



TRILOGY

A NORTHPOINT PROPERTY

PROJECT INFORMATION

PROJECT ADDRESS:
80 & 810 NORTH WARD ROAD
LEE'S SUMMIT
JACKSON
MISSOURI

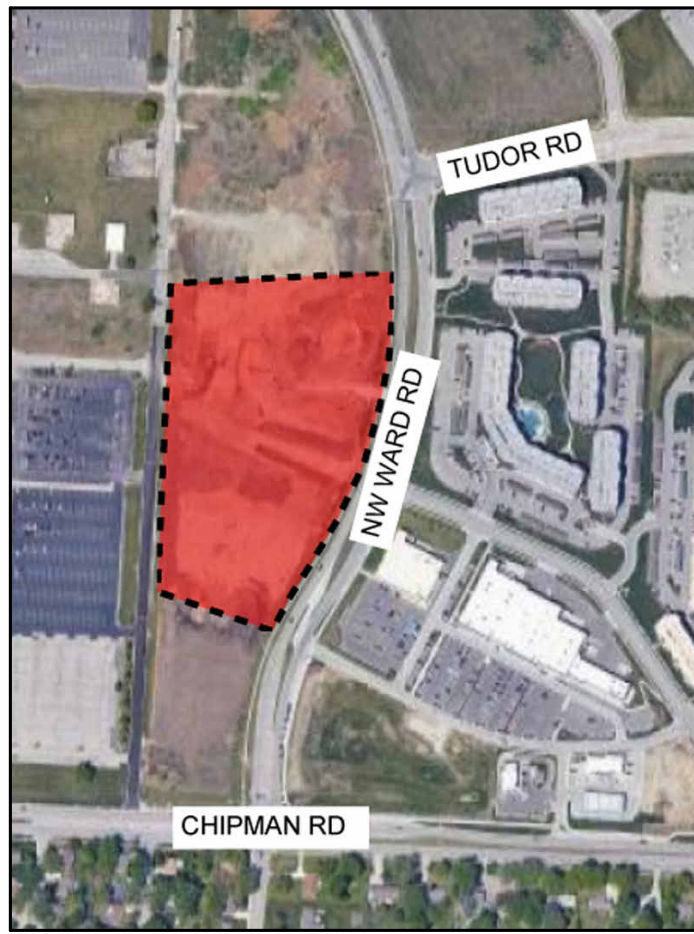
SITE DATA

TOTAL LAND AREA	11.83 ACRES (513,315 SF)
TOTAL BUILDING FOOTPRINT	114,938 SF
BUILDING 1	62,085 SF
BUILDING 2	52,851 SF
TOTAL BUILDING AREA	474,067 SF
BUILDING 1	251,800 SF
BUILDING 2	222,457 SF
TOTAL RESIDENTIAL UNIT COUNT	323
BUILDING 1	178
BUILDING 2	145
DENSITY (UNITS/ACRE)	27/ACRE

PARKING DATA

VEHICLE PARKING	
TOTAL PARKING SPACES REQUIRED	565 (1.75/DU)
TOTAL PARKING SPACES PROVIDED	579
SURFACE	406
DETACHED GARAGE	48
TUCK UNDER GARAGE	125

VICINITY MAP



PROJECT TEAM

OWNER: NORTHPOINT DEVELOPMENT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (816) 888-7380 EMAIL: BRAD@NORTHPOINTKC.COM CONTACT: BRAD HAYMOND	ARCHITECT: NSPJ ARCHITECTS, P.A. 3315 N. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913) 831-1415 FAX: (913) 831-1583 EMAIL: THOMAS@NSPJARCH.COM CONTACT: TM HOWBURG, AIA
CIVIL ENGINEER: SITEPOINT 3315 N OAK TRAFFICWAY KANSAS CITY, MO 64116 TEL: (816) 888-7380 EMAIL: NHAAS@NORTHPOINTKC.COM CONTACT: NEIL HAAS	STRUCTURAL ENGINEER: KRUDWIG STRUCTURAL ENGINEERS, INC. 8801 REMNER AVENUE, SUITE 407 LENEXA, KS 66219 TEL: (913) 650-0584 EMAIL: JKRUDWIG@KRUDWIG.COM CONTACT: JOHN KRUDWIG
MEP ENGINEER: LATIMER, SOMMER & ASSOCIATES 3539 SW SUMMERFIELD DR, SUITE A TOPEKA, KS 66614 TEL: (785) 233-3232 EMAIL: RBEARDMORE@LSAPA.COM CONTACT: RICH BEARDMORE	LANDSCAPE ARCHITECT: NSPJ ARCHITECTS, P.A. 3315 N. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913) 831-1415 FAX: (913) 831-1583 EMAIL: BHUS@NSPJARCH.COM CONTACT: BRAD HUS
GENERAL CONTRACTOR: NEIGHBORS CONSTRUCTION COMPANY, INC. 1706 E 120th STREET OLATHE, KS 66061 TEL: (913) 422-5555 EMAIL: RTEERRILL@NEIGHBORSCONSTRUCTION.COM CONTACT: RYAN TERRILL	INTERIOR DESIGNER: LOWERY DESIGN GROUP 2200 W. 75TH STREET, SUITE 102 PRAIRIE VILLAGE, KS 66208 TEL: (720) 212-6841 EMAIL: ERIN@LOWERYDESIGNGROUP.COM CONTACT: ERIN LOWERY

PROJECT GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE LAWS, REGULATIONS, CODES AND AMENDMENTS.
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
- DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED ITEMS AND WORK IS REQUIRED.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS AND TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS/AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE. REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN, ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.
- IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.
- IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO SUCH ITEMS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT.
- EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSIDERED AS ACCEPTANCE OF ALL SUBSURFACES.

UNIT MIX - BLDG. 1			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	13	5.0%	8929 SF
UNIT A2	10	4.2%	7235 SF
UNIT A2 TYPE A	2	0.8%	1451 SF
UNIT A3	33	14.9%	25824 SF
UNIT A3 ALT	12	5.5%	9540 SF
	70	30.4%	52707 SF
1 BED / 1 BATH / DEN			
UNIT B1	9	5.3%	9186 SF
UNIT B1 ALT	4	2.4%	4186 SF
UNIT B2	4	2.6%	4598 SF
UNIT B4	1	0.7%	1148 SF
	18	11.0%	19117 SF
2 BED / 2 BATH			
UNIT C1	32	21.1%	36713 SF
UNIT C1 ALT 2	2	1.3%	2294 SF
UNIT C1 ALT 3	4	2.7%	4692 SF
UNIT C1 TYPE A	1	0.7%	1147 SF
UNIT C2	14	9.9%	17229 SF
UNIT C3	8	5.6%	9638 SF
UNIT C4	4	2.8%	4947 SF
	65	44.1%	78621 SF
2 BED / 2 BATH / DEN			
UNIT D1	3	2.6%	4497 SF
UNIT D1 ALT	3	2.6%	4497 SF
UNIT PH	6	5.5%	9593 SF
	12	10.7%	16538 SF
GUEST SUITE	1	0.2%	358 SF
	1	0.2%	358 SF
STUDIO			
UNIT S1	10	2.8%	4800 SF
UNIT S1 ALT	3	0.8%	1446 SF
	13	3.6%	6246 SF
TOTALS	179	100.0%	173607 SF

UNIT MIX - BLDG. 2			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	7	3.2%	4647 SF
UNIT A2	11	5.6%	7980 SF
UNIT A2 TYPE A	2	1.0%	1451 SF
UNIT A3	18	9.8%	14086 SF
UNIT A3 ALT	18	10.0%	14322 SF
UNIT A4	3	1.5%	2221 SF
	59	31.1%	44707 SF
1 BED / 1 BATH / DEN			
UNIT B1	6	4.3%	6124 SF
UNIT B3	4	3.0%	4241 SF
	10	7.2%	10365 SF
2 BED / 2 BATH			
UNIT C1	31	24.8%	35566 SF
UNIT C1 ALT	4	3.3%	4692 SF
UNIT C1 ALT 2	2	1.6%	2294 SF
UNIT C1 TYPE A	2	1.6%	2294 SF
UNIT C2	12	10.3%	14768 SF
UNIT C3	6	5.0%	7229 SF
	57	46.2%	66633 SF
2 BED / 2 BATH / DEN			
UNIT D1	8	8.4%	11993 SF
UNIT PH	4	4.4%	5376 SF
	12	12.8%	16368 SF
STUDIO			
UNIT S1	7	2.3%	3380 SF
	7	2.3%	3380 SF
TOTALS	145	100.0%	143603 SF

A NEW RESIDENTIAL COMMUNITY AT:

TRILOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS

1	23.04.11	CITY COMMENTS 1
2	23.05.11	ADDENDUM 2
3	23.07.31	AS1#4

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME COVER SHEET

SHEET NO.

A0.00

DATE 03.15.2023

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COVER SHEET

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DATE 03.15.2023

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2 AREA USE - B1 - 2ND FLR.
3/64" = 1'-0"



1 AREA USE - B1 - 1ST FLR.
3/64" = 1'-0"

AREA SUMMARY - BLDG. 1		
NAME	AREA SF.	% AREA
Building Common Area		
CLUBHOUSE	11073 SF	4.4%
CORRIDOR	24847 SF	10.0%
ELEC	331 SF	0.1%
GARAGE	14195 SF	5.7%
IDF MECH. ROOM	127 SF	0.1%
IDFMEP	171 SF	0.1%
IDFMECH. ROOM	127 SF	0.1%
MEP	795 SF	0.3%
POOL EQUIP	284 SF	0.1%
RES. STOR.	1212 SF	0.5%
RISER ROOM	186 SF	0.1%
STOR.	405 SF	0.2%
	53863 SF	21.5%
Exterior Area		
PATIO	15806 SF	6.3%
	15806 SF	6.3%
Major Vertical Penetration		
ELEV. A	288 SF	0.1%
ELEV. C	289 SF	0.1%
ELEV. D	289 SF	0.1%
ELEV. E	289 SF	0.1%
STAIR A	1456 SF	0.6%
STAIR B1	1456 SF	0.6%
STAIR B2	1456 SF	0.6%
STAIR D	1361 SF	0.5%
STAIR E	1456 SF	0.6%
	8330 SF	3.3%
Store Area		
GUEST SUITE	358 SF	0.1%
UNIT A1	8629 SF	3.4%
UNIT A2	7255 SF	2.9%
UNIT A2 TYPE A	1451 SF	0.6%
UNIT A3	25824 SF	10.3%
UNIT A3 ALT	9548 SF	3.8%
UNIT B1	9185 SF	3.7%
UNIT B1 ALT	4185 SF	1.7%
UNIT B2	4598 SF	1.8%
UNIT B4	1148 SF	0.5%
UNIT C1	36713 SF	14.7%
UNIT C1 ALT 2	1127 SF	0.4%
UNIT C1 ALT 3	4692 SF	1.9%
UNIT C1 TYPE A	1147 SF	0.5%
UNIT C2	17229 SF	6.9%
UNIT C3	9639 SF	3.8%
UNIT C4	4847 SF	2.0%
UNIT D1	4497 SF	1.8%
UNIT D1 ALT	2898 SF	1.2%
UNIT D1 ALT 2	1459 SF	0.6%
UNIT PH	9563 SF	3.8%
UNIT S1	6240 SF	2.5%
	172474 SF	68.9%
TOTAL	250473 SF	100.0%

UNIT MIX - BLDG. 1			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	43	5.0%	8629 SF
UNIT A2	18	4.2%	7255 SF
UNIT A2 TYPE A	3	0.8%	1451 SF
UNIT A3	53	15.0%	25824 SF
UNIT A3 ALT	12	5.5%	9548 SF
1 BED / 1 BATH / DEN	70	30.6%	52707 SF
2 BED / 2 BATH			
UNIT B1	9	5.3%	9185 SF
UNIT B1 ALT	4	2.4%	4185 SF
UNIT B2	4	2.7%	4598 SF
UNIT B4	1	0.7%	1148 SF
2 BED / 2 BATH / DEN	18	11.1%	19117 SF
3 BED / 3 BATH			
UNIT C1	32	21.3%	36713 SF
UNIT C1 ALT 2	1	0.7%	1127 SF
UNIT C1 ALT 3	4	2.7%	4692 SF
UNIT C1 TYPE A	1	0.7%	1147 SF
UNIT C2	14	10.0%	17229 SF
UNIT C3	8	5.6%	9639 SF
UNIT C4	4	2.9%	4847 SF
2 BED / 2 BATH / DEN	64	43.8%	75494 SF
4 BED / 4 BATH			
UNIT D1	3	2.6%	4497 SF
UNIT D1 ALT	2	1.7%	2898 SF
UNIT D1 ALT 2	1	0.9%	1459 SF
UNIT PH	6	5.5%	9563 SF
18000 SF	12	10.8%	18000 SF
GUEST SUITE			
GUEST SUITE	1	0.2%	358 SF
STUDIO			
UNIT S1	13	3.6%	6240 SF
TOTALS	178	100.0%	172474 SF

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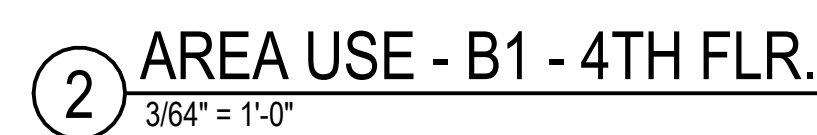
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1 23.04.11 CITY COMMENTS 1

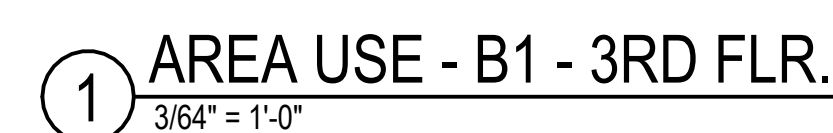
JOB NO.
705921
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CITY COMMENTS
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BUILDING 1 AREA PLANS
SHEET NO.

DATE
03.15.2023
DATE
4/11/2023
SHEET NAME
BUILDING 1 AREA PLANS
SHEET NO.

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UNIT MIX - BLDG. 1			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	13	5.0%	8629 SF
UNIT A2	10	4.2%	7256 SF
UNIT A2 TYPE A	2	0.8%	1451 SF
UNIT A3	33	15.0%	2384 SF
UNIT A3 ALT	12	5.5%	5945 SF
UNIT A3 ALT 2	70	30.6%	5207 SF
1 BED / 1 BATH / DEN			
UNIT B1	9	5.3%	9196 SF
UNIT B1 ALT	4	2.4%	4165 SF
UNIT B4	1	0.7%	4388 SF
UNIT B4	1	0.7%	1146 SF
UNIT B4	18	11.1%	1911 SF
2 BED / 2 BATH			
UNIT C1	32	21.3%	3871 SF
UNIT C1 TYPE 2	1	0.7%	1127 SF
UNIT C1 ALT 1	4	2.7%	4652 SF
UNIT C1 TYPE 1	1	0.7%	1147 SF
UNIT C2	14	10.0%	17229 SF
UNIT C3	8	5.0%	9038 SF
UNIT C4	4	2.9%	4947 SF
UNIT C4	64	43.8%	7549 SF
2 BED / 2 BATH / DEN			
UNIT D1	3	2.6%	4497 SF
UNIT D1 ALT 2	2	1.7%	2988 SF
UNIT D1 ALT 1	1	0.9%	1499 SF
UNIT FH	6	5.5%	5953 SF
UNIT FH	12	10.8%	16556 SF
GUEST			
GUEST SUITE	1	0.2%	358 SF
GUEST SUITE	1	0.2%	358 SF
STUDIO			
UNIT S1	13	3.8%	6240 SF
UNIT S1	13	3.8%	6240 SF
TOTAL	178	100.0%	172474 SF



TRILOGY

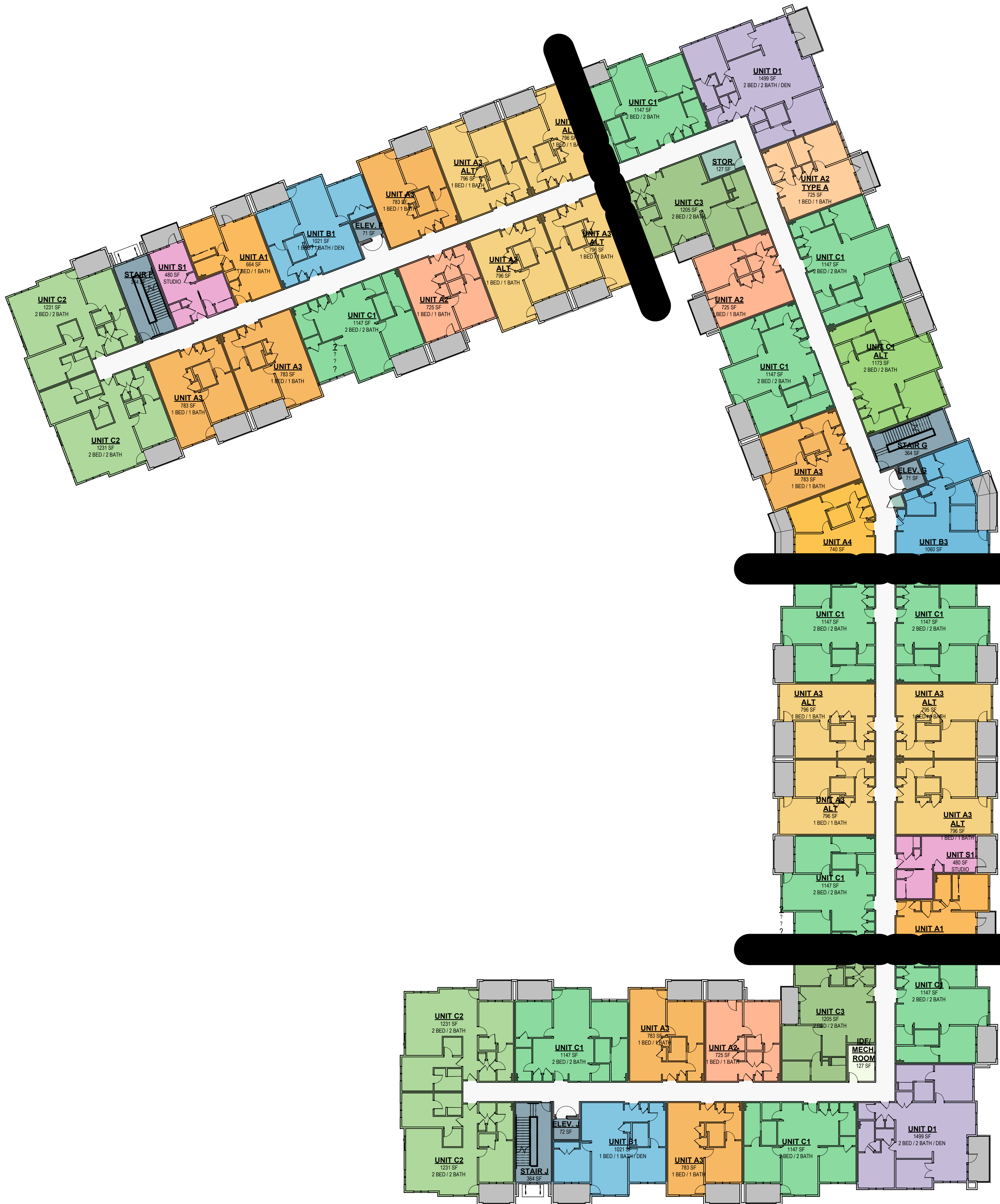
SHEET NO.

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4/7/2023 10:40:49 AM ARCH E1 30' x 42'

AREA SUMMARY - BLDG. 2		
NAME	AREA SF.	% AREA
Building Common Area		
BIKE SHOP	699 SF	0.3%
CORRIDOR	2457 SF	11.0%
DOG SPA	286 SF	0.1%
GARAGE	2572 SF	11.2%
IDFI MECH. ROOM	330 SF	0.2%
MAINTENANCE	1264 SF	0.6%
MEP	609 SF	0.3%
PATIO	76 SF	0.0%
RES. STOR.	3201 SF	1.4%
RISER ROOM	176 SF	0.1%
STOR.	166 SF	0.1%
	56602 SF	25.3%
Exterior Area		
PATIO	12785 SF	5.7%
	12785 SF	5.7%
Major Vertical Penetration		
ELEV. F	283 SF	0.1%
ELEV. G	355 SF	0.2%
ELEV. J	285 SF	0.1%
STAIR F	1456 SF	0.7%
STAIR G	1820 SF	0.8%
STAIR J	1456 SF	0.7%
STAIR J2	393 SF	0.2%
	6048 SF	2.7%
Shore Area		
GARAGE	3419 SF	1.5%
UNIT A1	4647 SF	2.1%
UNIT A2	7980 SF	3.6%
UNIT A2 TYPE A	1451 SF	0.6%
UNIT A3	14086 SF	6.3%
UNIT A3 ALT	14322 SF	6.4%
UNIT A4	2221 SF	1.0%
UNIT B1	6124 SF	2.7%
UNIT B3	4241 SF	1.9%
UNIT C1	35666 SF	16.9%
UNIT C1 ALT	4692 SF	2.1%
UNIT C1 ALT 2	3381 SF	1.5%
UNIT C1 TYPE A	2294 SF	1.0%
UNIT C2	14766 SF	6.6%
UNIT C3	7229 SF	3.2%
UNIT D1	11993 SF	5.4%
UNIT PH	6376 SF	2.9%
UNIT S1	3300 SF	1.5%
TOTAL	148149 SF	66.3%
	223584 SF	100.0%

UNIT MIX - BLDG. 2			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	7	3.2%	4647 SF
UNIT A2	11	5.5%	7980 SF
UNIT A2 TYPE A	2	1.0%	1451 SF
UNIT A3	18	9.7%	14086 SF
UNIT A3 ALT	18	9.9%	14322 SF
UNIT A4	3	1.5%	2221 SF
	59	30.9%	44707 SF
1 BED / 1 BATH / DEN			
UNIT B1	6	4.2%	6124 SF
UNIT B3	4	2.9%	4241 SF
	10	7.2%	10365 SF
2 BED / 2 BATH			
UNIT C1	31	24.6%	35666 SF
UNIT C1 ALT	4	3.2%	4692 SF
UNIT C1 ALT 2	3	2.3%	3381 SF
UNIT C1 TYPE A	2	1.6%	2294 SF
UNIT C2	12	10.2%	14766 SF
UNIT C3	6	5.0%	7229 SF
	58	46.9%	67530 SF
2 BED / 2 BATH / DEN			
UNIT D1	8	8.3%	11993 SF
UNIT PH	4	4.4%	6376 SF
	12	12.7%	18369 SF
STUDIO			
UNIT S1	7	2.3%	3300 SF
	7	2.3%	3300 SF
TOTALS	146	100.0%	144730 SF

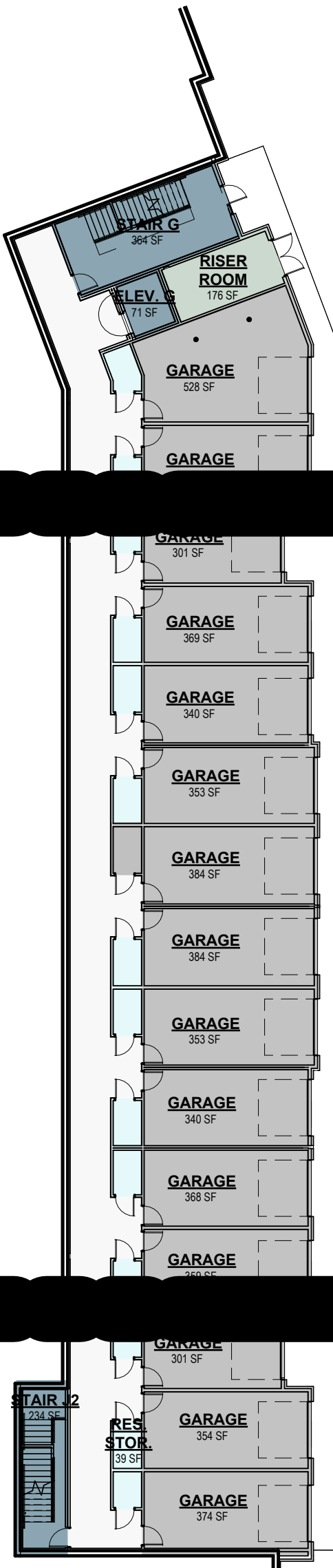


2 AREA USE - B2 - 2ND FLR.
3/64" = 1'-0"



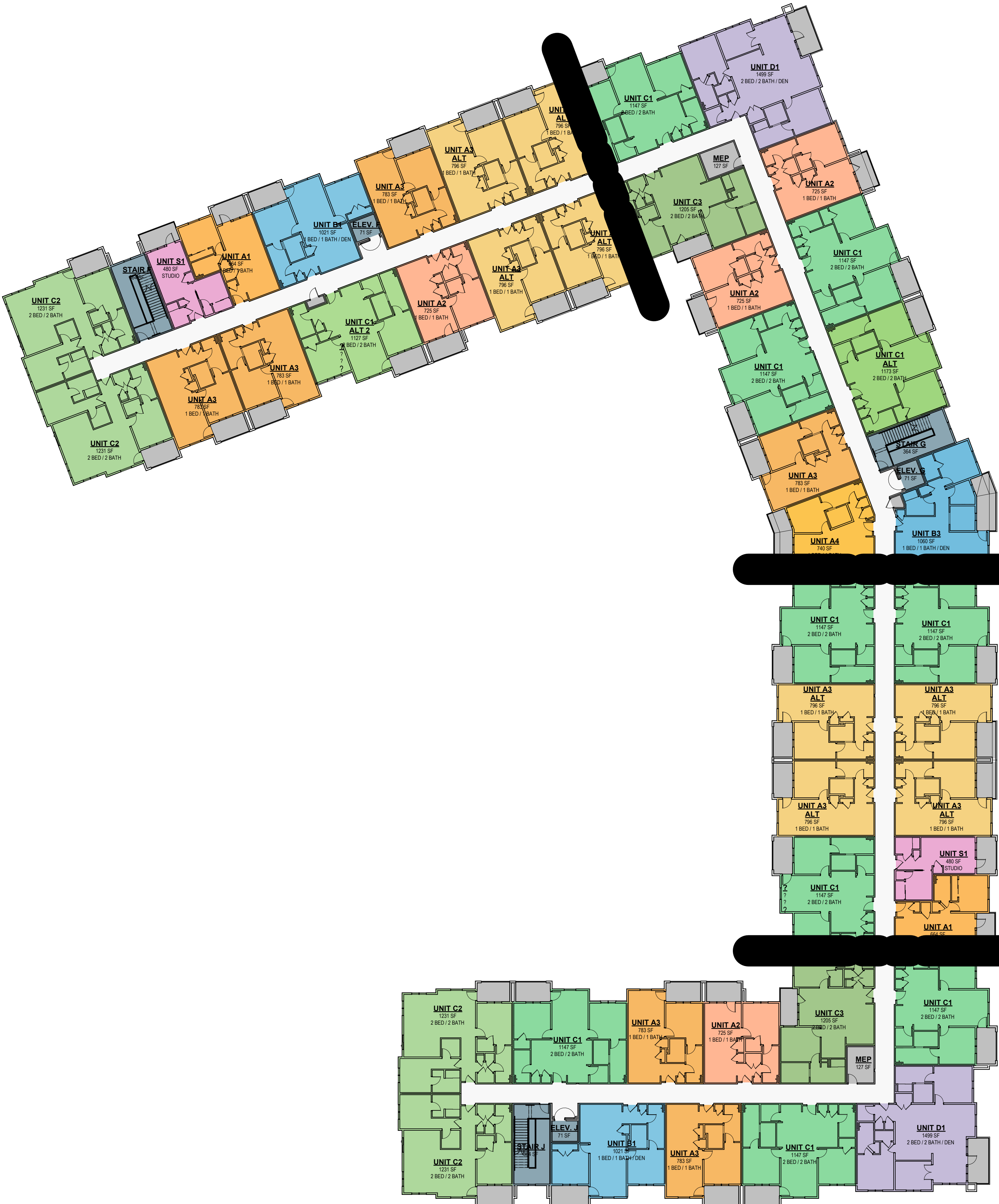
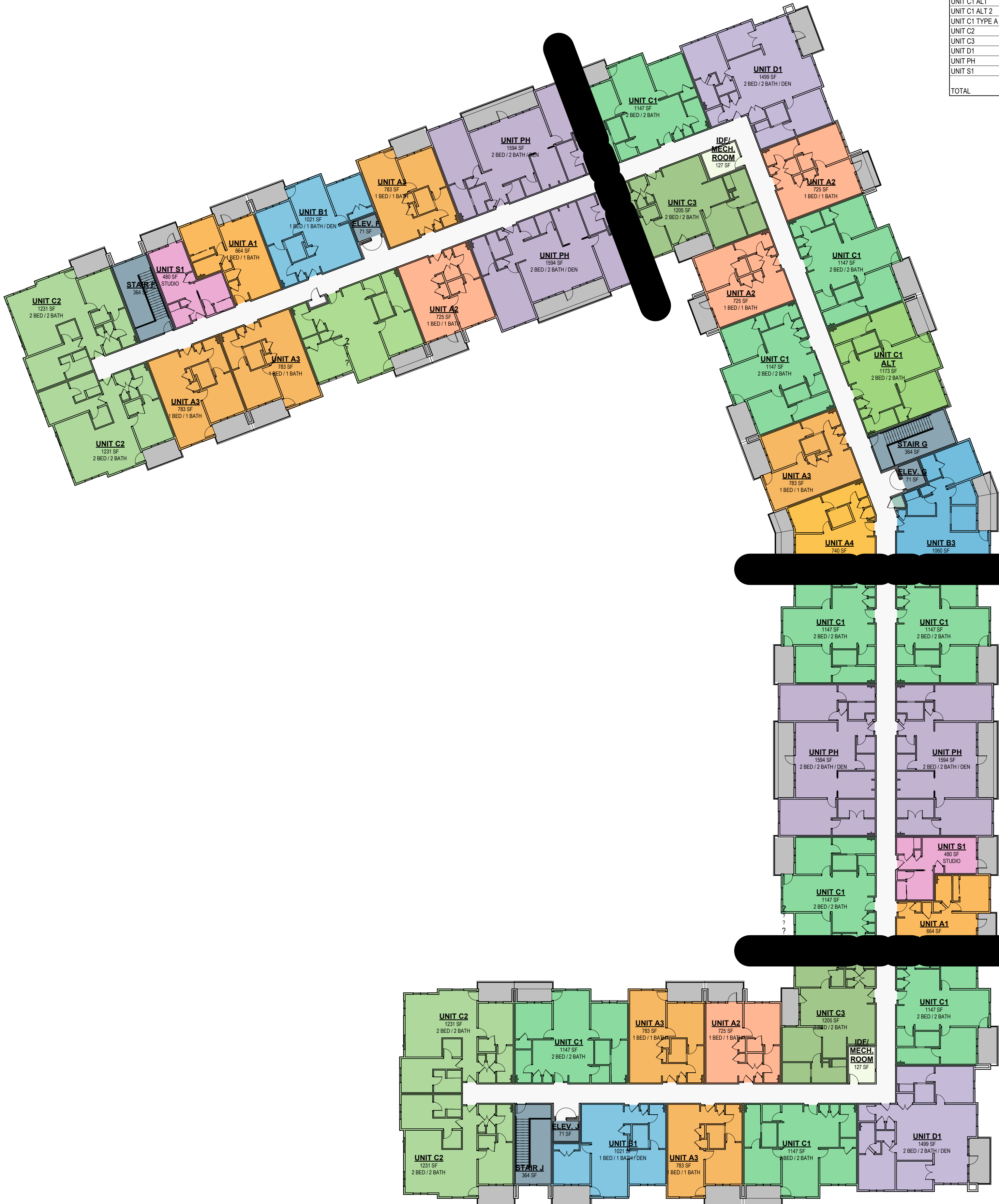
1 AREA USE - B2 - 1ST FLR.
3/64" = 1'-0"

3 AREA USE - B2 - BSMNT
3/64" = 1'-0"



AREA SUMMARY - BLDG. 2		
NAME	AREA SF.	% AREA
Building Common Area		
BIKE SHOP	699 SF	0.3%
CORRIDOR	24917 SF	11.0%
DOG SPA	286 SF	0.1%
GARAGE	25127 SF	11.2%
EXP. MECH. ROOM	360 SF	0.2%
MAINTENANCE	1264 SF	0.6%
MEP	609 SF	0.3%
PAINT	76 SF	0.0%
RES. STOR.	3201 SF	1.4%
RISER ROOM	176 SF	0.1%
STOR.	166 SF	0.1%
	66602 SF	25.3%
Exterior Area		
PAINT	12785 SF	5.7%
	12785 SF	5.7%
Major Vertical Penetration		
ELEV. F	283 SF	0.1%
ELEV. G	365 SF	0.2%
ELEV. J	265 SF	0.1%
STAIR F	1456 SF	0.7%
STAIR G	1820 SF	0.8%
STAIR J	1456 SF	0.7%
STAIR J2	363 SF	0.2%
	6048 SF	2.7%
Store Area		
GARAGE	3419 SF	1.5%
UNIT A1	4647 SF	2.1%
UNIT A2	7980 SF	3.6%
UNIT A2 TYPE A	1451 SF	0.6%
UNIT A3	14086 SF	6.3%
UNIT A3 ALT	14322 SF	6.4%
UNIT A4	2221 SF	1.0%
UNIT B1	6124 SF	2.7%
UNIT B3	4241 SF	1.9%
UNIT C1	35566 SF	15.9%
UNIT C1 ALT	4692 SF	2.1%
UNIT C1 ALT 2	3381 SF	1.5%
UNIT C1 TYPE A	2294 SF	1.0%
UNIT C2	14768 SF	6.6%
UNIT C3	7229 SF	3.2%
UNIT D1	11993 SF	5.4%
UNIT PH	6376 SF	2.9%
UNIT S1	3360 SF	1.5%
TOTAL	148149 SF	66.3%
	223584 SF	100.0%

UNIT MIX - BLDG. 2			
UNIT TYPE	# UNITS	% TOTAL	TOTAL SF.
1 BED / 1 BATH			
UNIT A1	7	3.2%	4647 SF
UNIT A2	11	5.5%	7980 SF
UNIT A2 TYPE A	2	1.0%	1451 SF
UNIT A3	18	9.7%	14086 SF
UNIT A3 ALT	18	9.9%	14322 SF
UNIT A4	3	1.5%	2221 SF
	59	30.9%	44707 SF
1 BED / 1 BATH / DEN			
UNIT B1	6	4.2%	6124 SF
UNIT B3	4	2.9%	4241 SF
	10	7.2%	10365 SF
2 BED / 2 BATH			
UNIT C1	31	24.6%	35566 SF
UNIT C1 ALT	4	3.2%	4692 SF
UNIT C1 ALT 2	3	2.3%	3381 SF
UNIT C1 TYPE A	2	1.6%	2294 SF
UNIT C2	12	10.2%	14768 SF
UNIT C3	6	5.0%	7229 SF
	58	46.9%	67930 SF
2 BED / 2 BATH / DEN			
UNIT D1	8	8.3%	11993 SF
UNIT PH	4	4.4%	6376 SF
	12	12.7%	18369 SF
STUDIO			
UNIT S1	7	2.3%	3360 SF
UNIT S1	7	2.3%	3360 SF
TOTALS	146	100.0%	141730 SF



② AREA USE - B2 - 4TH FLR.
3/64" = 1'-0"

① AREA USE - B2 - 3RD FLR.
3/64" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

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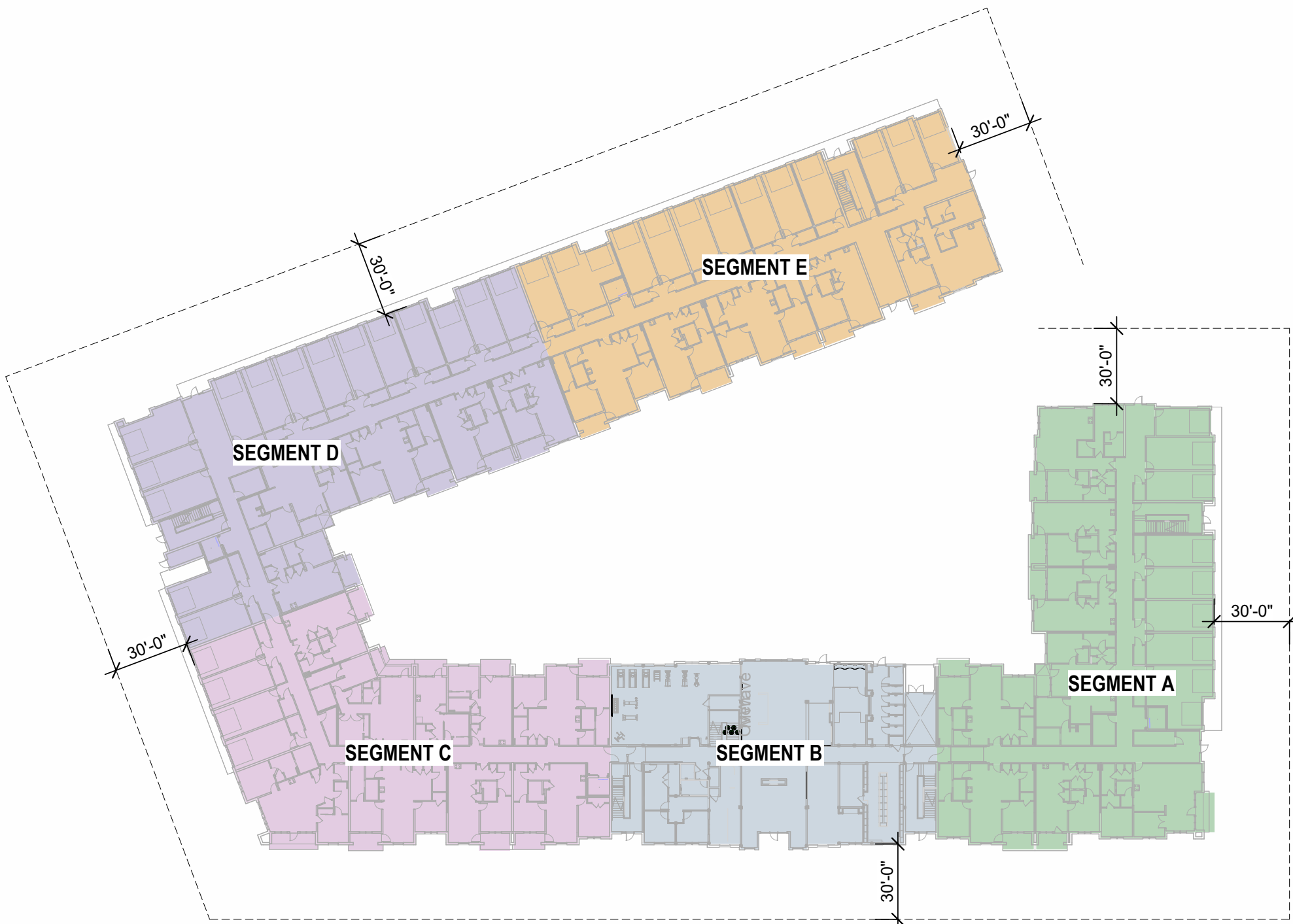
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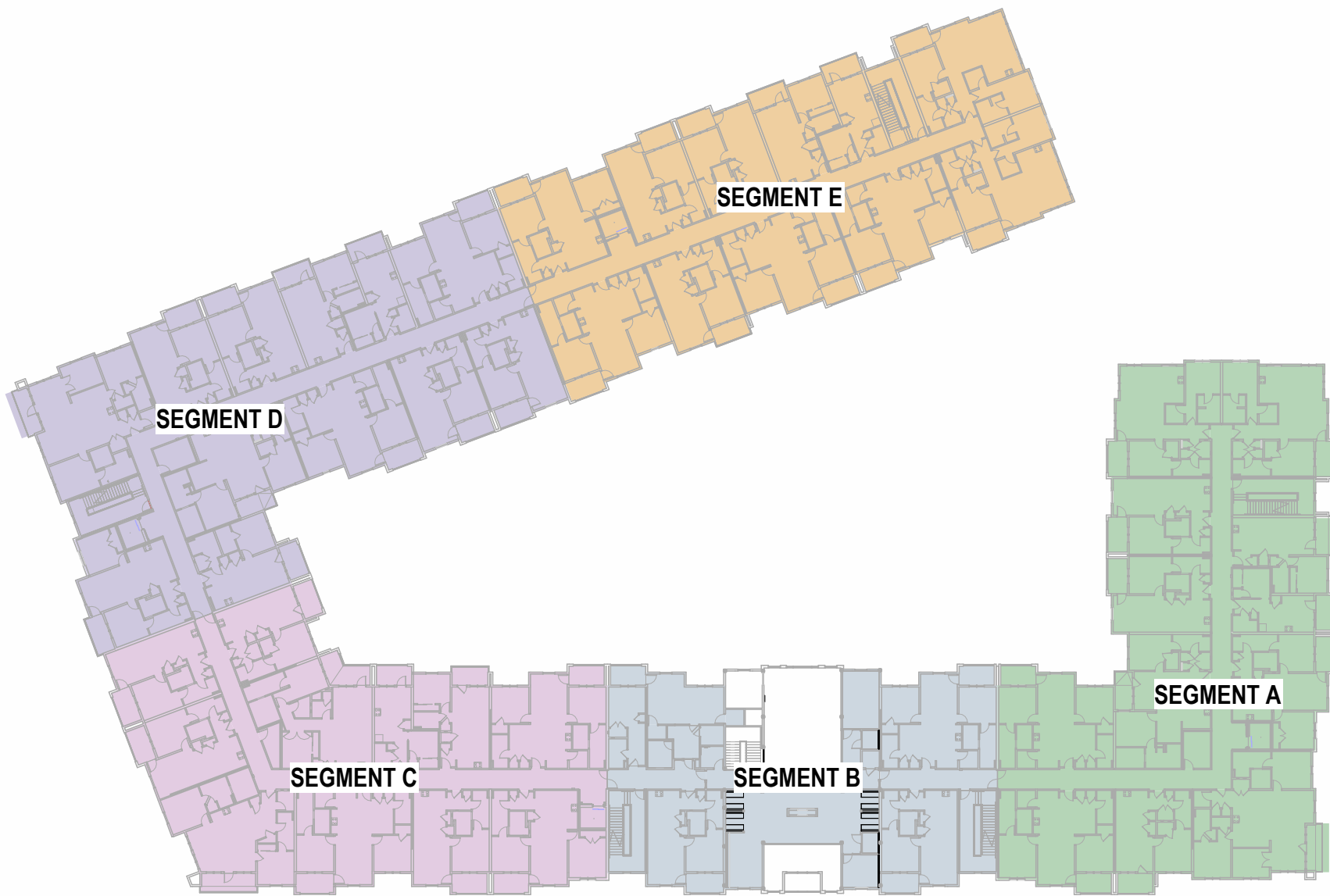
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DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME BUILDING 2 AREA PLANS

SHEET NO.

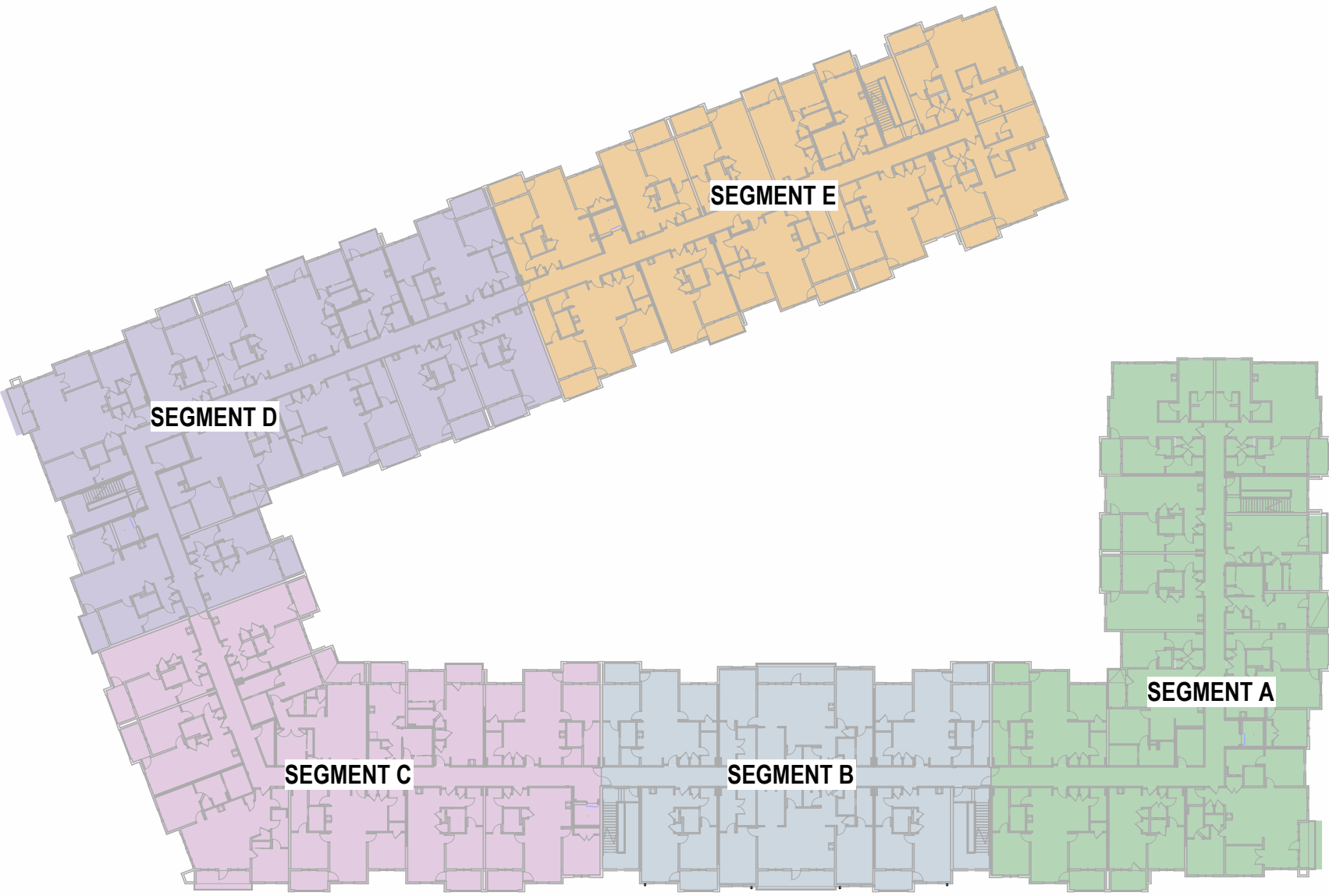
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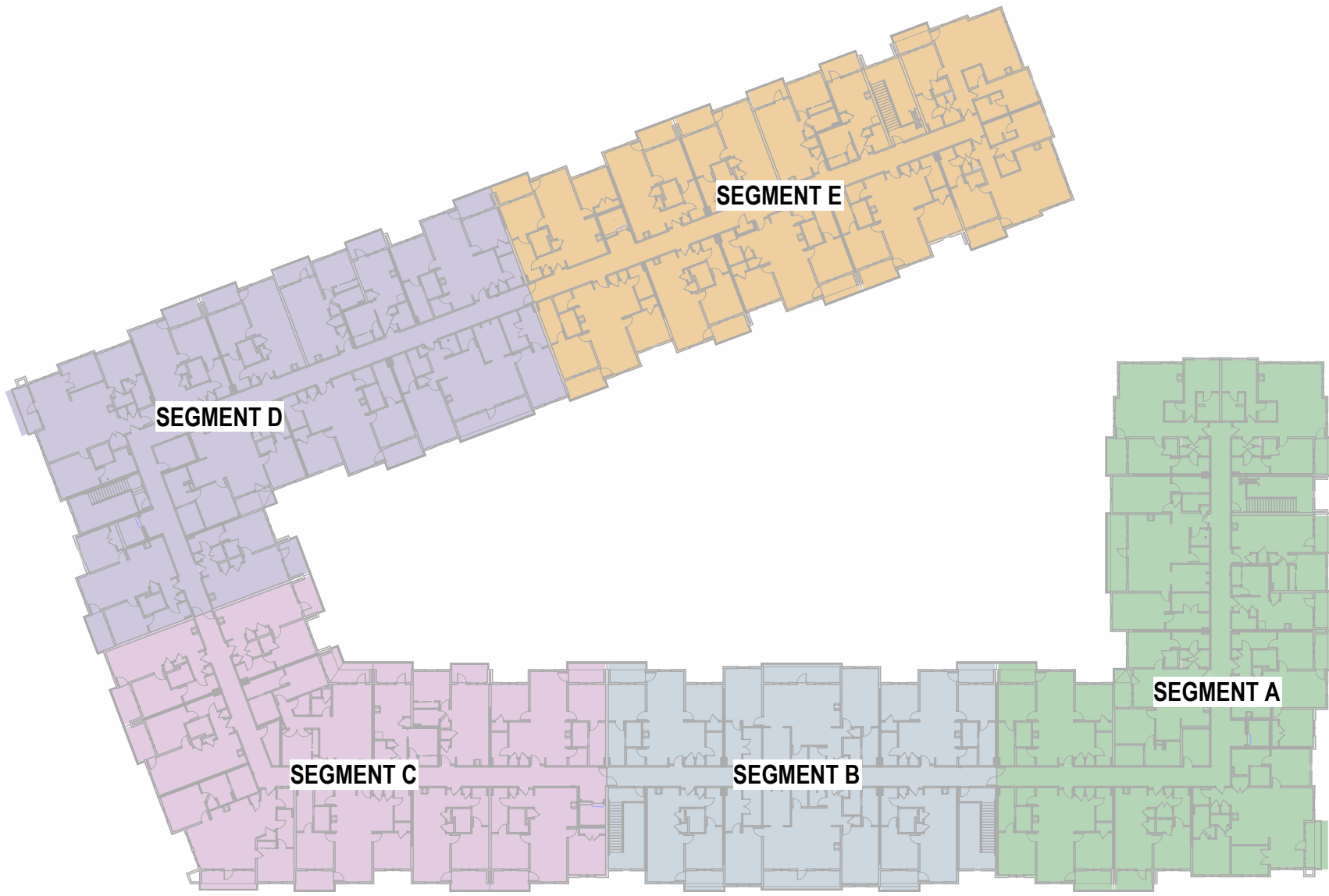
2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 50'-0"



3 CODE REFERENCE PLAN - 2ND FLOOR
1" = 50'-0"



4 CODE REFERENCE PLAN - 3RD FLOOR
1" = 50'-0"



5 CODE REFERENCE PLAN - 4TH FLOOR
1" = 50'-0"

CODE REFERENCE

BUILDING CODE:

JURISDICTION: LEE'S SUMMIT, MISSOURI

ADOPTED NATIONAL AND INTERNATIONAL CODES:

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2017 NATIONAL ELECTRICAL CODE (NEC)
- 2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS
- 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES:

REQUIRED:

TYPE A	SECTION 1107.6.2.2.2
TYPE B	2% OF TOTAL PER SECTION 1107.6.2.2.1

PROVIDED:

TYPE A	7
TYPE B	317

NOTES

THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES.

LIFE SAFETY SYSTEMS

ACTIVE SYSTEMS

SPRINKLER SYSTEMS

NFPA 13R	SECTION 903.3.1.2
CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, R2 - EXCEPTION)	

SMOKE DETECTION IN R2

SECTION 420.6	
---------------	--

FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3

FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2

EXIT SIGNS

SECTION 1013.1	
ILLUMINATED WITH 90 MIN BATTERY BACKUP	

PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE

CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION

STRUCTURAL FRAME:	1.8-HOUR
BEARING WALLS-EXTERIOR:	1.8-HOUR
BEARING WALLS-INTERIOR:	1.8-HOUR
NON-BEARING WALLS-INTERIOR:	0.8-HOUR
FLOOR CONSTRUCTION:	1.8-HOUR
ROOF CONSTRUCTION:	1.8-HOUR
UNIT DEMISING WALLS/FIRE PARTITION:	1.8-HOUR
CORRIDOR WALLS/FIRE PARTITION:	0.8-HOUR
GARAGE SEPARATION (FIRE BARRIER):	1.8-HOUR
EXIT PASSAGEWAYS:	2.8-HOUR
STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE):	2.8-HOUR
ELEVATOR SHAFT WALLS-EXTERIOR/FIRE BARRIER:	1.8-HOUR
ELEVATOR SHAFT WALLS-INTERIOR/FIRE BARRIER:	2.8-HOUR
SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE):	2.8-HOUR
FIRE WALLS:	2.8-HOUR

SOUND RATINGS

SOUND TRANSMISSION CLASS RATING (STC):	50 STC	SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION
IMPACT INSULATION CLASS RATING (IIC):	50 IIC	

NOTES

FIRE DEPARTMENT GENERAL NOTES

1. A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 6' 0" A.F.F. & 4" F.F., RESPECTIVELY.
2. INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING "FIRE ALARM/SPRINKLER RISER"
3. A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIT STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE INTERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL.
4. IF APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE PROVIDED.

PASSIVE SYSTEMS

FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2

DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4

SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3008

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

1. PROVIDE CO MONITOR IN EACH GARAGE STALL.
2. EACH GARAGE DOOR TO BE ACTIVATED BY CO MONITOR, TYP EACH LOCATION.
3. CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WELL AS COMMON AREAS ON THE FLOOR ABOVE GARAGES.

SEGMENT A INFORMATION

DESCRIPTION:
4-STORY MULTI-FAMILY RESIDENTIAL

DATA:

CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES	SECTION 420.6
STANDPIPE	YES - CLASS 1	SECTION 905.3
SMOKE CONTROL SYSTEM	NO	
EMERGENCY/STANDBY POWER	NO	

HEIGHT AND NUMBER OF STORIES

ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:	44'-3"	
ALLOWABLE STORIES	4	TABLE 504.4
ACTUAL NUMBER OF STORIES:	4	

AREA

ALLOWABLE AREA	65,700 SF	SECTION 506.2
ALLOWABLE AREA PER FLOOR	16,440 SF	SECTION 506.2.4

$A_n = [A_n + (INS \times I)]$
 $A_n = [12,000 + (12,000 \times 37)]$
 $A_n = 16,440$ SF

FRONTAGE INCREASE
I = P/P - .25W/30
I = 1.065/30 - .25(30)/30
I = .37

ACTUAL AREA:

SEGMENT A	
1ST FLOOR	14,794 SF
2ND FLOOR	14,886 SF
3RD FLOOR	14,915 SF
4TH FLOOR	14,936 SF
TOTAL	59,531 SF

SEGMENT B INFORMATION

DESCRIPTION:
4-STORY MULTI-FAMILY RESIDENTIAL

DATA:

CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, A-3	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES	SECTION 420.6
STANDPIPE	YES - CLASS 1	SECTION 905.3
SMOKE CONTROL SYSTEM	NO	
EMERGENCY/STANDBY POWER	NO	

HEIGHT AND NUMBER OF STORIES

ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:	44'-3"	
ALLOWABLE STORIES	4	TABLE 504.4
ACTUAL NUMBER OF STORIES:	4	

AREA

ALLOWABLE AREA	36,000 SF	SECTION 506.2
ALLOWABLE AREA PER FLOOR	10,000 SF	SECTION 506.2.4

$A_n = [A_n + (INS \times I)]$
 $A_n = [36,000 + (36,000 \times 0)]$
 $A_n = 36,000$ SF

FRONTAGE INCREASE - NONE REQUIRED

ACTUAL AREA:

SEGMENT B	
1ST FLOOR	9,194 SF
2ND FLOOR	7,986 SF
3RD FLOOR	9,329 SF
4TH FLOOR	9,329 SF
TOTAL	35,838 SF

SEGMENT C INFORMATION

DESCRIPTION:
4-STORY MULTI-FAMILY RESIDENTIAL

DATA:

CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES	SECTION 420.6
STANDPIPE	YES - CLASS 1	SECTION 905.3
SMOKE CONTROL SYSTEM	NO	
EMERGENCY/STANDBY POWER	NO	

HEIGHT AND NUMBER OF STORIES

ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:	44'-3"	
ALLOWABLE STORIES	4	TABLE 504.4
ACTUAL NUMBER OF STORIES:	4	

AREA

ALLOWABLE AREA	57,600 SF	SECTION 506.2
ALLOWABLE AREA PER FLOOR	14,400 SF	SECTION 506.2.4

$A_n = [A_n + (INS \times I)]$
 $A_n = [12,000 + (12,000 \times 2)]$
 $A_n = 14,400$ SF

FRONTAGE INCREASE
I = P/P - .25W/30
I = 2.164/30 - .25(30)/30
I = .2

ACTUAL AREA:

SEGMENT C	
1ST FLOOR	12,270 SF
2ND FLOOR	12,313 SF
3RD FLOOR	12,313 SF
4TH FLOOR	12,313 SF
TOTAL	49,209 SF

SEGMENT D INFORMATION

DESCRIPTION:
4-STORY MULTI-FAMILY RESIDENTIAL

DATA:

CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES	SECTION 420.6
STANDPIPE	YES - CLASS 1	SECTION 905.3
SMOKE CONTROL SYSTEM	NO	
EMERGENCY/STANDBY POWER	NO	

HEIGHT AND NUMBER OF STORIES

ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:	44'-3"	
ALLOWABLE STORIES	4	TABLE 504.4
ACTUAL NUMBER OF STORIES:	4	

AREA

ALLOWABLE AREA	60,000 SF	SECTION 506.2
ALLOWABLE AREA PER FLOOR	15,000 SF	SECTION 506.2.4

$A_n = [A_n + (INS \times I)]$
 $A_n = [12,000 + (12,000 \times 25)]$
 $A_n = 15,000$ SF

FRONTAGE INCREASE
I = P/P - .25W/30
I = 1.065/30 - .25(30)/30
I = .25

ACTUAL AREA:

SEGMENT D	
1ST FLOOR	13,812 SF
2ND FLOOR	14,011 SF
3RD FLOOR	14,011 SF
4TH FLOOR	14,067 SF
TOTAL	55,891 SF

SEGMENT E INFORMATION

DESCRIPTION:
4-STORY MULTI-FAMILY RESIDENTIAL

DATA:

CONSTRUCTION TYPE	VA	CHAPTER 6
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2
FIRE ALARM	YES	SECTION 420.6
STANDPIPE	YES - CLASS 1	SECTION 905.3
SMOKE CONTROL SYSTEM	NO	
EMERGENCY/STANDBY POWER	NO	

HEIGHT AND NUMBER OF STORIES

ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3
ACTUAL BUILDING HEIGHT:	44'-3"	
ALLOWABLE STORIES	4	TABLE 504.4
ACTUAL NUMBER OF STORIES:	4	

AREA

ALLOWABLE AREA	60,000 SF	SECTION 506.2
ALLOWABLE AREA PER FLOOR	15,000 SF	SECTION 506.2.4

$A_n = [A_n + (INS \times I)]$
 $A_n = [12,000 + (12,000 \times 25)]$
 $A_n = 15,000$ SF

FRONTAGE INCREASE
I = P/P - .25W/30
I = 1.065/30 - .25(30)/30
I = .25

ACTUAL AREA:

SEGMENT E	
1ST FLOOR	12,735 SF
2ND FLOOR	12,804 SF
3RD FLOOR	12,804 SF
4TH FLOOR	12,912 SF
TOTAL	51,455 SF

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS

1	23.0411	CITY COMMENTS 1
3	23.0511	ADDENDUM 2

JOB NO.
705921

DATE
03.15.2023

DRAWN BY
TSC/SIW

5/11/2023

ADDENDUM #2

SHEET NAME
BUILDING 1 CODE
ANALYSIS & PLANS

SHEET NO.

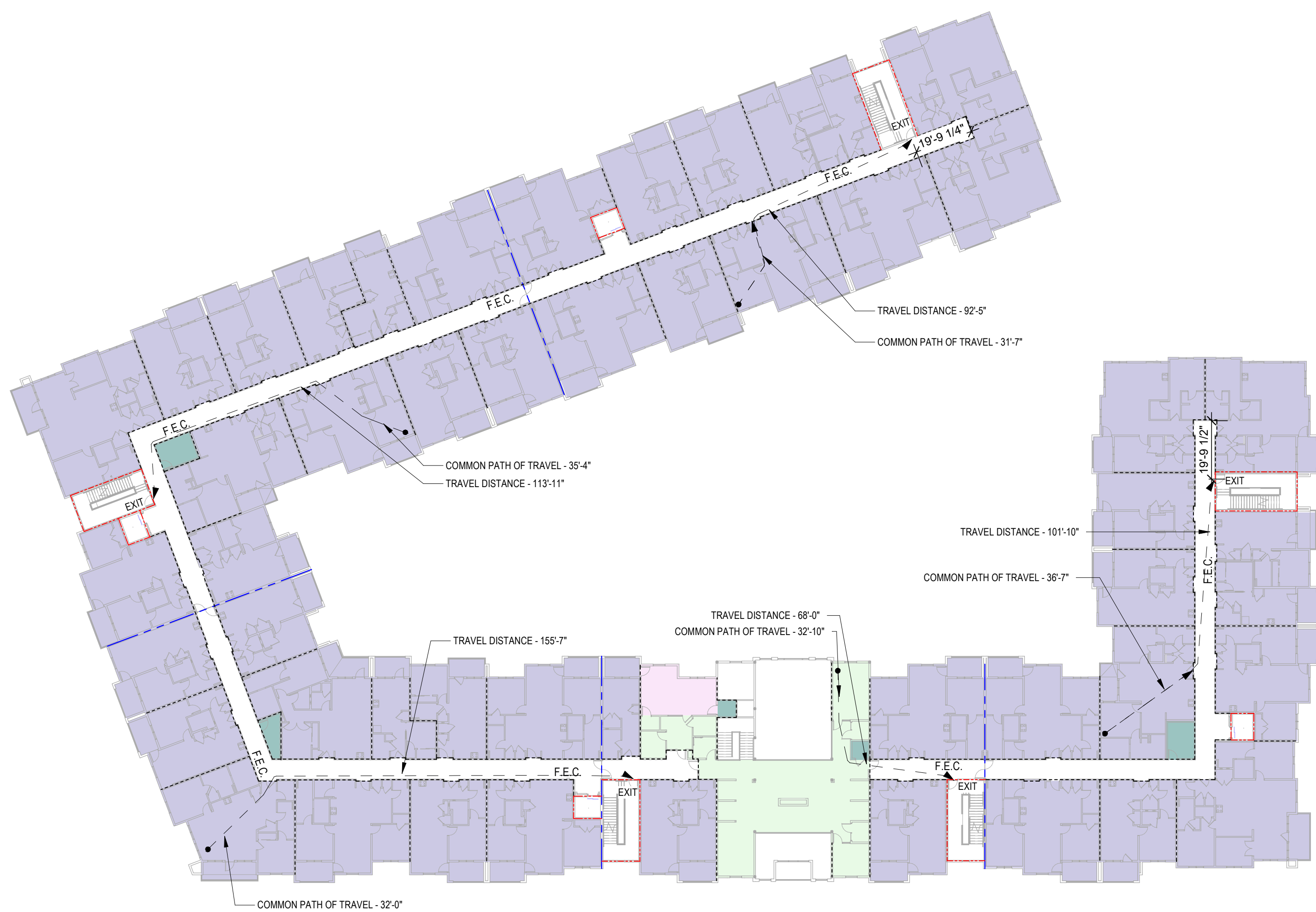
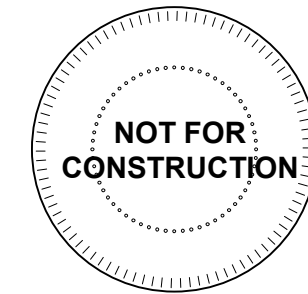
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RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Lee's Summit Department of Public Works

NSPJ
ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

NOT FOR CONSTRUCTION



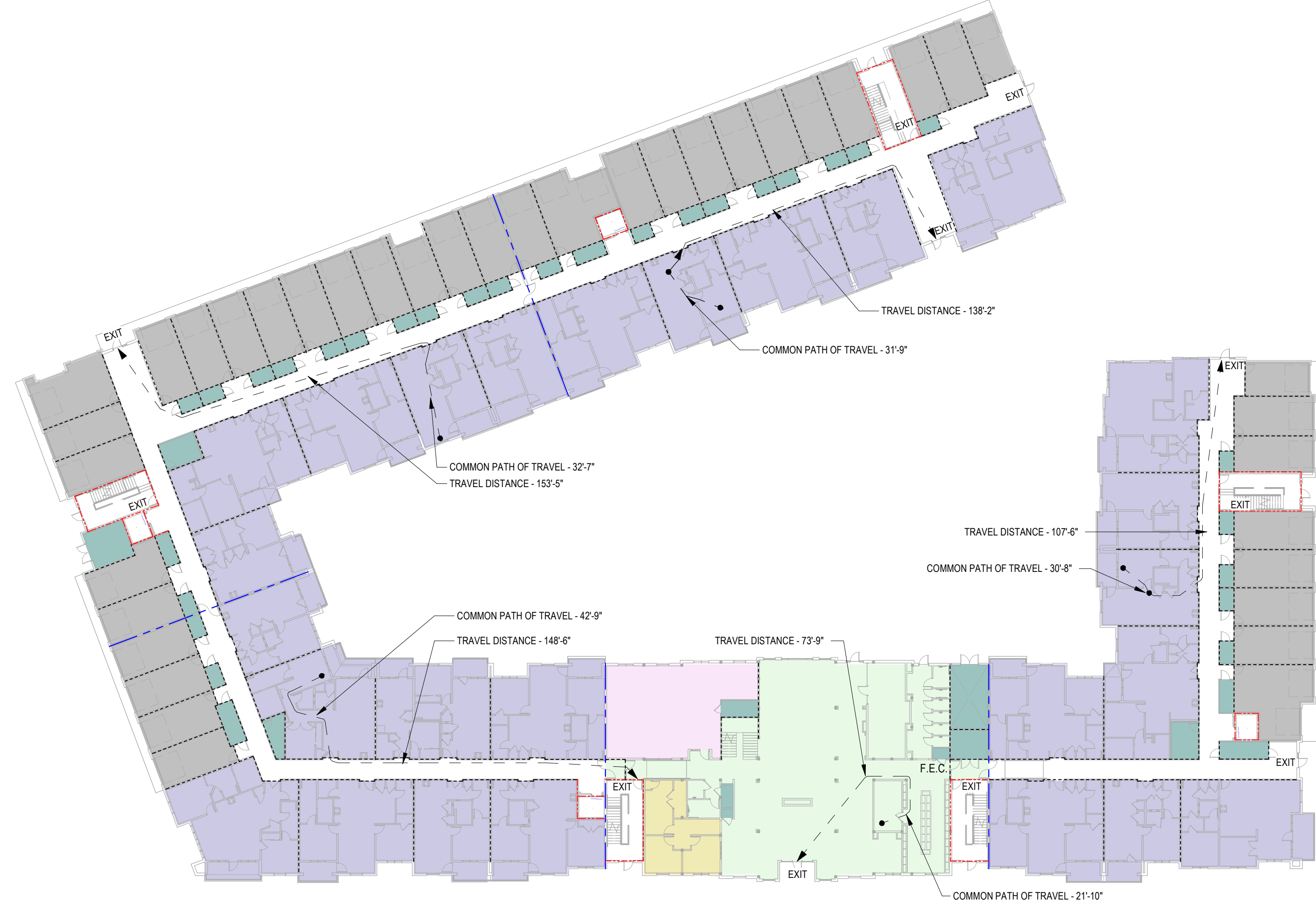
1 CODE REFERENCE PLAN - 2ND FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVEL 2			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,863 SF	200 GROSS	65
ACCESSORY STORMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVEL 2			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
EXERCISE ROOMS	364 SF	50 GROSS	7
ASSEMBLY-UNCONCENTRATED	2,884 SF	15 NET	190
ACCESSORY STORMECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVEL 2			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,923 SF	200 GROSS	55
ACCESSORY STORMECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVEL 2			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,983 SF	200 GROSS	60
ACCESSORY STORMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVEL 2			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,933 SF	200 GROSS	60
TOTAL OCCUPANT LOAD			57

EGRESS REQUIREMENTS

ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTHER)		
SEGMENT A	44'144"	44'780"
SEGMENT B	44'144"	44'780"
SEGMENT C	44'144"	44'780"
SEGMENT D	44'144"	44'780"
SEGMENT E	44'144"	44'780"
MAXIMUM EXIT ACCESS TRAVEL DISTANCE		
SEGMENT A (R2)	250 FT	101'-10"
SEGMENT B (R2)	250 FT	66'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)	250 FT	113'-11"
SEGMENT E (R2)	250 FT	92'-5"
MAXIMUM COMMON PATH OF TRAVEL DISTANCE		
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	32'-10"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4"
SEGMENT E (R2)	125 FT	31'-7"
MAXIMUM DEAD END CORRIDOR LENGTH		
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS		



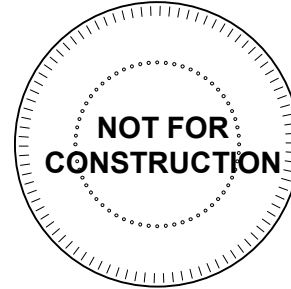
2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVEL 1			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,897 SF	200 GROSS	45
PARKING GARAGES	2,971 SF	200 GROSS	15
ACCESSORY STORMECH	489 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			62
SEGMENT B - LEVEL 1			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
BUSINESS	687 SF	150 GROSS	5
EXERCISE ROOMS	1,399 SF	50 GROSS	28
ASSEMBLY-UNCONCENTRATED	3,930 SF	15 NET	386
ACCESSORY STORMECH	153 SF	300 GROSS	2
TOTAL OCCUPANT LOAD			421
SEGMENT C - LEVEL 1			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	9,206 SF	200 GROSS	46
PARKING GARAGES	1,407 SF	200 GROSS	7
ACCESSORY STORMECH	2,272 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			54
SEGMENT D - LEVEL 1			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	6,077 SF	200 GROSS	31
PARKING GARAGE	5,427 SF	200 GROSS	27
ACCESSORY STORMECH	811 SF	300 GROSS	3
TOTAL OCCUPANT LOAD			55
SEGMENT E - LEVEL 1			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	5,401 SF	200 GROSS	28
PARKING GARAGE	4,391 SF	200 GROSS	22
ACCESSORY STORMECH	415 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			51

EGRESS REQUIREMENTS

ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	3
SEGMENT B	2	4
SEGMENT C	3	2
SEGMENT D	2	3
SEGMENT E	2	3
EXIT WIDTH FACTORS (STAIRS/OTHER)		
SEGMENT A	44'144"	44'780"
SEGMENT B	44'144"	44'780"
SEGMENT C	44'144"	44'780"
SEGMENT D	44'144"	44'780"
SEGMENT E	44'144"	44'780"
MAXIMUM EXIT ACCESS TRAVEL DISTANCE		
SEGMENT A (R2)	250 FT	107'-6"
SEGMENT B (R2)	250 FT	73'-6"
SEGMENT C (R2)	250 FT	148'-6"
SEGMENT D (R2)	250 FT	153'-5"
SEGMENT E (R2)	250 FT	138'-2"
MAXIMUM COMMON PATH OF TRAVEL DISTANCE		
SEGMENT A (R2)	125 FT	37'-8"
SEGMENT B (R2)	125 FT	21'-10"
SEGMENT C (R2)	125 FT	42'-9"
SEGMENT D (R2)	125 FT	32'-7"
SEGMENT E (R2)	125 FT	31'-9"
MAXIMUM DEAD END CORRIDOR LENGTH		
GROUP R2	20 FT	
PANIC HARDWARE		
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS		



2 CODE REFERENCE PLAN - 4TH FLOOR
1" = 30'-0"



1 CODE REFERENCE PLAN - 3RD FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVEL 4			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,363 SF	200 GROSS	66
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVEL 4			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STORMMECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVEL 4			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STORMMECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVEL 4			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,883 SF	200 GROSS	60
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVEL 4			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,303 SF	200 GROSS	57
TOTAL OCCUPANT LOAD			57

EGRESS REQUIREMENTS

ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTHER)		
SEGMENT A	44'14"	SECTION 1005, 1011, 1024
SEGMENT B	44'14"	44'80"
SEGMENT C	44'14"	44'80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DISTANCE		
SEGMENT A (R2)	250 FT	101'-10"
SEGMENT B (R2)	250 FT	66'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)	250 FT	113'-11"
SEGMENT E (R2)	250 FT	92'-0"
MAXIMUM COMMON PATH OF TRAVEL DISTANCE		
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	51'-0"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4"
SEGMENT E (R2)	125 FT	31'-7"
MAXIMUM DEAD END CORRIDOR LENGTH		
GROUP R2	20 FT	SECTION 1020.4
PANIC HARDWARE REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS		

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT A - LEVEL 3			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,363 SF	200 GROSS	66
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			66
SEGMENT B - LEVEL 3			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	3,395 SF	200 GROSS	17
ACCESSORY STORMMECH	43 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			215
SEGMENT C - LEVEL 3			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	10,925 SF	200 GROSS	55
ACCESSORY STORMMECH	85 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			56
SEGMENT D - LEVEL 3			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,883 SF	200 GROSS	60
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			61
SEGMENT E - LEVEL 3			
OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	11,303 SF	200 GROSS	57
ACCESSORY STORMMECH		300 GROSS	
TOTAL OCCUPANT LOAD			57

EGRESS REQUIREMENTS

ELEMENT	REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS		
SEGMENT A	2	2
SEGMENT B	2	2
SEGMENT C	2	2
SEGMENT D	2	2
SEGMENT E	2	2
EXIT WIDTH FACTORS (STAIRS/OTHER)		
SEGMENT A	44'14"	SECTION 1005, 1011, 1024
SEGMENT B	44'14"	44'80"
SEGMENT C	44'14"	44'80"
SEGMENT D		
SEGMENT E		
MAXIMUM EXIT ACCESS TRAVEL DISTANCE		
SEGMENT A (R2)	250 FT	101'-10"
SEGMENT B (R2)	250 FT	66'-0"
SEGMENT C (R2)	250 FT	155'-7"
SEGMENT D (R2)	250 FT	113'-11"
SEGMENT E (R2)	250 FT	92'-0"
MAXIMUM COMMON PATH OF TRAVEL DISTANCE		
SEGMENT A (R2)	125 FT	36'-7"
SEGMENT B (R2)	125 FT	51'-0"
SEGMENT C (R2)	125 FT	32'-0"
SEGMENT D (R2)	125 FT	35'-4"
SEGMENT E (R2)	125 FT	31'-7"
MAXIMUM DEAD END CORRIDOR LENGTH		
GROUP R2	20 FT	SECTION 1020.4
PANIC HARDWARE REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS		

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY



03.15.2023 - PERMIT SUBMITTAL

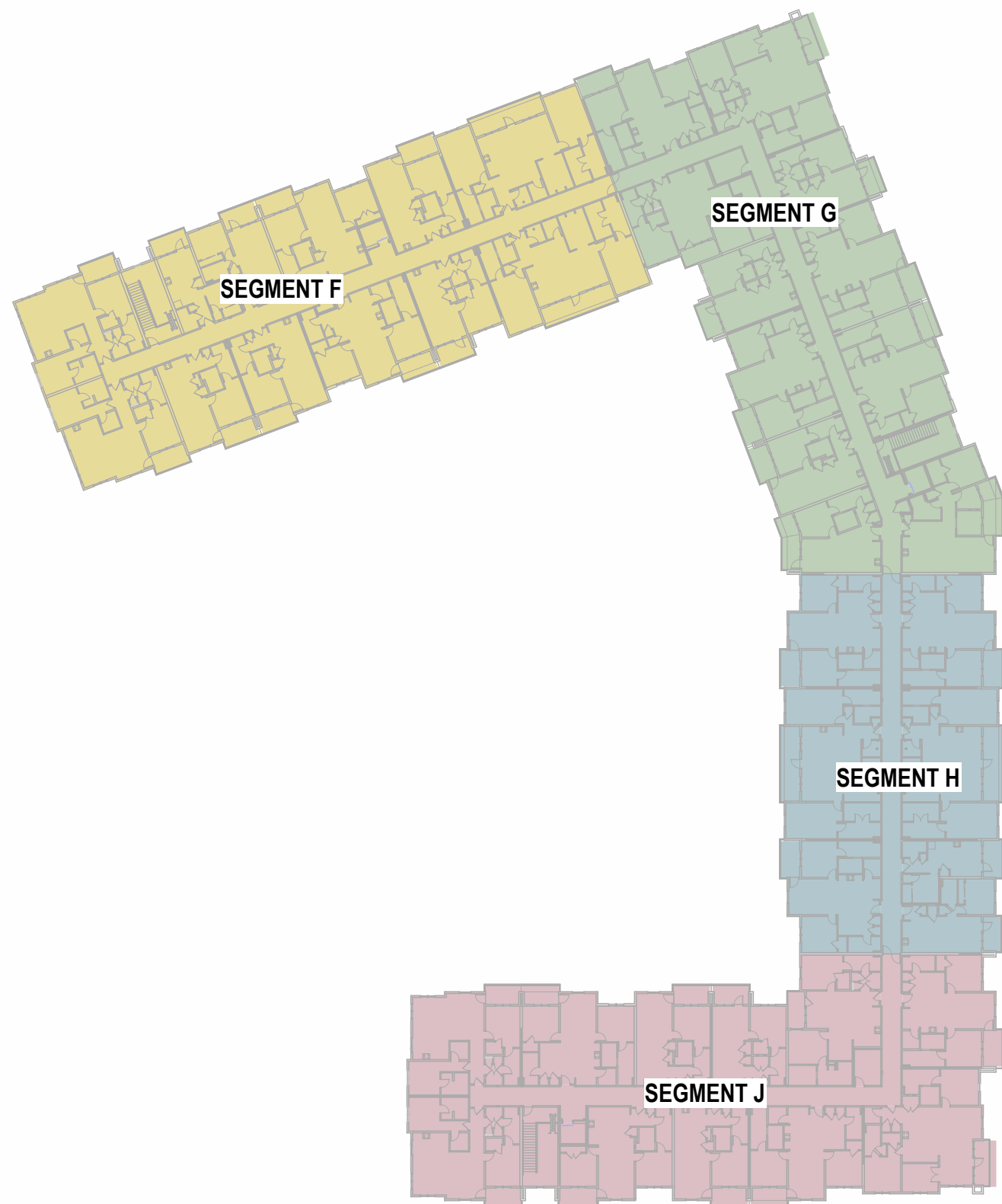
REVISIONS

JOB NO. 705921
DRAWN BY TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME
BUILDING 1 EGRESS & OCCUPANCY PLANS
SHEET NO.

