

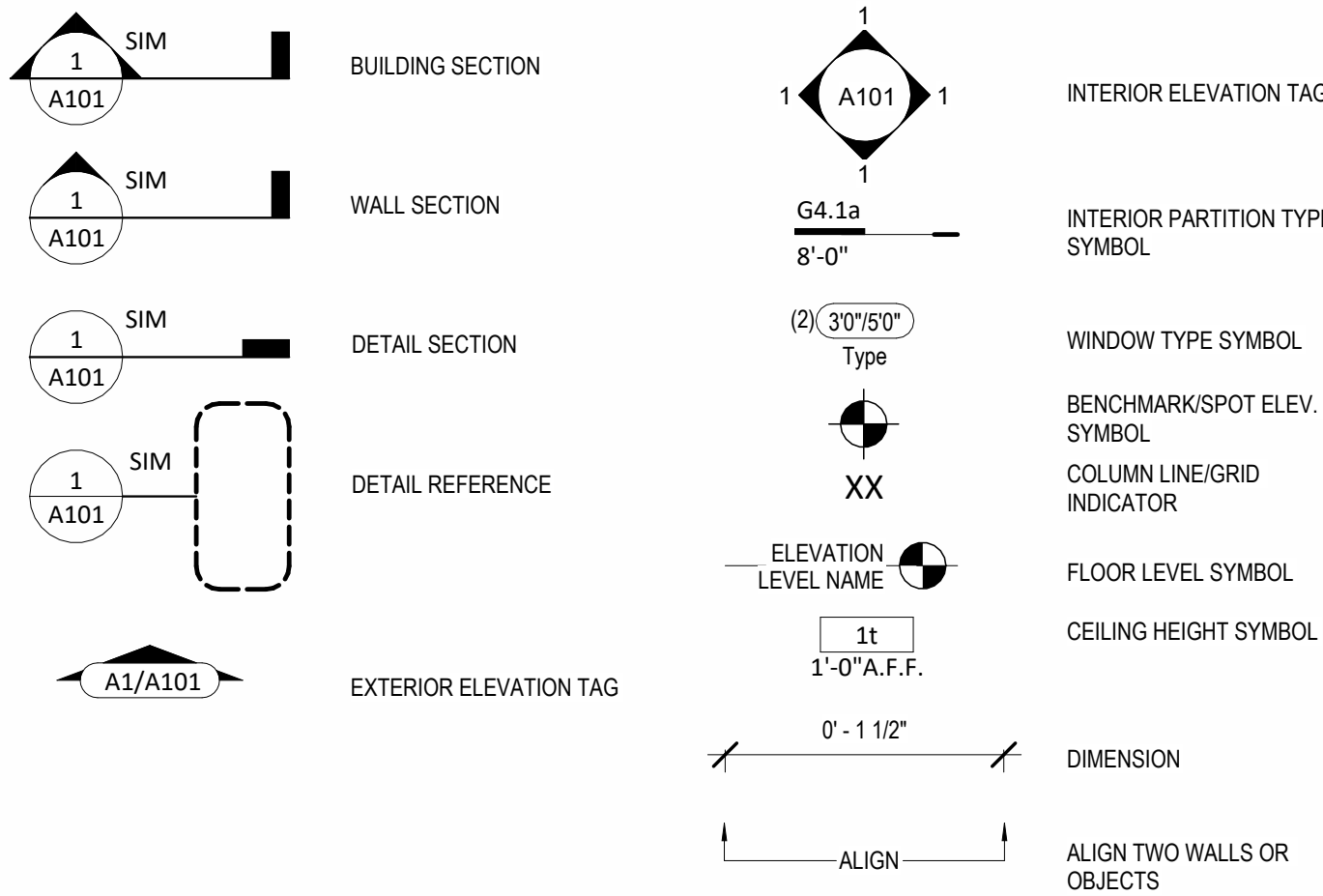
# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082



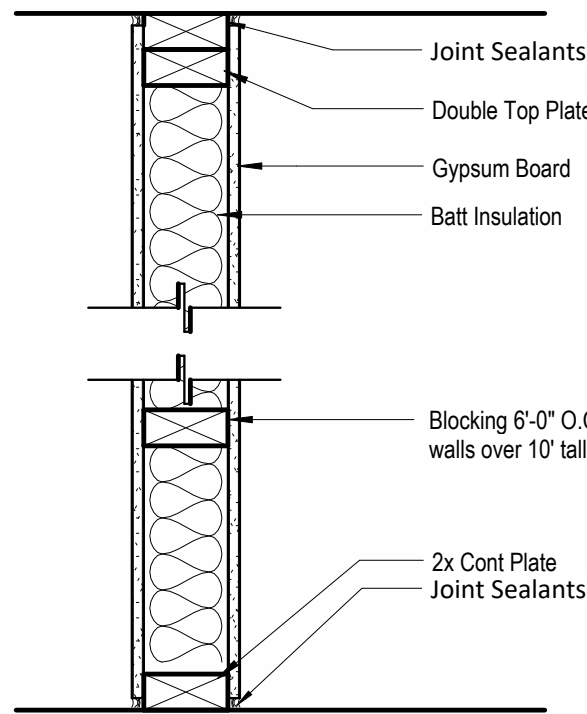
## Sheet List

- A0 Foundation Plan
- A1 Floor Plan - Main Level
- A2 RCP/Electrical Plan
- A3 Elevations
- A3.B Elevations
- A4 Building Sections
- A4.B Building Sections
- A5 Details
- A6 Details
- A7 Grading Options
- A8 Cabinet Layout



## Interior Partition Types

- NOTES:
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
  2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
  3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
  4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

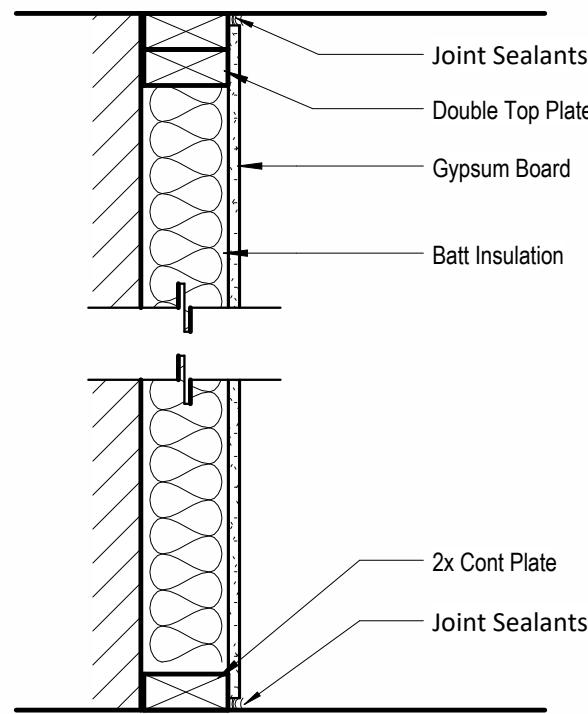


PARTITION SYSTEM:  
GYPSUM WALL BOARD PARTITION

G

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G4.1	G4.L	G6
BASE PARTITION THICKNESS	4.5"	4.5"	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"	16"	16"
STUD SIZE	2x4	2x4	2x4	2x6
GWB THICKNESS	1/2"	5/8"	5/8"	1/2"
JOINT SEALANTS	No	No	No	No
INTERIOR LOAD BEARING WALL	No	No	Yes	No
FIRE RATING (HRS)	-	1	-	-
FIRE TEST NUMBER	-	U314	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-	-	-
FIRE RESISTIVE JOINTS	-	-	-	-
ACOUSTIC RATING (STC)	-	-	-	-
ACOUSTICAL TEST NUMBER	-	-	-	-
INSULATION	No	Yes	No	No
ACOUSTICAL JOINTS	-	-	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #3	* SEE NOTE #3	* SEE NOTE #4

- NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

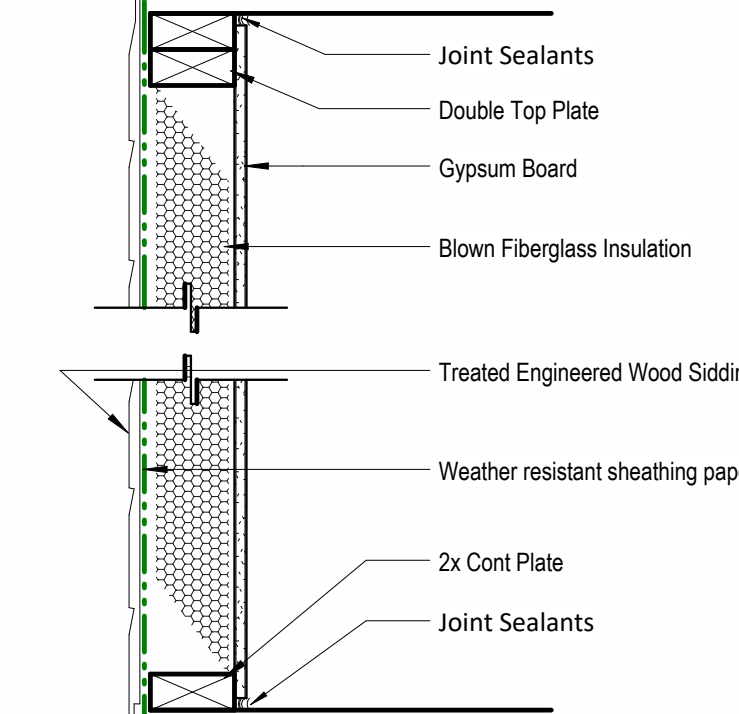


PARTITION SYSTEM:  
GYPSUM FURRING PARTITION

F

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

- NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:  
Exterior Partition

E

PARTITION IDENTIFICATION PLAN SYMBOL	E4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	Yes
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	Yes
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

## General Information

Energy Efficiency Certificate					
Insulation Rating		R-Value		R-Value	
Ceiling/Roof		R- 49 MIN		R- 30 MIN*	
Walls	Frame	R- 13 MIN		Mass	
	Basement	R- 13 MIN		Crawl space	
	Over unconditioned space	R- 19 MIN		Slab edge	
Floors	Attic		Other		For 2 or fewer
Ducts		R- 8 MIN		R- 6	
Air Leakage Test Results					
Blower door	3 MAX	ACH50 Pa.	Duct testing	4 MAX	Cfm/100 ft²
Fenestration Rating		NFRC U-Factor		NFRC SHGC	
Window	U-	35	40		
	U-	50			
Opaque door		U-	55		
Skylight		U-	55		
Equipment Performance		Type		Efficiency	
Heating system		Fuel Fired Furnace	80%	AFUE	
Cooling system		Central Air	13	SEER	
Water heater		Electric	0.92	EF	
Indicate if the following have been installed (an efficiency shall not be listed)					
<input type="checkbox"/> electric furnace		<input type="checkbox"/> gas-fired unvented room heater		<input type="checkbox"/> baseboard electric heater	
Designer/builder		Elevate Design + Build			
Code edition		IRC 2012 - Performance		Date: 2022/10/12	

\* Where the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required can be reduced to this value. This reduction of insulation from the requirements shall be limited to 500 SqFt or 20% of the total insulated ceiling area (whichever is less).

