

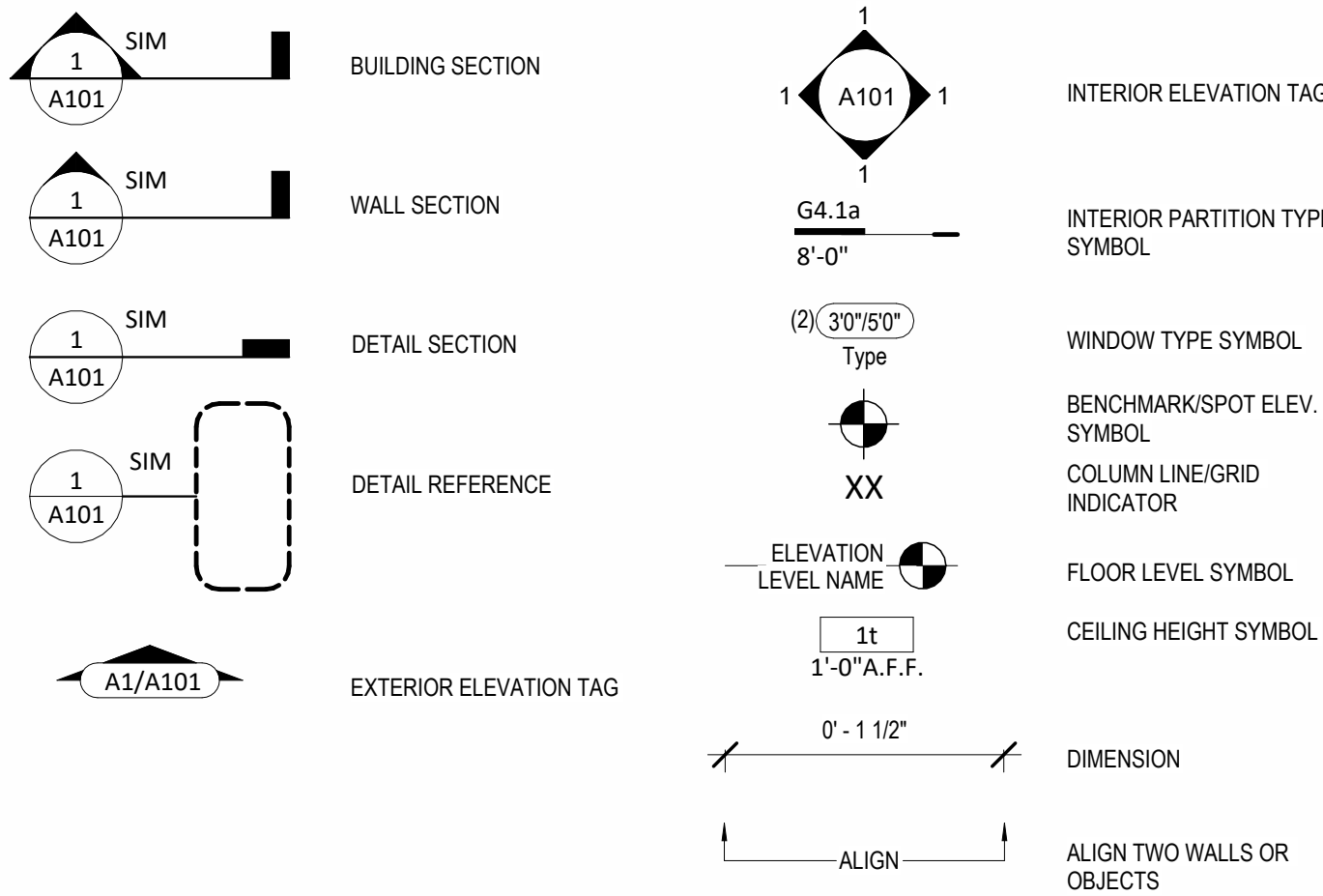
Lot 176 - Hook Farms

2615 SW Barley Field Dr,
Lees Summit MO 64082



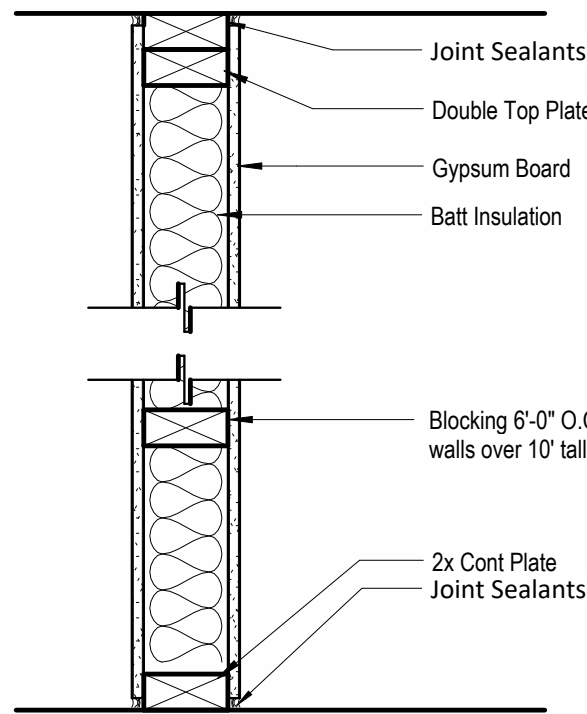
Sheet List

A0	Foundation Plan
A1	Floor Plan - Main Level
A2	RCP/Electrical Plan
A3	Elevations
A3.B	Elevations
A4	Building Sections
A4.B	Building Sections
A5	Details
A6	Details
A7	Grading Options
A8	Cabinet Layout



Interior Partition Types

- NOTES:
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS
 2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.
 3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS
 4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