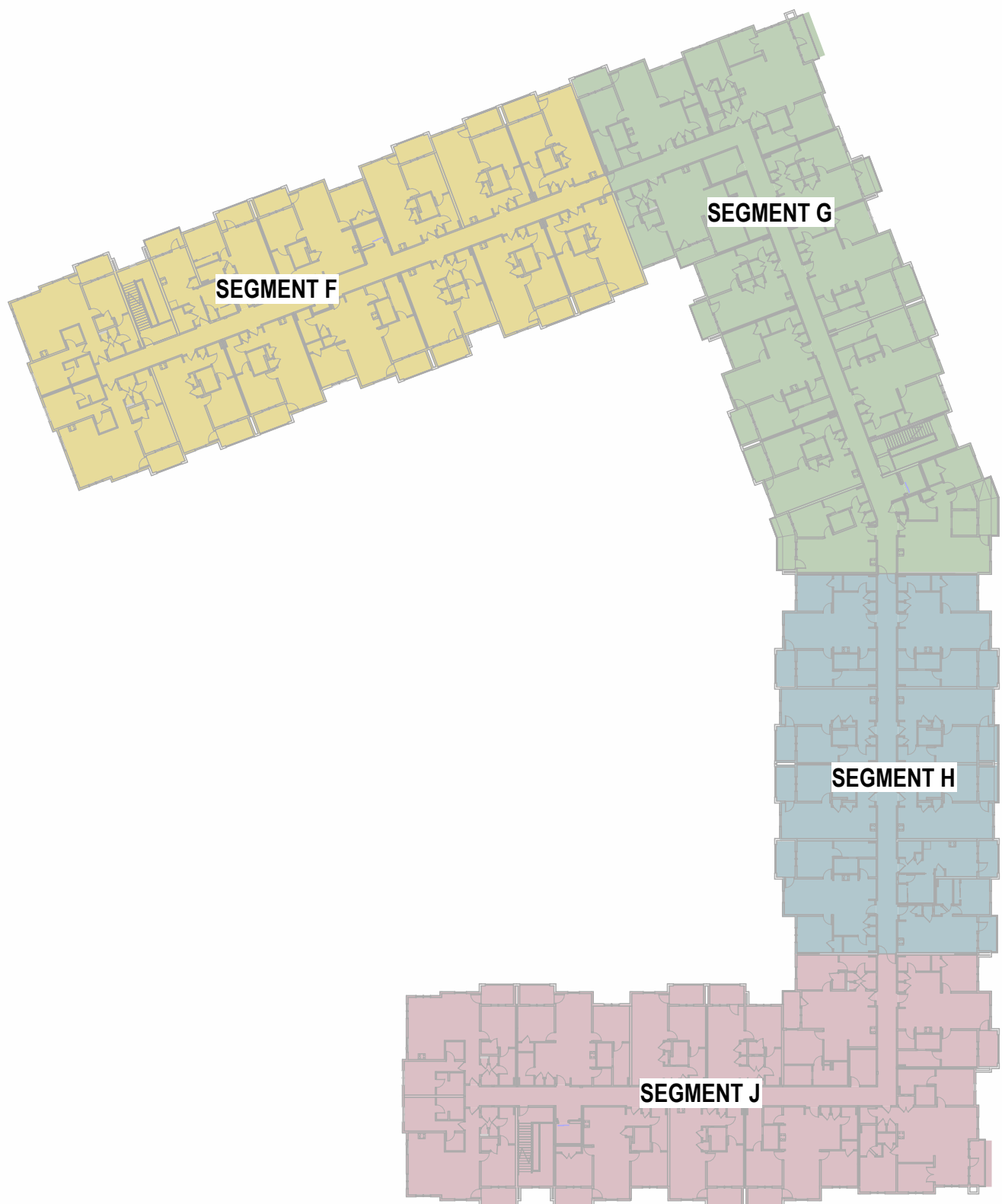
DATE 03.15.2023

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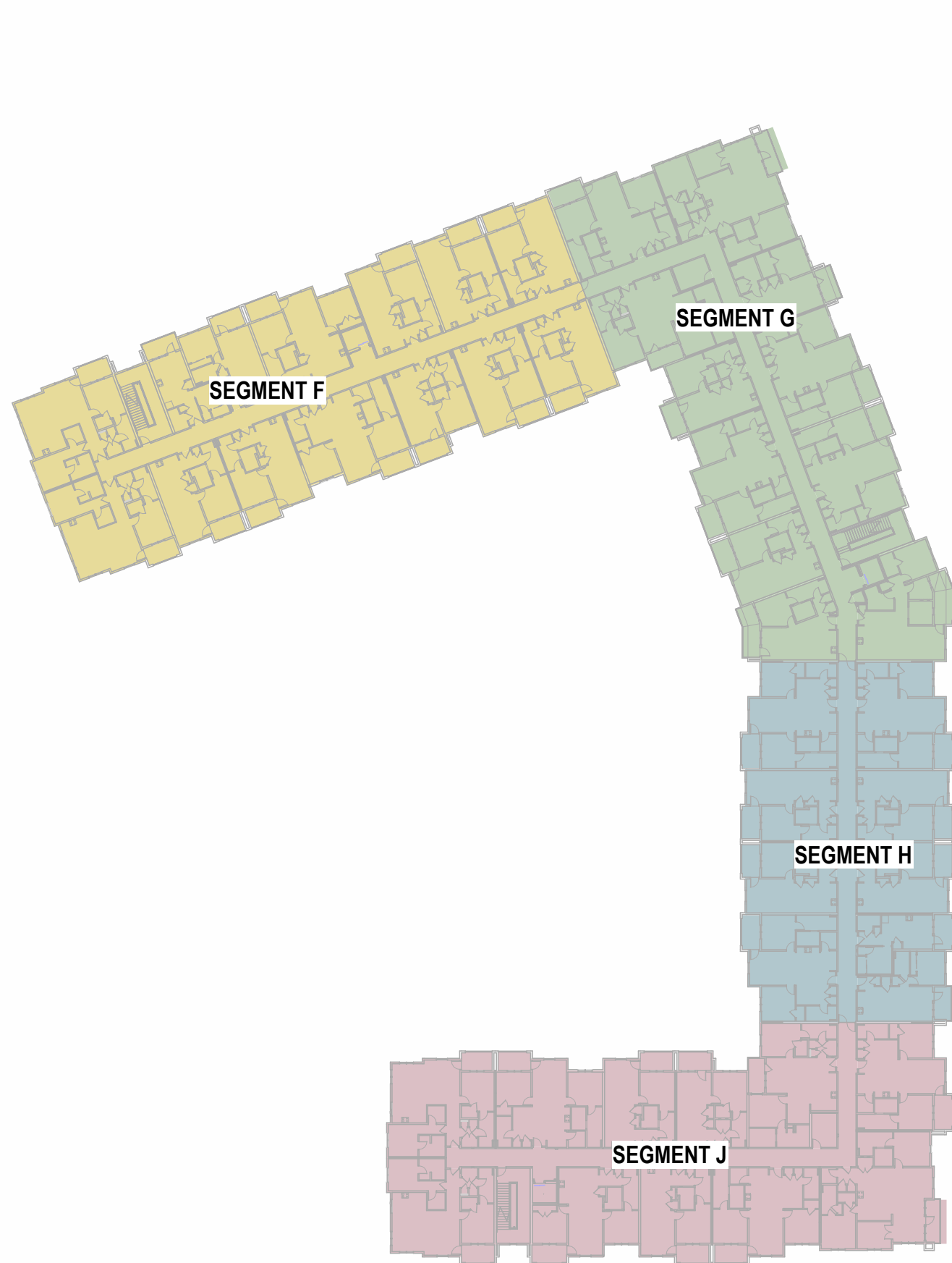
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



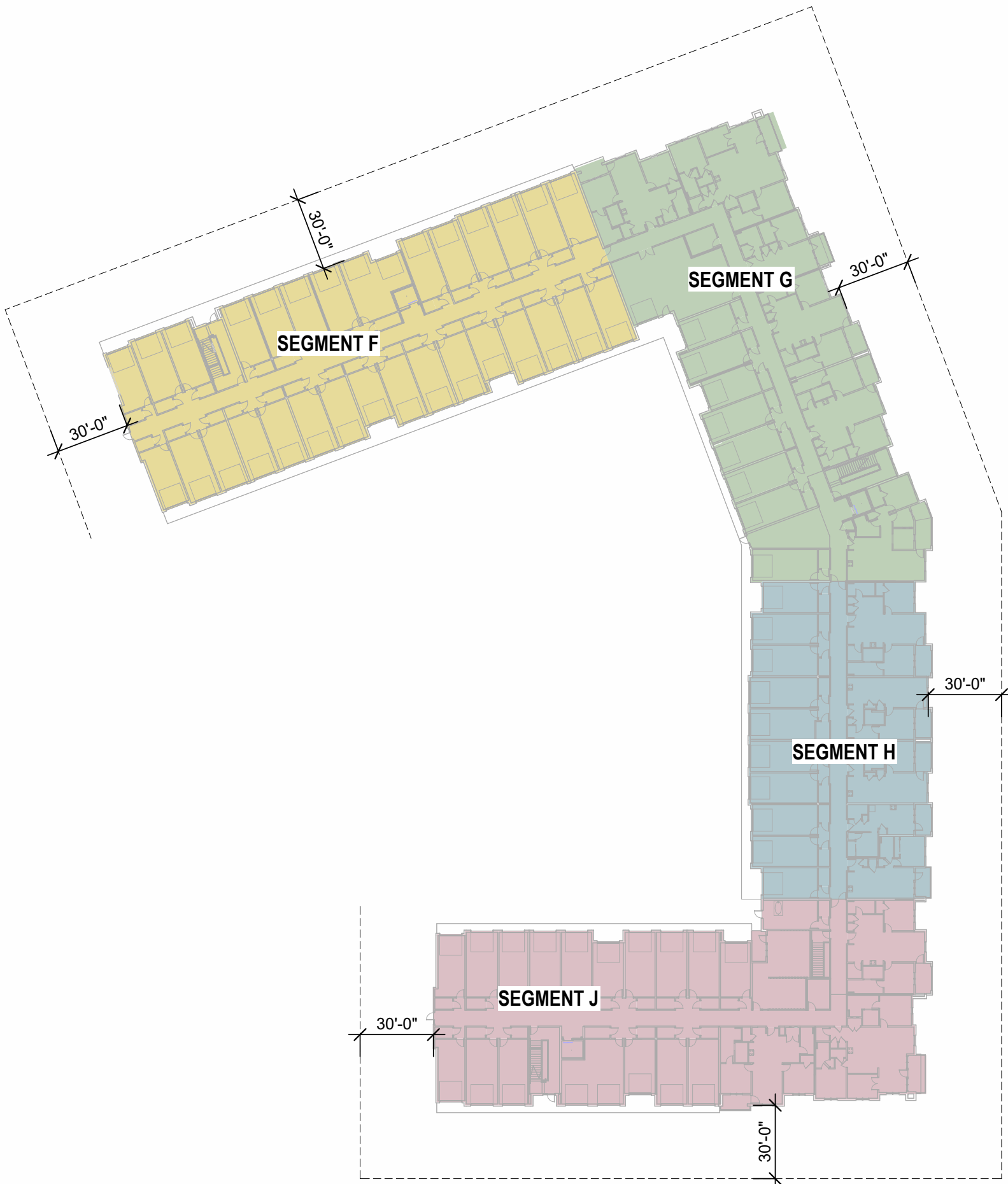
⑤ CODE REFERENCE PLAN - 4TH FLOOR
1" = 50'-0"



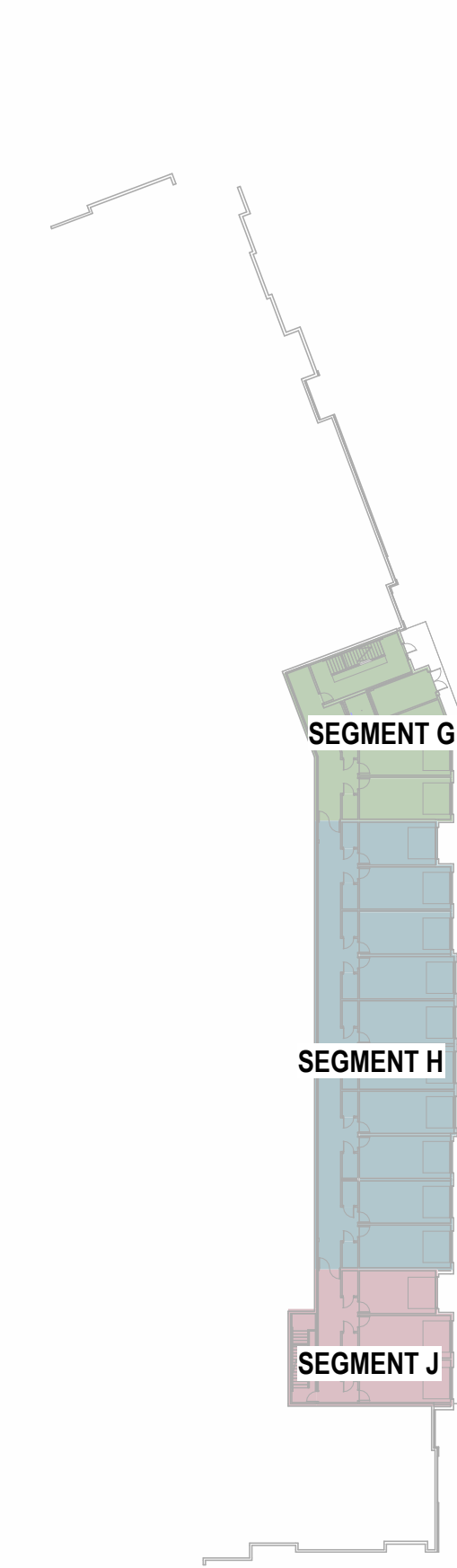
④ CODE REFERENCE PLAN - 3RD FLOOR
1" = 50'-0"



③ CODE REFERENCE PLAN - 2ND FLOOR
1" = 50'-0"



② CODE REFERENCE PLAN - 1ST FLOOR
1" = 50'-0"



① CODE REFERENCE PLAN - BASEMENT
1" = 50'-0"

SEGMENT F INFORMATION

DESCRIPTION:			
4-STORY MULTI-FAMILY RESIDENTIAL			
DATA:			
CONSTRUCTION TYPE	VA	CHAPTER 6	
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3	
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2	
FIRE ALARM	YES	SECTION 420.6	
STANDPIPE	YES - CLASS 1	SECTION 905.3	
SMOKE CONTROL SYSTEM	NO		
EMERGENCY/STANDBY POWER	NO		
HEIGHT AND NUMBER OF STORIES			
ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3	
ACTUAL BUILDING HEIGHT:	44'-3"		
ALLOWABLE STORIES	4	TABLE 504.4	
ACTUAL NUMBER OF STORIES:	4		
AREA			
ALLOWABLE AREA	60,000 SF	SECTION 506.2	
ALLOWABLE AREA PER FLOOR	15,000 SF	SECTION 506.2	
$A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .25)]$ $A_n = 15,000$ SF		SECTION 506.2.4	
FRONTAGE INCREASE $I = [F/P - .25]W(0)$ $I = [276556 - 25]3030$ $I = 25$		SECTION 506.3	
ACTUAL AREA:			
SEGMENT F			
1ST FLOOR	14,634 SF		
2ND FLOOR	14,808 SF		
3RD FLOOR	14,983 SF		
4TH FLOOR	14,985 SF		
TOTAL	59,410 SF		

SEGMENT G INFORMATION

DESCRIPTION:			
BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL			
DATA:			
CONSTRUCTION TYPE	VA	CHAPTER 6	
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3	
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2	
FIRE ALARM	YES	SECTION 420.6	
STANDPIPE	YES - CLASS 1	SECTION 905.3	
SMOKE CONTROL SYSTEM	NO		
EMERGENCY/STANDBY POWER	NO		
HEIGHT AND NUMBER OF STORIES			
ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3	
ACTUAL BUILDING HEIGHT:	44'-3"		
ALLOWABLE STORIES	4	TABLE 504.4	
ACTUAL NUMBER OF STORIES:	BSMNT + 4		
AREA			
ALLOWABLE AREA	63,940 SF	SECTION 506.2	
ALLOWABLE AREA PER FLOOR	15,960 SF	SECTION 506.2	
$A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .33)]$ $A_n = 15,960$ SF		SECTION 506.2.4	
FRONTAGE INCREASE $I = [F/P - .25]W(0)$ $I = [282485 - 25]3030$ $I = 33$		SECTION 506.3	
ACTUAL AREA:			
SEGMENT G			
BASEMENT	2,006 SF		
1ST FLOOR	14,285 SF		
2ND FLOOR	14,411 SF		
3RD FLOOR	14,425 SF		
4TH FLOOR	14,425 SF		
TOTAL	59,526 SF		

SEGMENT H INFORMATION

DESCRIPTION:			
BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL			
DATA:			
CONSTRUCTION TYPE	VA	CHAPTER 6	
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3	
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2	
FIRE ALARM	YES	SECTION 420.6	
STANDPIPE	YES - CLASS 1	SECTION 905.3	
SMOKE CONTROL SYSTEM	NO		
EMERGENCY/STANDBY POWER	NO		
HEIGHT AND NUMBER OF STORIES			
ALLOWABLE BUILDING HEIGHT:	60'-0"	TABLE 504.3	
ACTUAL BUILDING HEIGHT:	44'-3"		
ALLOWABLE STORIES	4	TABLE 504.4	
ACTUAL NUMBER OF STORIES:	BSMNT + 4		
AREA			
ALLOWABLE AREA	48,000 SF	SECTION 506.2	
ALLOWABLE AREA PER FLOOR	12,000 SF	SECTION 506.2	
$A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times 0)]$ $A_n = 12,000$ SF		SECTION 506.2.4	
FRONTAGE INCREASE - NONE REQUIRED		SECTION 506.3	
ACTUAL AREA:			
SEGMENT H			
BASEMENT	5,201 SF		
1ST FLOOR	9,318 SF		
2ND FLOOR	9,381 SF		
3RD FLOOR	9,395 SF		
4TH FLOOR	9,395 SF		
TOTAL	42,690 SF		

SEGMENT J INFORMATION

DESCRIPTION:			
BASEMENT + 4-STORY MULTI-FAMILY RESIDENTIAL			
DATA:			
CONSTRUCTION TYPE	VA	CHAPTER 6	
OCCUPANCY CLASSIFICATION	R-2, U	CHAPTER 3	
SPRINKLERED	YES - 13R SYSTEM	SECTION 903.3.1.2	
FIRE ALARM	YES	SECTION 420.6	
STANDPIPE	YES - CLASS 1	SECTION 905.3	
SMOKE CONTROL SYSTEM	NO		
EMERGENCY/STANDBY POWER	NO		
HEIGHT AND NUMBER OF STORIES			
ALLOWABLE BUILDING HEIGHT:	70'-0"	TABLE 504.3	
ACTUAL BUILDING HEIGHT:	44'-3"		
ALLOWABLE STORIES	4	TABLE 504.4	
ACTUAL NUMBER OF STORIES:	BSMNT + 4		
AREA			
ALLOWABLE AREA	81,920 SF	SECTION 506.2	
ALLOWABLE AREA PER FLOOR	15,480 SF	SECTION 506.2	
$A_n = [A_n + (NS \times I)]$ $A_n = [12,000 + (12,000 \times .29)]$ $A_n = 15,480$ SF		SECTION 506.2.4	
FRONTAGE INCREASE $I = [F/P - .25]W(0)$ $I = [344163 - 25]3030$ $I = 29$		SECTION 506.3	
ACTUAL AREA:			
SEGMENT J			
BASEMENT	1,747 SF		
1ST FLOOR	14,504 SF		
2ND FLOOR	14,756 SF		
3RD FLOOR	14,778 SF		
4TH FLOOR	14,803 SF		
TOTAL	60,884 SF		

CODE REFERENCE

BUILDING CODE:	
JURISDICTION:	LEE'S SUMMIT, MISSOURI
ADOPTED NATIONAL AND INTERNATIONAL CODES:	
2018 INTERNATIONAL BUILDING CODE (IBC)	
2018 INTERNATIONAL FIRE CODE (IFC)	
2018 INTERNATIONAL FUEL GAS CODE (IFGC)	
2018 INTERNATIONAL MECHANICAL CODE (IMC)	
2018 INTERNATIONAL PLUMBING CODE (IPC)	
2017 NATIONAL ELECTRICAL CODE (NEC)	
2009 ICC/ANSI A117.1 ACCESSIBILITY AND USABLE BUILDINGS	
2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)	

CODE APPROACH SUMMARY

BUILDING 1: THE OVERALL FACILITY IS SEPARATED INTO 5 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

BUILDING 2: THE OVERALL FACILITY IS SEPARATED INTO 4 BUILDINGS (SEGMENTS) WITH 2-HOUR FIRE WALLS TO ACCOMMODATE IBC AREA RESTRICTIONS. THE INDIVIDUAL BUILDINGS (SEGMENTS) THEN USE A COMBINATION OF SEPARATED AND NONSEPARATED MIXED USE APPROACHES AS DEFINED THE IBC.

ACCESSIBILITY COMPLIANCE

PERCENTAGE OF UNIT TYPES:		NOTES
REQUIRED:	SECTION 1107.6.2.2.2	THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, FAIR HOUSING AMENDMENTS ACT OF 1988, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS. COMPLIANCE WITH ONE CODE DOES NOT NECESSARILY GUARANTEE COMPLIANCE WITH ALL ACCESSIBILITY CODES.
TYPE A	2% OF TOTAL PER SECTION 1107.6.2.2.1	
TYPE B	PER SECTION 1107.6.2.2.2	
PROVIDED:		
TYPE A	317	
TYPE B	7	

LIFE SAFETY SYSTEMS

ACTIVE SYSTEMS	
SPRINKLER SYSTEMS	
NFPA 13R	SECTION 903.3.1.2
CLASS 1 WET STANDPIPES SHALL BE LOCATED IN EVERY EXIT STAIR AND AT HORIZONTAL EXITS LOCATED MORE THAN 130' FROM CONNECTION IN EXIT STAIR (SECTION 905.4, #2 - EXCEPTION)	
SMOKE DETECTION IN R2	SECTION 420.6
FIRE ALARM (IN ACCORDANCE WITH NFPA 72) & SMOKE ALARM SYSTEMS SHALL BE INSTALLED IN GROUP R2 OCCUPANCIES PER SECTION 907.2.9.1 THROUGH 907.2.9.3	
FIRE ALARM TO BE ACTIVATED BY AUTOMATIC SPRINKLER SYSTEM PER SECTION 907.2.9.1, EXCEPTION 2	
EXIT SIGNS	SECTION 1013.1
ILLUMINATED WITH 90 MIN BATTERY BACKUP	
PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN EACH DWELLING UNIT, POOL EQUIPMENT ROOM AND DISTRIBUTED THROUGHOUT RESIDENTIAL CORRIDORS, CLUBHOUSE AREAS AND GARAGE	
CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EVERY DWELLING UNIT	

RESISTIVE REQUIREMENTS

FIRE RESISTIVE RATINGS - TYPE 5A CONSTRUCTION	
STRUCTURAL FRAME:	1-HOUR
BEARING WALLS-EXTERIOR:	1-HOUR
BEARING WALLS-INTERIOR:	0.5-HOUR
NONBEARING WALLS-INTERIOR:	0.5-HOUR
FLOOR CONSTRUCTION:	1-HOUR
ROOF CONSTRUCTION:	1-HOUR
UNIT DEMISING WALLS/FIRE PARTITION:	1-HOUR
CORRIDOR WALLS/FIRE PARTITION:	0.5-HOUR
GARAGE SEPARATION (FIRE BARRIER):	1-HOUR
EXIT PASSAGEWAYS:	2-HOUR
STAIR SHAFT WALLS (CONNECTING FOUR STORIES OR MORE):	2-HOUR
ELEVATOR SHAFT WALLS-EXTERIOR/FIRE BARRIER:	1-HOUR
ELEVATOR SHAFT WALLS-INTERIOR/FIRE BARRIER:	2-HOUR
SHAFT ENCLOSURE (CONNECTING FOUR STORIES OR MORE):	2-HOUR
FIRE WALLS:	2-HOUR

SOUND RATINGS		NOTES
SOUND TRANSMISSION CLASS RATING (STC):	50 STC	SEE A0.30 FOR TYPICAL FIRE RESISTIVE ASSEMBLY INFORMATION
IMPACT INSULATION CLASS RATING (IIC):	50 IIC	

FIRE DEPARTMENT GENERAL NOTES

- A KNOX BOX SHALL BE INSTALLED ON EACH BUILDING AT THE SPRINKLER RISER ROOM AND AT THE LOWEST STOP OF EACH ELEVATOR. THE KNOX BOX SHALL BE MOUNTED AT 60" A.F.F. & 48" A.F.F. RESPECTIVELY.
- INSTALL SIGN ON THE DOOR TO RISER ROOM DESIGNATING "FIRE ALARM/SPRINKLER RISER"
- A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING MORE THAN THREE STORIES, DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE INTERIOR EXIT STAIRWAY OR RAMP, AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5'-0" ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITION. IN ADDITION TO THE STAIRWAY IDENTIFICATION SIGN, A FLOOR LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE INTERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL.
- IN APPLICABLE, A 42" X 30" METAL GATE WITH SPRING CLOSER SHALL BE PROVIDED IN STAIRWAYS CONTINUING PAST THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM UNINTENTIONALLY CONTINUING INTO THE LEVELS BELOW. DIRECTION EXIT SIGNS SHALL BE PROVIDED.

PASSIVE SYSTEMS	
FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED LOCATIONS PER SECTION 708.4.2 & 718.2	
DRAFTSTOPPING IN ATTIC REQUIRED PER SECTION 718.4	
SMOKE DOORS AT ELEVATORS AS REQUIRED PER SECTION 3006	

PRIVATE GARAGES - U OCCUPANCY PROVISIONS

- PROVIDE CO MONITOR IN EACH GARAGE STALL
- EACH GARAGE DOOR TO BE ACTUATED BY CO MONITOR, TYP EACH LOCATION
- CO MONITORS TO BE LOCATED WITHIN COMMON AREAS ON FLOOR WITH GARAGES AS WELL AS COMMON AREAS ON THE FLOOR ABOVE GARAGES.

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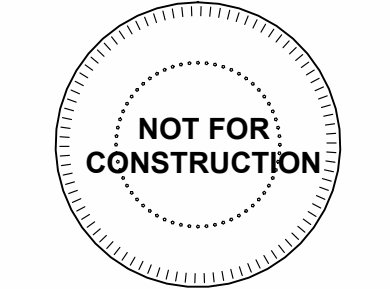
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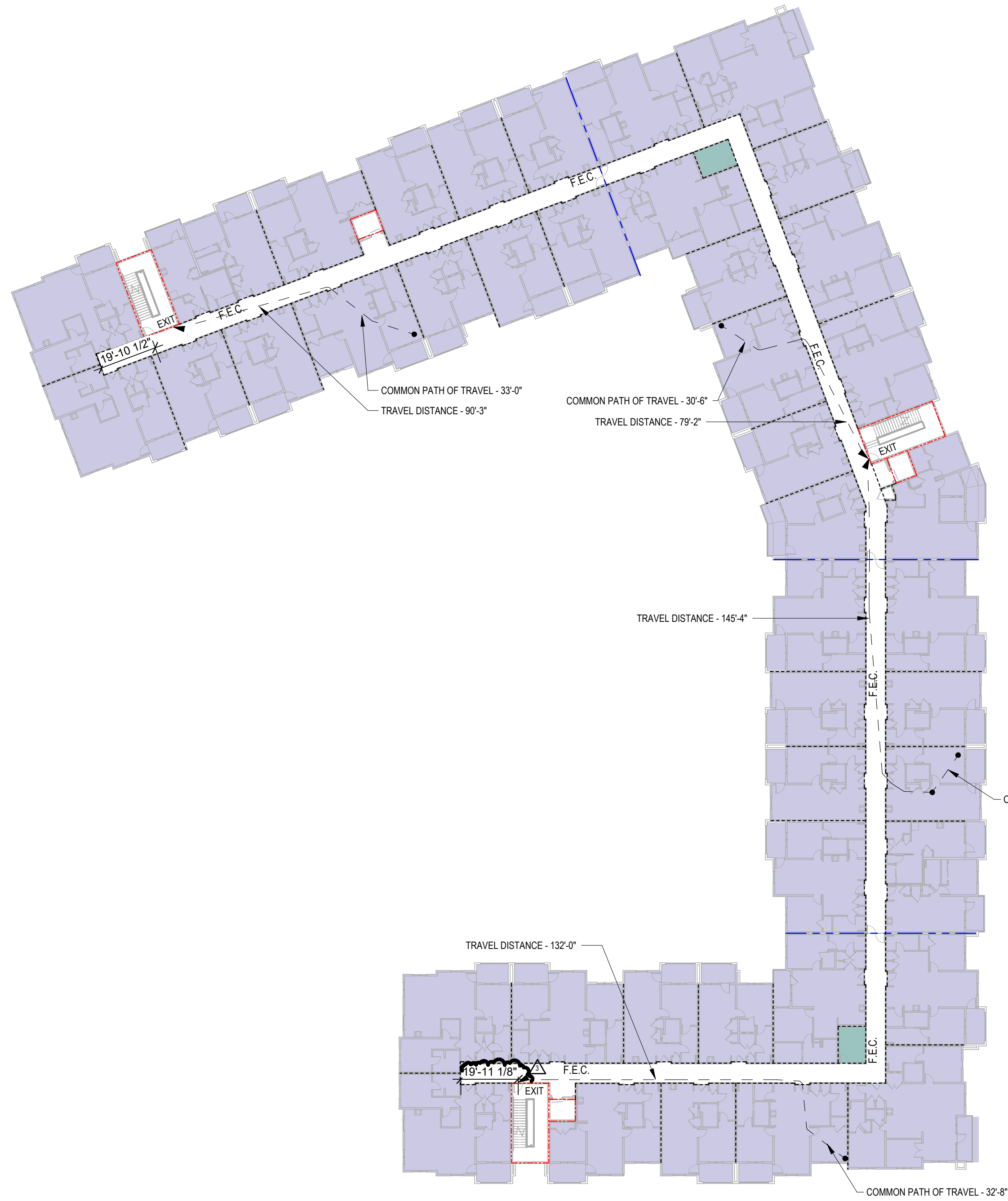
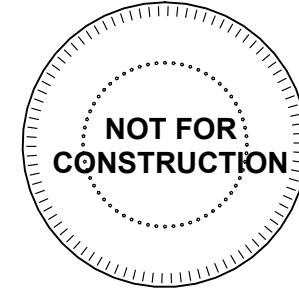
REVISIONS
3 23/0511 ADDENDUM 2

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
5/11/2023
ADDENDUM #2
SHEET NAME
BUILDING 2 CODE
ANALYSIS & PLANS
SHEET NO.

A0.23

RELEASED FOR CONSTRUCTION
As Noted on Plans Review
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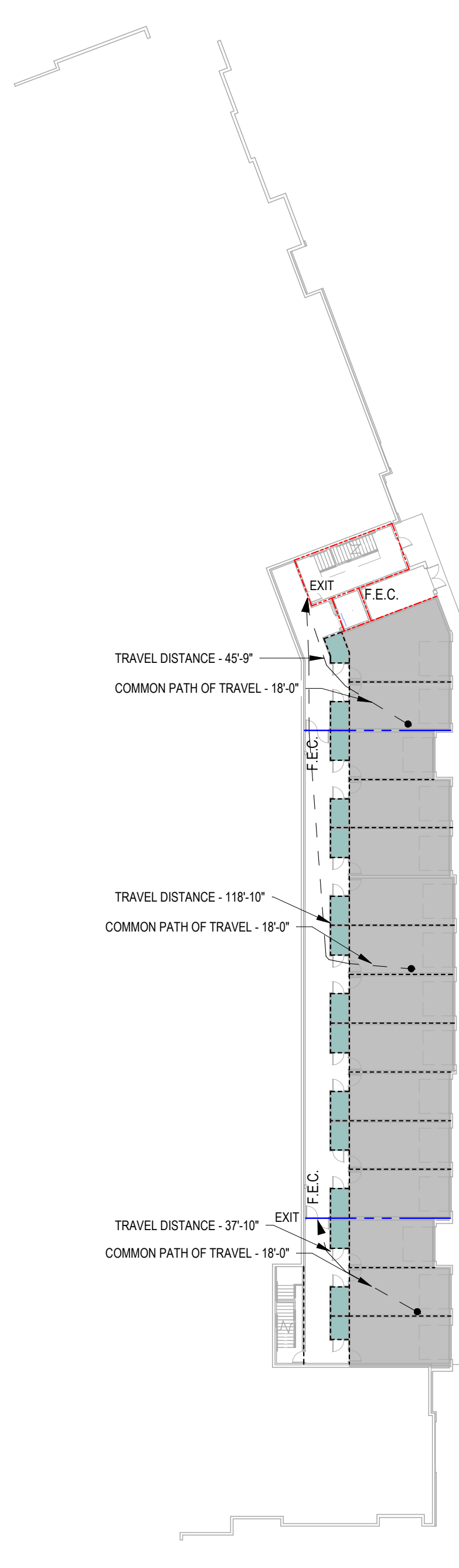




3 CODE REFERENCE PLAN - 2ND FLOOR
1" = 30'-0"



2 CODE REFERENCE PLAN - 1ST FLOOR
1" = 30'-0"



1 CODE REFERENCE PLAN - BASEMENT
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 2

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	13,137 SF	200 GROSS	66
TOTAL OCCUPANT LOAD			66

SEGMENT G - LEVEL 2

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,360 SF	200 GROSS	62
ACCESSORY STORMECH	122 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			63

SEGMENT H - LEVEL 2

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,492 SF	200 GROSS	43
TOTAL OCCUPANT LOAD			43

SEGMENT J - LEVEL 2

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,826 SF	200 GROSS	64
ACCESSORY STORMECH	122 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			65

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

MINIMUM NUMBER OF EXITS	REQUIRED	PROVIDED
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2

EXIT WIDTH FACTORS (STAIRS/OTHER)

SEGMENT F	44"144"
SEGMENT G	44"144"
SEGMENT H	44"144"
SEGMENT J	44"144"

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

SEGMENT F (R2)	250 FT
SEGMENT G (R2)	250 FT
SEGMENT H (R2)	250 FT
SEGMENT J (R2)	250 FT

MAXIMUM COMMON PATH OF TRAVEL DISTANCE

SEGMENT F (R2)	125 FT
SEGMENT G (R2)	125 FT
SEGMENT H (R2)	125 FT
SEGMENT J (R2)	125 FT

MAXIMUM DEAD END CORRIDOR LENGTH

GROUP R2	20 FT
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PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
PARKING GARAGES	10,789 SF	200 GROSS	54
ACCESSORY STORMECH	1,180 SF	300 GROSS	4
TOTAL OCCUPANT LOAD			58

SEGMENT G - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	7,254 SF	200 GROSS	37
PARKING GARAGES	2,789 SF	200 GROSS	14
ACCESSORY STORMECH	1,712 SF	300 GROSS	6
TOTAL OCCUPANT LOAD			57

SEGMENT H - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	4,296 SF	200 GROSS	22
PARKING GARAGES	3,478 SF	200 GROSS	17
ACCESSORY STORMECH	415 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			40

SEGMENT J - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	4,069 SF	200 GROSS	20
PARKING GARAGE	6,078 SF	200 GROSS	30
ACCESSORY STORMECH	1,926 SF	300 GROSS	7
TOTAL OCCUPANT LOAD			57

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

MINIMUM NUMBER OF EXITS	REQUIRED	PROVIDED
SEGMENT F	2	2
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2

EXIT WIDTH FACTORS (STAIRS/OTHER)

SEGMENT F	44"144"
SEGMENT G	44"144"
SEGMENT H	44"144"
SEGMENT J	44"144"

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

SEGMENT F (R2)	250 FT
SEGMENT G (R2)	250 FT
SEGMENT H (R2)	250 FT
SEGMENT J (R2)	250 FT

MAXIMUM COMMON PATH OF TRAVEL DISTANCE

SEGMENT F (R2)	125 FT
SEGMENT G (R2)	125 FT
SEGMENT H (R2)	125 FT
SEGMENT J (R2)	125 FT

MAXIMUM DEAD END CORRIDOR LENGTH

GROUP R2	20 FT
----------	-------

PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT G - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
PARKING GARAGES	862 SF	200 GROSS	4
ACCESSORY STORMECH	78 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			5

SEGMENT H - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
PARKING GARAGES	3,551 SF	200 GROSS	18
ACCESSORY STORMECH	400 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			19

SEGMENT J - LEVEL 1

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
PARKING GARAGE	1,029 SF	200 GROSS	5
ACCESSORY STORMECH	112 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			6

EGRESS REQUIREMENTS

ELEMENT REQUIRED PROVIDED

MINIMUM NUMBER OF EXITS	REQUIRED	PROVIDED
SEGMENT G	2	2
SEGMENT H	2	2
SEGMENT J	2	2

EXIT WIDTH FACTORS (STAIRS/OTHER)

SEGMENT G	44"144"
SEGMENT H	44"144"
SEGMENT J	44"144"

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

SEGMENT G (R2)	250 FT
SEGMENT H (R2)	250 FT
SEGMENT J (R2)	250 FT

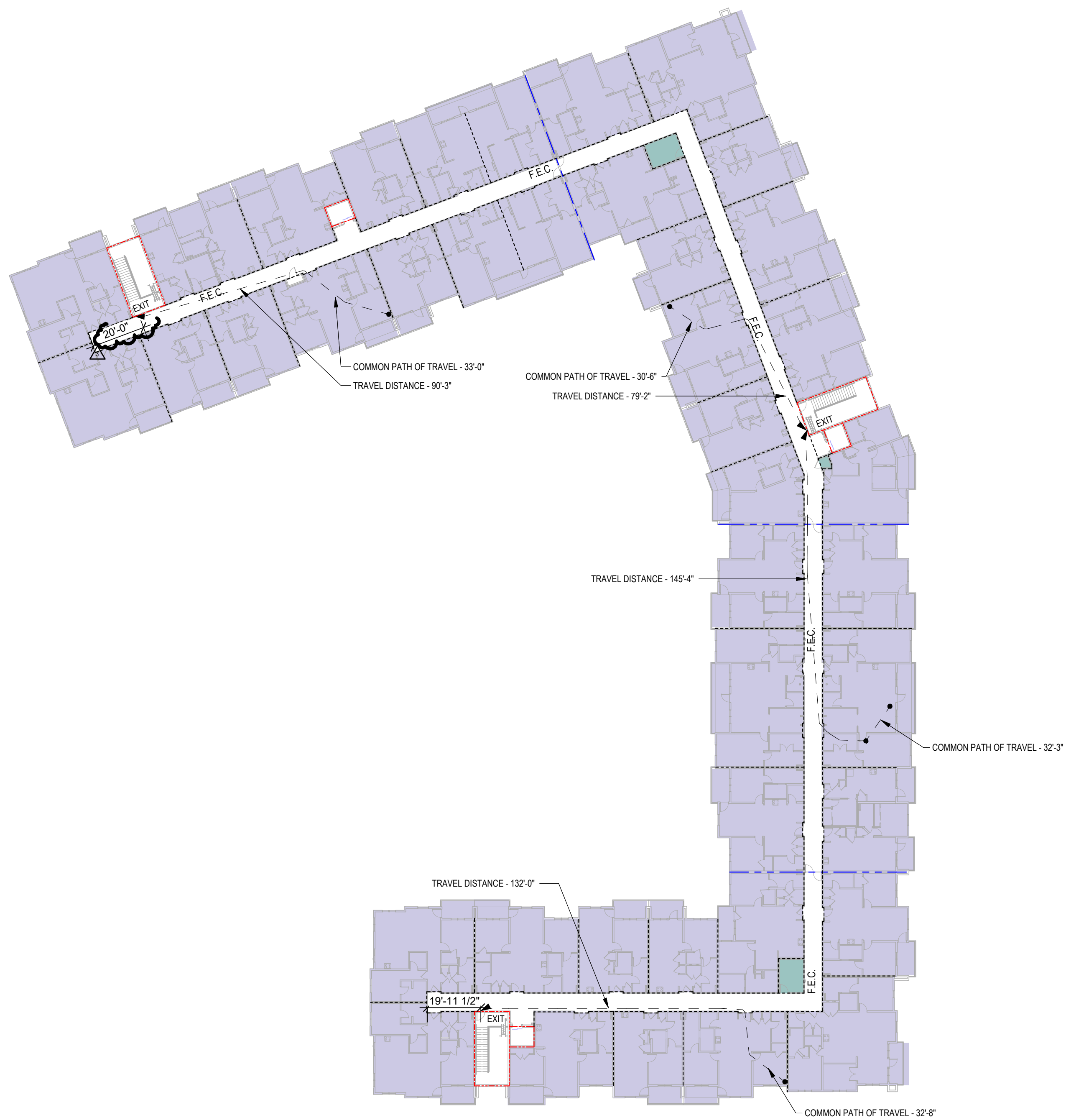
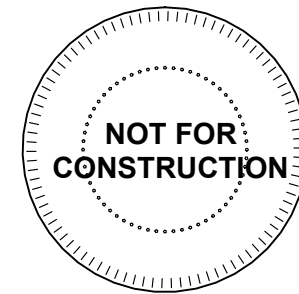
MAXIMUM COMMON PATH OF TRAVEL DISTANCE

SEGMENT G (R2)	125 FT
SEGMENT H (R2)	125 FT
SEGMENT J (R2)	125 FT

MAXIMUM DEAD END CORRIDOR LENGTH

GROUP R2	20 FT
----------	-------

PANIC HARDWARE
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS



2 CODE REFERENCE PLAN - 4TH FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 4

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	13,220 SF	200 GROSS	66
TOTAL OCCUPANT LOAD			66

SEGMENT G - LEVEL 4

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,378 SF	200 GROSS	62
ACCESSORY STORMMECH	146 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			63

SEGMENT H - LEVEL 4

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,559 SF	200 GROSS	43
TOTAL OCCUPANT LOAD			43

SEGMENT J - LEVEL 4

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,871 SF	200 GROSS	64
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			65

EGRESS REQUIREMENTS

ELEMENT

REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS	
SEGMENT F	2
SEGMENT G	2
SEGMENT H	2
SEGMENT J	2
EXIT WIDTH FACTORS (STAIRS/OTHER)	
SEGMENT F	44'80"
SEGMENT G	44'80"
SEGMENT H	44'80"
SEGMENT J	44'80"
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	
SEGMENT F (R2)	250 FT
SEGMENT G (R2)	250 FT
SEGMENT H (R2)	250 FT
SEGMENT J (R2)	250 FT
MAXIMUM COMMON PATH OF TRAVEL DISTANCE	
SEGMENT F (R2)	125 FT
SEGMENT G (R2)	125 FT
SEGMENT H (R2)	125 FT
SEGMENT J (R2)	125 FT
MAXIMUM DEAD END CORRIDOR LENGTH	
GROUP R2	20 FT
SECTION 1005, 1011, 1024	
SECTION 1006.2.1	
SECTION 1008.2.1	
SECTION 1020.4	
PANIC HARDWARE	
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS	



1 CODE REFERENCE PLAN - 3RD FLOOR
1" = 30'-0"

OCCUPANT LOAD BUILDING CALCULATIONS

SEGMENT F - LEVEL 3

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	13,153 SF	200 GROSS	66
ACCESSORY STORMMECH	20 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			67

SEGMENT G - LEVEL 3

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,378 SF	200 GROSS	62
ACCESSORY STORMMECH	146 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			63

SEGMENT H - LEVEL 3

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	8,505 SF	200 GROSS	43
TOTAL OCCUPANT LOAD			43

SEGMENT J - LEVEL 3

OCCUPANCY TYPE	GROSS FLOOR AREA	LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL	12,849 SF	200 GROSS	64
ACCESSORY STORMMECH	127 SF	300 GROSS	1
TOTAL OCCUPANT LOAD			65

EGRESS REQUIREMENTS

ELEMENT

REQUIRED	PROVIDED
MINIMUM NUMBER OF EXITS	
SEGMENT F	2
SEGMENT G	2
SEGMENT H	2
SEGMENT J	2
EXIT WIDTH FACTORS (STAIRS/OTHER)	
SEGMENT F	44'80"
SEGMENT G	44'80"
SEGMENT H	44'80"
SEGMENT J	44'80"
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	
SEGMENT F (R2)	250 FT
SEGMENT G (R2)	250 FT
SEGMENT H (R2)	250 FT
SEGMENT J (R2)	250 FT
MAXIMUM COMMON PATH OF TRAVEL DISTANCE	
SEGMENT F (R2)	125 FT
SEGMENT G (R2)	125 FT
SEGMENT H (R2)	125 FT
SEGMENT J (R2)	125 FT
MAXIMUM DEAD END CORRIDOR LENGTH	
GROUP R2	20 FT
SECTION 1005, 1011, 1024	
SECTION 1006.2.1	
SECTION 1008.2.1	
SECTION 1020.4	
PANIC HARDWARE	
REQUIRED ON ALL EXIT ACCESS DOORS SERVING ASSEMBLY SPACES WITH 50 OR MORE OCCUPANTS	

A NEW RESIDENTIAL COMMUNITY AT:

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800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

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REVISIONS
3 23.0511 ADDENDUM 2

JOB NO. 705921
DRAWN BY TSC/SIW
5/11/2023
ADDENDUM #2
SHEET NAME
BUILDING 2 EGRESS & OCCUPANCY PLANS
SHEET NO.

A0.25

ROOF ASSEMBLY INFORMATION

IDENTIFICATION		
FRAMING	WOOD TRUSS	
THICKNESS	VARIES	
FIRE RATING	1-HR	
FIRE TEST NUMBER	P556	
ACOUSTICAL RATING		
ACOUSTICAL TEST NUMBER		

ASSEMBLY NOTES

A. EQUIVALENT GA FILE NO: RC 2602 OR RC 2603

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x4	2x6
THICKNESS	4-3/4"	6-3/4"
FIRE RATING	0-HR	0-HR
FIRE TEST NUMBER	N/A	N/A
ACOUSTICAL RATING	N/A	N/A
ACOUSTICAL TEST NUMBER	N/A	N/A

ASSEMBLY NOTES

A. SUBSTITUTE 5/8" TYPE "X" GYP BD AT CONTRACTORS OPTION
B. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS

ROOF ASSEMBLY INFORMATION

IDENTIFICATION		
FRAMING	WOOD TRUSS	
THICKNESS	VARIES	
FIRE RATING	2-HR	
FIRE TEST NUMBER	P571	
ACOUSTICAL RATING		
ACOUSTICAL TEST NUMBER		

ASSEMBLY NOTES

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x4	2x6
THICKNESS	10 1/2"	12 1/2"
FIRE RATING	2-HR	2-HR
FIRE TEST NUMBER	UL U351	UL U351
ACOUSTICAL RATING	N/A	N/A
ACOUSTICAL TEST NUMBER	N/A	N/A

ASSEMBLY NOTES

A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: WP 3725

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x4	2x6
THICKNESS	4-3/4"	6-3/4"
FIRE RATING	1-HR	1-HR
FIRE TEST NUMBER	UL U305	UL U305
ACOUSTICAL RATING	STC 56	STC 56
ACOUSTICAL TEST NUMBER	N/A	N/A

ASSEMBLY NOTES

A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: WP 3511

BEAM ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	PER STRUC.	
THICKNESS	VARIES	
FIRE RATING	1-HR	
FIRE TEST NUMBER	N743X790	

ASSEMBLY NOTES

A. BASED ON UL N743 & N790
B. CAFOD 300 SPRAY APPLIED FIRE PROOFING. APPLY RE: MANF. INSTRUCTIONS TO DEVELOP REQUIRED RATING.

FLOOR ASSEMBLY INFORMATION

IDENTIFICATION		
FRAMING	2x10	
THICKNESS	VARIES	
FIRE RATING	1-HR	
FIRE TEST NUMBER	LS69	
ACOUSTICAL RATING	N/A	
ACOUSTICAL TEST NUMBER		

ASSEMBLY NOTES

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x6	
THICKNESS	8"	
FIRE RATING	2-HR	
FIRE TEST NUMBER	UL U301	
ACOUSTICAL RATING	S2	
ACOUSTICAL TEST NUMBER	USG-810218	

ASSEMBLY NOTES

A. TYP AT STAIRS, ELEVATORS & TRASH CHUTES
B. EQUIVALENT GA FILE NO: WP 4135

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x4	2x6
THICKNESS	5-1/4"	7-1/4"
FIRE RATING	1-HR	1-HR
FIRE TEST NUMBER	UL U309	UL U309
ACOUSTICAL RATING	S0	S0
ACOUSTICAL TEST NUMBER	BBN 700903	BBN 700903

ASSEMBLY NOTES

A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: WP 3242

ASSEMBLY INFORMATION

IDENTIFICATION		
FRAMING	STEEL COLUMN	STEEL COLUMN
THICKNESS	VARIES	VARIES
FIRE RATING	1-HR	2-HR
FIRE TEST NUMBER	UL X650	UL X650
ACOUSTICAL RATING	--	--
ACOUSTICAL TEST NUMBER	--	--

ASSEMBLY NOTES

INTUMESCENT COATING (SEE TABLE IN UL ASSEMBLY FOR APPROPRIATE FINAL DRY THICKNESS AND APPLICABLE RATING)

FLOOR ASSEMBLY INFORMATION

IDENTIFICATION		
FRAMING	WOOD TRUSS	WOOD TRUSS
THICKNESS	1'-7 7/8"	2'-1 7/8"
FIRE RATING	1-HR	1-HR
FIRE TEST NUMBER	LS28	LS28
ACOUSTICAL RATING	N/A	N/A
ACOUSTICAL TEST NUMBER	N/A	N/A

ASSEMBLY NOTES

A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: RC 5913

WALL ASSEMBLY INFORMATION

IDENTIFICATION		
STUD SIZE	2x6	
THICKNESS	6-7/8"	
FIRE RATING	1-HR	
FIRE TEST NUMBER	UL U356	
ACOUSTICAL RATING	N/A	
ACOUSTICAL TEST NUMBER	N/A	

ASSEMBLY NOTES

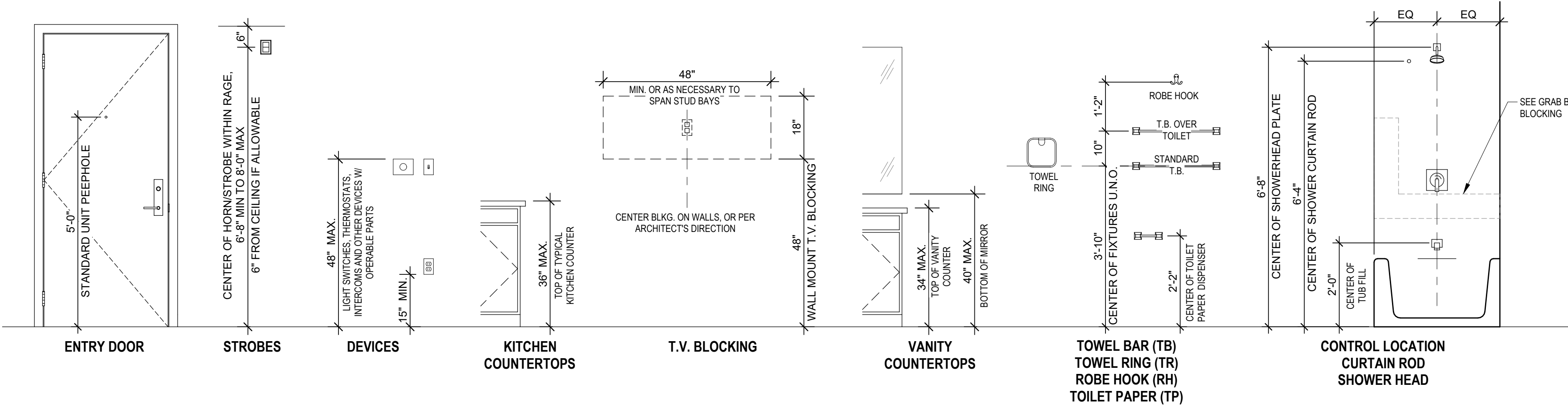
A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS

WALL ASSEMBLY INFORMATION

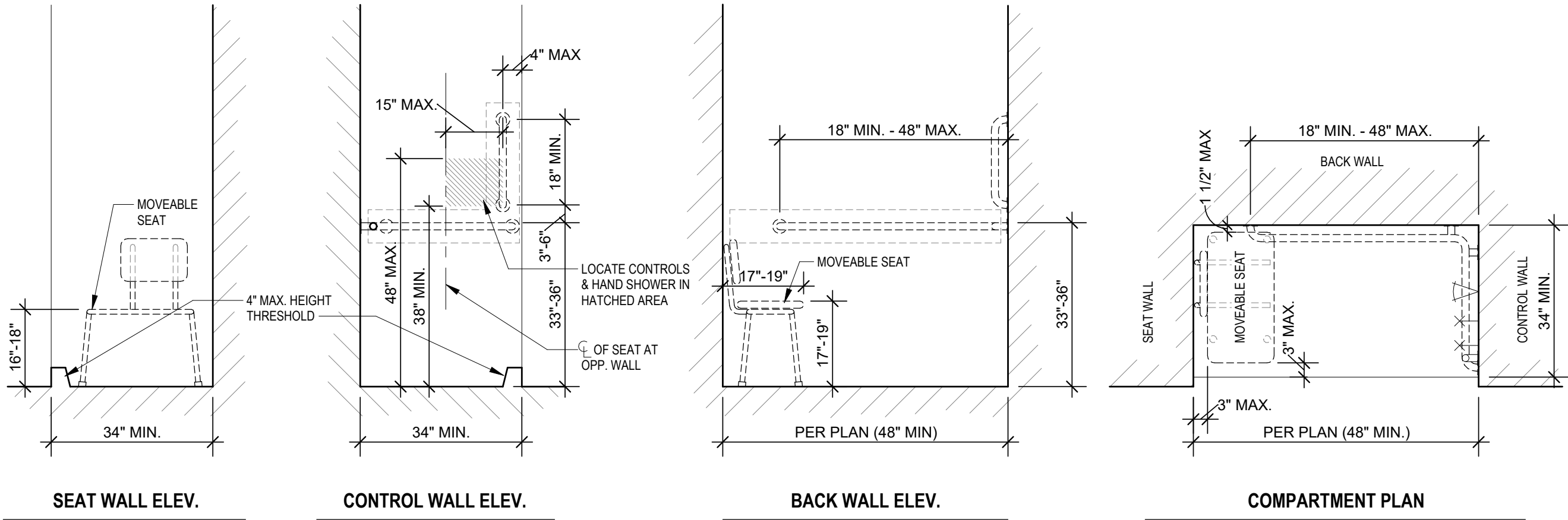
IDENTIFICATION		
STUD SIZE	2x4	
THICKNESS	9 1/4"	
FIRE RATING	1-HR	
FIRE TEST NUMBER	UL U341	
ACOUSTICAL RATING	S5	
ACOUSTICAL TEST NUMBER	RAL TL11-160	

ASSEMBLY NOTES

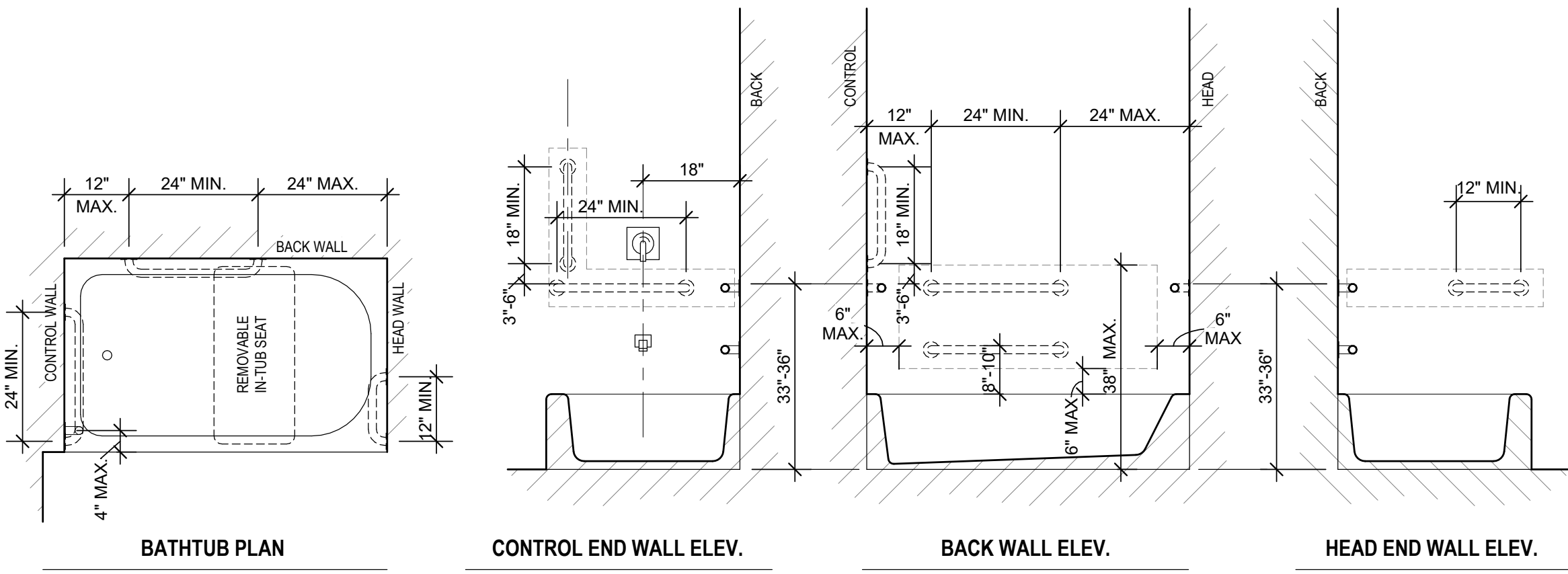
A. WATER RESISTANT 5/8" GYP BD AT WET LOCATIONS
B. EQUIVALENT GA FILE NO: WP 3378



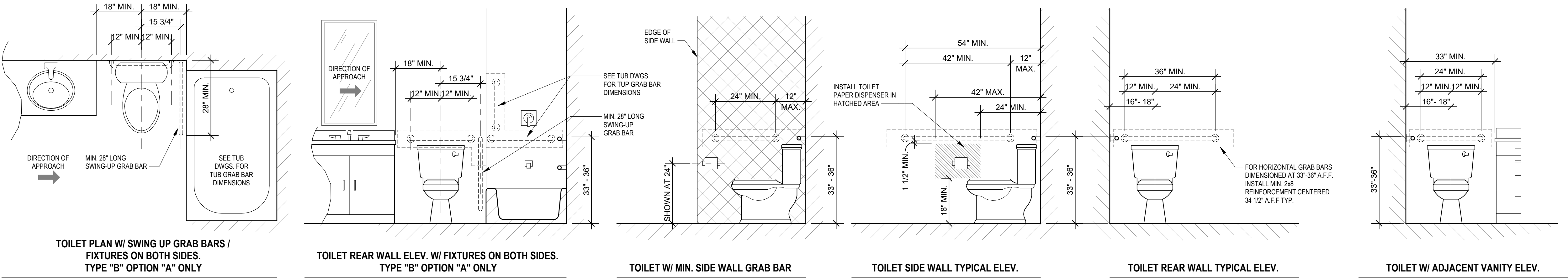
TYPE "B" DWELLING UNIT MOUNTING HEIGHTS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR SHOWERS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR BATHTUBS



TYPE "B" DWELLING UNIT GRAB BAR REINFORCEMENT FOR TOILETS

TYPE "B" DWELLING UNITS - ACCESSIBILITY NOTES

ALL UNITS NOT DESIGNATED AS "TYPE A" OR "EXEMPT" ARE CONSIDERED "TYPE B" AND SHALL MEET ALL APPLICABLE REQUIREMENTS OF A117.1-2009 SECTION 1004 AND THE FAR HOUSING ACT.

ACCESSIBLE ROUTE:

- THE ACCESSIBLE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES & ELEMENTS WHICH ARE PART OF THE DWELLING UNIT. AN ACCESSIBLE ROUTE SHALL HAVE A CLEAR WIDTH OF 36" MIN.
- ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMPS, ELEVATORS, AND WHEELCHAIR (PLATFORM) CARS WHERE EXTERIOR ARE IMPERVIOUS, THE FINISHED IMPERVIOUS SURFACE SHALL BE 4" MAX. BELOW THE FLOOR LEVEL OF THE ADJACENT INTERIOR SPACES OF THE UNIT.

DOORS:

- THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- ALL DOORWAYS INTENDED FOR USER PASSAGE WITHIN THE DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 31 3/4" MIN., MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- THRESHOLDS AT ALL EXTERIOR DOORS SHALL NOT EXCEED 1/2", EXCEPT SLIDING DOORS SHALL NOT EXCEED 3/4". CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL, CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- WHERE AN INACTIVE LEAF OF DOUBLE LEAF DOORWAYS WITH OPERABLE PARTS MORE THAN 48" OR LESS THAN 15" ABOVE THE FLOOR IS PROVIDED, THE ACTIVE LEAF SHALL PROVIDE A CLEAR OPENING OF 31 3/4" MIN.
- THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON THE PRIMARY ENTRY DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF.

TOILET AND BATHING FACILITIES:

- DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
- REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT WATER CLOSETS, BATHTUBS, AND SHOWER COMPARTMENTS. REINFORCEMENT IS NOT REQUIRED IN A ROOM CLOSET OR WATER CLOSET OR WATER CLOSET ON THE ACCESSIBLE LEVEL OF THE DWELLING UNIT.
- EITHER ALL TOILET AND BATHING AREAS SHALL COMPLY WITH "OPTION A" REQUIREMENTS, OR ONE TOILET AND BATHING AREA SHALL COMPLY WITH "OPTION B" REQUIREMENTS.

OPTION A:

- ALL FIXTURES WITHIN THE DWELLING UNIT SHALL COMPLY.
- A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED AND CENTERED AT THE LAVATORY.
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.
- IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". CLEARANCE 30" MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN. MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

OPTION B:

- ONE OF EACH TYPE OF FIXTURE PROVIDED AND SHALL BE IN A SINGLE TOILET/BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL THROUGH OTHER PARTS OF THE UNIT.
- THE FRONT OF THE LAVATORY SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.
- THE WATER CLOSET SHALL BE POSITIONED TO ALLOW FOR FUTURE INSTALLATION OF A GRAB BAR ON THE SIDE WITH 18" CLEARANCE.
- A CLEARANCE 48" MIN. IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL END OF THE BATHTUB, AND 30" MIN. IN WIDTH SHALL BE PROVIDED IN FRONT OF BATHTUBS.
- IF A SHOWER COMPARTMENT IS THE ONLY BATHING FACILITY THE SHOWER COMPARTMENT SHALL HAVE MINIMUM DIMENSIONS OF 36" MIN. BY 36" MIN. REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IN SHOWER COMPARTMENTS LARGER THAN 36" BY 36". MIN. MEASURED FROM THE FACE OF THE SHOWER COMPARTMENT, BY 48" MIN. MEASURED FROM THE SHOWER HEAD WALL SHALL BE PROVIDED.

KITCHENS:

- CLEARANCES SHALL COMPLY WITH A117.11004.12.1. CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40" MINIMUM. IN U-SHAPED KITCHENS THIS CLEARANCE SHALL BE 60" MINIMUM.
- A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE AND KITCHEN SINK.
- A CLEAR FLOOR SPACE, POSITIONED FOR FORWARD OR PARALLEL APPROACH, SHALL BE POSITIONED BEYOND THE SWING OF THE DISHWASHER DOOR.

LAUNDRY EQUIPMENT:

- A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED. A PARALLEL APPROACH SHALL BE PROVIDED FOR A TOP LOADING MACHINE. A FORWARD OR PARALLEL APPROACH SHALL BE PROVIDED FOR A FRONT LOADING MACHINE.

OPERABLE PARTS:

- LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH CLEAR FLOOR SPACE AND HEIGHT REQUIREMENTS EXCEPT RECEPTACLES SERVING A DEDICATED USE, FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS OR SWITCHES MOUNTED ON APPLIANCES, CONTROLS MOUNTED ON CEILING FANS, AND RESET BUTTONS AND SHUT-OFFS SERVING APPLIANCES, PIPING AND PLUMBING FIXTURES. WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTER TOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL BE PROVIDED. RECEPTACLE OUTLETS ARE PERMITTED TO BE LOCATED OVER CABINETS WITH COUNTER TOPS 30" MAX. IN HEIGHT AND 35 1/2" MAX. IN DEPTH.

GENERAL ACCESSIBILITY NOTES

- INSTALL CONCEALED 200 REINFORCEMENT AT LOCATIONS SHOWN AND AS REQUIRED TO FACILITATE THE INSTALLATION OF THE GRAB BARS & SEATS SHOWN. REINFORCEMENT SHALL BE CAPABLE OF SUPPORTING A VERTICAL OR HORIZONTAL FORCE OF 250 LBS APPLIED AT ANY POINT ALONG THE GRAB BAR, SEAT OR MOUNTED DEVICE.
- INFORMATION SHOWN IS TO ILLUSTRATE GENERAL ACCESSIBILITY REQUIREMENTS. SEE SPECIFIC PLANS & INTERIOR ELEVATIONS FOR REQUIRED DIMENSIONS, STYLES, AND MATERIALS.

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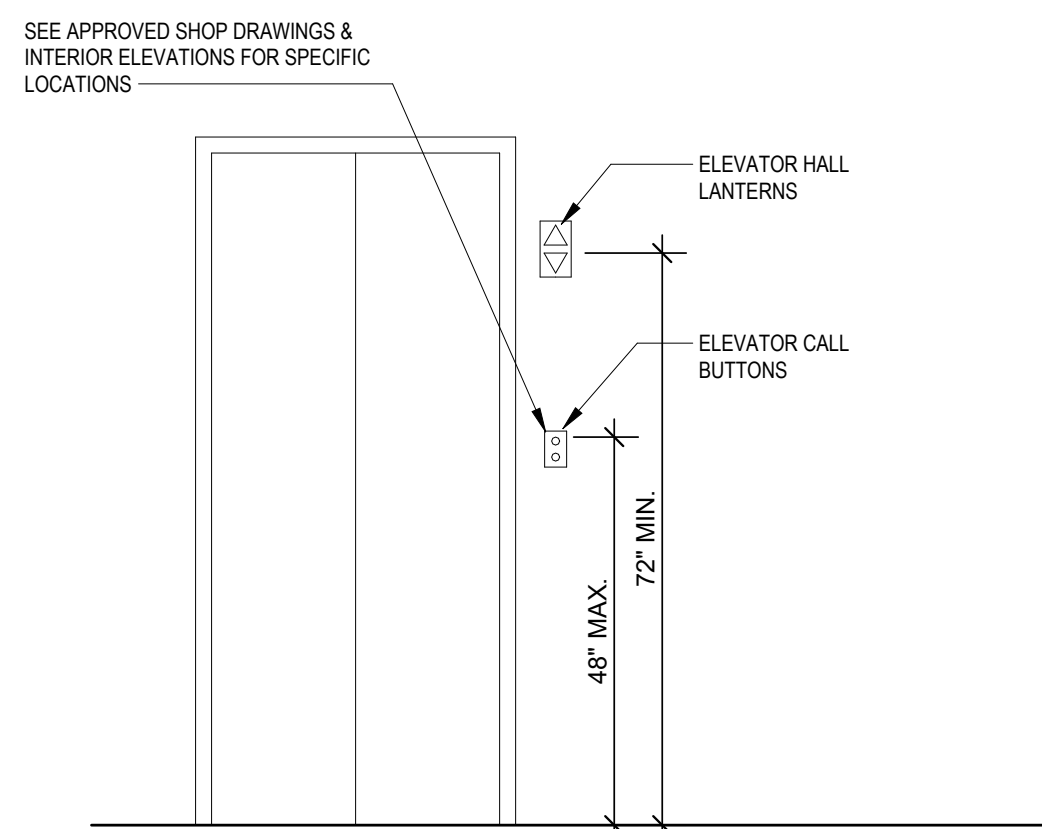
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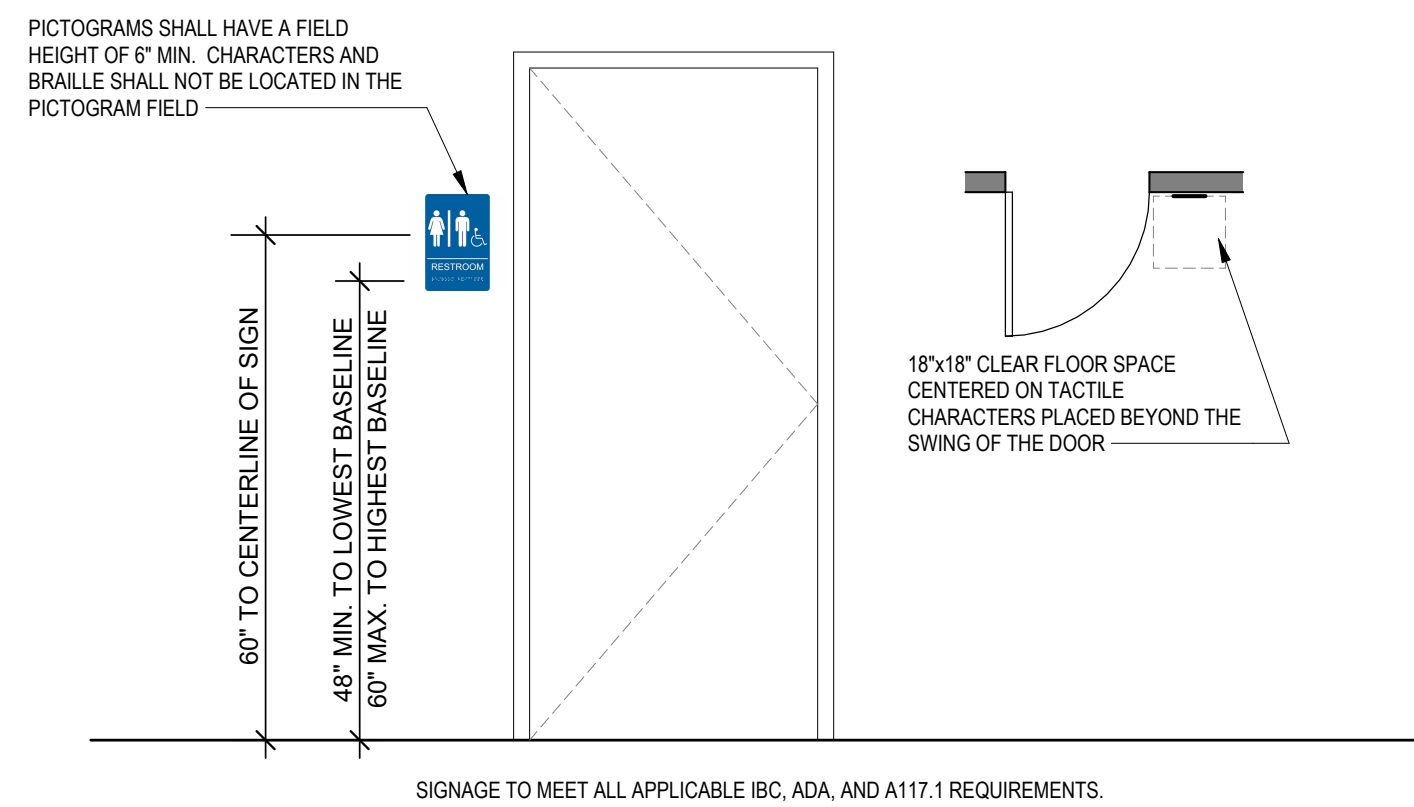
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4/11/2023
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ACCESSIBILITY INFO
SHEET NO.

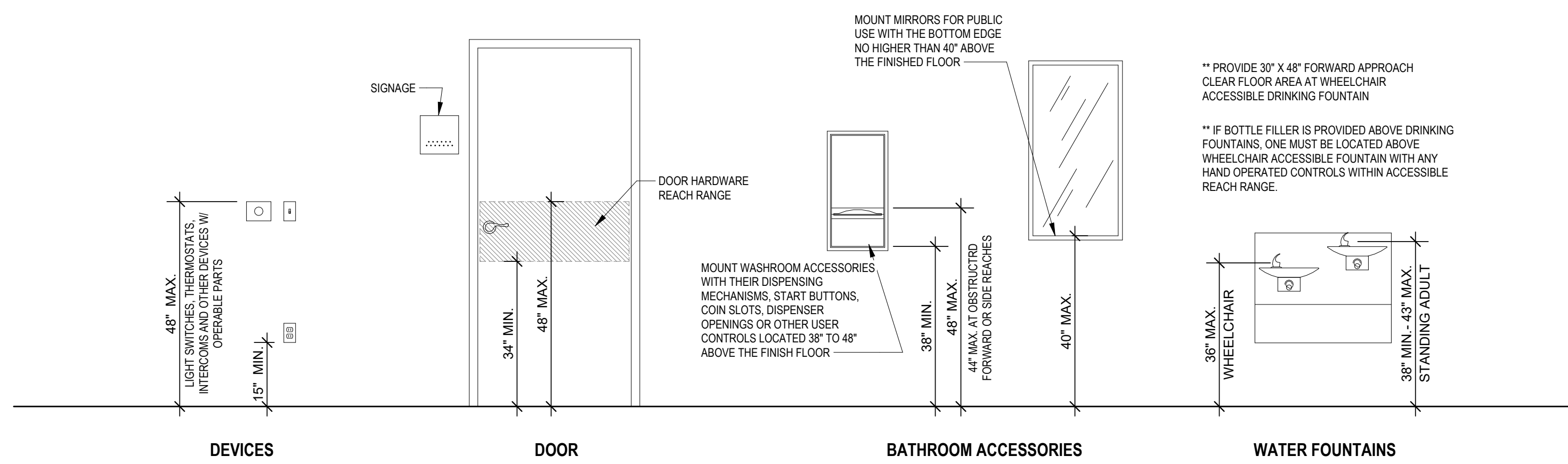
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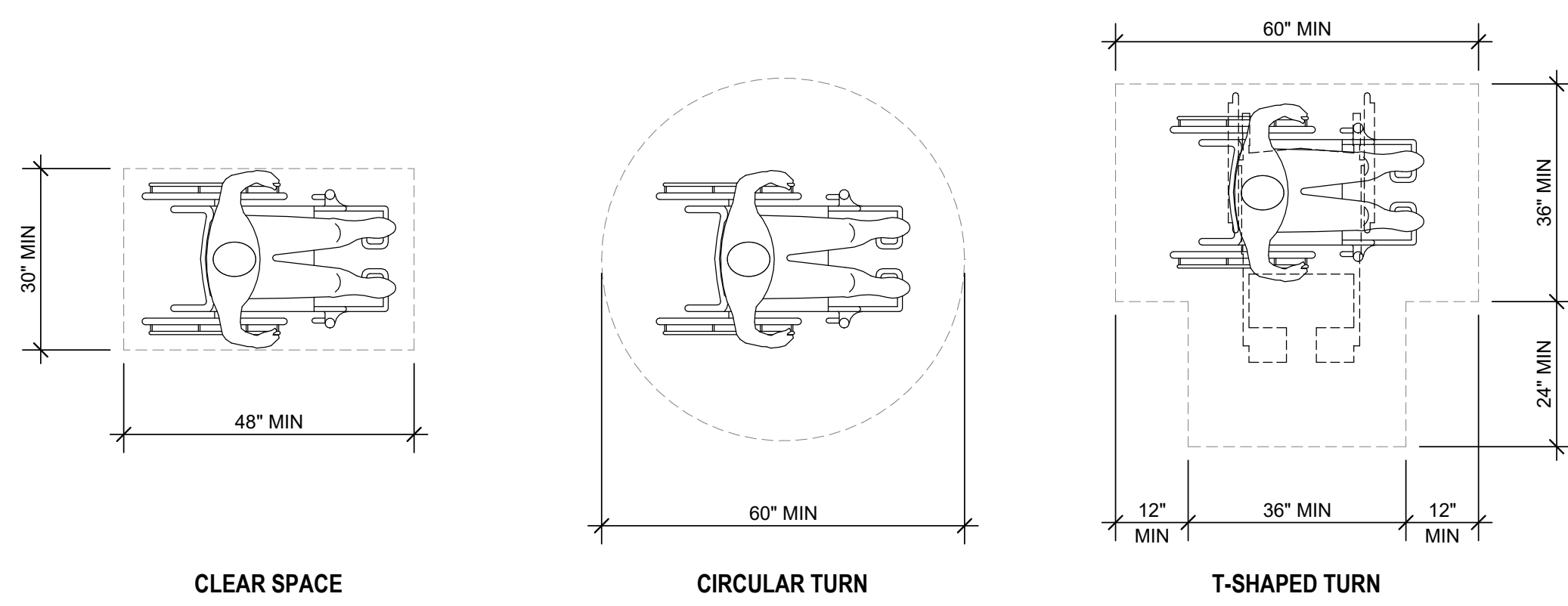
ELEVATOR COMPONENTS



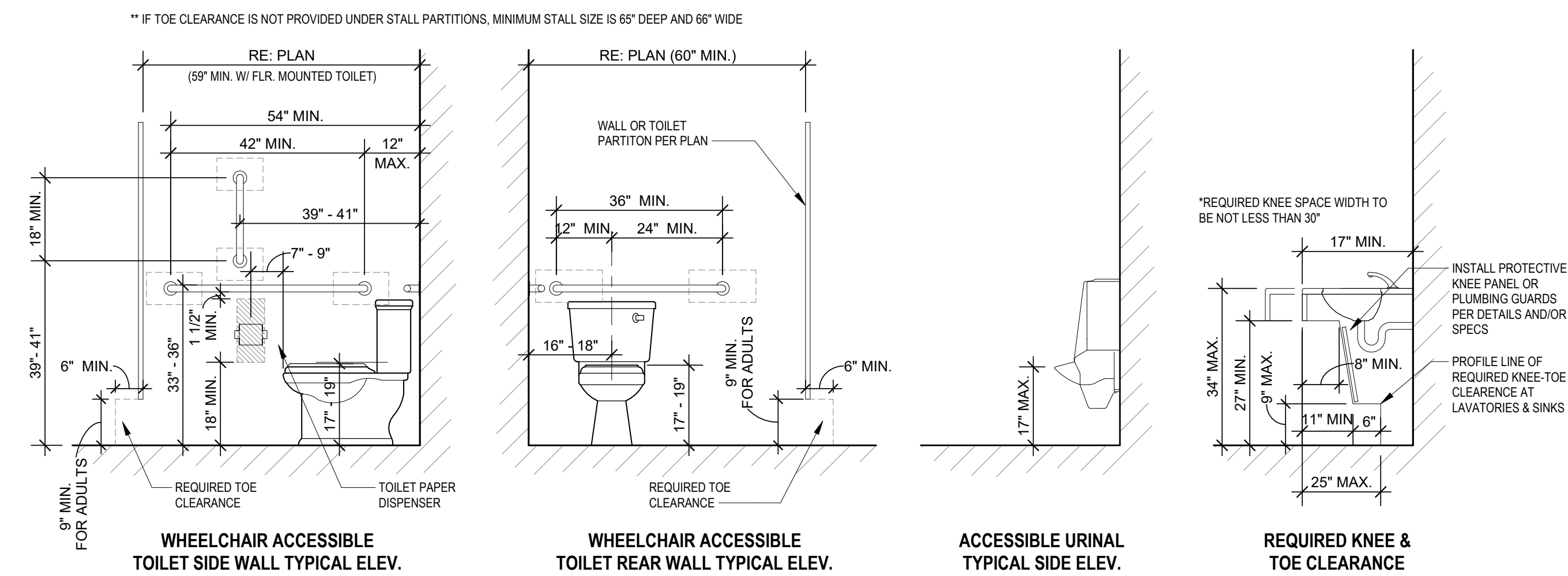
GENERAL SIGNAGE



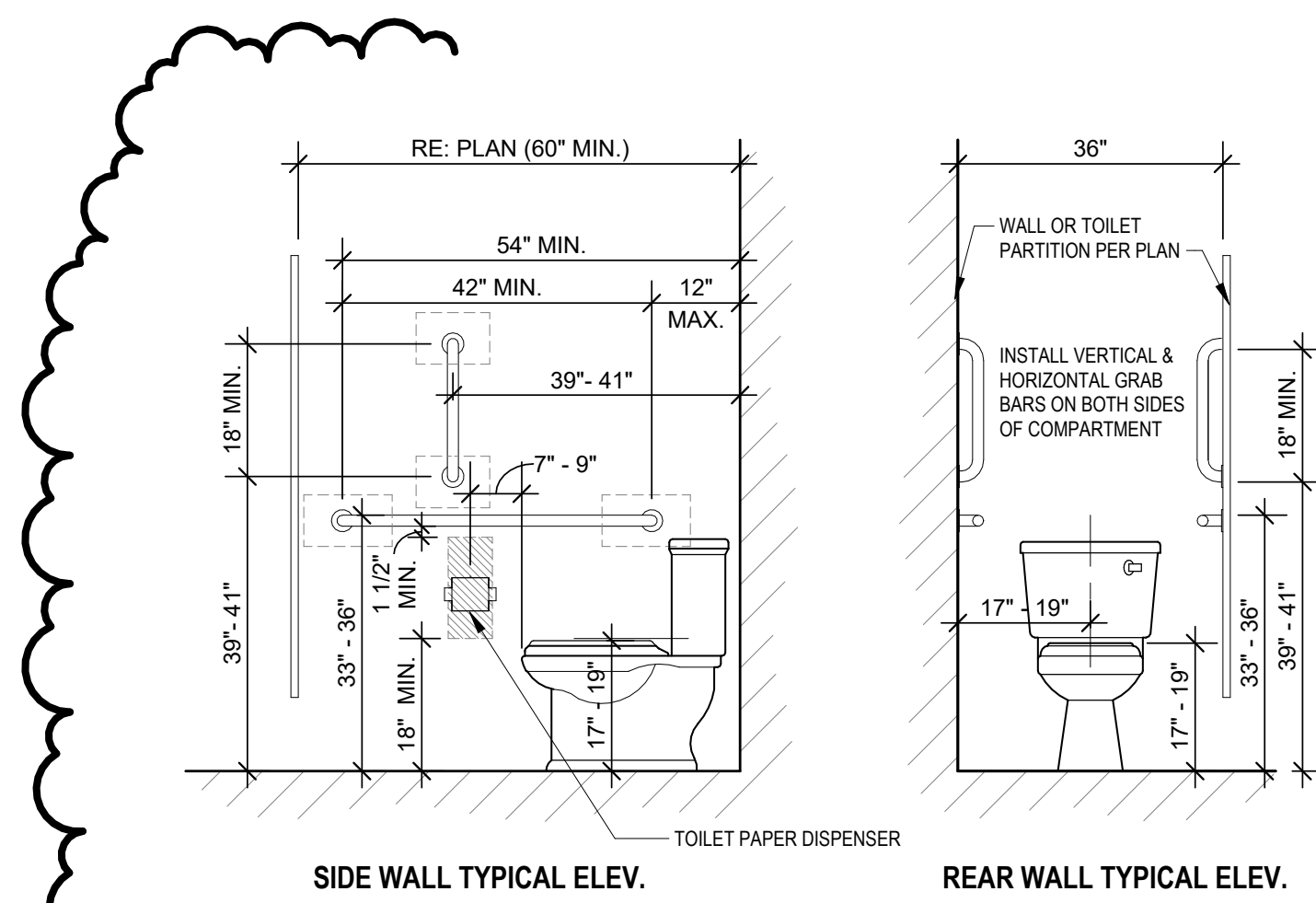
TYPICAL ACCESSIBLE MOUNTING HEIGHTS FOR UNOBSTRUCTED FORWARD REACH



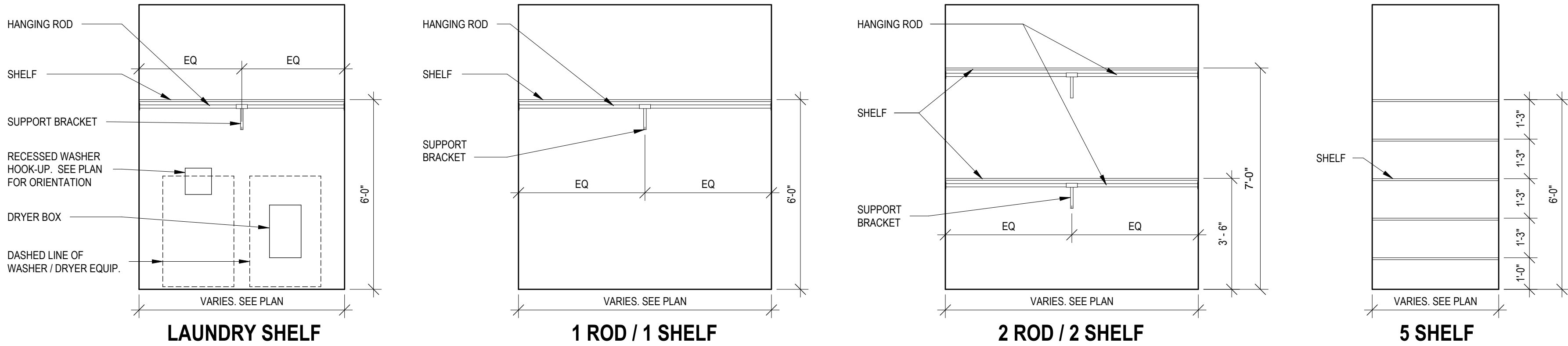
TURNING AND CLEAR FLOOR SPACES



GRAB BARS AND CLEARANCES FOR PUBLIC RESTROOMS



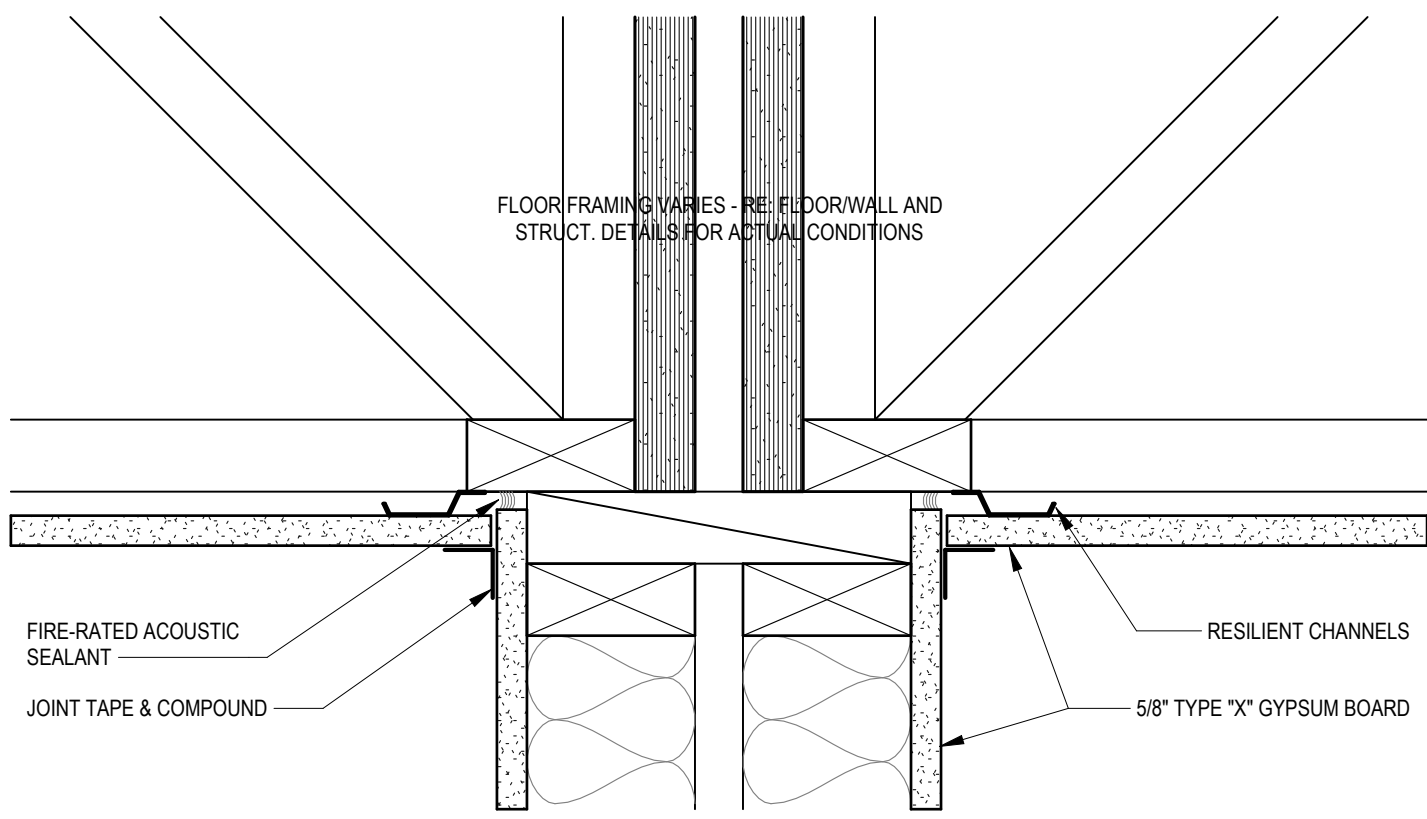
AMBULATORY ACCESSIBLE STALLS



ALL WOOD SHELVES TO BE SUPPORTED BY CLEATS. ALL WIRE SHELVES TO BE SUPPORTED BY BRACKETS PER MANUFACTURER'S INSTRUCTIONS.

5 UNIT SHELVES MOUNTING HEIGHTS

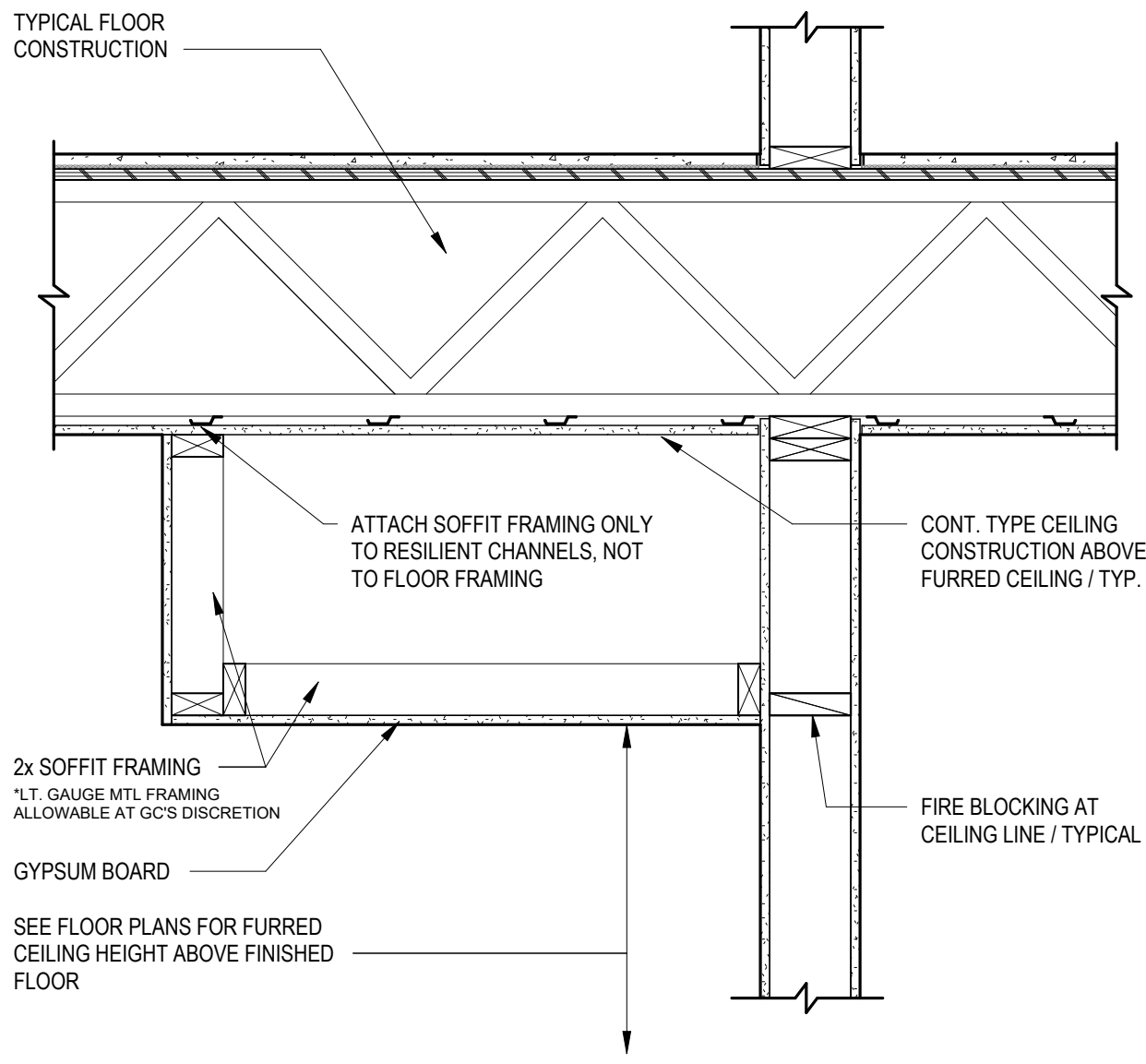
3/8" = 1'-0"



DETAIL TYPICAL AT: UNIT DEMISING WALLS, CORRIDOR WALLS, STAIR & ELEVATOR WALLS, AND SOUND RATED ASSEMBLIES INDICATED.

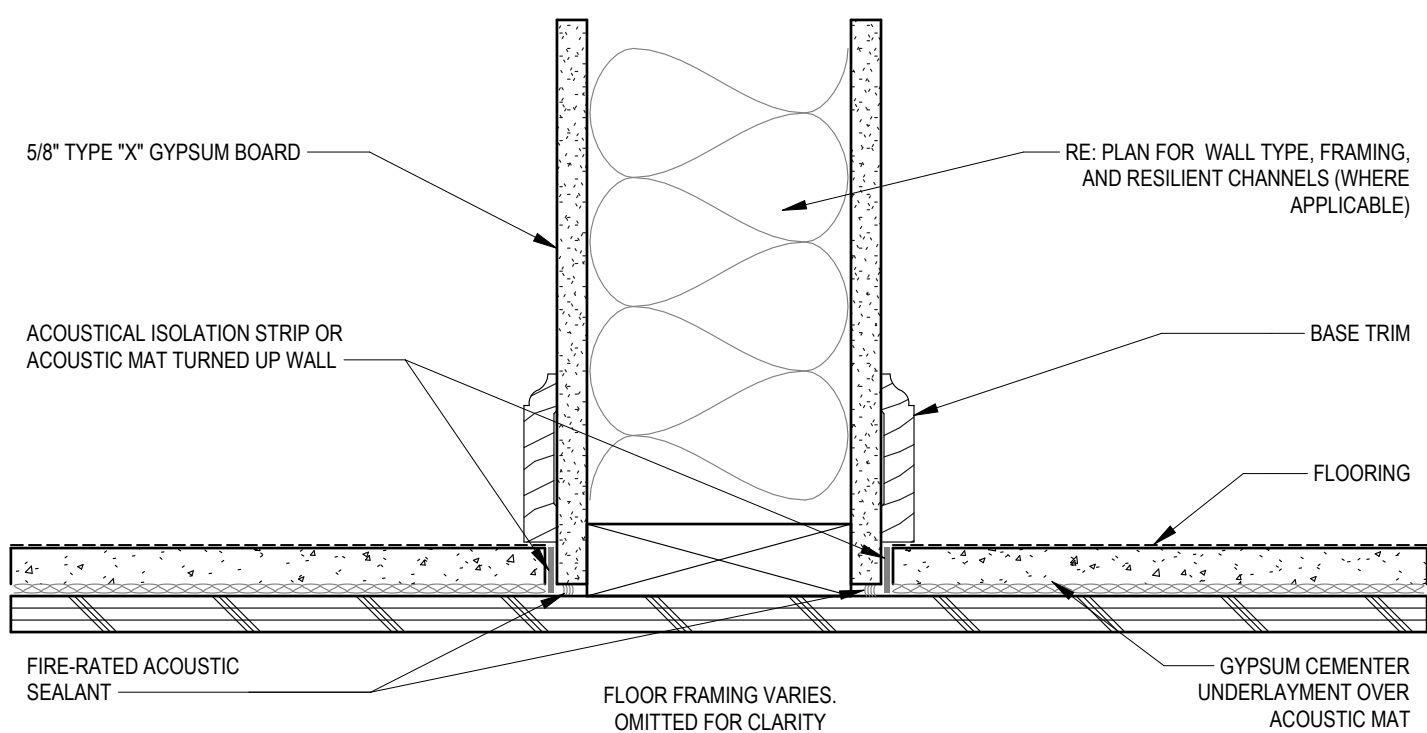
4 ACOUSTIC DETAIL AT CEILING

3" = 1'-0"



2 FURRED CEILING DETAIL

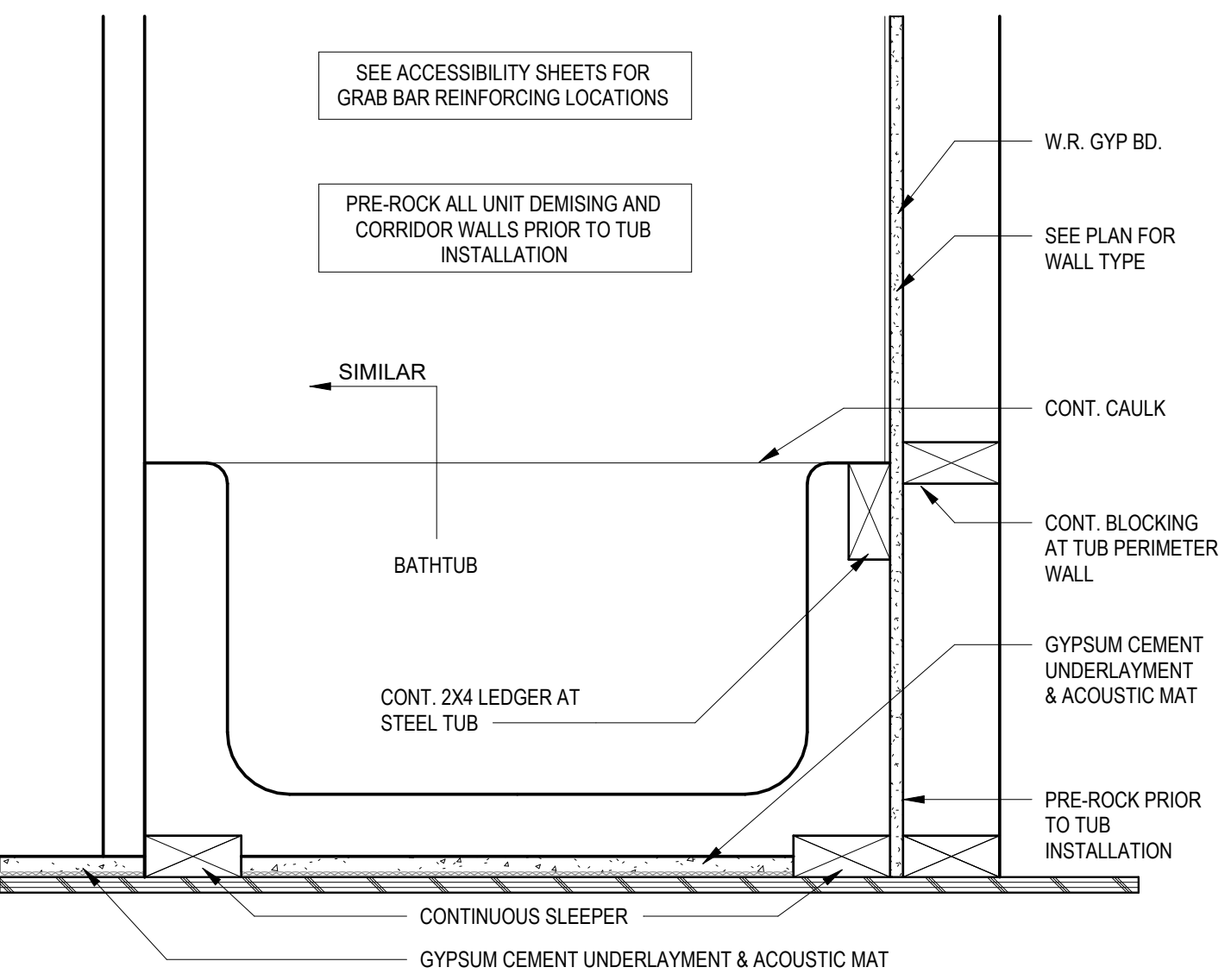
1" = 1'-0"



DETAIL TYPICAL AT: UNIT DEMISING WALLS, CORRIDOR WALLS, STAIR & ELEVATOR WALLS, AND SOUND RATED ASSEMBLIES INDICATED.