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection -- Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018  
Ground Snow Load: 20PSF  
Wind Speed: 90mph  
Topography Effects: No  
Seismic Design Category: A  
Damage From Weather: Severe  
Frost Line Depth: 36 inches  
Termites: Moderate to Heavy  
Winter Design Temperature: 6 F  
Ice Barrier Underlayment: Yes  
Flood Hazard:  
Air Freezing Index: 1,500 or less  
Mean Annual Temperature: 55 F

1. Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 3 air changes per hour (at ACH50 standard R303.4).
2. Carbon monoxide detectors required (R315)
3. Steel columns shall be minimum schedule 40 (R507.2)
4. Deck Ledger attachment to house shall be per Tables 507.9.1.3.
5. New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
6. Programmable thermostat required (N1103.1.1)
7. Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
8. Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
9. Certain hot water pipes shall be insulated (N1103.4)
10. All exhaust fans shall terminate to the building exterior (M1507.2)
11. Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
12. Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
13. An air handling system shall not serve both the living space and the garage (M1601.6)
14. A concrete-Encased grounding electrode (UFER Ground) connection complies with the requirements of the 2012 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
15. Compliance with the requirements and show connection as needed for roof beam, truss, rafter, and girder connections for uplift per IRC 802.11
16. Garage Door Rating: DASHA 90 MPH Rated



Original Issue Date: Permit Set  
2022/10/12

## REVISIONS

Number Description Date

2018 IRC BUILDING CODE COMPLIANCE  
THESE DRAWINGS HAVE BEEN PREPARED WITH  
RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC  
2017 ANY REFERENCES FOUND NOT CORRECTLY  
IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO  
THE ATTENTION OF THE DESIGN PROFESSIONAL

## Permit Set

PLAN DESCRIPTION: Greystone

00

Project No.

Project Number

Lot 176 - Hook Farms  
2615 SW Barley Field Dr,  
Lees Summit MO 64082





**22615 SW Barley Field Dr,  
Lees Summit MO 64082**

A circular professional seal for Aaron A. Brown, a Registered Architect in the State of Missouri. The seal features the text "STATE OF MISSOURI" at the top, "AARON A. BROWN" in the center, "NUMBER A-7215" below the name, and "REGISTERED ARCHITECT" at the bottom. A stylized signature is written over the seal.

## Foundation Plan

Project No.

Project Number  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICE  
LEE'S SUMMIT, MISSOURI  
10/12/2022



# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice

2615 SW Barley Field Dr,  
Lees Summit MO 64082

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Original Issue Date: 2022/10/12  
REVISIONS  
Number DESCRIPTION DATE

Floor Plan - Main Level

# A1

Project No.

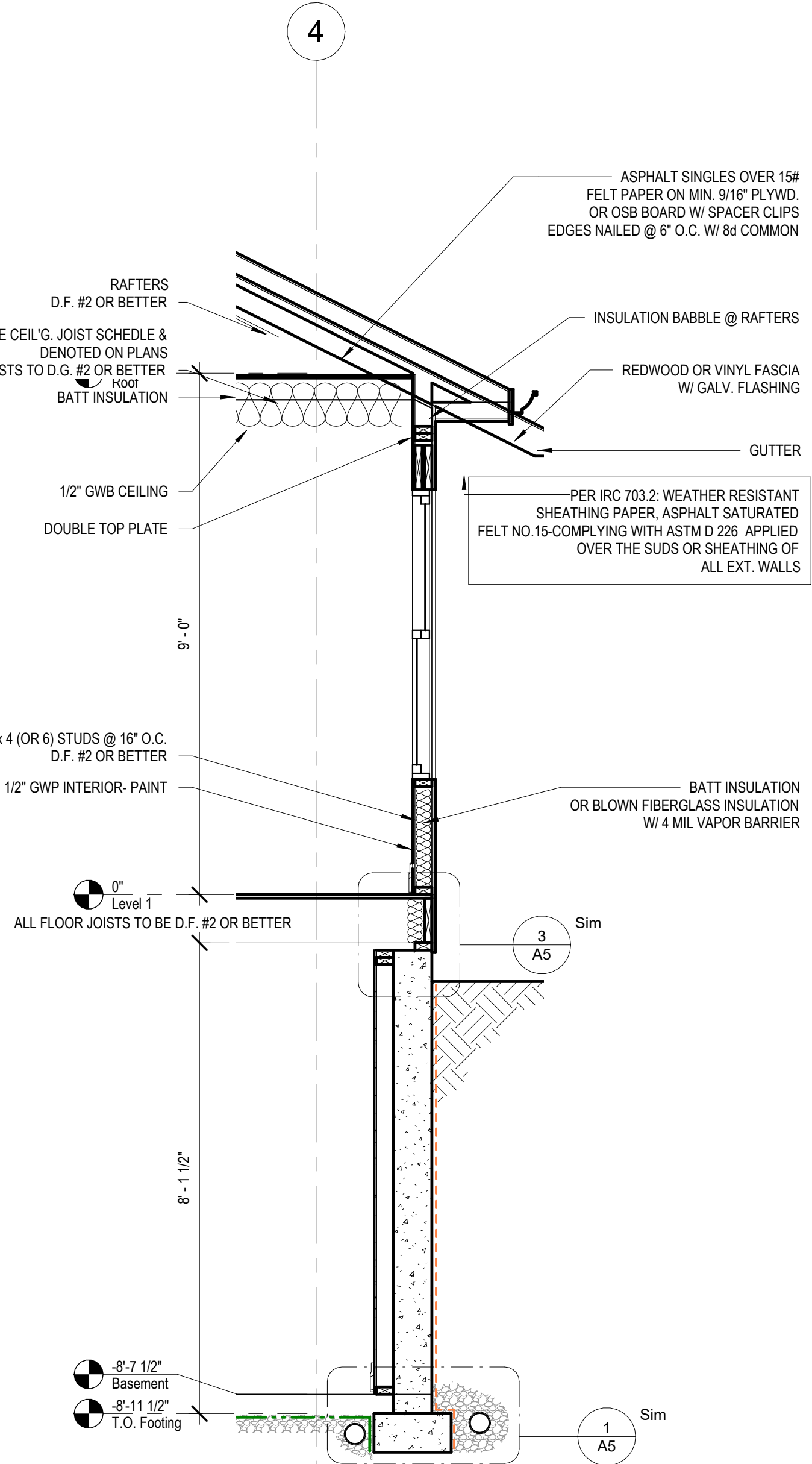
Project Number  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEES SUMMIT, MISSOURI  
10/12/2023

BRACED WALL LINE SCHEDULE						
WALL LINE	TOTAL LENGTH	AVG SPACING	BASE	TABLE R602.10.3 ADJ FACTOR	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR						
A	45'	45'	9'	0.95	8.55'	9.00'
B	45'	15'	10.5'	1.38	14.46'	15.00'
C	22'	22'	5.5'	0.95	5.23'	10.00'
D	50'	25'	11'	1.24	13.59'	14.00'
1	20'	20'	3.5'	0.95	3.33'	6.00"
2	14'	14'	3.5'	0.95	3.33'	4.00"
3	26'	13'	7'	1.24	8.65'	9.00"
4	26'	26'	5.5'	0.95	5.23'	12.00"
5	14'	14'	3.5'	0.95	3.33'	6.00"

- \* CS-PF PANEL'S CONTRIBUTING LENGTH ARE CALCULATED AT 1.5x ACTUAL LENGTH PER TABLE R602.10.5
- CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINED TOTAL OF 10' PER R602.10.2
  - WOOD STRUCTURAL PANELS: BLOCKING OF HORIZONTAL JOINTS IS REQUIRED UNLESS EXCEPTION R602.10.4.1 IS NOTED AS BEING APPLIED IN SCHEDULE ABOVE
  - CS-WSP PANELS: MIN. 2" PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.10.4.4 AND MAX. 12'-6" FROM CORNER
  - CS-WSP PANELS: MIN PANELS LENGTH ADJACENT TO AN OPENING FOR 9' PLATE = 27", FOR 8' PLATE = 24" PER TABLE R602.10.5