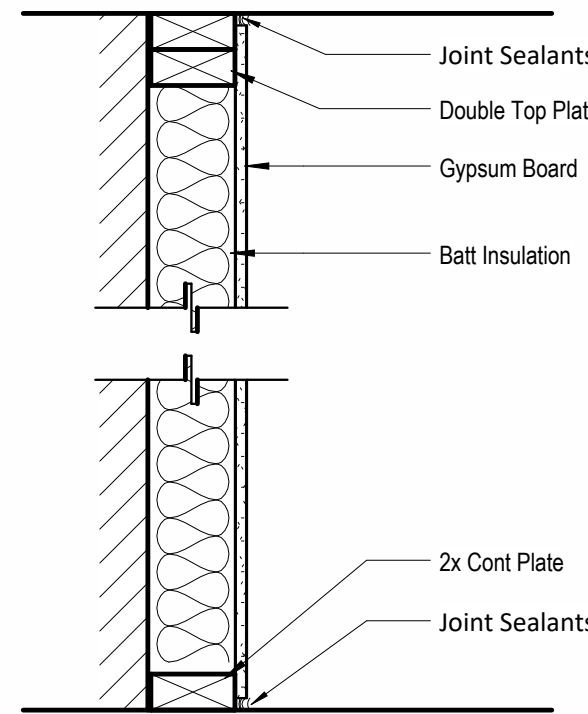


PARTITION SYSTEM:
GYPSUM WALL BOARD PARTITION

G

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G4.1	G4.L	G6
BASE PARTITION THICKNESS	4.5"	4.5"	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"	16"	16"
STUD SIZE	2x4	2x4	2x4	2x6
GWB THICKNESS	1/2"	5/8"	5/8"	1/2"
JOINT SEALANTS	No	No	No	No
INTERIOR LOAD BEARING WALL	No	No	Yes	No
FIRE RATING (HRS)	-	1	-	-
FIRE TEST NUMBER	-	U314	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-	-	-
FIRE RESISTIVE JOINTS	-	-	-	-
ACOUSTIC RATING (STC)	-	-	-	-
ACOUSTICAL TEST NUMBER	-	-	-	-
INSULATION	No	Yes	No	No
ACOUSTICAL JOINTS	-	-	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #3	* SEE NOTE #3	* SEE NOTE #4

- NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

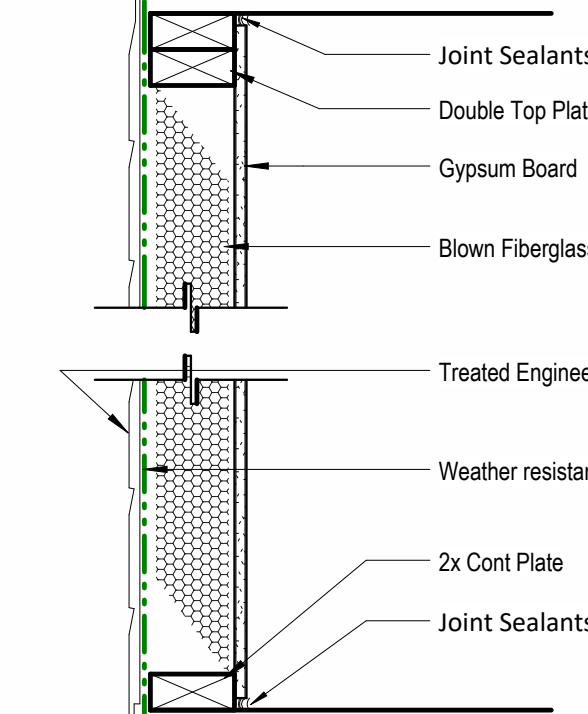


PARTITION SYSTEM:
GYPSUM FURING PARTITION

F

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

- NOTES:
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:
Exterior Partition

E

PARTITION IDENTIFICATION PLAN SYMBOL	E4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	Yes
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	Yes
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

General Information

Energy Efficiency Certificate				
Insulation Rating	R-Value		R-Value	
Ceiling/Roof	R- 49 MIN		R- 30 MIN*	
Walls	Frame	R- 13 MIN	Mass	R- 13
	Basement	R- 13 MIN	Crawl space	R- 13
	Over unconditioned space	R- 19 MIN	Slab edge	R- 10 for 2 feet
Floors	Attic	R- 8 MIN	Other	R- 6
Air Leakage Test Results				
Blower door	3 MAX	ACH50 Pa.	Duct testing	4 MAX
fenestration Rating	NFRC U-Factor		NFRC SHGC	
Window	U _i : 35		.40	
Opaque door	U _i : 50			
Skylight	U _i : 55			
Equipment Performance		Type	Efficiency	
Heating system	Fuel Fired Furnace		80%	AFUE
Cooling system	Central Air		13	SEER
Water heater	Electric		0.92	EF
Indicate if the following have been installed (an efficiency shall not be listed)				
<input type="checkbox"/> electric furnace	<input type="checkbox"/> gas-fired unvented room heater	<input type="checkbox"/> baseboard electric heater		
Designer/builder	Elevate Design + Build			
Code edition	IRC 2012 - Performance			Date: 2022/10/12

* Where the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required can be reduced to this value. This reduction of insulation from the requirements shall be limited to 500 SqFt or 20% of the total insulated ceiling area (whichever is less).

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection -- Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018
Ground Snow Load: 20PSF
Wind Speed: 90mph
Topography Effects: No
Seismic Design Category: A
Damage From Weather: Severe
Frost Line Depth: 36 inches
Termites: Moderate to Heavy
Winter Design Temperature: 6 F
Ice Barrier Underlayment: Yes
Flood Hazard:
Air Freezing Index: 1,500 or less
Mean Annual Temperature: 55 F

1. Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 3 air changes per hour (at ACH50 standard R303.4).
2. Carbon monoxide detectors required (R315)
3. Steel columns shall be minimum schedule 40 (R507.2)
4. Deck Ledger attachment to house shall be per Tables 507.9.1.3.
5. New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
6. Programmable thermostat required (N1103.1.1)
7. Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
8. Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
9. Certain hot water pipes shall be insulated (N1103.4)
10. All exhaust fans shall terminate to the building exterior (M1507.2)
11. Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
12. Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
13. An air handling system shall not serve both the living space and the garage (M1601.6)
14. A concrete-Encased grounding electrode (UFER Ground) connection complies with the requirements of the 2012 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
15. Compliance with the requirements and show connection as needed for roof beam, truss, rafter, and girder connections for uplift per IRC 802.11
16. Garage Door Rating: DASHA 90 MPH Rated