3 ACOUSTIC DETAIL AT FLOOR

3" = 1'-0"



1 INTERIOR DETAIL - SECTION AT BATHTUB

1 1/2" = 1'-0"

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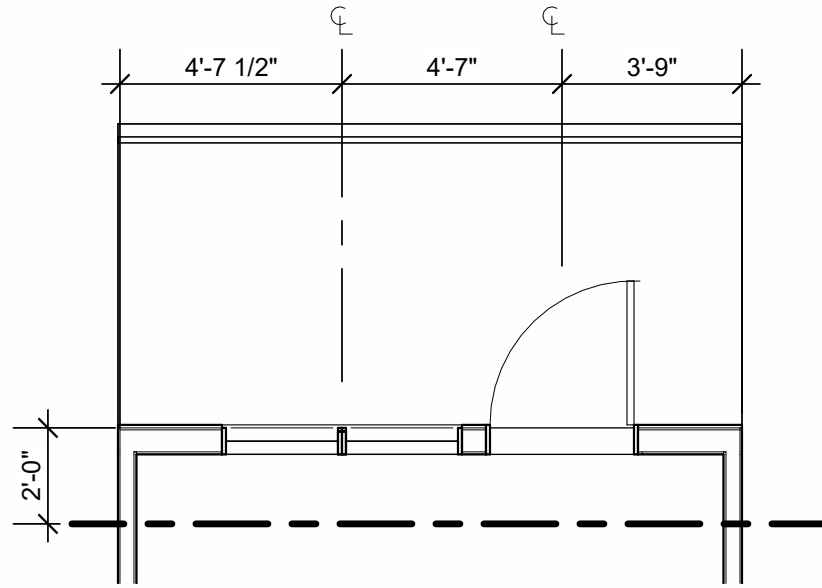
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REVISIONS

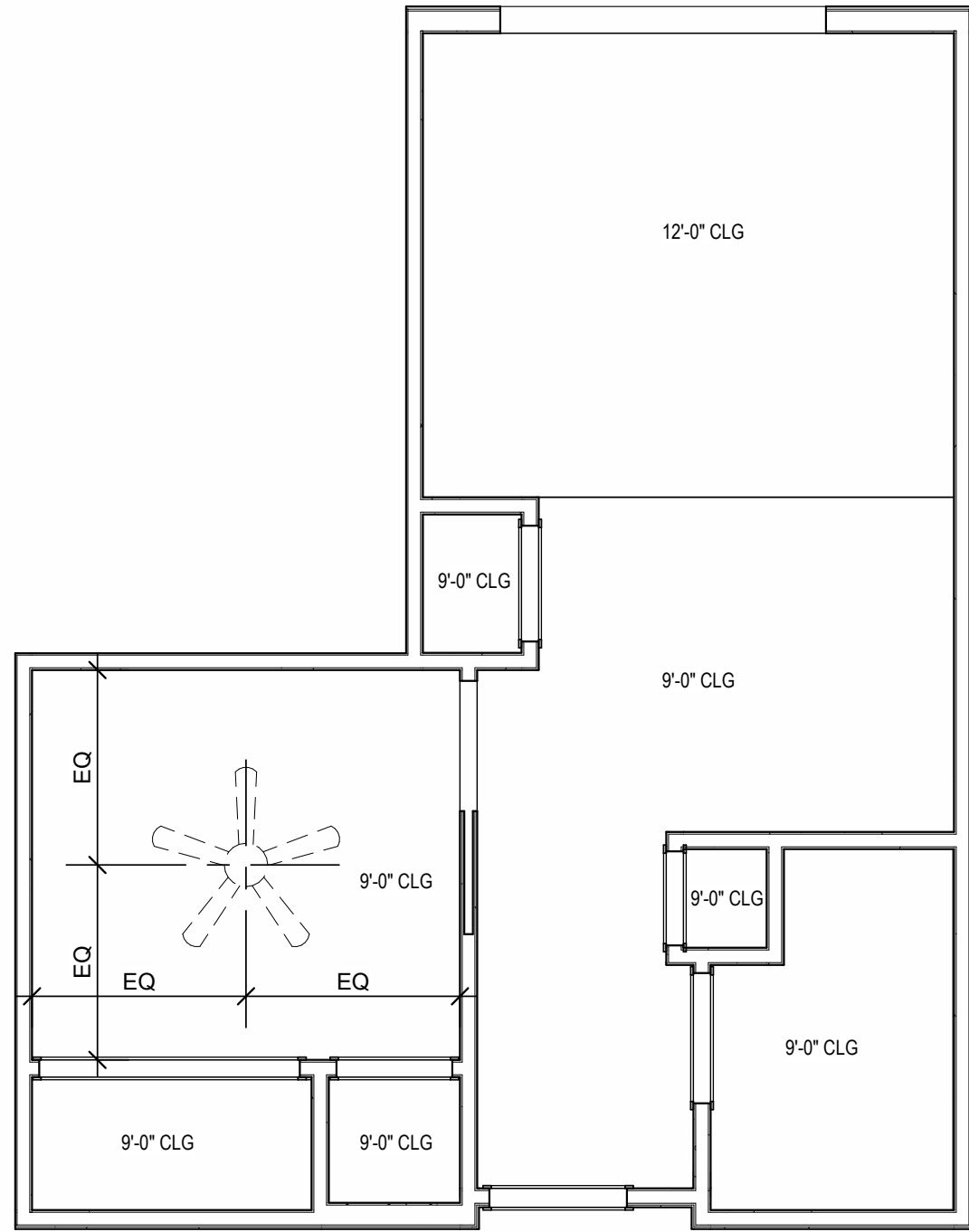
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4/11/2023
CITY COMMENTS
SHEET NAME
TYPICAL UNIT INFO

SHEET NO.

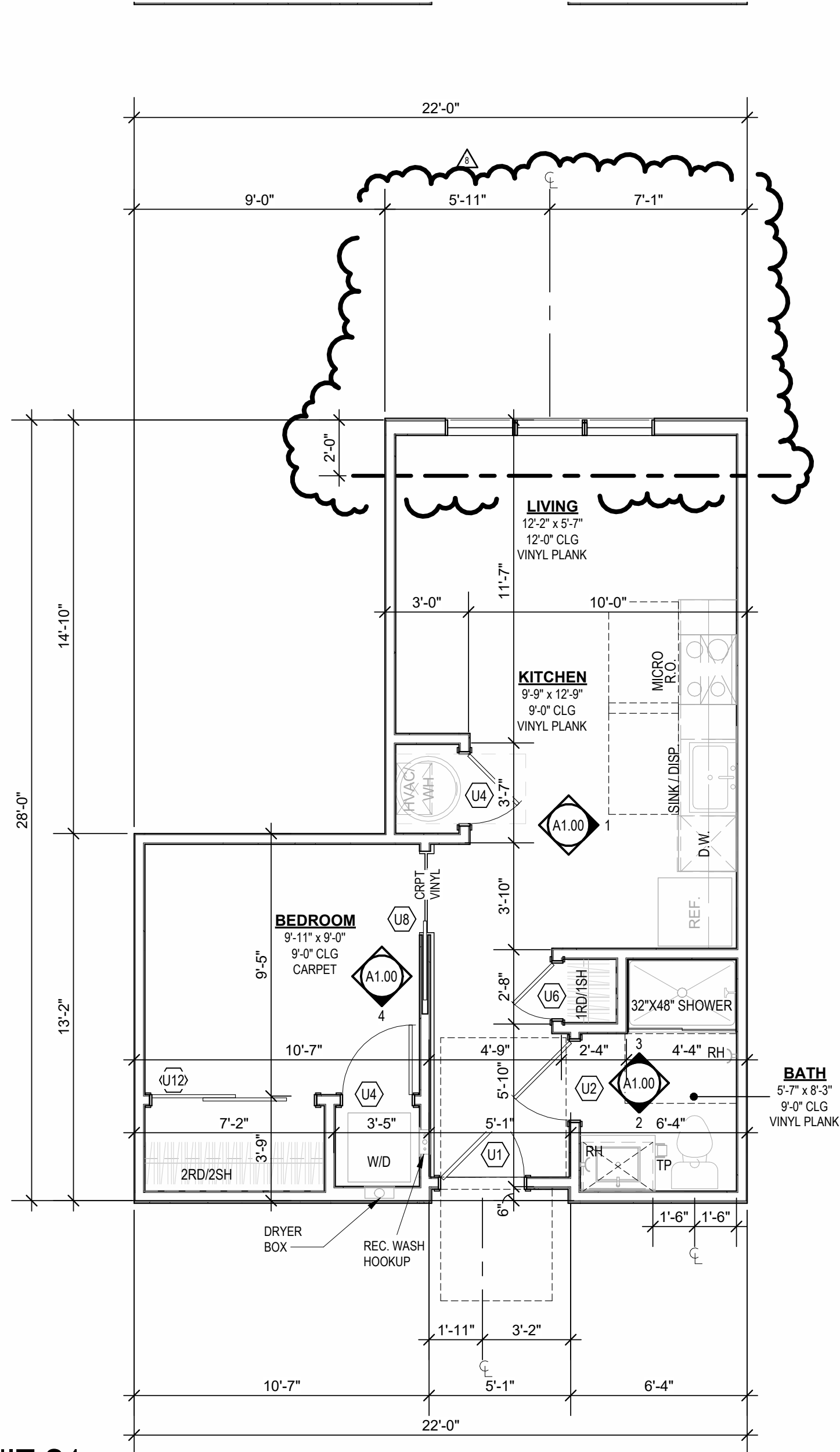
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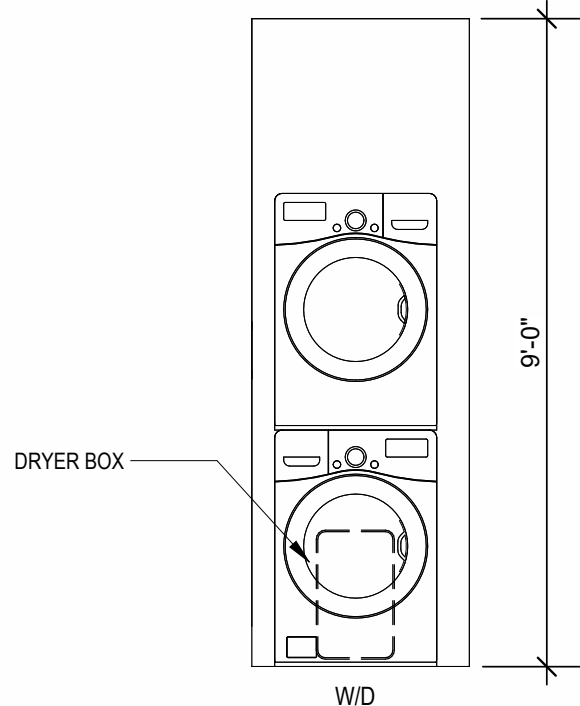
C UNIT S1 ALT
1/4" = 1'-0"



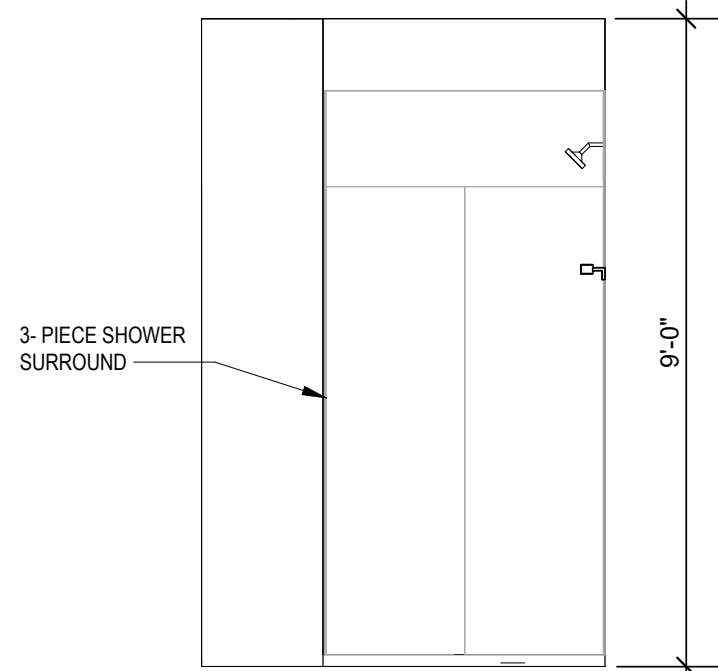
B UNIT S1 - 4TH FLOOR RCP
1/4" = 1'-0"



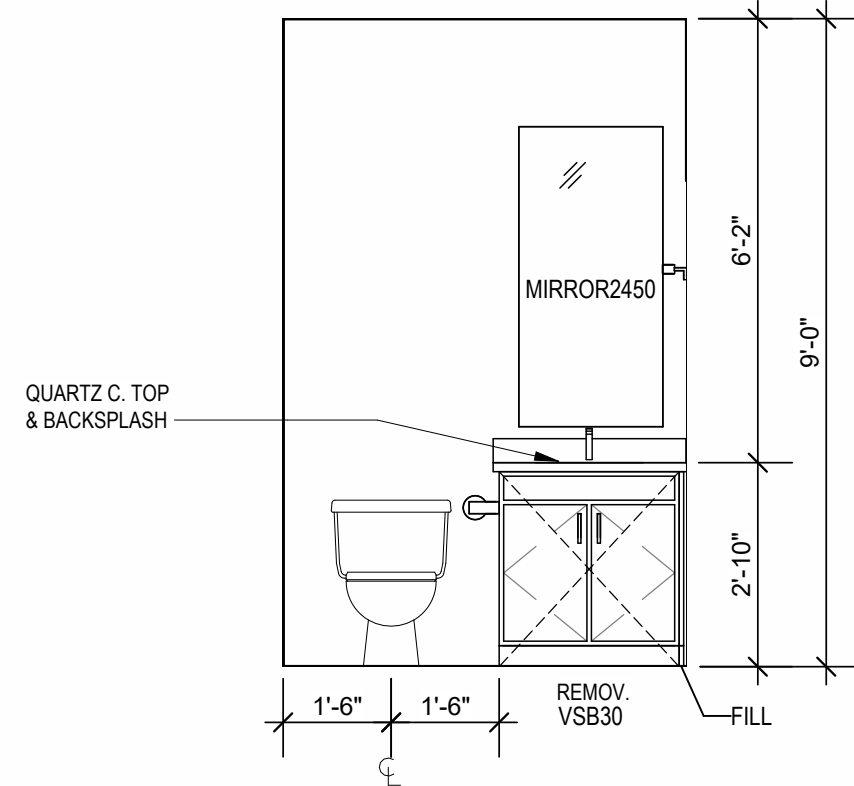
A UNIT S1
1/4" = 1'-0"



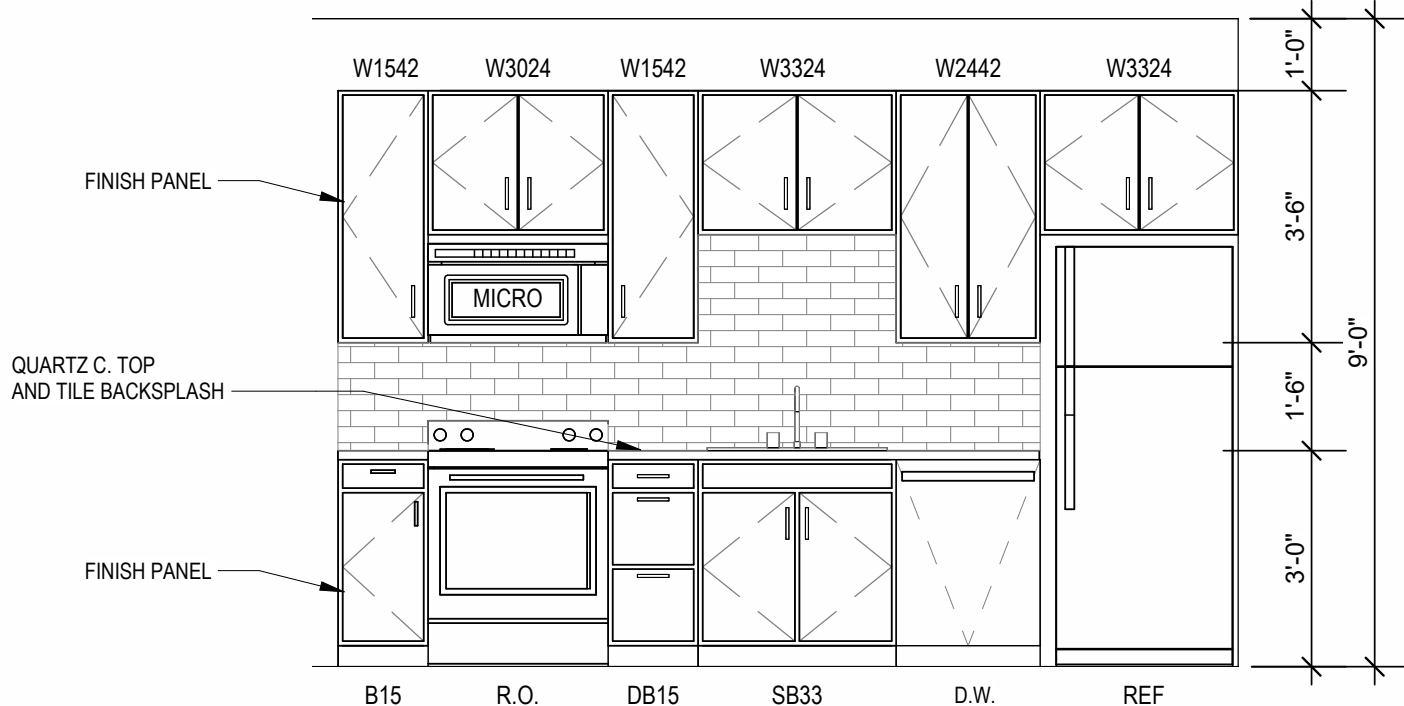
4 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



3 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



2 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1209.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 6X6 STUOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 - FIRE EXTINGUISHER (RE. SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

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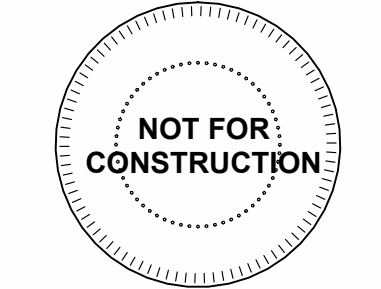
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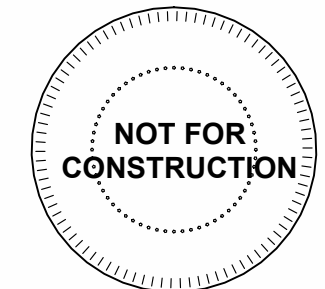
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8	23.07.31	AS1.4	

JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**
6/9/2023
SHEET NAME **UNIT S1 PLANS**

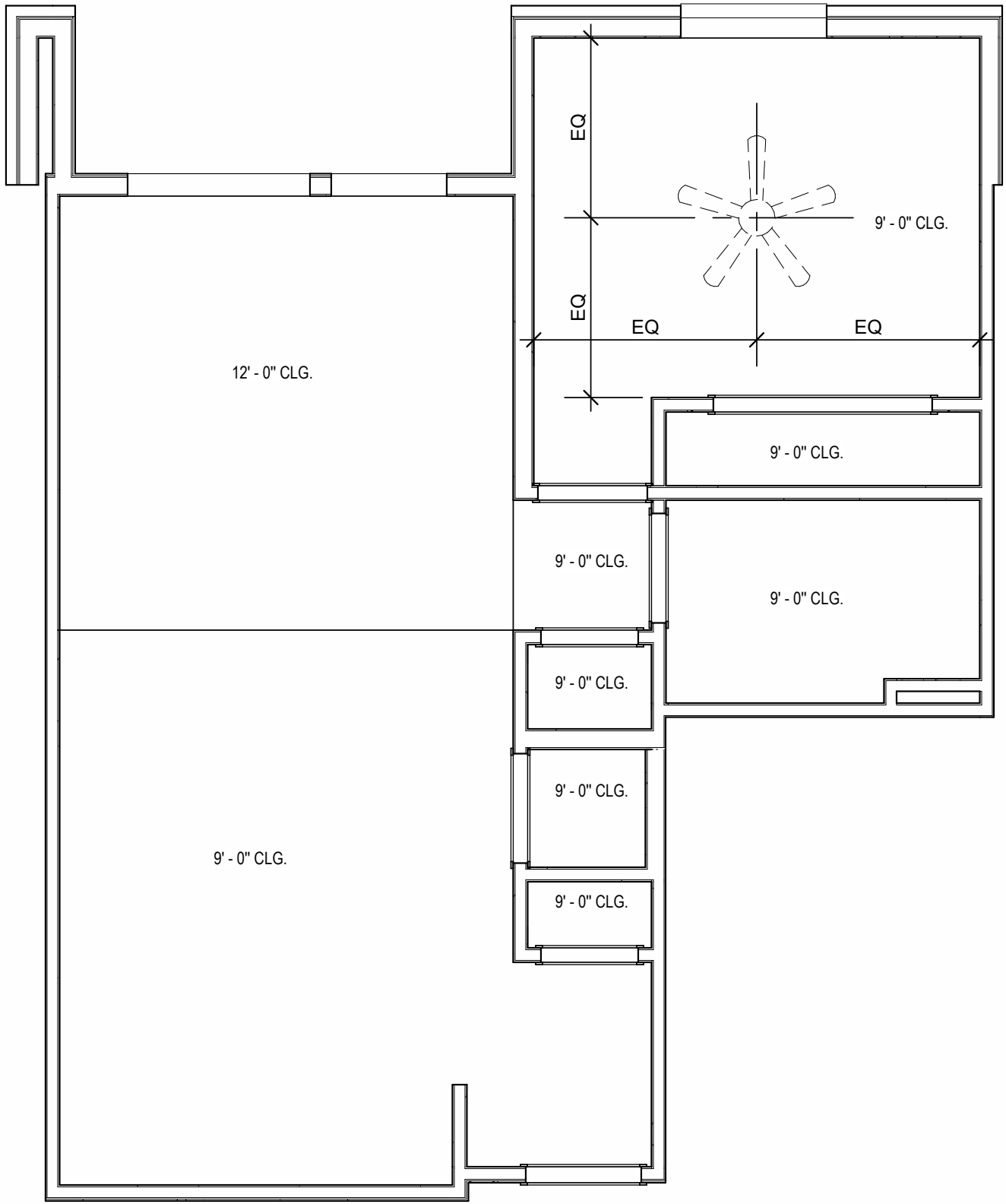
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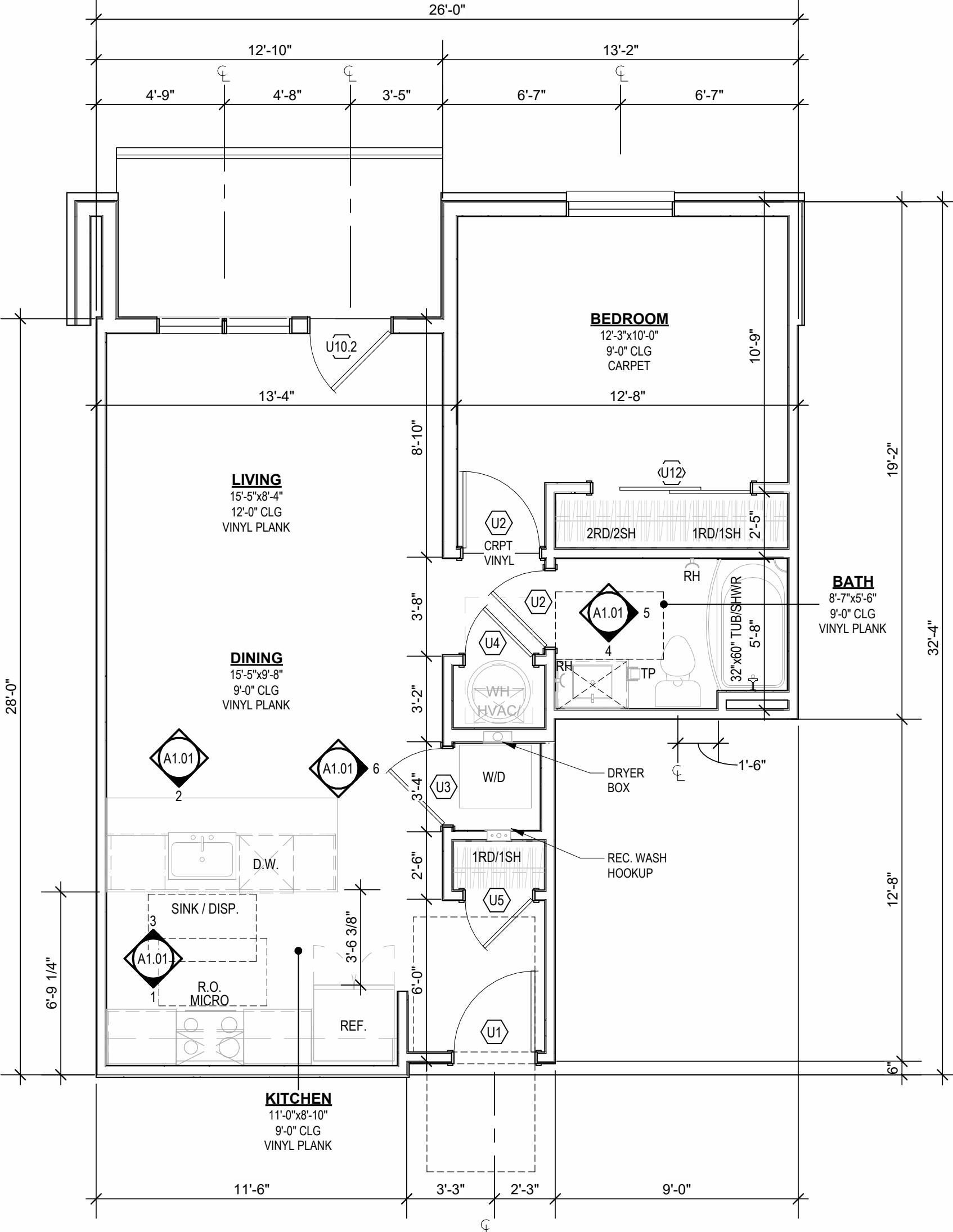




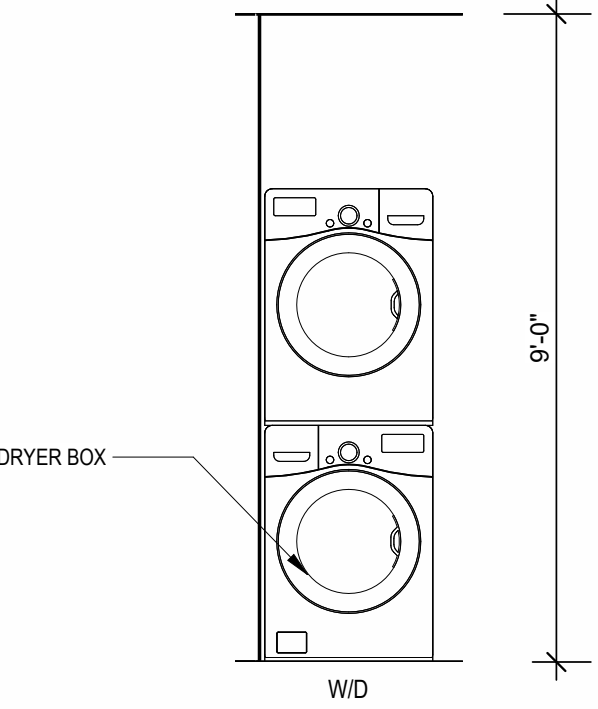
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
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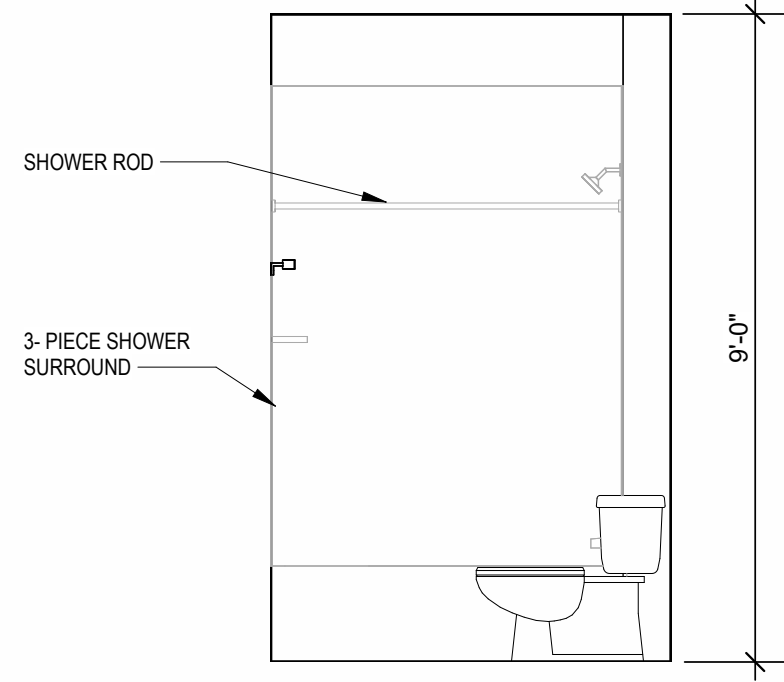
REFLECTED CEILING PLAN
UNIT A1 - 4TH FLOOR RCP
1/4" = 1'-0"



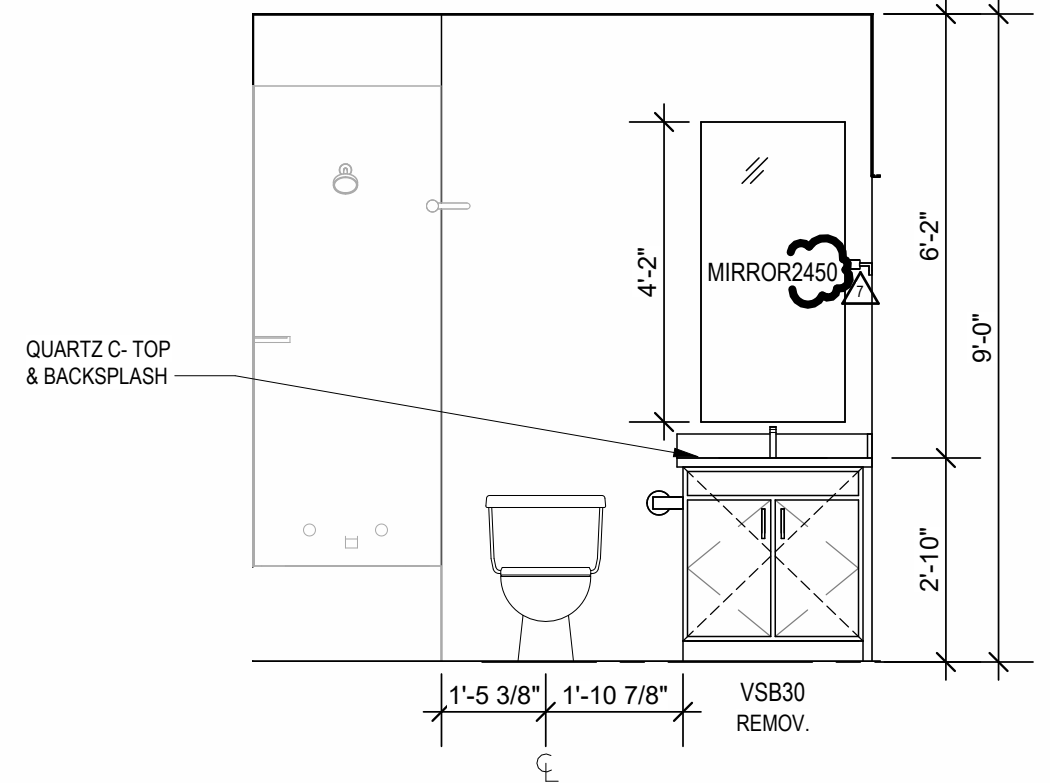
UNIT PLAN
UNIT A1
1/4" = 1'-0"



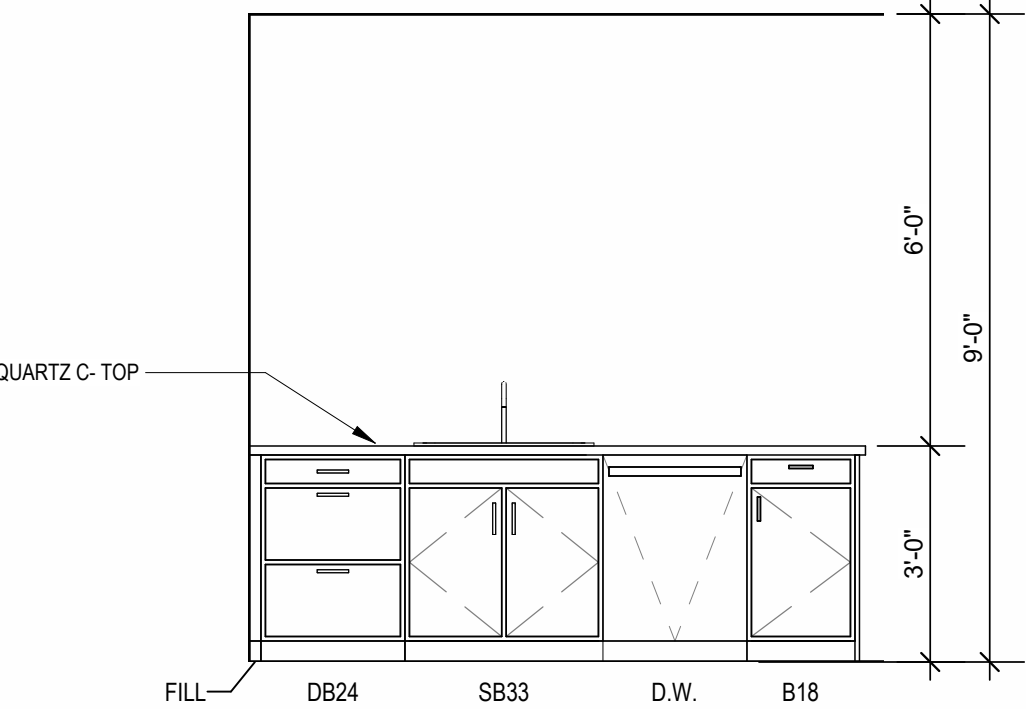
INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



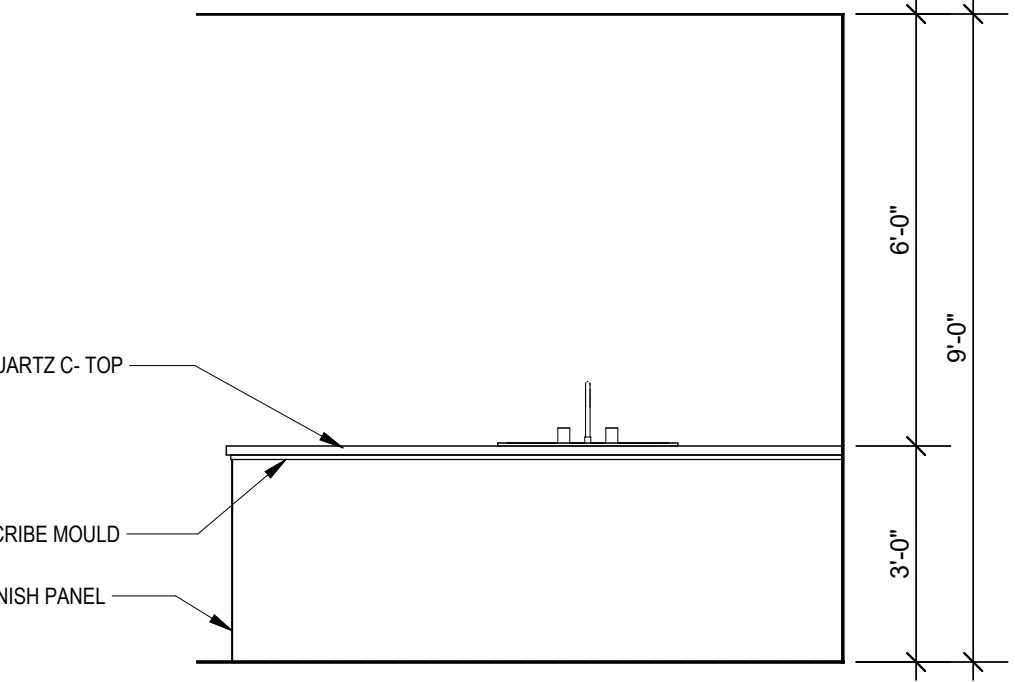
INTERIOR ELEVATION
SHOWER
3/8" = 1'-0"



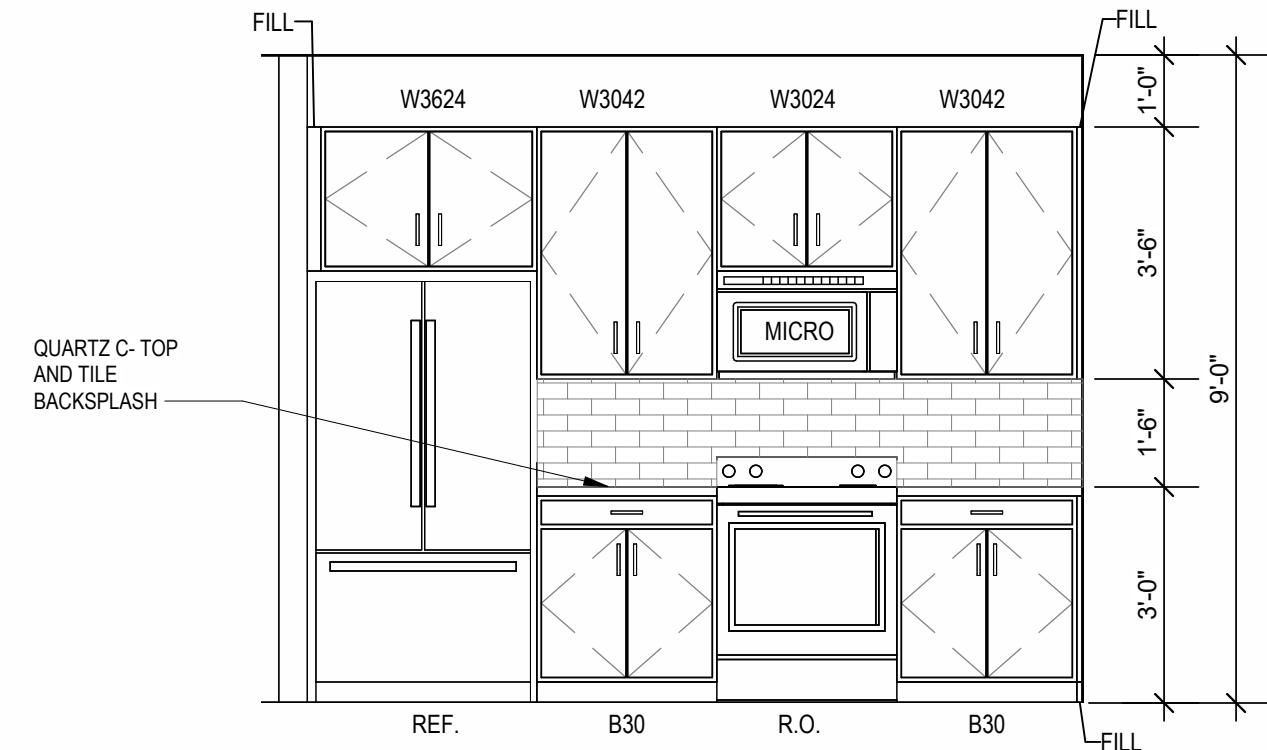
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



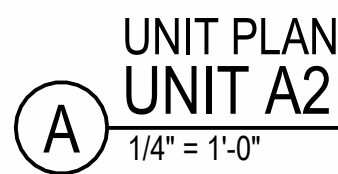
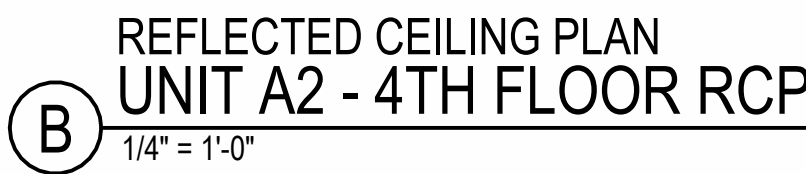
INTERIOR ELEVATION
KITCHEN ISLAND
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



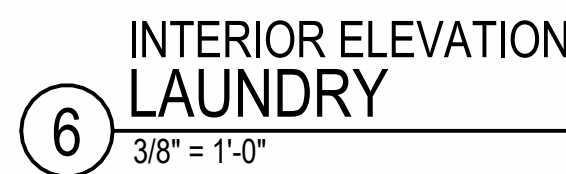
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



- RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

ARCHITECTURE LANDSCAPE ARCHITECTURE ENERGY SERVICES P. 913-831-1115 F. 913-831-1115 N. SPARKS K. NEOPHYTE	NSPJ ARCHITECTS^{PA} 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208
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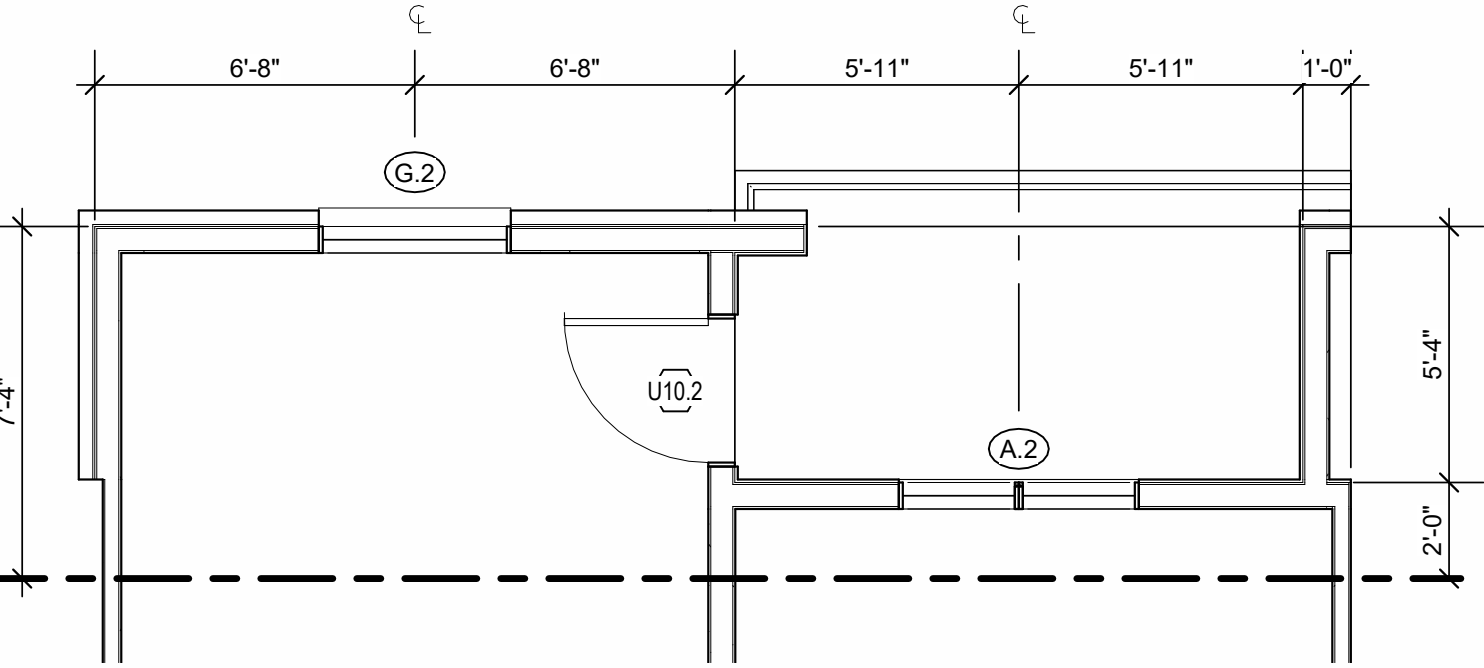



TRILOGY

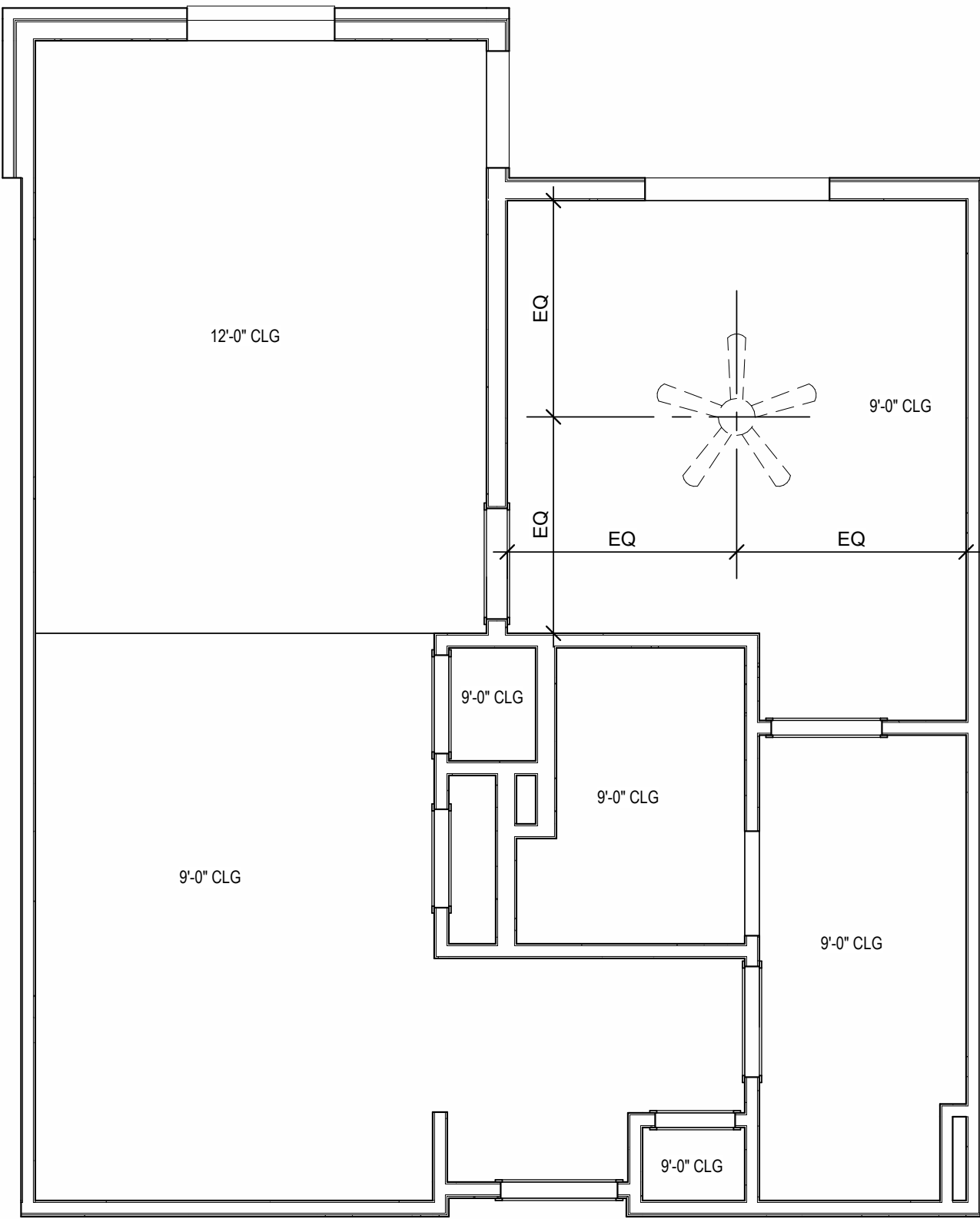
SHEET NO.

A1.02

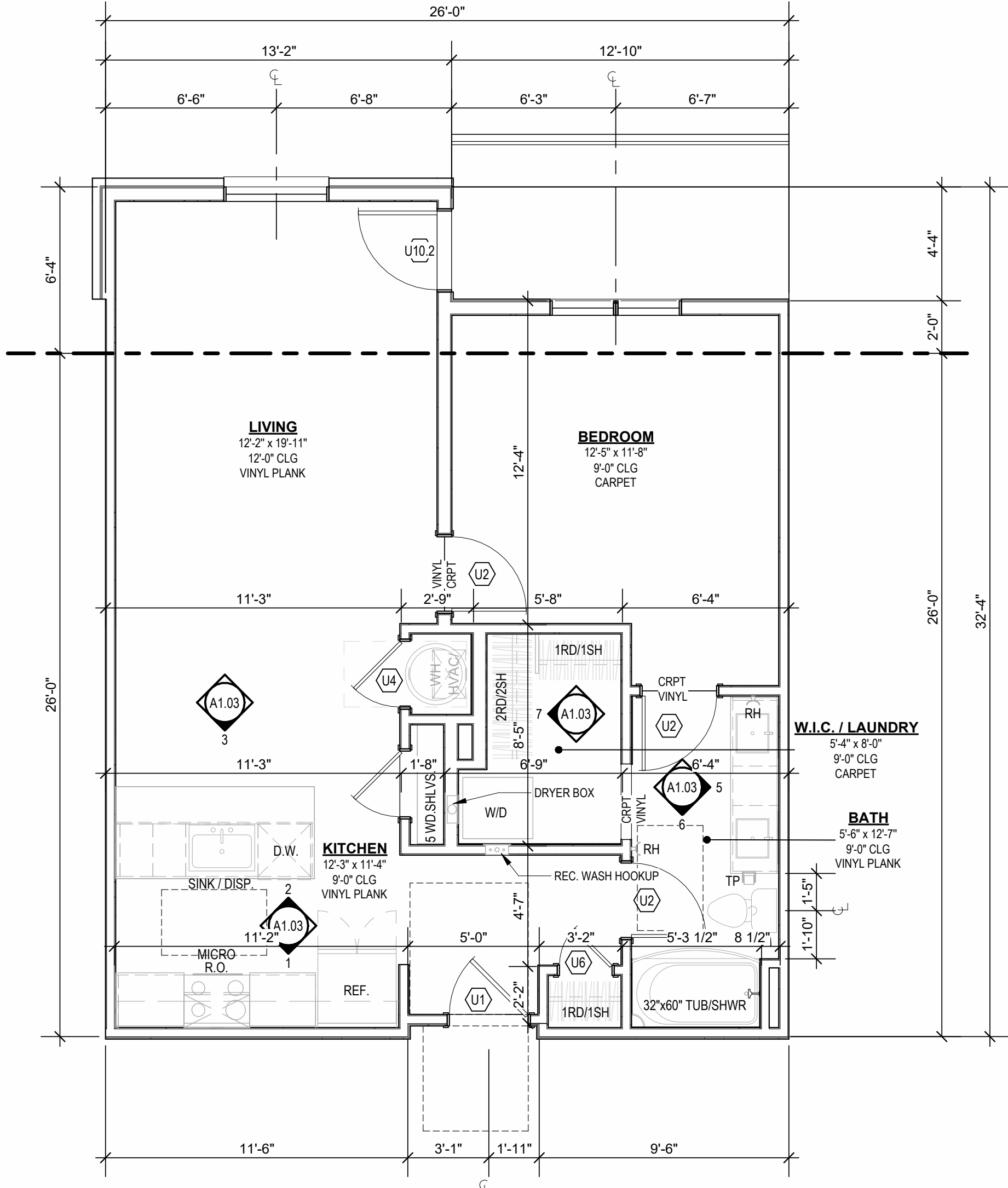
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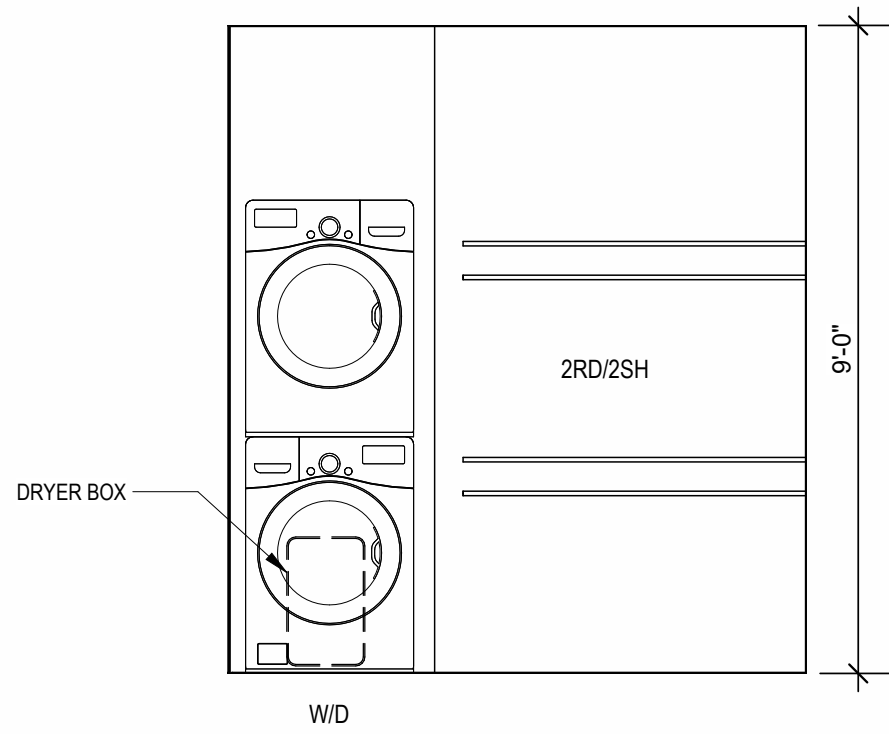
UNIT A3 ALT
1/4" = 1'-0"



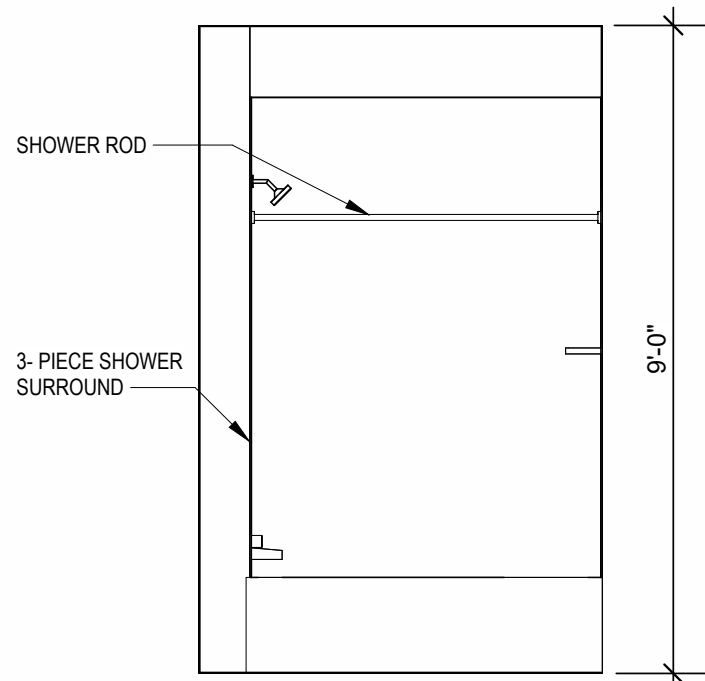
UNIT A3 - 4TH FLOOR RCP
1/4" = 1'-0"



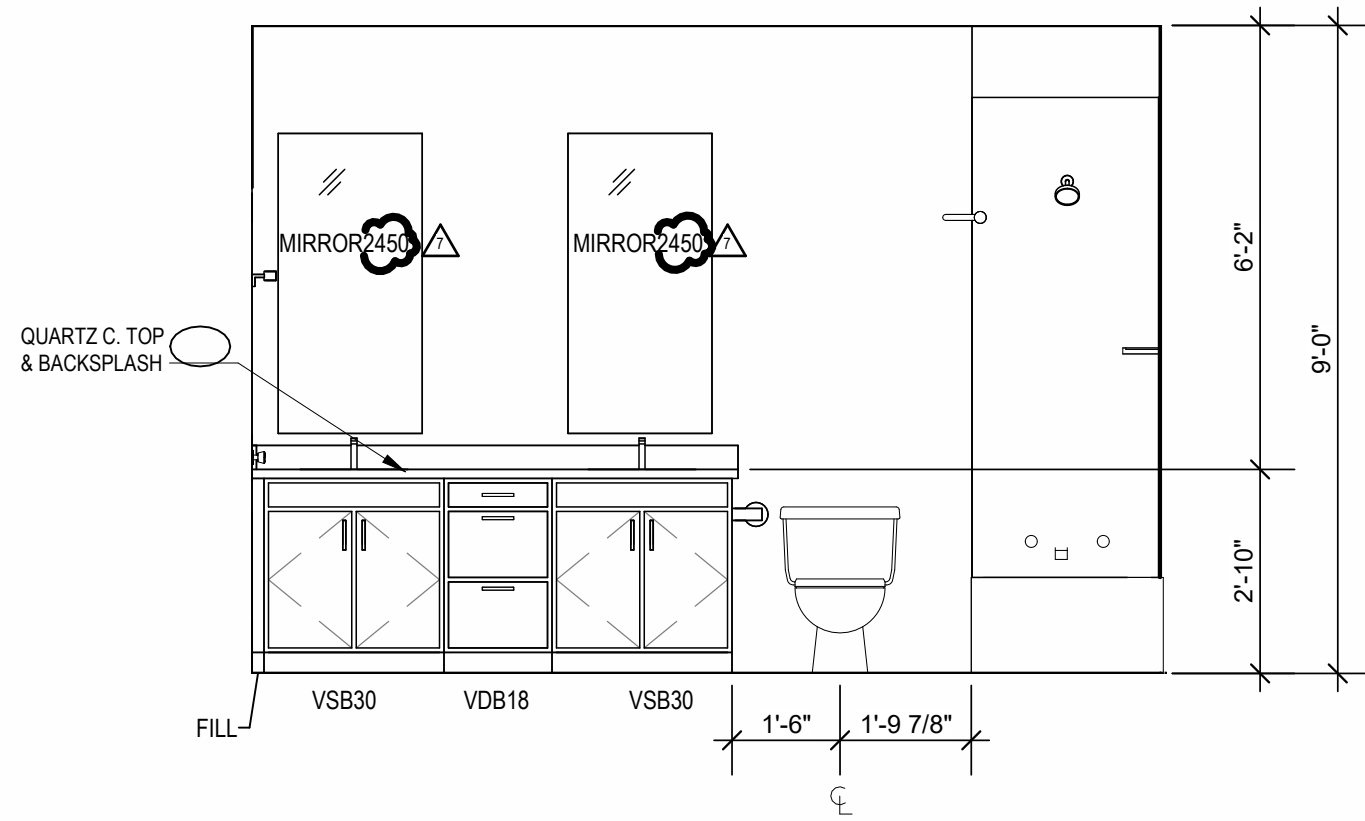
UNIT A3
1/4" = 1'-0"



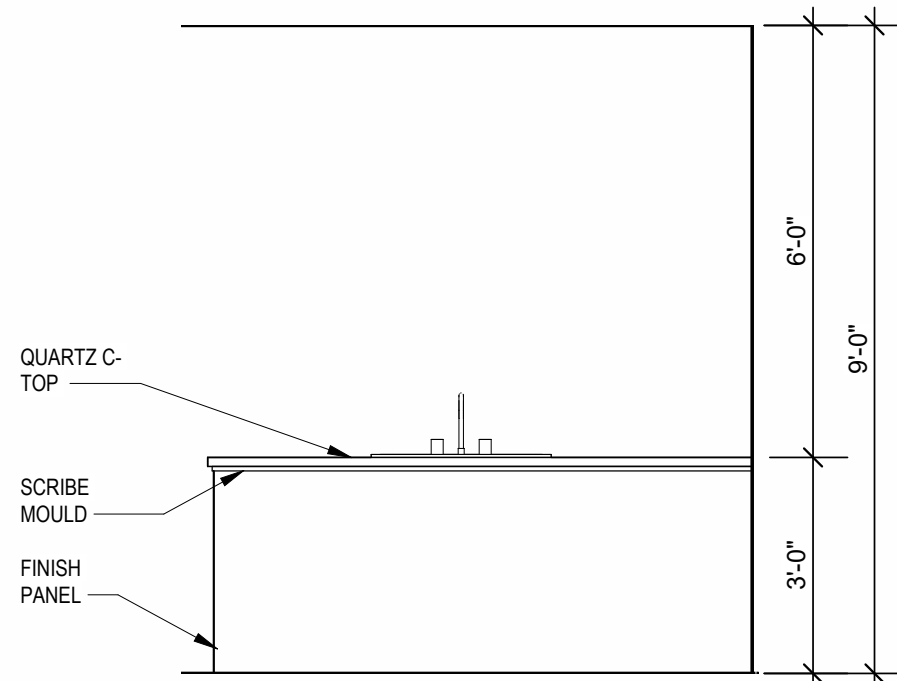
INTERIOR ELEVATION
W.I.C. / LAUNDRY
3/8" = 1'-0"



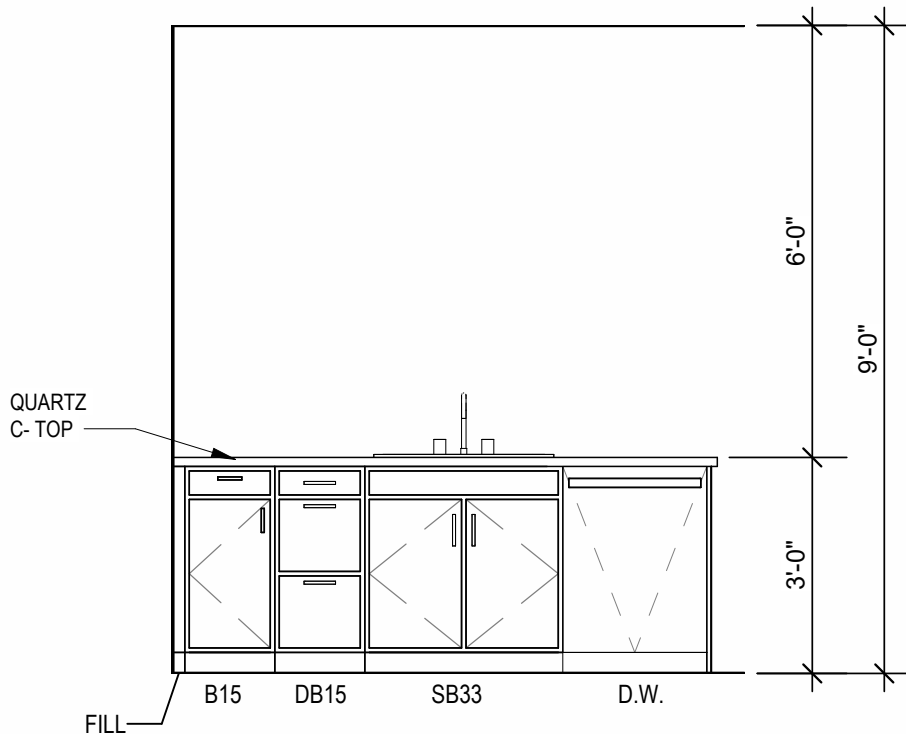
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



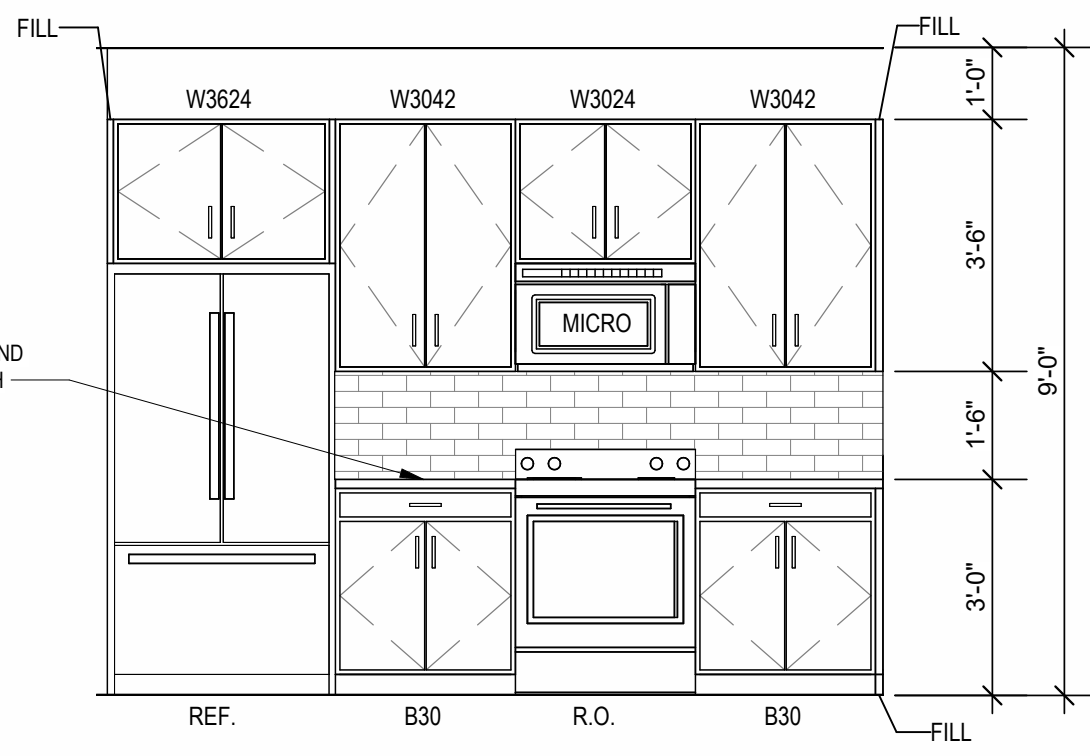
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



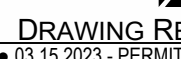
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY



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03.15.2023 - PERMIT SUBMITTAL

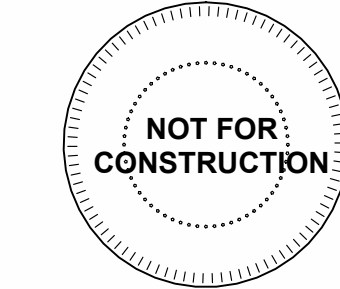
REVISIONS
7 23.06X AS3

JOB NO.
705921
DRAWN BY
TSC/SIW
6/9/2023
SHEET NAME
UNIT A3 PLANS

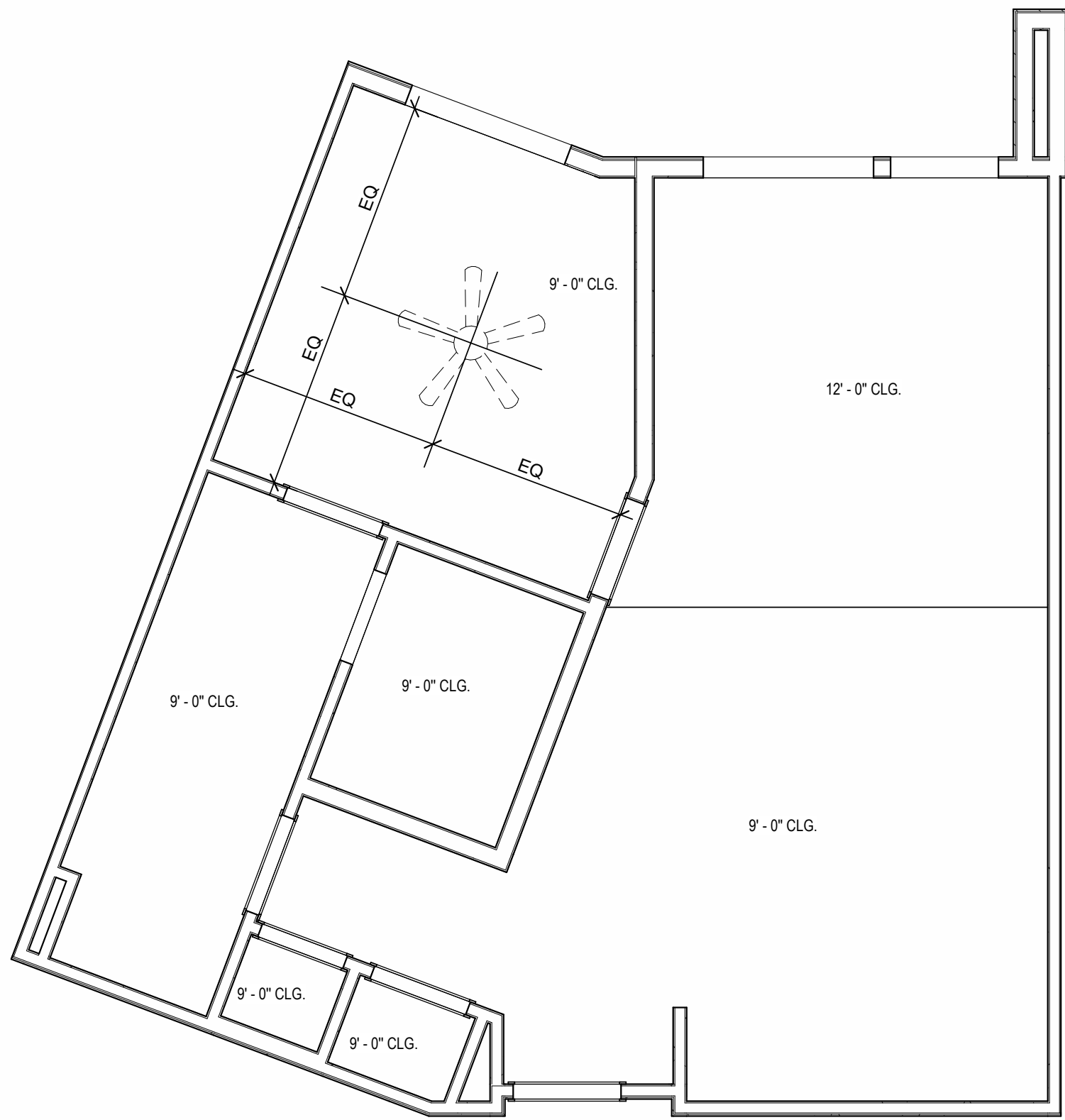
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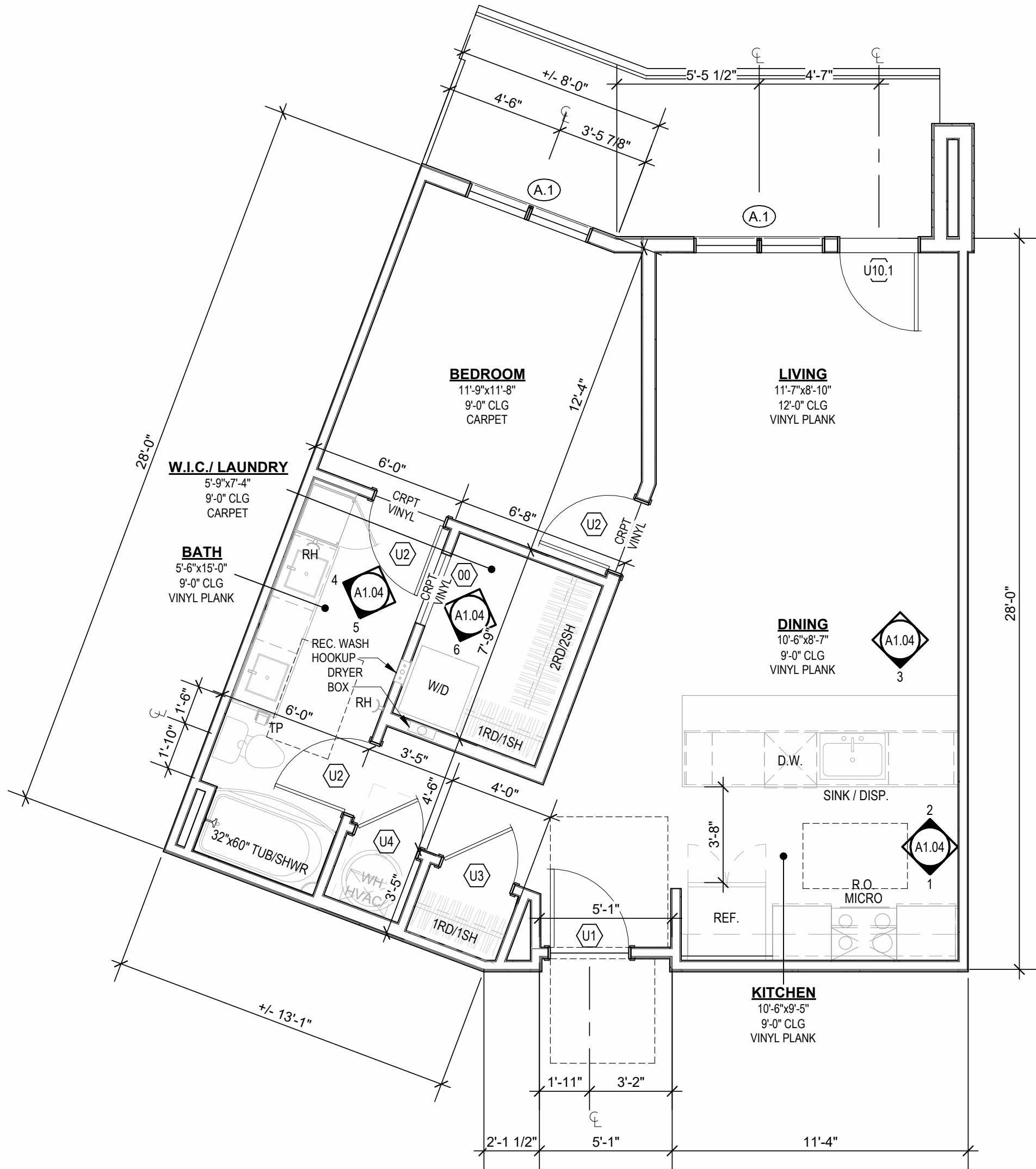
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



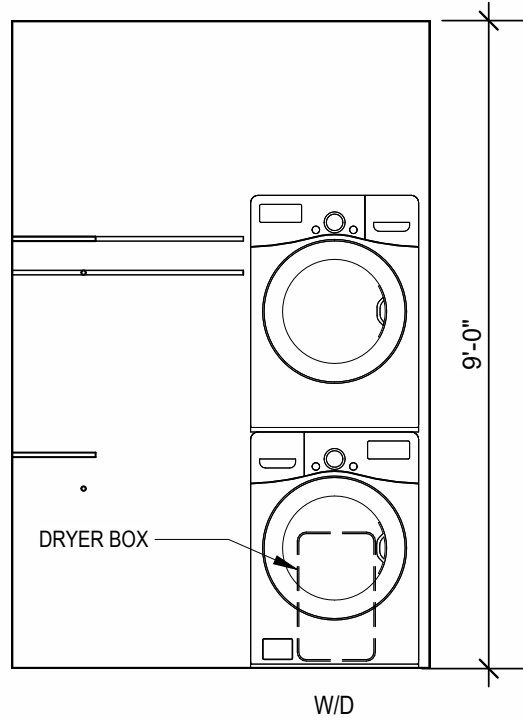
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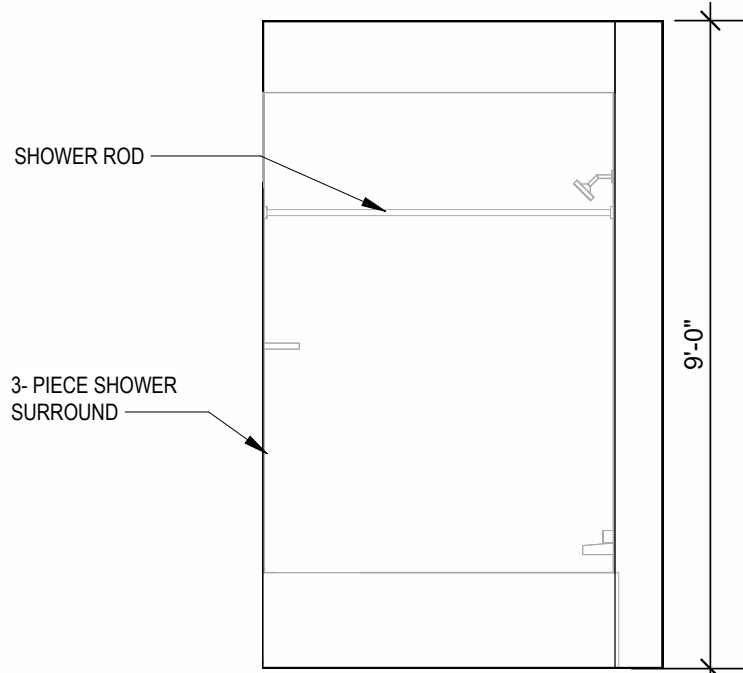
REFLECTED CEILING PLAN
UNIT A4 - 4TH FLOOR RCP
1/4" = 1'-0"



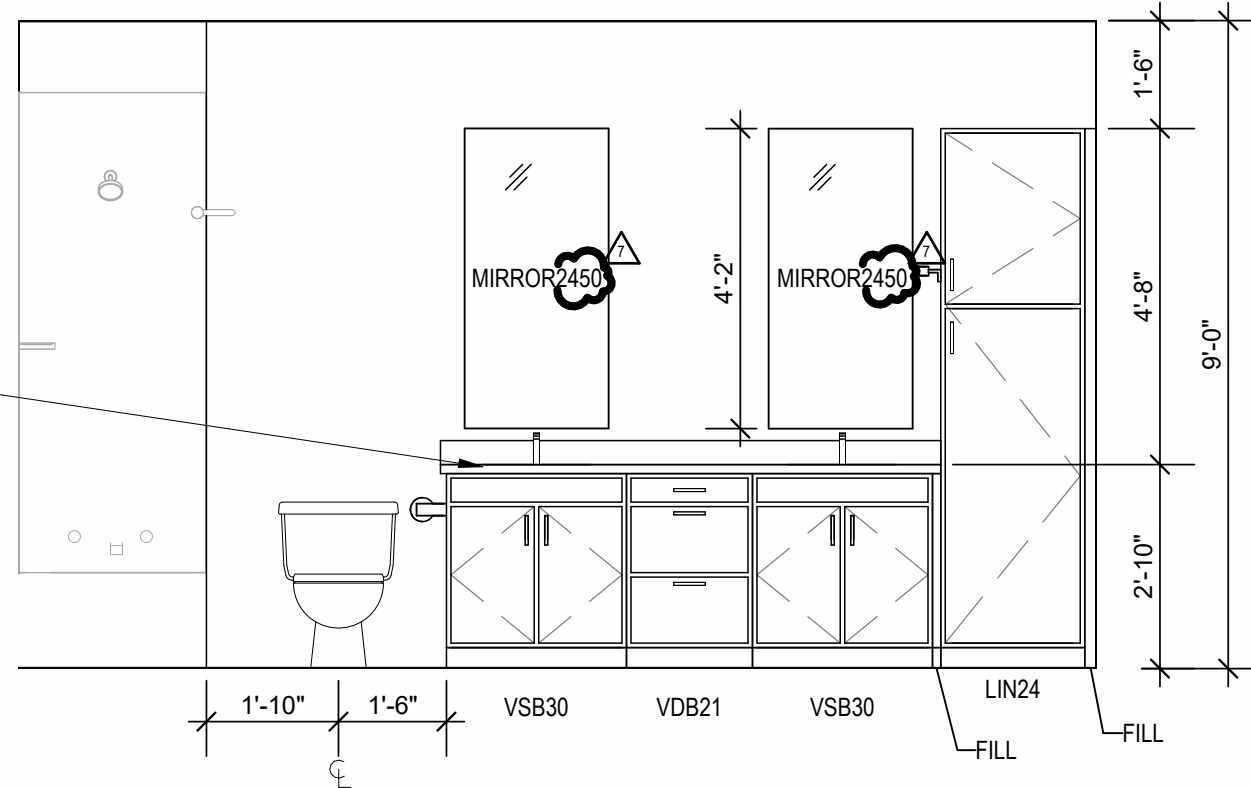
UNIT PLAN
UNIT A4
1/4" = 1'-0"



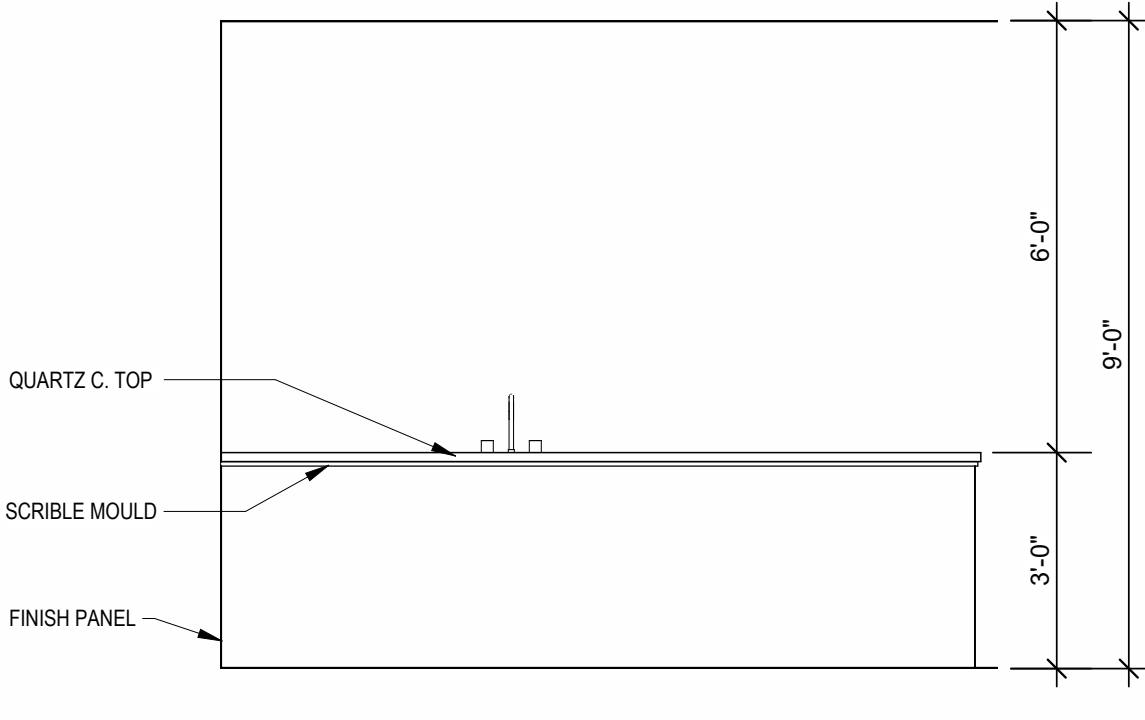
INTERIOR ELEVATION
W.I.C. / LAUNDRY
3/8" = 1'-0"



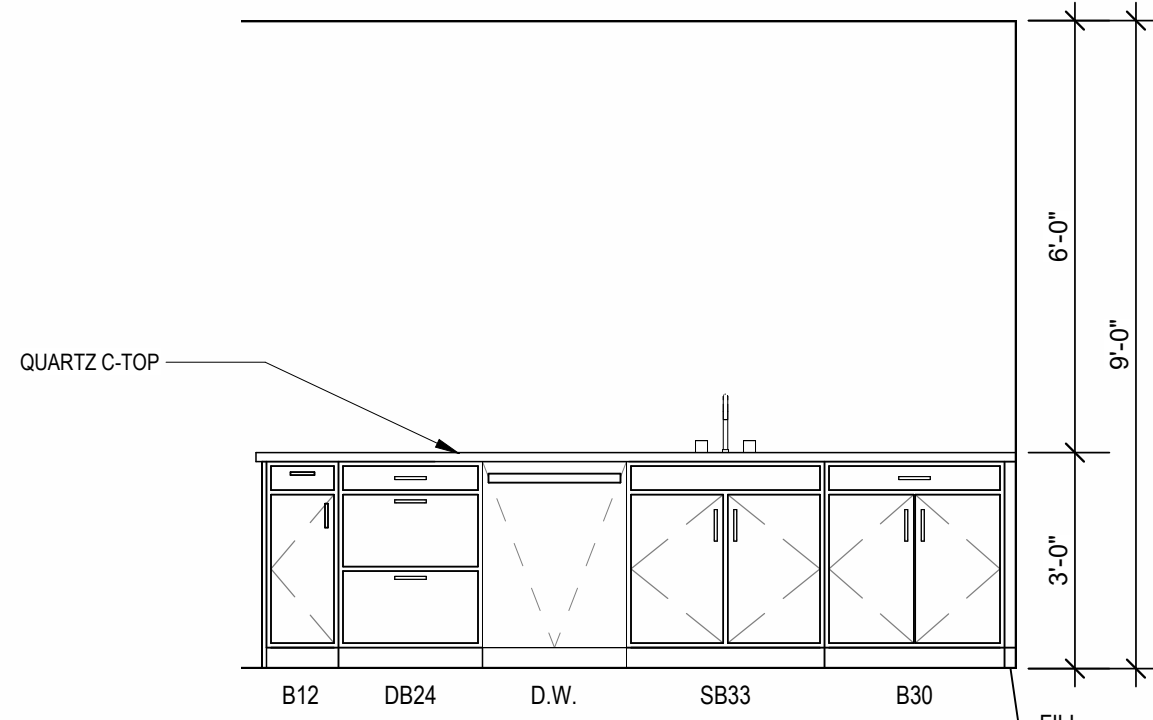
INTERIOR ELEVATION
SHOWER
3/8" = 1'-0"



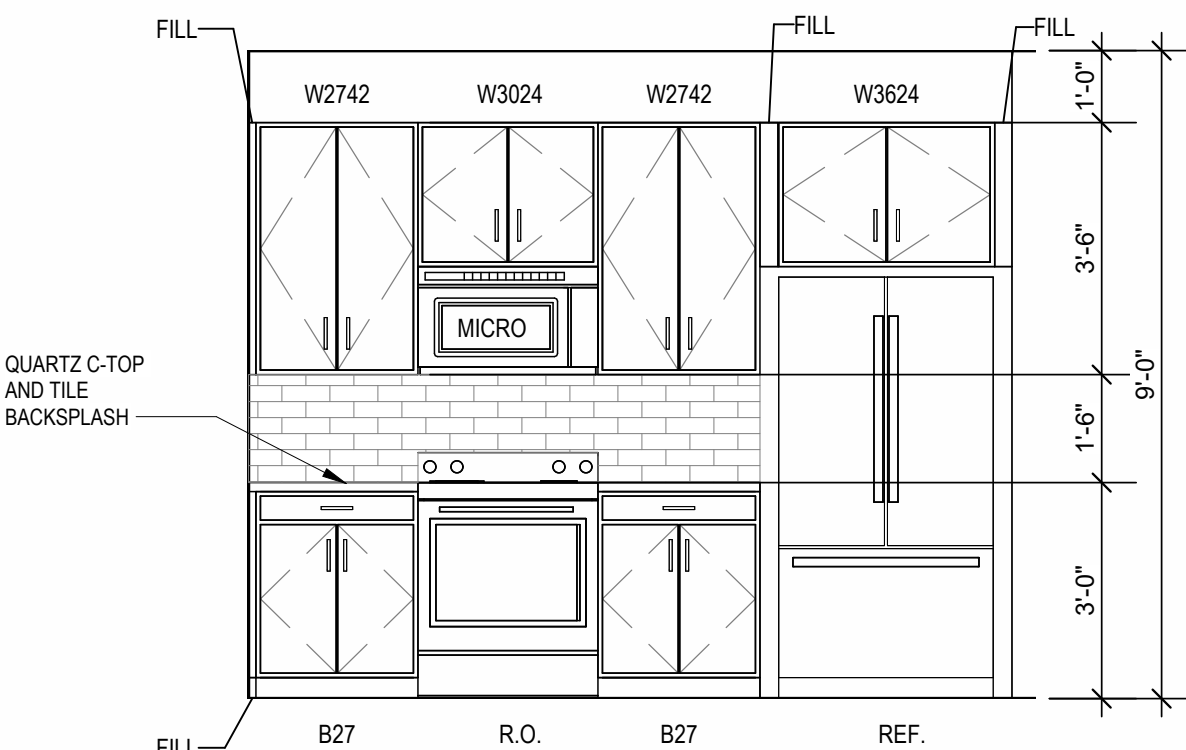
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