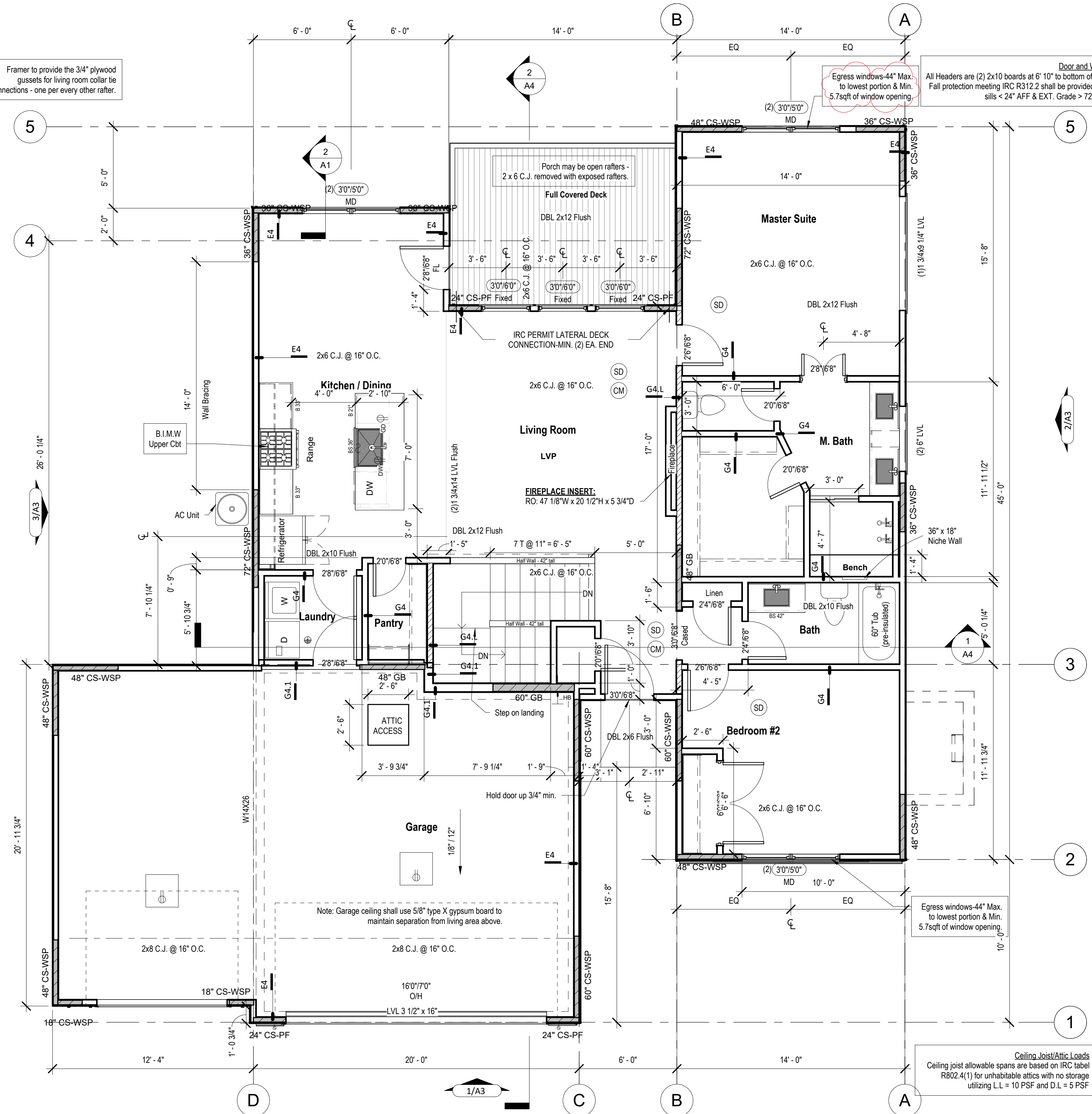
## Brace System

1 1/2" = 1'-0"

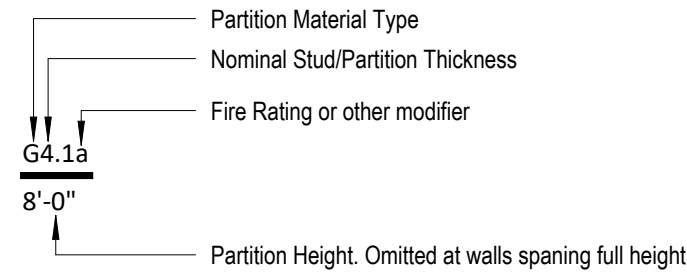


## Floor Plan - Living Space (Walkout)

1/4" = 1'-0"



## Interior Partition Naming Convention



## General Notes:

- DOORS AND WINDOWS
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 20" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 308 OF THE IRC.
  - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. MIN. 30" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH
  - 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION
  - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.2
  - CABLE VENT & BATHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION
  - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR
  - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
  - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.
- GYP/SUM BOARD:
- GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD
- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 16" PLATFORM IN GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE
  - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED
  - PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
  - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
- ELECTRICAL SYSTEMS
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING
  - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER
  - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
    - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
  - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
    - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANDED CIRCUIT
  - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT
    - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
      - RECEPTACLES LOCATED MORE THAN 5 FEET APT
      - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORN-PLUG CONNECTED TO RECEPT
- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL
  - SILL PLATES SHALL BE EXTENDED MIN. 6 INCHES ABOVE GRADE
  - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN)
  - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE AS COMMON @ 6" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS
- ROOF FRAMING
- ALL ROOF EAVES OVERHANGS TO BE 16" UNO
  - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLIDS
  - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 6d COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES
- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
  - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB
  - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOORCEILING (MIN R-19)
  - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOORCEILING
  - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS
- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, NO INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
    - A. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS
    - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE
    - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES
- WOOD FRAMING, FLOORS AND ROOF NOTES
- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
  - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES
  - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
  - HEADERS: PROVIDE 2 x 4 (SYP OR DFL #2 OR BETTER) UNO. CONSTRUCT HEADERS W/ 2 x 4 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
  - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER. JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES
  - 1 x 1 x 1 C.J. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER
  - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 602.3
  - STUDS, RAFTERS, JOISTS, LBS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION



# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
P2	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	

Note:  
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)

architect:  
**Elevate Design + Build**  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice

2615 SW Barley Field Dr,  
Lees Summit MO 64082

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Original Issue Date: 2022/10/12  
Permit Set

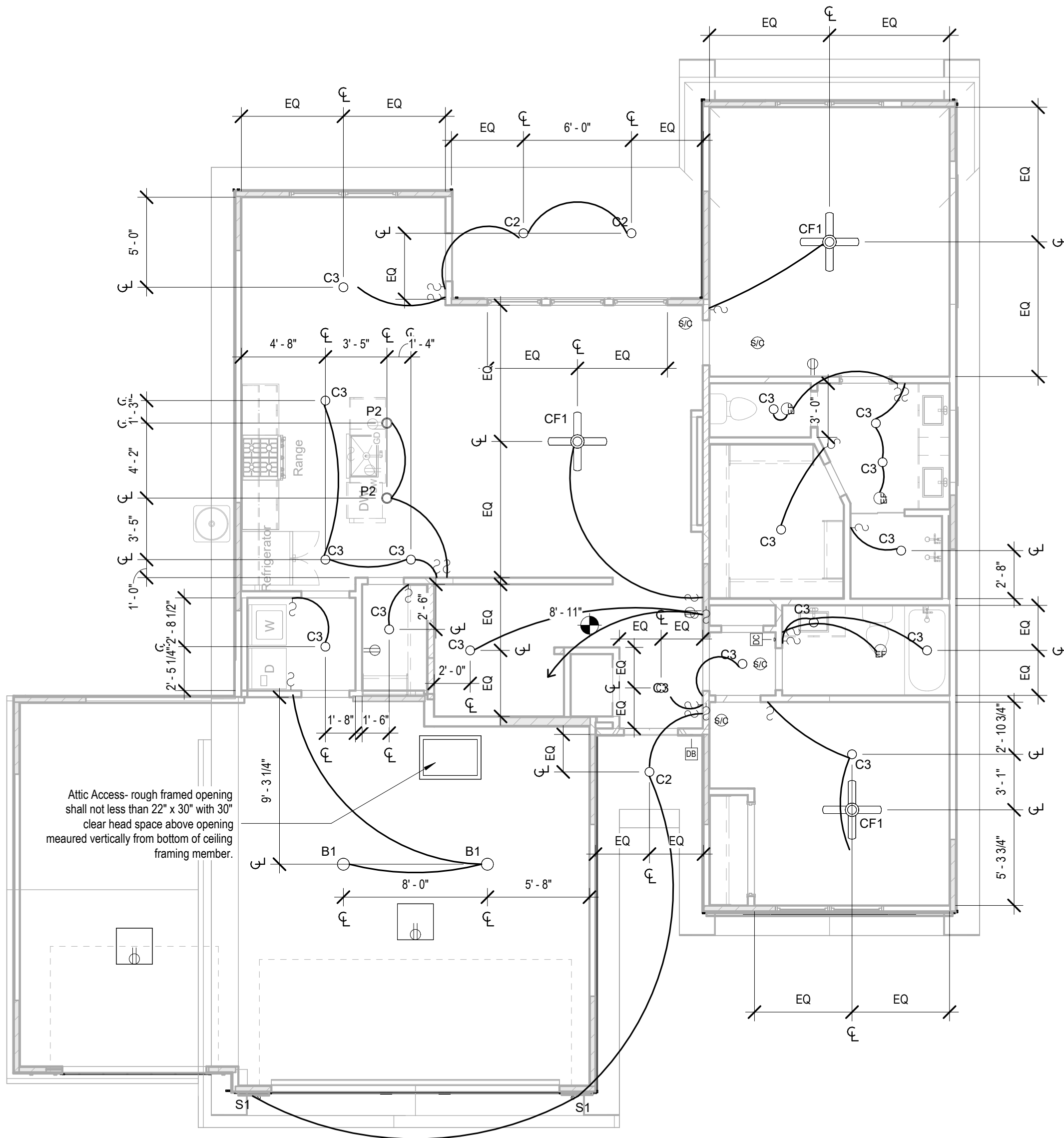
Number	DESCRIPTION	DATE
REVISIONS		

RCP/Electrical Plan

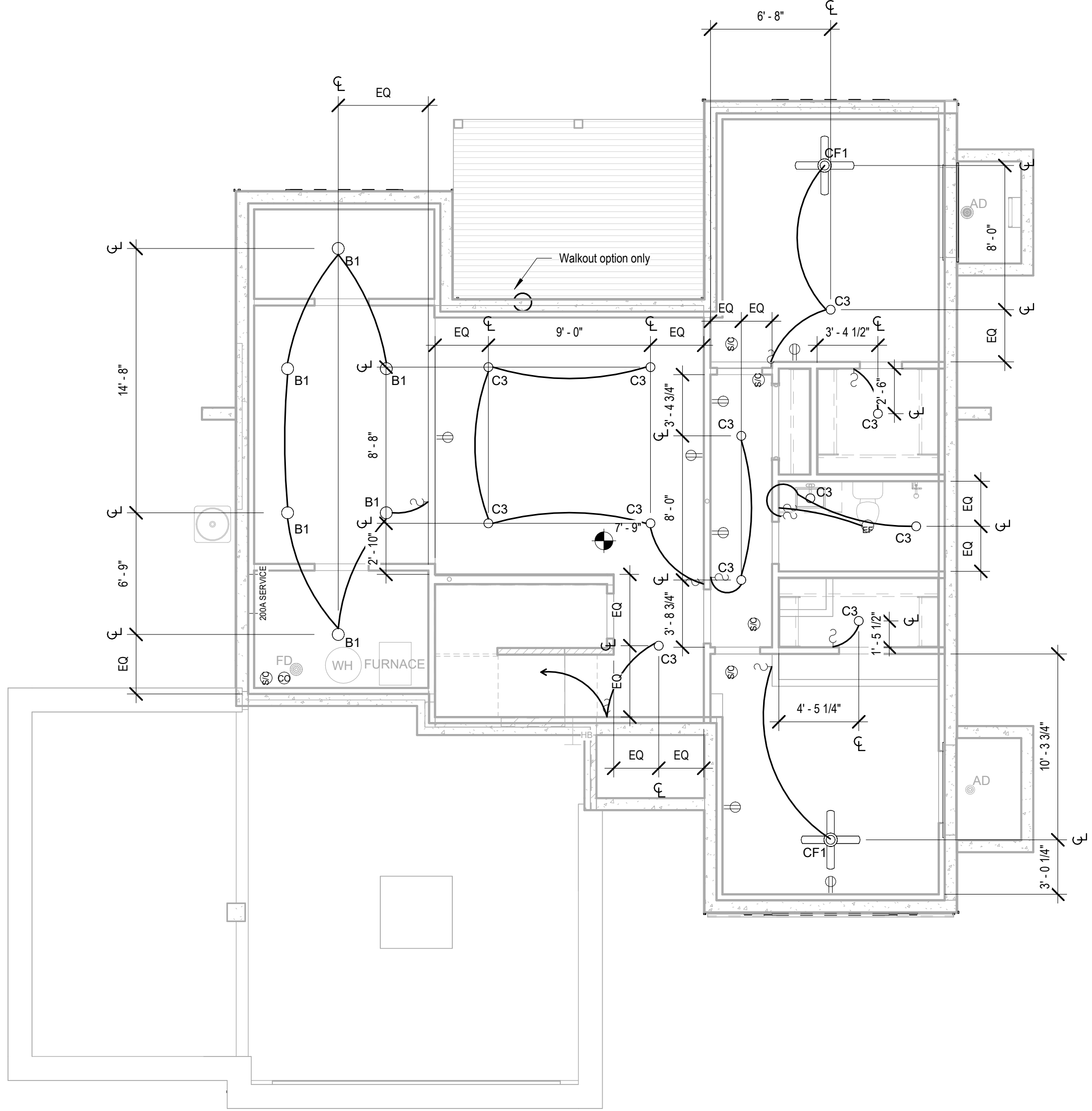
A2

Project No.