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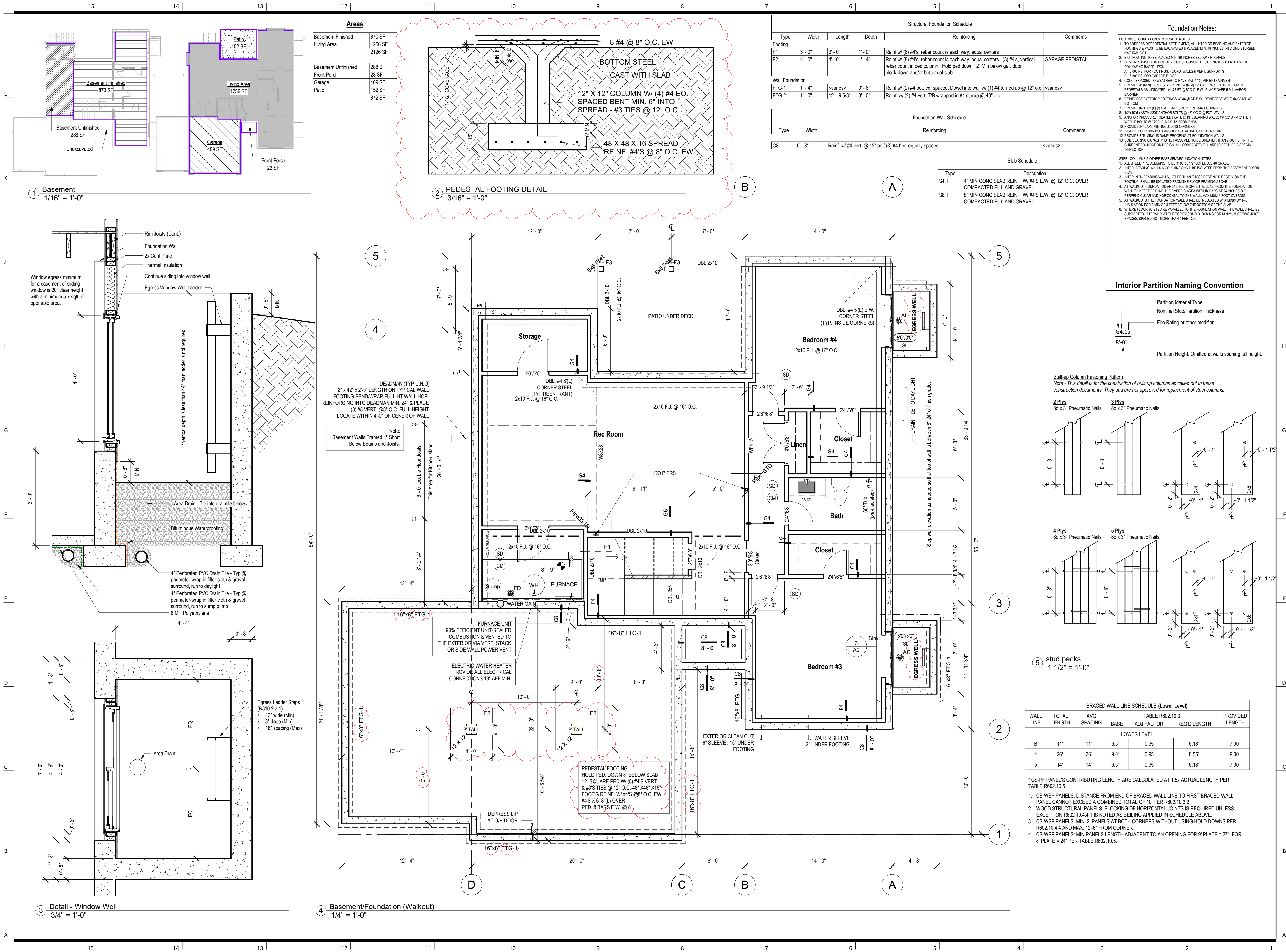
2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH
RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC
2017 ANY REFERENCES FOUND NOT CORRECTLY
IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO
THE ATTENTION OF THE DESIGN PROFESSIONAL

Permit Set

PLAN DESCRIPTION: Greystone

00

Project No. Project Number



BRACED WALL LINE SCHEDULE						
WALL LINE	TOTAL LENGTH	AVG SPACING	BASE	TABLE R602.10.3 ADJ. FACTOR	REQ'D LENGTH	PROVIDED LENGTH
MAIN FLOOR						
A	45'	45'	9'	0.95	8.55'	9.00'
B	45'	15'	10.5'	1.38	14.46'	15.00'
C	22'	22'	5.5'	0.95	5.23'	10.00'
D	50'	25'	11'	1.24	13.59'	14.00'
1	20'	20'	3.5'	0.95	3.33'	6.00**
2	14'	14'	3.5'	0.95	3.33'	4.00'
3	26'	13'	7'	1.24	8.65'	9.00'
4	26'	26'	5.5'	0.95	5.23'	12.00**
5	14'	14'	3.5'	0.95	3.33'	6.00'

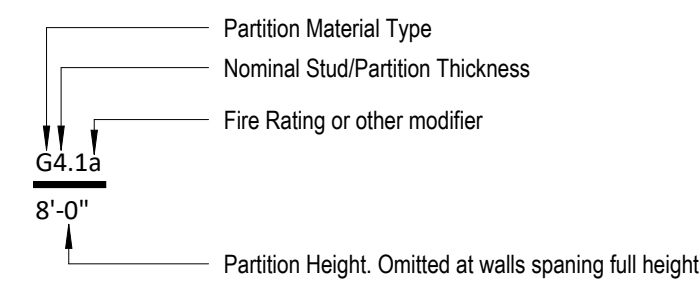
CS-PF PANEL'S CONTRIBUTING LENGTH ARE CALCULATED AT 1.5x ACTUAL LENGTH PER TABLE R602.10.5

1. CS-WSP PANELS: DISTANCE FROM END OF BRACED WALL LINE TO FIRST BRACED WALL PANEL CANNOT EXCEED A COMBINO TOTAL OF 10' PER R602.10.2.
2. CS-STRUCTURE PANELS: END DOCKING OF HORIZONTAL JOINTS IS REQUIRED UNLESS EXCEPTION R602.4.1.4 IS NOTED AS BEING APPLIED IN SCHEDULE ABOVE.
3. CS-WSP PANELS: MIN 2 PANELS AT BOTH CORNERS WITHOUT USING HOLD DOWNS PER R602.4.4 AND MAX 12'-6" PER CORNER
4. CS-WSP PANELS: MIN PANEL LENGTH ADJACENT TO AN OPENING FOR 8' PLATE = 27", FOR 8' PLATE = 24" PER TABLE R602.10.5.

Brace System
1 1/2" = 1'-0"

Framer to provide the 3/4" plywood gussets for living room collar tie connections - one per every other rafter.