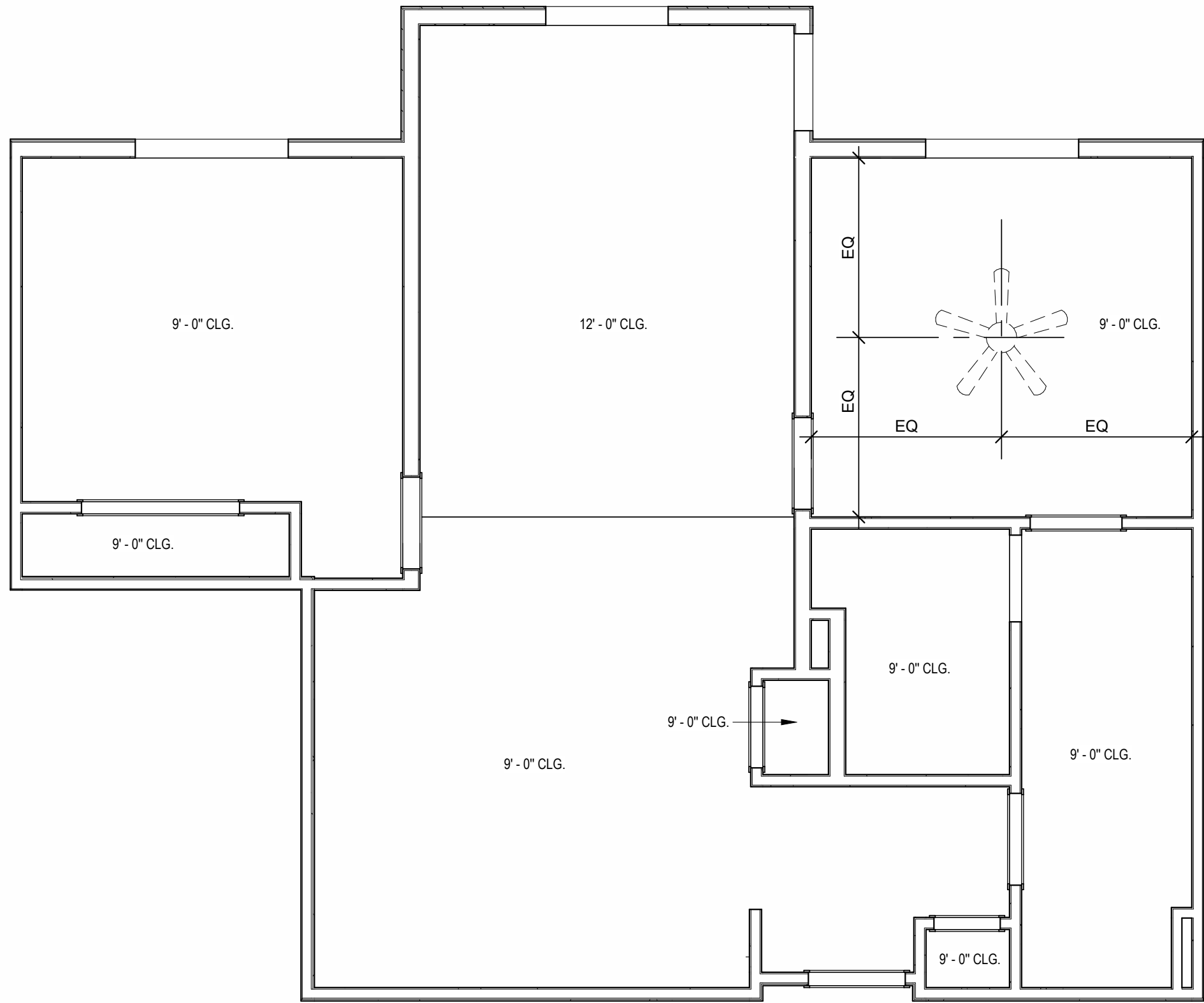


INTERIOR ELEVATION
KITCHEN ISLAND
3/8" = 1'-0"

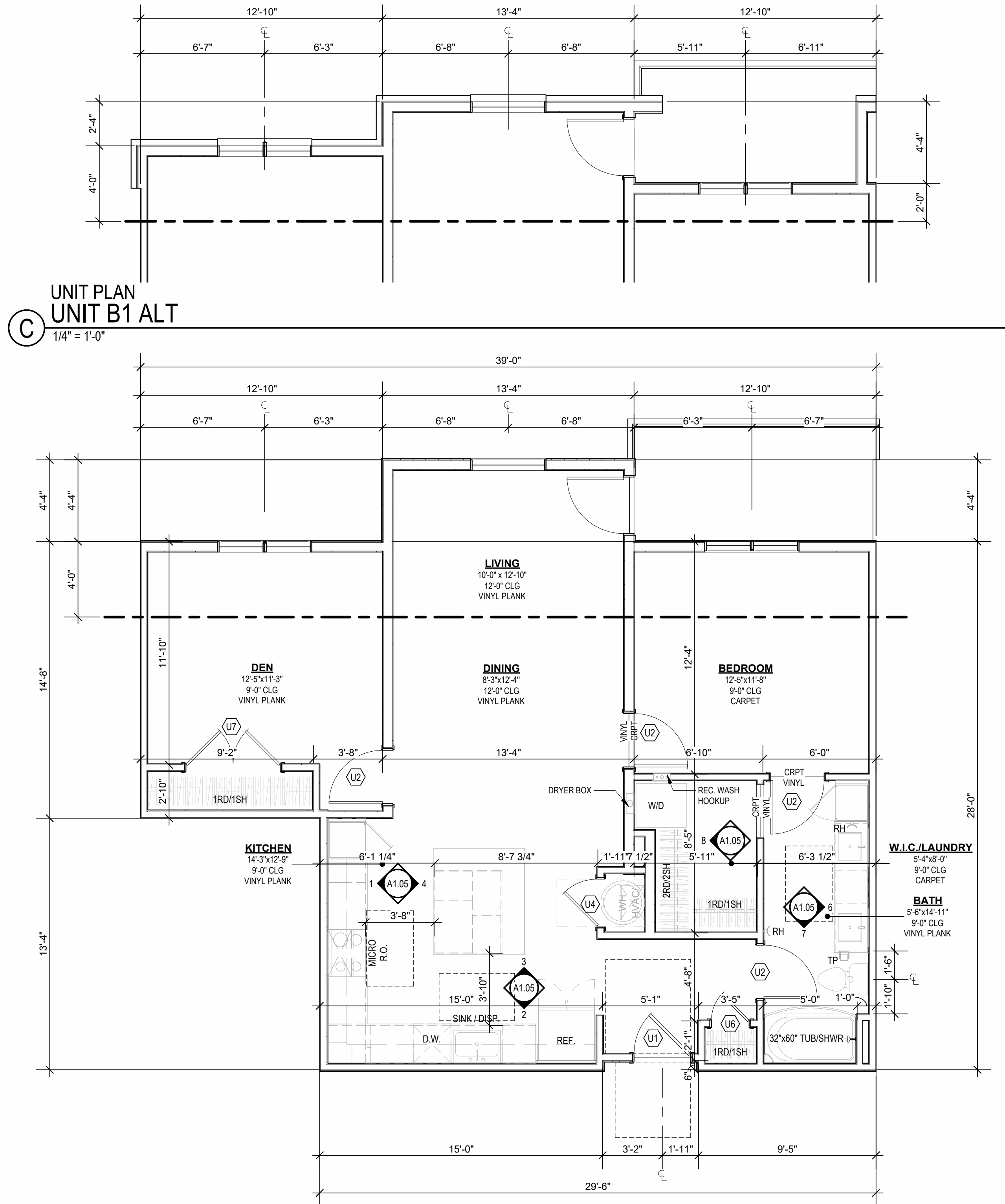


INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

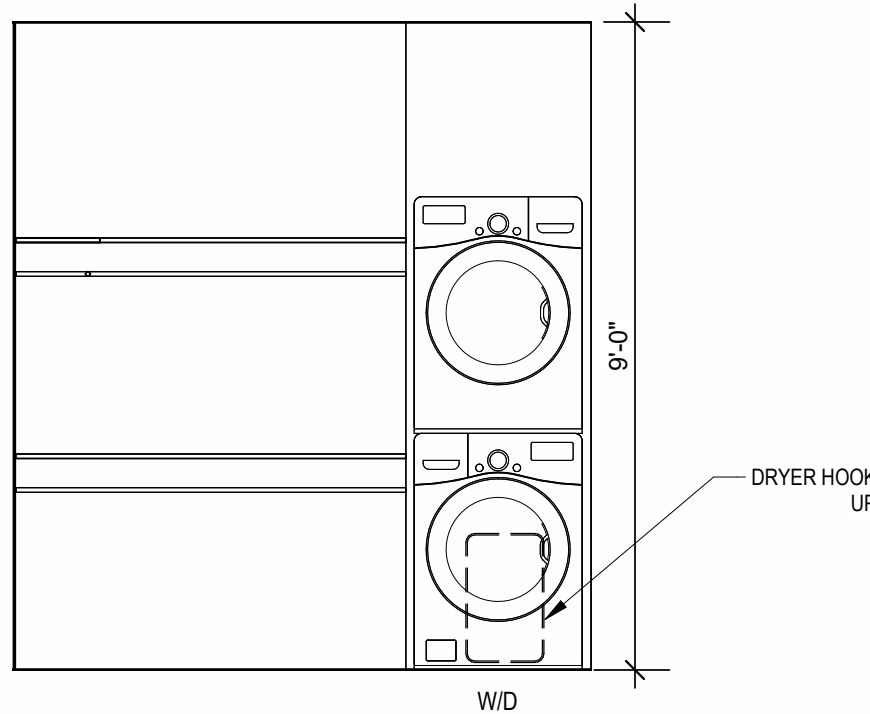
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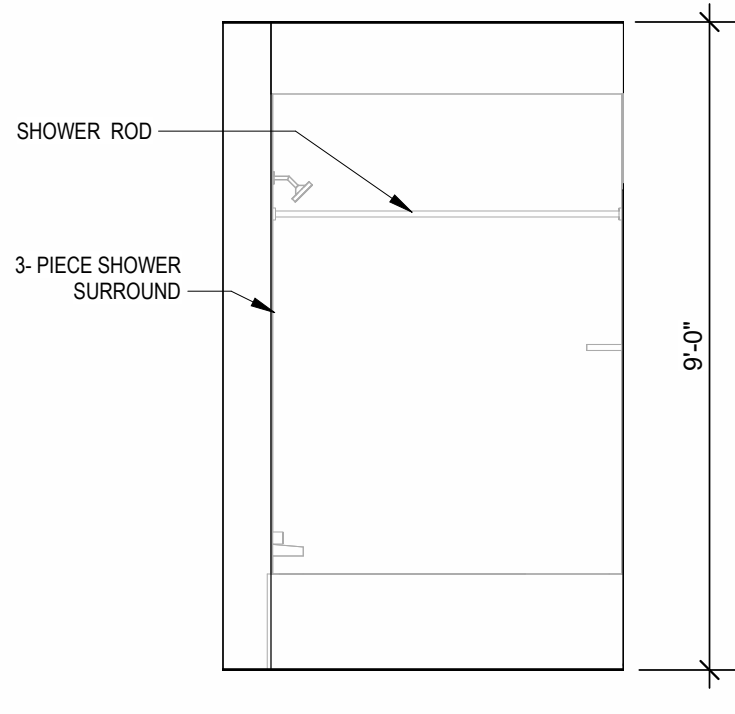
REFLECTED CEILING PLAN
UNIT B1 - 4TH FLOOR RCP
1/4" = 1'-0"



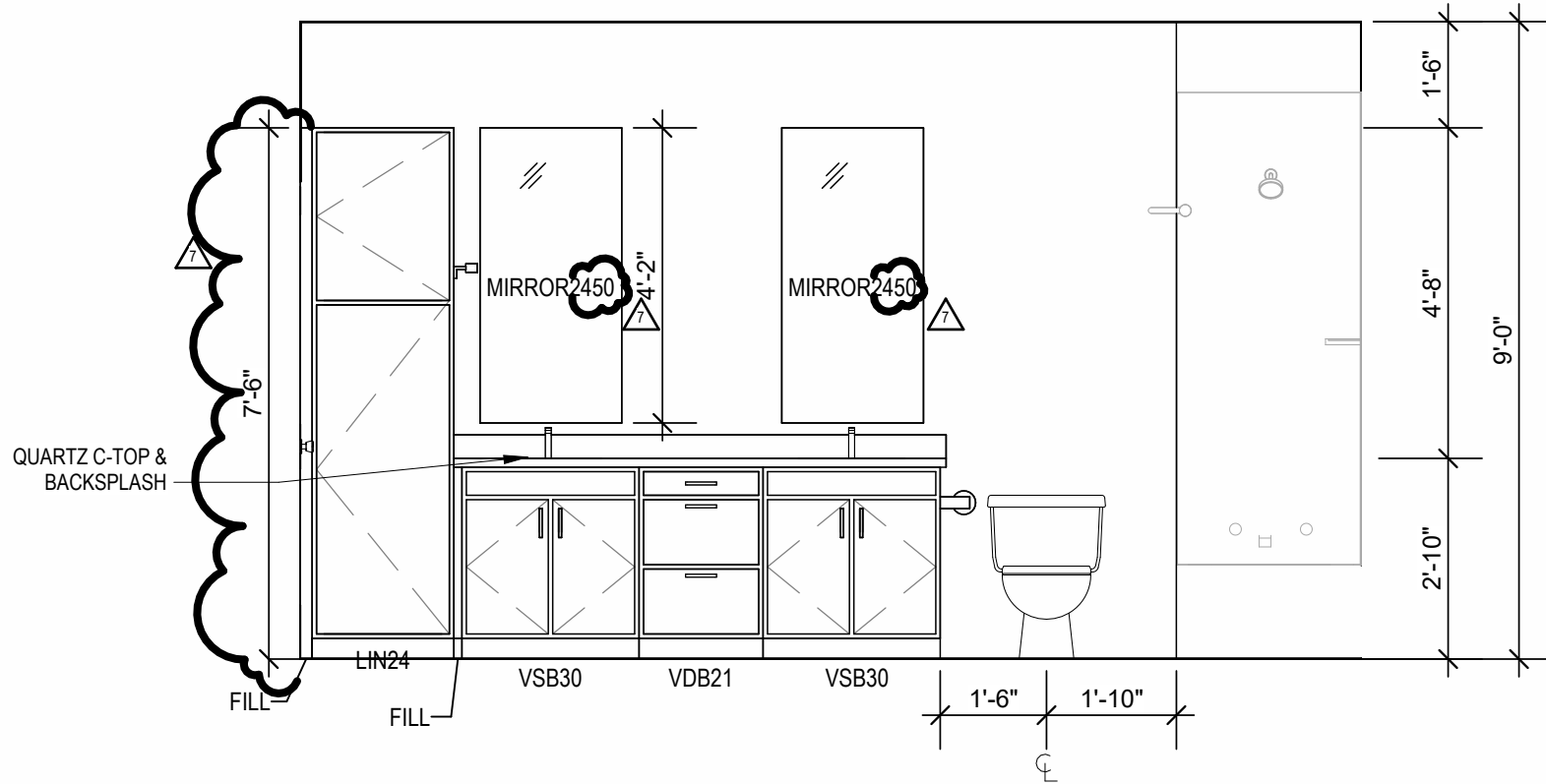
UNIT PLAN
UNIT B1
1/4" = 1'-0"



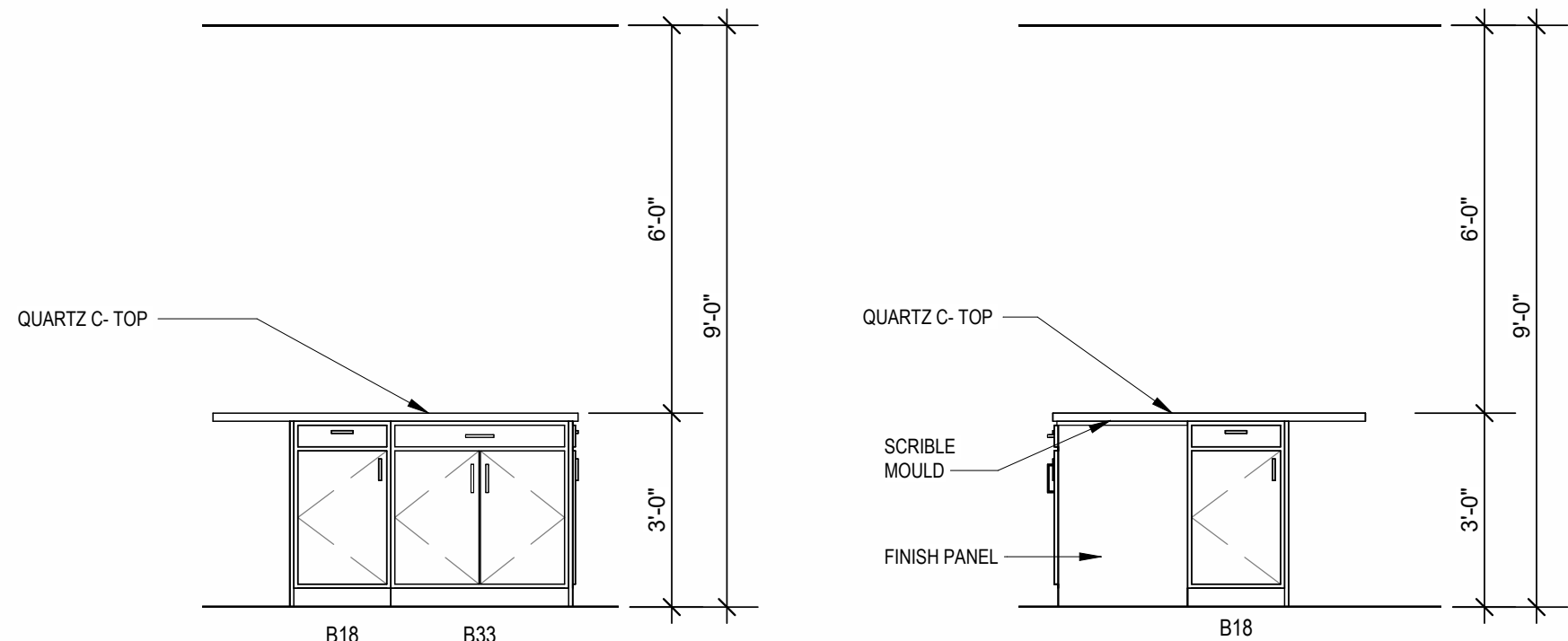
INTERIOR ELEVATION
W.I.C. / LAUNDRY
3/8" = 1'-0"



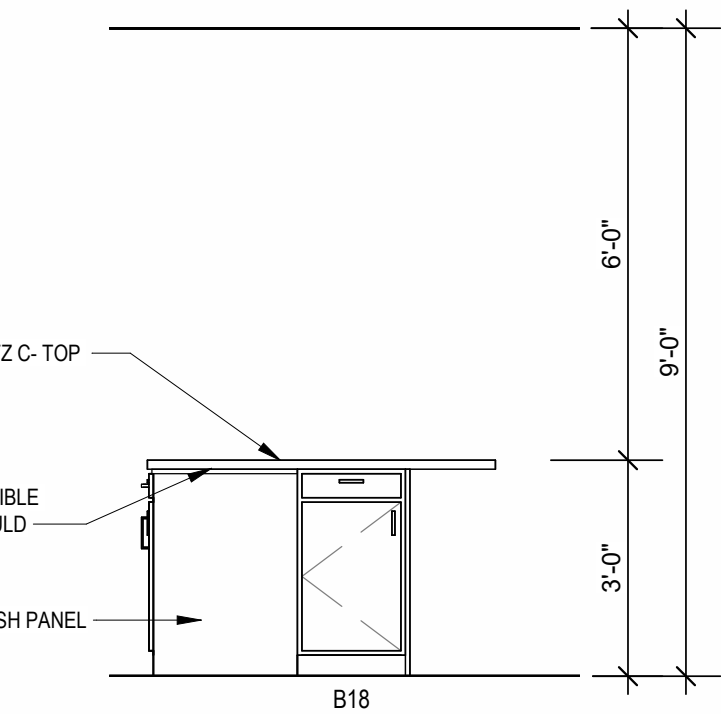
INTERIOR ELEVATION
BATHROOM
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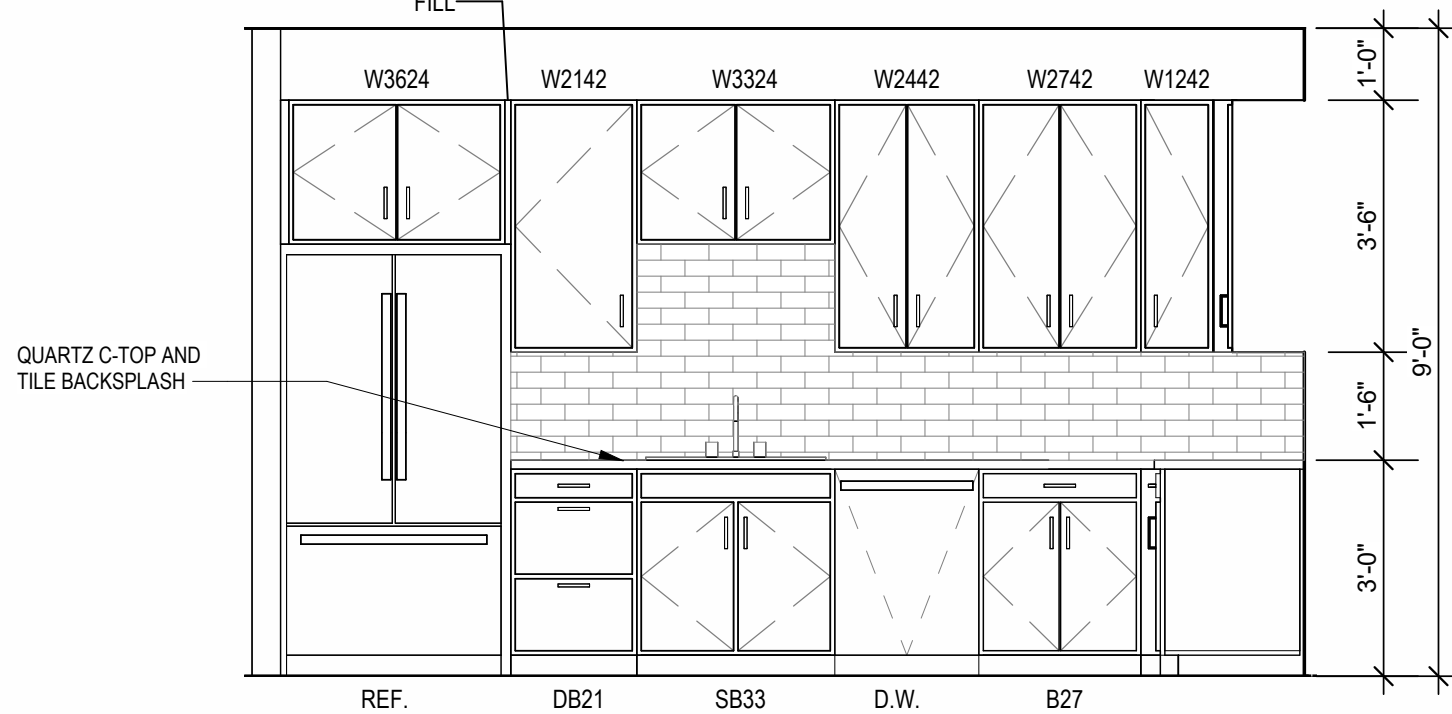
INTERIOR ELEVATION
BATHROOM
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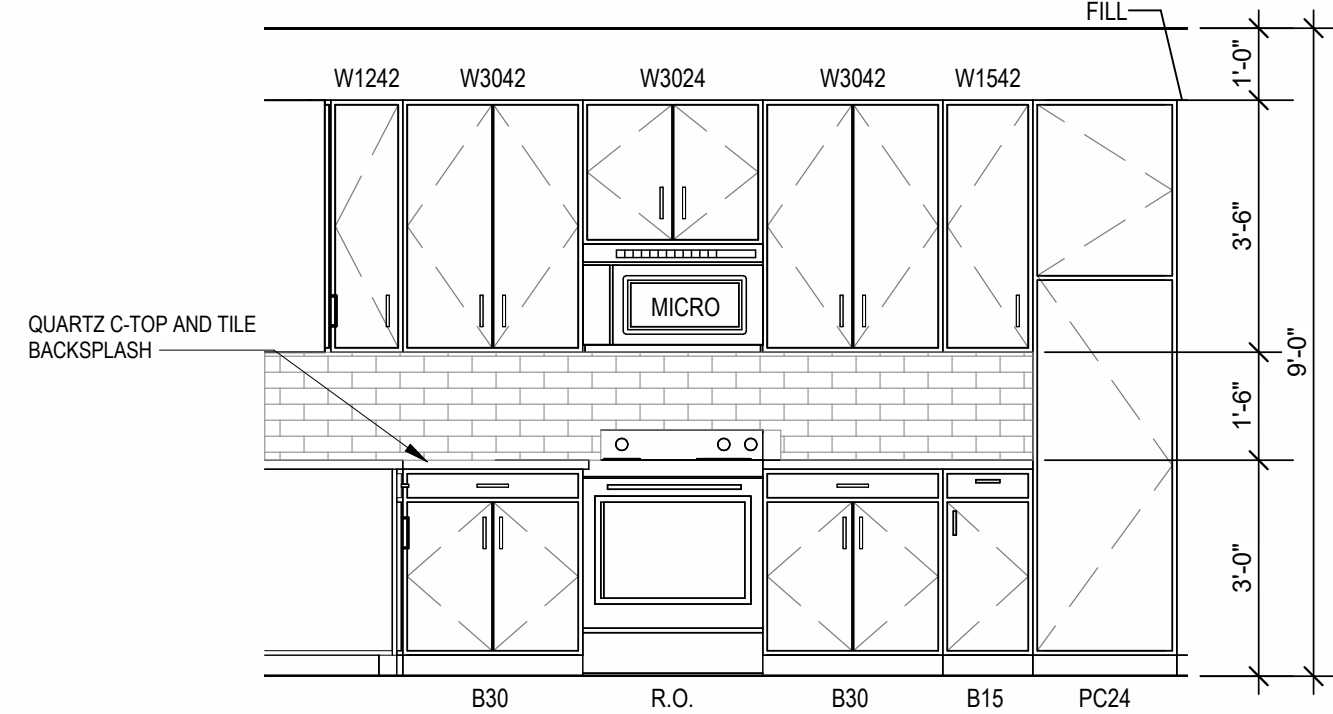
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



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KITCHEN
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DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

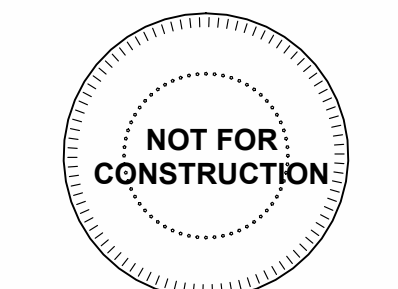
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JOB NO.
705921
DRAWN BY
TSC/SIW
6/9/2023
SHEET NAME
UNIT B1 PLANS

SHEET NO.

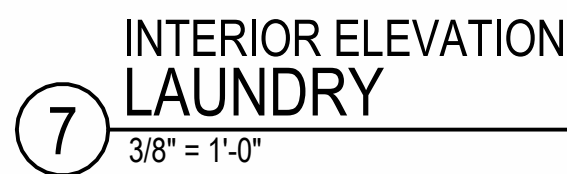
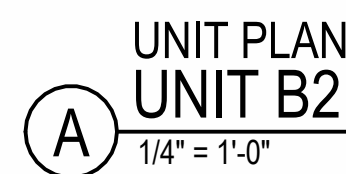
A1.05

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES
P. 913.831.1111
F. 913.831.1111
NSPJ ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208
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As Noted on Plans Review
Lee's Summit, MO
Department of Public Works
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800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



- ## UNIT PLAN GENERAL NOTES:
1. REFER TO SEPARATE SPEC SERIES A030 FOR ASSEMBLY/ DIMENSION ORIGIN AND THICKNESS.
 2. REFER TO SHEETS A-040, A-041 & A-042 FOR MOVING/ HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL FINISHES, ARCHITECTURAL REQUIREMENTS, MATERIALS, FINISHES, LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/STAIRWAYS, AND PATIO DOOR INFORMATION.
 4. USE LAMINATE BACK, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FINESTRACTION CONDITIONS.
 5. ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX," ARE FROM THE FACE TO THE FACE.
 6. PROVIDE BLOCKING FOR ALL TV LOCATIONS, "HANG" HUBS, AND CABLES.
 7. PROVIDE GRASS, AND/ OR LANDSCAPING FOR ALL PATIO LOCATIONS.
 8. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN OVERHEAD TRUSSEL.
 9. PROVIDE SAFETY GLASS IN ALL VARIOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 10. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EXHAUSTION SYSTEMS FOR ALL KITCHENS PER IBC SECTION 903.2.1. PROVIDE EXHAUST SYSTEM PER IBC SECTION 707.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 11. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROXIMATE FINISH RAMP.
 12. UNIT DETAILING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL NOT EXCEED 90° S.T.C. PER IBC SECTION 1201.
 13. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED WALL, THE EXTEND OUTSIDE THE WALL AND BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSIONS WITH THE ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE WITH THE TUB OR SHOWER MANUFACTURER.
 14. MATCH SUE SHFIN TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 15. AVOID WATER LINES IN EXTERIOR WALLS WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 16. PROVIDE EXTER. LABORATORY TESTS TO VERIFY MEANS FOR THE INST. FRYER ALARMS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE 5/4" STUOL WITH 1X3 APPROX. & DRYWALL.
 17. IN JANUARY HALL, PROVIDE:
 18. SERVICE TRUNK & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE DEVICE TRUNKS THEY ARE APPLIED TO.
 19. SERVICE TRUNKS SHALL BE DESIGNED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 20. PROVIDE FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL REELED PLATE LINES AND VALIATED CLEING INFORMATION.
 21. PROVIDE HARDWARE FOR ALL DOORS AND WINDOWS INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN ALTERNATE FINISH CANNOT BE USED.
 22. ALL PLUMBING PENETRATIONS TO RECEIVE ESCOTCH/CHEN TRIM RINGS TO MATCH ADJACENT FINISH TYPE.
 23. ALL STAIRWELLER BEHIND THE STAIRWAY SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

A NEW RESIDENTIAL COMMUNITY AT:

TRILLOGY

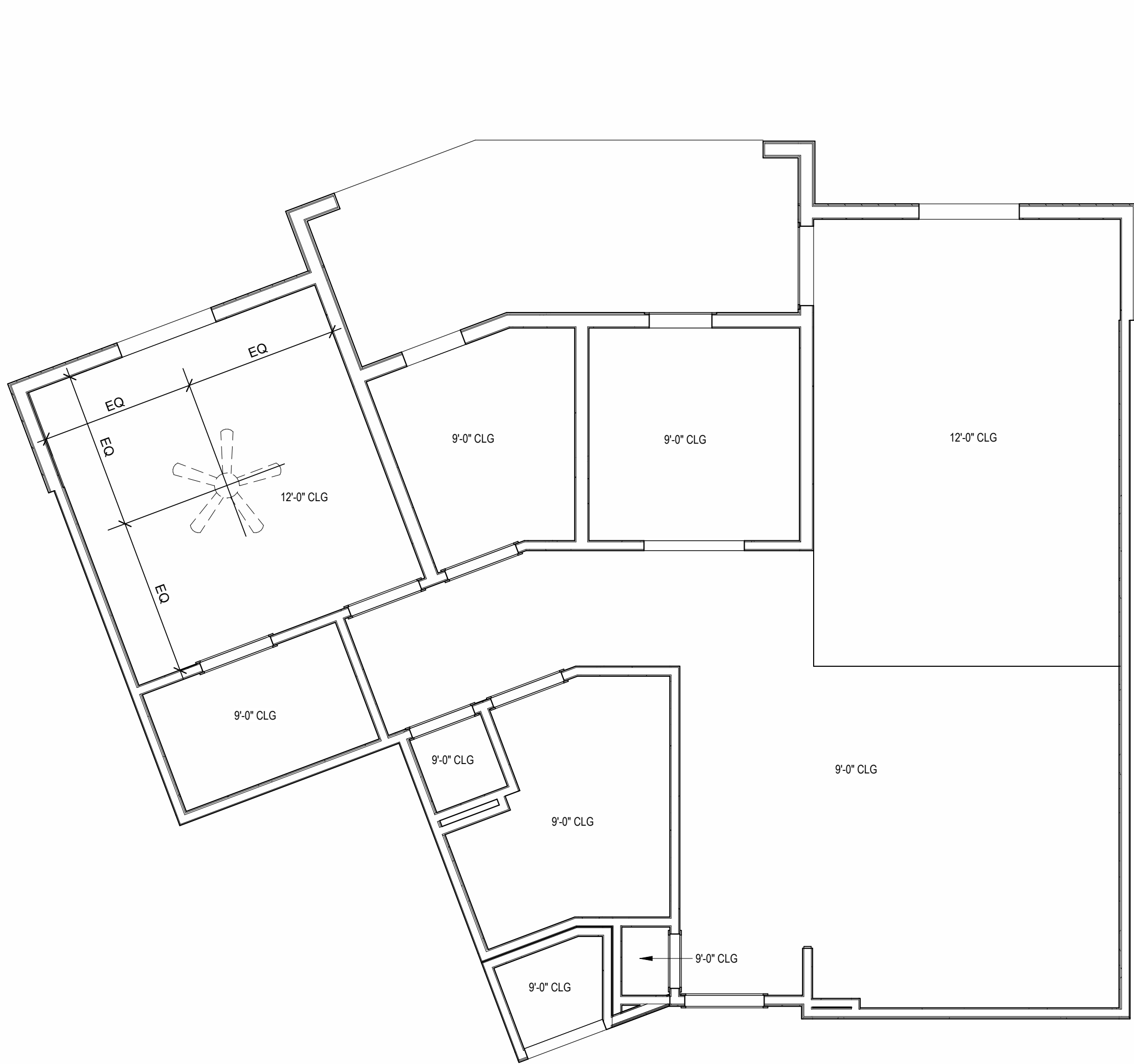
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● 03.15.2023 - PERMIT SUBMITTAL

△ REVISIONS
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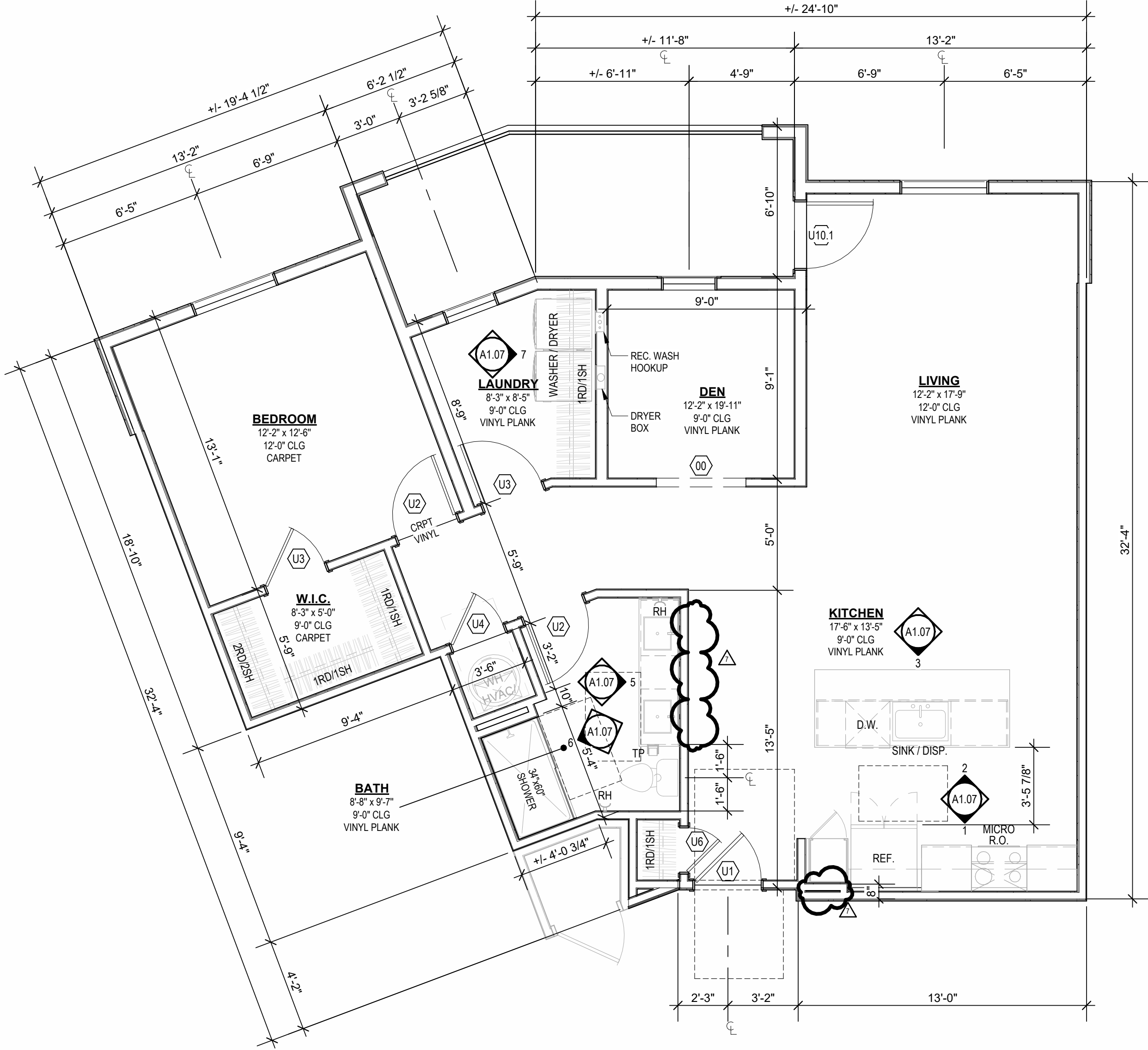
JOB NO. **705921** DATE **03.15.2023**
DRAWN BY **TSC/SIW**
6/9/2023
ASI #1
SHEET NAME
UNIT B2 PLANS

SHEET NO

A1.06



B UNIT B3 - 4TH FLOOR RCP
1/4" = 1'-0"



A UNIT B3
1/4" = 1'-0"

- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT FENESTRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FEATURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 44K STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FIXTURE FINISH.
 - FIRE EXTINGUISHER (RE. SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

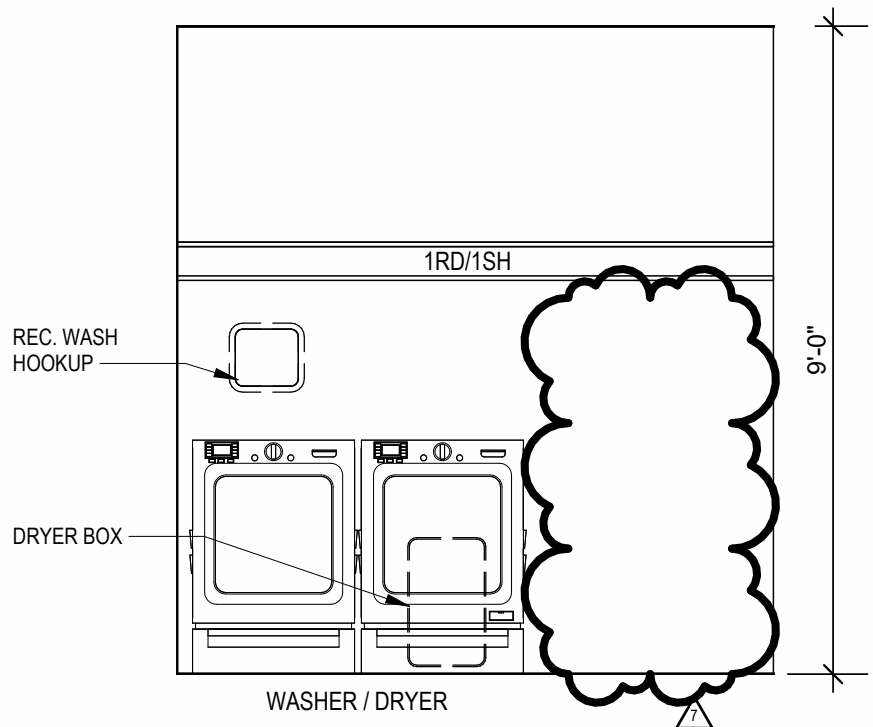
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03.15.2023 - PERMIT SUBMITTAL

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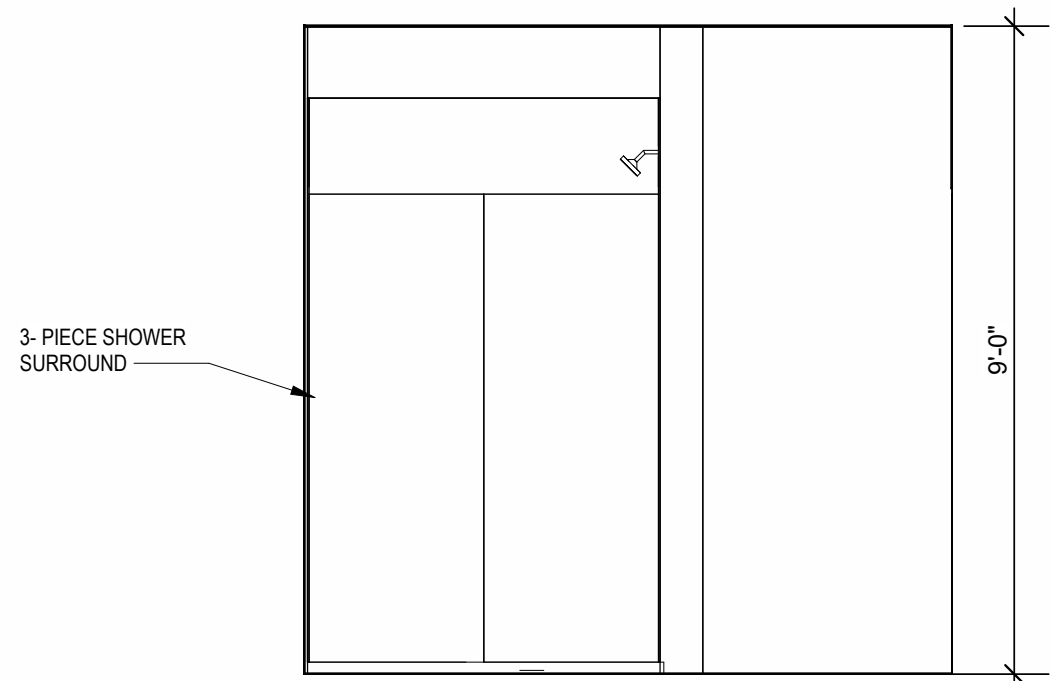
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DRAWN BY TSC/SIW
6/9/2023
SHEET NAME UNIT B3 PLANS
DATE 03.15.2023

SHEET NO.

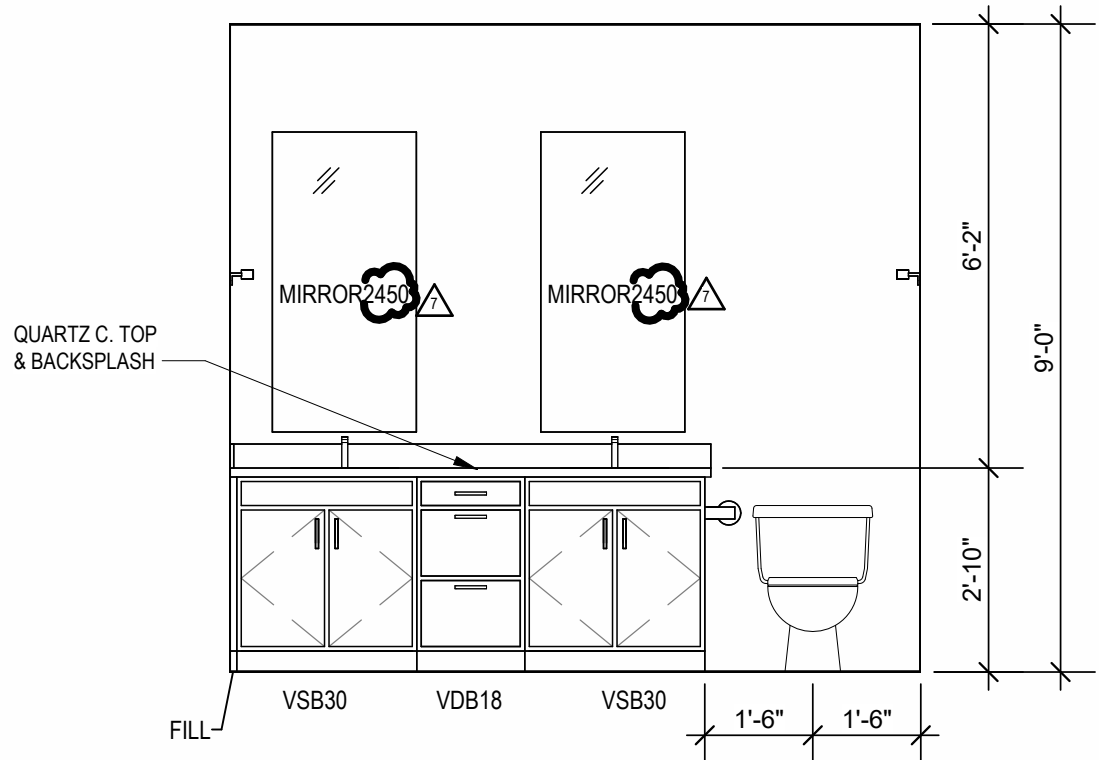
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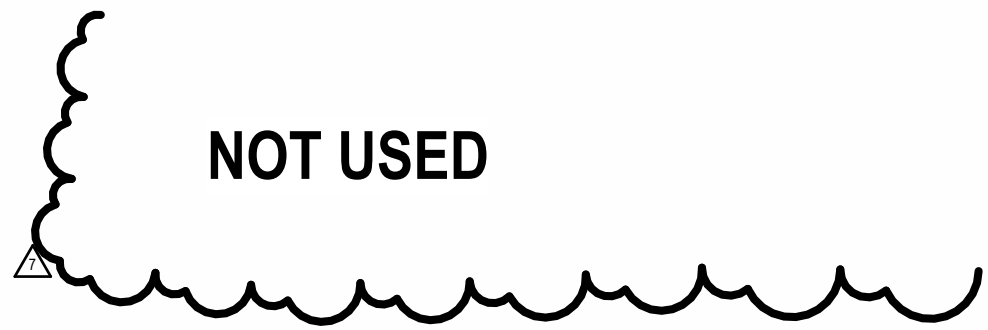
7 INTERIOR ELEVATION LAUNDRY
3/8" = 1'-0"



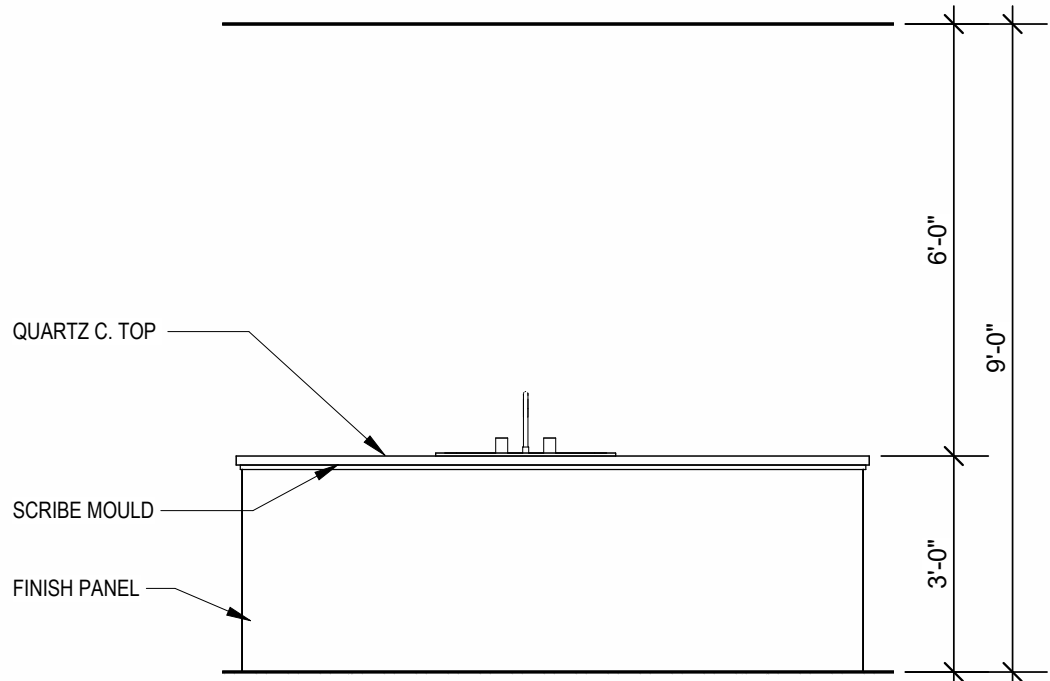
6 INTERIOR ELEVATION BATHROOM
3/8" = 1'-0"



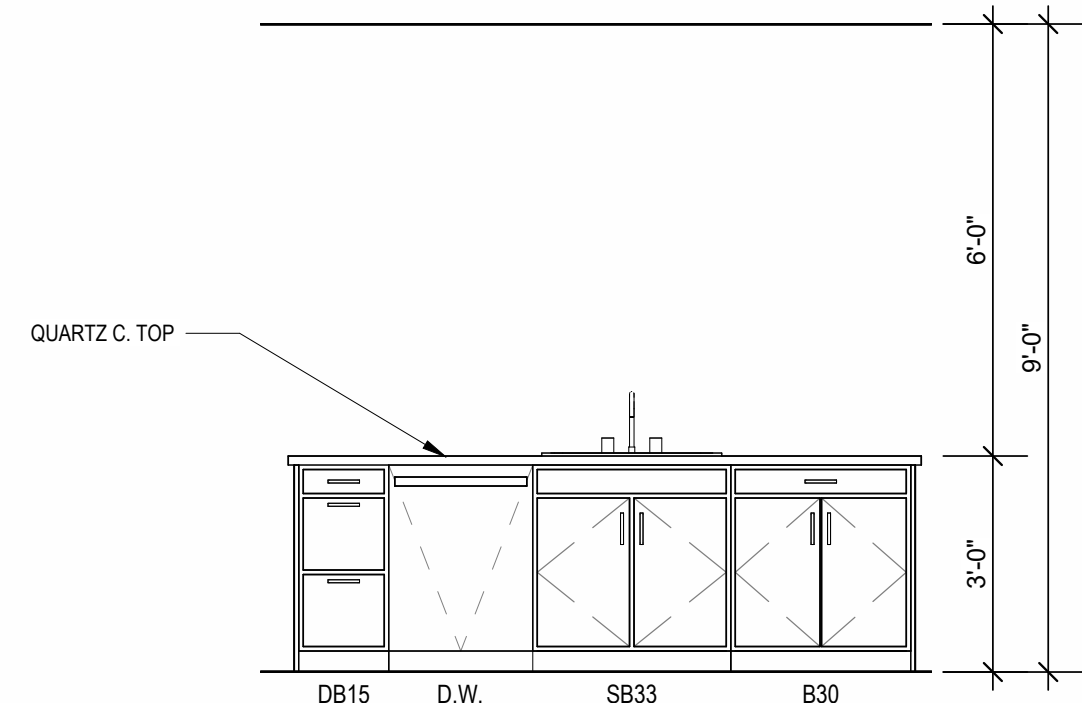
5 INTERIOR ELEVATION BATHROOM
3/8" = 1'-0"



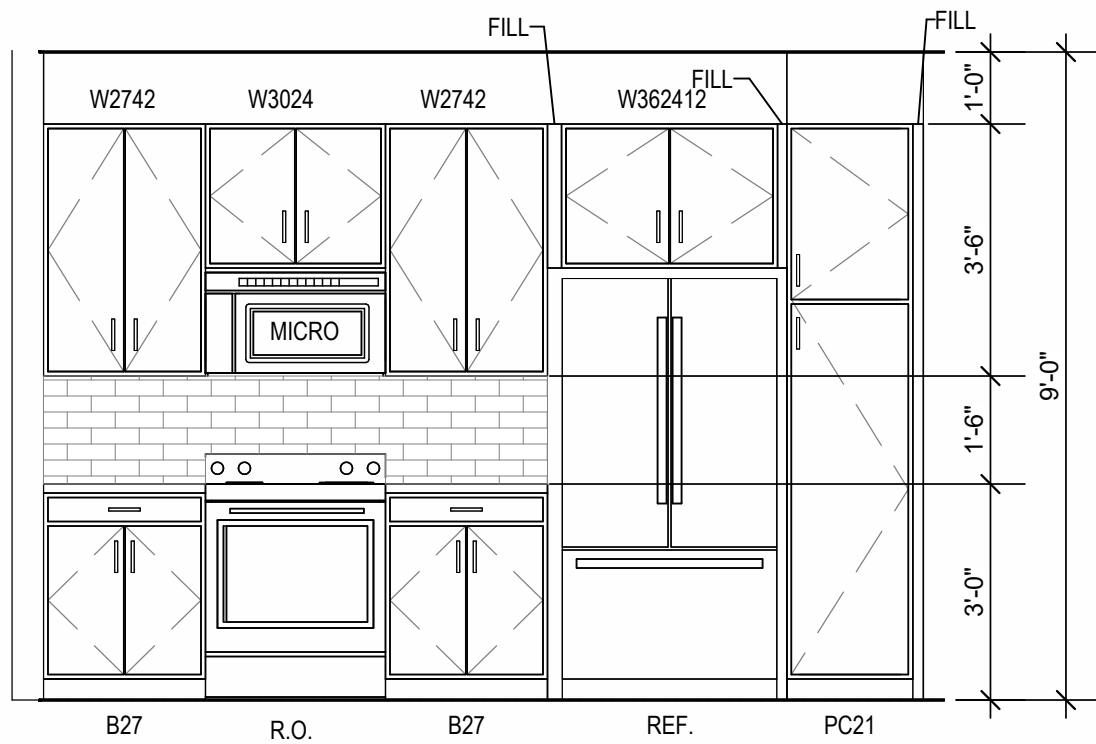
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3 INTERIOR ELEVATION KITCHEN
3/8" = 1'-0"

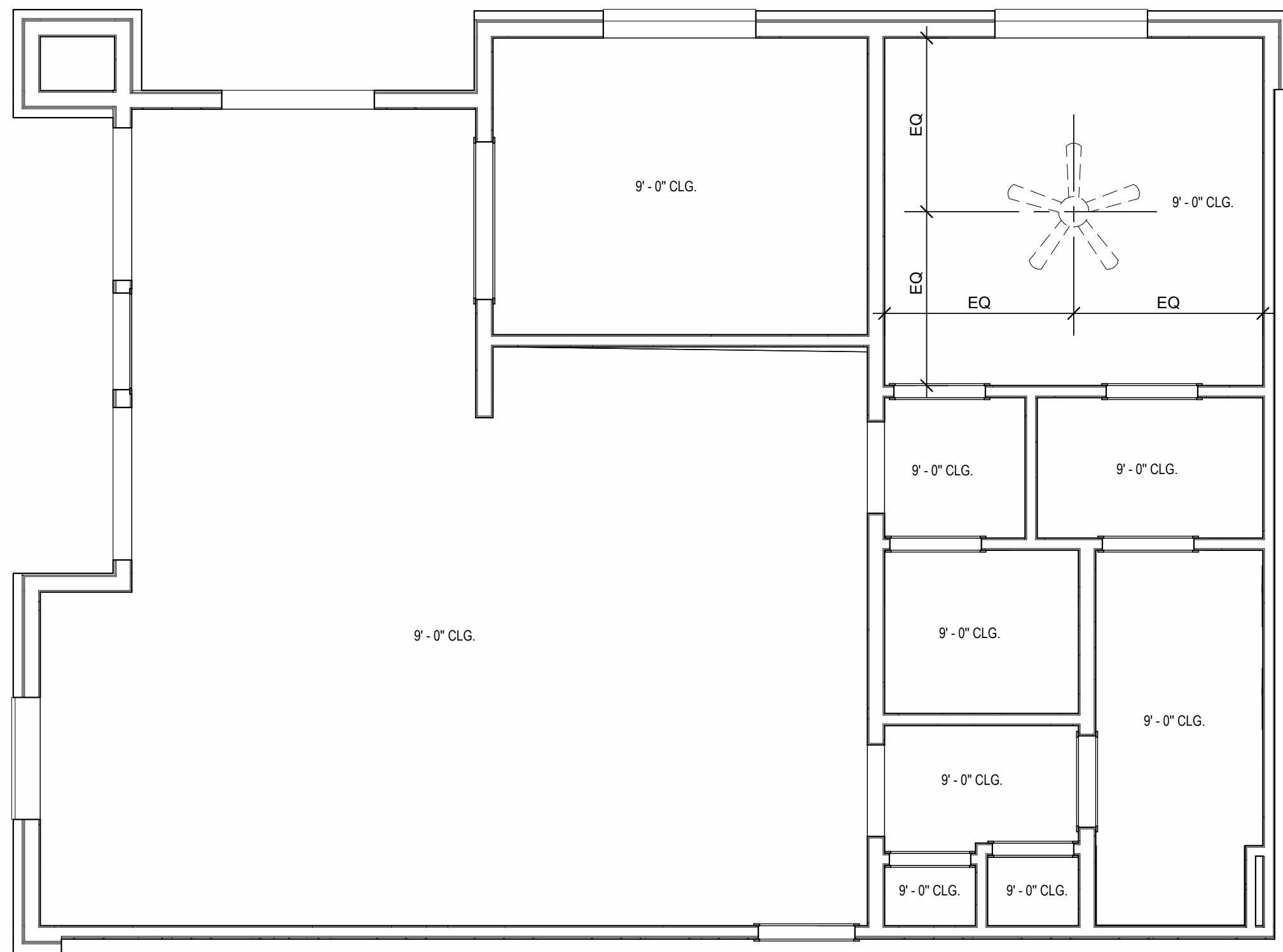


2 INTERIOR ELEVATION KITCHEN
3/8" = 1'-0"

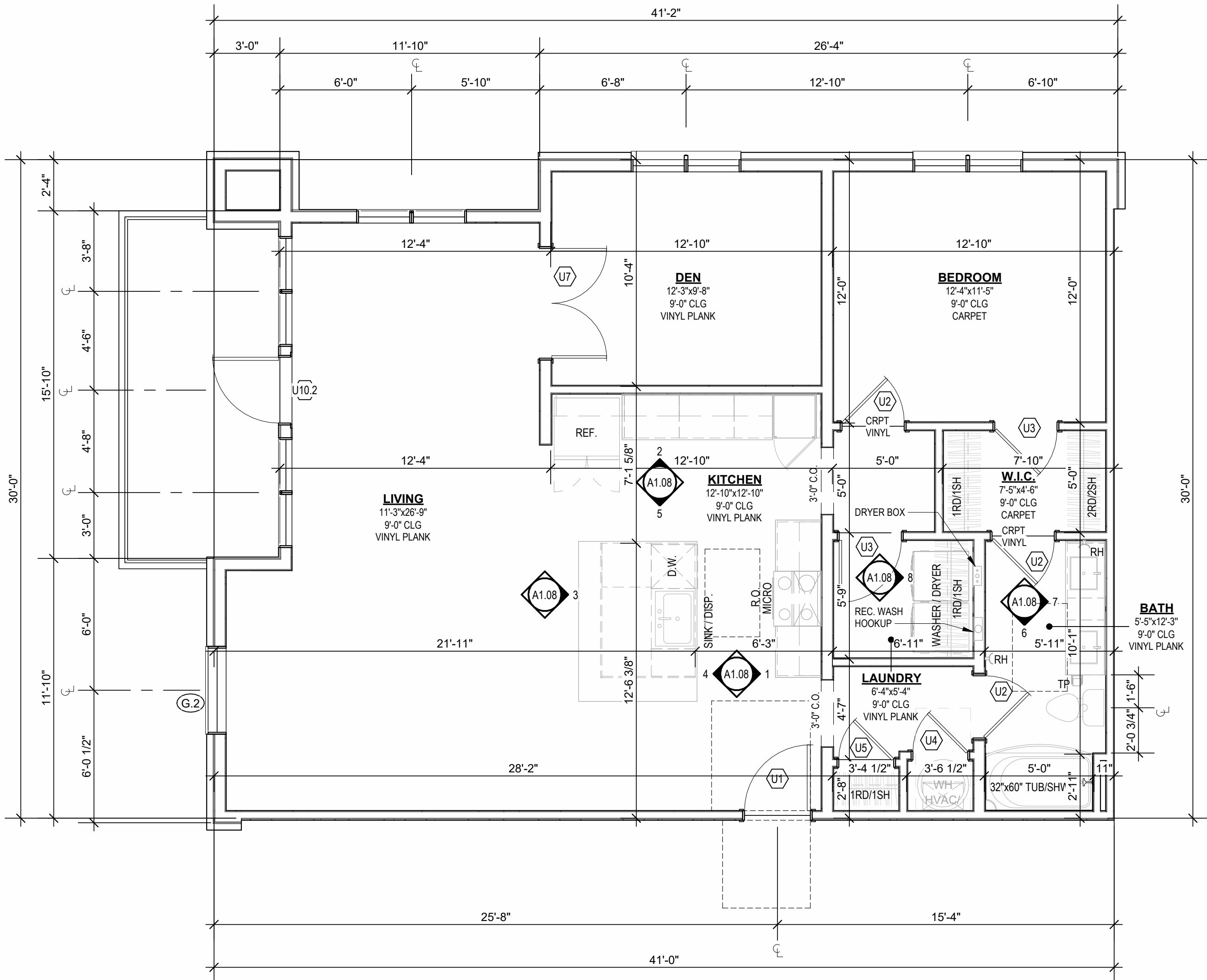


1 INTERIOR ELEVATION KITCHEN
3/8" = 1'-0"

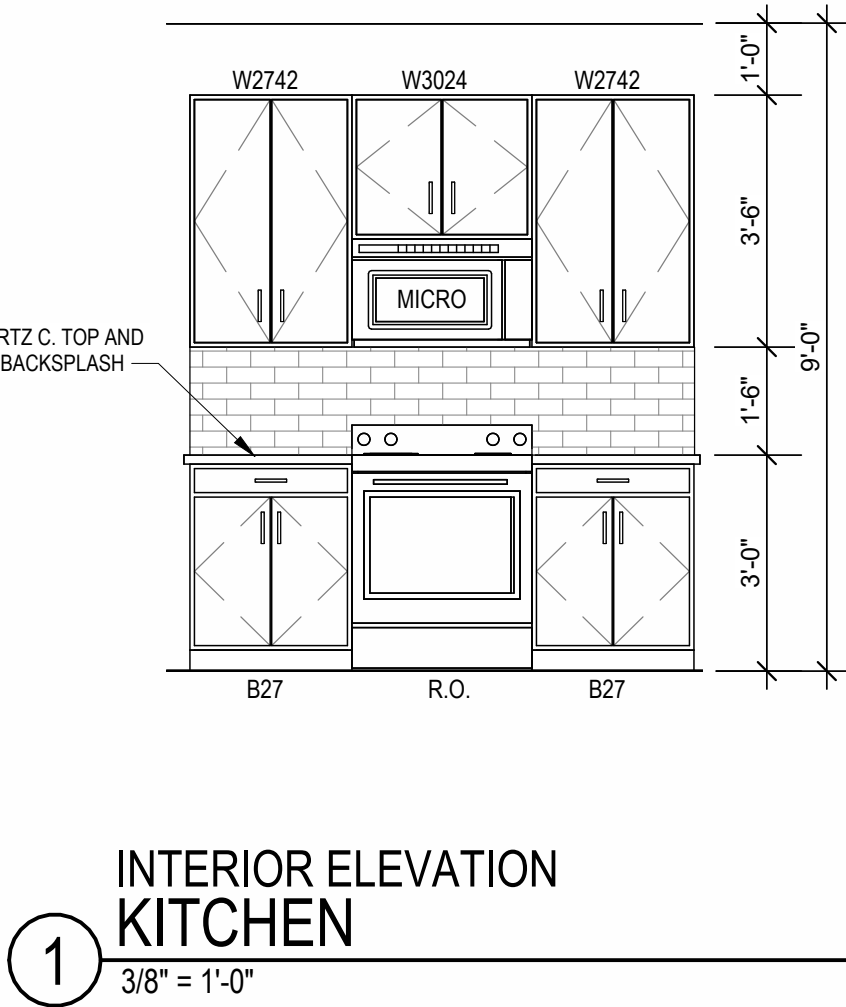
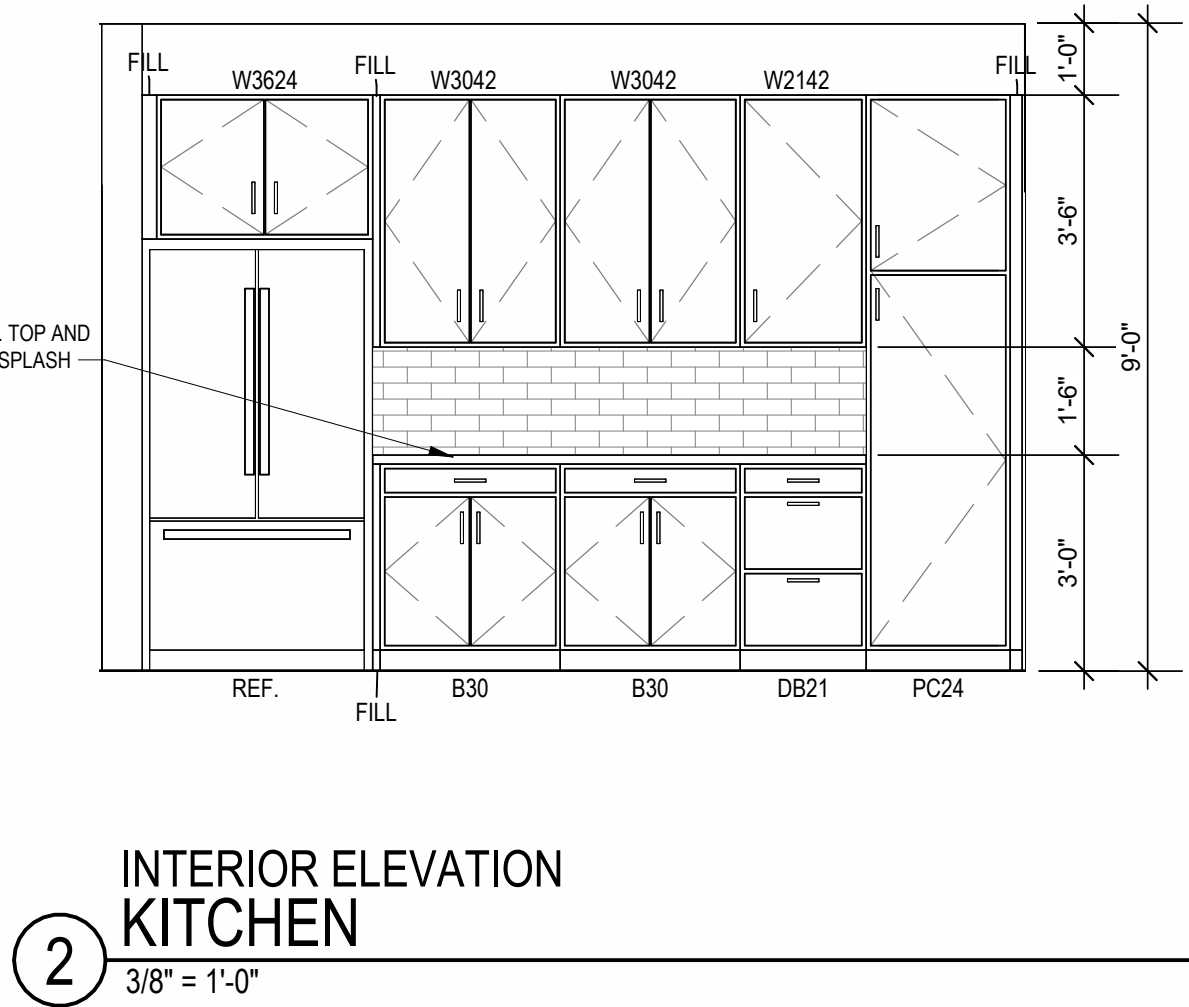
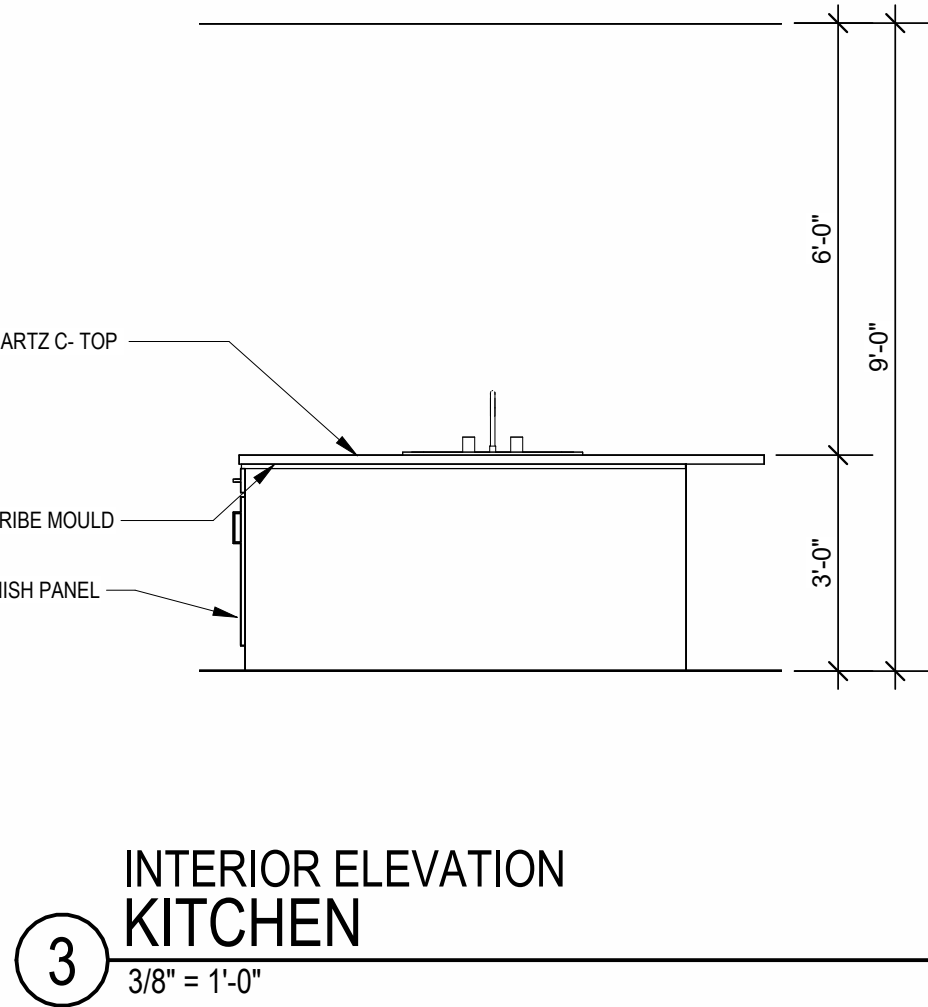
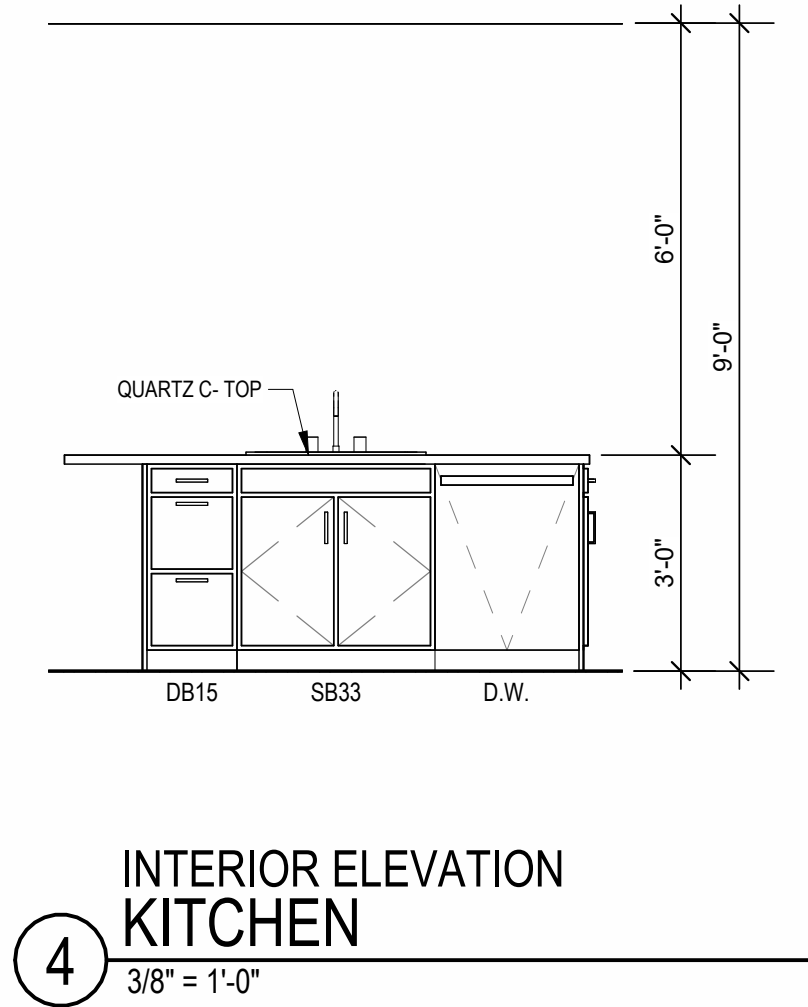
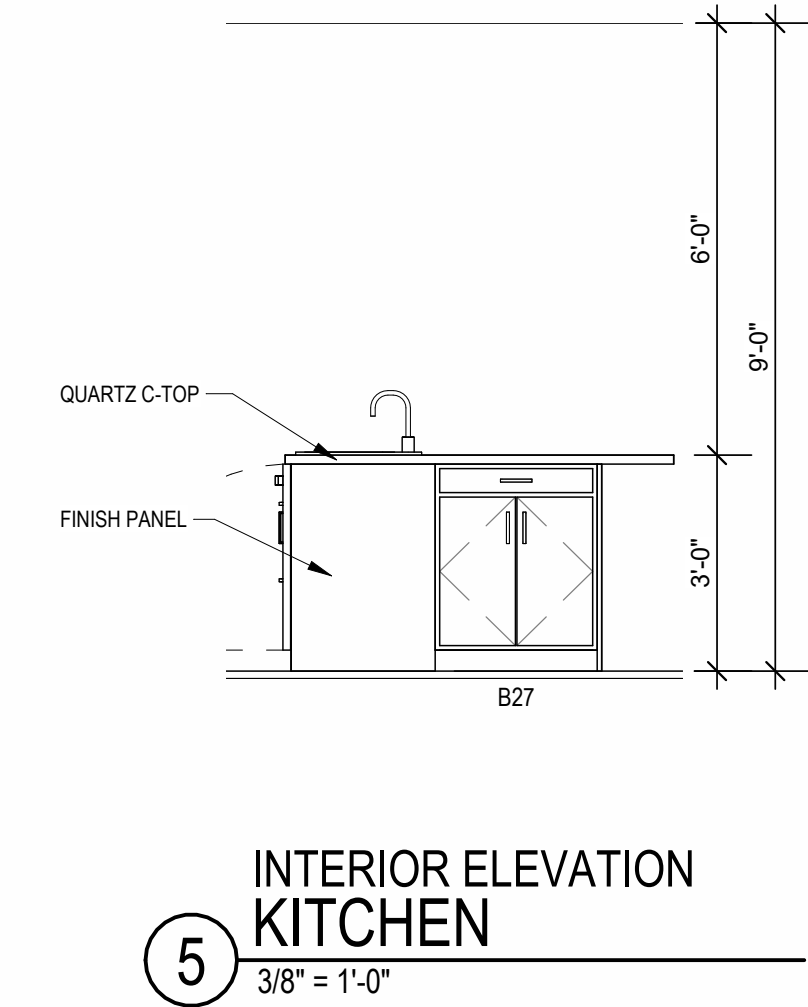
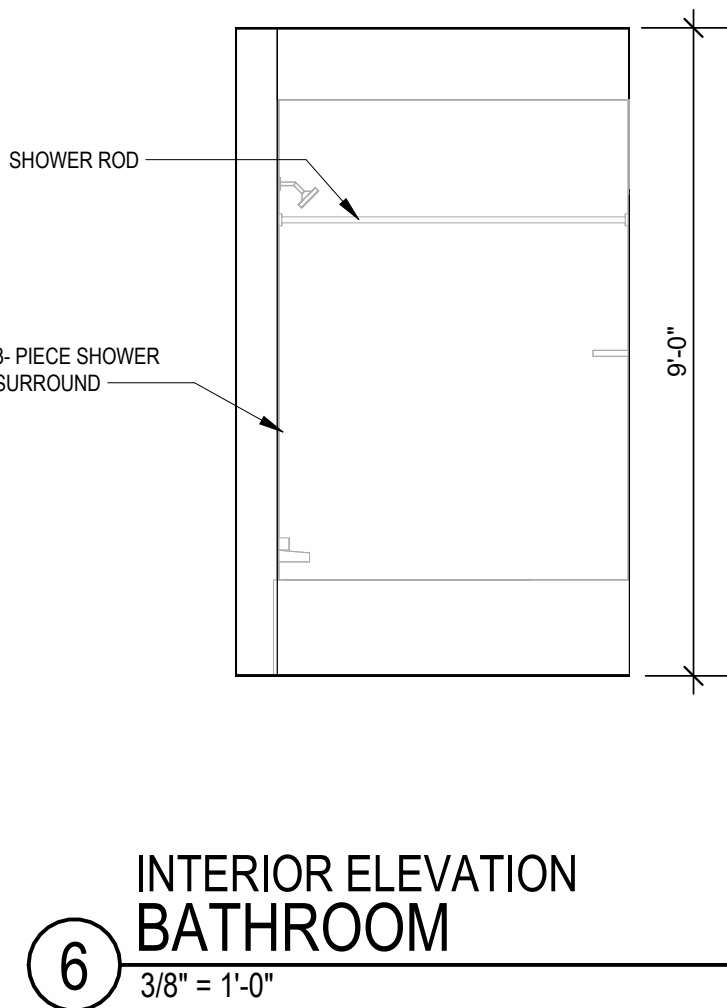
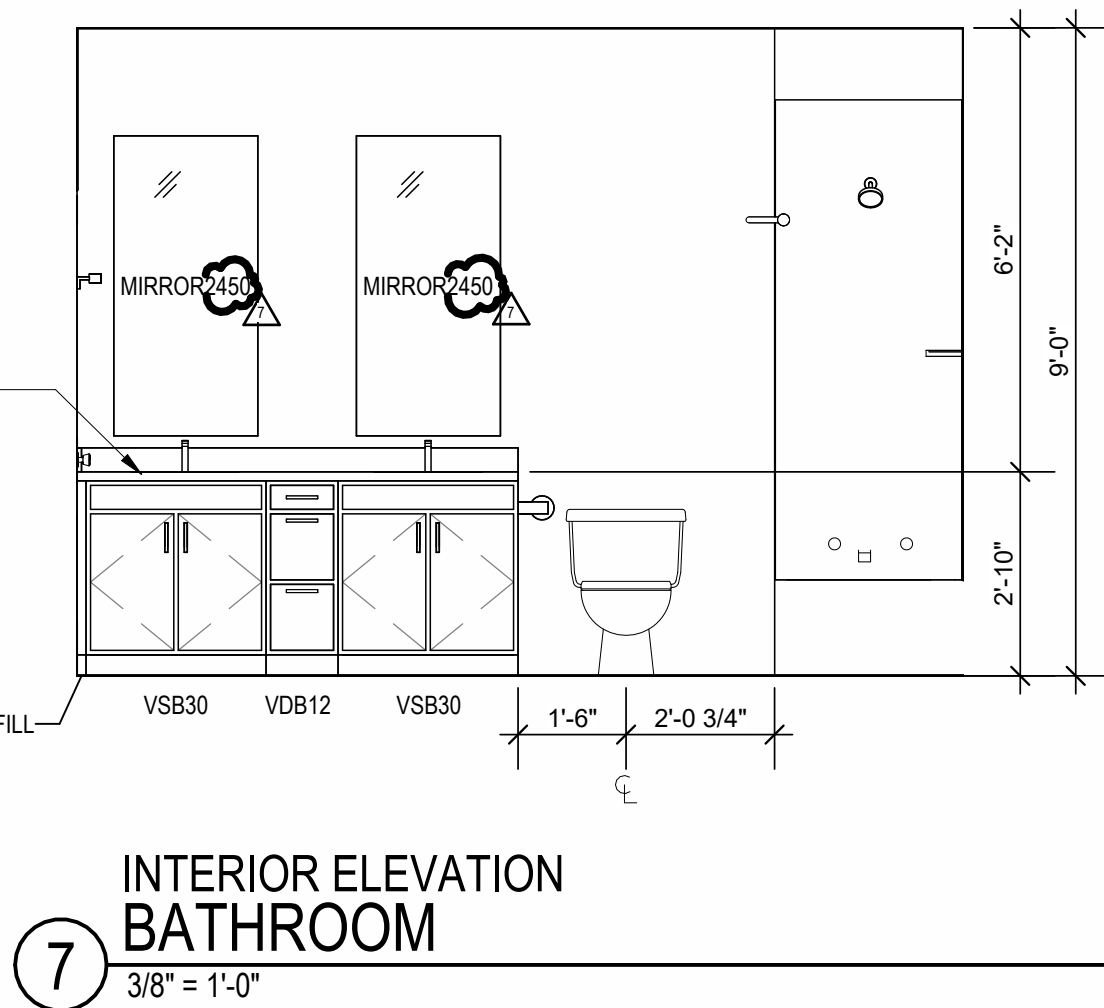
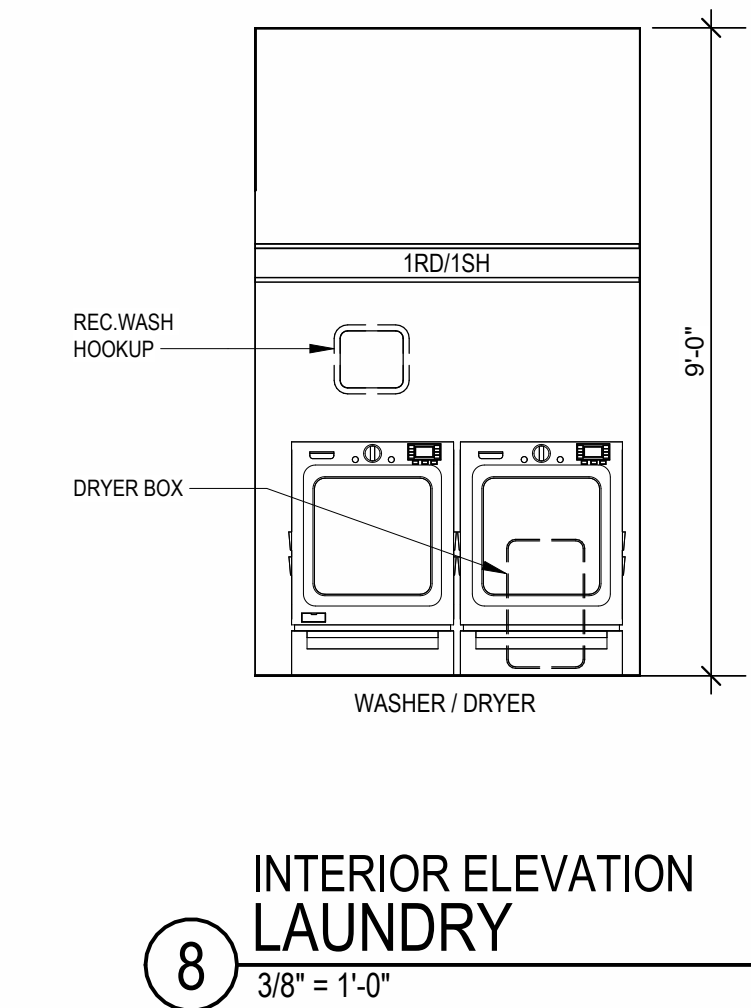
B UNIT B4 - RCP
1/4" = 1'-0"



A UNIT B4 PLAN
1/4" = 1'-0"



- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LOADINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2408. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
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 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 64X STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMB & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
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A NEW RESIDENTIAL COMMUNITY AT:
TRIOLOGY
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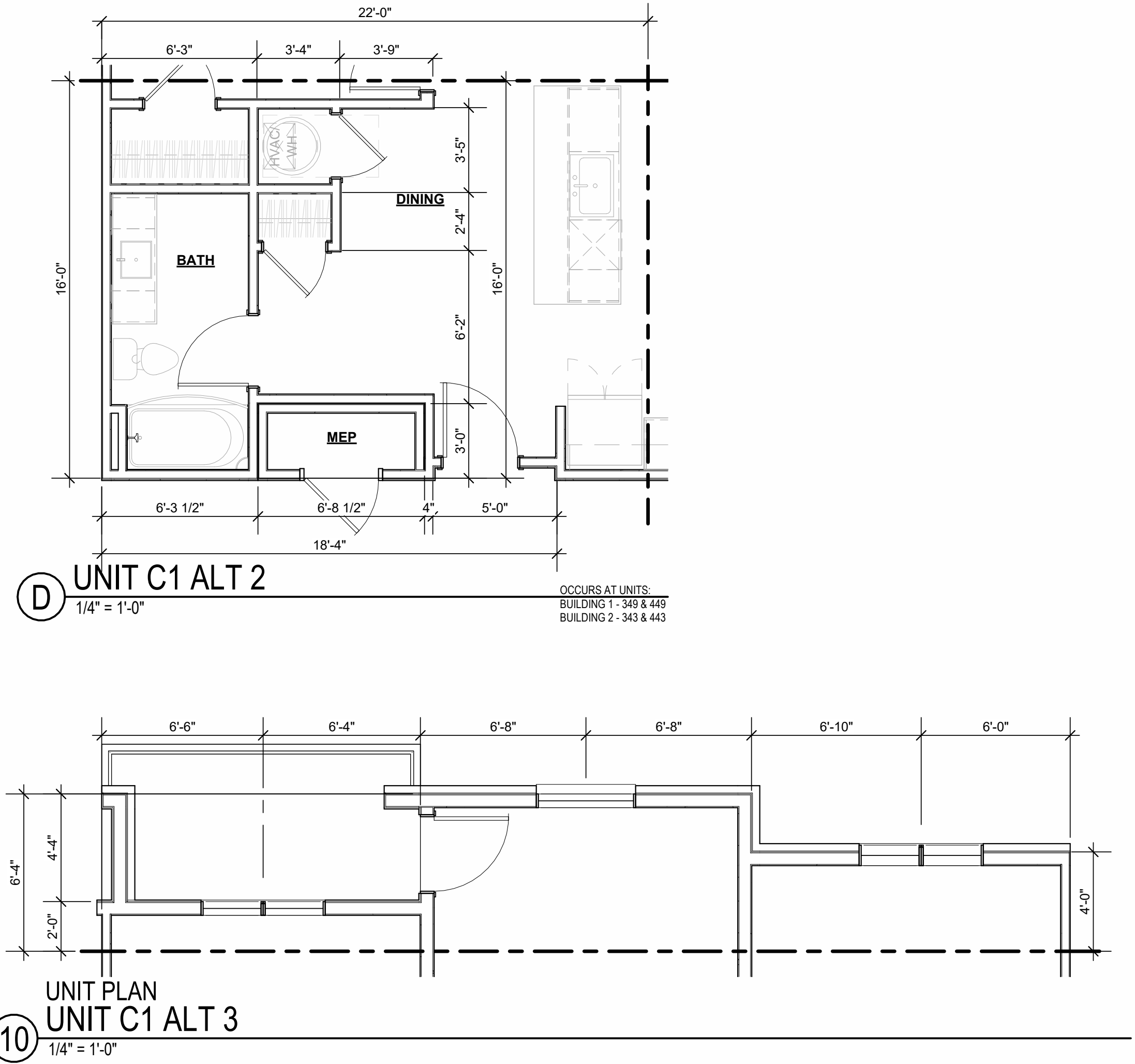
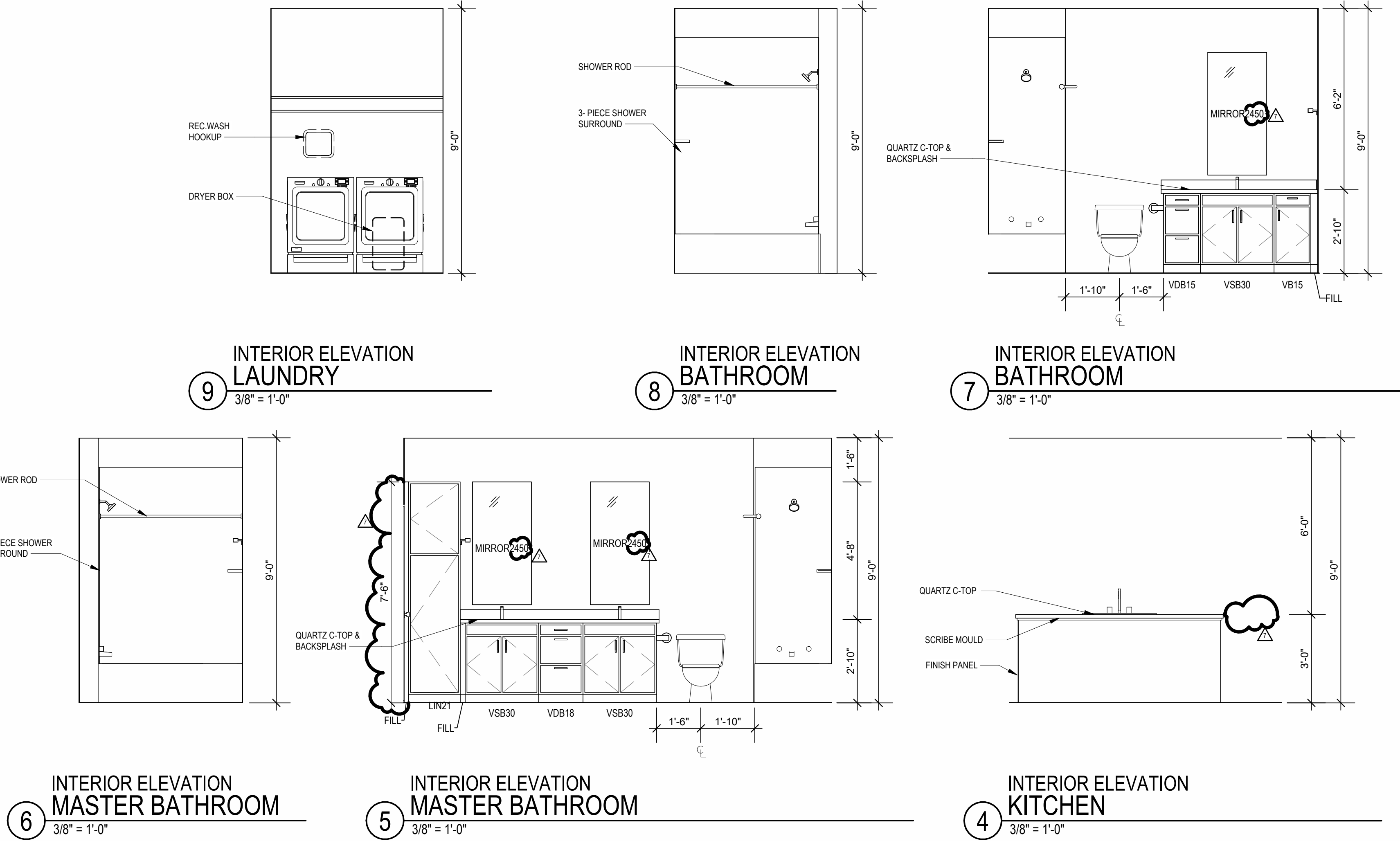
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SHEET NO.