Project Number  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
10/12/2023



① RCP/Electrical Plan - Main Level  
3/16" = 1'-0"



② RCP/Electrical - Basement  
3/16" = 1'-0"

# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082

architect:  
**Elevate Design + Build**  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice

2615 SW Barley Field Dr,  
Lees Summit MO 64082

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Original Issue Date: 2022/10/12  
Permit Set

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

Elevations

## A3.B

Project No.

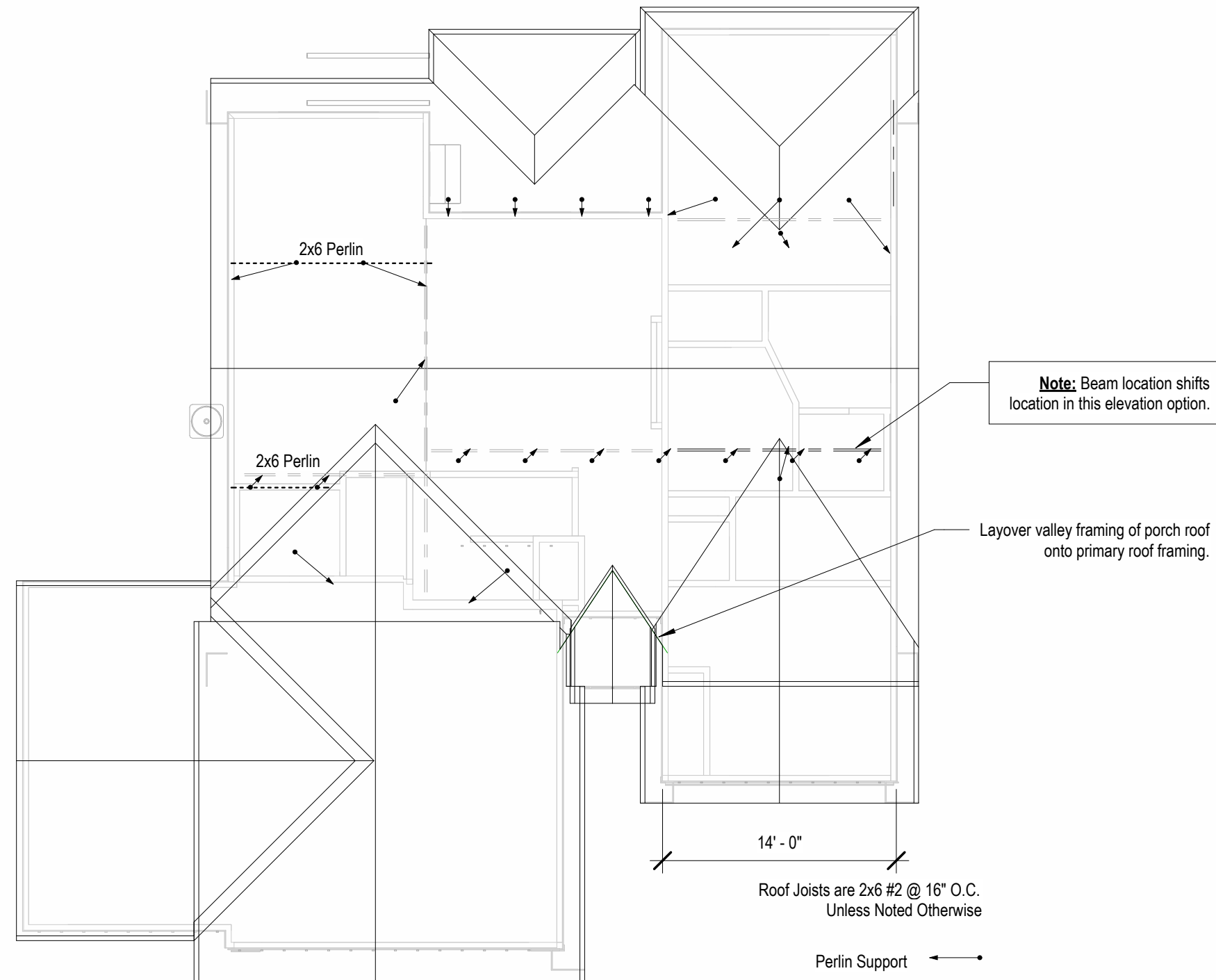
Project Number

AS NOTED FOR PLAN REVIEW

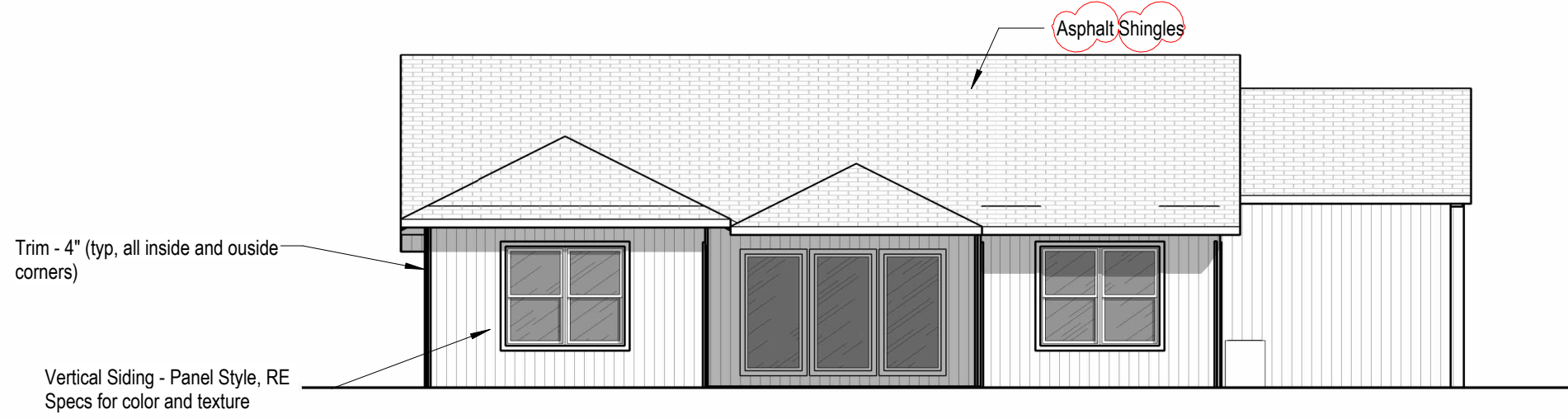
DEVELOPMENT SERVICES

LEE'S SUMMIT, MISSOURI