Interior Partition Naming Convention



General Notes:

- DOORS AND WINDOW
 - 1. ALL GLAZING WITHIN 10' OF THE FINISHED FLOOR ADJACENT TO DOORS -OF- AND WINDOW DOORS, RESIDE BATHUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 306 OF THE IRC.
 - 2. SHOWER DOORS MUST HAVE SAFETY GLAZING (SHOWER DOORS MUST SWING OUTWARD).
- GARAGES
 - 1. GARAGE SEPARATION WALL TO BE 1-HR CONCRETE WITH MIN. 5" X 8" P.C. EXTEND TO ROOF OF BOOR. DOOR TO BE 30MM RATED, 1.38" X 5.4' EQUIPPED WITH CLOSURE & LATCH
 - 2. 1/4" SQUARE RECEPTILES SHALL HAVE GFC PROTECTION
 - 3. TYPE 35" X 8" GR REQUIRED ON GARAGE CEILING BELOW LIVING AREAS
- LIGHT AND VENTILATION
 - 1. PROVIDE STAIRWAY ILLUMINATION PER IRC303.1.9
 - 2. GARAGE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10.5 SF. NET FREE OF ATTIC
 - 3. FURNISHES ENCLOSED IN A ROOM LESS THAN 100.5 SF. SHALL BE PROVIDED BY A MEANS OF MECHANICAL EXHAUST OR AIR FLOW AS DETERMINED LOCAL CODE AND PRESCRIBED BY MECHANICAL CONTRACTOR
 - 4. VENTILATE KITCHENS AND LAUNDRY ROOMS PER IRC3.1
 - 5. VENTILATE MIN. 16" X 30" SIZES VENTS ALONG EAVE SPACED EAVE 1' ON CENTER
 - 6. 5" O.C.

GYPSUM BOARD:

1. GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD

MECHANICAL SYSTEMS

1. FURNACE & WATER HEATER SHALL BE ON 16" PLATFORMS IN PLACED IN A GARAGE OR ATTACHED TO ACCESS TO A GARAGE
2. PROVIDE MIN. 78% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED
3. PROVIDE MIN. 13 SEER FOR AIR CONDITIONING EQUIPMENT
4. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8

ELECTRICAL SYSTEMS

- 1. PROVIDE UPR GROUNDS EXPOSED IN CONCRETE FOOTING
- ALL ELECTRICAL CONDUITS SHALL BE COOPER
- ALL ELECTRICAL CONDUITS SHALL BE GFCP PROTECTED
- ALL ELECTRICAL RECEPTS IN THE SINKS, GRAB BARS, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS
- 4. ALL RECEPTS (GROUNTS THAT SUPPLY 120V, SINGLE PHASE, 15 & 20 AMP OUTLETS SHALL BE:

 - A. BELOCATED IN ROOMS: CLOSETS, CLOSETS, HALLWAYS & SM ROOMS SHALL BE LOCATED IN COMBINATION TYPE AND/OR CIRCUIT INTERRUPTED
 - B. INSTALLED TO PROTECT THE PROTECTION OF THE BRANCH CIRCUIT
 - C. ALL ELECTRICAL SHALL BE LOCATED IN THE FOLLOWING LOCATIONS:
 - D. EXCEPTION: RECEPTS IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED: AMPER RATED:
 - 1. RECEPTS SHALL BE LOCATED WITHIN 5 FEET AFF
 - 2. WHERE SUCH RECEPTS ARE LOCATED IN SPACES DESIGNATED FOR THE RECEPTION OF A SINGLE UNIT OR UNITS, THE APPLICATION OF THE ABOVE SHALL NOT BE ENFORCED UNLESS APPLIANCES TO BE CONNECTED TO CIRCUIT INTERRUPTED TO RECEPT

EXTERIOR WALL FINISHING

- 1. BOTTOM SILL PLATES SHALL BE PRESURE TREATED AND ENJOINED ABOVE
- 2. SILL PLATES SHALL BEARSTAINED IN ENDS ABOVE GRADE
- 3. EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" (12.7MM) OF 1/4" (6.35MM) MIN
- 4. ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" (11.1MM) SQUARE STEEL SHALL BE 800CM (30") C. ALONG EDGES & WITH 7/16" (11.1MM) C. INTERMEDIATE STUDS

ROOF FRAMING

1. ALL ROOF EAVES/OVERHANGS TO BE 16" - UNO
2. ALL JOISTS & RAFTERS TO BE ALIGNED OVER SUDS
3. ROOF SHEATHING SHALL BE 7/16" OSB LAID W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALV. SPACER KLIPS ALONG ALL EDGES - SECURE SHEATHING W/ 8d COMMON NAILS TO RAFTERS AT 6" O.C. ALL EDGES

UNFINISHED BASEMENT REQUIREMENTS

1. FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER
2. JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" CMB
3. UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOOR/CEILING (MIN R-19)
4. ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING
5. UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS



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Lees Summit MO 64082

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice

2615 SW Barley Field Dr,
Lees Summit MO 64082

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Floor Plan - Main Level

A1

Project No.	Project Number
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Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF1	Ceiling Fan w/ Light - Surface Mounted	
P2	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	

Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)