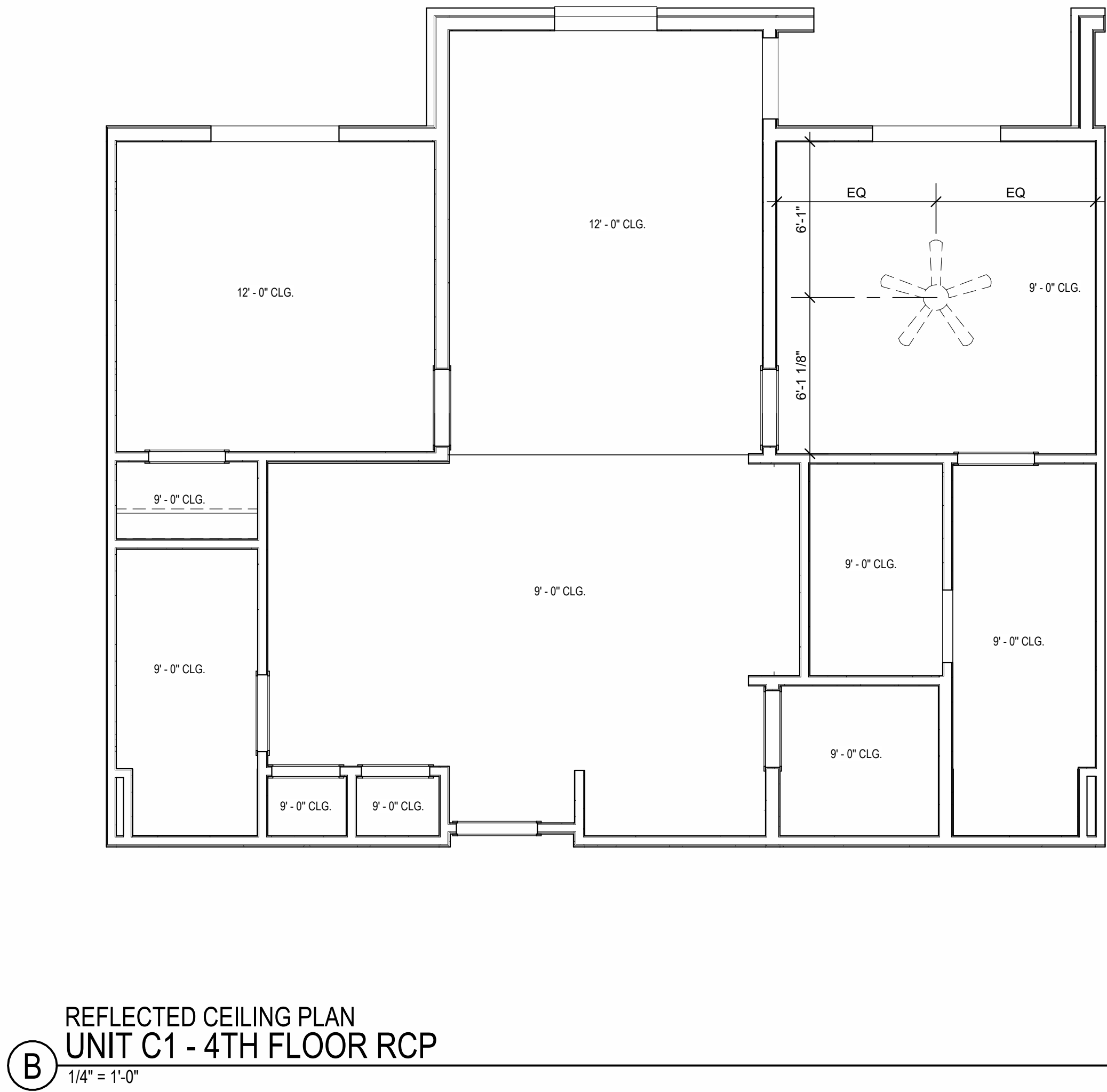
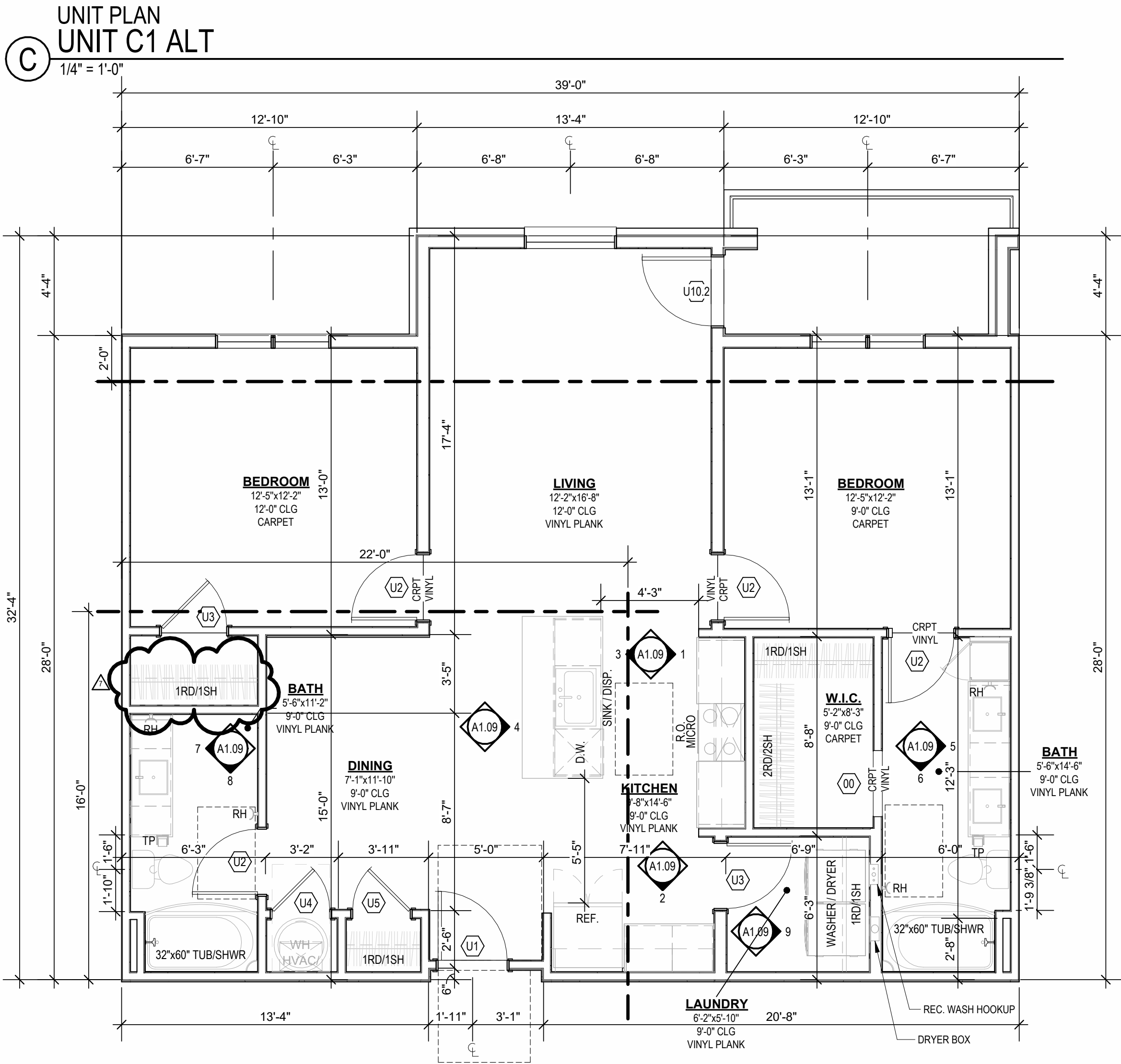
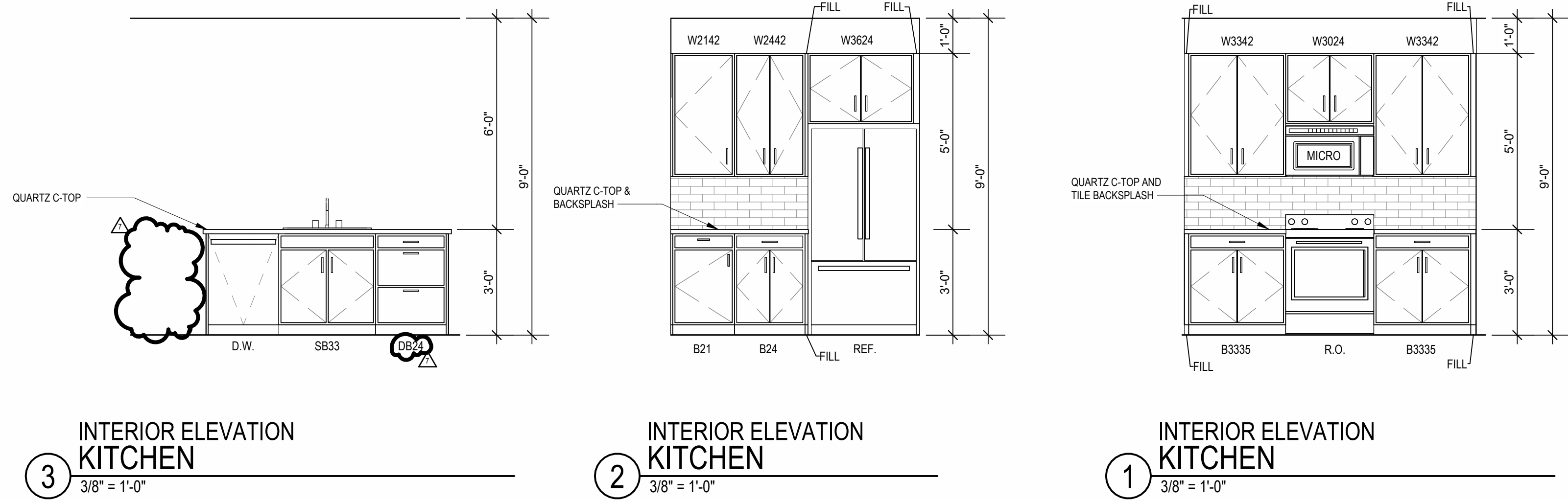
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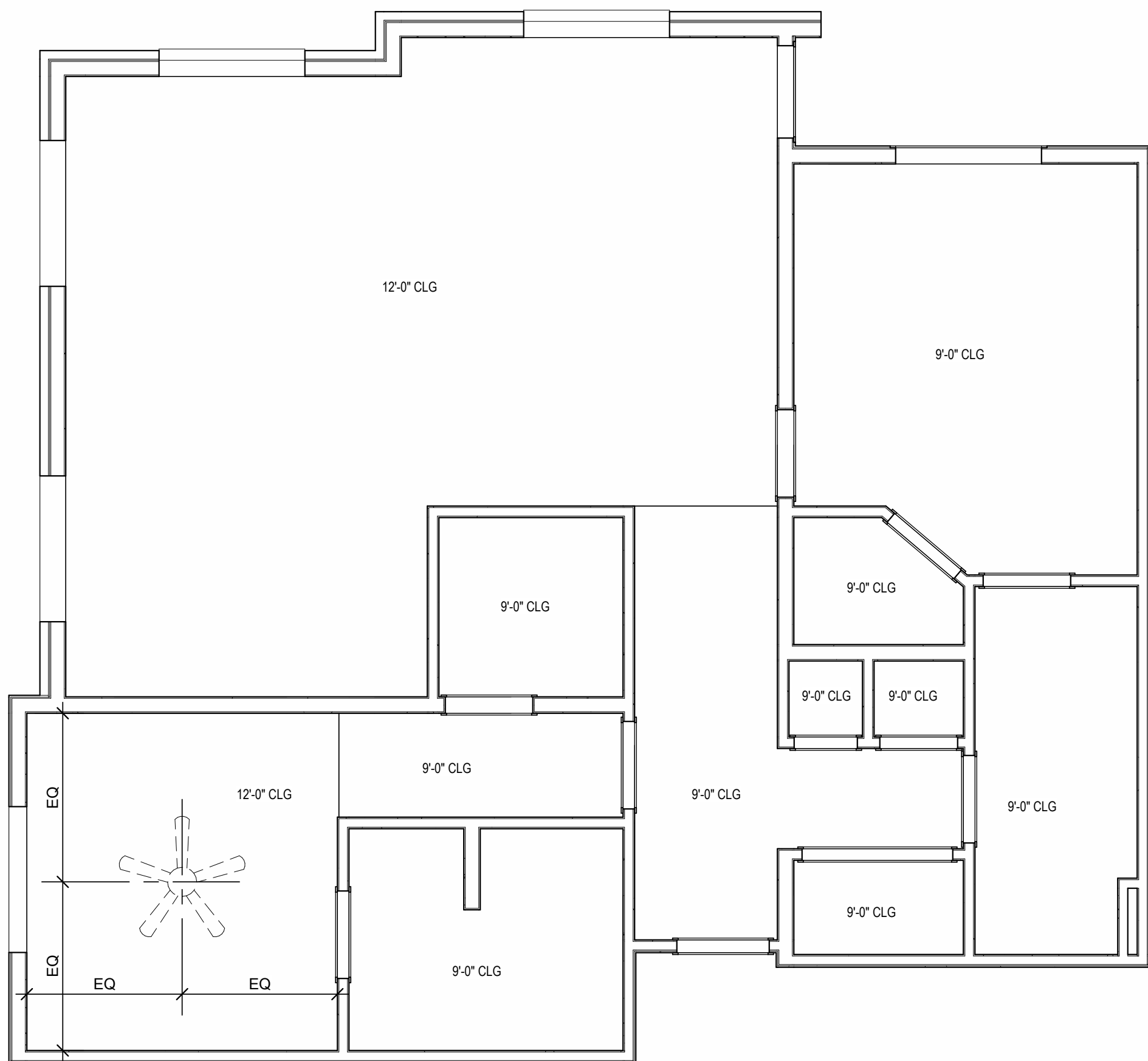
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



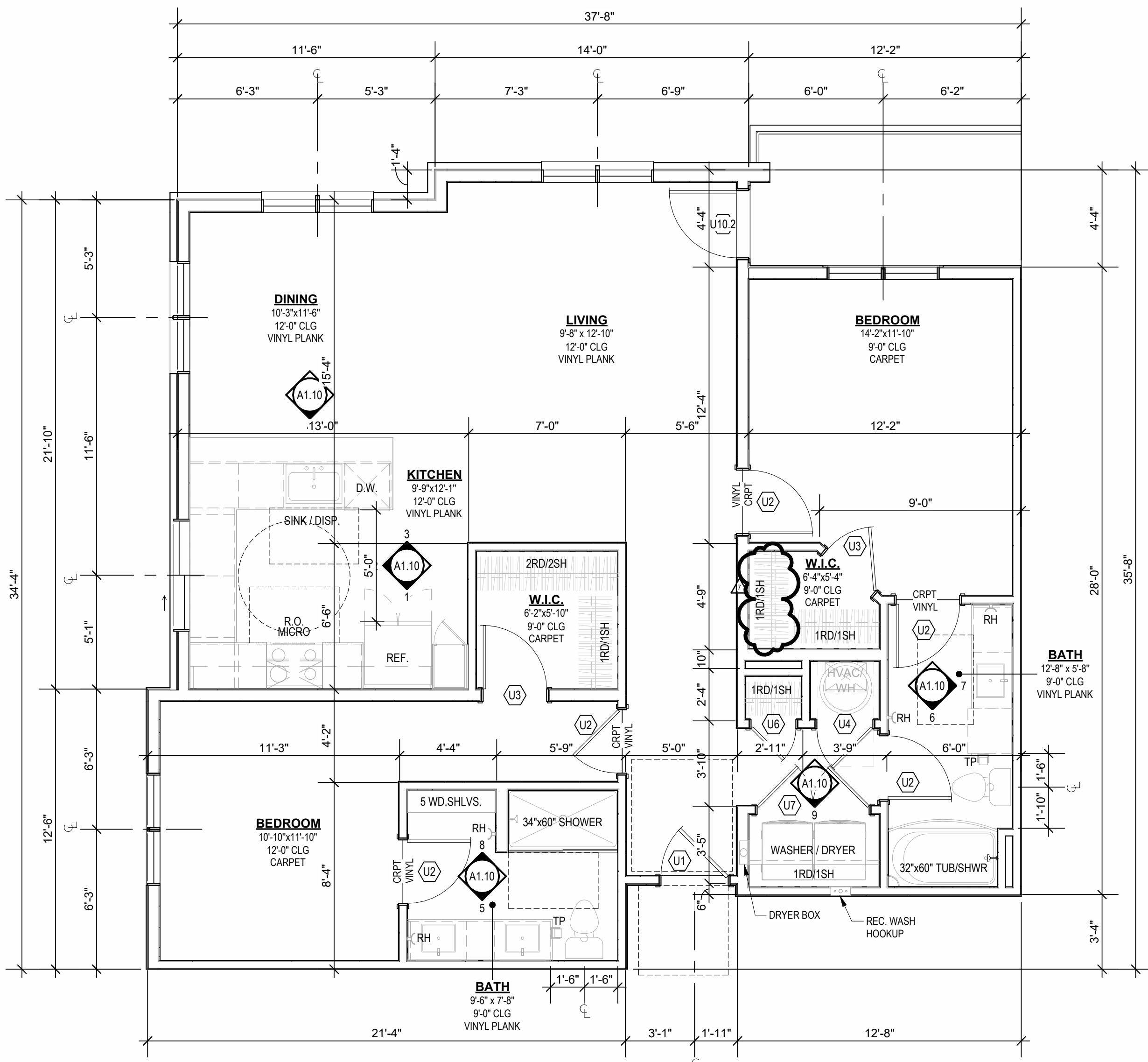
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 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2006. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
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 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IBC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - N-SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 - ALL WINDOWS TO RECEIVE 54X STOOD WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
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 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK CASE CABINET UNDER KITCHEN SINK U.N.O.



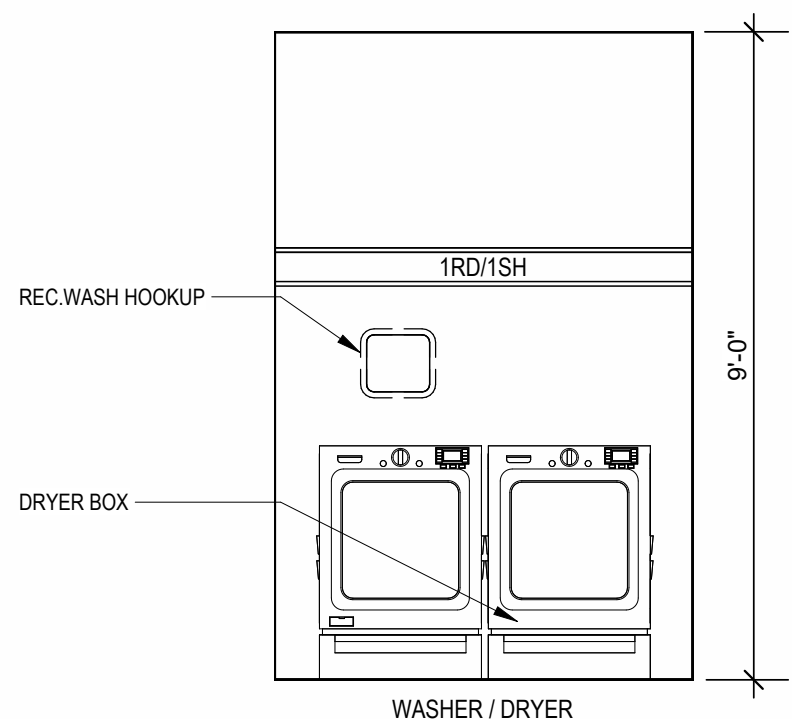
- UNIT PLAN GENERAL NOTES:
1. REFER TO ASSEMBLY SHEET SERIES A0 30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 2. REFER TO SHEETS A0 40, A0 41 AND A0 42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
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 9. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDINGS PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
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 13. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 14. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 16. ALL WINDOWS TO RECEIVE 6/4" STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 17. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 18. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 19. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 20. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 21. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT TEXTURE FINISH.
 22. FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.
 - 23.



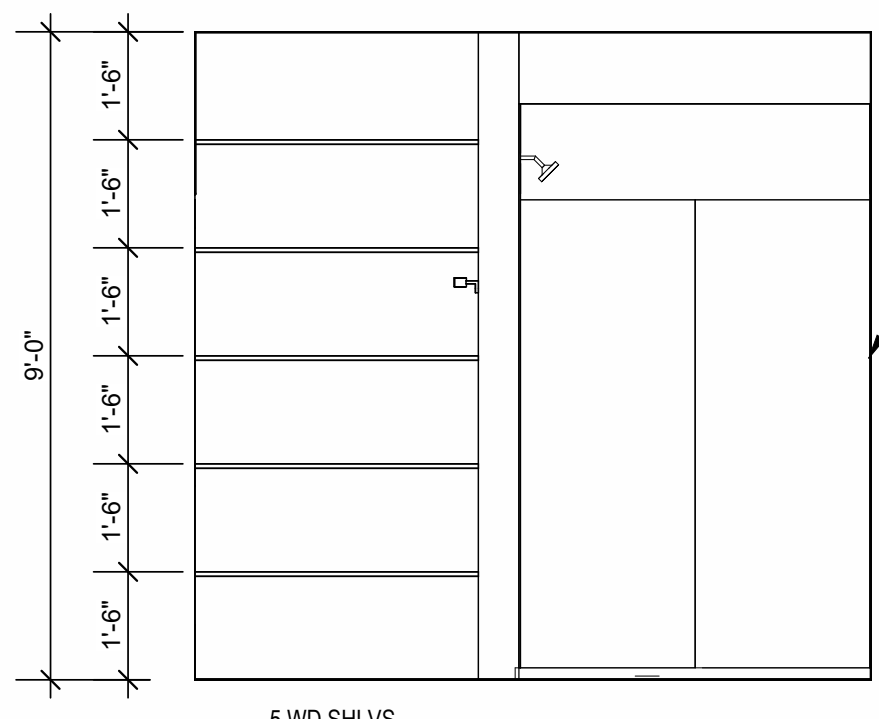
UNIT C2 - 4TH FLOOR RCP
1/4" = 1'-0"



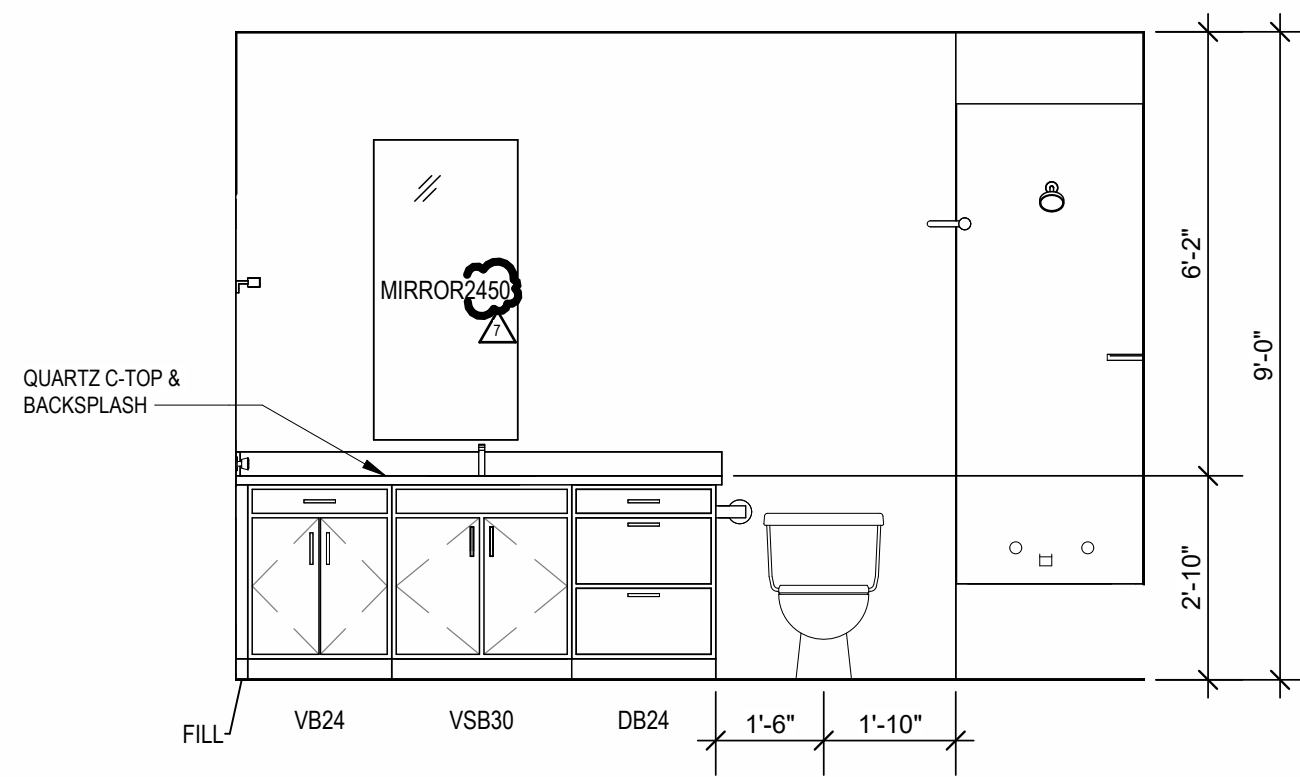
UNIT C2
1/4" = 1'-0"



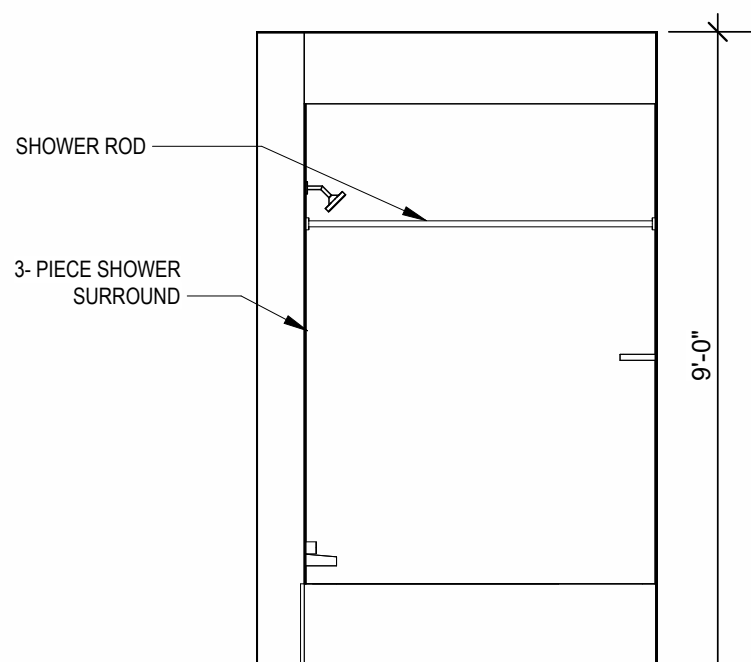
INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



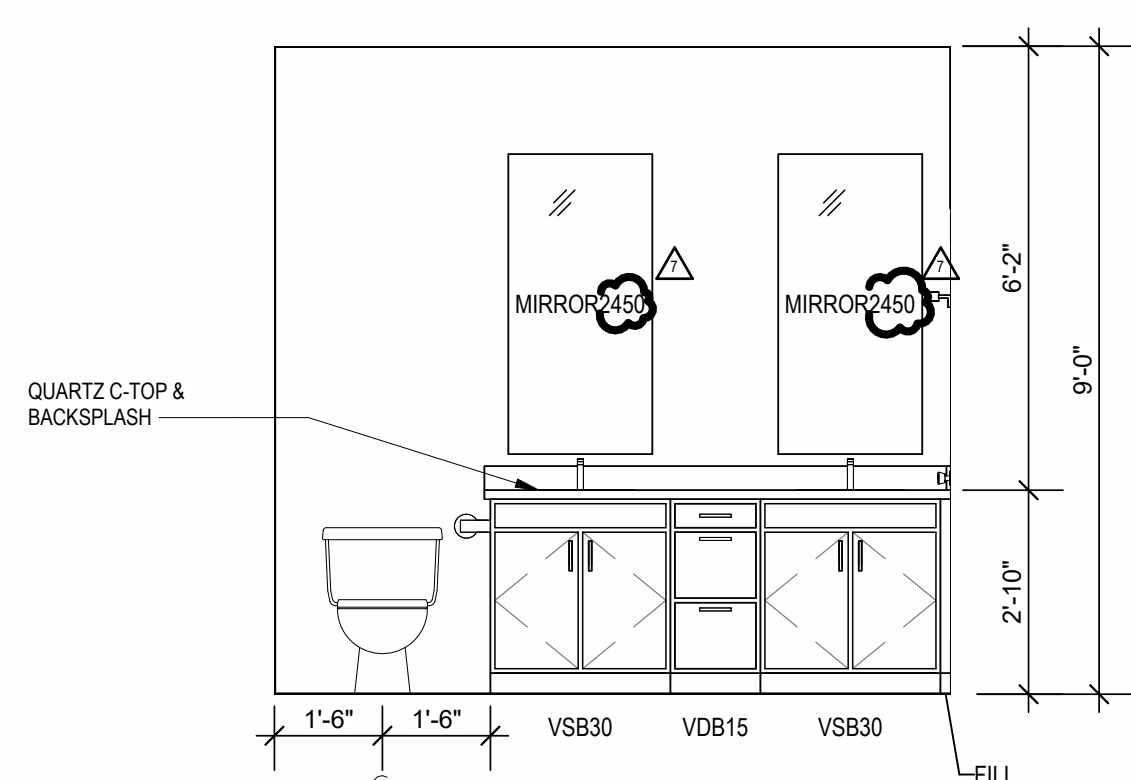
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



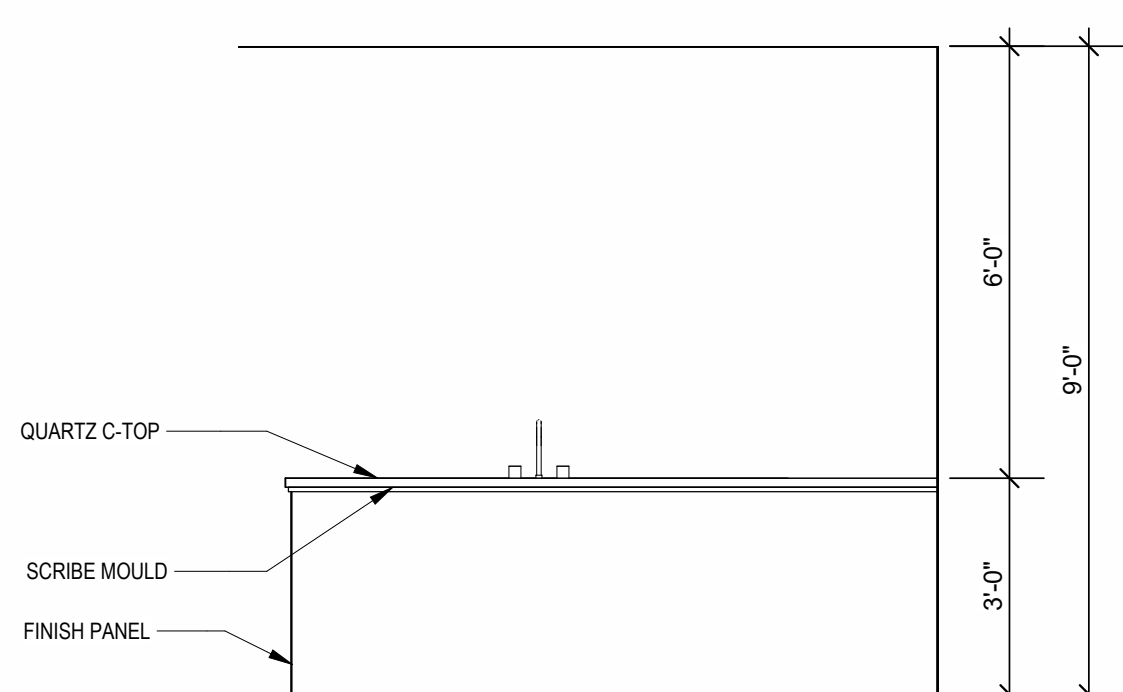
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



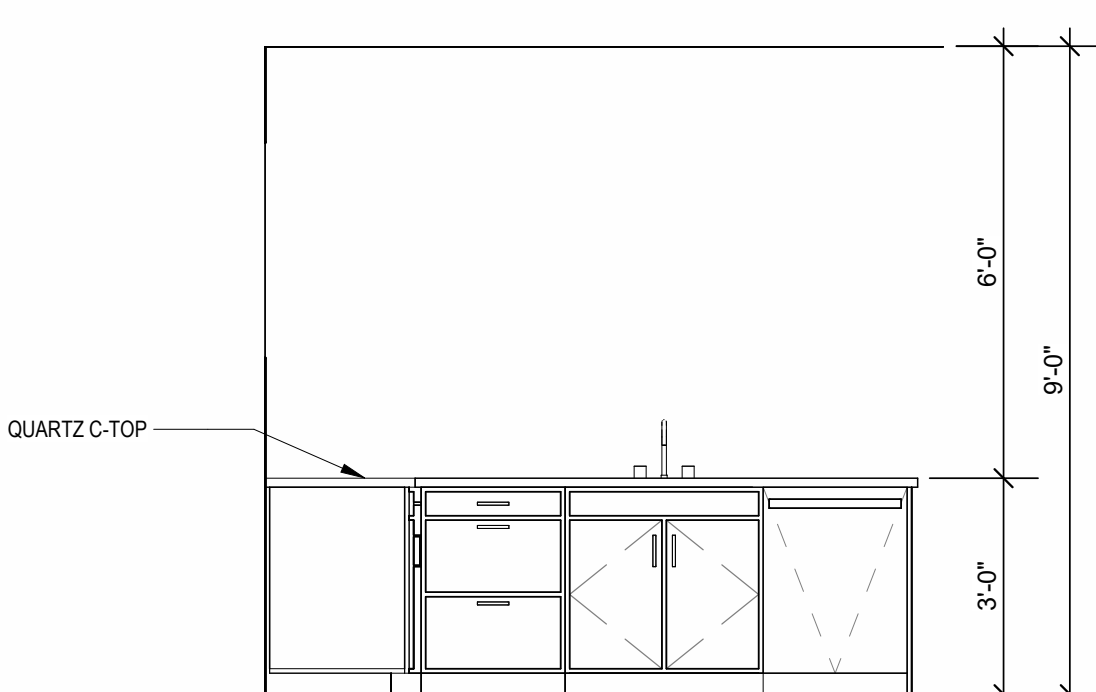
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



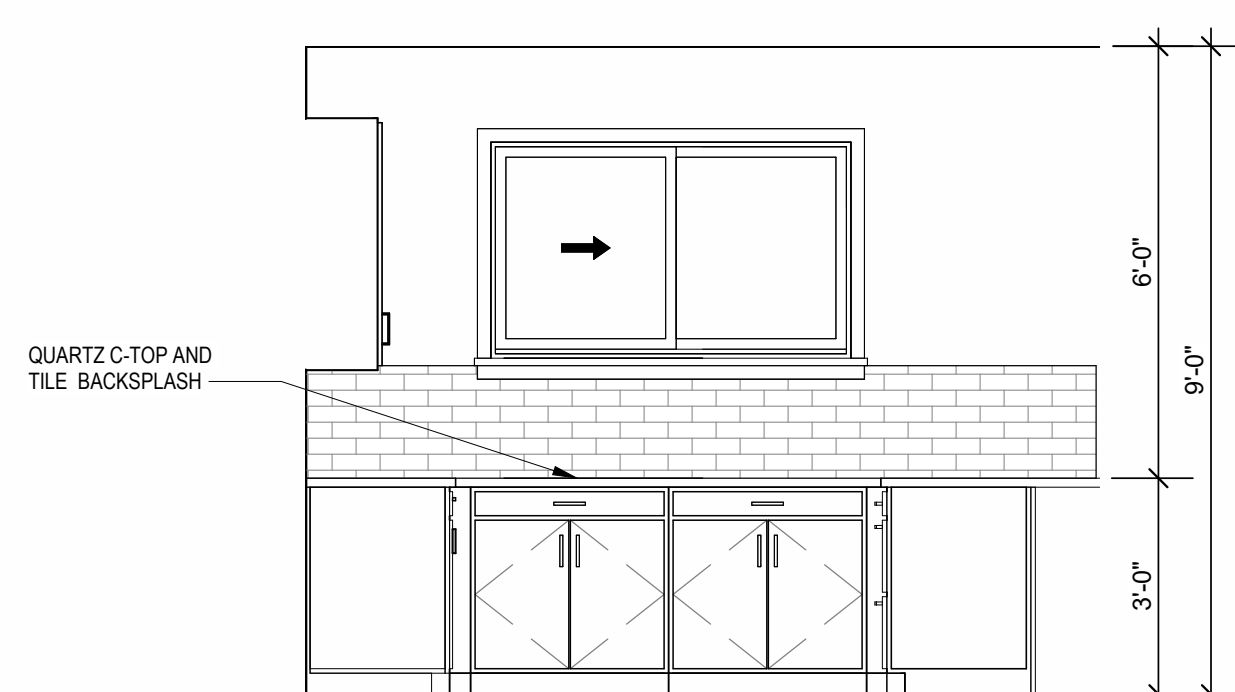
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



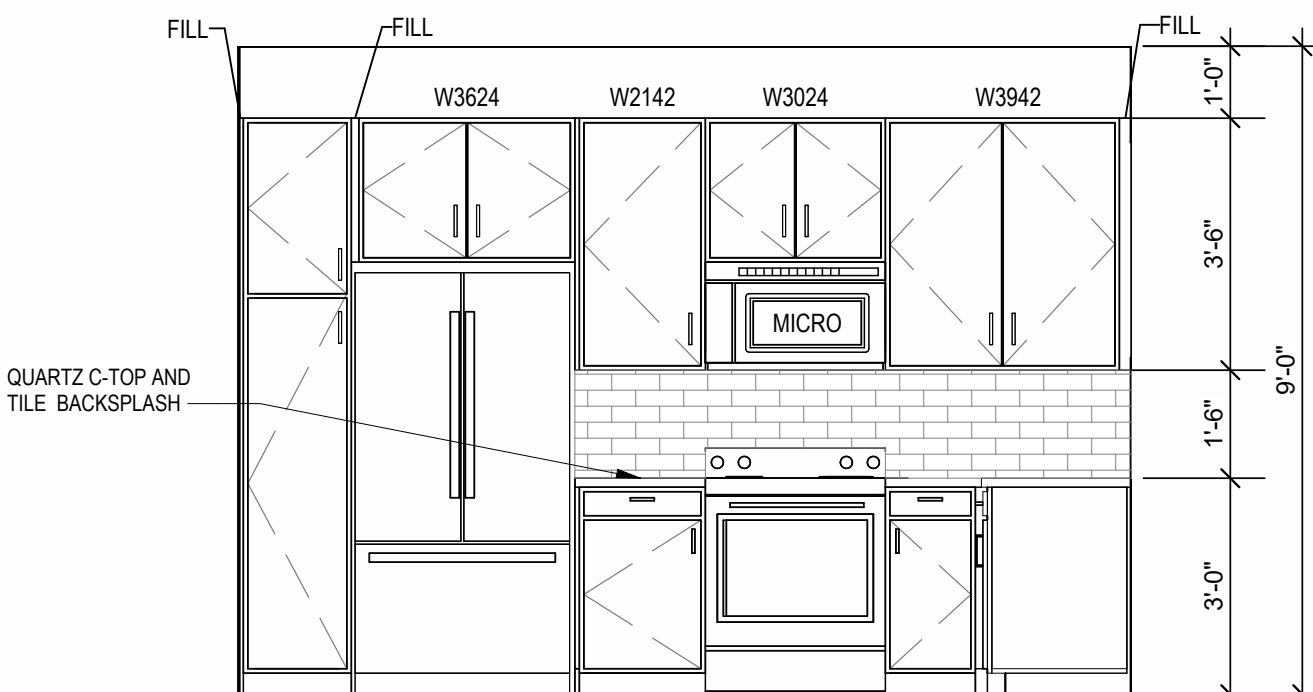
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



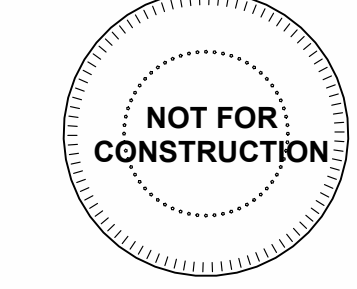
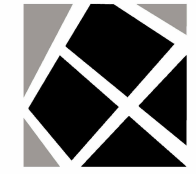
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



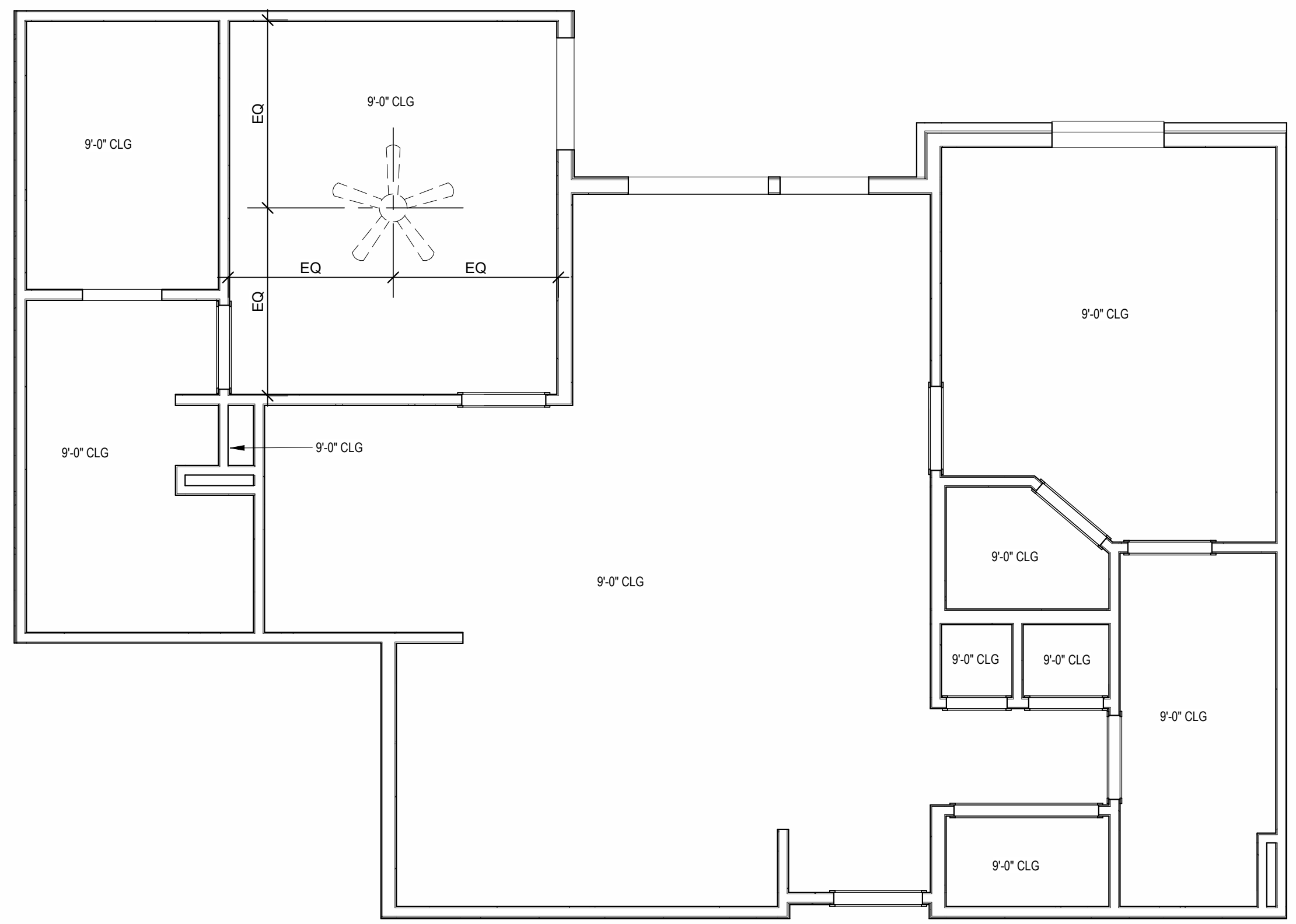
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



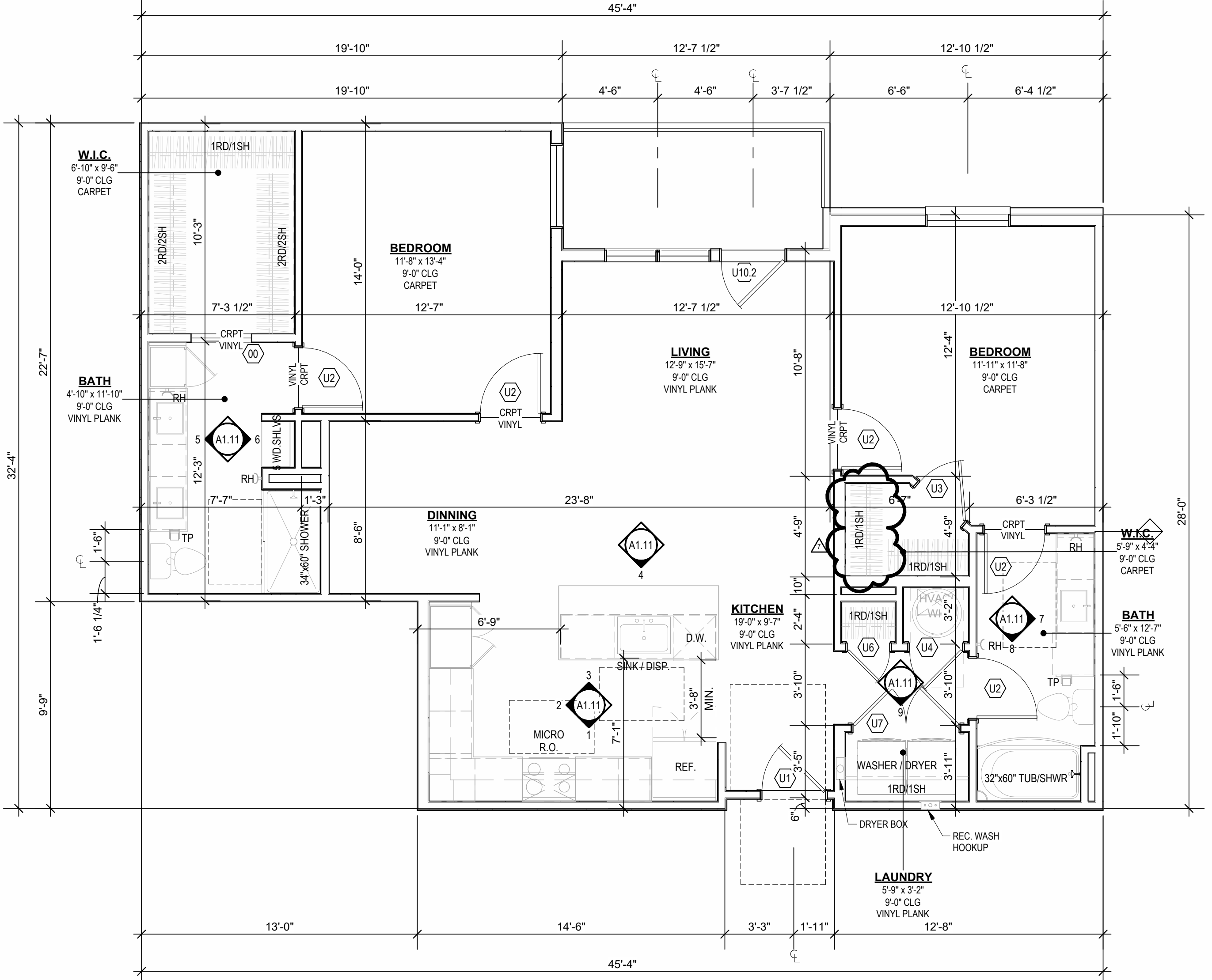
INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



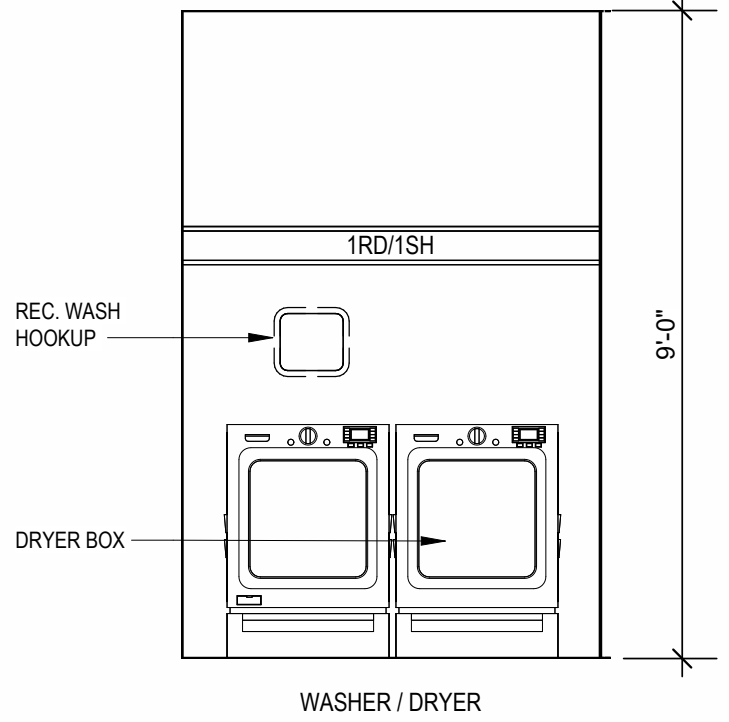
- UNIT PLAN GENERAL NOTES:**
1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 3. REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 4. USE TEAR AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 5. ALL DIMENSIONS AND NOTES STATING "CLEAR", "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 6. PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 7. LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 8. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IBC SECTION 2406. SEE PLANS FOR LOCATIONS.
 9. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 10. ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STRIP.
 11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.
 12. WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 13. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 14. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE. ALL WINDOWS TO RECEIVE SAK STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 16. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 17. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 18. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
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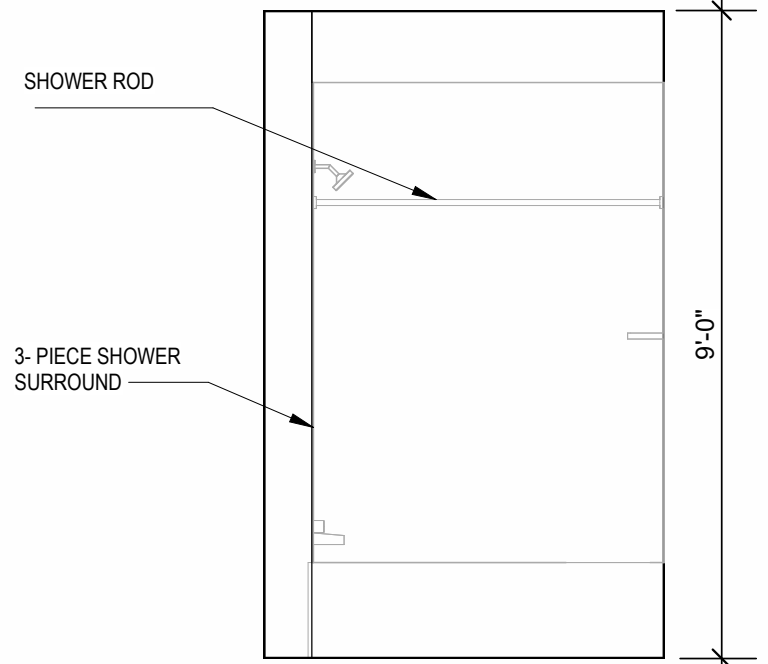
B UNIT C3 - RCP
1/4" = 1'-0"



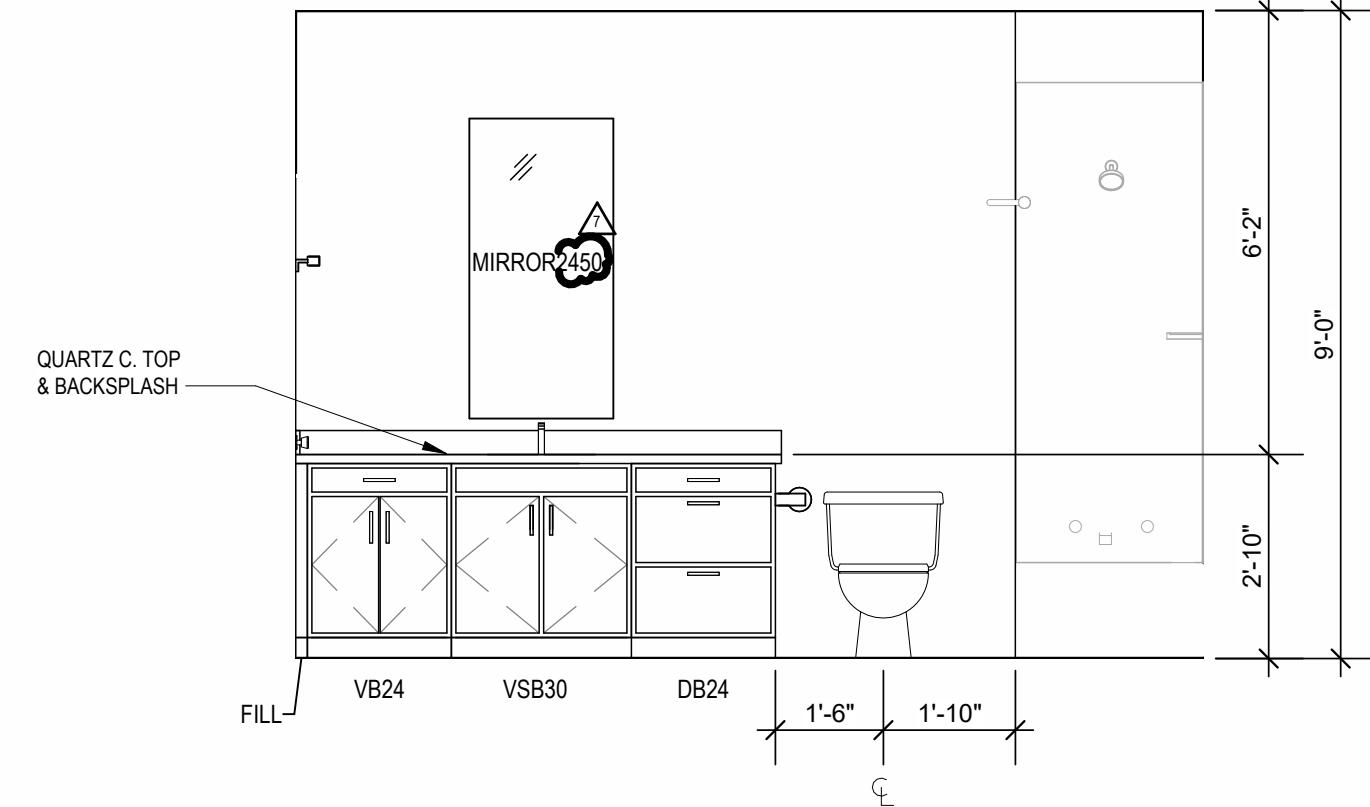
A UNIT C3
1/4" = 1'-0"



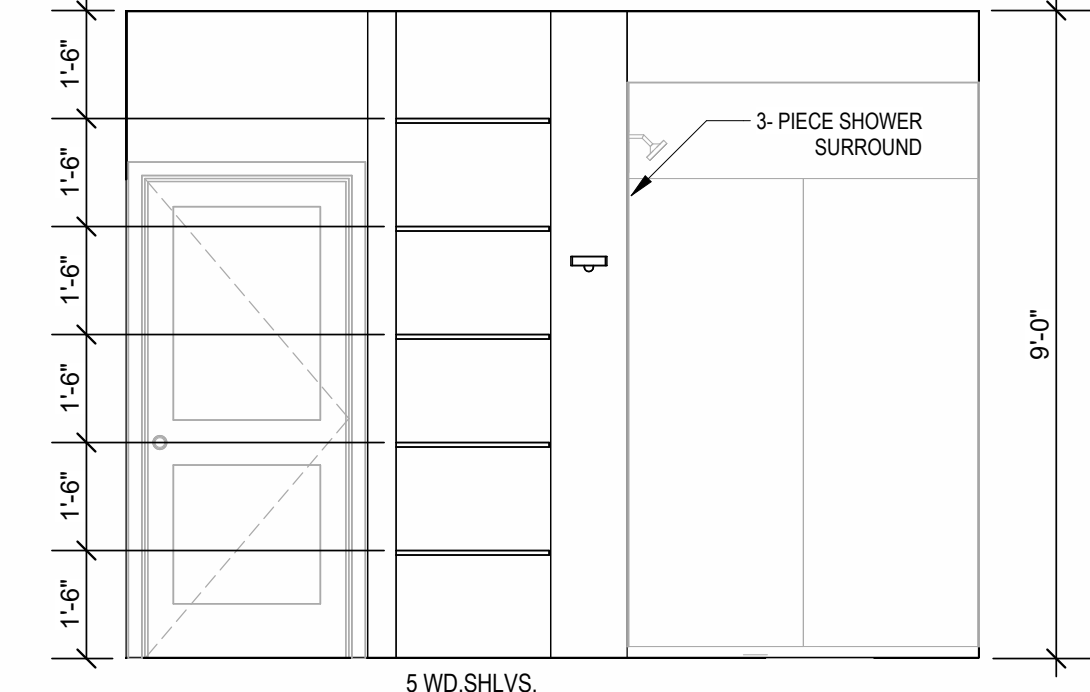
9 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



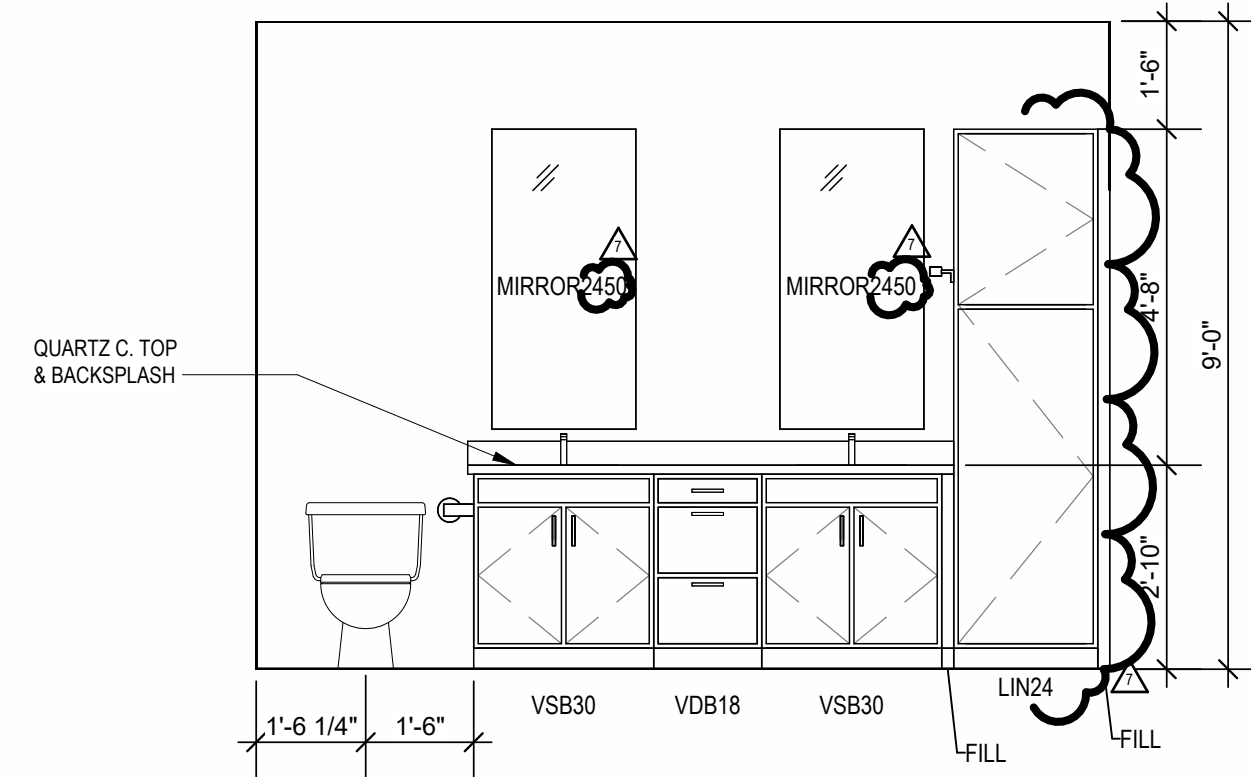
8 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



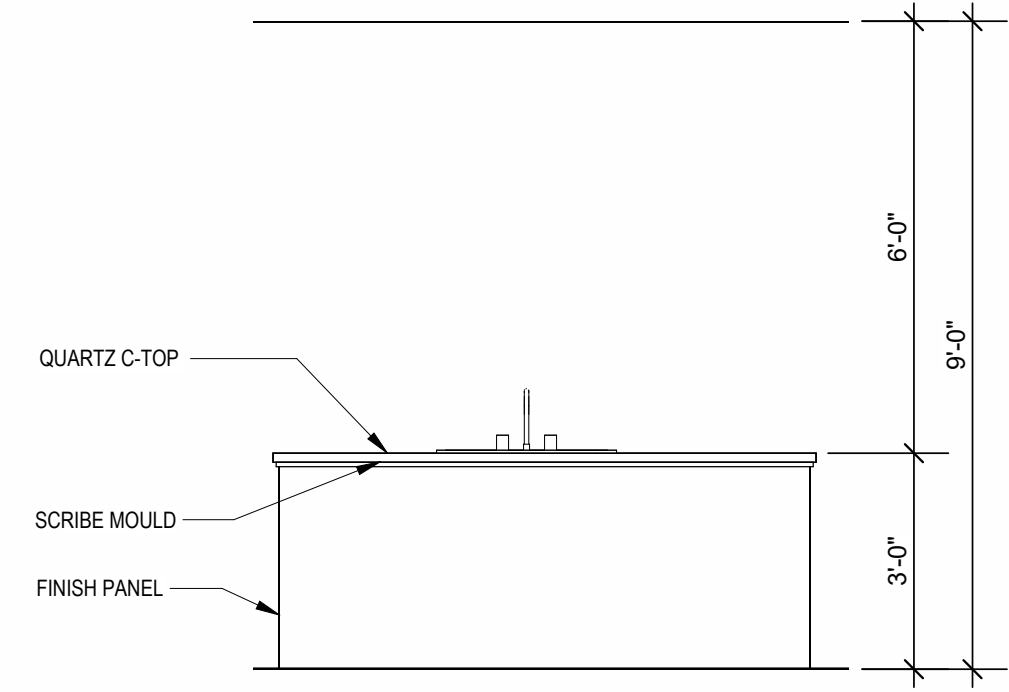
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



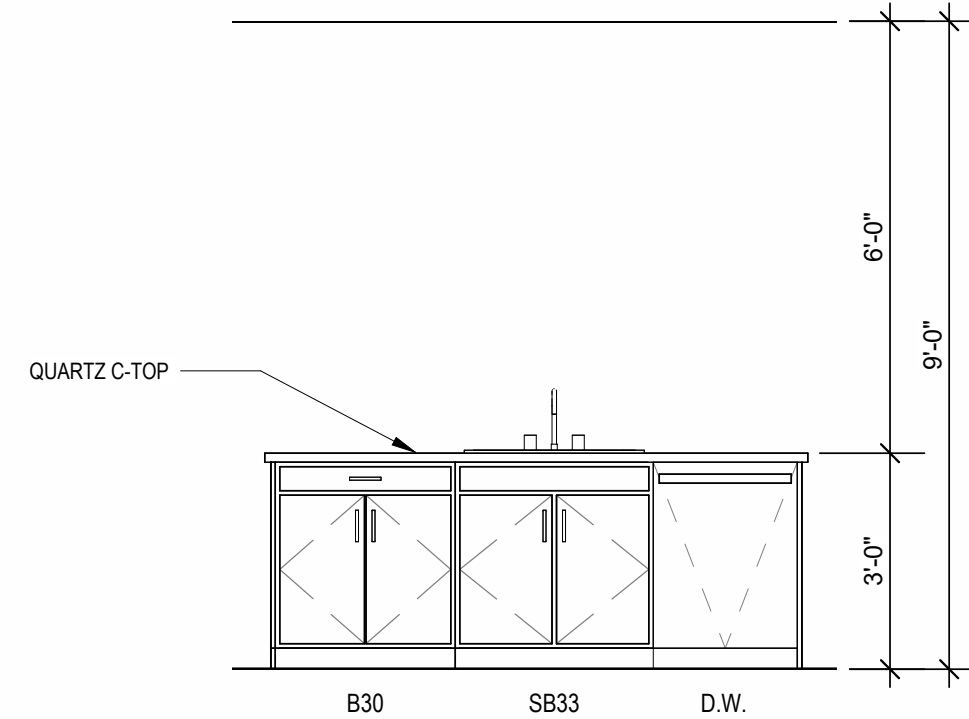
6 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



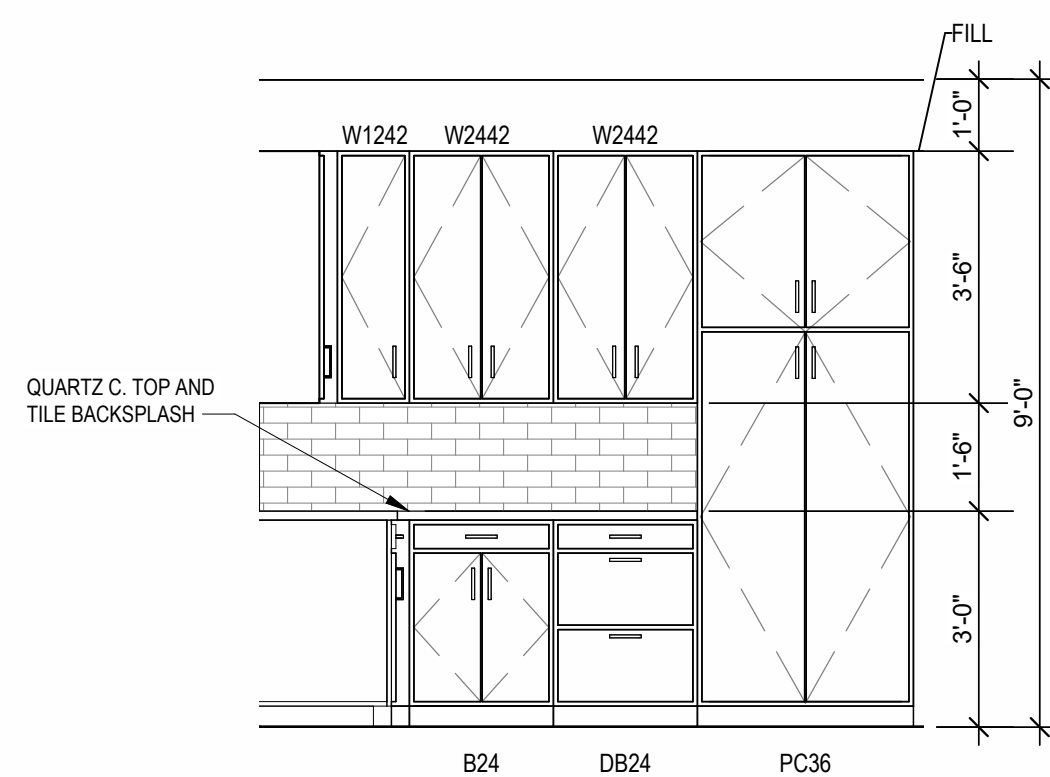
5 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



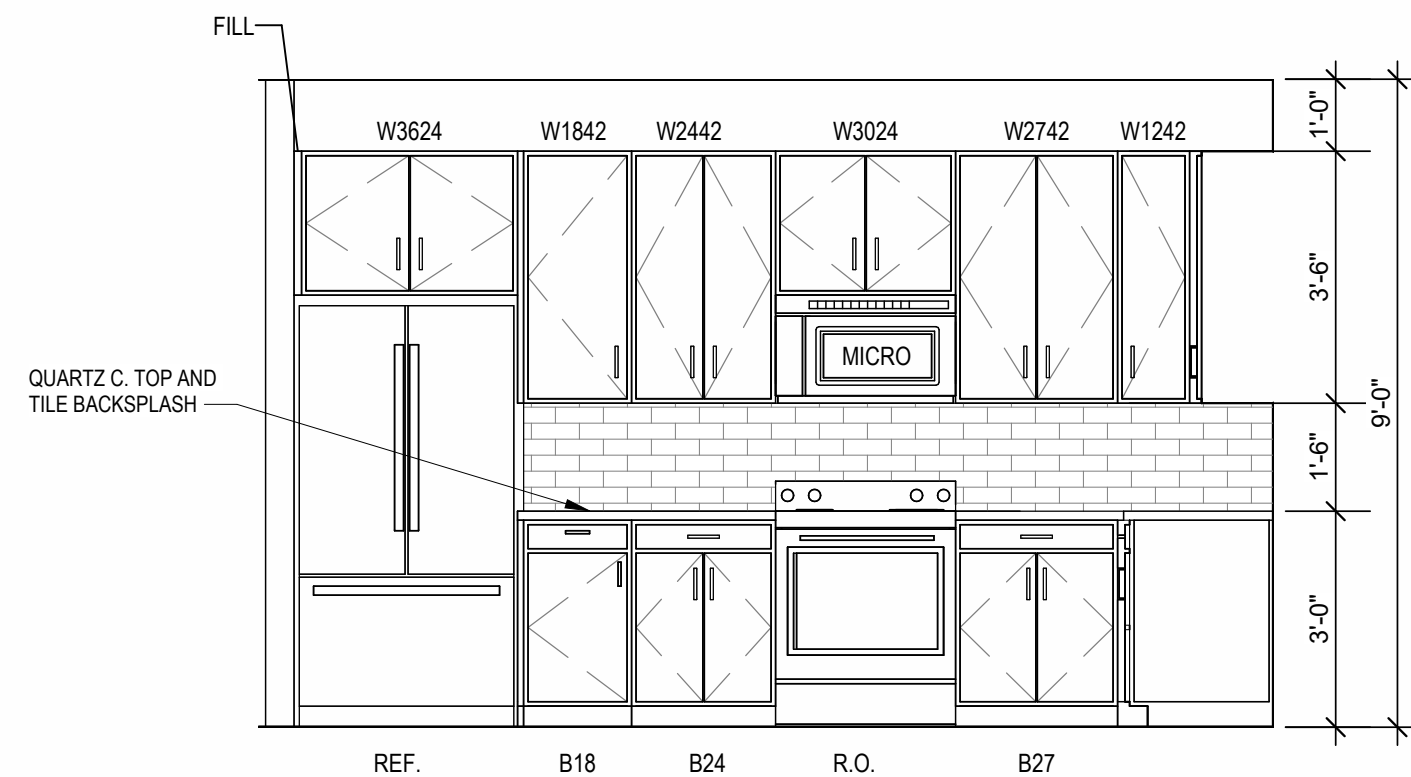
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

TRILogy

DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

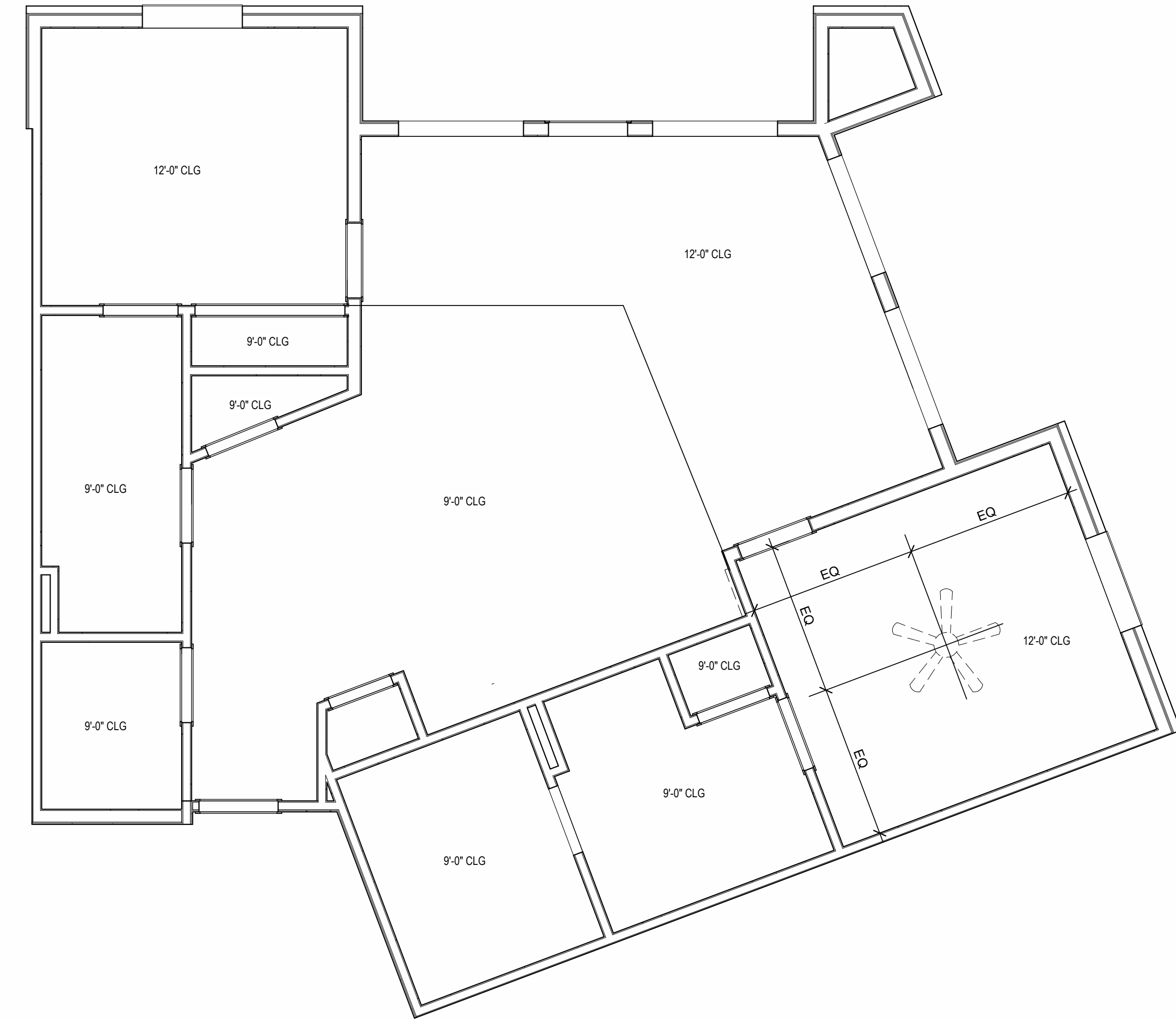
REVISIONS
7 23 163X AS 3

JOB NO.
705921
DRAWN BY
TSC/SIW
6/9/2023
SHEET NAME
UNIT C3 PLANS

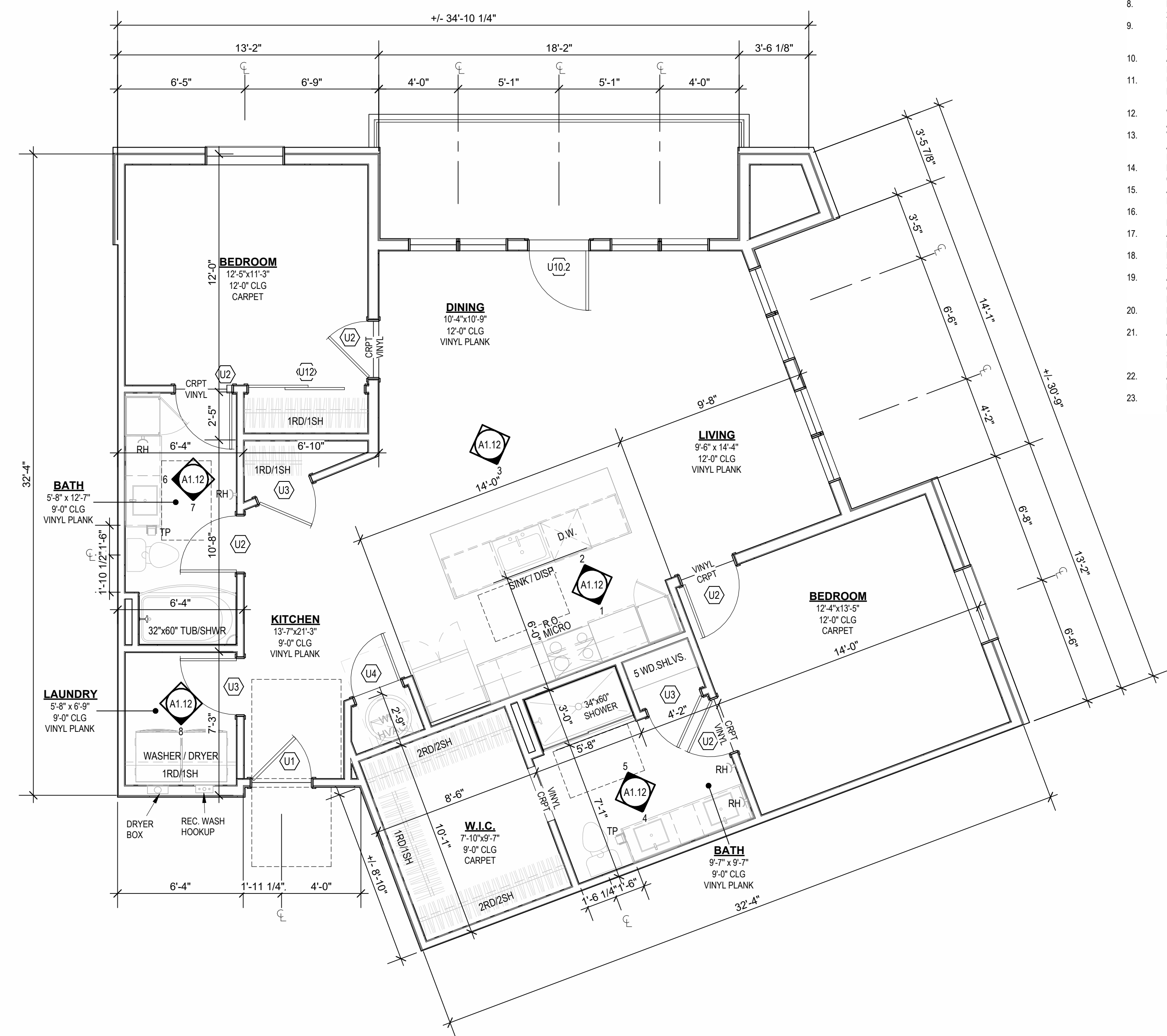
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A1.11

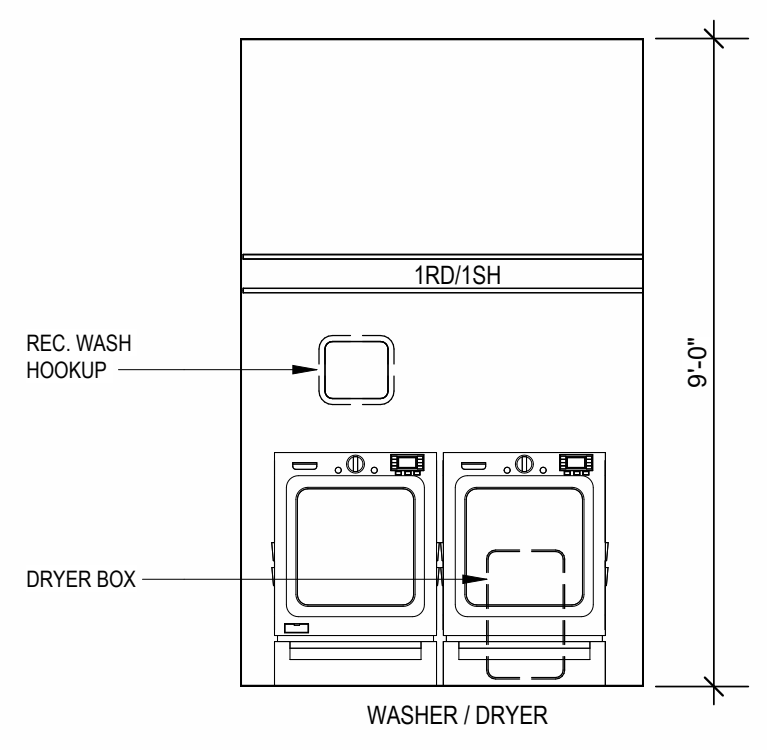
- UNIT PLAN GENERAL NOTES:
1. REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGIN AND THICKNESS.
 2. REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
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 9. PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IBC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
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 11. UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 50 S.T.C. TEST PER IBC SECTION 1206.
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 14. MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 15. AVOID WATER LINES IN EXTERIOR WALLS, WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 16. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER & DRYERS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 17. ALL WINDOWS TO RECEIVE MAX STOOL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 18. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 19. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
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 23. FIRE EXTINGUISHER (RE SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



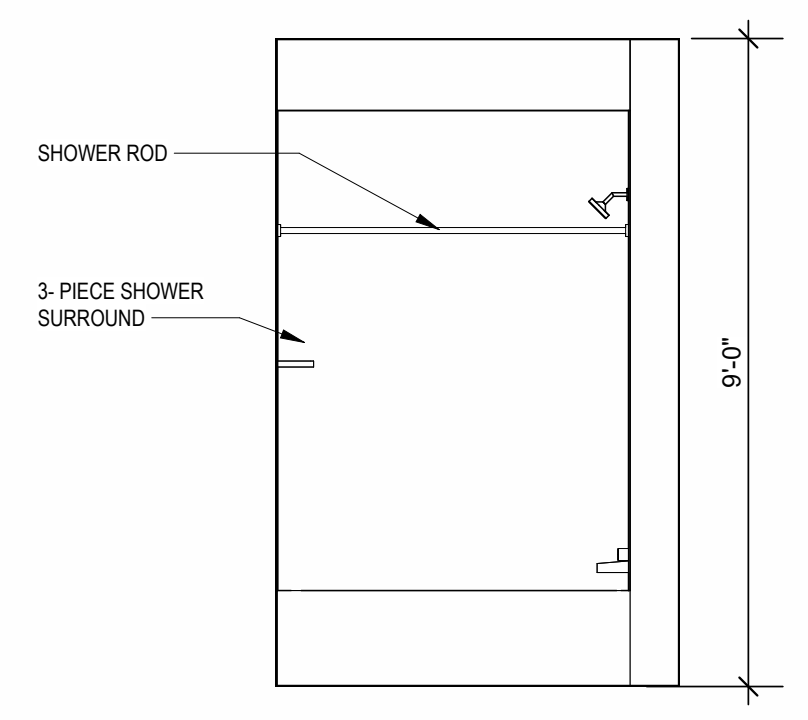
UNIT C4 - 4TH FLOOR RCP
1/4" = 1'-0"