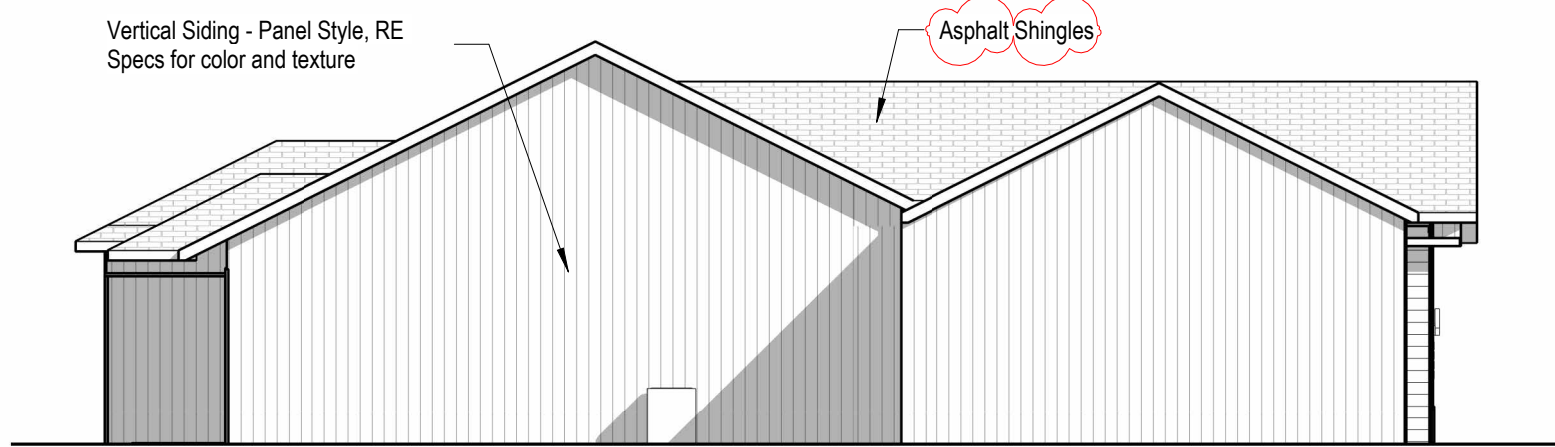
10/12/2023



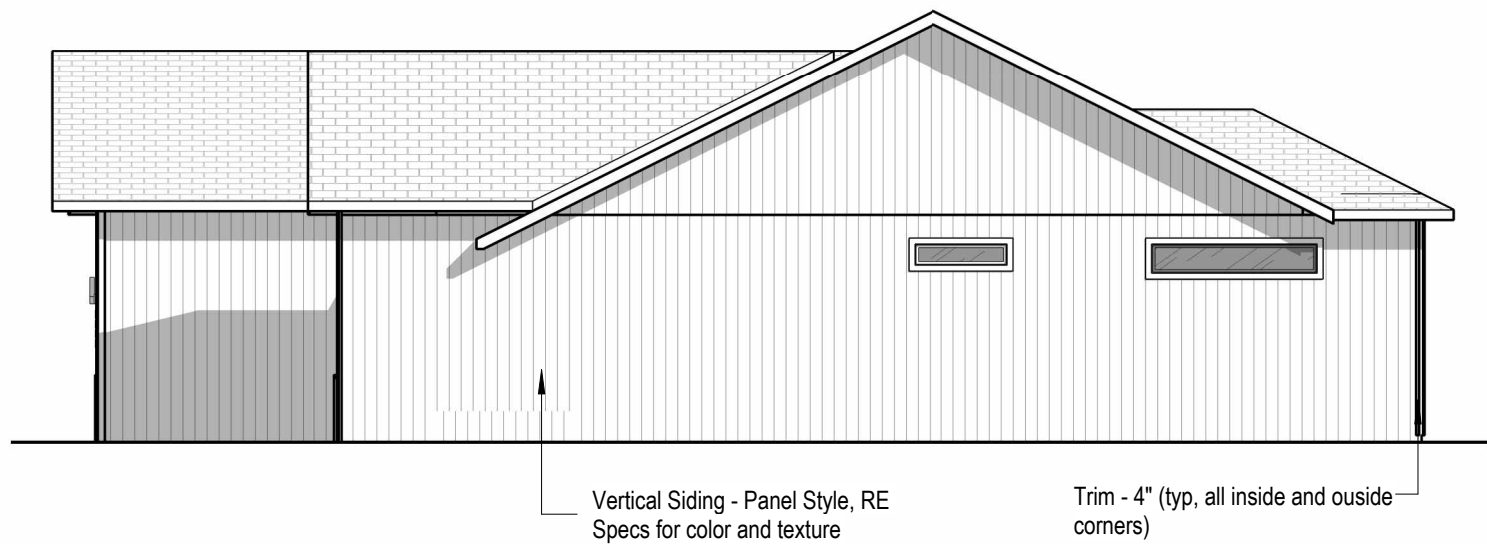
5 Roof Framing  
1/8" = 1'-0"



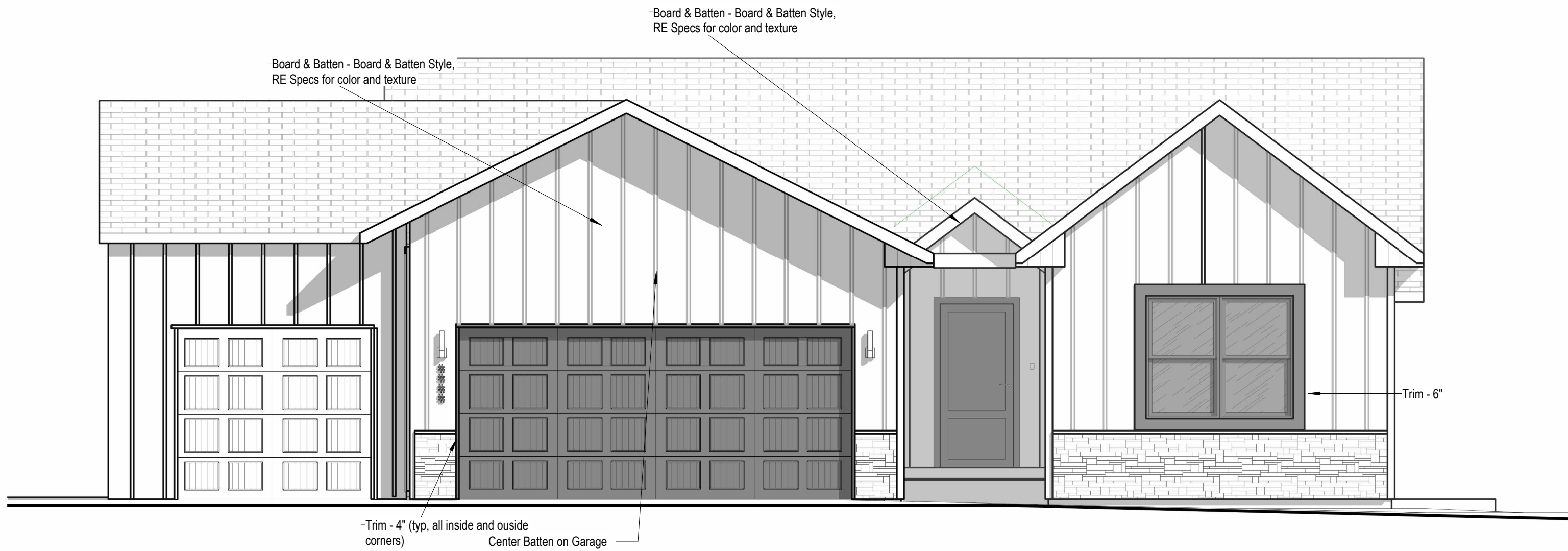
4 Back Elevation  
1/8" = 1'-0"



3 Right Elevation  
1/8" = 1'-0"



2 Left Elevation  
1/8" = 1'-0"



1 Front Elevation - Farmhouse  
1/4" = 1'-0"



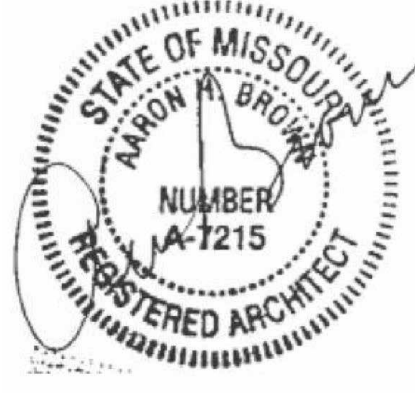
# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082

architect:  
**Elevate Design + Build**  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice

2615 SW Barley Field Dr,  
Lees Summit MO 64082

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Original Issue Date: 2022/10/12  
Permit Set

REVISIONS

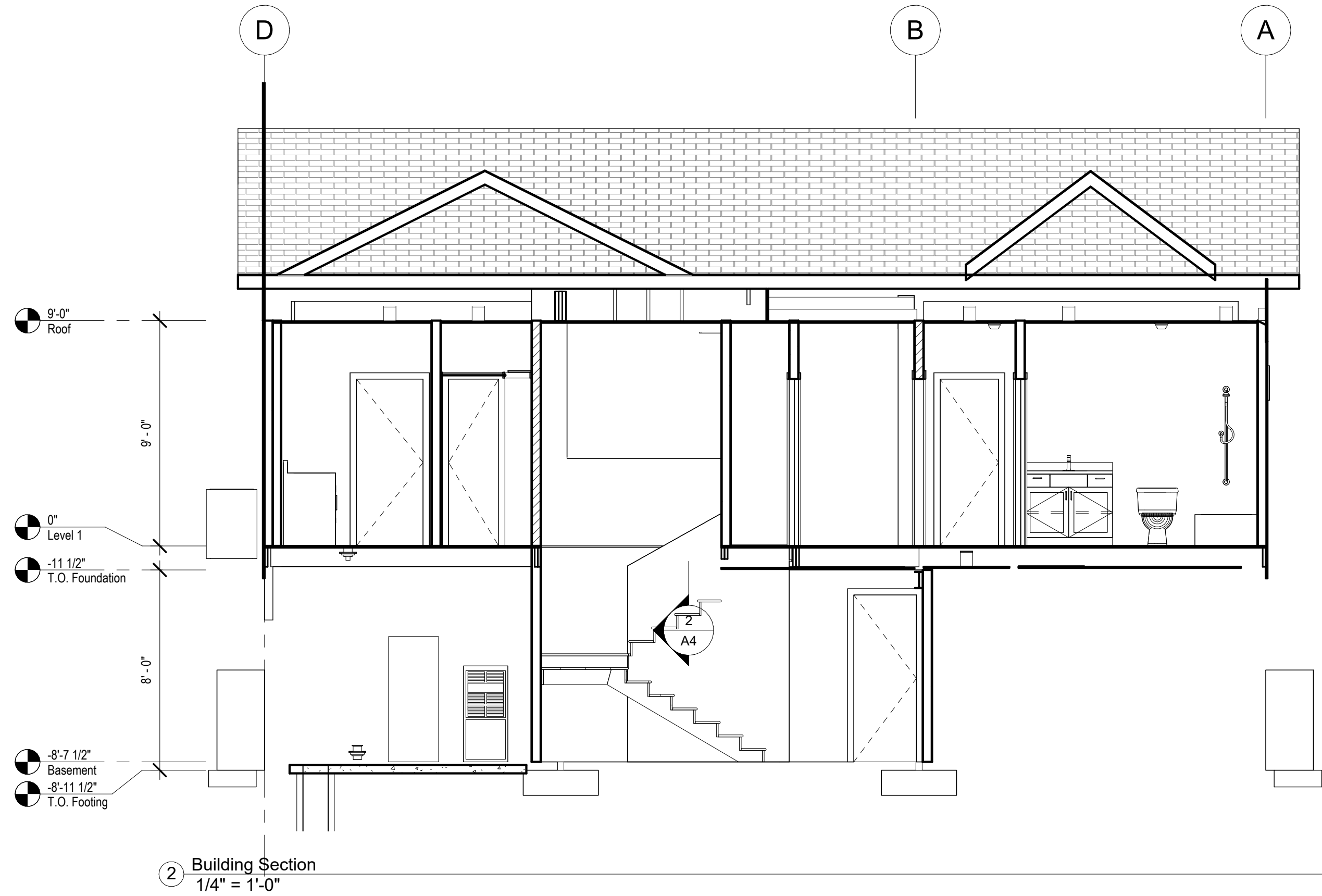
Number	DESCRIPTION	DATE
--------	-------------	------