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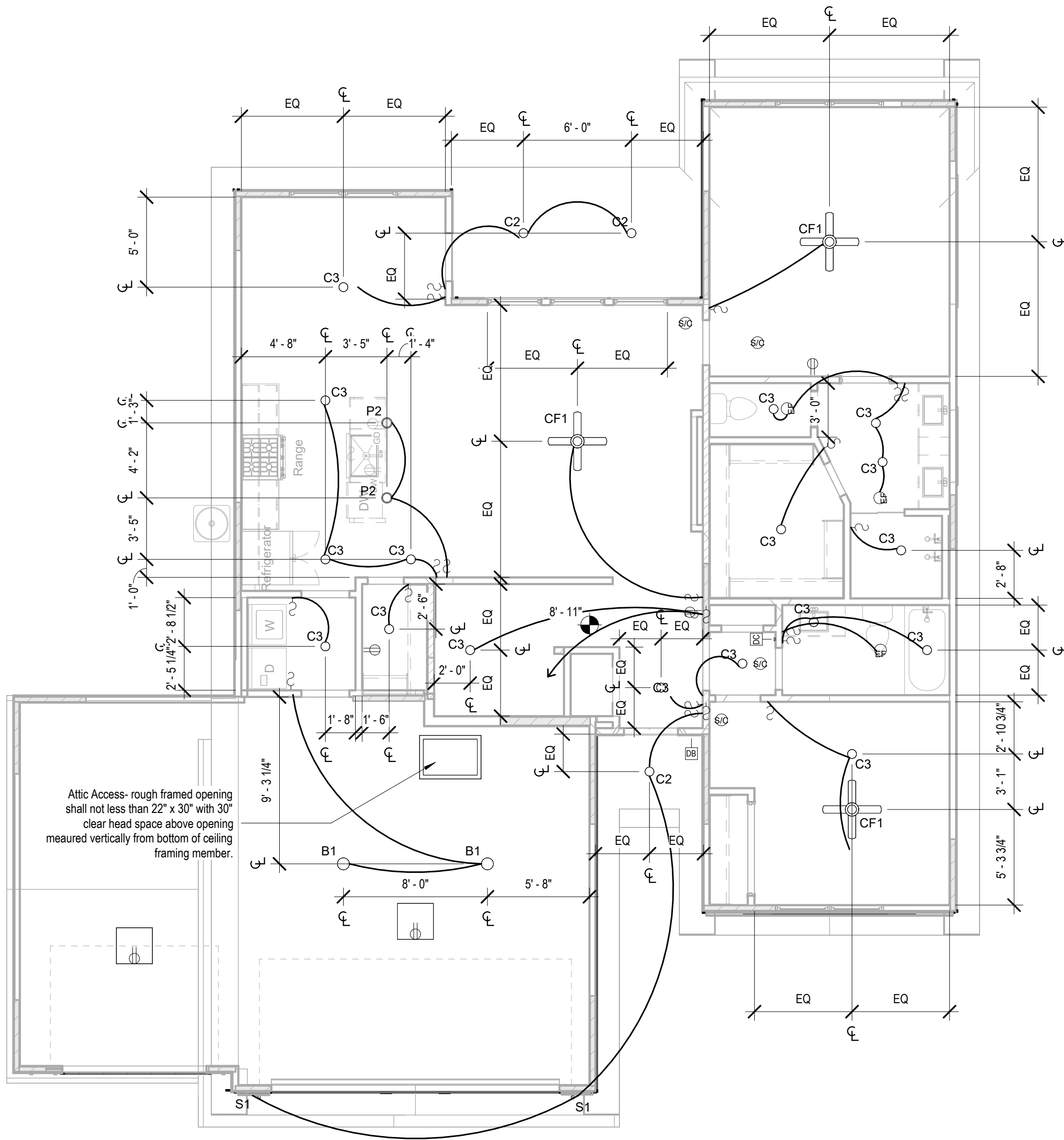
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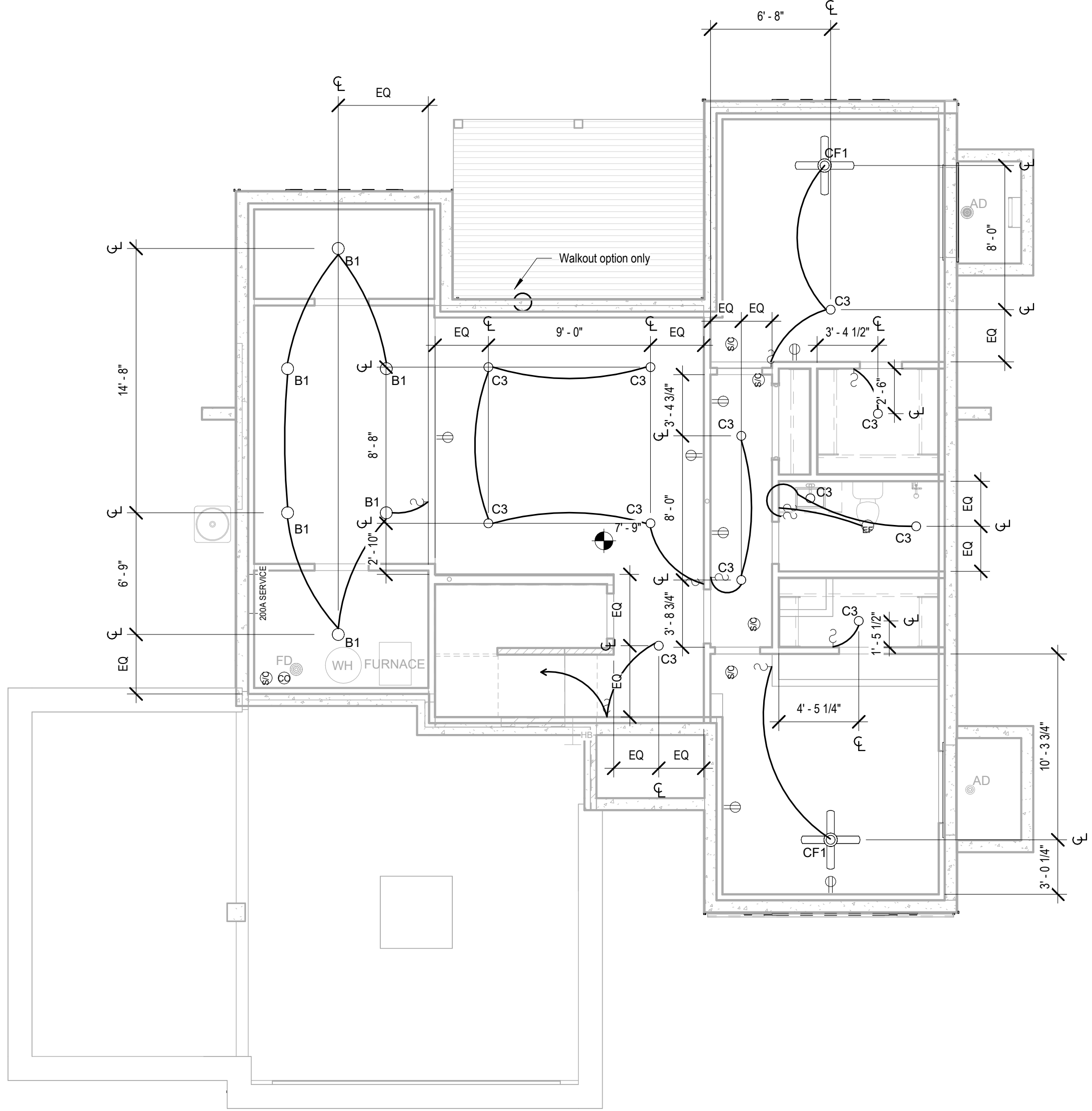
RCP/Electrical Plan