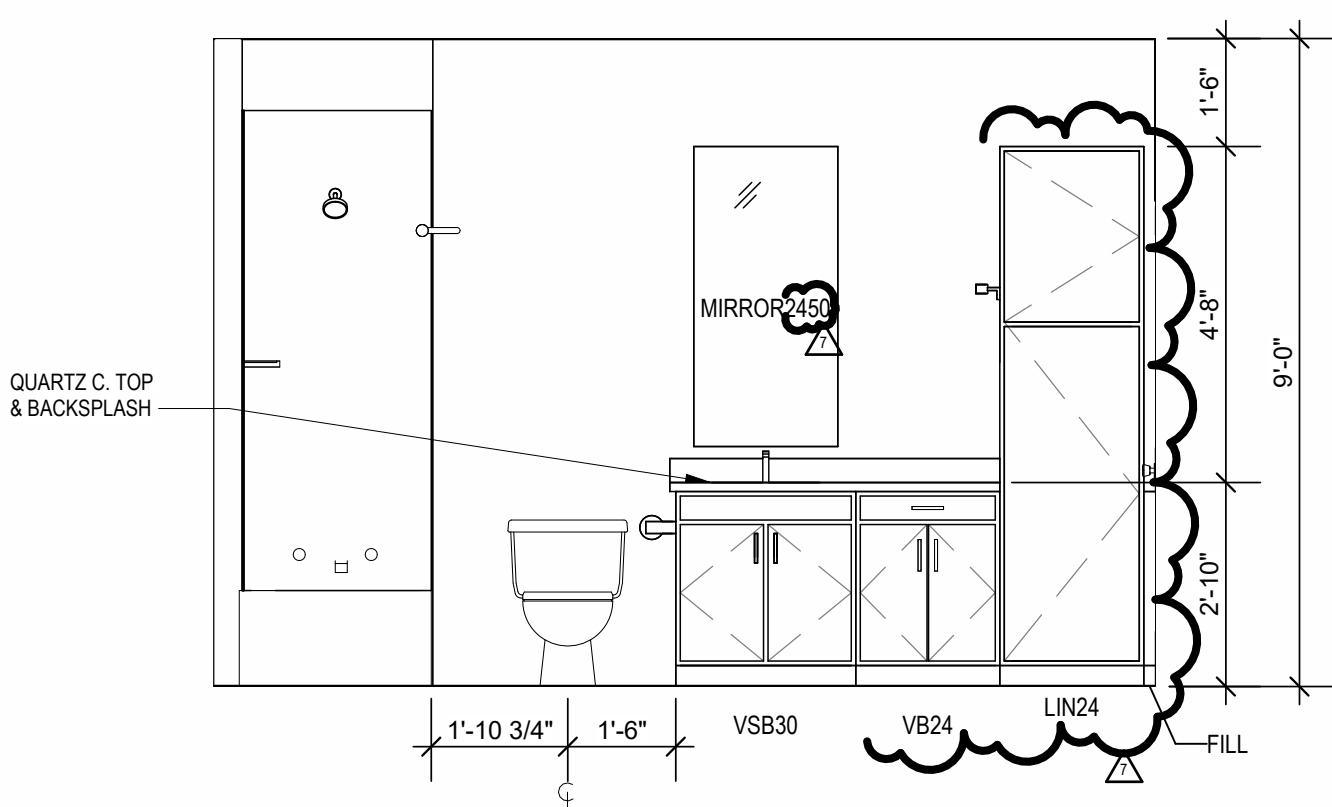
UNIT C4
1/4" = 1'-0"



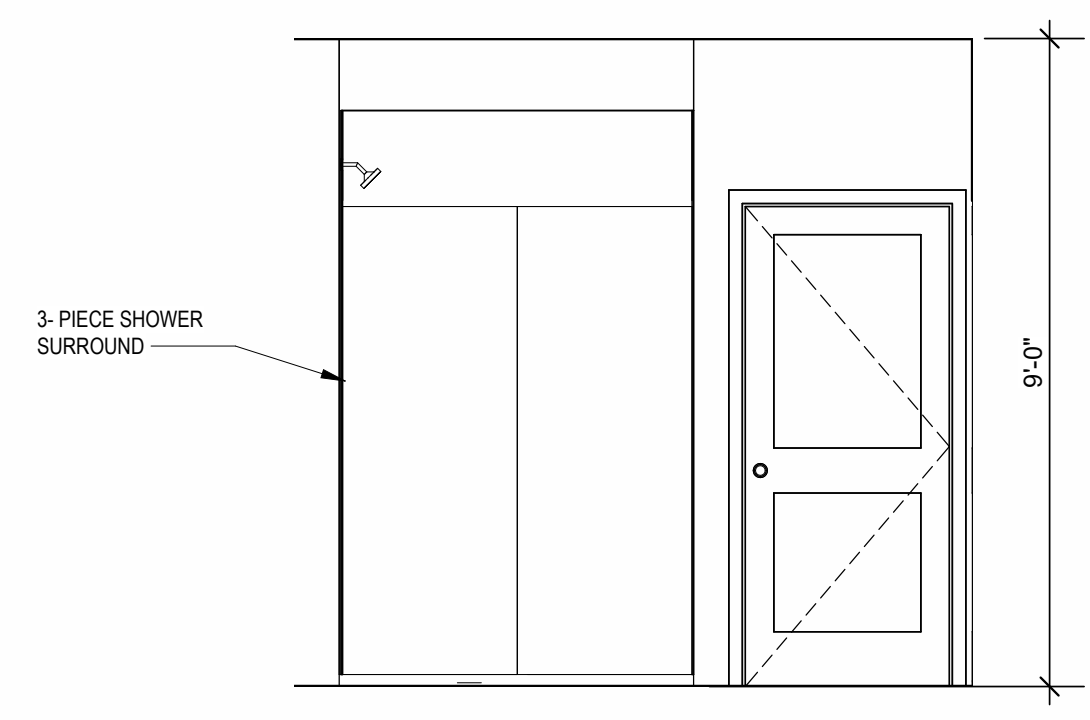
INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



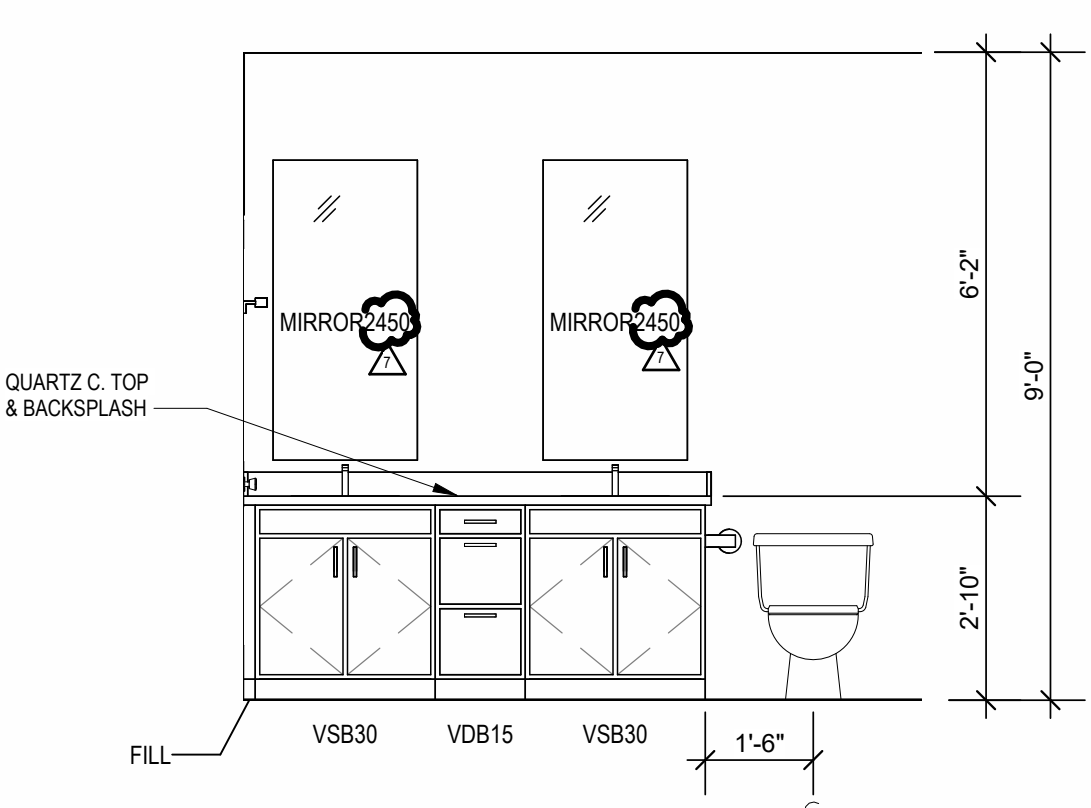
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



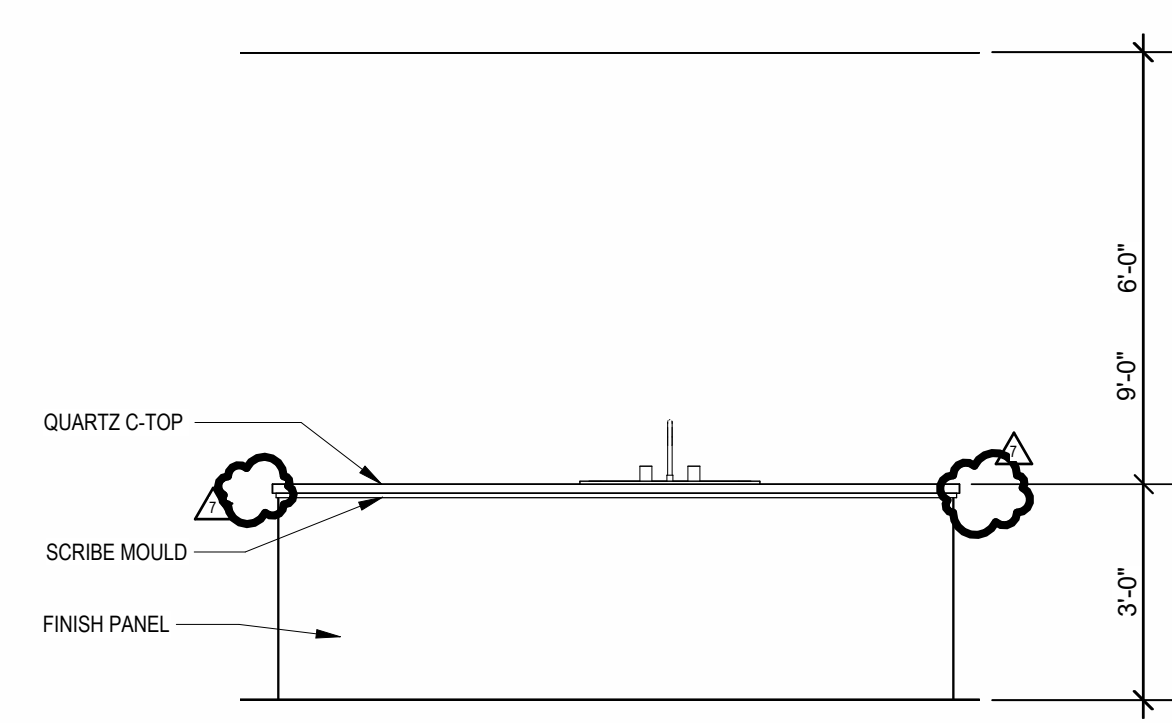
INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



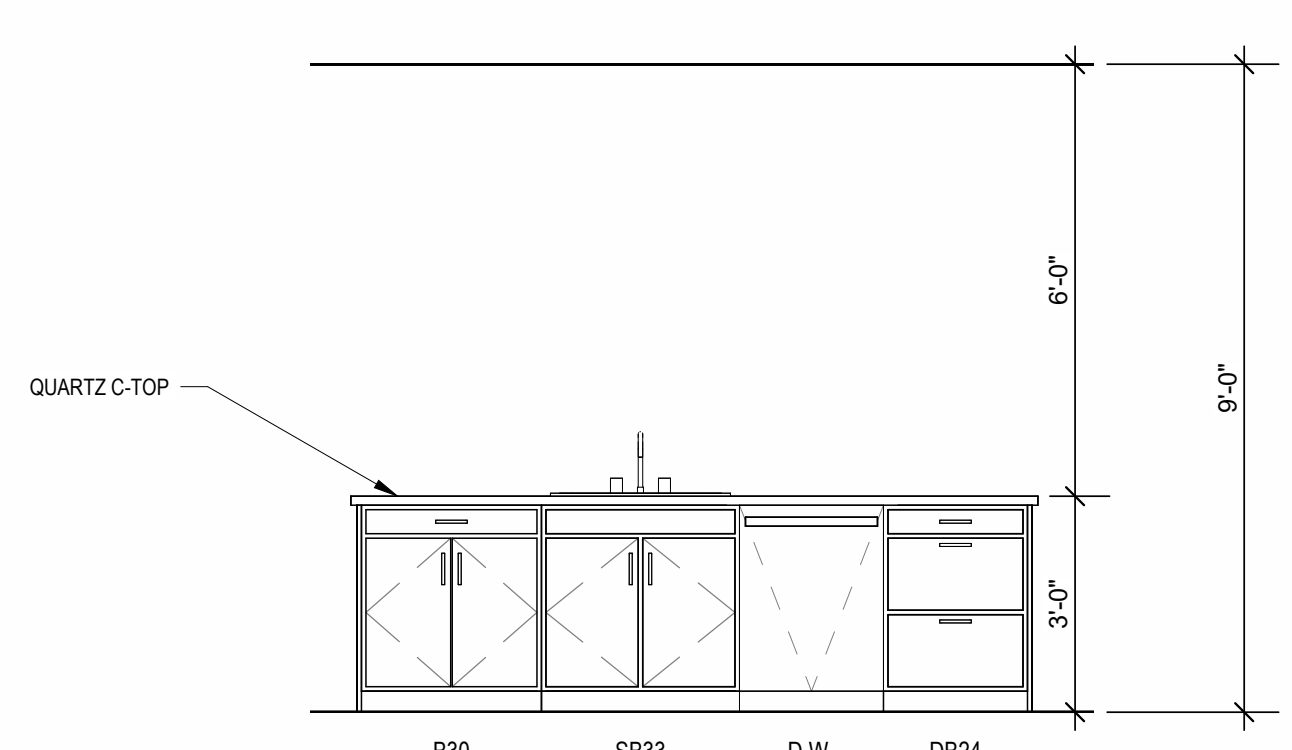
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



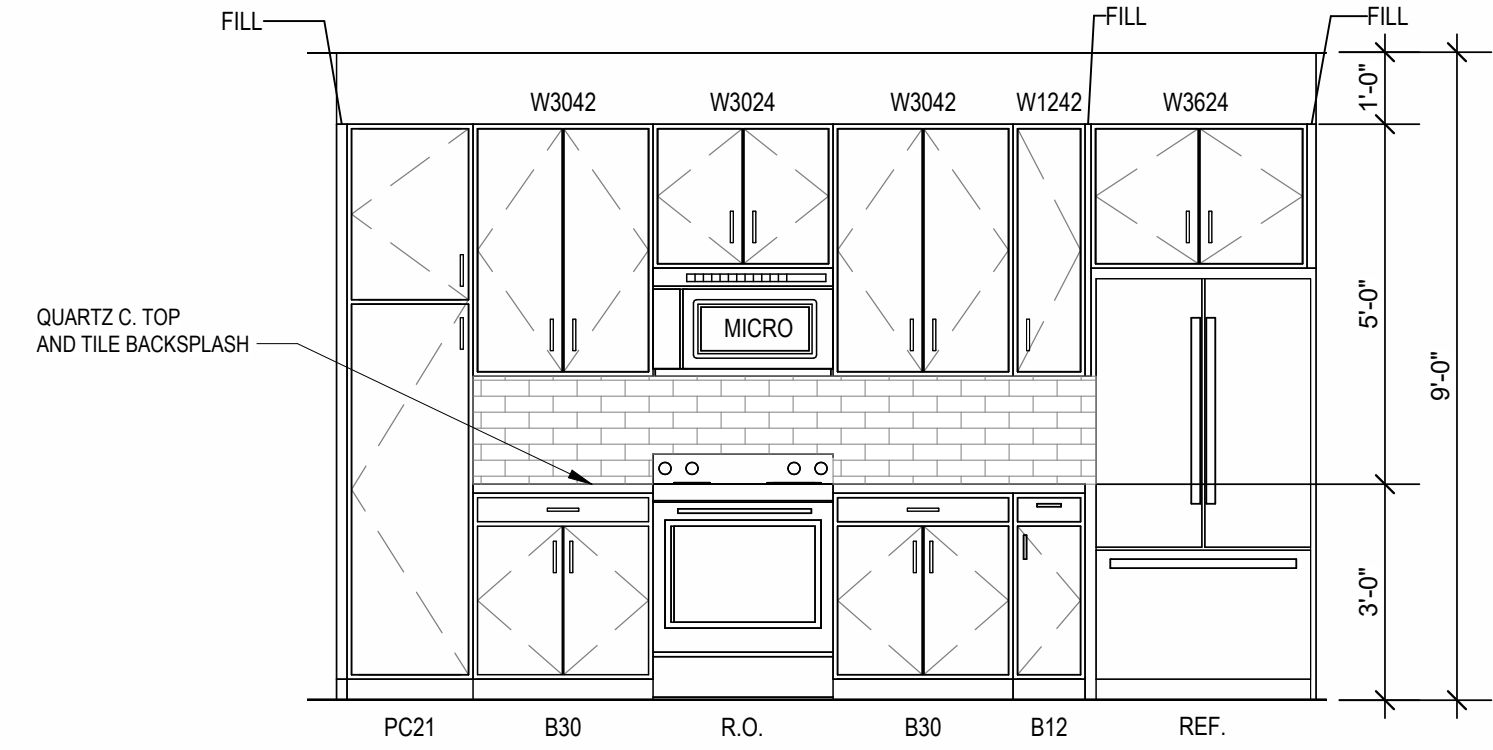
INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

A NEW RESIDENTIAL COMMUNITY AT:

TRIOLOGY

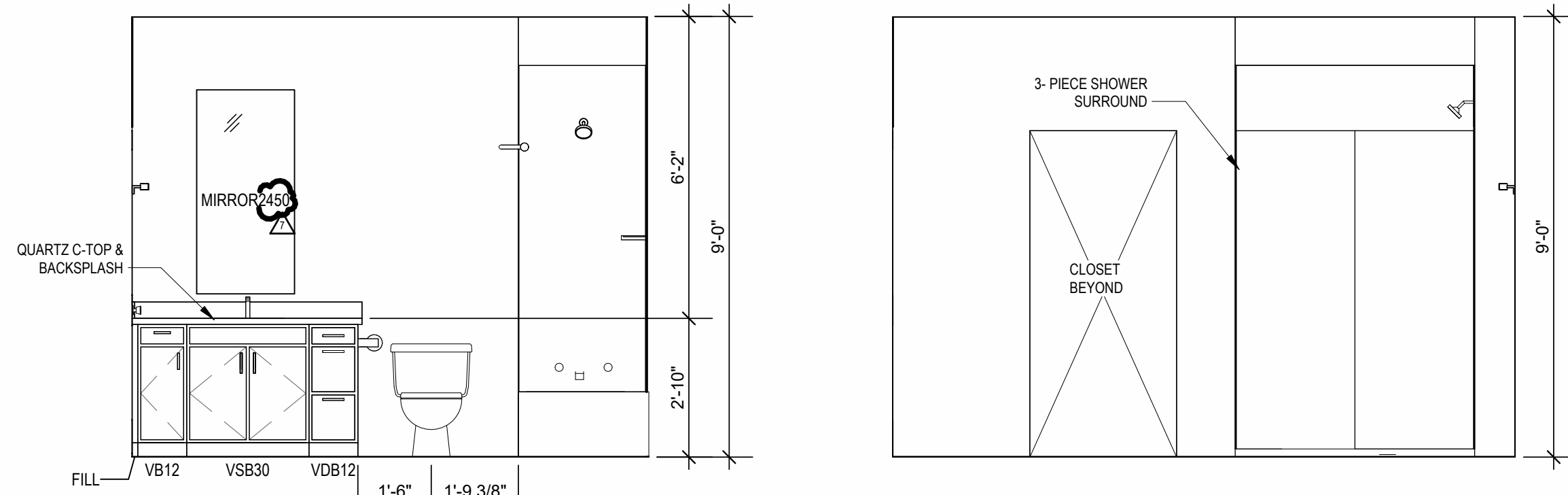
DRAWING RELEASE LOG
03.15.2023 - PERMIT SUBMITTAL

REVISIONS
7 23.05.23 AS1.3

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME UNIT C4 PLANS
SHEET NO.

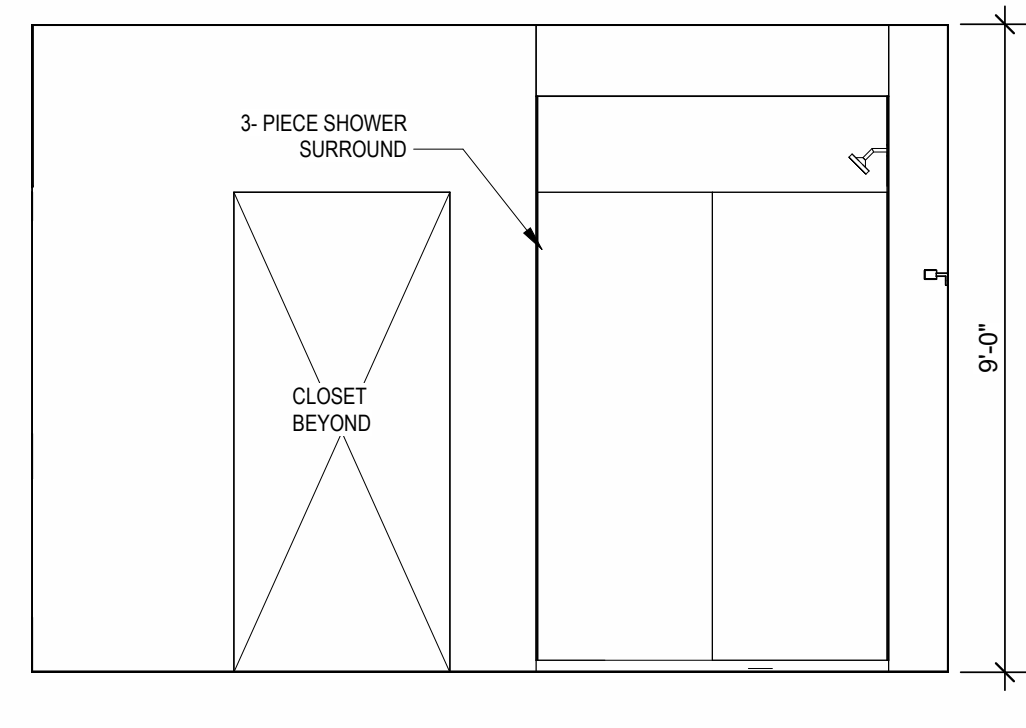
DATE 03.15.2023
A1.12

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



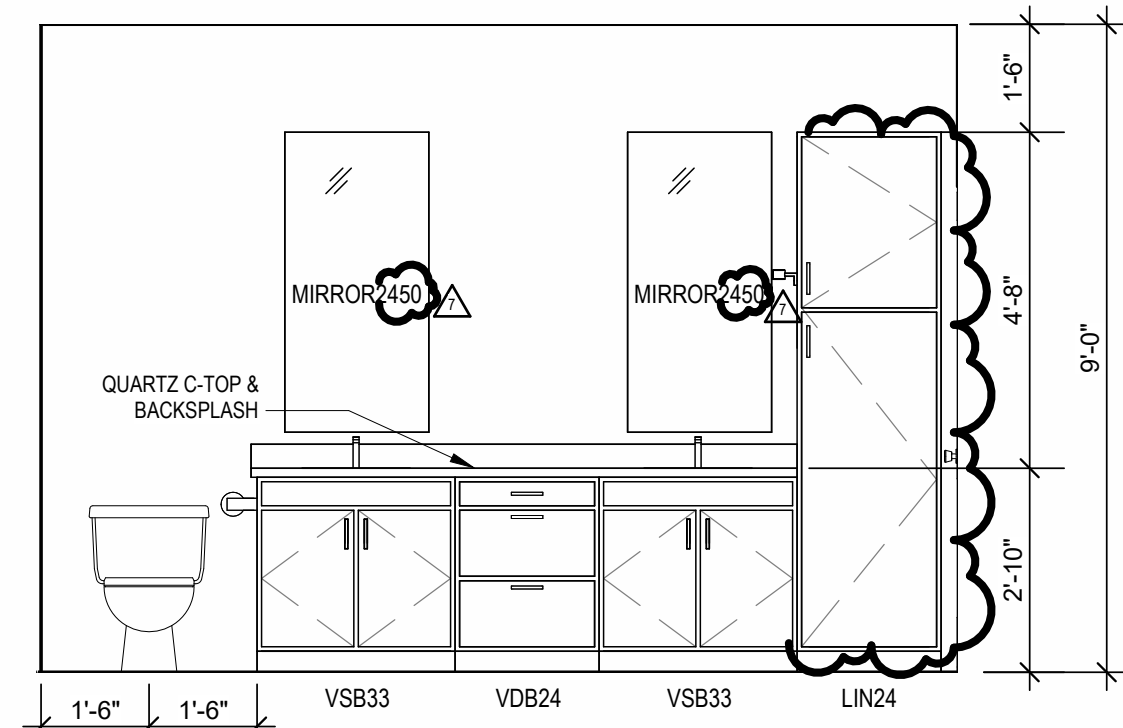
9
3/8" = 1'-0"

INTERIOR ELEVATION
BATHROOM



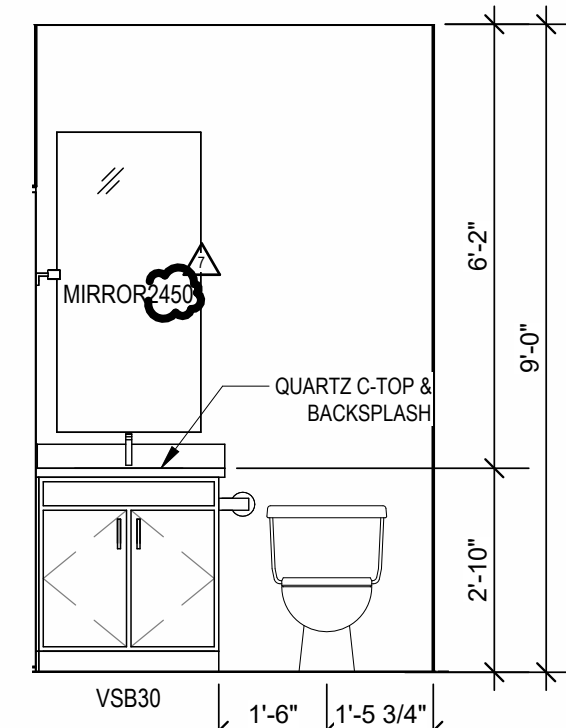
8
3/8" = 1'-0"

INTERIOR ELEVATION
MASTER BATHROOM



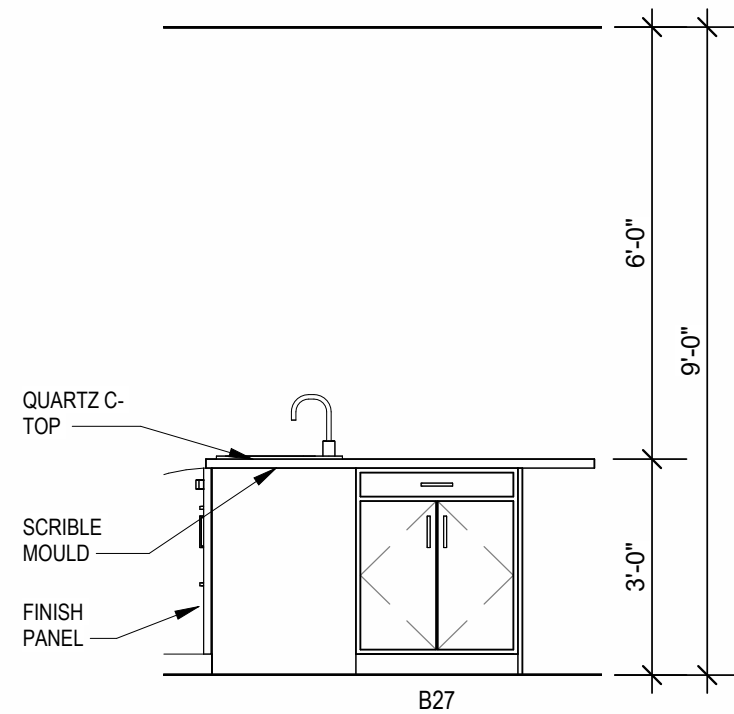
7
3/8" = 1'-0"

INTERIOR ELEVATION
MASTER BATHROOM



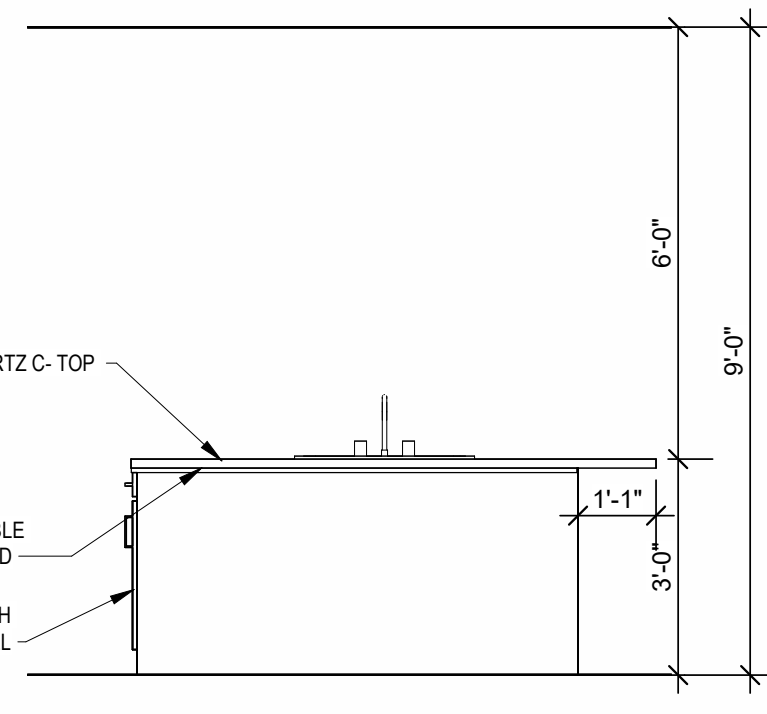
6
3/8" = 1'-0"

INTERIOR ELEVATION
POWDER ROOM



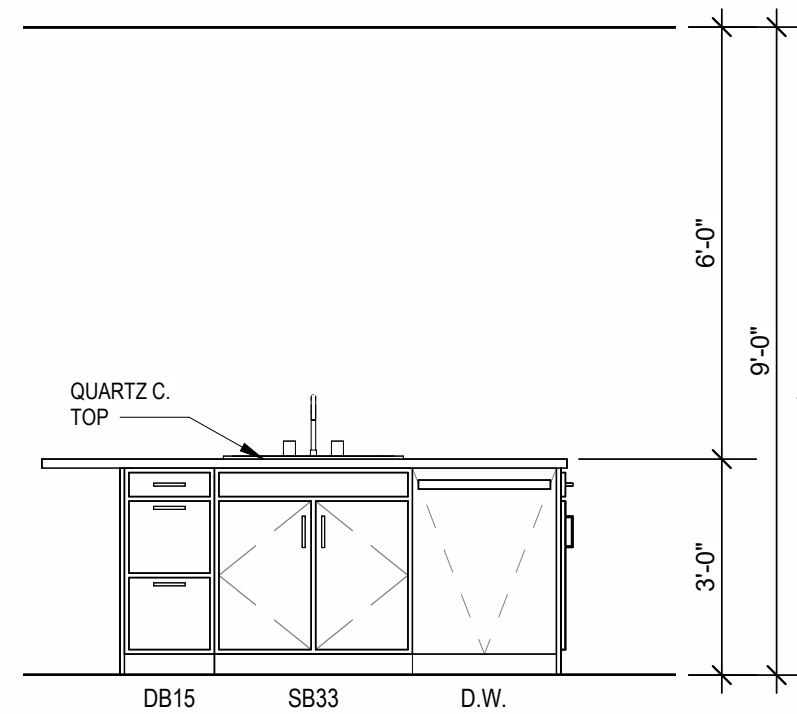
5
3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN



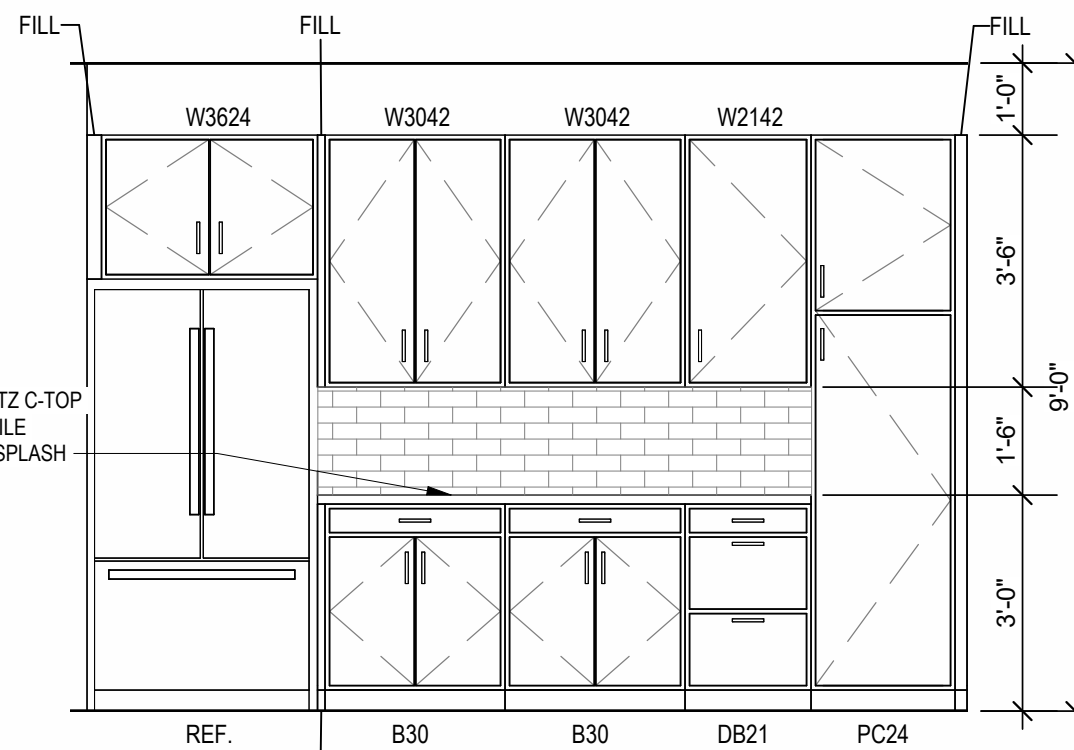
4
3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN



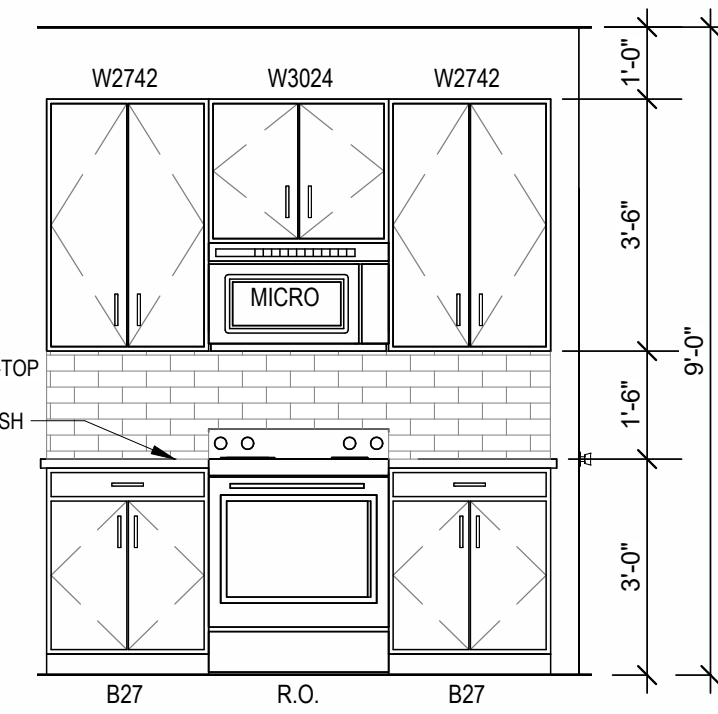
3
3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN



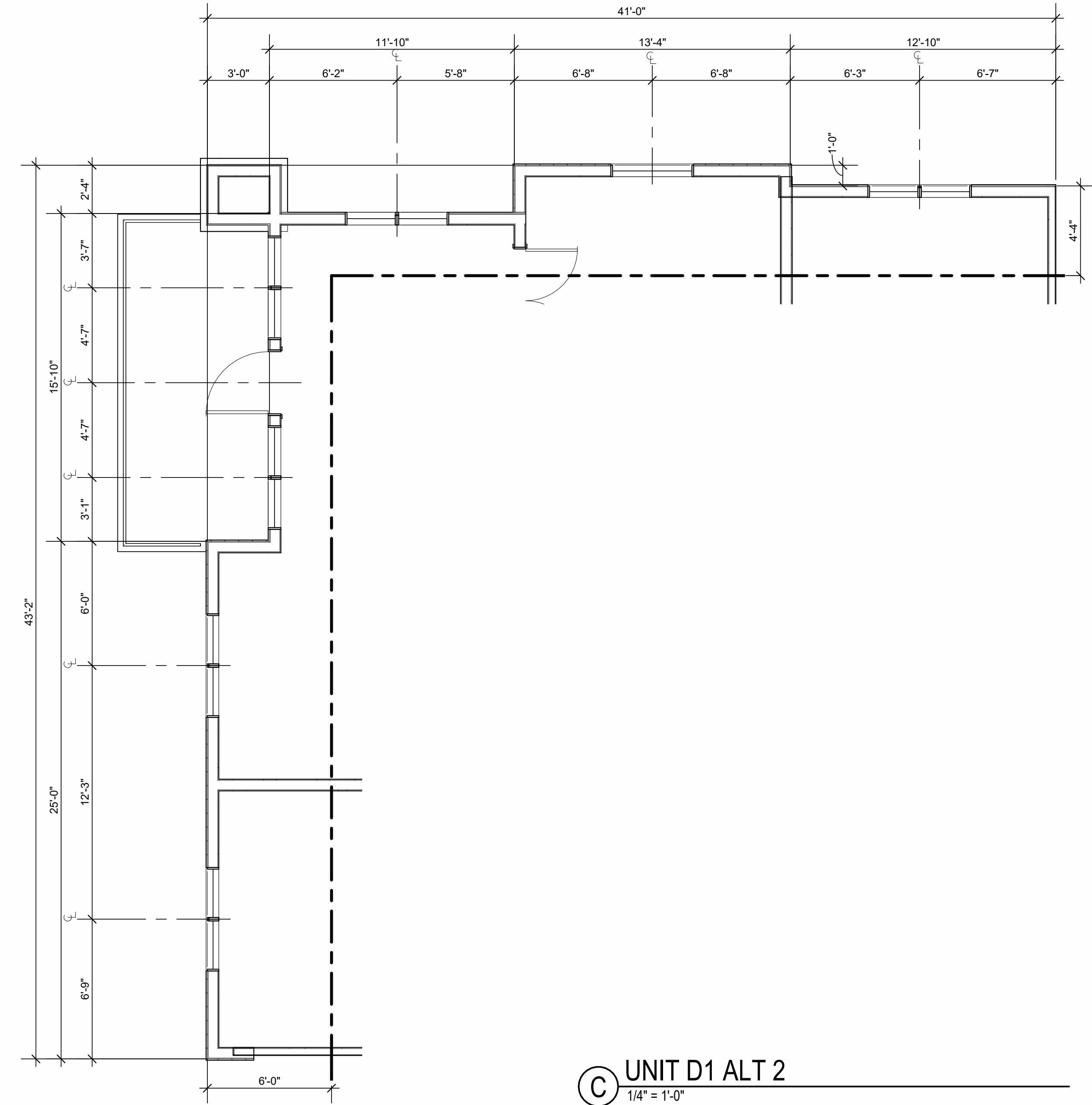
2
3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN



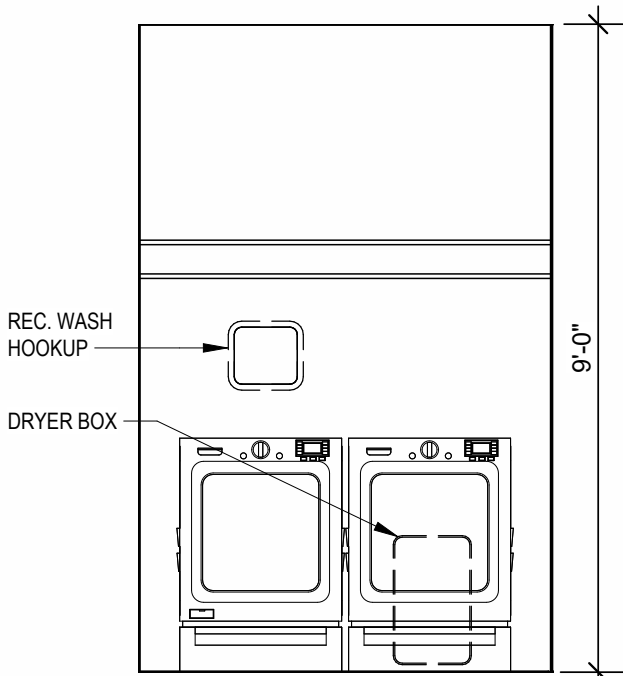
1
3/8" = 1'-0"

INTERIOR ELEVATION
KITCHEN



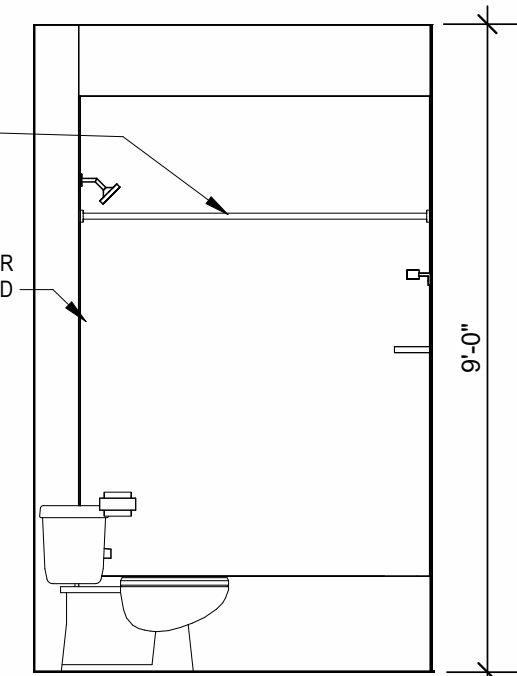
C
1/4" = 1'-0"

UNIT D1 ALT 2



11
3/8" = 1'-0"

INTERIOR ELEVATION
LAUNDRY



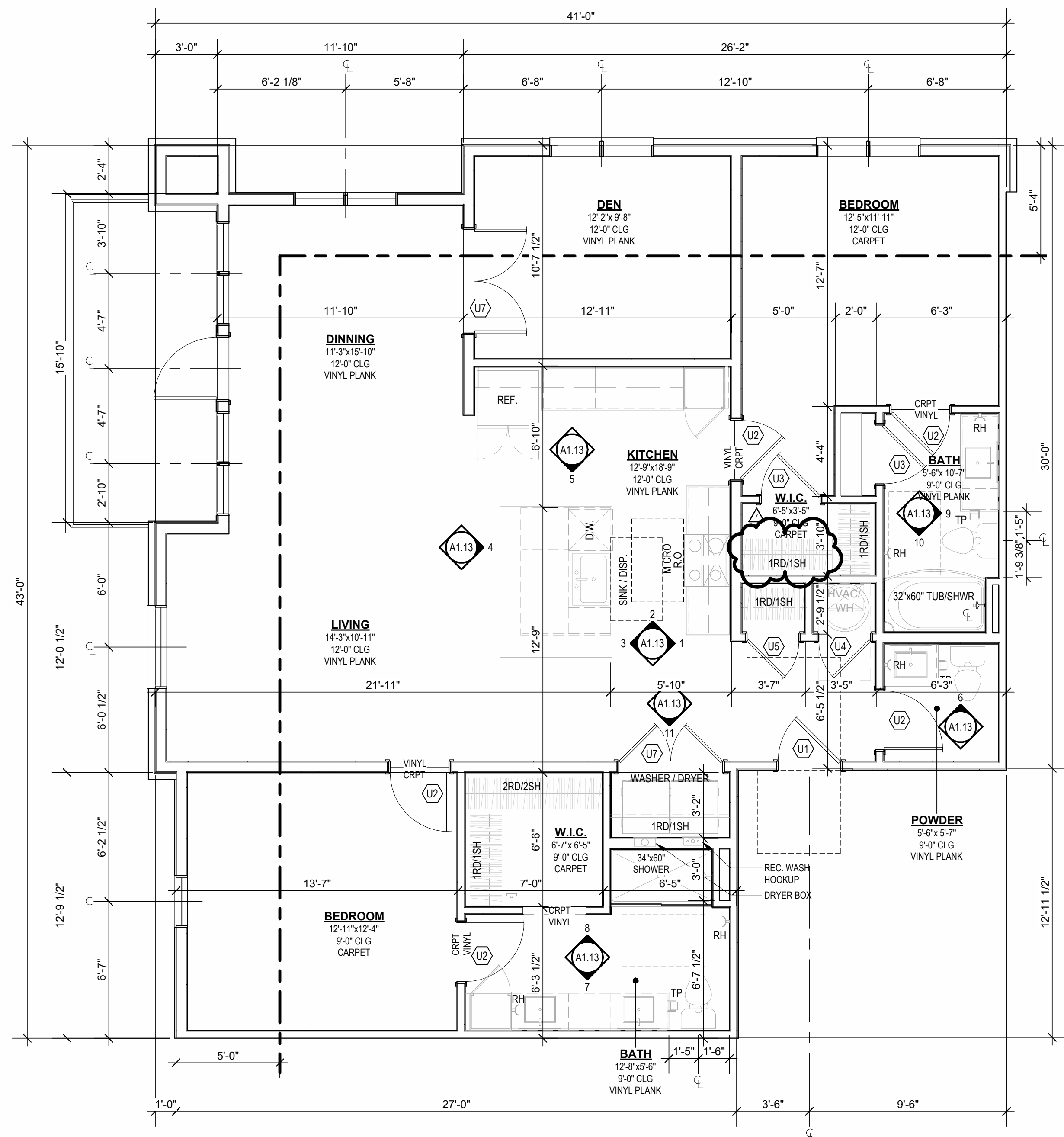
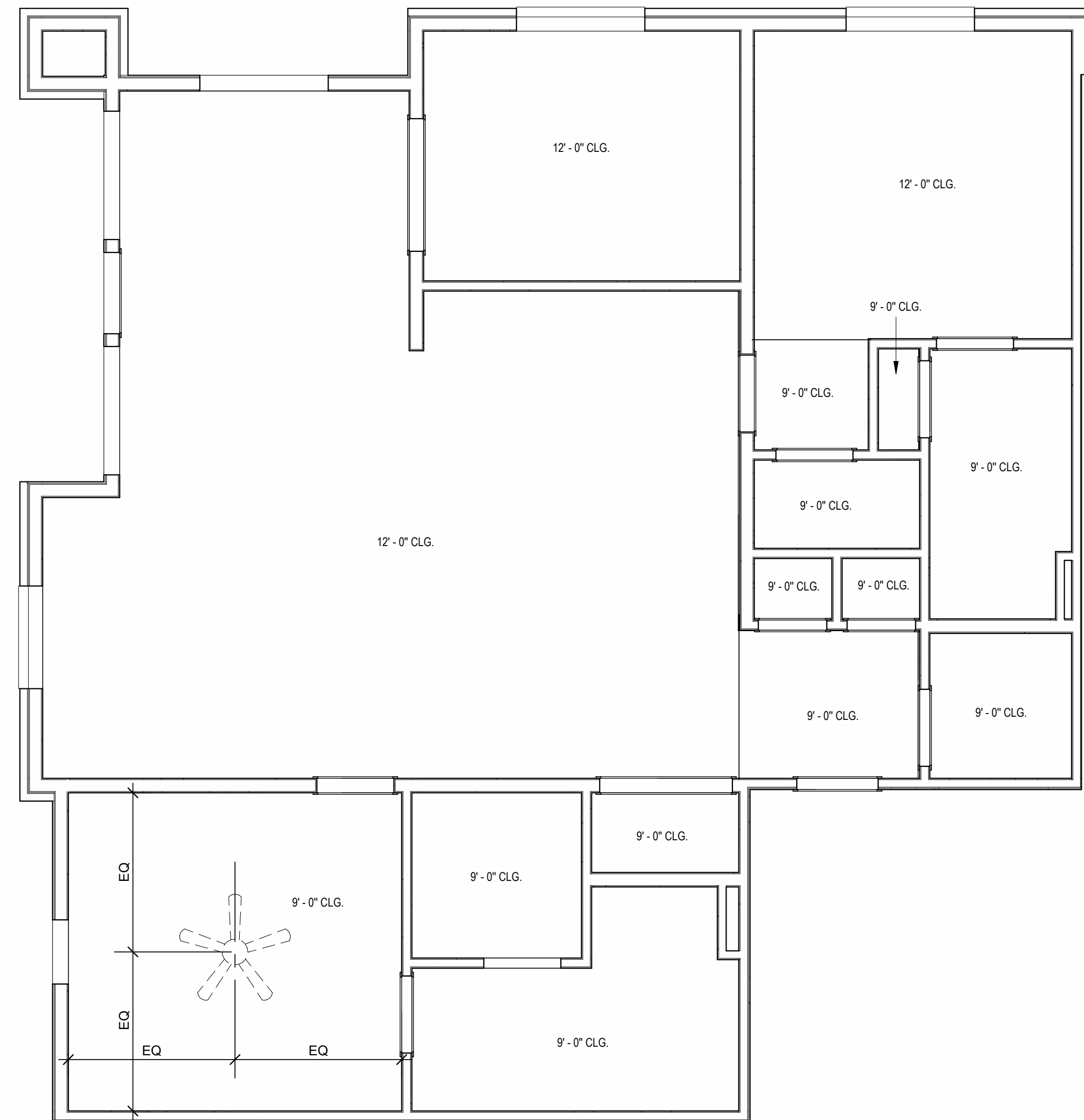
10
3/8" = 1'-0"

INTERIOR ELEVATION
BATHROOM

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 14. AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 15. IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE.
 16. ALL WINDOWS TO RECEIVE 54X STOODL WITH 1X3 APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 17. DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 18. ALL PANTRY CABINETS SHALL BE AS DESIGNATED ON DRAWINGS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 19. REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 20. ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 21. ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT FEATURE FINISH.
 22. FIRE EXTINGUISHER (RE. SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.

B
1/4" = 1'-0"

UNIT D1 - 4TH FLOOR RCP



A
1/4" = 1'-0"

UNIT D1

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7 2316XX AS3

JOB NO. 705921 DATE 03.15.2023
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6/9/2023
SHEET NAME UNIT D1 PLANS
SHEET NO.

A1.13

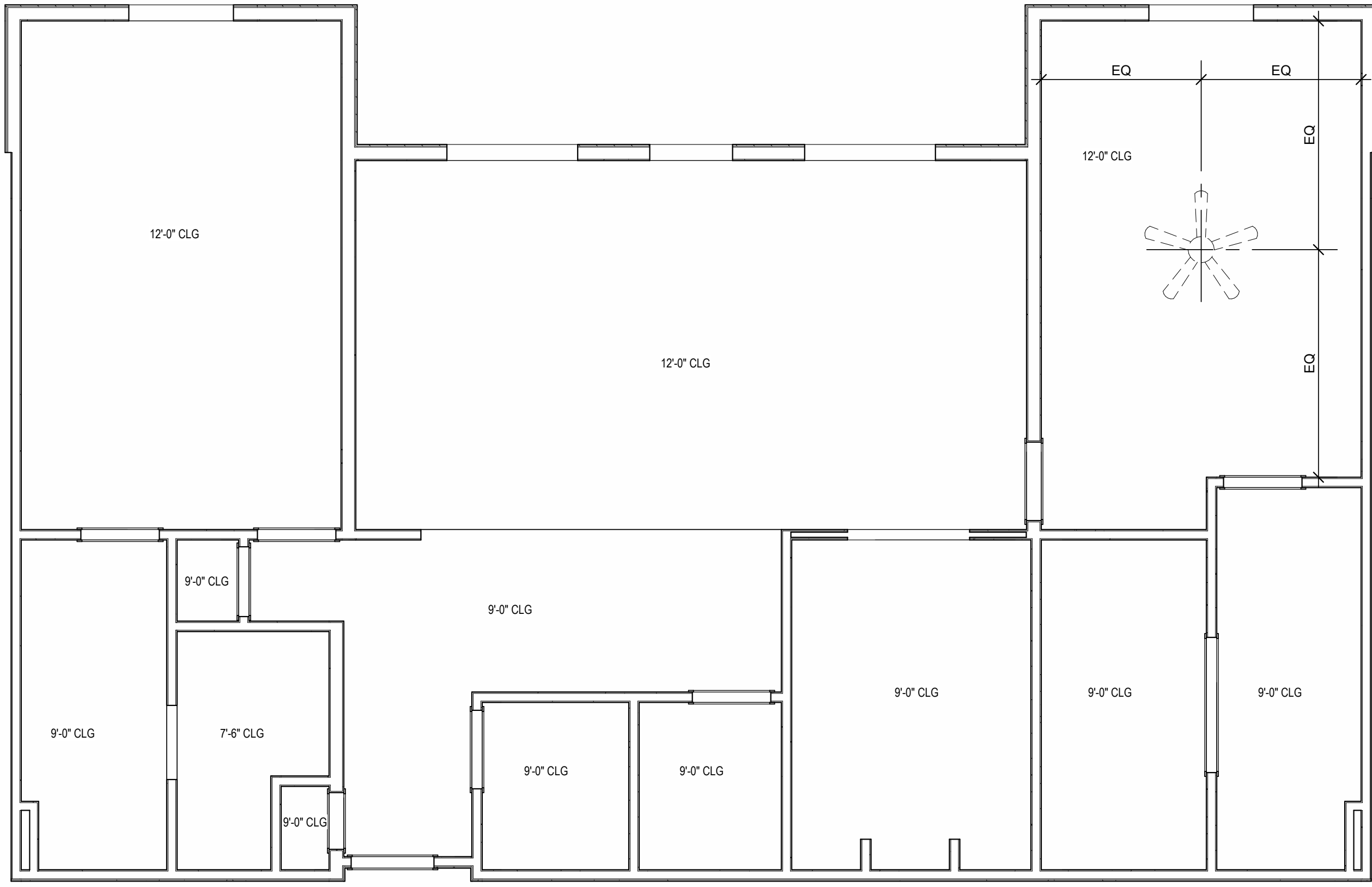
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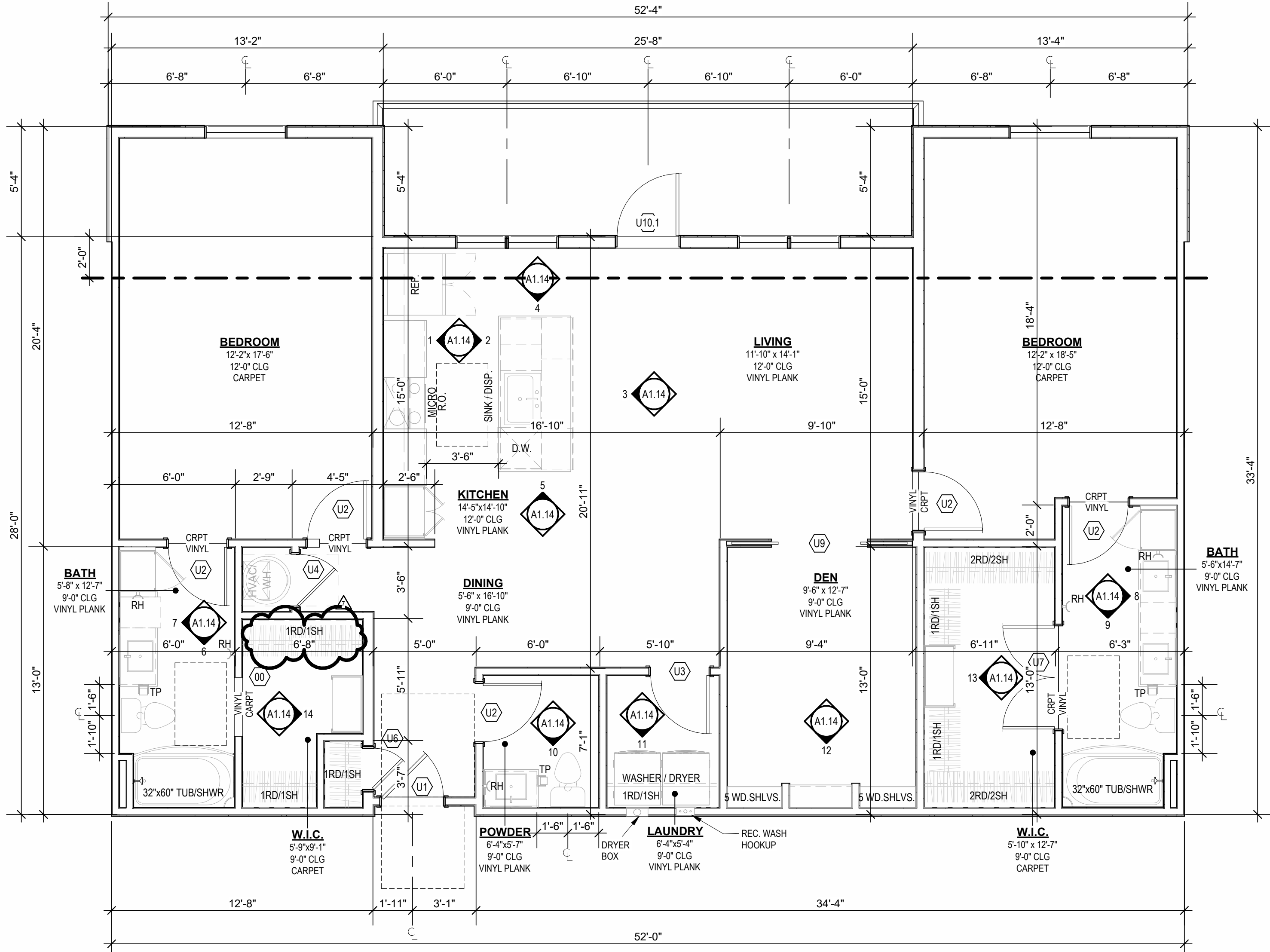


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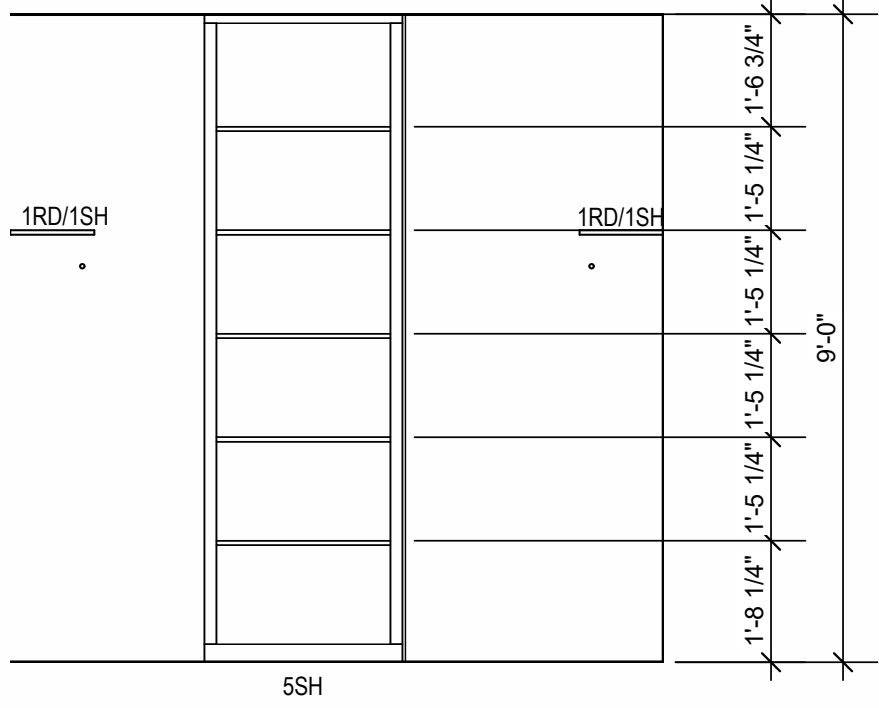
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO



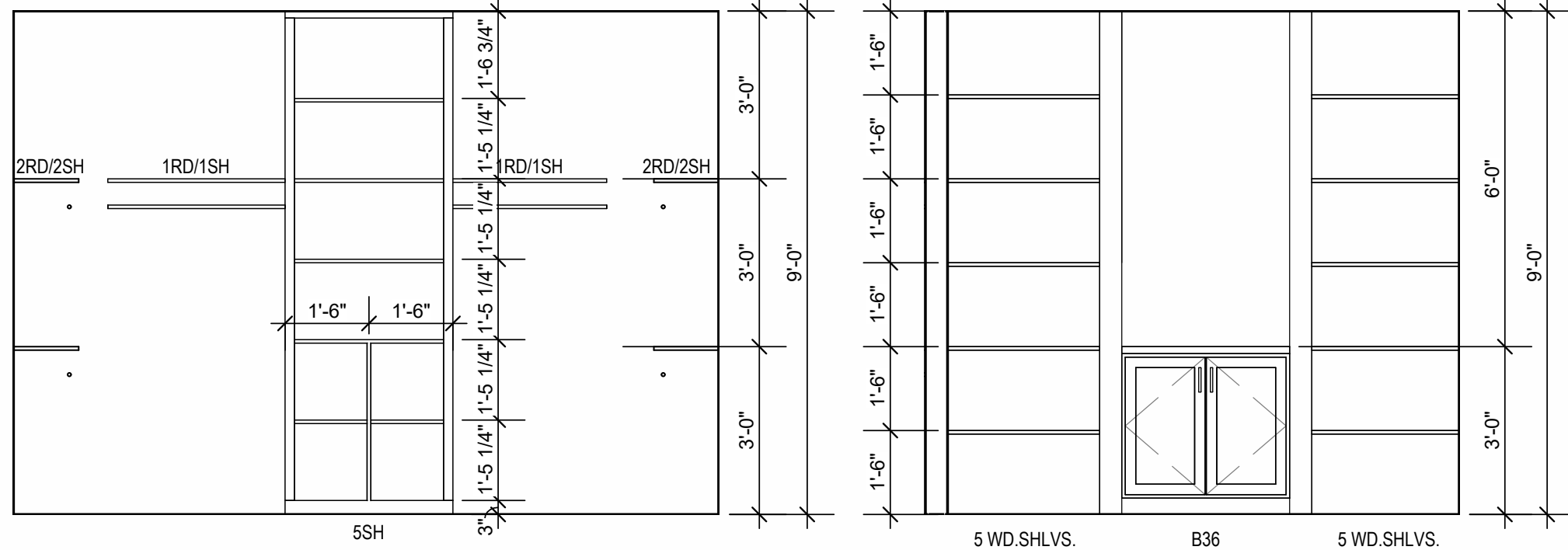
B PENTHOUSE - RCP
1/4" = 1'-0"



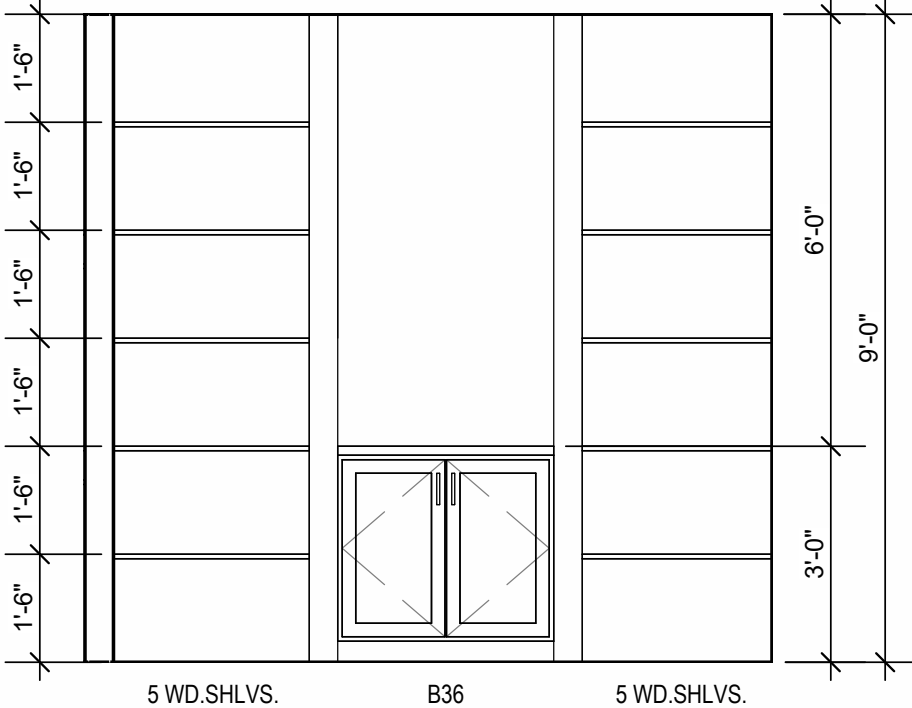
A PENTHOUSE
1/4" = 1'-0"



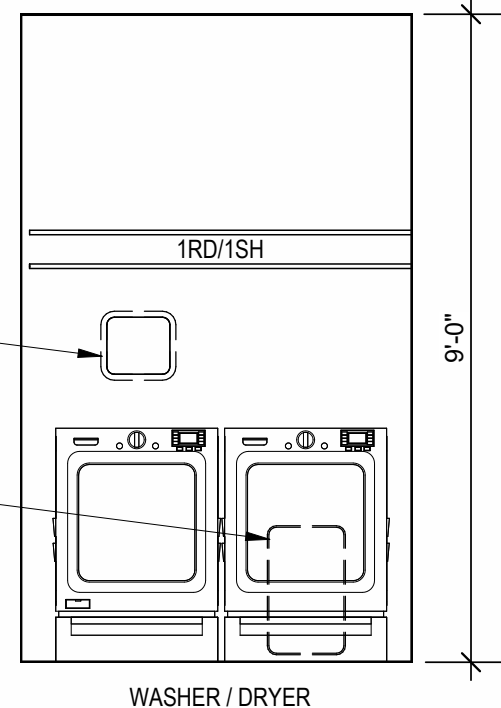
14 INTERIOR ELEVATION
W.I.C.
3/8" = 1'-0"



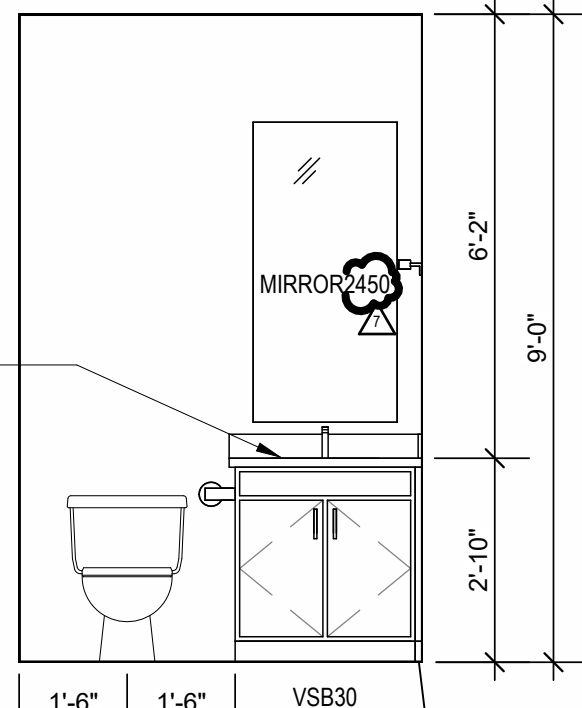
13 INTERIOR ELEVATION
W.I.C.
3/8" = 1'-0"



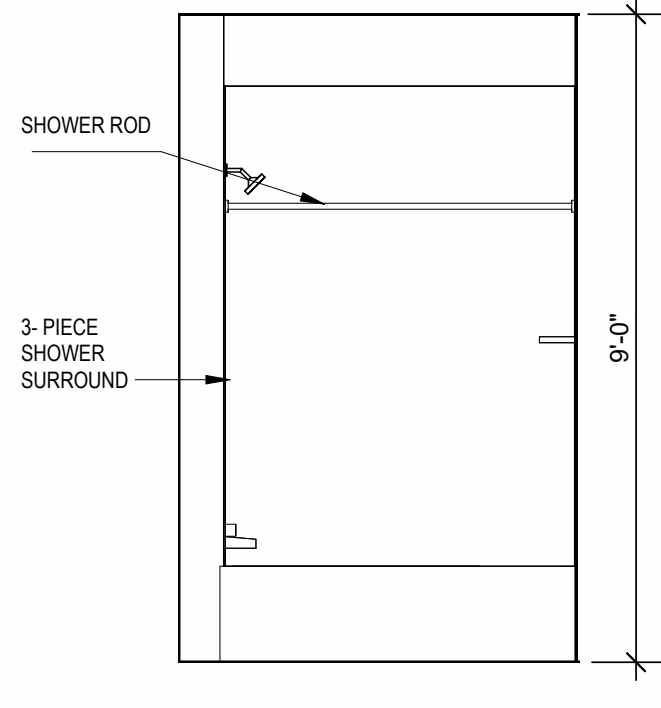
12 INTERIOR ELEVATION
DEN
3/8" = 1'-0"



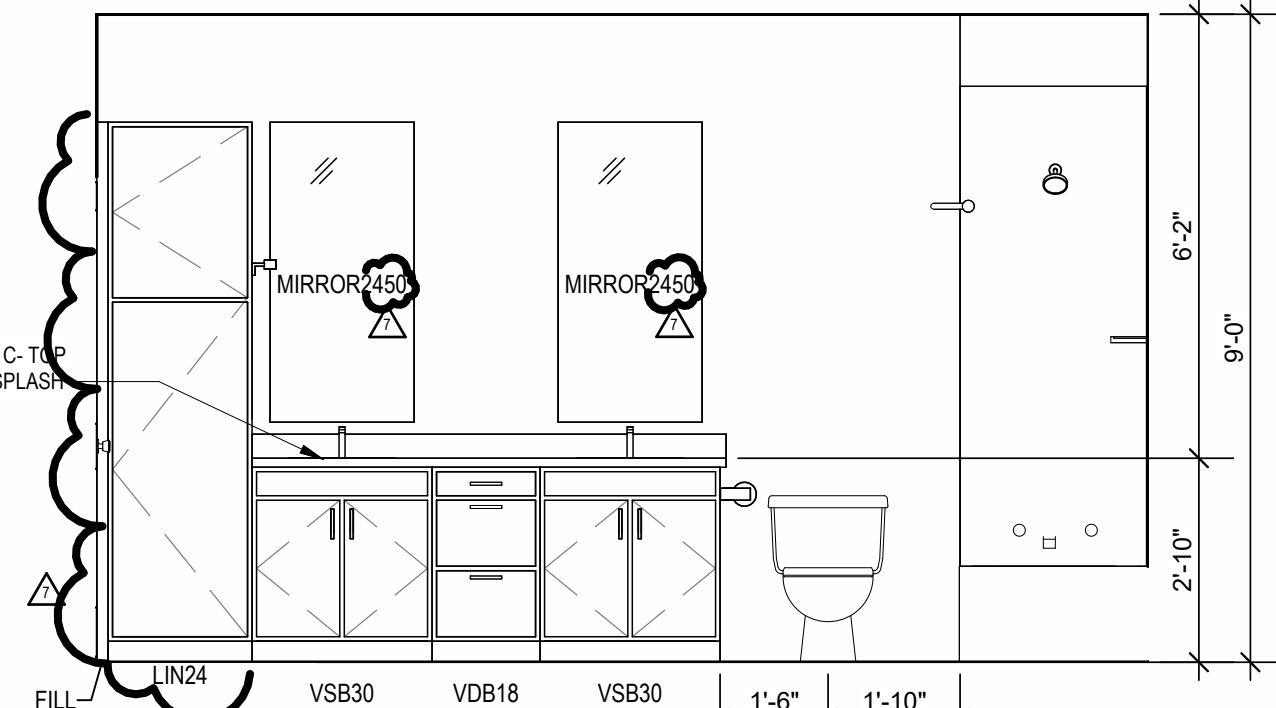
11 INTERIOR ELEVATION
LAUNDRY
3/8" = 1'-0"



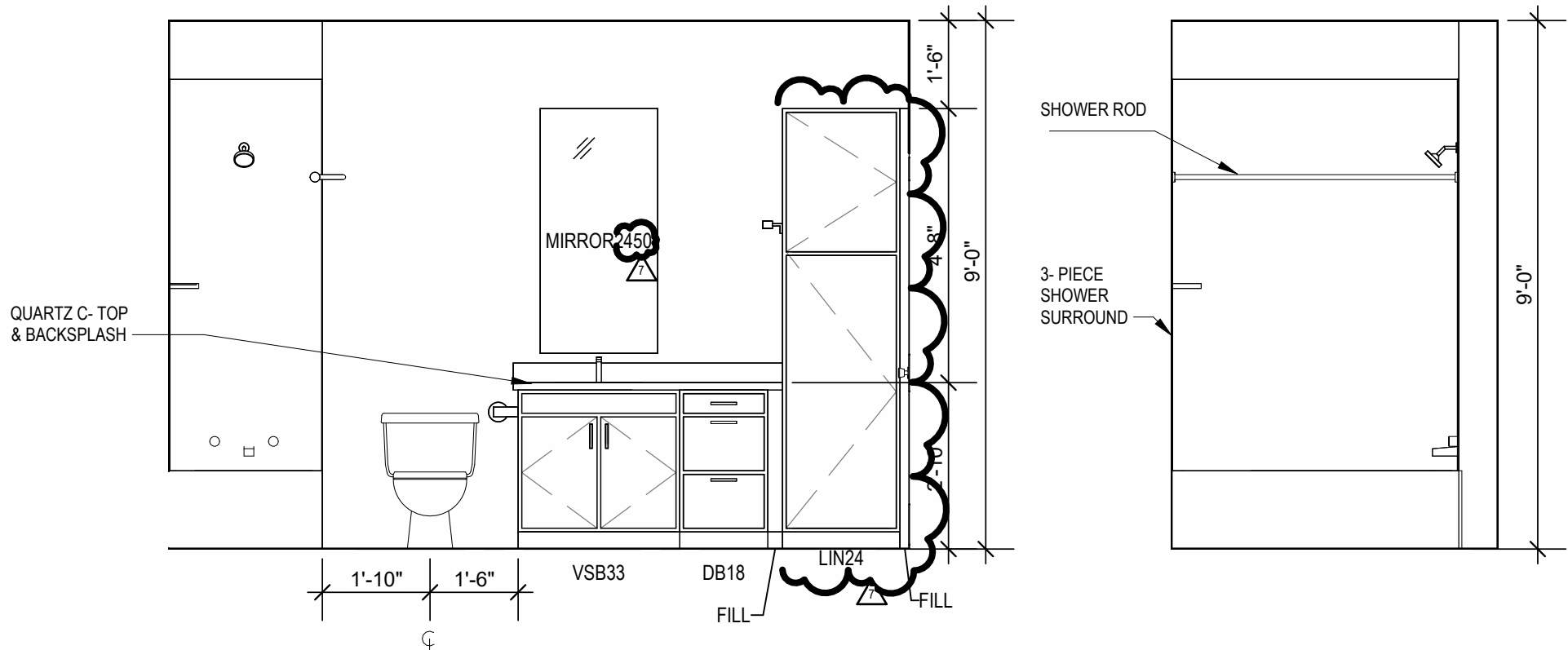
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POWDER ROOM
3/8" = 1'-0"



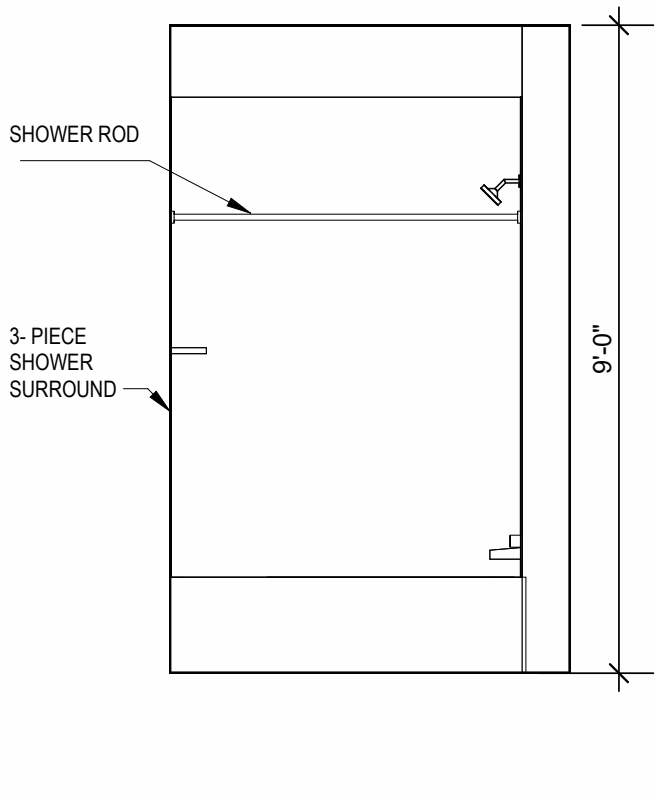
9 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



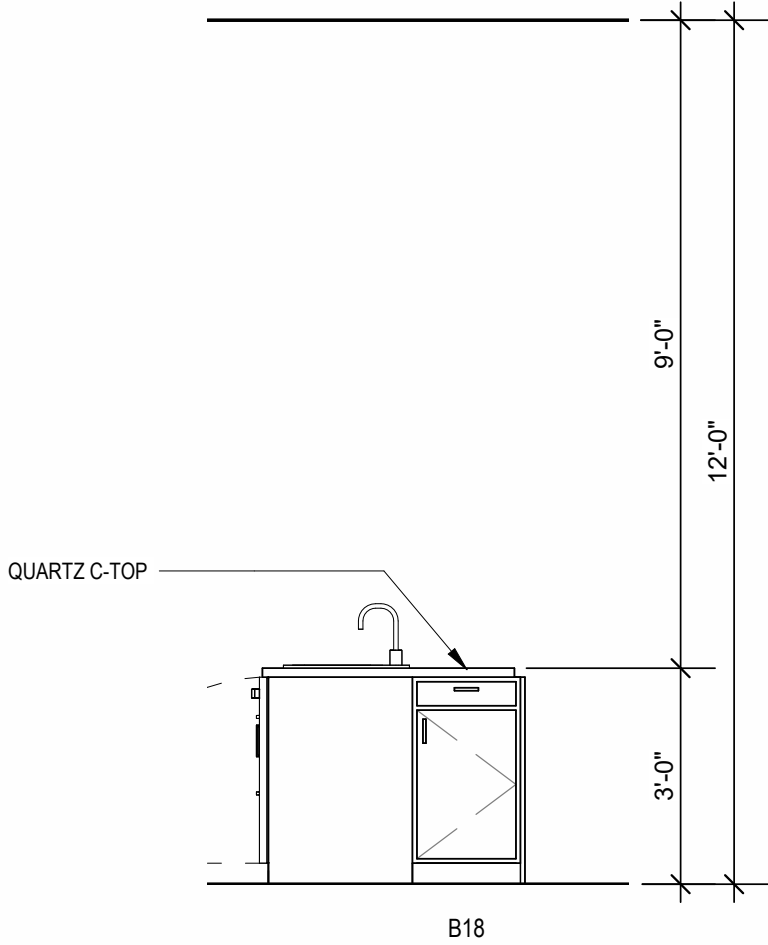
8 INTERIOR ELEVATION
MASTER BATHROOM
3/8" = 1'-0"



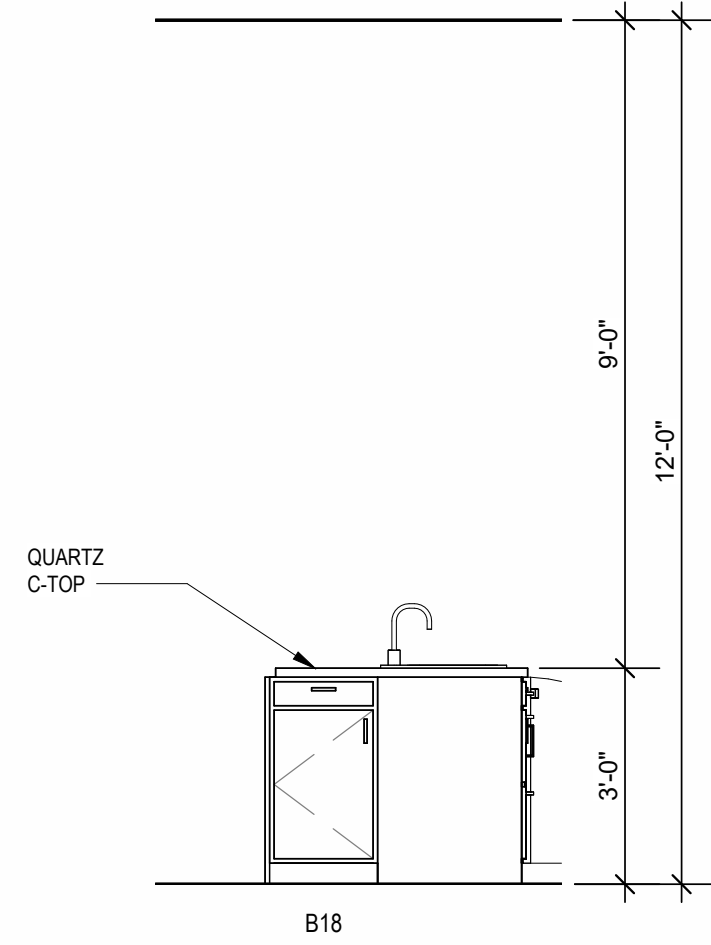
7 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



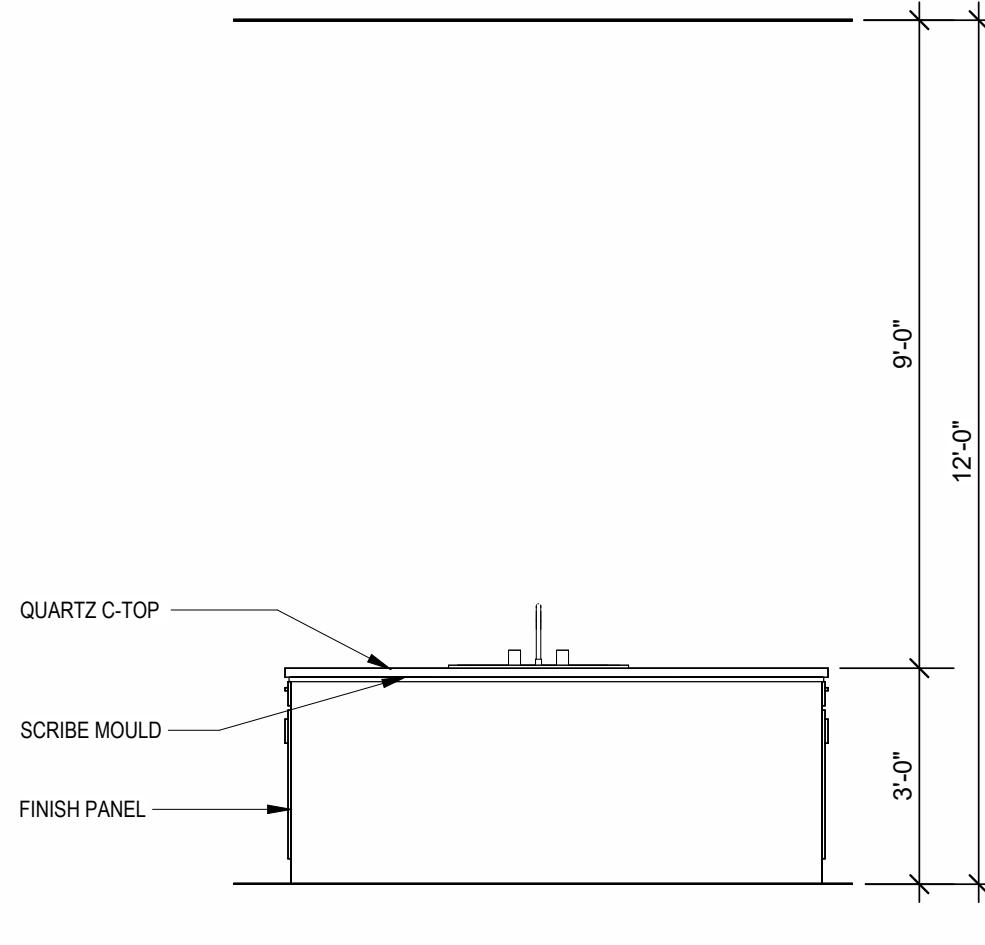
6 INTERIOR ELEVATION
BATHROOM
3/8" = 1'-0"



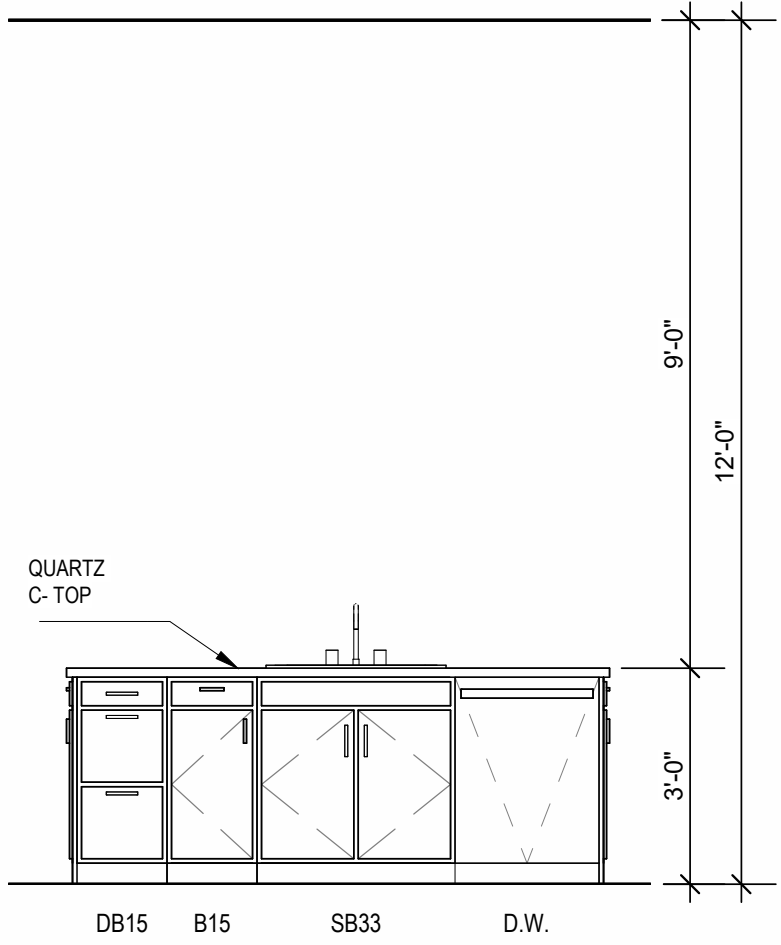
5 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



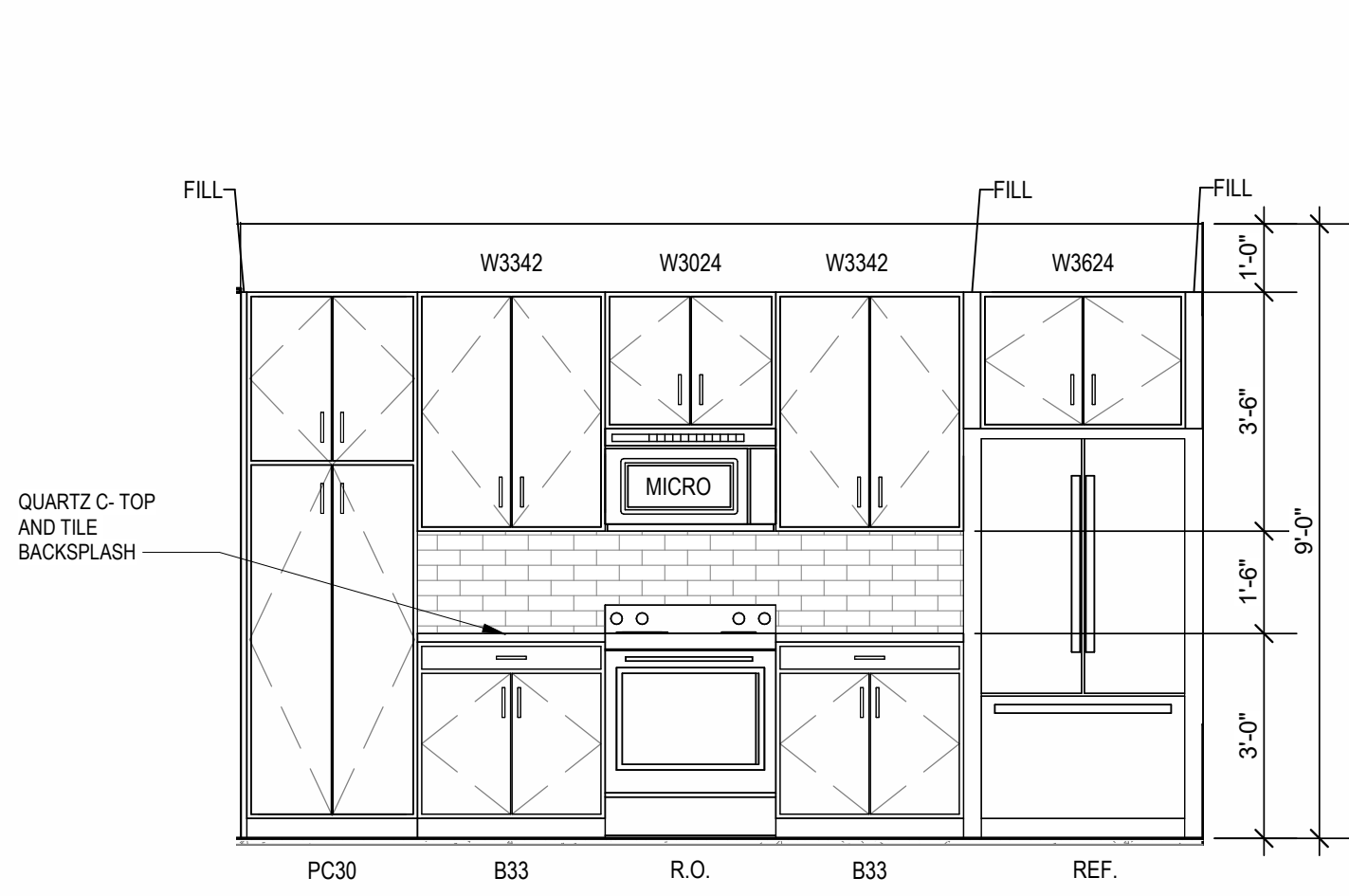
4 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



3 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



2 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"



1 INTERIOR ELEVATION
KITCHEN
3/8" = 1'-0"

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5 23.0608 AS1
7 23.080X AS3

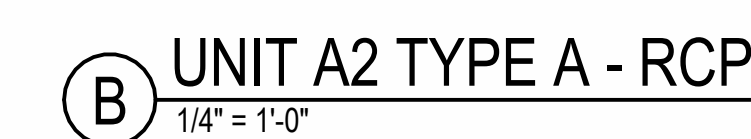
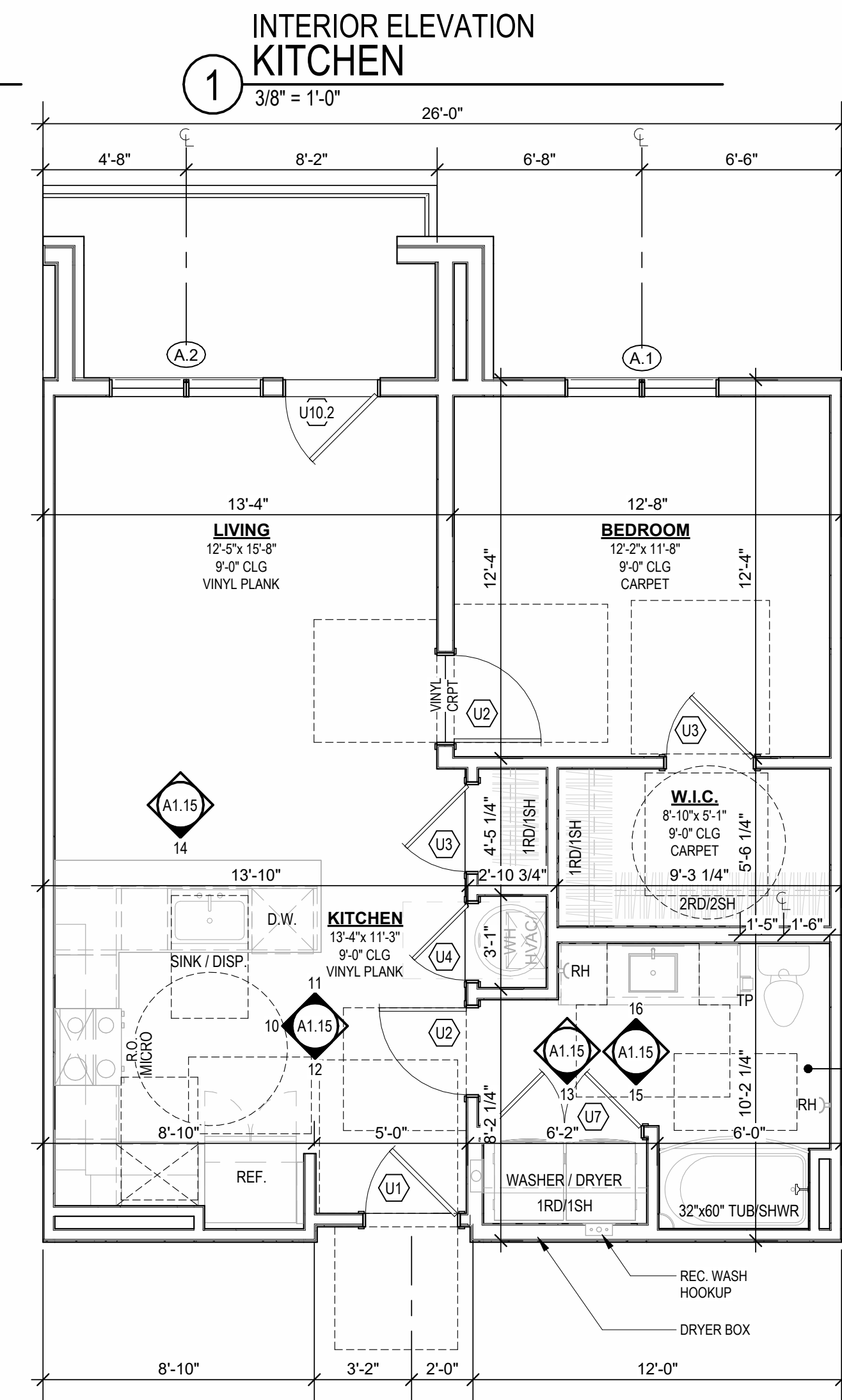
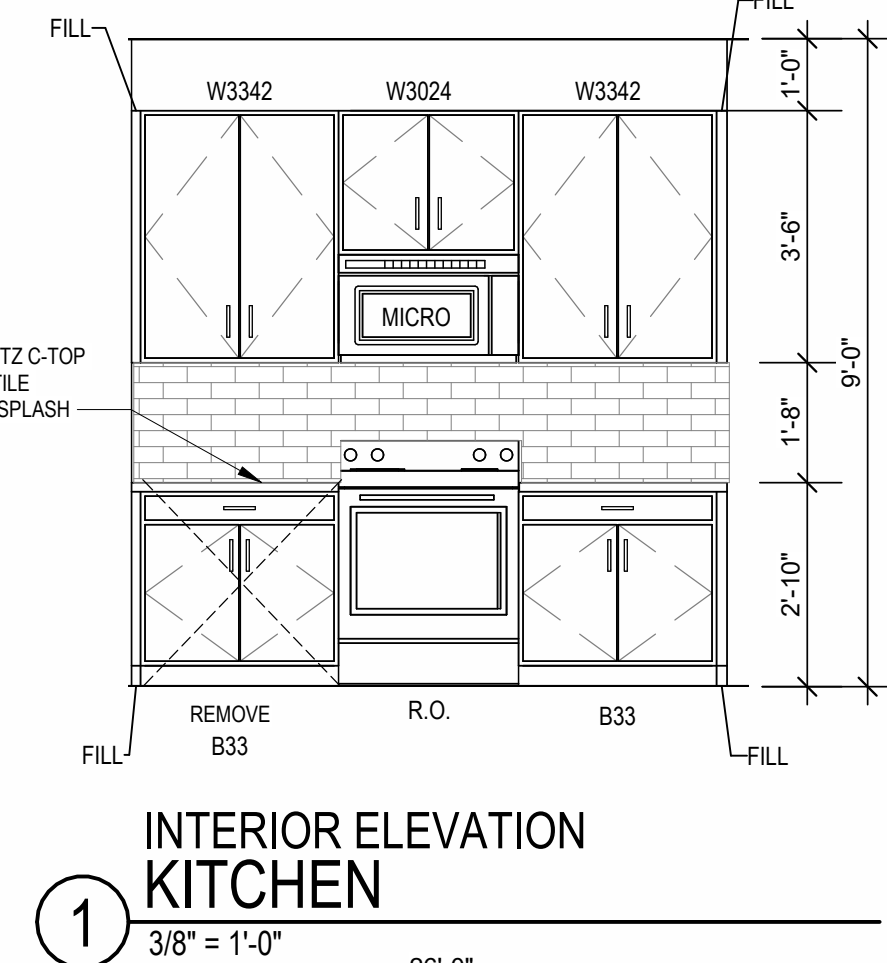
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SHEET NAME UNIT PH PLANS

SHEET NO.