Building Sections

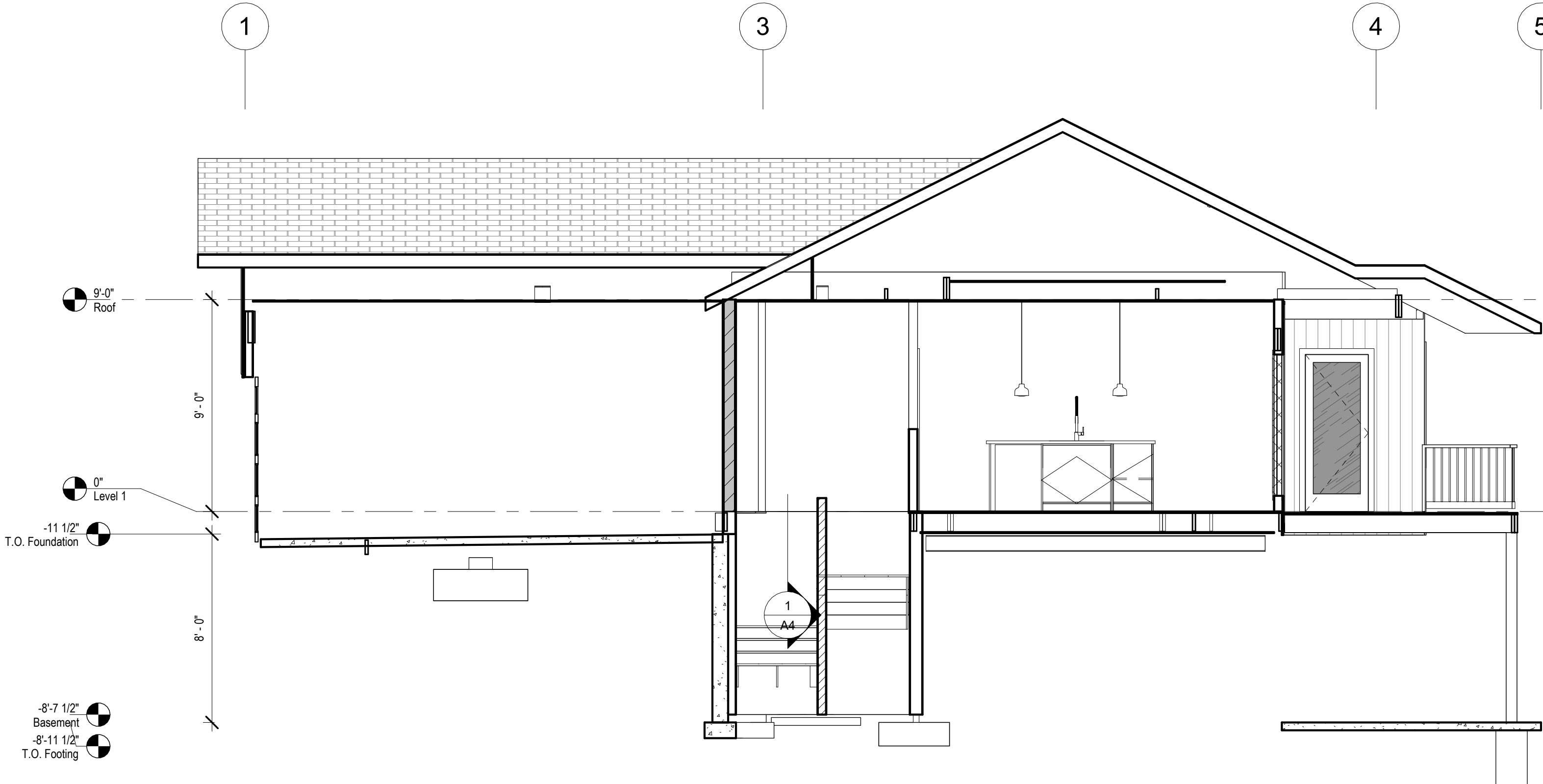
## A4.B

Project No.

Project Number  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
10/12/2023



② Building Section  
1/4" = 1'-0"



① Building Section  
1/4" = 1'-0"



# Lot 176 - Hook Farms

2615 SW Barley Field Dr,  
Lees Summit MO 64082

architect:  
**Elevate Design + Build**  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice

2615 SW Barley Field Dr,  
Lees Summit MO 64082

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Original Issue Date: 2022/10/12  
Permit Set

REVISIONS

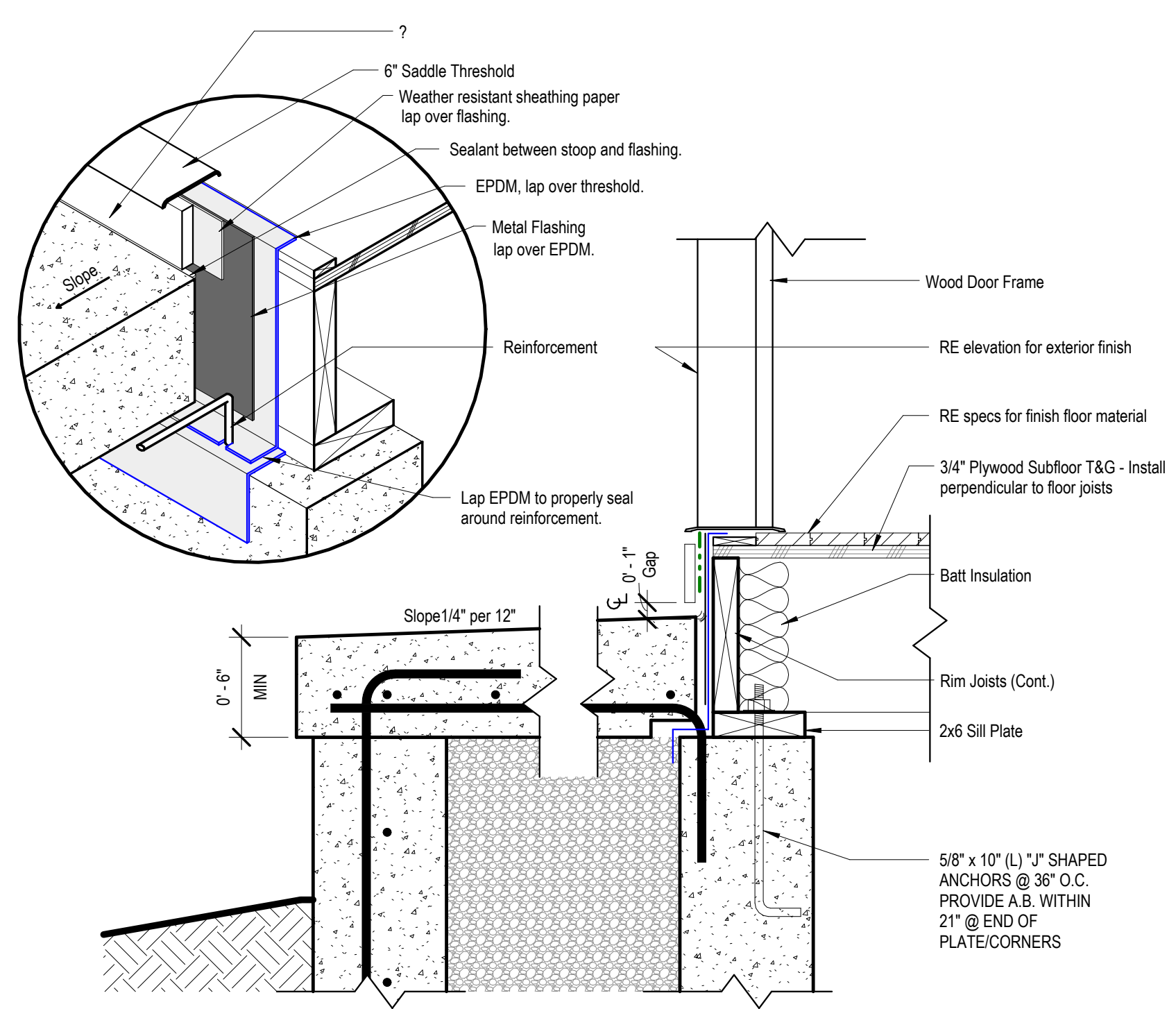
Number	DESCRIPTION	DATE
--------	-------------	------

Details

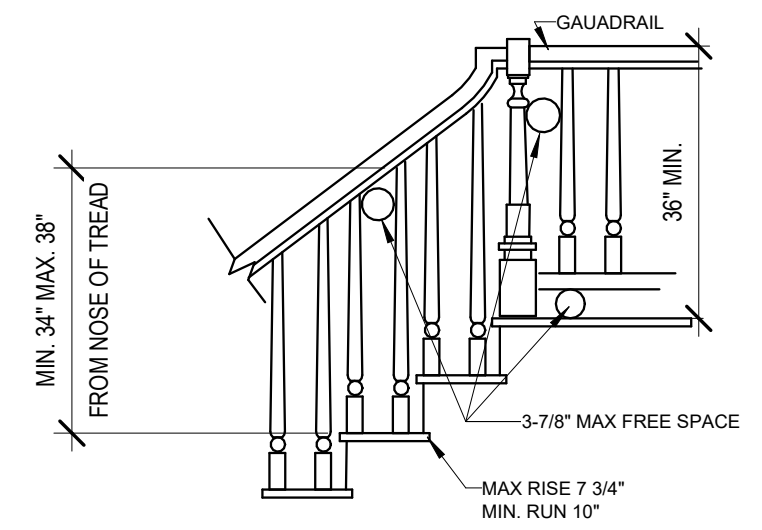
## A5

Project No.

REVISION  
AS NOTED FOR PLAN REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
10/12/2023