A2

Project No. Project Number



① RCP/Electrical Plan - Main Level
3/16" = 1'-0"



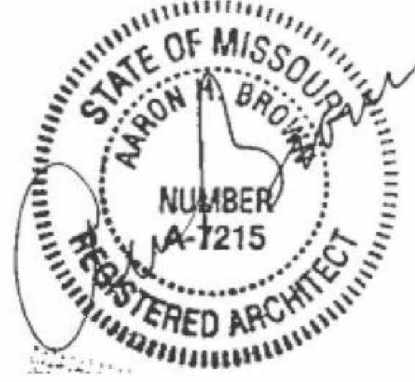
② RCP/Electrical - Basement
3/16" = 1'-0"

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architect:
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350 SW Longview Blvd
Lee's Summit, MO 64081
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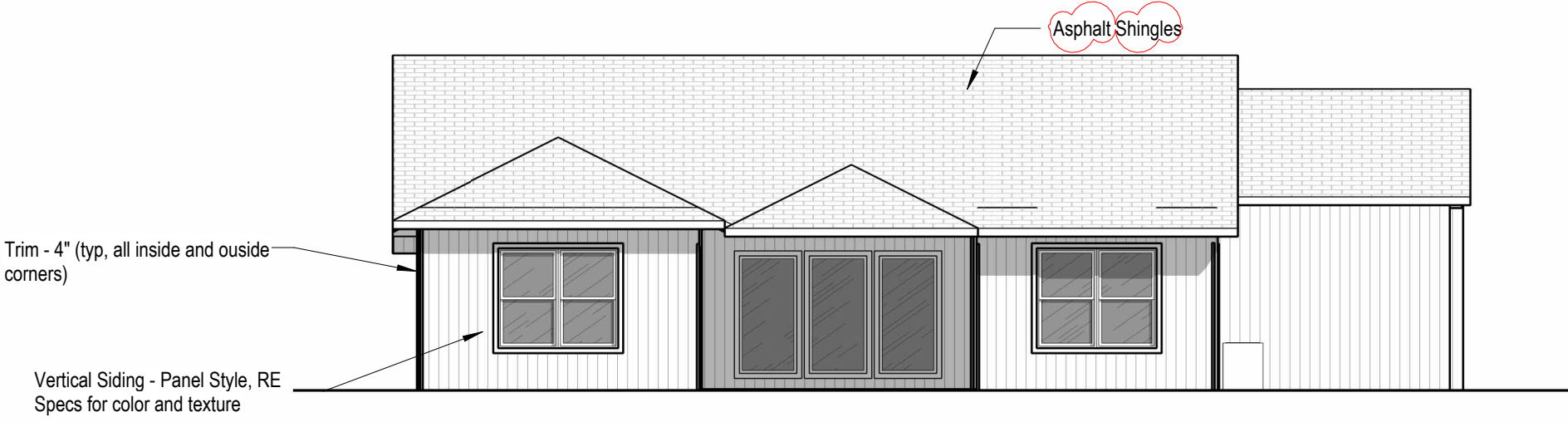
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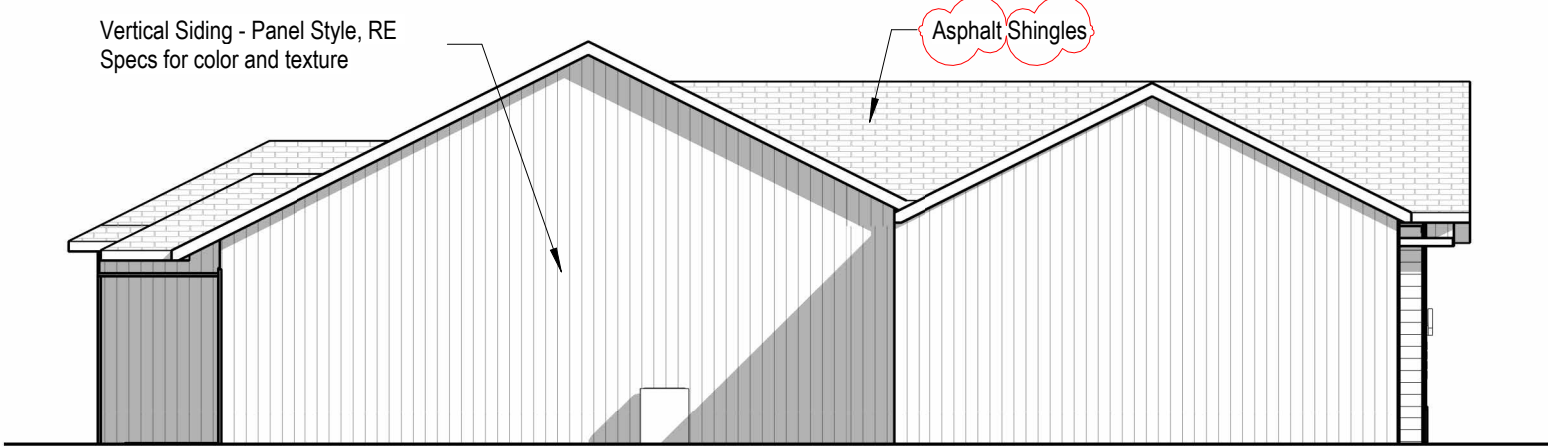
Elevations

