY

11'-0" CEILING

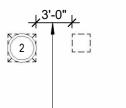
12'-0" CEILING

SEG E ROOF VENT CALCULATOR													
	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UI	PPER VENTING	LOWER VENTING						
					STATIC	VENTING	Total Net Free Area of Upper Venting Provided	STATIC VENT					
Name					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof		Vented Net Free Area Per Lower Static Vent	Static Vents Provided	Total Lower Venting Provided			
RAFTSTOP E-1	2823 SF	1355 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²			
RAFTSTOP E-2	1785 SF	857 in²	1016 in²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in²			
RAFTSTOP E-3	2615 SF	1255 in²	1270 in ²	40.00%	254 in²	2	508 in ²	254 in²	3	762 in²			
RAFTSTOP E-4	1746 SF	838 in²	1016 in ²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in²			
RAFTSTOP E-5	1671 SF	802 in ²	1016 in ²	50.00%	254 in²	2	508 in ²	254 in²	2	508 in ²			
RAFTSTOP F-6	2917 SF	1400 in ²	1524 in ²	50.00%	254 in²	3	762 in ²	254 in ²	3	762 in ²			

ROOF VENTING LEGEND

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT: (LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES. NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

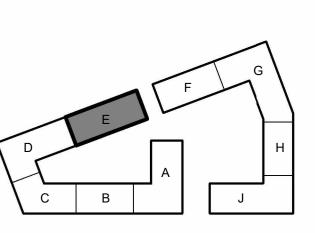


2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT: (LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

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SEGMENT E 4TH FLOOR &
ROOF PLAN