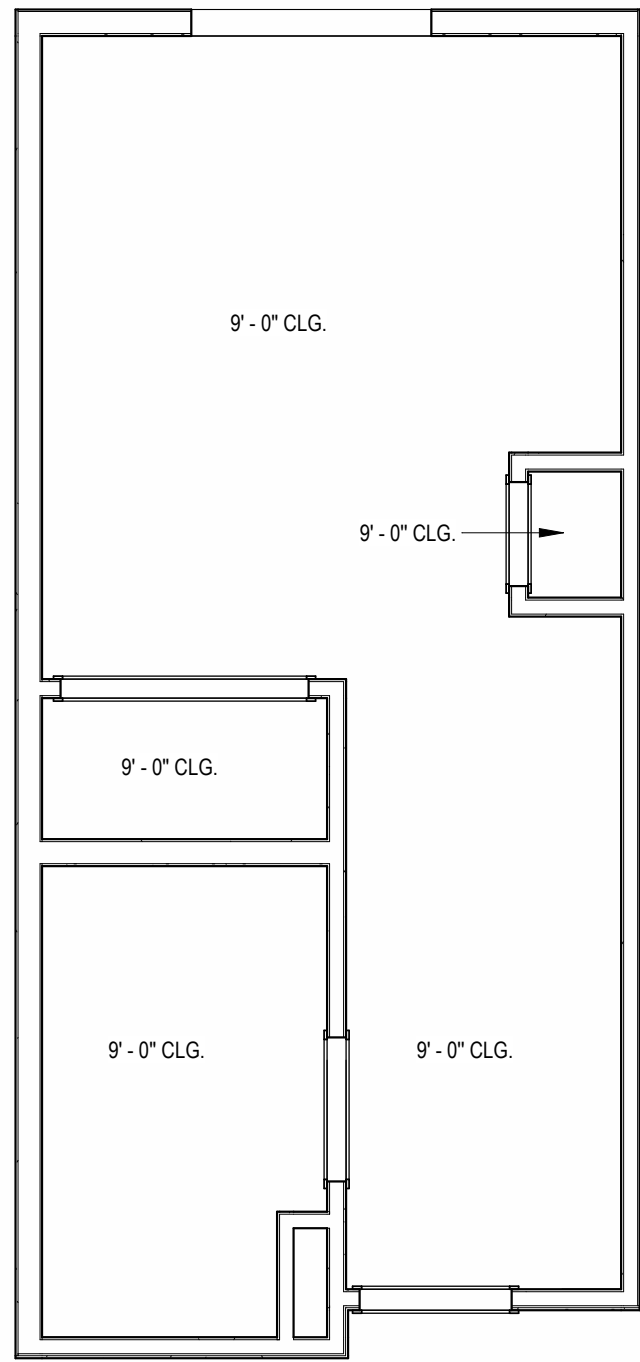
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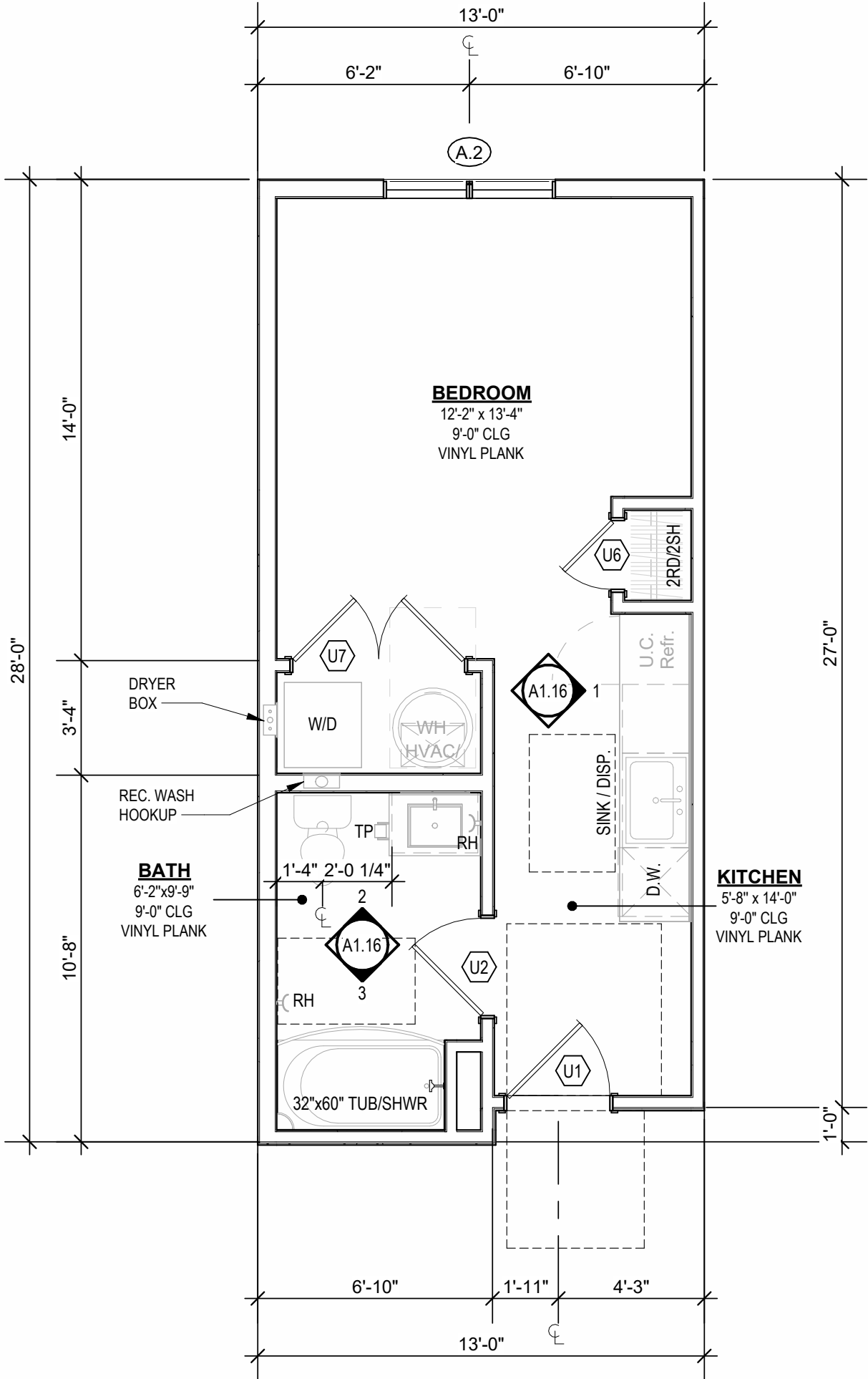
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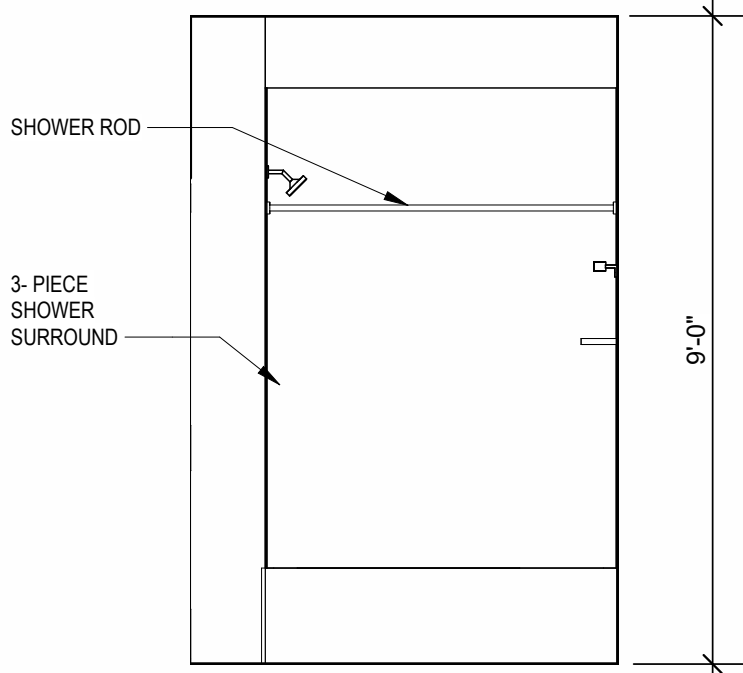
- UNIT PLAN GENERAL NOTES:**
- REFER TO ASSEMBLY SHEET SERIES A0.30 FOR ASSEMBLY DIMENSION ORIGINS AND THICKNESS.
 - REFER TO SHEETS A0.40, A0.41 AND A0.42 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
 - REFER TO BUILDING PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL EXTERIOR ARCHITECTURAL ELEMENTS INCLUDING BALCONY LOCATIONS AND CONFIGURATIONS, COLUMNS, WINDOWS/TRANSOMS, AND PATIO DOOR INFORMATION.
 - USE TEAR-AWAY BEAD, BACKER ROD, AND CAULK AT ALL DRYWALL RETURNS AT PENETRATION CONDITIONS.
 - ALL DIMENSIONS AND NOTES STATING "CLEAR," "MIN" OR "MAX" ARE FROM FINISH FACE TO FINISH FACE.
 - PROVIDE BLOCKING FOR ALL TV LOCATIONS, WALL HUNG CABINETS, SHELVING, GRAB BARS, AND OTHER WALL MOUNTED ITEMS.
 - LANDINGS AND FLOORS ON EITHER SIDE OF DOORWAYS SHALL NOT BE MORE THAN 1/2" LOWER THAN DOORWAY THRESHOLD.
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER IRC SECTION 906. SEE PLANS FOR LOCATIONS.
 - PROVIDE APPROVED SMOKE DETECTORS AND REQUIRED EMERGENCY FIXTURES WIRED INTO THE BUILDING'S PRIMARY POWER SYSTEM PER IRC SECTION 907.2.10. SEE MECHANICAL PLANS FOR LOCATIONS.
 - ALL EXPOSED EDGES OF FINISHES TO BE DRESSED WITH APPROPRIATE FINISH STOP.
 - UNIT DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL MEET OR EXCEED 90 S.T.C. TEST PER IRC SECTION 1206.
 - WHEN TUBS AND SHOWERS ARE LOCATED ADJACENT TO A FIRE RATED ASSEMBLY, EXTEND GYPSUM BOARD BEHIND AND PROVIDE INSULATION. VERIFY ALL TUB AND SHOWER WALL LENGTHS AND DIMENSION WITH ACTUAL TUB OR SHOWER PROVIDED. CONTRACTOR TO COORDINATE FRAMING WITH TUB MANUFACTURER AND TUB DETAILS.
 - MATCH SHOE FINISH TO CABINET FINISH WHERE ADJACENT TO BASE CABINET.
 - AVOID WATER LINES IN EXTERIOR WALLS. WHERE NOT POSSIBLE, INSTALL FOAM INSULATION BETWEEN WATER LINES & SHEATHING.
 - IN SIDE-BY-SIDE LAUNDRY CONFIGURATION, WASHER ALWAYS ON THE LEFT, DRYER ALWAYS ON THE RIGHT. CONTRACTOR TO FIELD COORDINATE ALL WINDOWS TO RECEIVE SINK STOOD, WITH 1/2" APRON & DRYWALL RETURNS ON JAMBS & HEAD.
 - DEVICE TRIMS & DEVICE FACES TO CLOSELY MATCH THE COLOR OF THE SURFACE THEY ARE APPLIED TO.
 - ALL PANTRY CABINETS & CABINETS ABOVE REFRIGERATOR SHALL BE 12" DEEP AND RECEIVE END PANELS WHERE EXPOSED.
 - REFER TO FLOOR PLANS AND ROOF PLANS FOR ADDITIONAL RAISED PLATE LINES AND VAULTED CEILING INFORMATION.
 - ALL BATHROOM HARDWARE FINISHES TO MATCH, INCLUDING SHOWER DOOR FRAMES, UNLESS SPECIFICALLY NOTED BY INTERIOR DESIGNER. G.C. SHALL SUBMIT AVAILABLE HARDWARE FINISHES TO ARCHITECT WHERE AN EXACT MATCH CANNOT BE MADE.
 - ALL PLUMBING PENETRATIONS TO RECEIVE ESCUTCHEON TRIM RINGS TO MATCH ADJACENT TEXTURE FINISH.
 - FIRE EXTINGUISHER (RE: SPECIFICATION) SHALL BE PROVIDED AND LOCATED IN SINK BASE CABINET UNDER KITCHEN SINK, U.N.O.



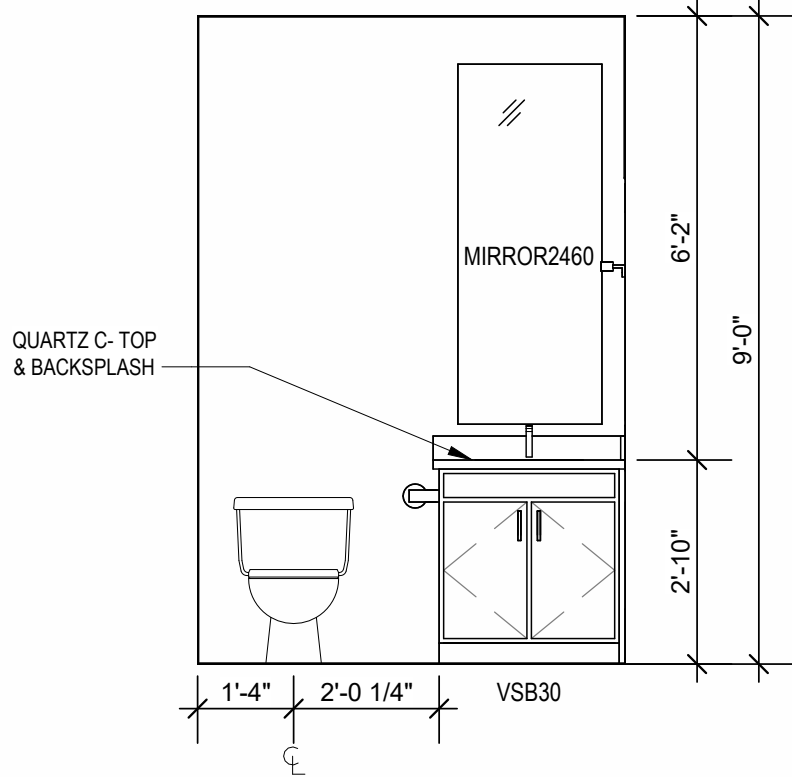
B GUEST SUITE - RCP
1/4" = 1'-0"



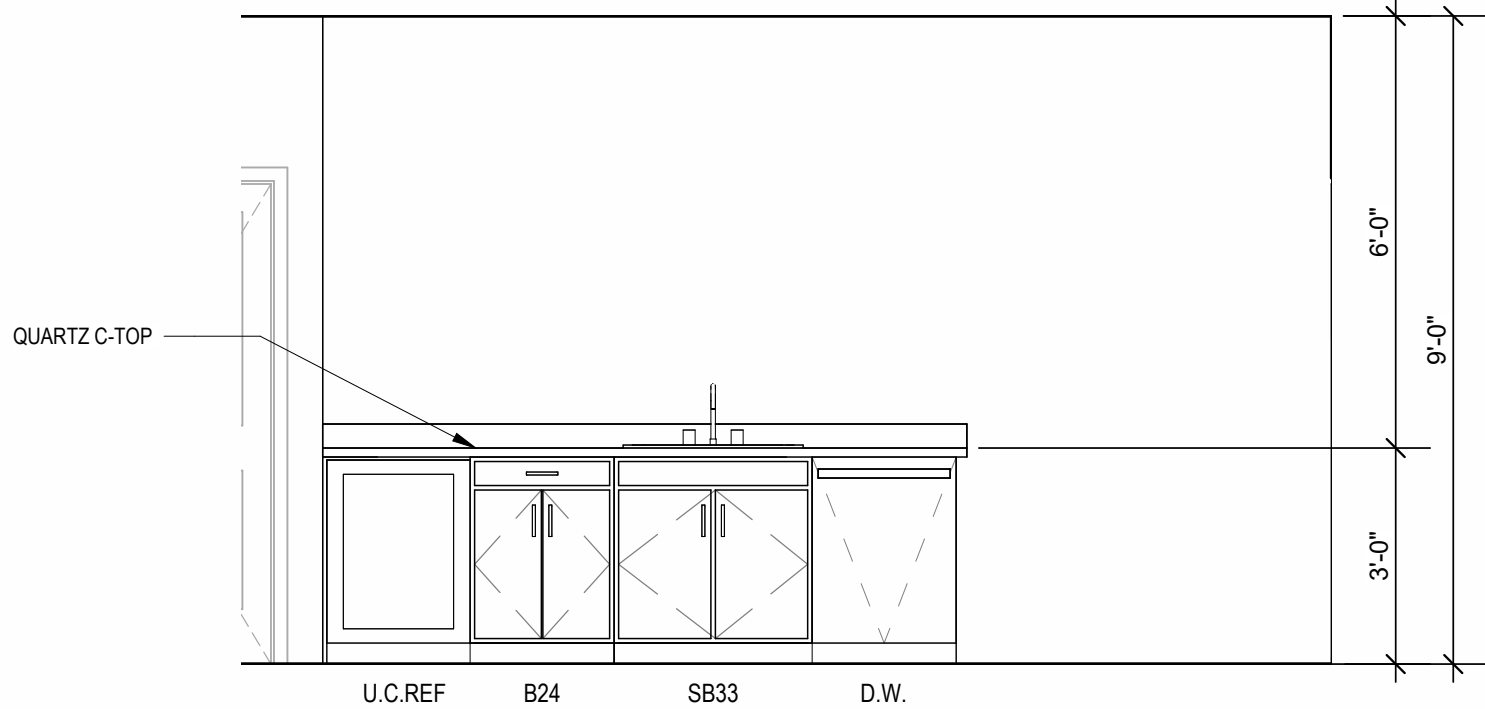
A GUEST SUITE
1/4" = 1'-0"



3 BATHROOM
3/8" = 1'-0"



2 BATHROOM
3/8" = 1'-0"



1 KITCHEN
3/8" = 1'-0"

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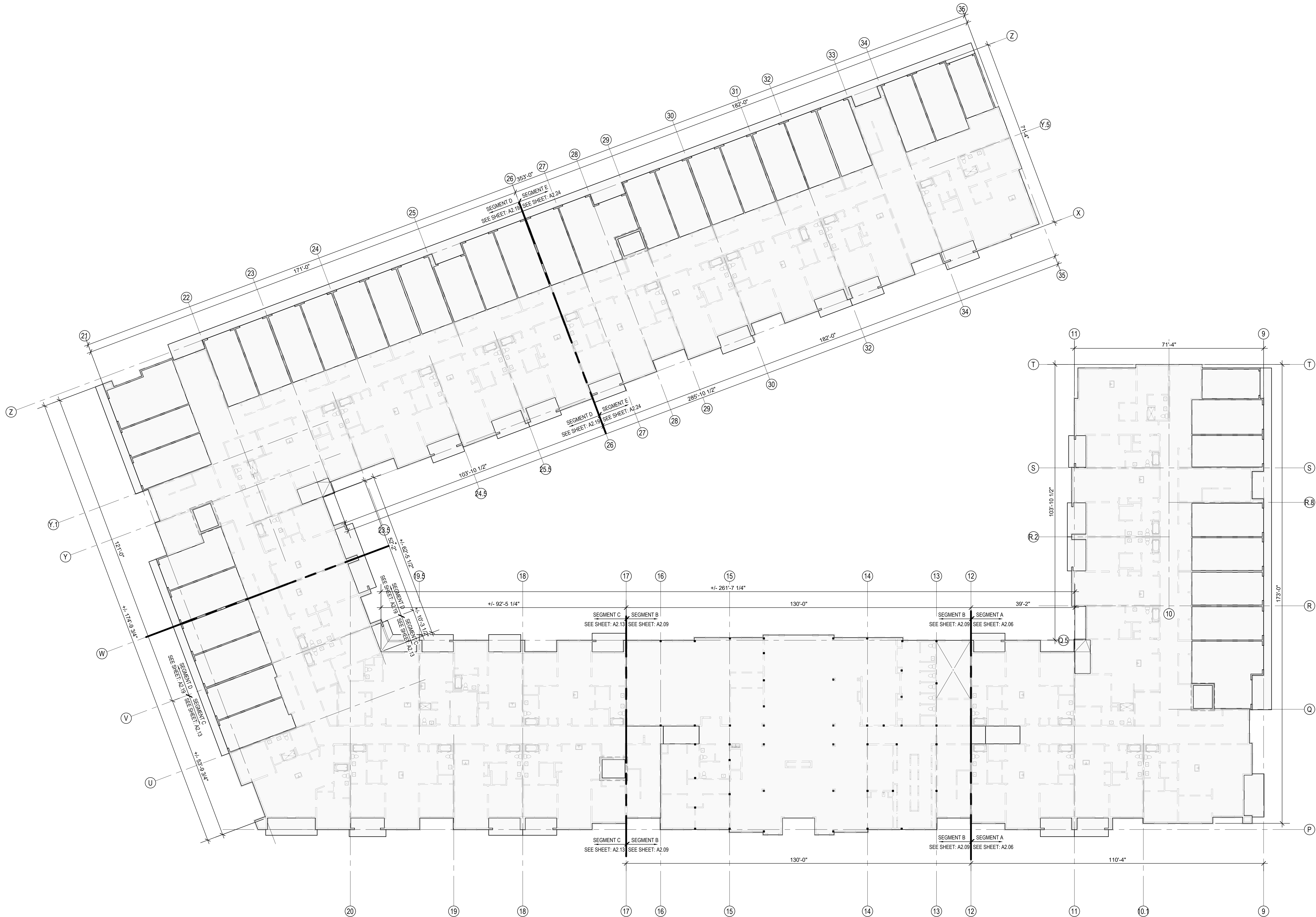
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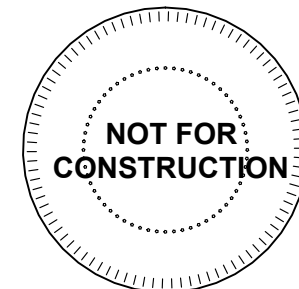
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CITY COMMENTS
SHEET NAME GUEST SUITE

SHEET NO. A1.16

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1 BUILDING 1 - OVERALL SLAB PLAN
1/16" = 1'-0"



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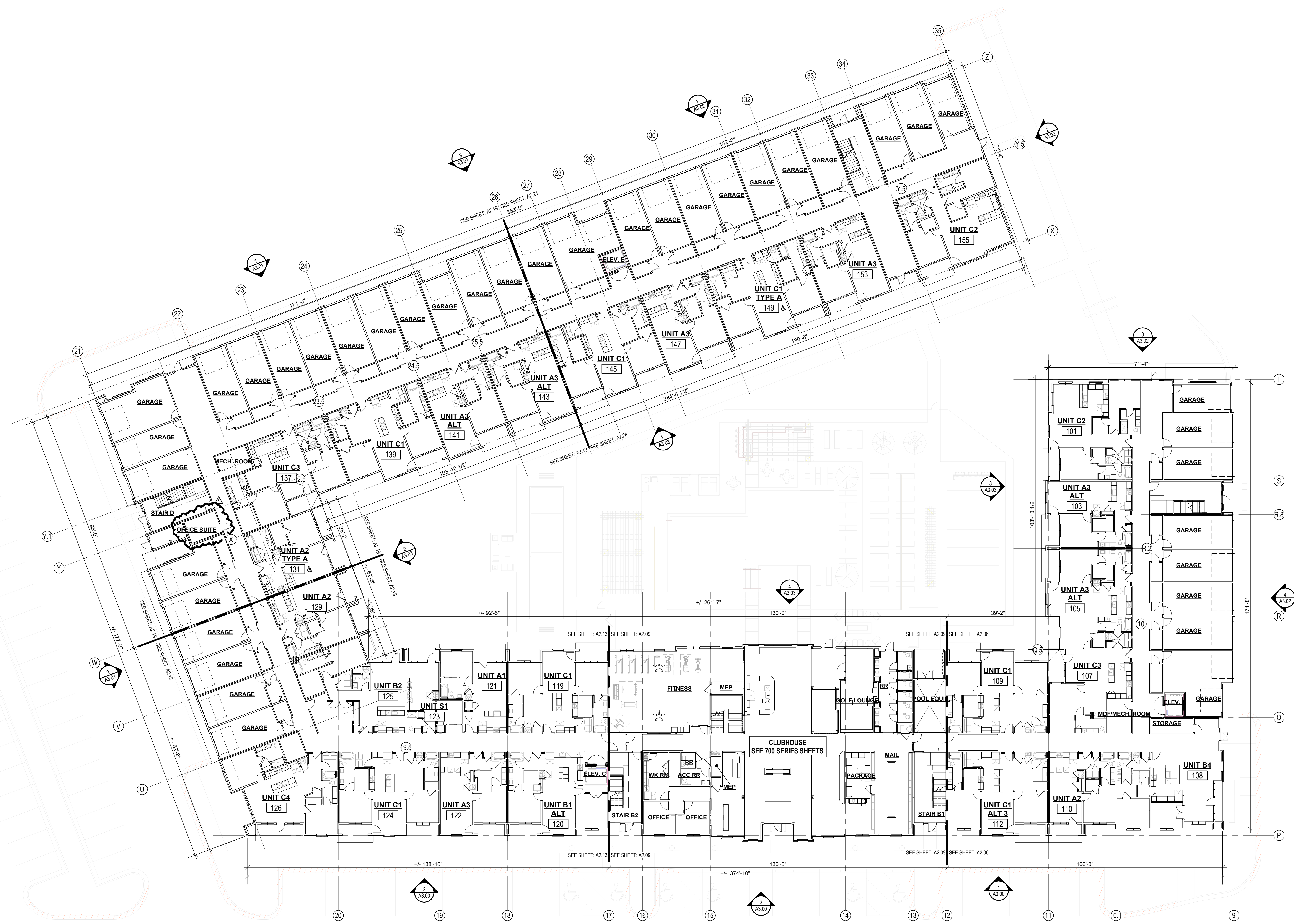
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705921
DRAWN BY
TSC/SIW
4/11/2023
SHEET NAME
BUILDING 1 OVERALL SLAB
PLAN
SHEET NO.

A2.00

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1 BUILDING 1 - OVERALL 1ST FLOOR PLAN
1/16" = 1'-0"

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1 23.04.11 CITY COMMENTS 1
2 23.07.31 ASH 4

JOB NO. 705921 DATE 03.15.2023
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SHEET NAME BUILDING 1 OVERALL 1ST FLOOR PLAN
SHEET NO. A2.01

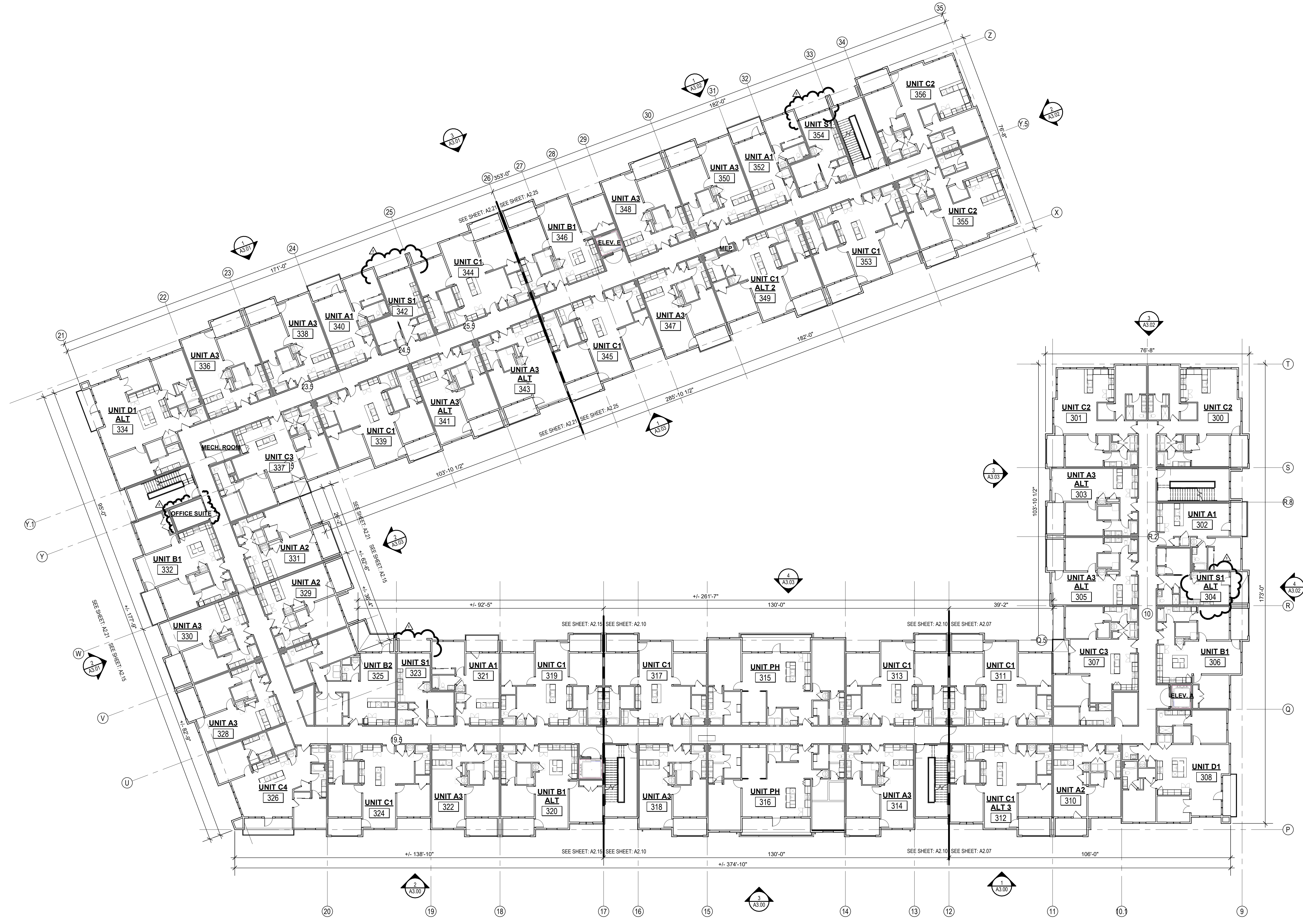


JOB NO. **705921** DATE **03.15.2023**
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6/9/2023
ASI #1
SHEET NAME
BUILDING 1 OVERALL 2ND
FLOOR PLAN
SHEET NO.

A2.02

03/15/2023 4:31:17 PM

ARCH E1 30' x 42'



1 BUILDING 1 - OVERALL 3RD FLOOR PLAN
1/16" = 1'-0"

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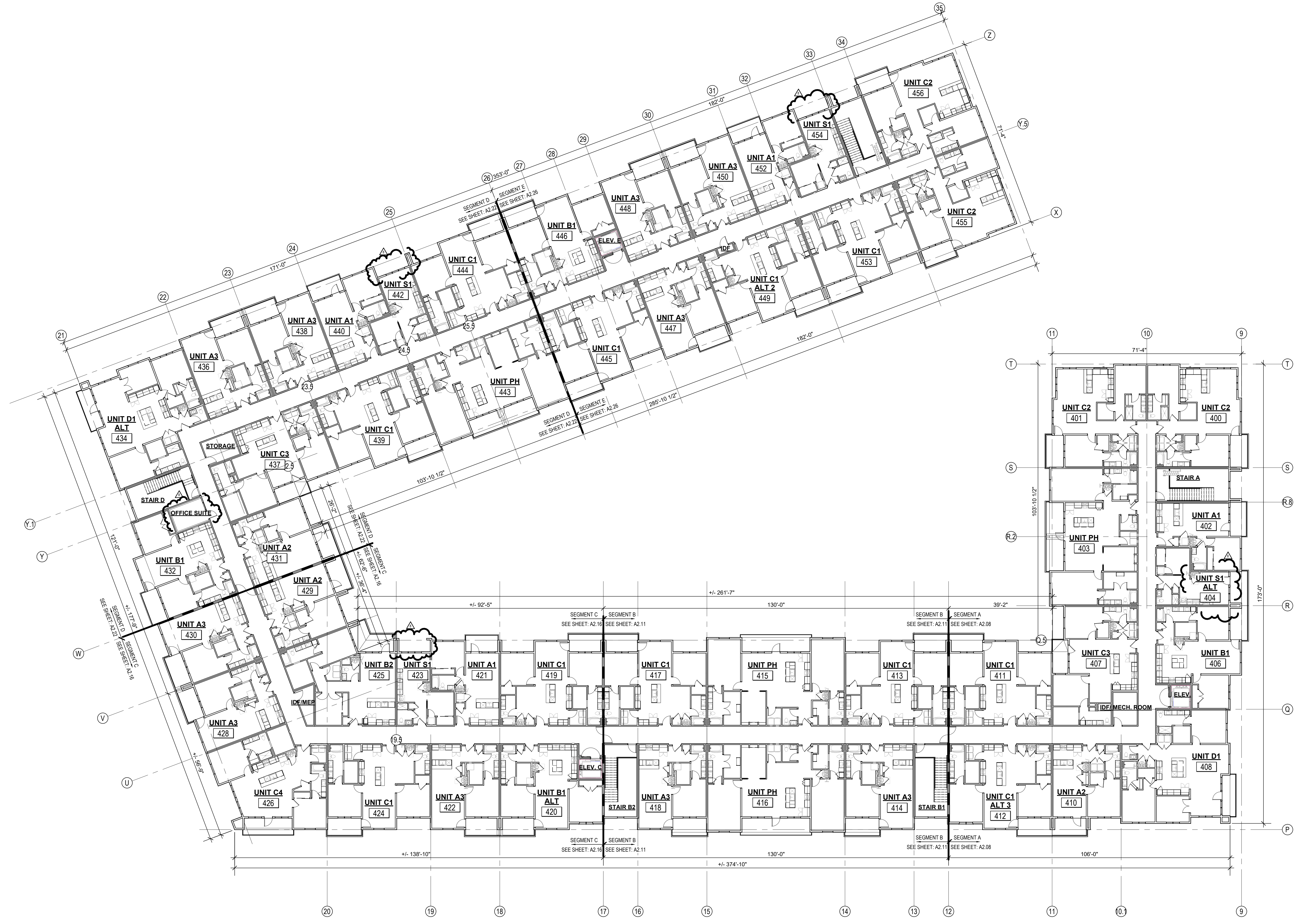
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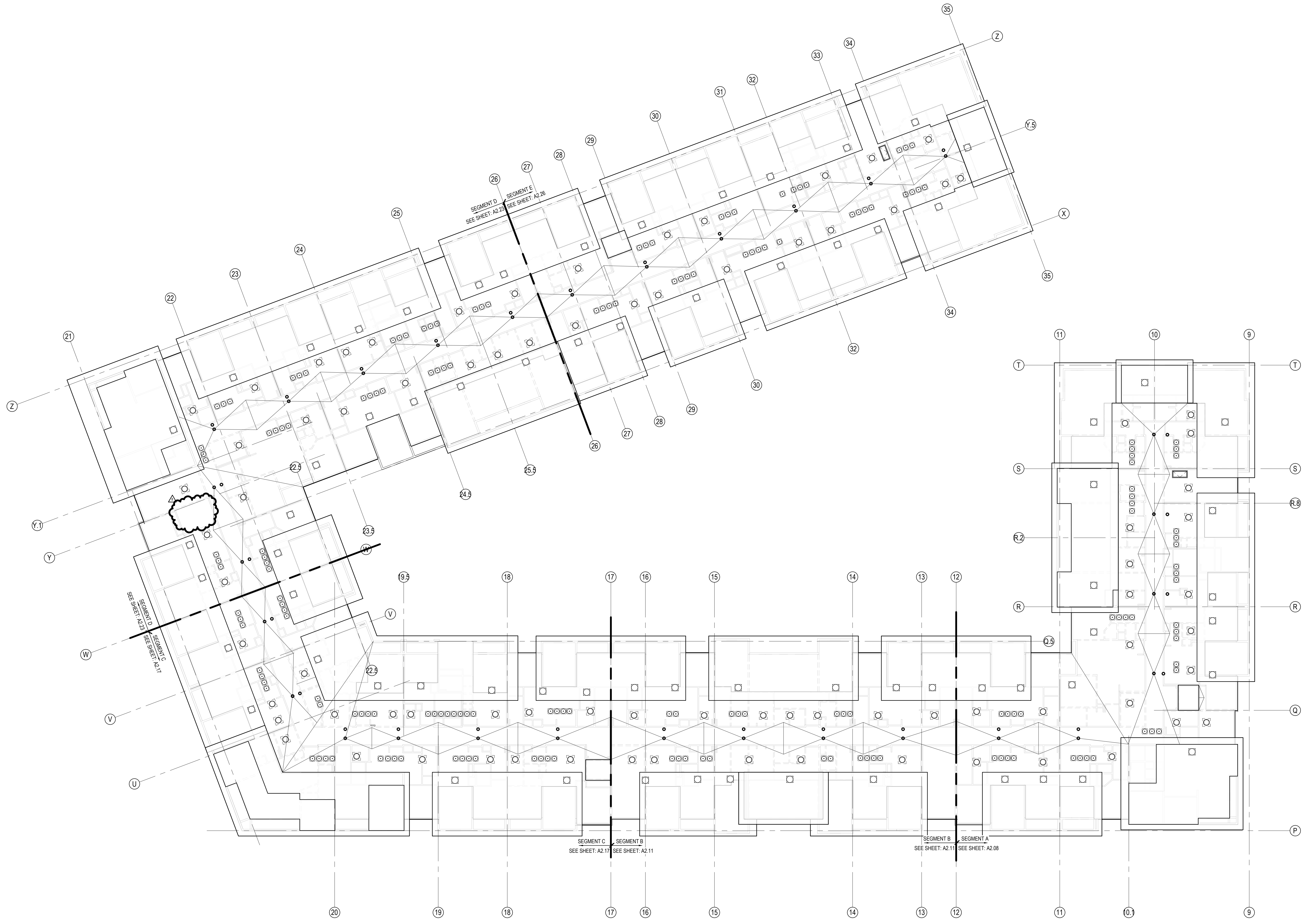
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SHEET NAME
**BUILDING 1 OVERALL 3RD
FLOOR PLAN**
SHEET NO.

DATE
03.15.2023

A2.03



1 BUILDING 1 - OVERALL 4TH FLOOR PLAN
1/16" = 1'-0"



1 BLDG. 1 - OVERALL ROOF PLAN
1/16" = 1'-0"

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8 23.07.31 ASI 4

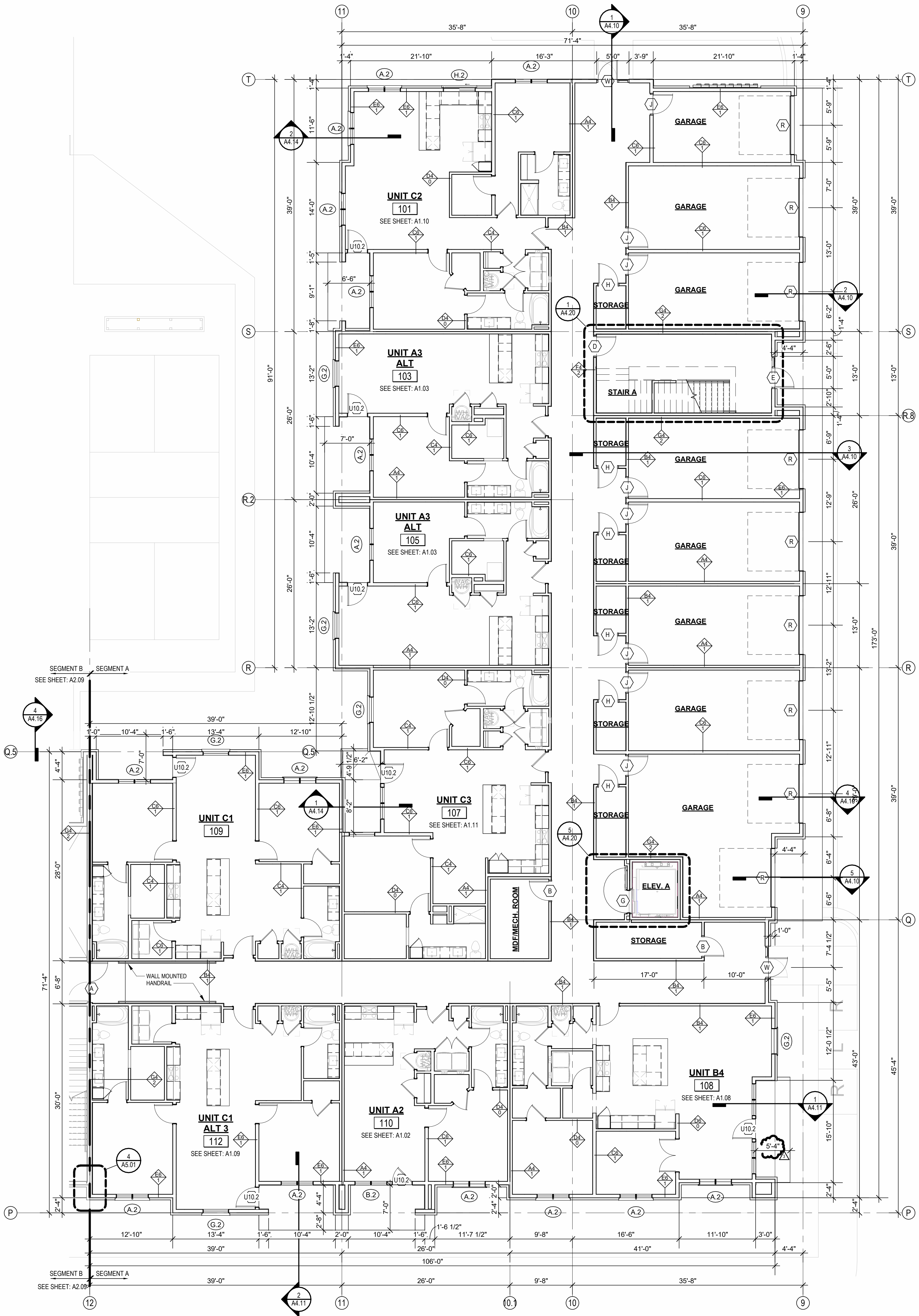
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705921
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6/9/2023
SHEET NAME
BUILDING 1 OVERALL ROOF
PLAN
SHEET NO.

DATE
03.15.2023
ASI #1

A2.05

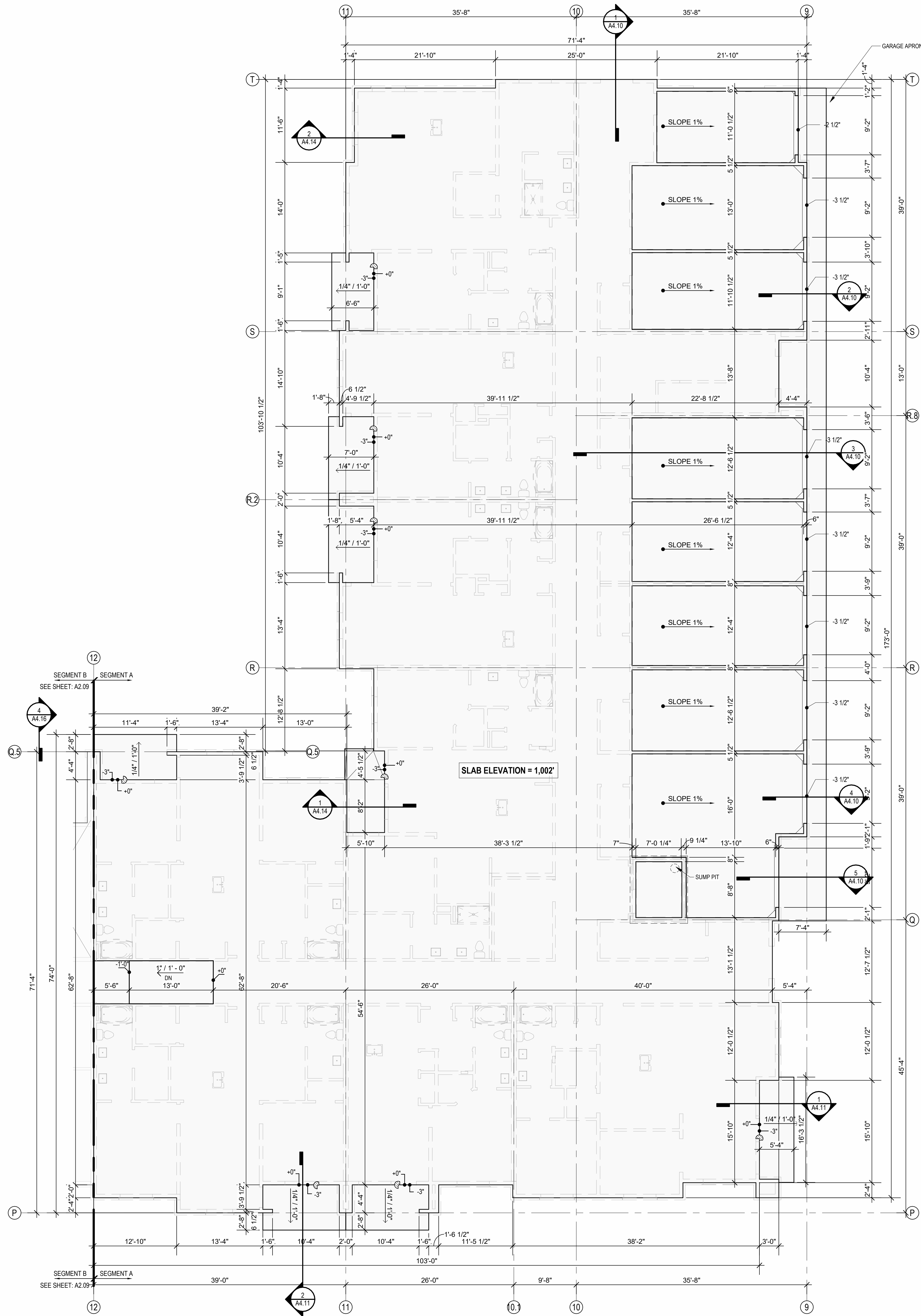
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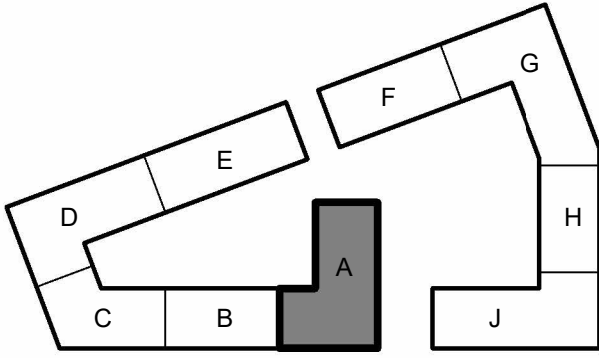
1ST FLOOR - SEGMENT A
1/8" = 1'-0"

RAILINGS REMOVED FROM GROUND LEVEL PATIOS



SEGMENT A - SLAB PLAN
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A2.09 AND A2.10 FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 80" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (IF E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGHING, TRAMPOLINE, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



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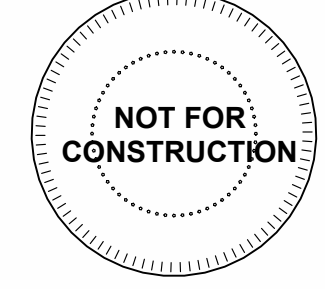
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2	23.04.08 ADD 100.2
3	23.05.11 ADDENDUM 2

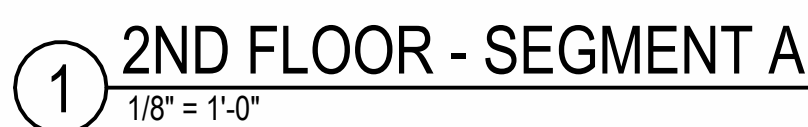
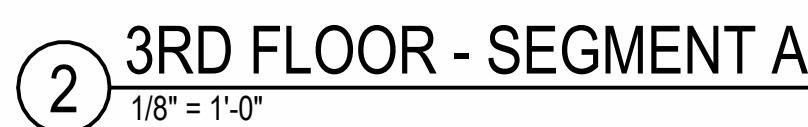
JOB NO. 705921
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5/11/2023
ADDENDUM #2
SEGMENT A SLAB & 1ST FLOOR PLAN
SHEET NO.

DATE 03.15.2023

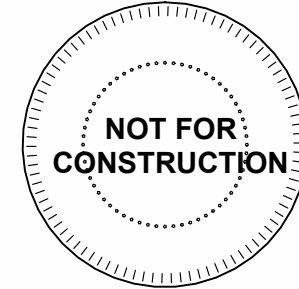
A2.06



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ADDENDUM #2
 SHEET NAME
SEGMENT A 2ND & 3RD
FLOOR PLAN
 SHEET NO.



KEY PLAN - BUILDING SEGMENTS



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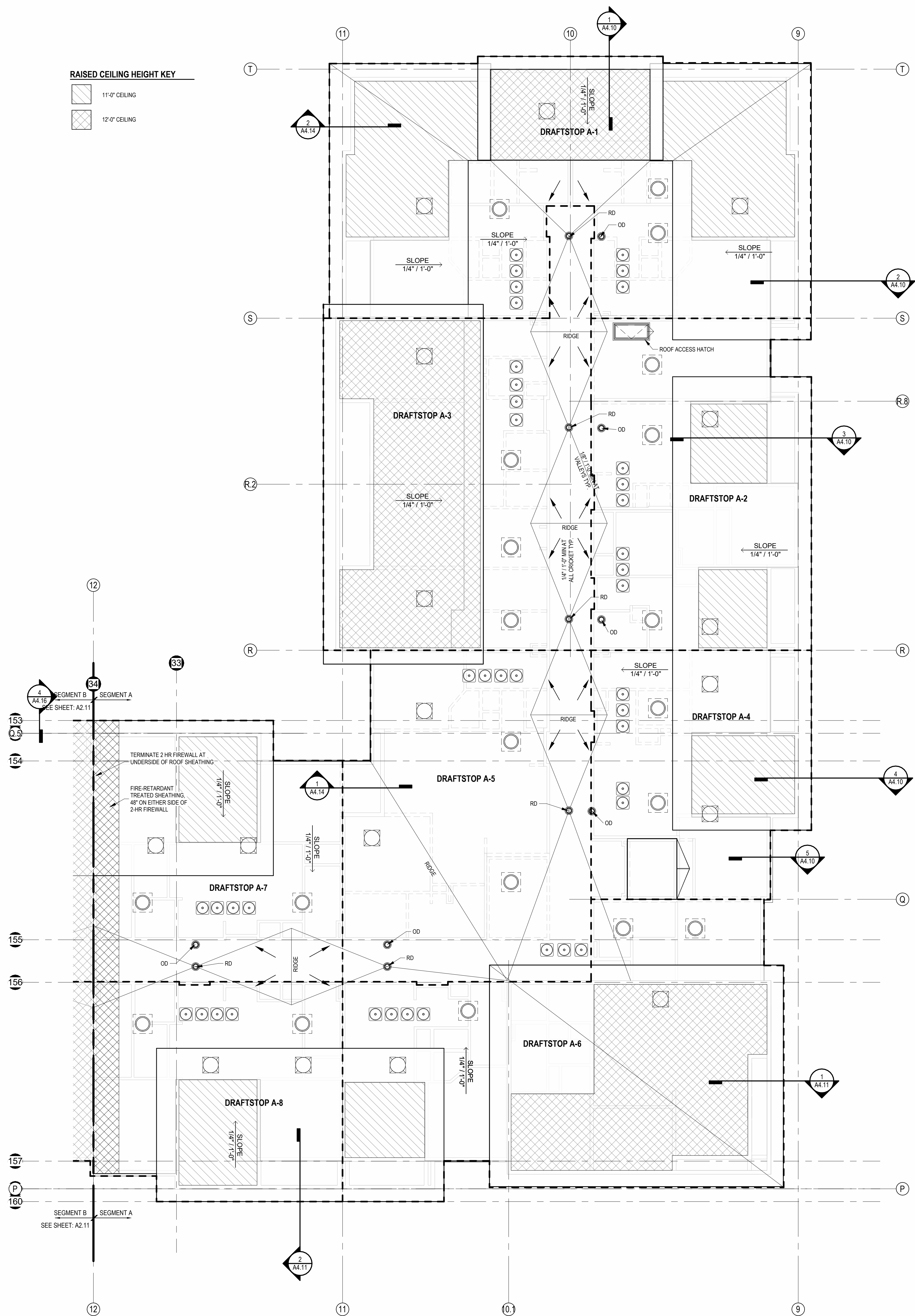
REVISIONS
1 23.04.11 CITY COMMENTS 1
3 23.09.11 ADDENDUM 2

JOB NO. 705921
DRAWN BY TSC/SIW
DATE 03.15.2023

5/11/2023
ADDENDUM #2
SHEET NAME
SEGMENT A 4TH FLOOR &
ROOF PLAN
SHEET NO.

A2.08

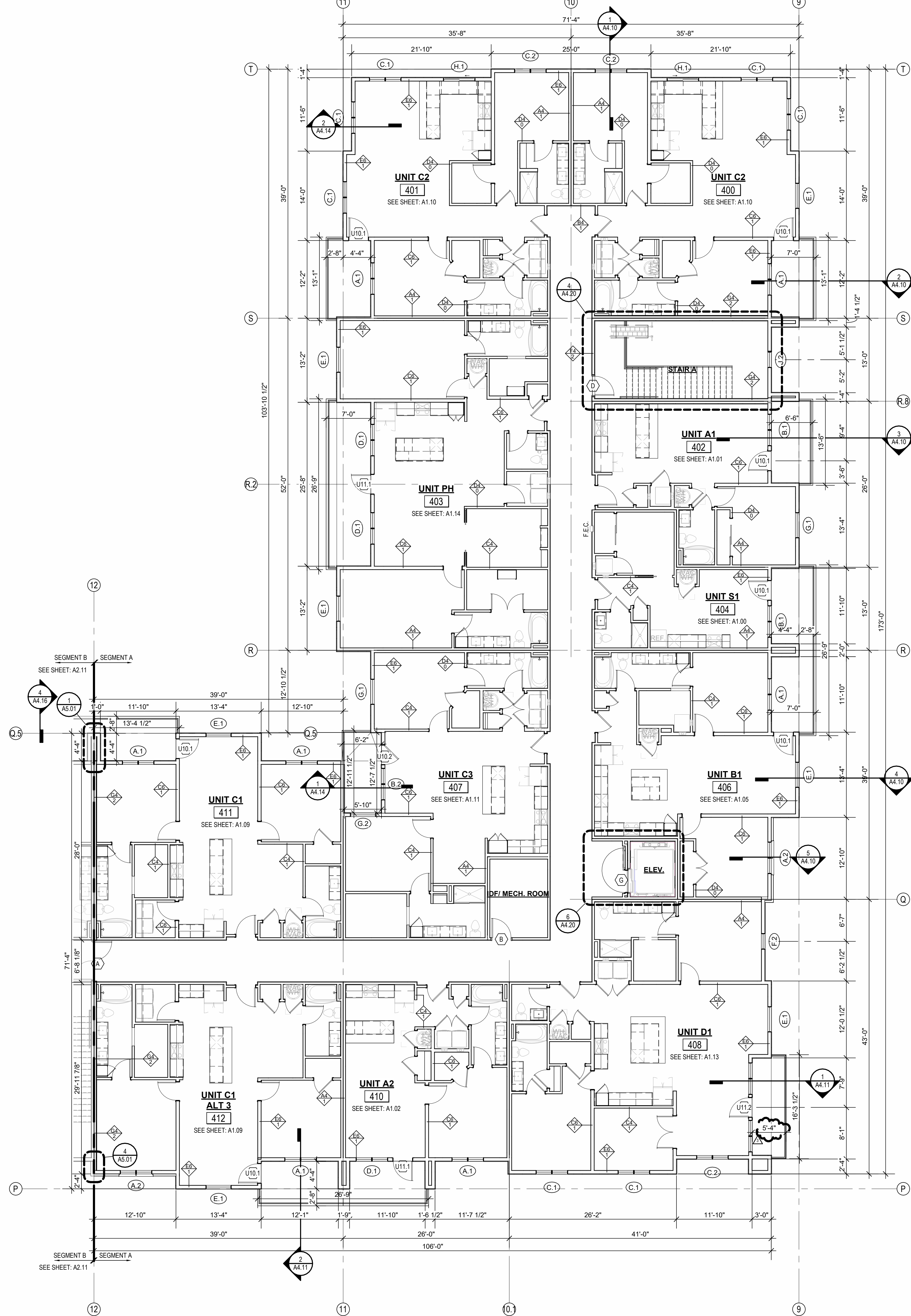
RAISED CEILING HEIGHT KEY
11'-0" CEILING
12'-0" CEILING



2 ROOF - SEGMENT A
1/8" = 1'-0"

SEG A ROOF VENT CALCULATOR

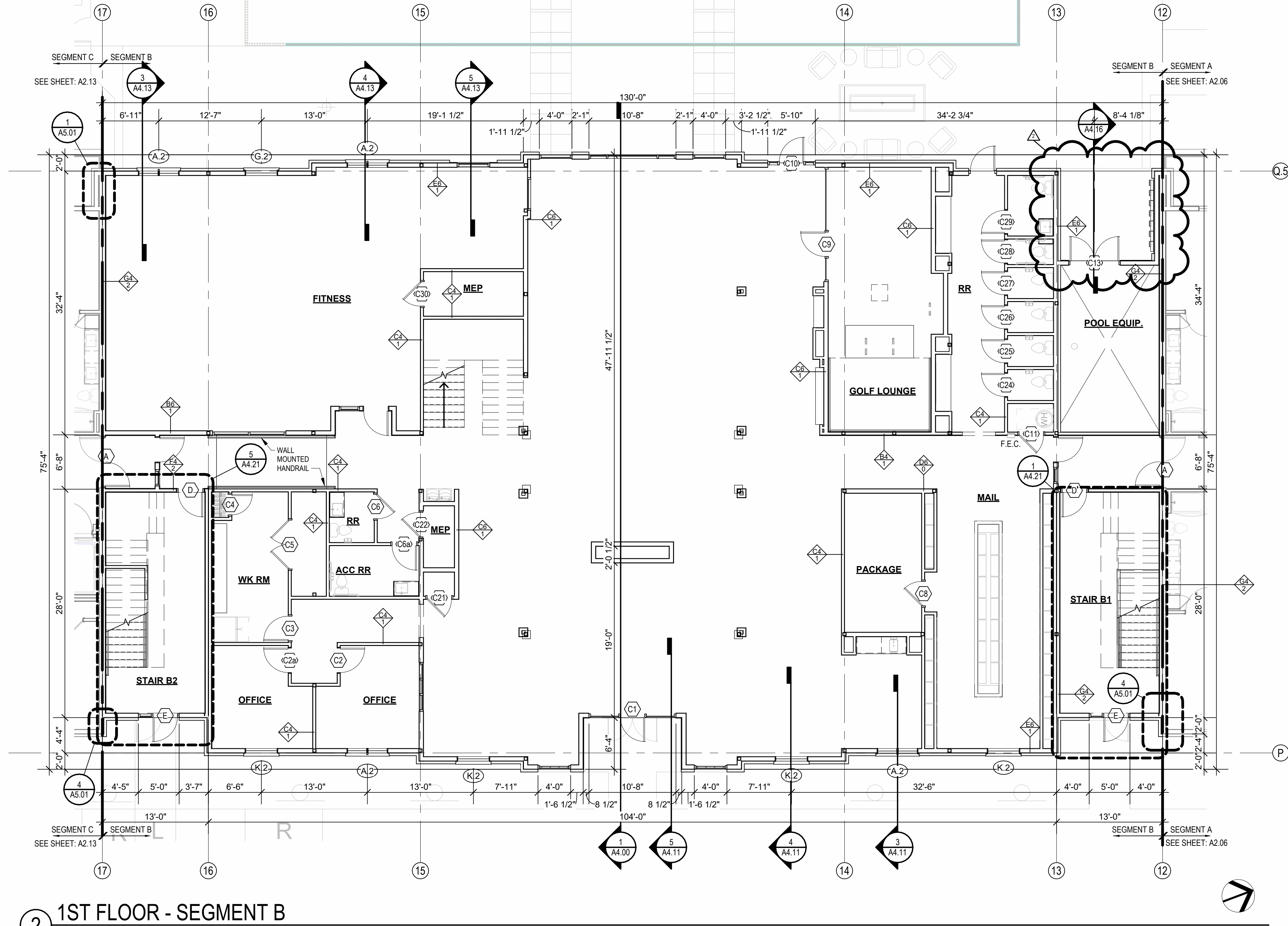
Name	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UPPER VENTING			LOWER VENTING			Total Lower Venting Provided
					STATIC VENTING			STATIC VENT			
					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof	Total Net Free Area of Upper Venting Provided	Vented Net Free Area Per Lower Static Vent	Static Vents Provided		
DRAFTSTOP A-1	2823 SF	1403 in ²	1524 in ²	50.00%	254 in ²	3	762 in ²	254 in ²	3	762 in ²	
DRAFTSTOP A-2	1750 SF	840 in ²	1016 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	2	508 in ²	
DRAFTSTOP A-3	2303 SF	1155 in ²	1270 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	3	762 in ²	
DRAFTSTOP A-4	1273 SF	611 in ²	1016 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	2	508 in ²	
DRAFTSTOP A-5	1948 SF	935 in ²	1016 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	2	508 in ²	
DRAFTSTOP A-6	2584 SF	1240 in ²	1270 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	3	762 in ²	
DRAFTSTOP A-7	1520 SF	734 in ²	1016 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	2	508 in ²	
DRAFTSTOP A-8	1302 SF	625 in ²	1016 in ²	50.00%	254 in ²	2	508 in ²	254 in ²	2	508 in ²	



ARCH: E1 30' x 42'

5/2/2023 2:12:37 PM NSPJ ARCHITECTS ©

Autodesk Docs\705921-NP Summit Square\17059_S03_2022.rvt



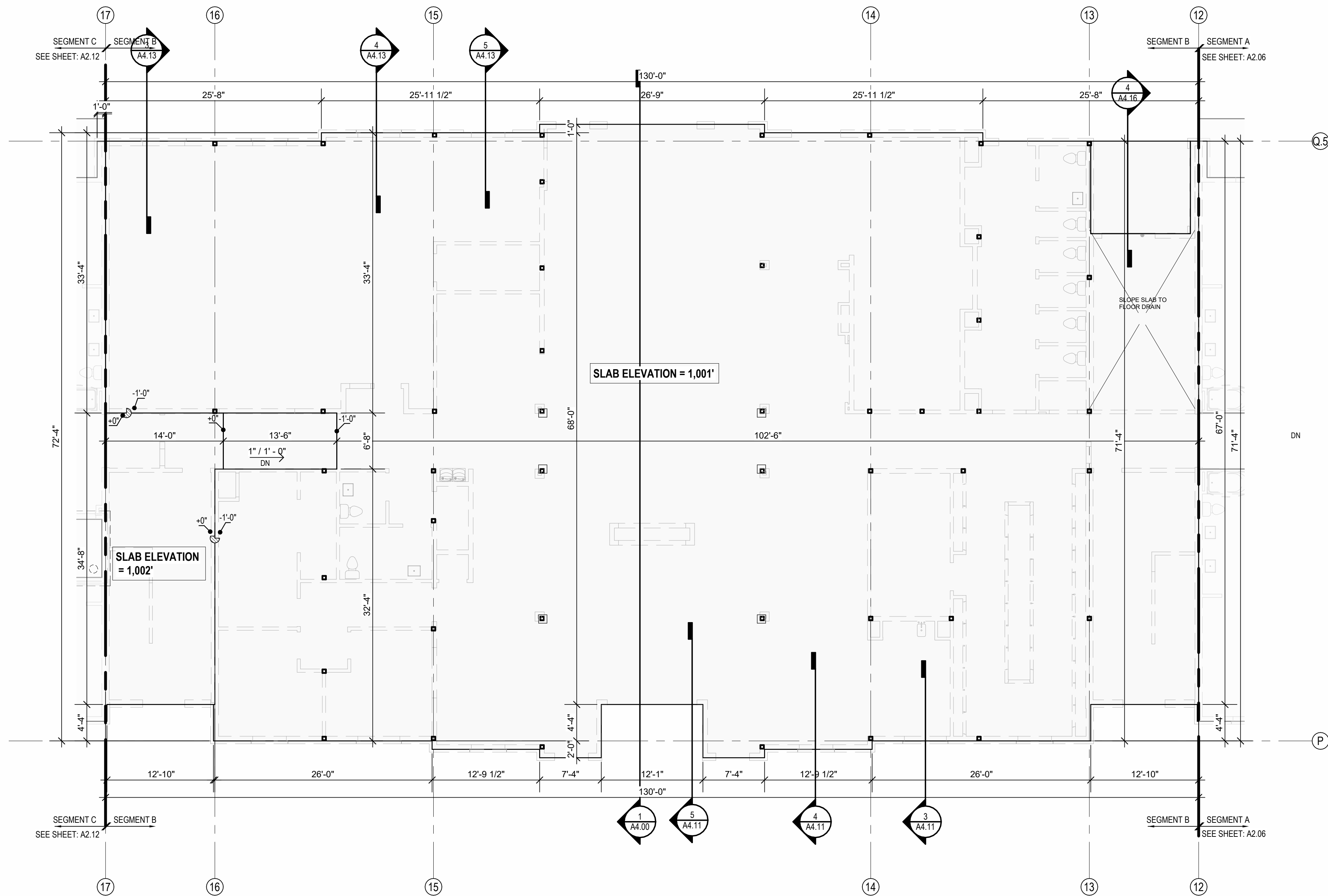
- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGHINS, TRAMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

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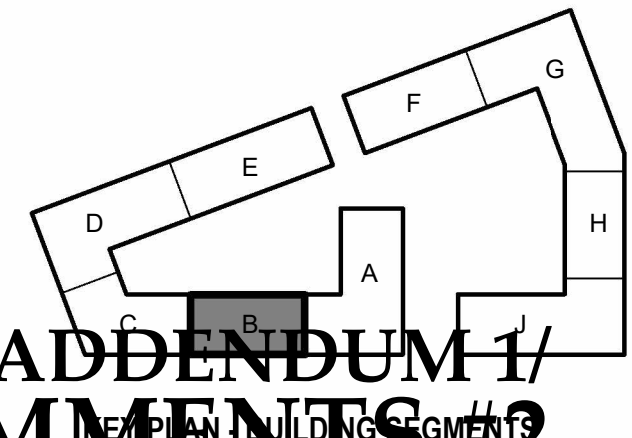
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② 1ST FLOOR - SEGMENT B
1/8" = 1'-0"



① SLAB PLAN - SEGMENT B
1/8" = 1'-0"

4/28/2023 ADDENDUM 1/
CITY COMMENTS #2



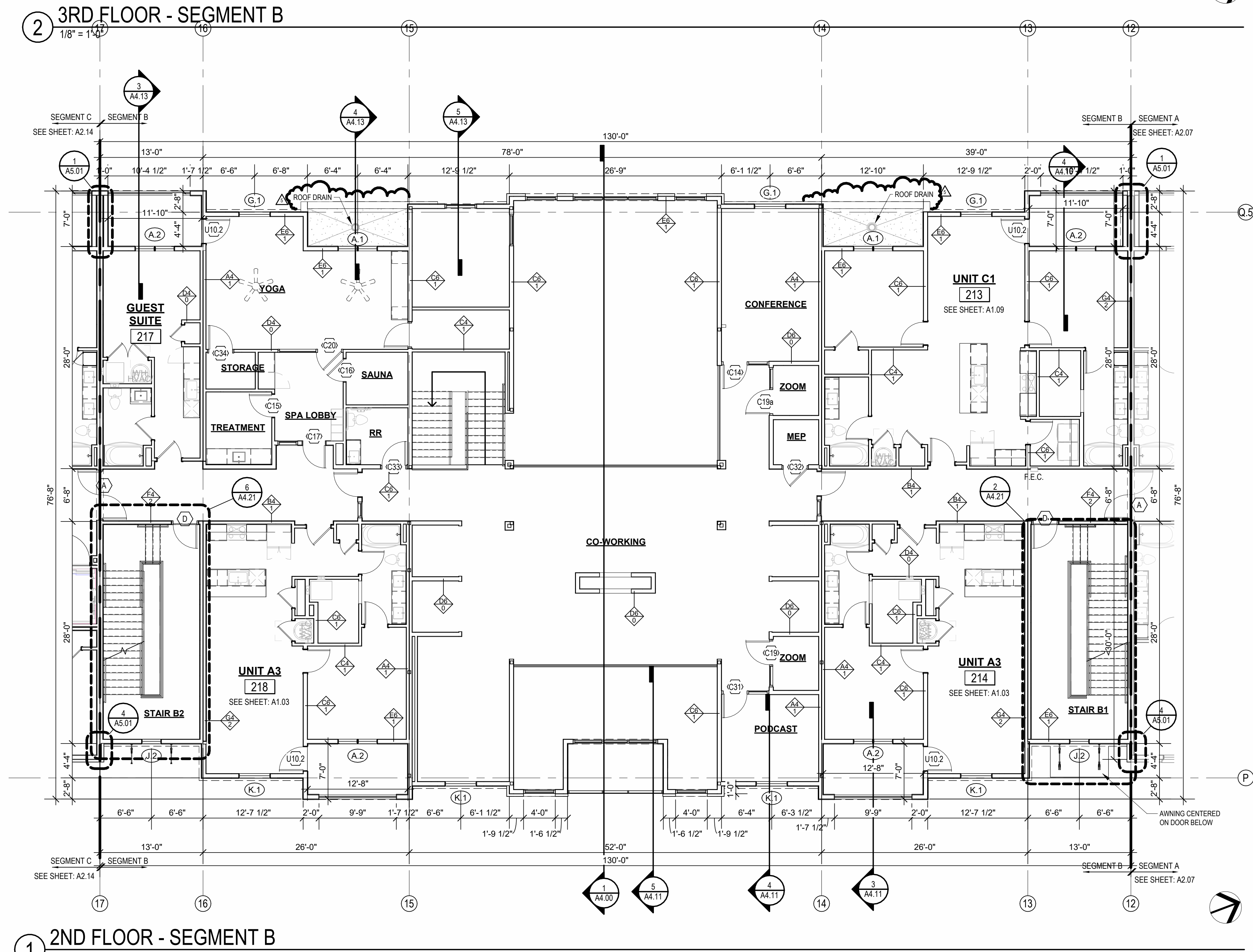
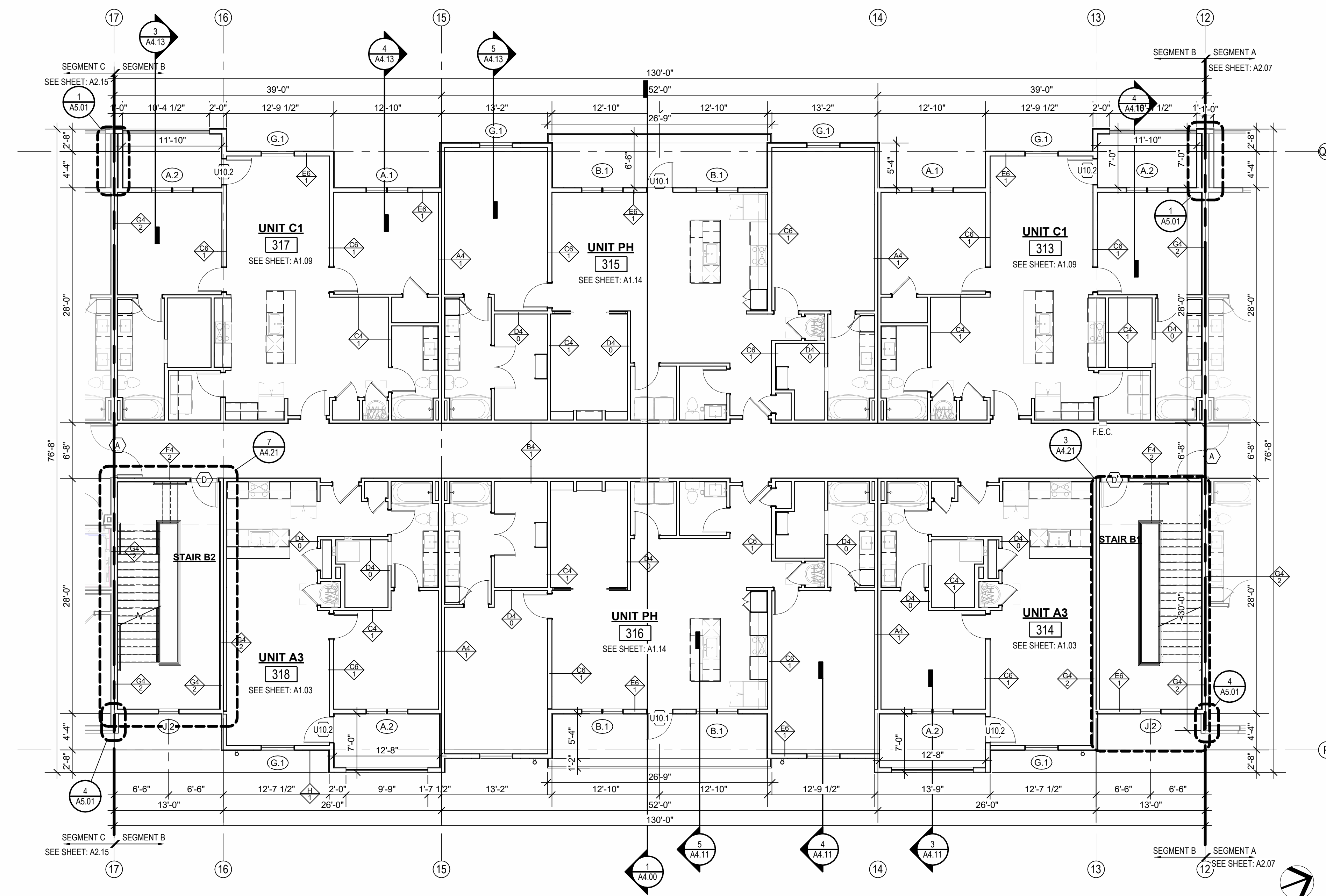
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MO

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REVISIONS:
1 23.0411 CITY COMMENTS 1
2 23.0408 ADD 1002.2

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705921
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SHEET NO.