A3.B

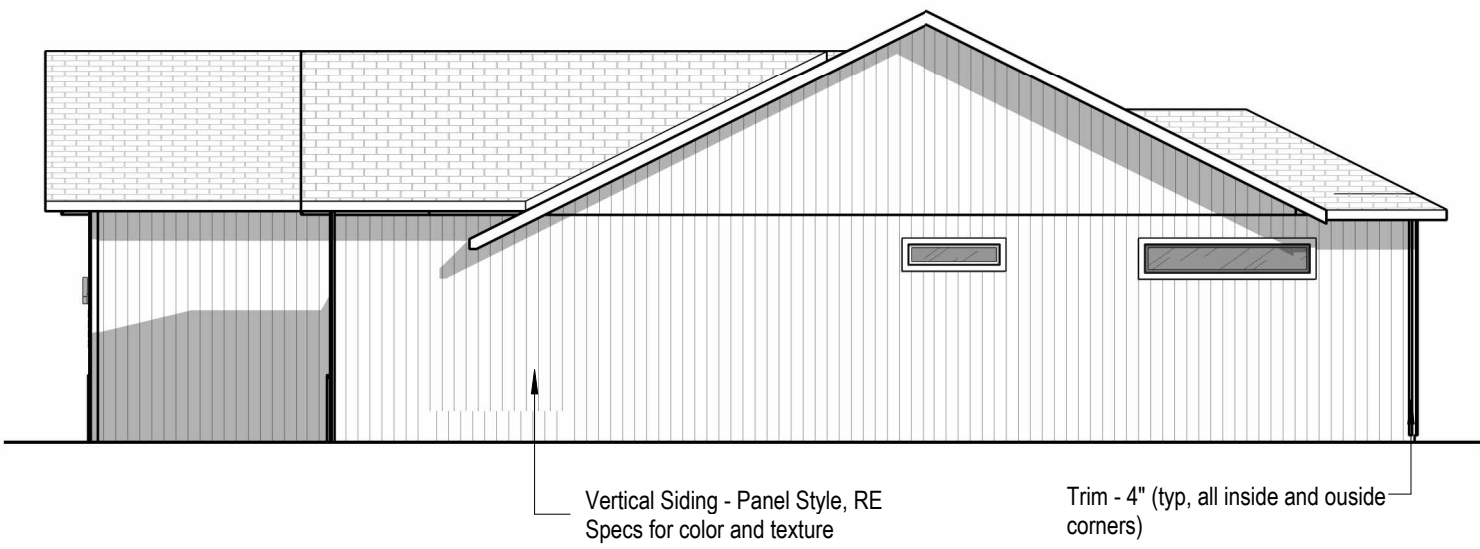
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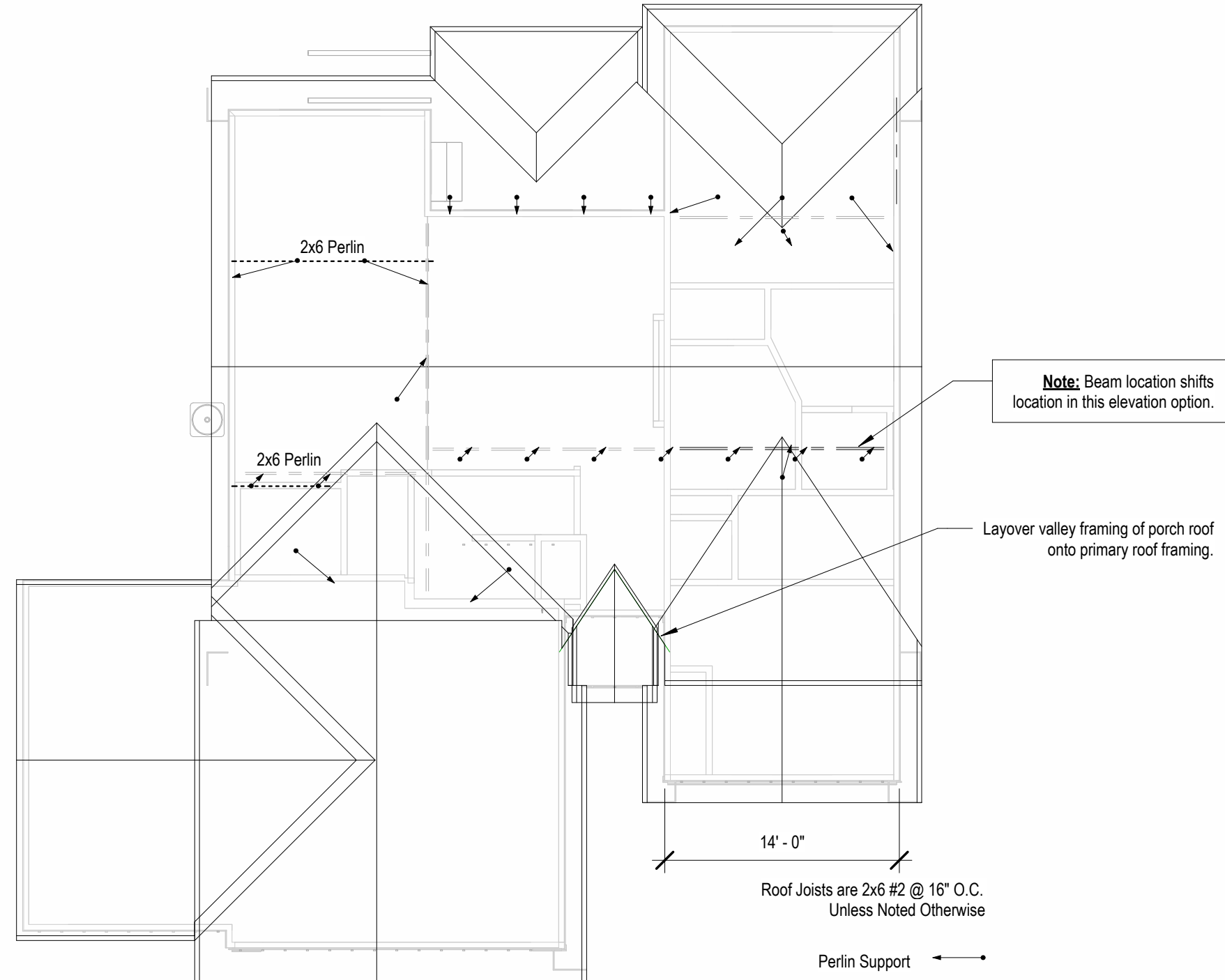
④ Back Elevation
1/8" = 1'-0"