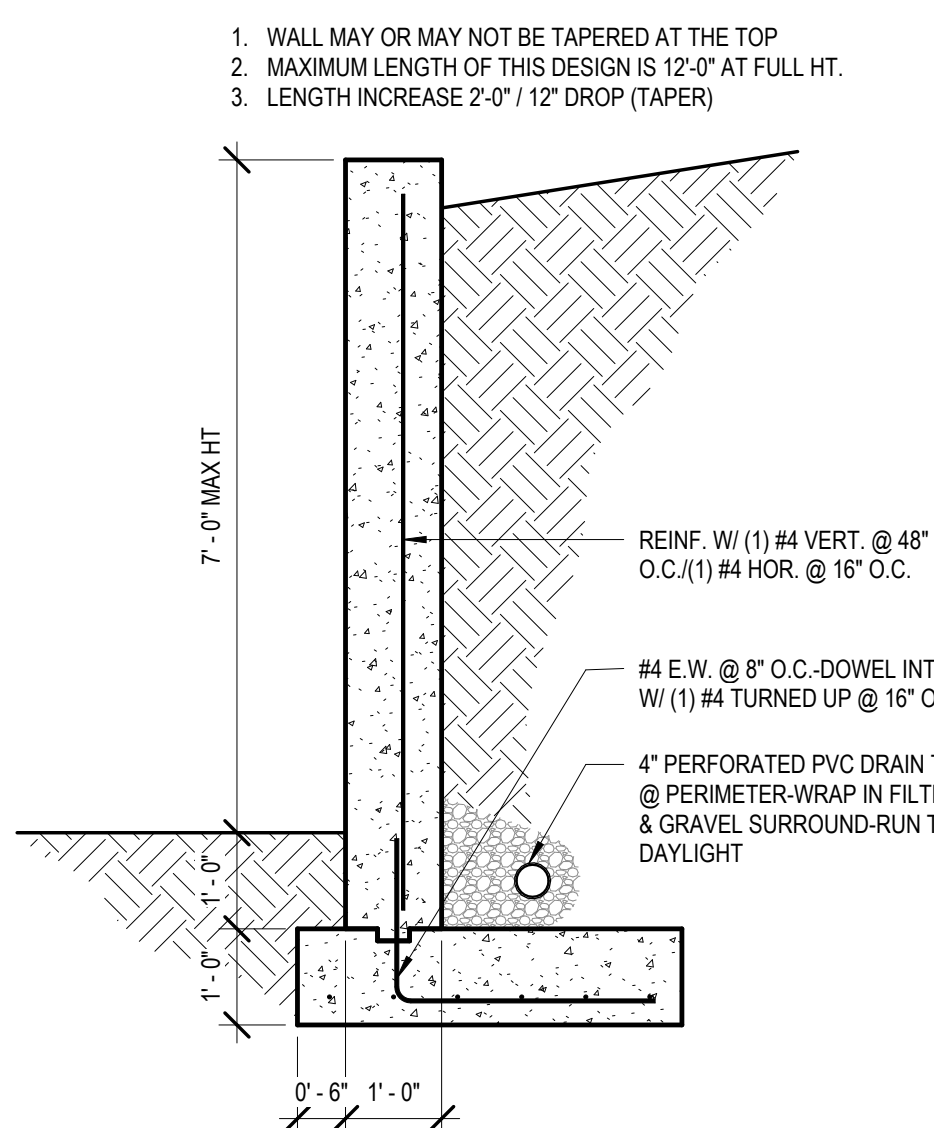


5 Detail - Front Stoop  
1 1/2" = 1'-0"

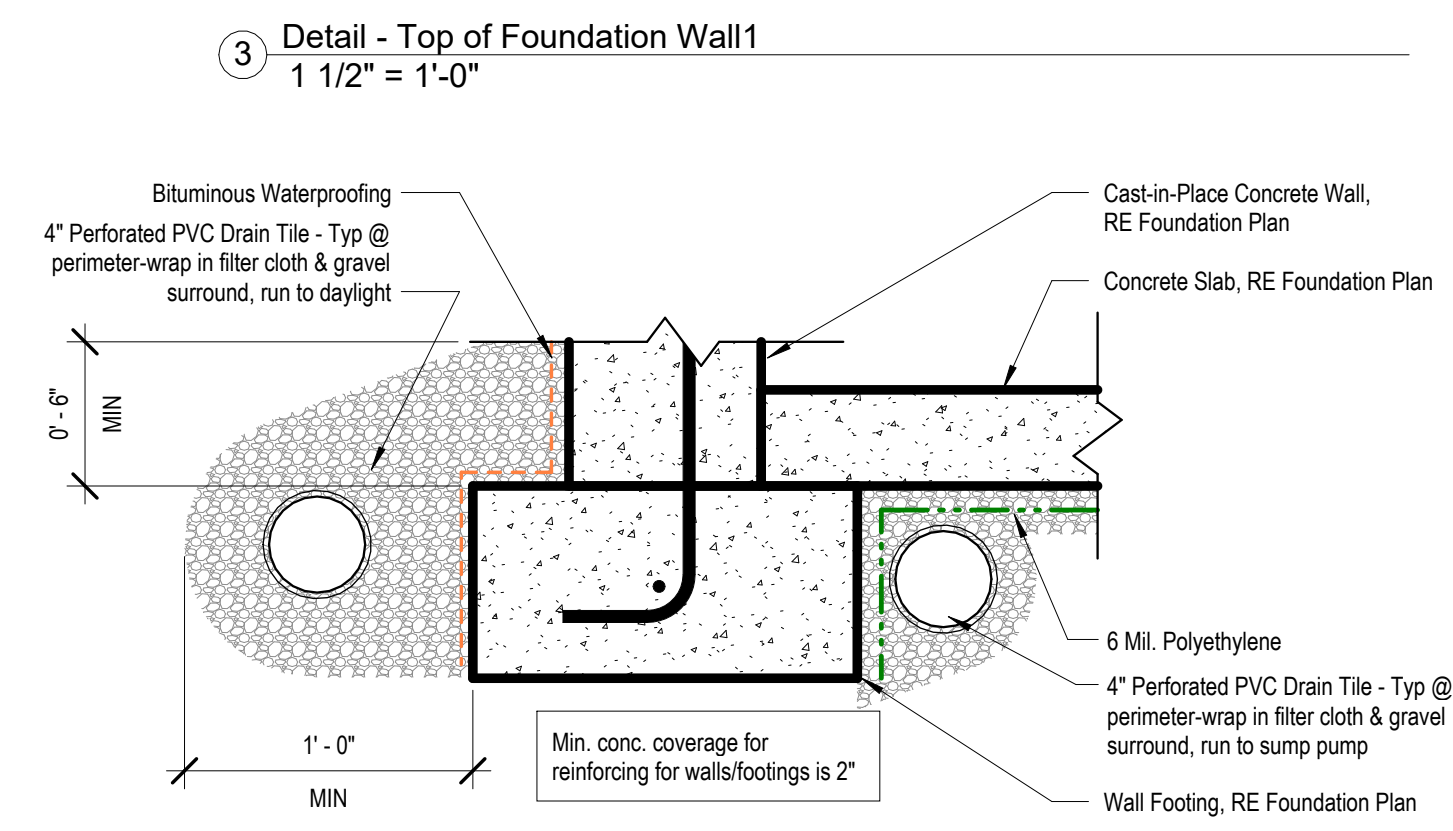


PER IRC: THE MAX. RISE ALLOWED IS 7.75 INCHES AND  
THE MIN TEAD IS 10 INCHES MEASURED NOSE TO NOSE

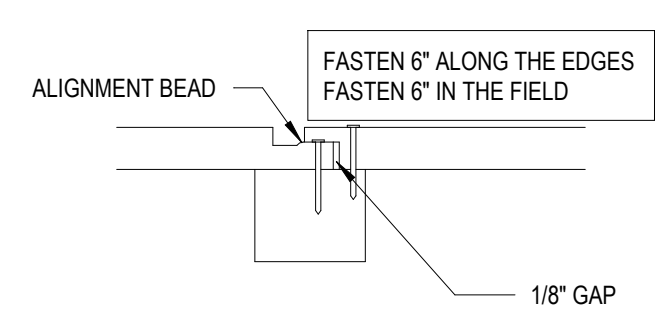
6 TYP STAIR SECTION/REQUIREMENTS1  
3/8" = 1'-0"



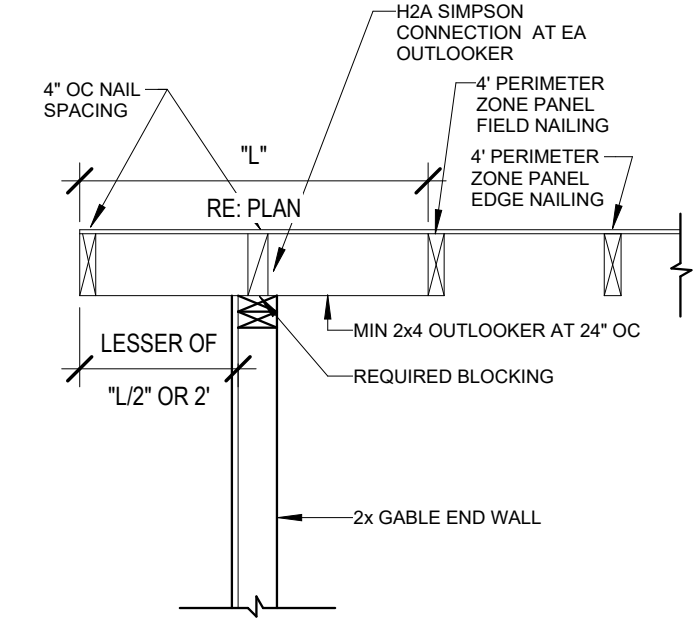
4 RETAINING WALL DESIGN1  
1/2" = 1'-0"



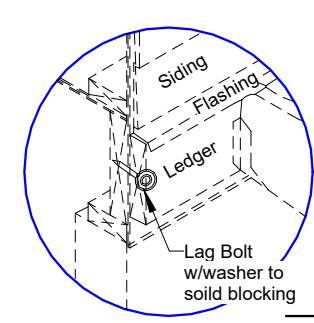
1 Detail - Footing  
1 1/2" = 1'-0"