A2.09



- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
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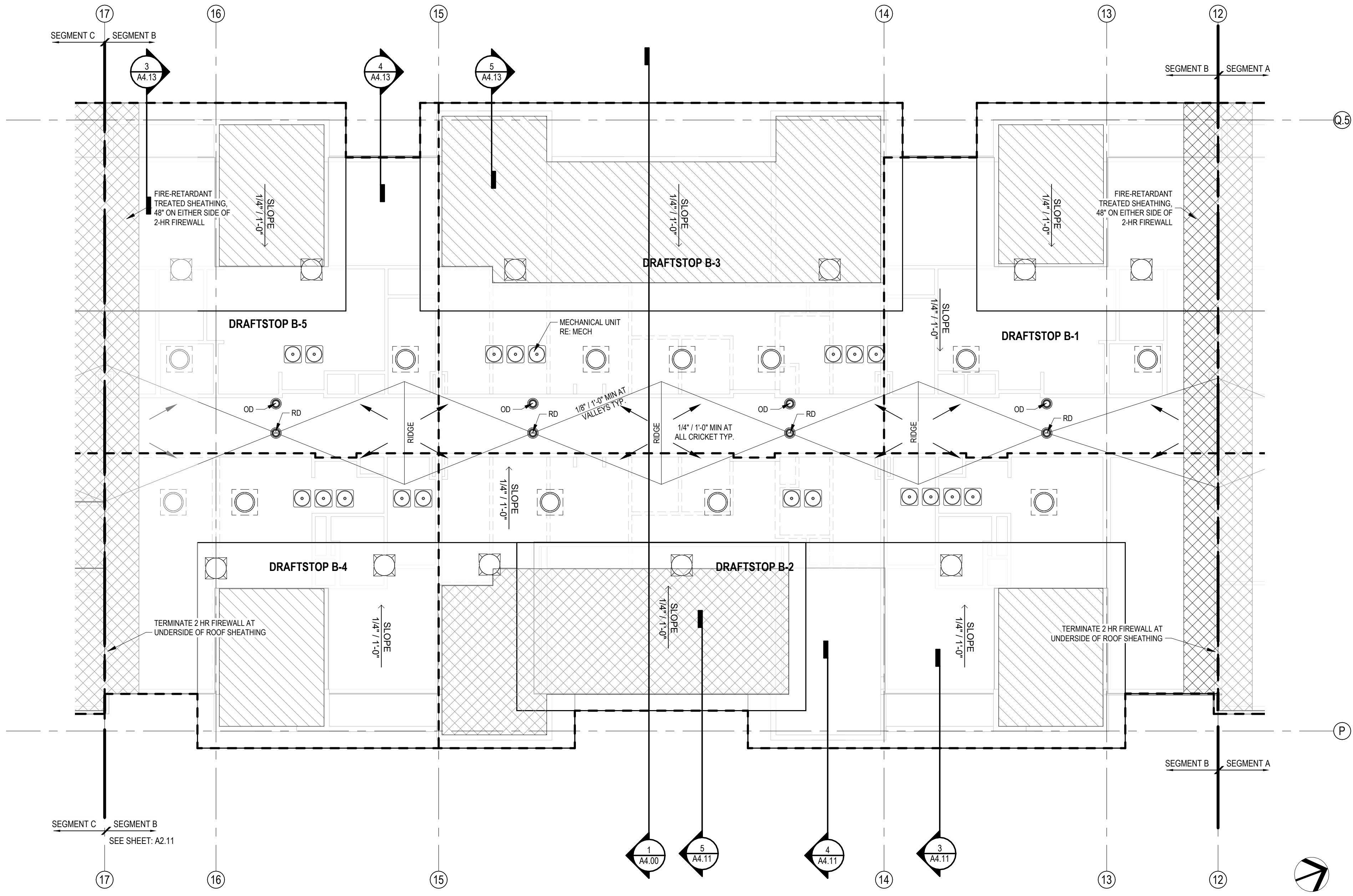
REVISIONS
5 23.05.00 AS1

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME SEGMENT B 2ND & 3RD FLOOR PLAN
SHEET NO. AS1 #1

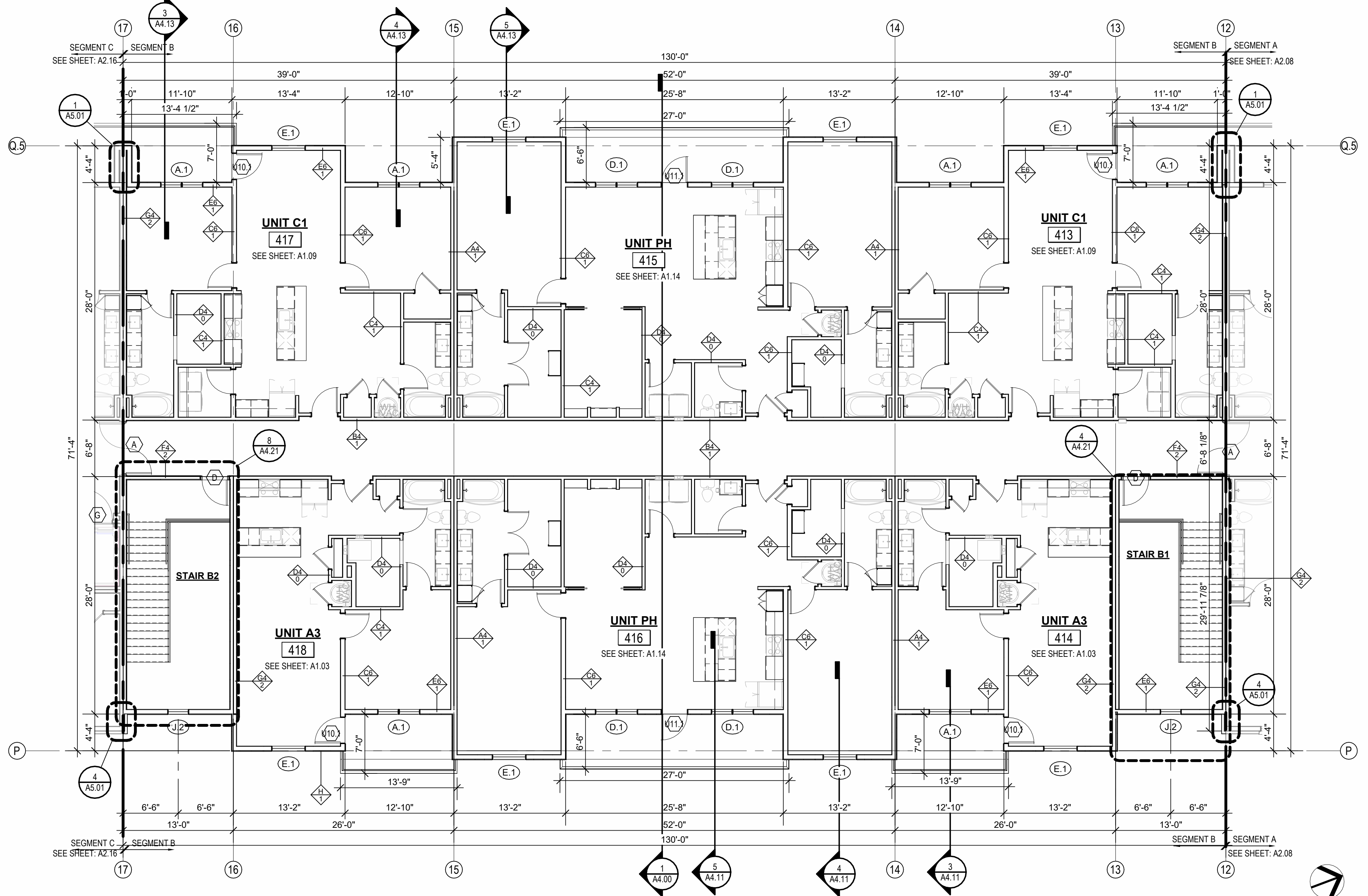
KEY PLAN - BUILDING SEGMENTS

A2.10

SEG B ROOF VENT CALCULATOR									
Name	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UPPER VENTING		LOWER VENTING		
					STATIC VENTING		STATIC VENT		
					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof	Total Net Free Area of Upper Venting Provided	Vented Net Free Area Per Lower Static Vent	Total Lower Venting Provided
DRAFTSTOP B-1	1539 SF	734 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2
DRAFTSTOP B-2	2971 SF	1426 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3
DRAFTSTOP B-3	2143 SF	1029 in²	1270 in²	40.00%	254 in²	2	508 in²	254 in²	3
DRAFTSTOP B-4	1272 SF	610 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2
DRAFTSTOP B-5	1542 SF	740 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2



2 ROOF - SEGMENT B
1/8" = 1'-0"



1 4TH FLOOR - SEGMENT B
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
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 - ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 - COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 - PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRESTOP JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ROOF PLAN GENERAL NOTES:**
- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 - ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 - ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
 - PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.
 - ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

- RAISED CEILING HEIGHT KEY**
- 11'-0" CEILING
 - 12'-0" CEILING

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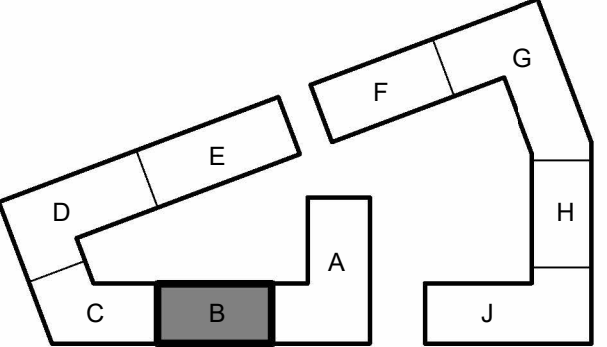
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4/11/2023

CITY COMMENTS

SHEET NAME SEGMENT B 4TH FLOOR & ROOF PLAN

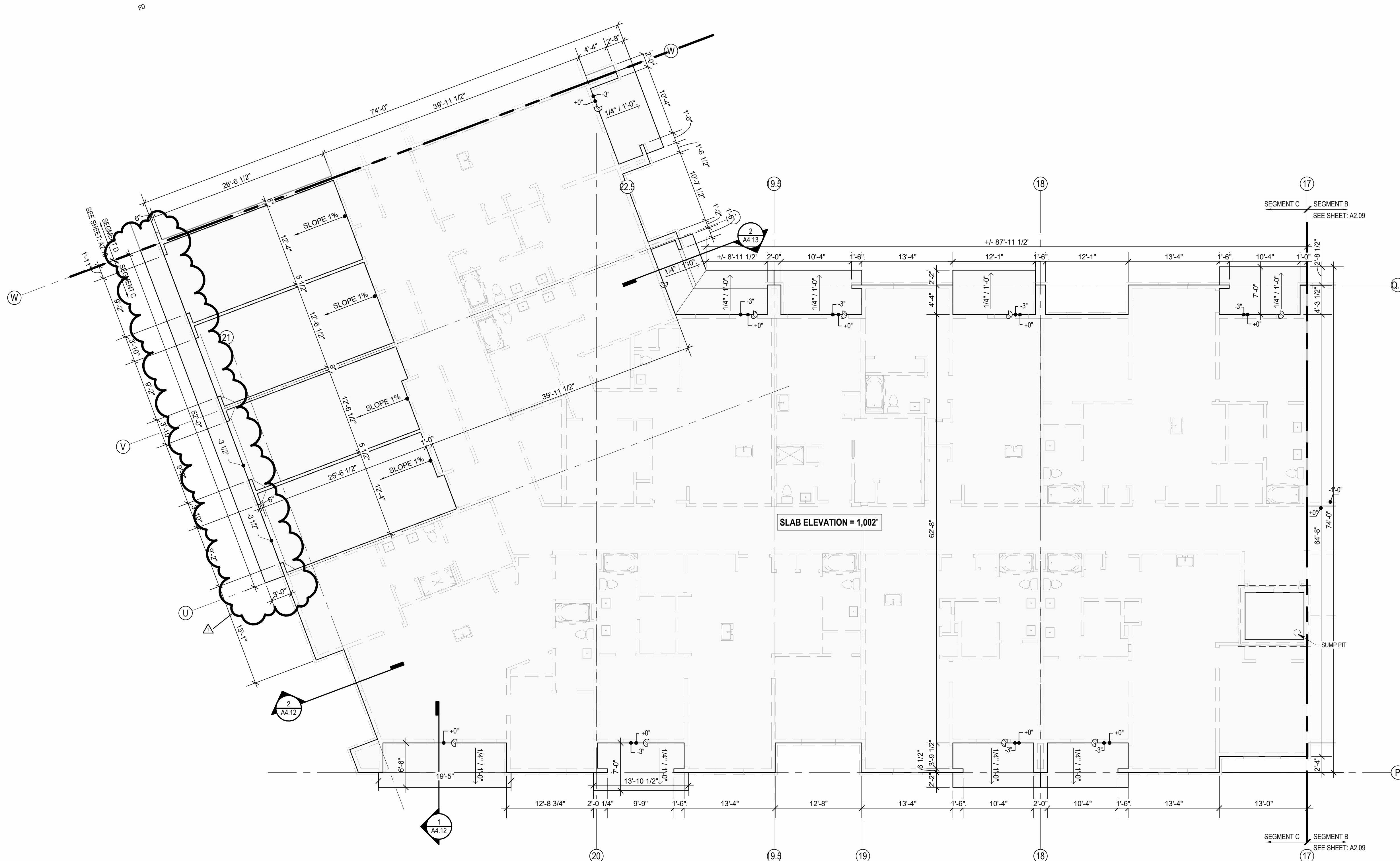
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KEY PLAN - BUILDING SEGMENTS

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1 SLAB PLAN - SEGMENT C
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4" SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST OF JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

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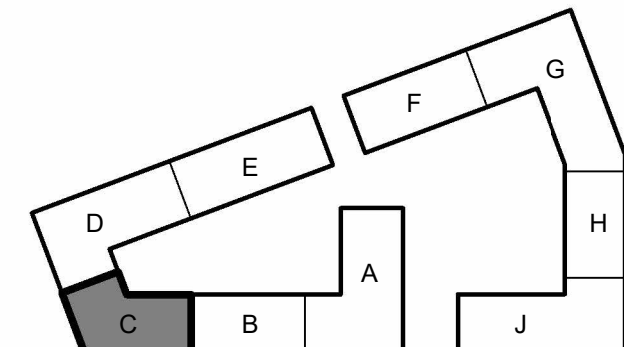
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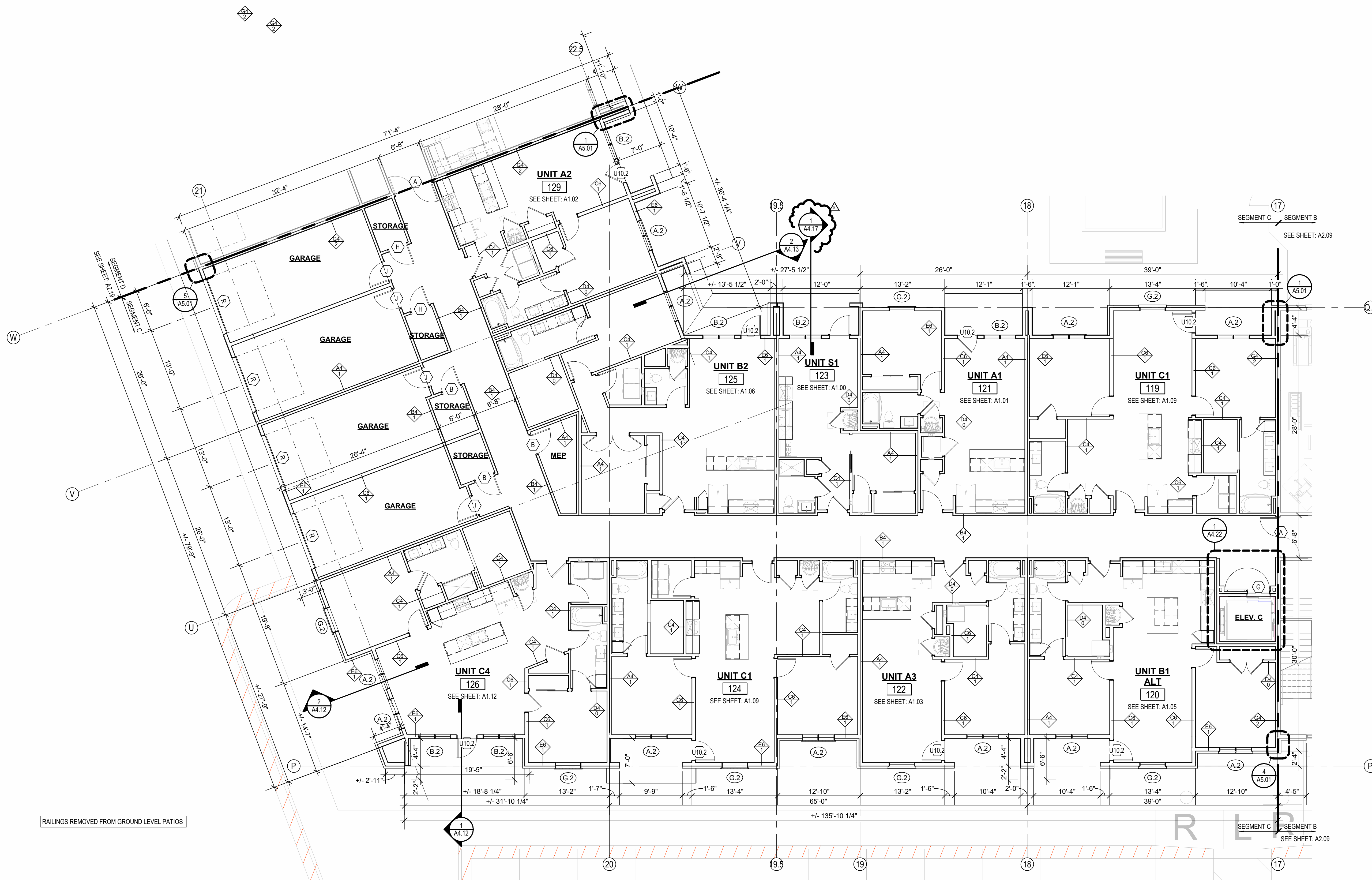
REVISIONS
1 23.0411 CITY COMMENTS 1

JOB NO.
705921
DRAWN BY
TSC/SIW
4/11/2023
CITY COMMENTS
SHEET NAME
SEGMENT C SLAB PLAN
SHEET NO.

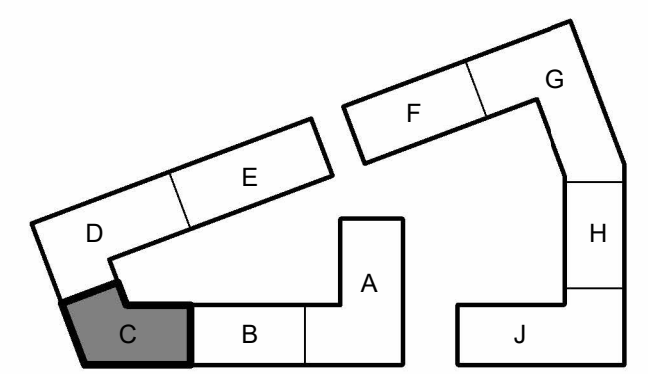
DATE
03.15.2023



A2.12



SEGMENT PLANS
1ST FLOOR - SEGMENT C
1/8" = 1'-0"

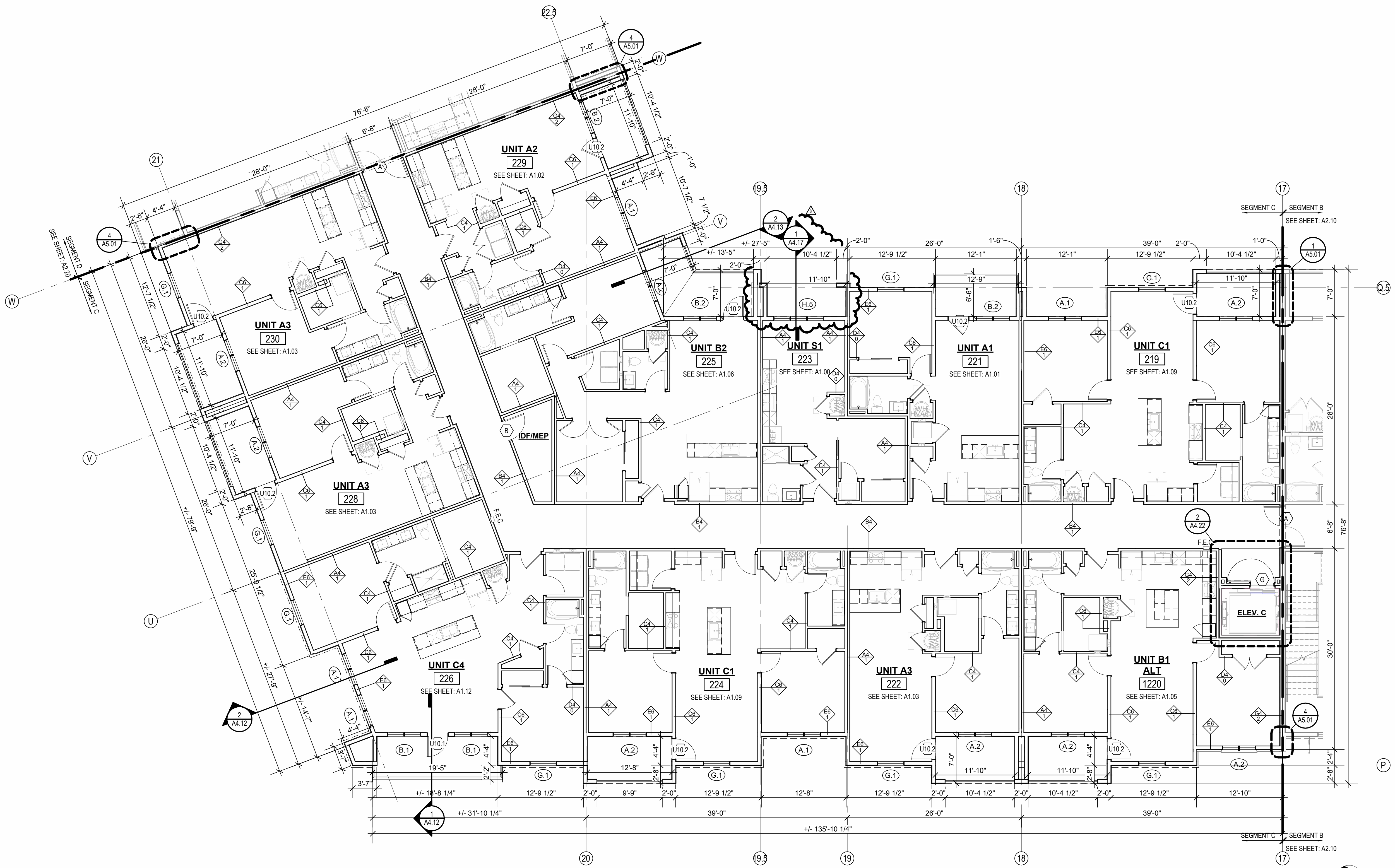


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2 23.04.2023 ADD 100% 2
3 23.06.2023 ADDENDUM 2
8 23.07.2023 ASH

JOB NO. 705921 DATE 03.15.2023
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6/9/2023
SHEET NAME SEGMENT C 1ST FLOOR PLAN
SHEET NO. A2.13



1 2ND FLOOR - SEGMENT C
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
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SEGMENT C 2ND FLOOR
PLAN
SHEET NO.

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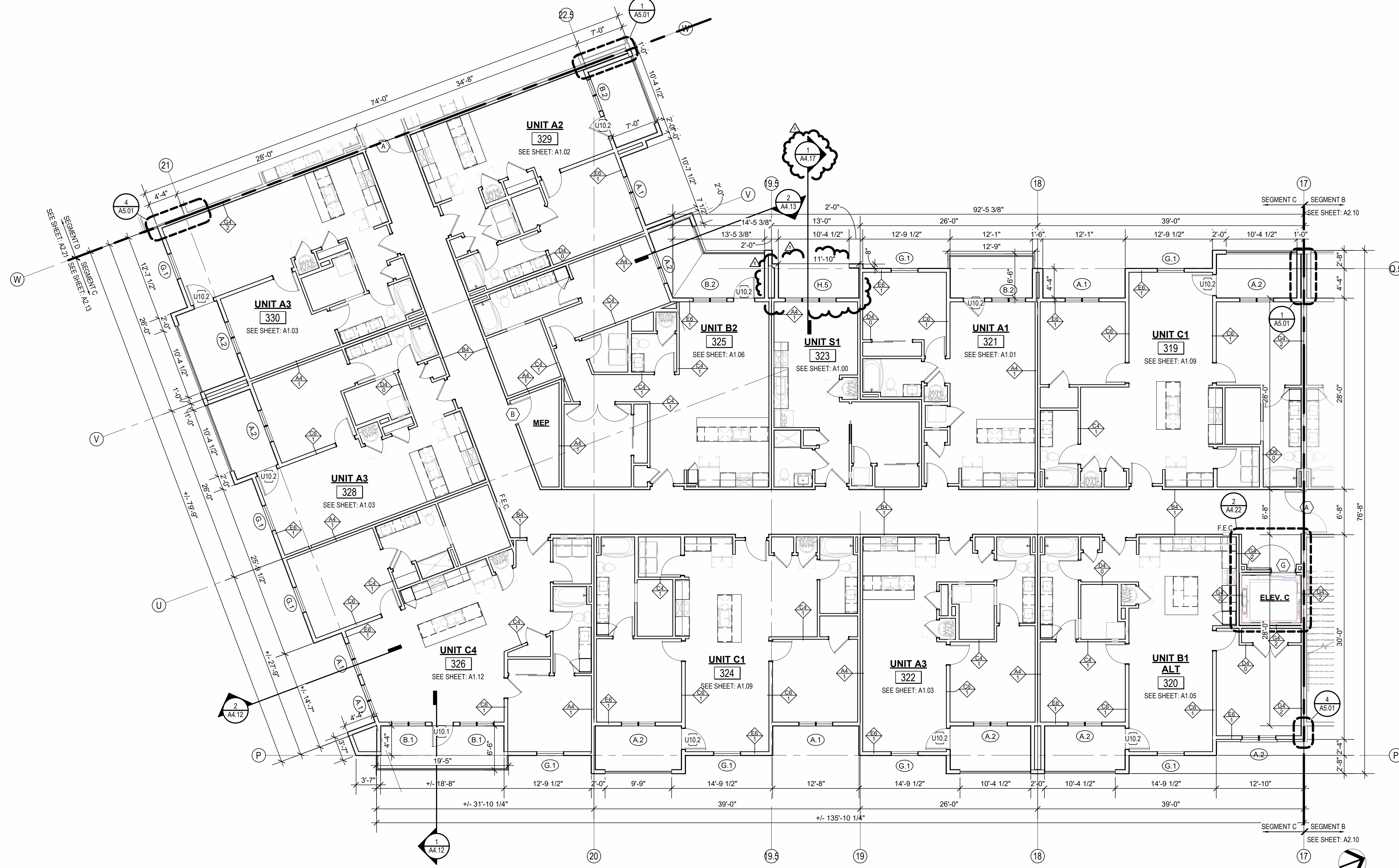
A2.14

- FLOOR PLAN GENERAL NOTES:**
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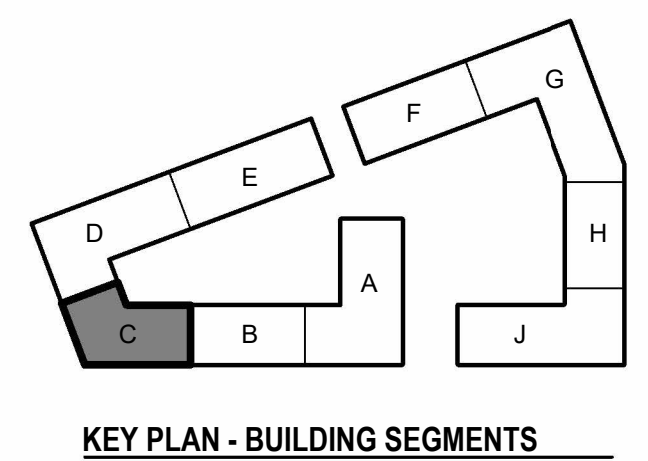
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1 3RD FLOOR - SEGMENT C
1/8" = 1'-0"



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SHEET NO.

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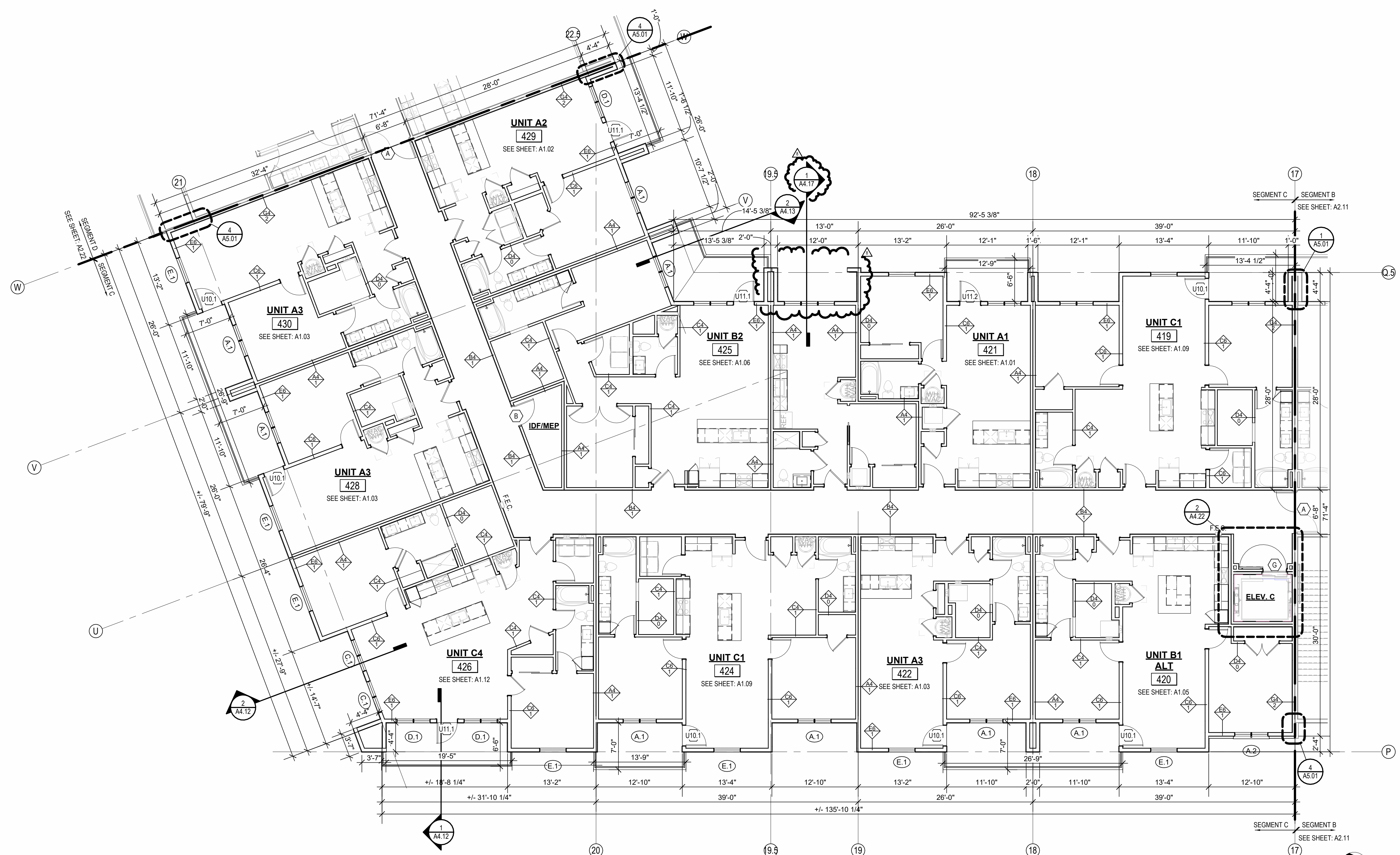
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SEG C ROOF VENT CALCULATOR									
Name	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UPPER VENTING		LOWER VENTING		
					STATIC VENTING		STATIC VENT		
					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof	Total Net Free Area of Upper Venting Provided	Vented Net Free Lower Static Vent	Total Lower Venting Provided
DRAFTSTOP C-1	1554 SF	746 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	508 in²
DRAFTSTOP C-2	2190 SF	1051 in²	1270 in²	40.00%	254 in²	2	508 in²	254 in²	762 in²
DRAFTSTOP C-3	1599 SF	798 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	508 in²
DRAFTSTOP C-4	2816 SF	1351 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	762 in²
DRAFTSTOP C-5	2853 SF	1369 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	762 in²
DRAFTSTOP C-6	1785 SF	887 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	508 in²

ROOF VENTING LEGEND

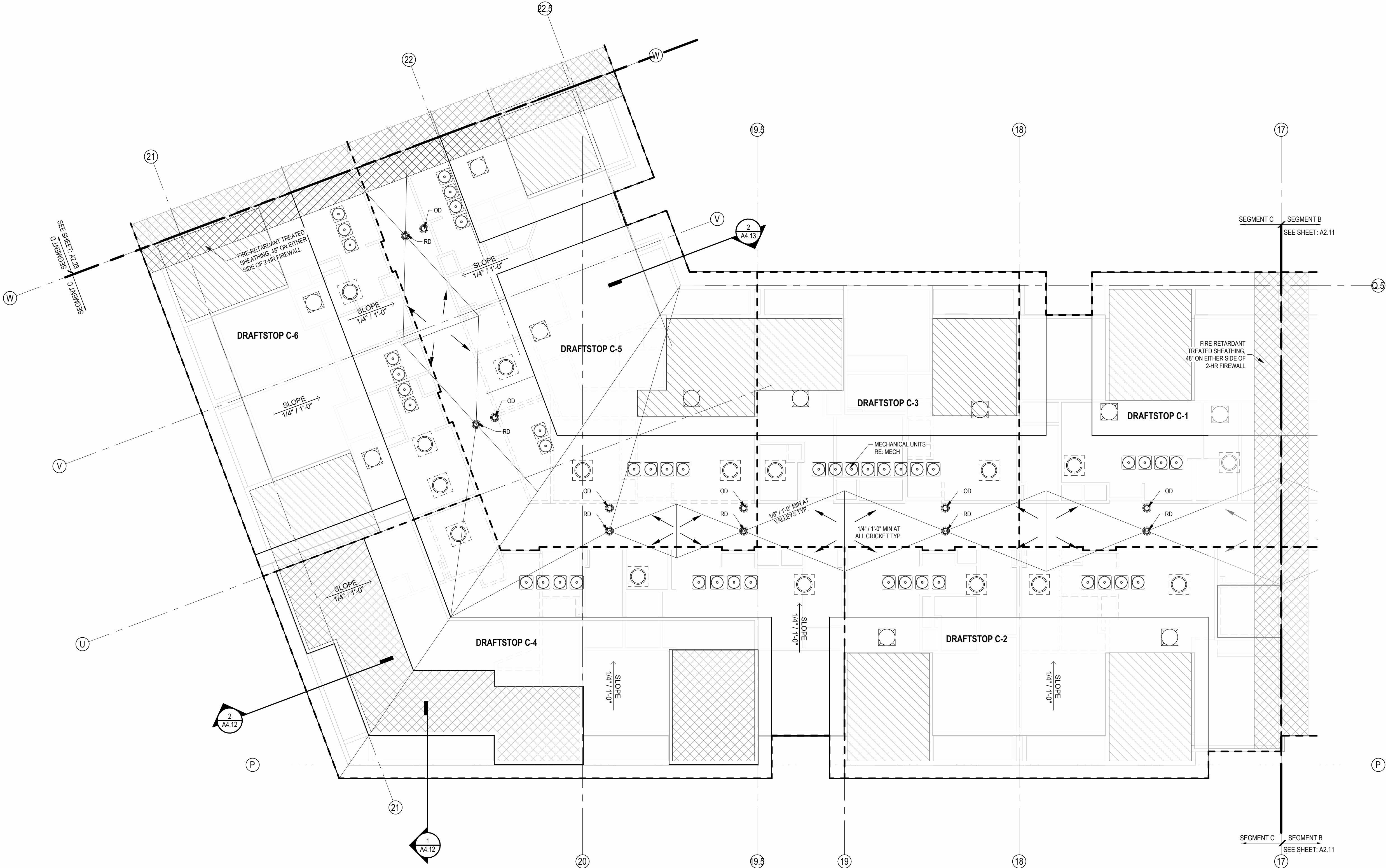
- 1

3'-0"

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT:
(LOCATIONS AS NOTED ON DRAWINGS)
- 2

3'-0"

2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT:
(LOCATIONS AS NOTED ON DRAWINGS)
- MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE.
RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.
NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEPI/ARCH OF ANY CONFLICTS



- FLOOR PLAN GENERAL NOTES:
- RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 - SEE SHEETS A0.30 AND A0.40 FOR RATED ASSEMBLIES.
 - ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1:48 SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
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- ROOF PLAN GENERAL NOTES:
- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 - ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 - ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
 - PROVIDE KICK-OUT FLASHING AT ALL SIDE WALL CONDITIONS.
 - ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

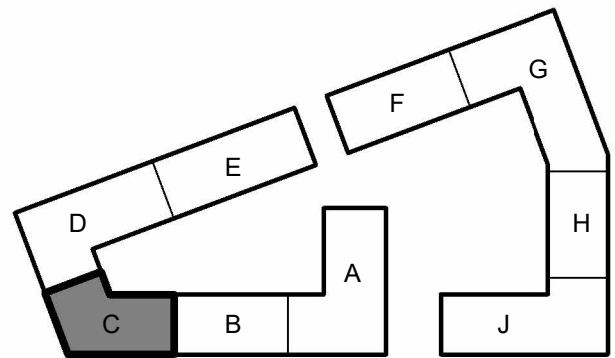
- ATTIC VENTILING REQUIREMENTS
- REQUIREMENTS PER 2018 IBC SECTION 1202.2:
MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA
- PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW
- PROPOSED ROOF VENTILATION:
LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)
HIGH: AURA ROOF VENT (254 SQ. IN. NET FREE AREA PER VENT)

- RAISED CEILING HEIGHT KEY
- 11'-0" CEILING
 - 12'-0" CEILING

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REVISIONS

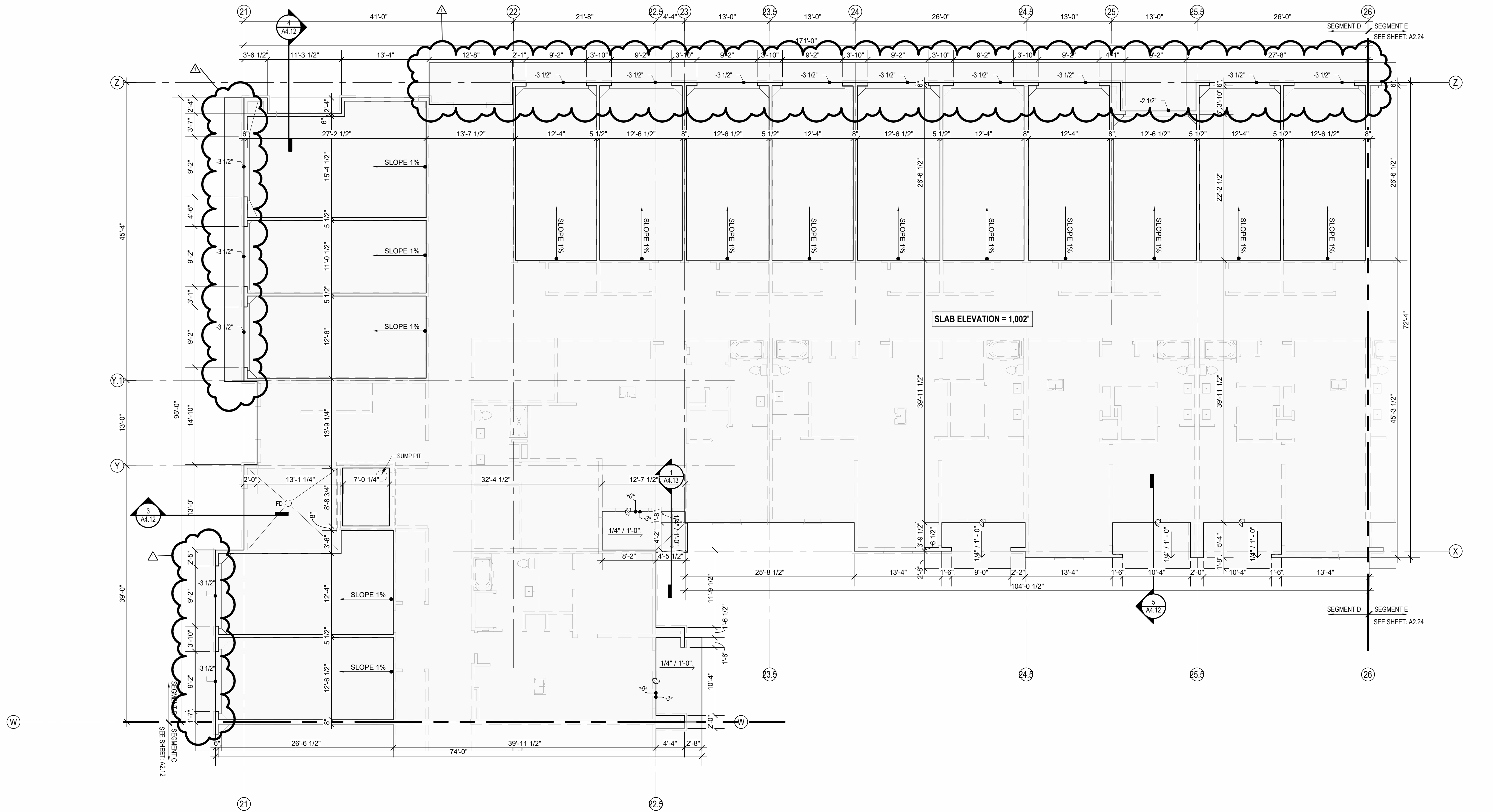
JOB NO. 705921 DATE 03.15.2023
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CITY COMMENTS
SHEET NAME SEGMENT C ROOF PLAN
SHEET NO.



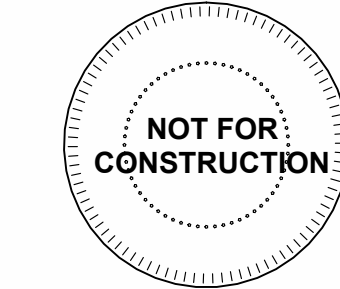
KEY PLAN - BUILDING SEGMENTS

A2.17

1 SLAB PLAN - SEGMENT D
1/8" = 1'-0"



- FLOOR PLAN GENERAL NOTES:**
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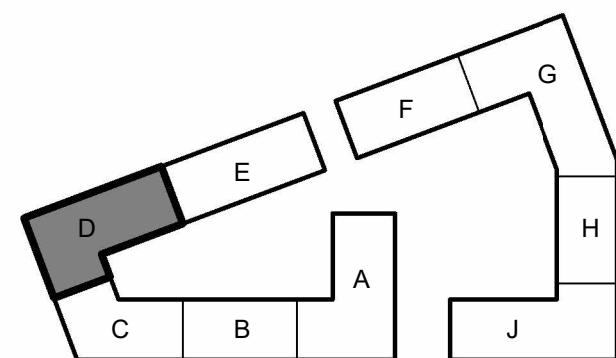
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SEGMENT D SLAB PLAN
SHEET NAME
SHEET NO.

A2.18

DATE 03.15.2023

4/11/2023

CITY COMMENTS

SEGMENT D SLAB PLAN

SHEET NO.

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JOB NO. 705921

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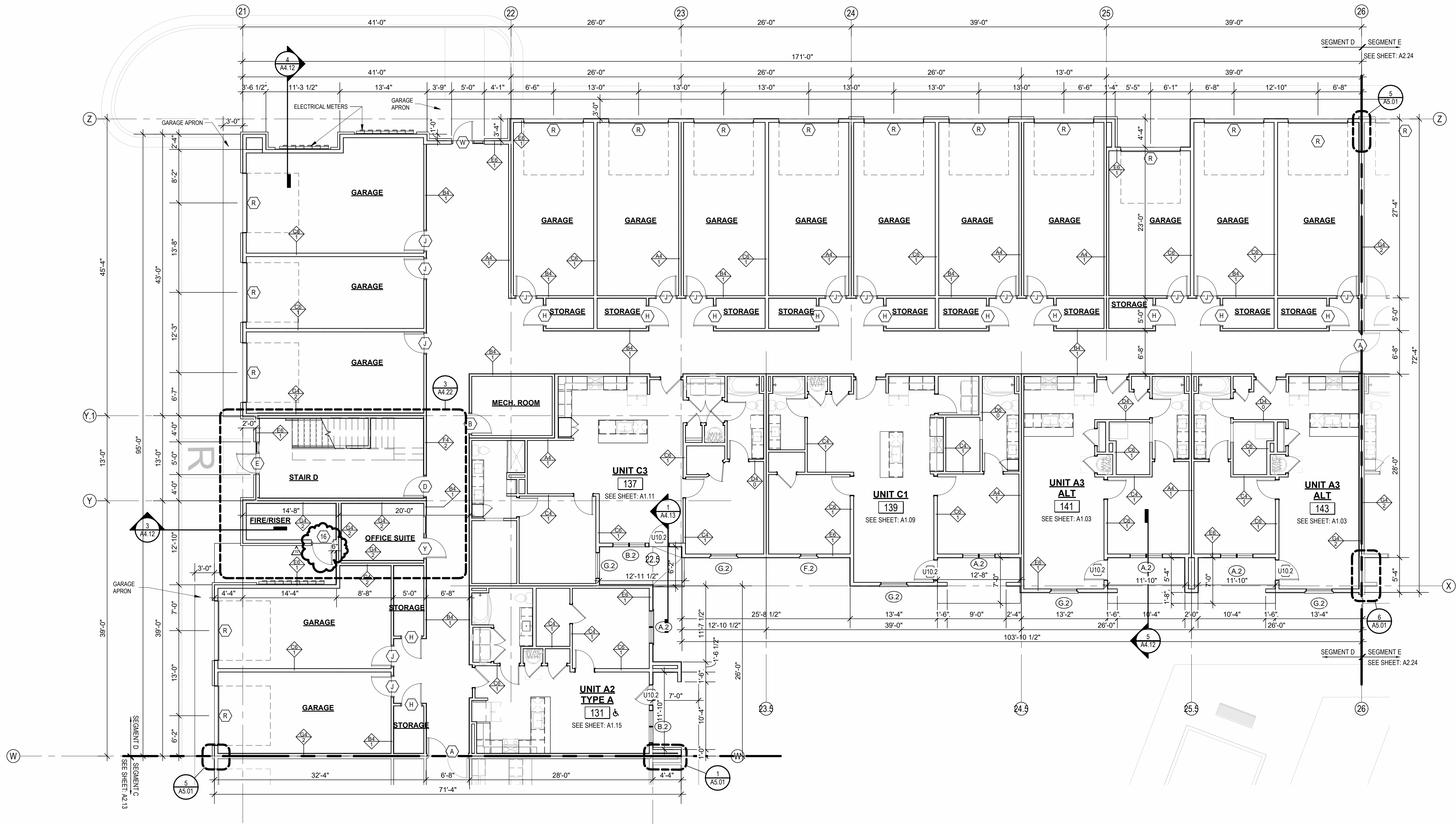
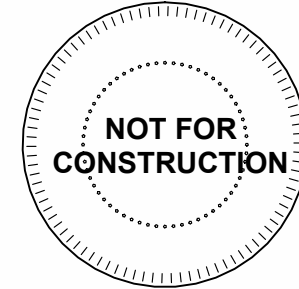
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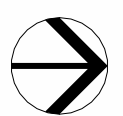
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① 1ST FLOOR - SEGMENT D
1/8" = 1'-0"



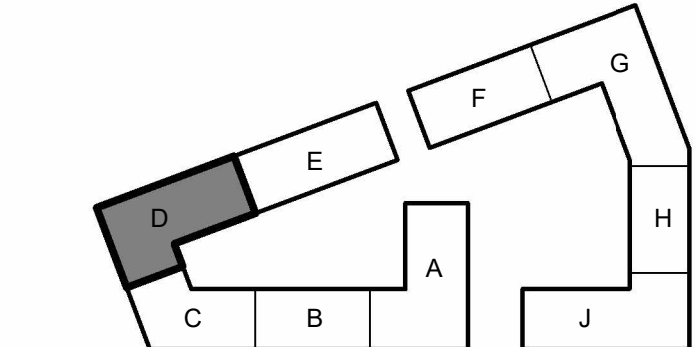
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REVISIONS		
2	23.04.08	A00 100% 2
3	23.06.11	A00 ENDUM 2
8	23.07.31	AS4
9	23.08.17	AS5
10	23.09.15	AS6



JOB NO. 705921
DRAWN BY TSC/SIW
9/15/2023
SHEET NAME SEGMENT D 1ST FLOOR
SHEET NO.

DATE 03.15.2023
AS1 #6

DATE 03.15.2023

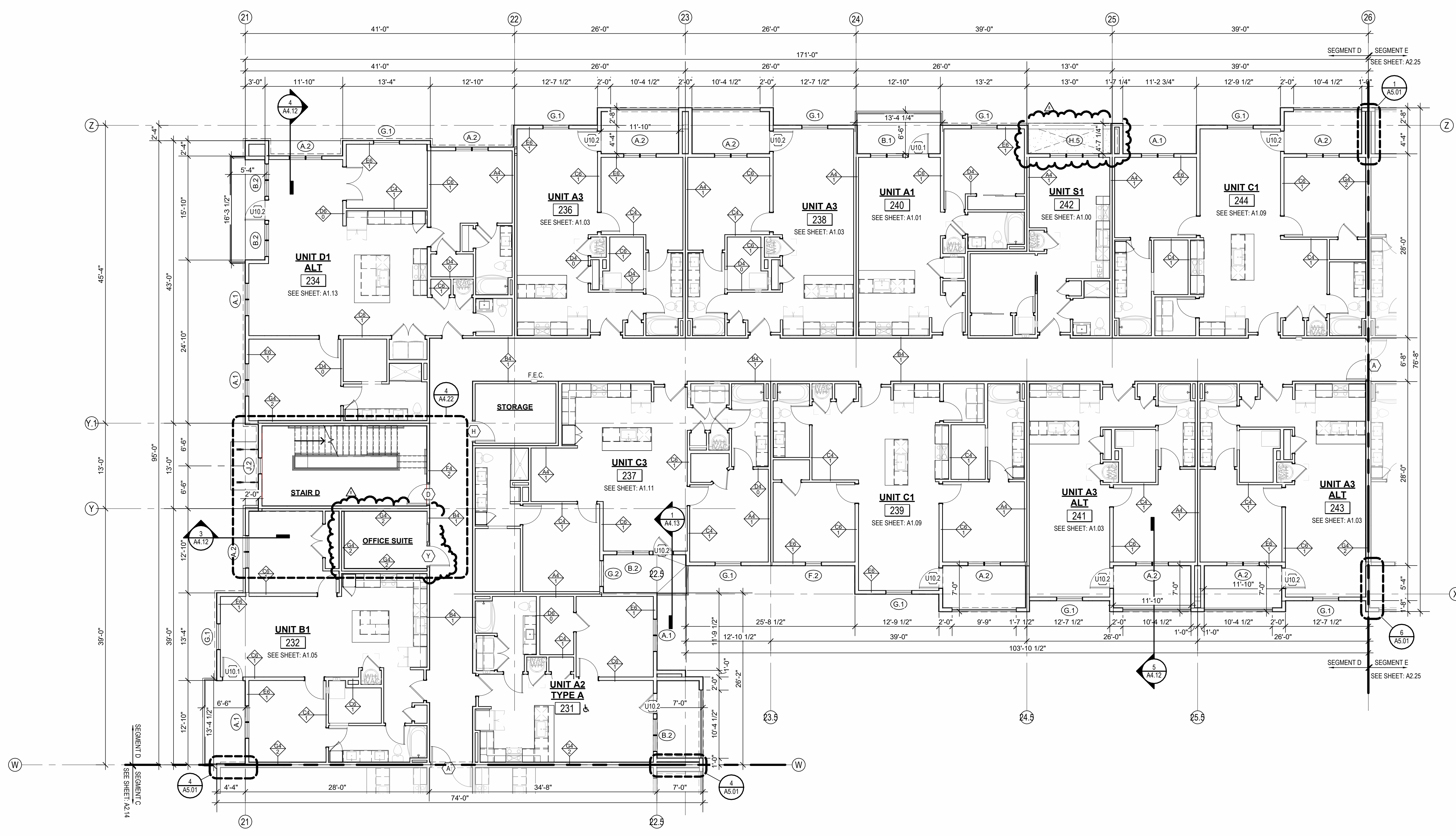
DATE 03.15.2023

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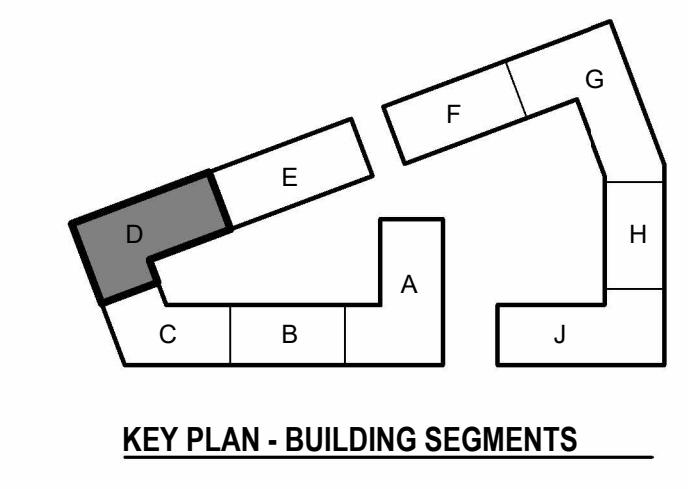
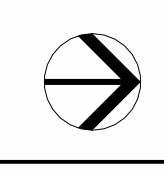
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03/15/2023 - PERMIT SUBMITTAL

REVISIONS
1 23/04/11 CITY COMMENTS 1
3 23/05/11 ADDENDUM 2
8 23/07/31 ASH

1 2ND FLOOR - SEGMENT D
1/8" = 1'-0"



JOB NO.
705921

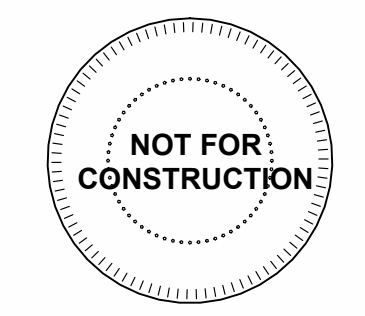
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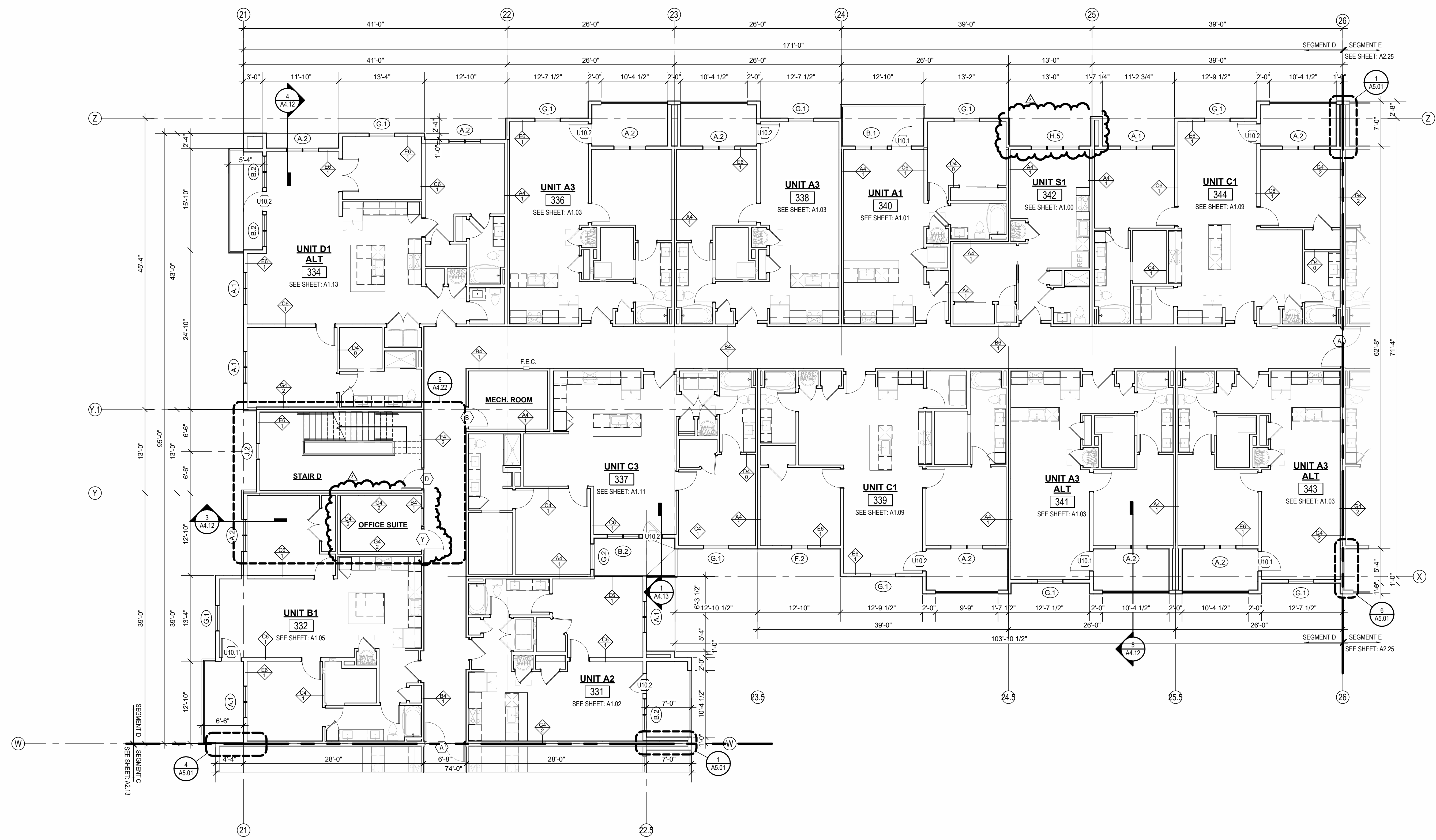
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SHEET NAME
SEGMENT D 2ND FLOOR

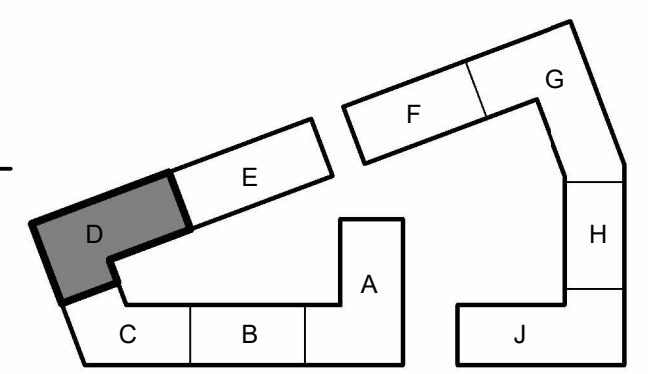
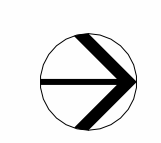
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1 3RD FLOOR - SEGMENT D
1/8" = 1'-0"



KEY PLAN - BUILDING SEGMENTS

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REVISIONS		
3	23.05.21	ADDENDUM 2
8	23.07.31	ASB 4

JOB NO.
705921
DRAWN BY
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6/9/2023
SHEET NAME
SEGMENT D 3RD FLOOR
SHEET NO.

DATE
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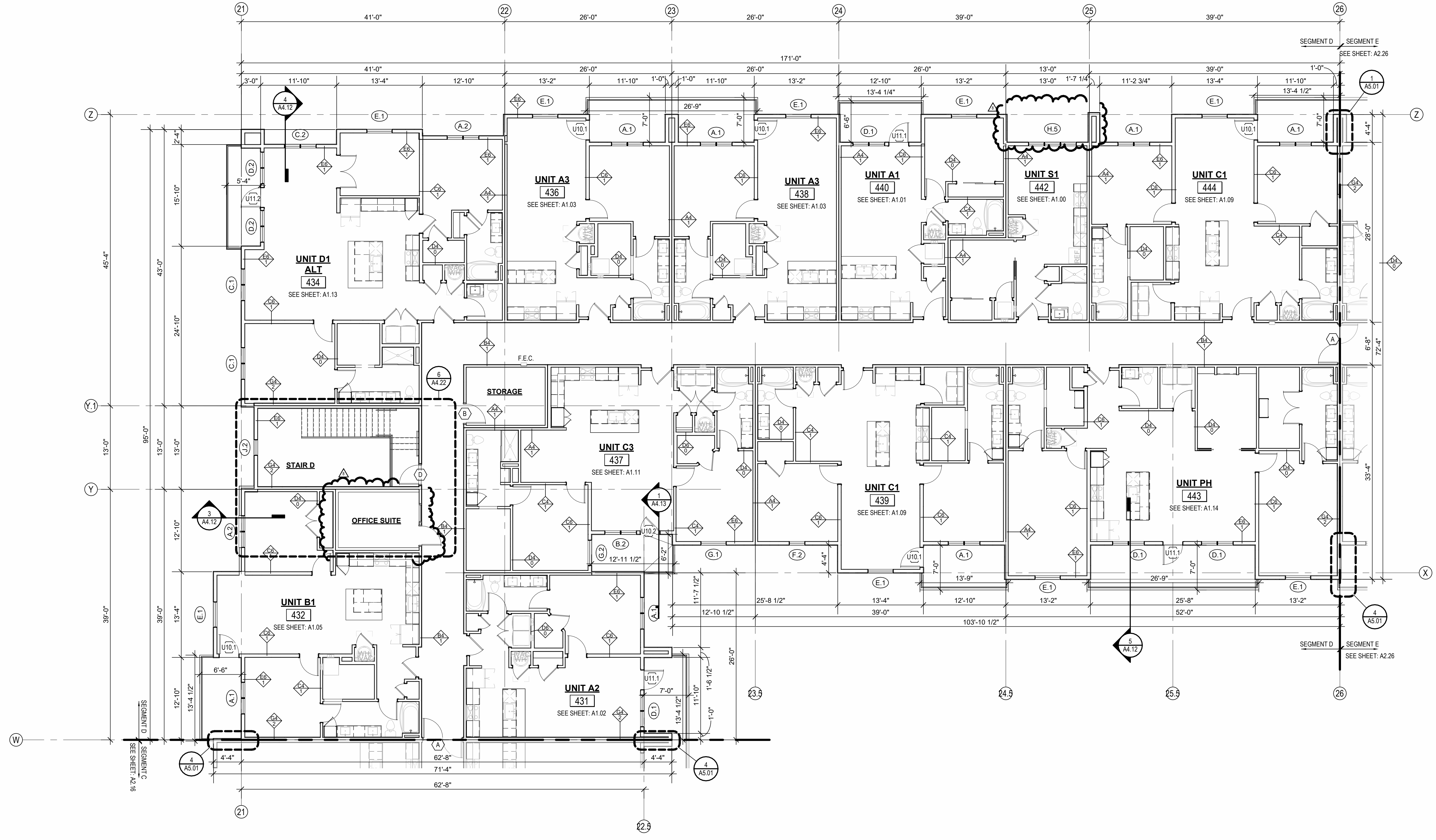
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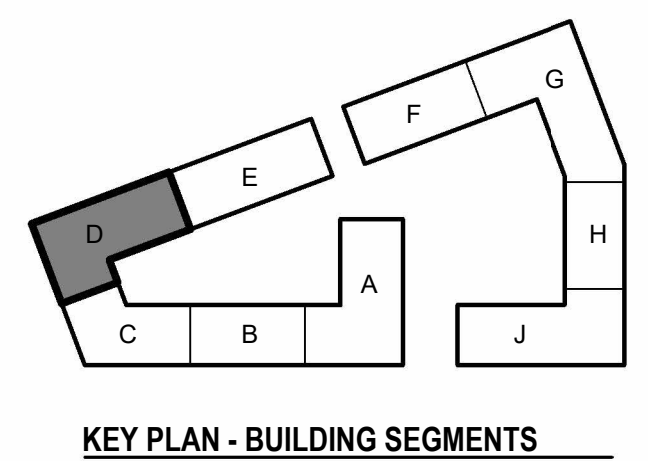
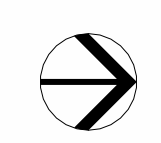
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1 4TH FLOOR - SEGMENT D
1/8" = 1'-0"



REVISIONS		
3	23.05.21	ADDENDUM 2
8	23.07.31	ASB 4

JOB NO. 705921
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME SEGMENT D 4TH FLOOR
SHEET NO. A2.22

SEG D ROOF VENT CALCULATOR										
Name	Area	Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Vented Area Percentage at Upper Roof Provided	UPPER VENTING			LOWER VENTING		
					STATIC VENTING		Total Net Free Area of Upper Venting Provided	STATIC VENT		Total Lower Venting Provided
					Vented Net Free Area Per Static Vent at Upper Roof	Vented Units Provided at Upper Roof		Vented Net Free Area Per Lower Static Vent	Static Vents Provided	
DRAFTSTOP D-1	1830 SF	782 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²
DRAFTSTOP D-2	2957 SF	1419 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²
DRAFTSTOP D-3	2035 SF	977 in²	1524 in²	50.00%	254 in²	3	762 in²	254 in²	3	762 in²
DRAFTSTOP D-4	1533 SF	736 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²
DRAFTSTOP D-5	1785 SF	857 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²
DRAFTSTOP D-6	2179 SF	1046 in²	1270 in²	40.00%	254 in²	2	508 in²	254 in²	3	762 in²
DRAFTSTOP D-7	1338 SF	642 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²
DRAFTSTOP D-8	1391 SF	620 in²	1016 in²	50.00%	254 in²	2	508 in²	254 in²	2	508 in²

ROOF VENTING LEGEND

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT:
(LOCATIONS AS NOTED ON DRAWINGS)

2. ACTIVE VENTILATION PRODUCTS, INC. "EXHAUST" AURA VENT:
(LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE. RE: MECH/MFR INFO FOR ADDITIONAL OR ALTERNATE MIN. CLEARANCES.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL HYDRANTS, AND ANY ADDITIONAL ITEMS.
*GC PLEASE ADVISE MEP/ARCH OF ANY CONFLICTS

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- ROOF PLAN GENERAL NOTES:**
- REFER TO BUILDING ELEVATIONS FOR DOWNSPOUT LOCATIONS.
 - ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
 - ALL FLAT ROOFS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - ALL CRICKETS SHALL SLOPE 1/4" PER FOOT MINIMUM.
 - PROVIDE ALL ROOFING DETAILS BY MANUFACTURER'S WARRANTED SYSTEMS.
 - PROVIDE KICK-OUT FLASHING AT ALL SIDE-WALL CONDITIONS.
 - ALL ROOFING DETAILS TO BE PER MANUFACTURER'S WARRANTED SYSTEM.

ATTIC VENTING REQUIREMENTS

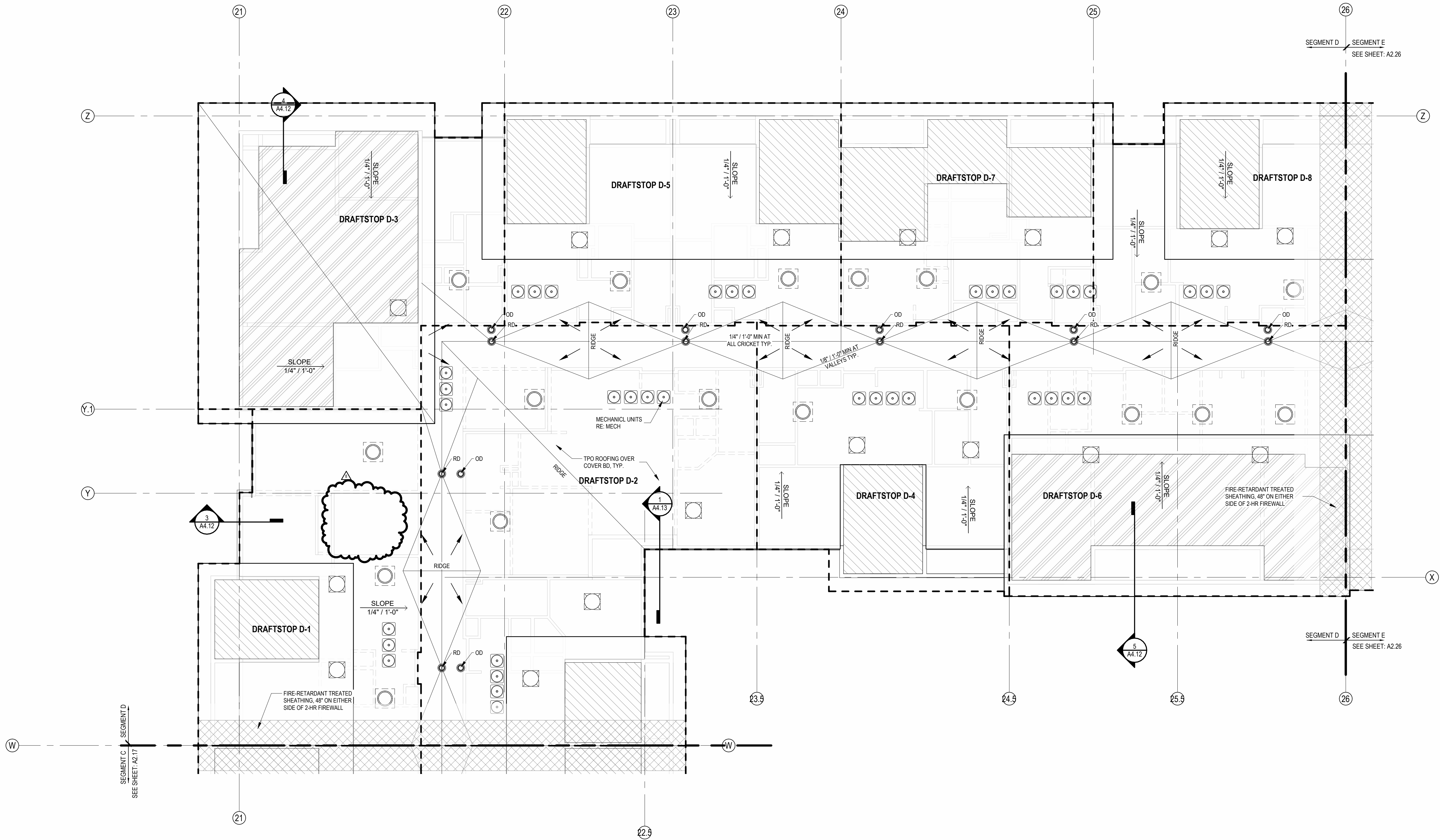
REQUIREMENTS PER 2018 IRC SECTION 1202.2:
MIN. NET FREE AREA OF ROOF VENTILATION: 1/300 ROOF AREA
PROVIDE 40%-50% VENT AREA HIGH, 50%-60% LOW

PROPOSED ROOF VENTILATION:
LOW: POP VENT INTAKE (254 SQ. IN. NET FREE AREA PER VENT)
HIGH: AURA ROOF VENT (254 SQ. IN. NET FREE AREA PER VENT)

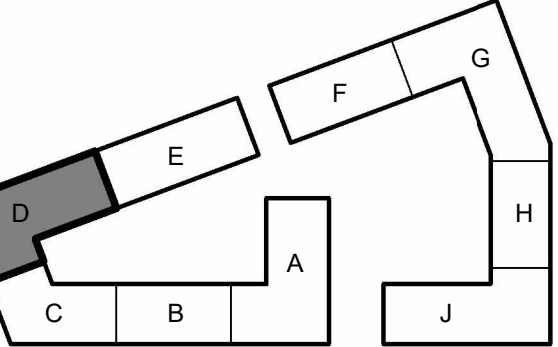
RAISED CEILING HEIGHT KEY

11'-0" CEILING

12'-0" CEILING



1 ROOF - SEGMENT D
1/8" = 1'-0"



JOB NO. 705921
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6/9/2023
SHEET NAME
SEGMENT D ROOF PLAN
SHEET NO.

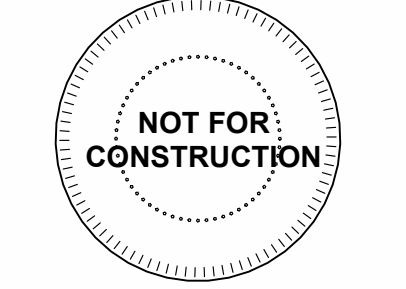
DATE 03.15.2023

A2.23

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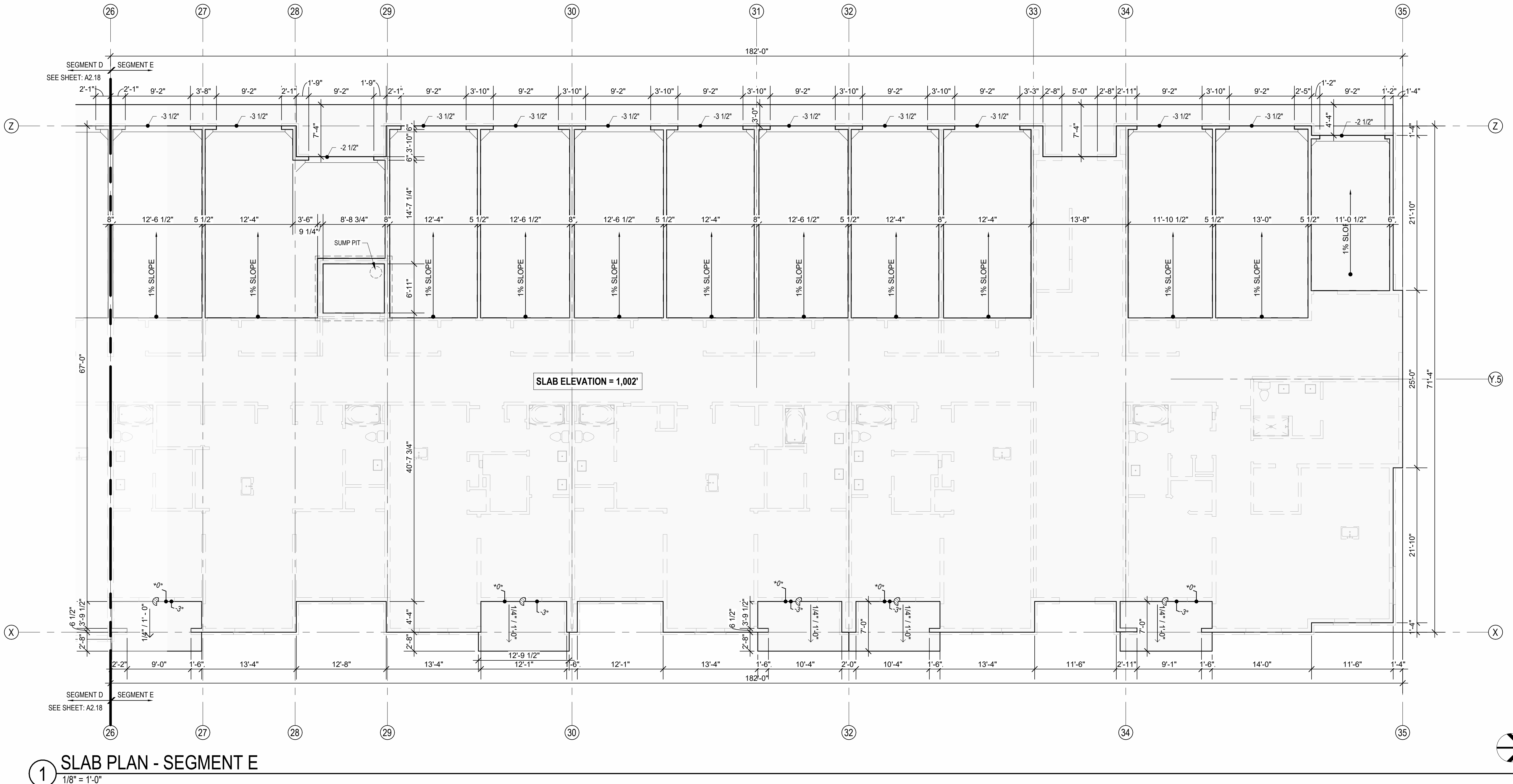
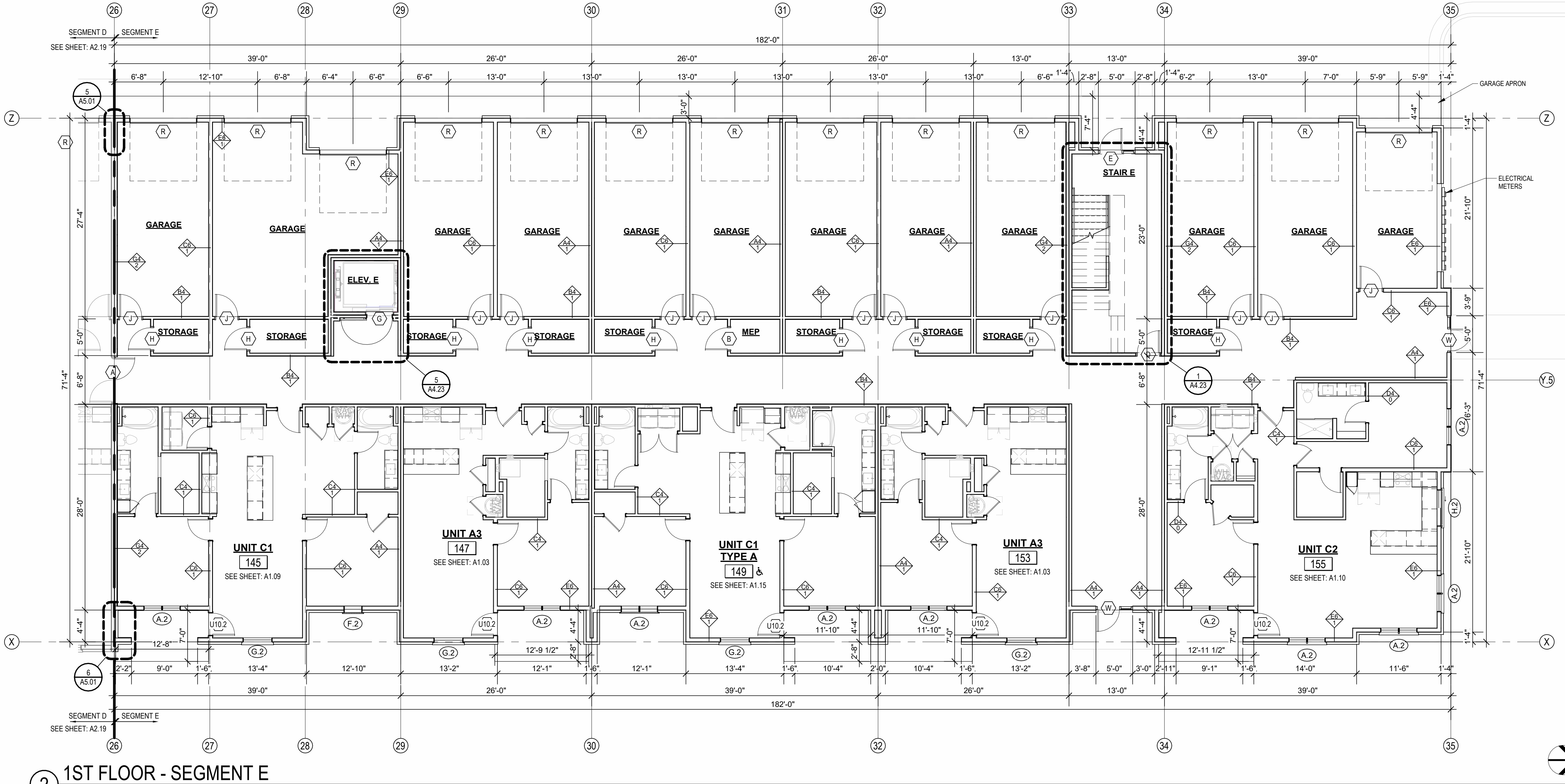


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PRAIRIE VILLAGE, KS 66208

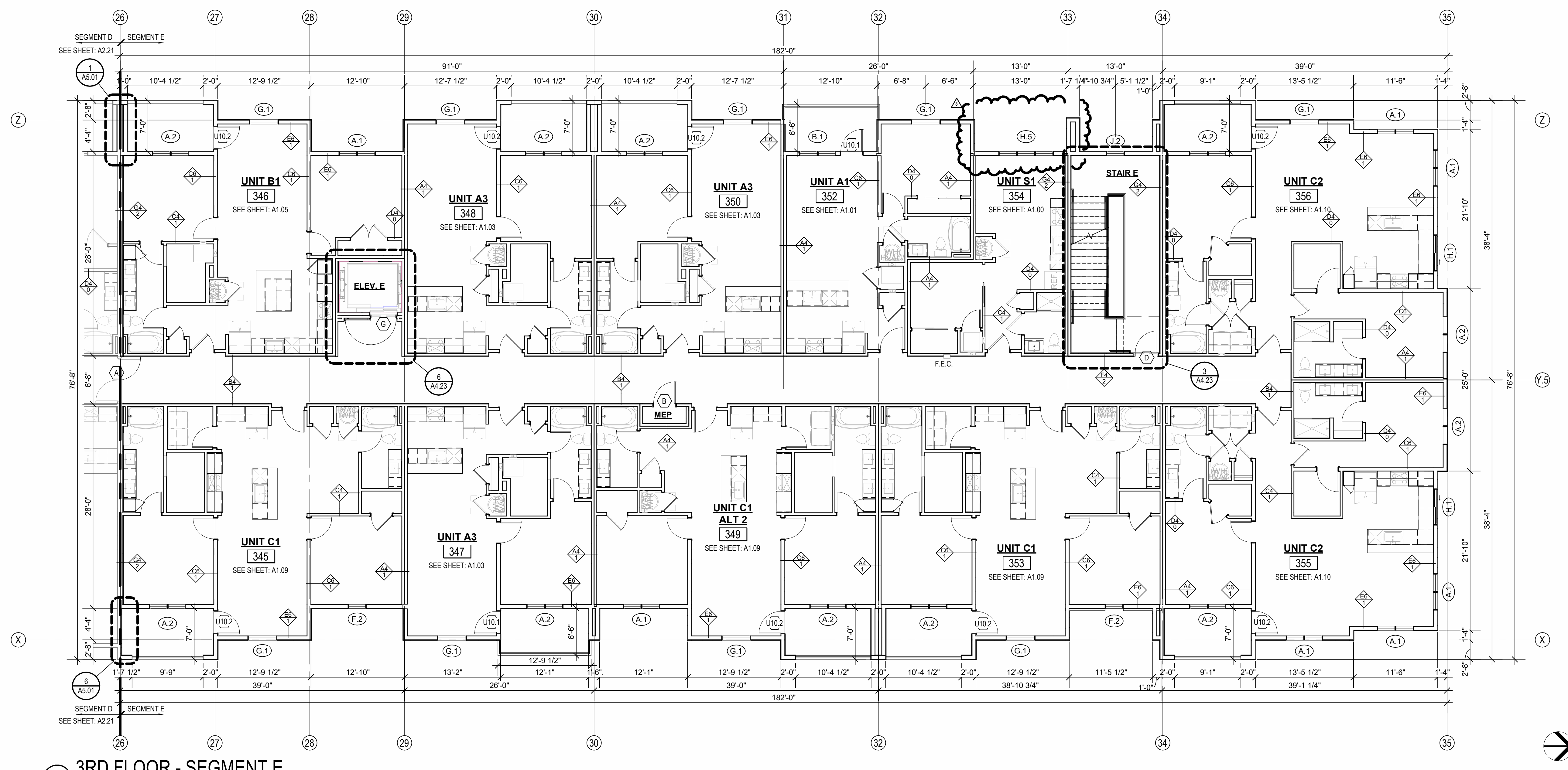
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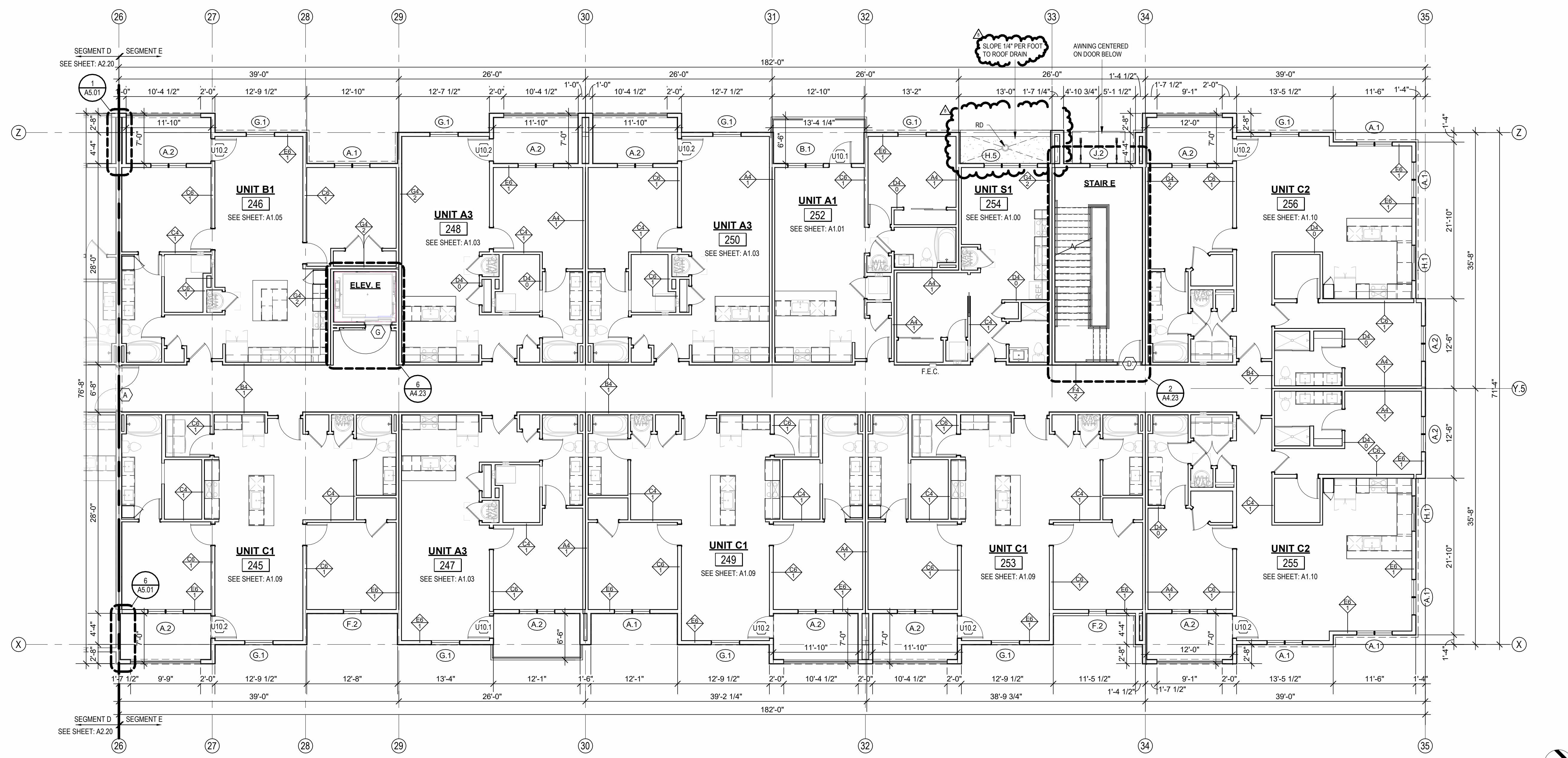
P. 913.831.1
F. 913.831.1
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ARCH E1 30' x 42' 8/10/2023 4:33:38 PM



② 3RD FLOOR - SEGMENT E
1/8" = 1'-0"



① 2ND FLOOR - SEGMENT E
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. RATED ASSEMBLY TAGS ARE TYPICAL AT SIMILAR LOCATIONS NOT OTHERWISE NOTED.
 2. SEE SHEETS A0.30 AND FOR RATED ASSEMBLIES.
 3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 1/4% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
 4. FIRE EXTINGUISHER CABINET (F.E.C.) LOCATIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE FINAL LOCATIONS TO NOT CONFLICT WITH WALL FRAMING, UTILITY ROUGH-INS, TRIMPANELING, ETC.
 5. COORDINATE SECURITY, IT & AV REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE CONDUIT AND PULL STRINGS AS NEEDED.
 6. PROVIDE VERTICAL GYPSUM BOARD CONTROL JOINTS AT 30" O.C. MAX. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY AND FIRST JOINTS AT RATED PARTITIONS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

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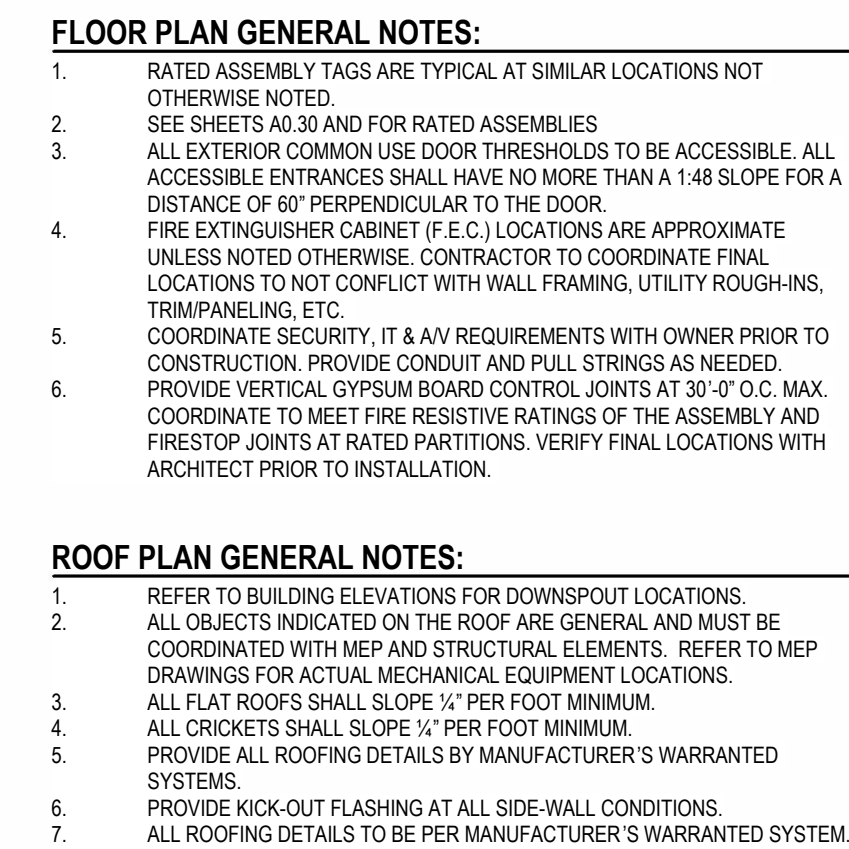
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8 23.07.31 ASI 4

JOB NO. 705921 DATE 03.15.2023
DRAWN BY TSC/SIW
6/9/2023
SHEET NAME SEGMENT E 2ND & 3RD FLOOR
SHEET NO. A2.25

KEY PLAN - BUILDING SEGMENTS



SEG E ROOF VENT CALCULATOR										
		UPPER VENTING					LOWER VENTING			
				Vented Area Percentage	STATIC VENTING		STATIC VENT			
		Total Net Free Area of Venting Required	Total Net Free Area of Venting Provided	Per Static Vent Provided	Vented Net Free Area Provided at Upper Roof	Total Net Free Area of Upper Venting Provided	Vented Net Free Area Provided at Static Vent	Static Vents Provided	Total Lower Venting Provided	
Name	Area				Upper Roof					
RAFTSTOP E-1	2823 SF	1365 n²	1524 n²	50.00%	254 n²	3	762 n²	254 n²	3	762 n²
RAFTSTOP E-2	1785 SF	881 n²	1016 n²	50.00%	254 n²	2	508 n²	254 n²	2	508 n²
RAFTSTOP E-3	2015 SF	1258 n²	1270 n²	40.00%	254 n²	2	508 n²	254 n²	3	762 n²
RAFTSTOP E-4	1746 SF	838 n²	1016 n²	50.00%	254 n²	2	508 n²	254 n²	2	508 n²
RAFTSTOP E-5	1671 SF	802 n²	1016 n²	50.00%	254 n²	2	508 n²	254 n²	2	508 n²
RAFTSTOP E-6	2207 SF	1450 n²	1524 n²	50.00%	254 n²	3	762 n²	254 n²	3	762 n²

ROOF VENTING LEGEND

1. ACTIVE VENTILATION PRODUCTS, INC. "INTAKE" POP VENT:
(LOCATIONS AS NOTED ON DRAWINGS)

MAINTAIN 36" CLEAR FROM POP VENT CAP TO ADJACENT
CONDENSING UNITS, TYP. WHERE REQUIRED FOR MAINTENANCE.
RE: MECHHIMF INFO FOR ADDITIONAL OR ALTERNATE MIN.
CLEARANCES.

NOTE: COORDINATION W/MEP LOCATION OF CURB INLETS, WALL
HYDRANTS, AND ANY ADDITIONAL ITEMS.

GC PLEASE ADVISE MEP ARCH OF ANY CONFLICTS

SEGMENT D SEGMENT E
SEE SHEET: A2.22

UNIT B1 446
SEE SHEET: A1.05

ELEV. E

UNIT A3 448
SEE SHEET: A1.03

UNIT A3 450
SEE SHEET: A1.03

UNIT A1 452
SEE SHEET: A1.01

UNIT S1 454
SEE SHEET: A1.00

STAIR E

UNIT C2 456
SEE SHEET: A1.10

UNIT C1 445
SEE SHEET: A1.09

UNIT A3 447
SEE SHEET: A1.03

UNIT C1 ALT 2 449

UNIT C1 453
SEE SHEET: A1.09

UNIT C2 455
SEE SHEET: A1.10

SEGMENT D SEGMENT E
SEE SHEET: A2.22

A diagram of a building layout with rooms labeled A through J. Room E is shaded gray. The layout is as follows: Room A is at the bottom center. To its left are rooms B and C. Above B and C are rooms D and E. To the right of E is room F, which is above room G. To the right of G is room H. Below H is room J. Room E is shaded gray.