2 SMARTSIDE PANEL NAILING PATTERN1  
3" = 1'-0"

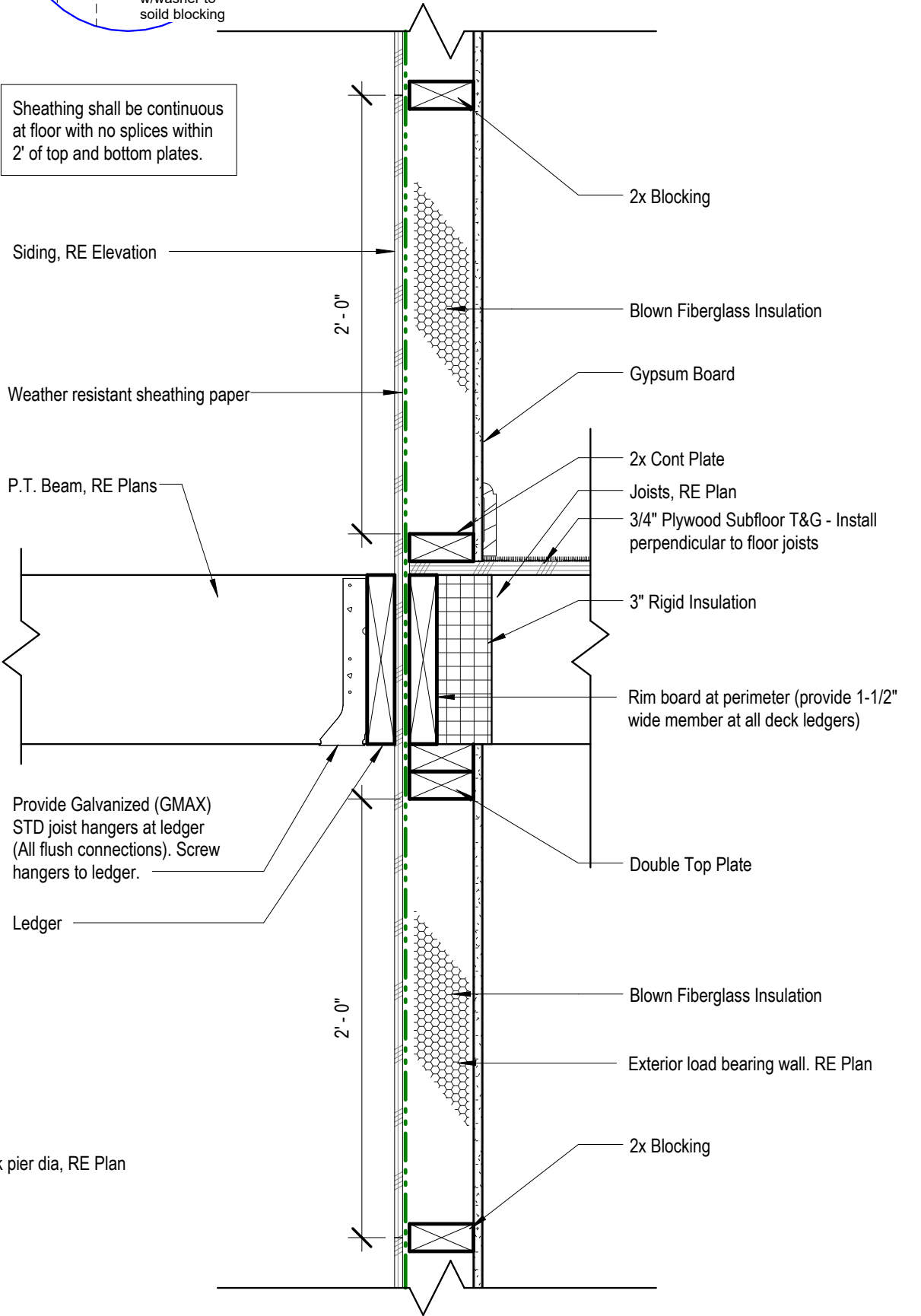


7 Gable Framing Requirements  
1" = 1'-0"

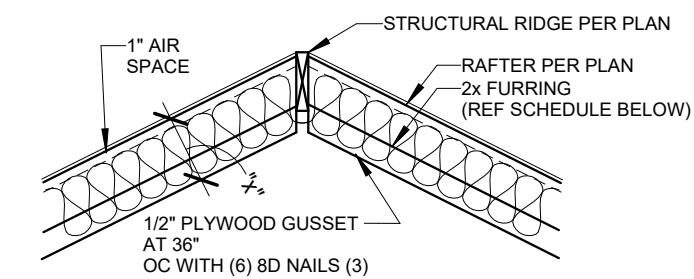


- Deck Ledger Attachment**
- (2) Lags required at EA. end 2" from ends.
  - Provide 1 X 4 treated spaced behind EA. lag.
  - Provide lags in EA. joist space w/ (2) every other space, 2" from edges.
  - MIN size lag is 1/2" diam x 6" length
  - Provide flashing between rim joists & ledger.

Sheathing shall be continuous  
at floor with no splices within  
2' of top and bottom plates.

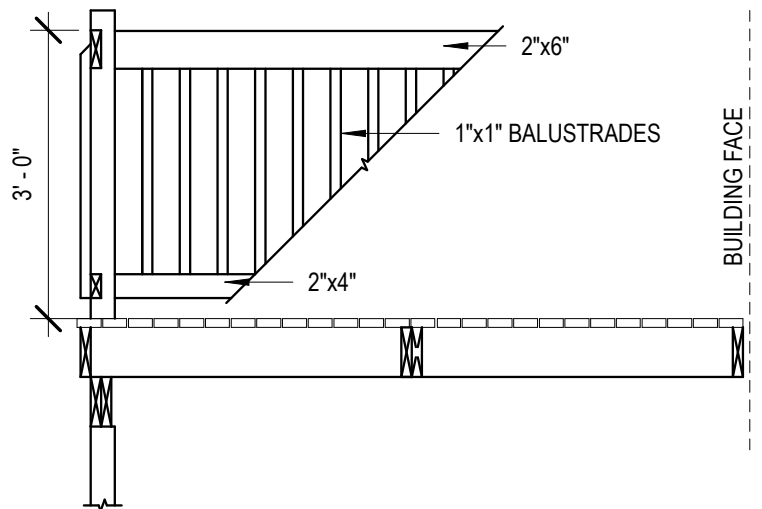


10 Lateral Deck Connection  
1 1/2" = 1'-0"

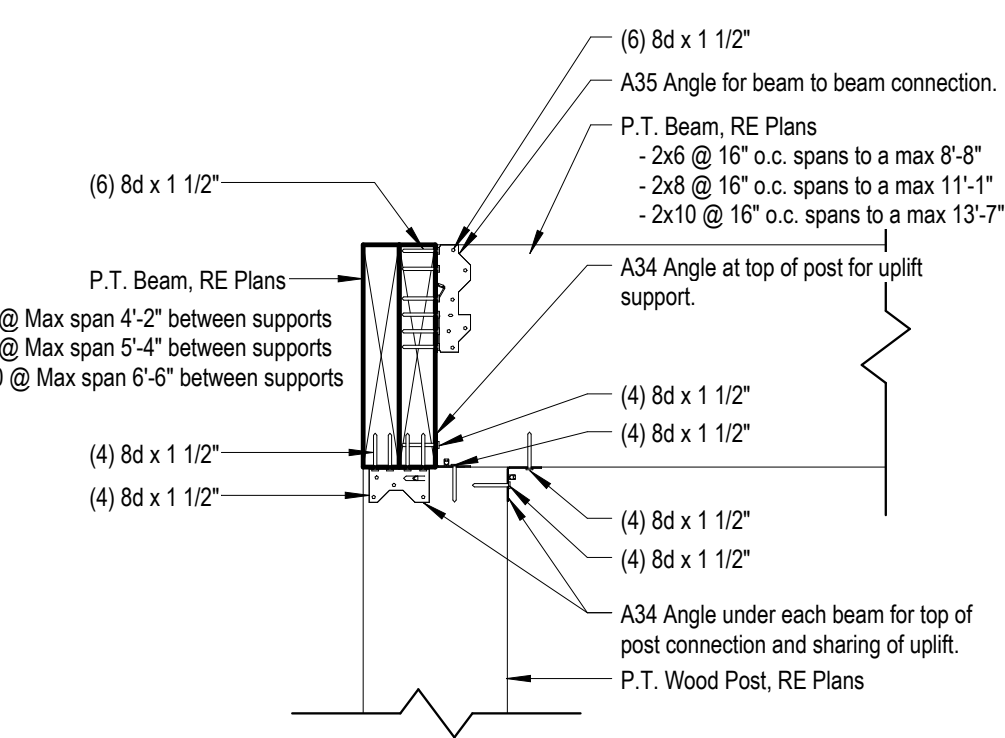


FURR OUT SCHEDULE		
RAFTER SIZE	R-30C INSULATION ("x" = 9 1/4")	R-38C INSULATION ("x" = 11 1/4")
2x6	2x6	2x8
2x8	2x8	2x6
2x10	NOT REQUIRED	2x4
2x12	NOT REQUIRED	NOT REQUIRED

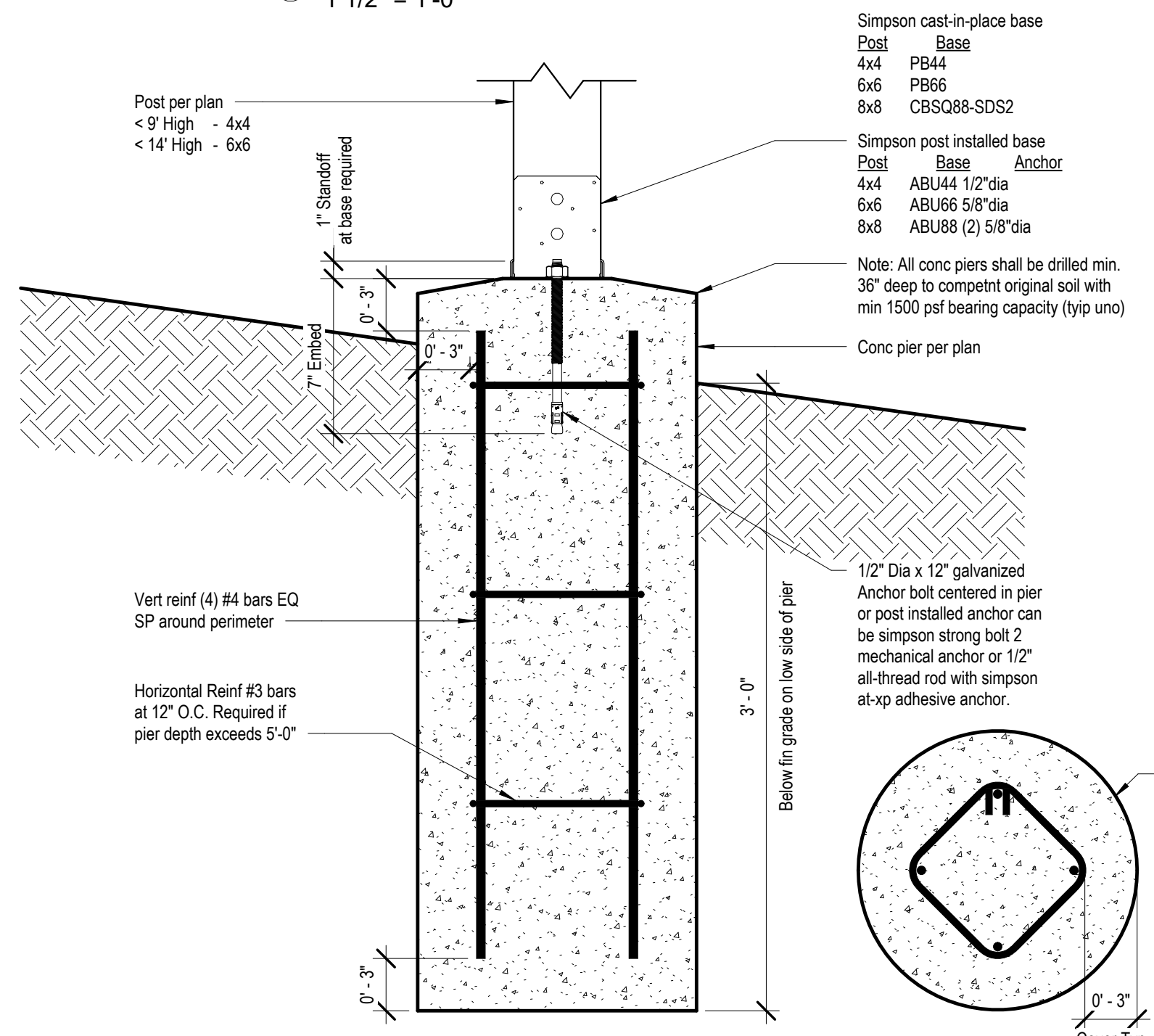
12 Rafter Furr Down Requirements  
1" = 1'-0"



11 Deck Railing  
1/2" = 1'-0"



8 Post to Beam Connection  
1 1/2" = 1'-0"



9 Typ Details for Post/Pier  
1 1/2" = 1'-0"