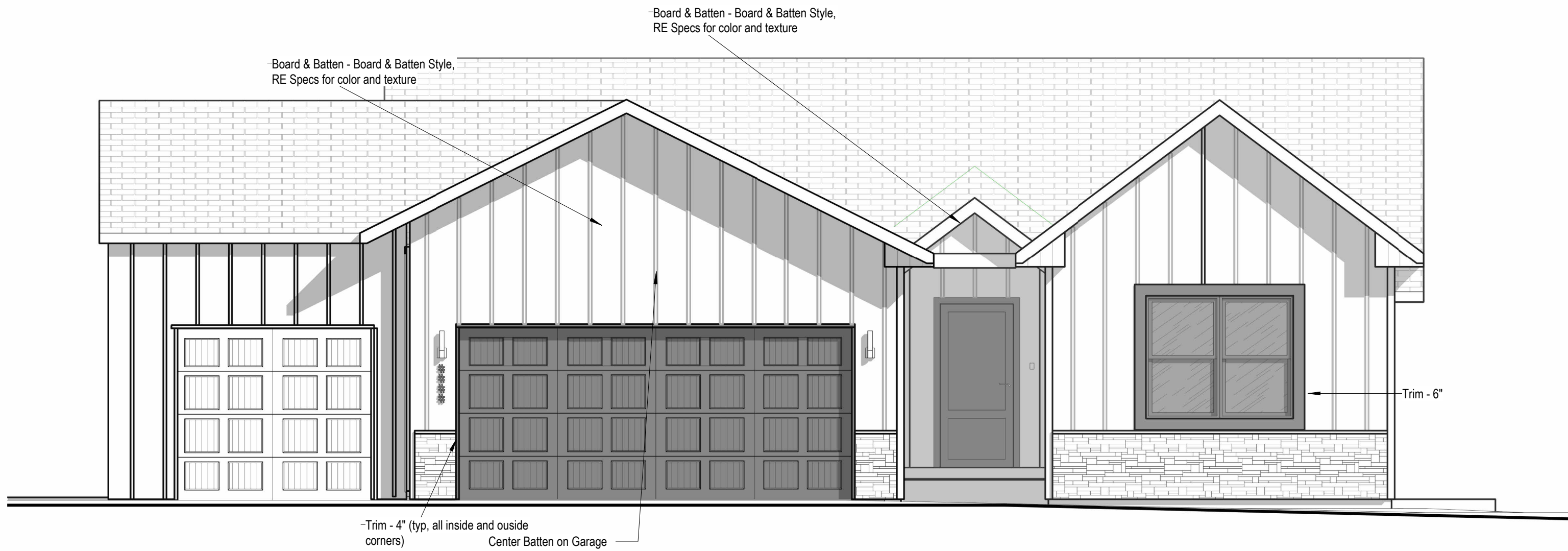
③ Right Elevation
1/8" = 1'-0"



② Left Elevation
1/8" = 1'-0"



⑤ Roof Framing
1/8" = 1'-0"



① Front Elevation - Farmhouse
1/4" = 1'-0"

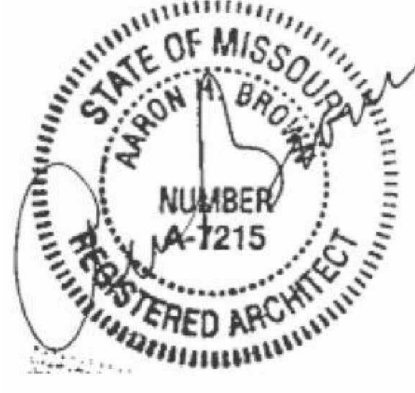
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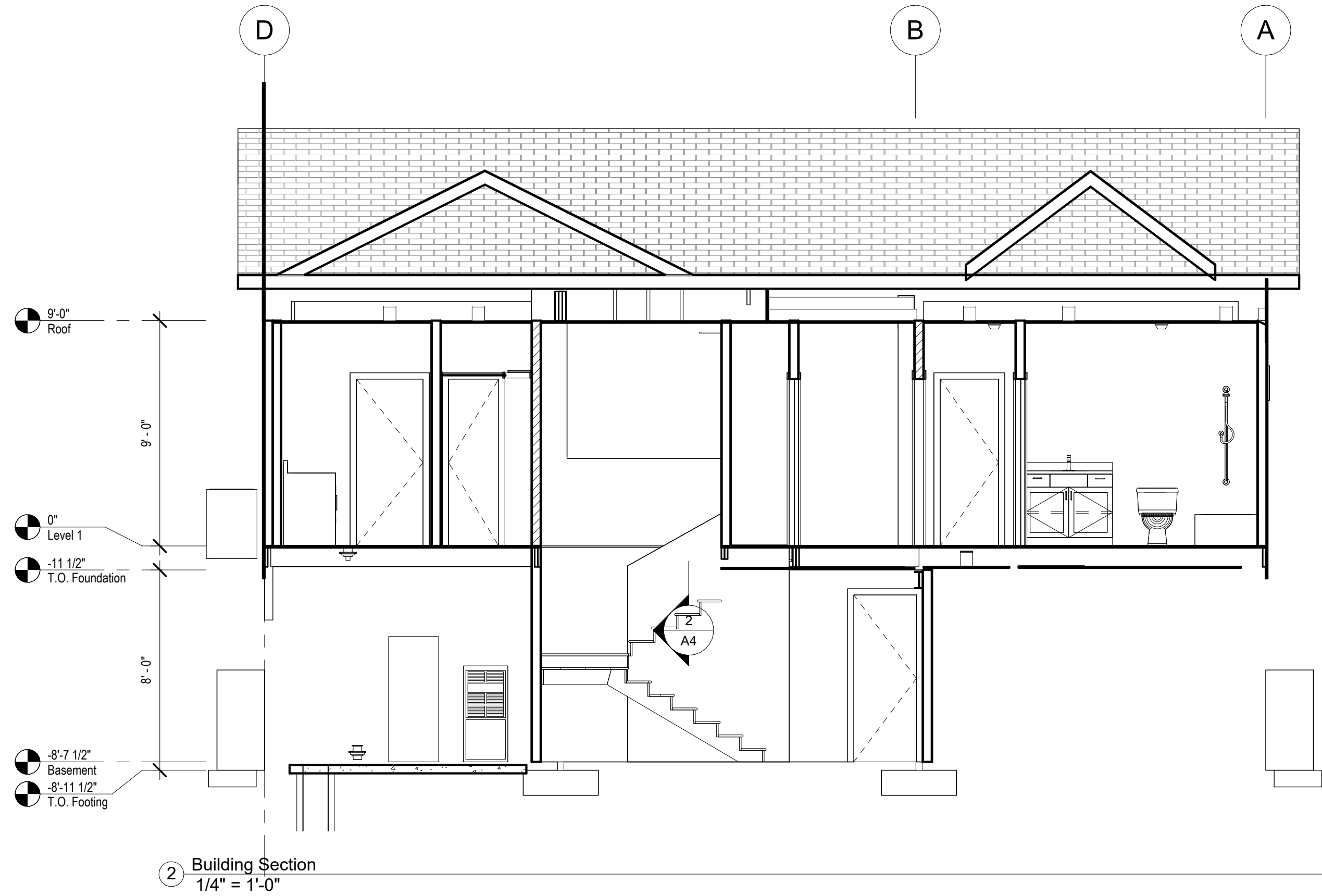
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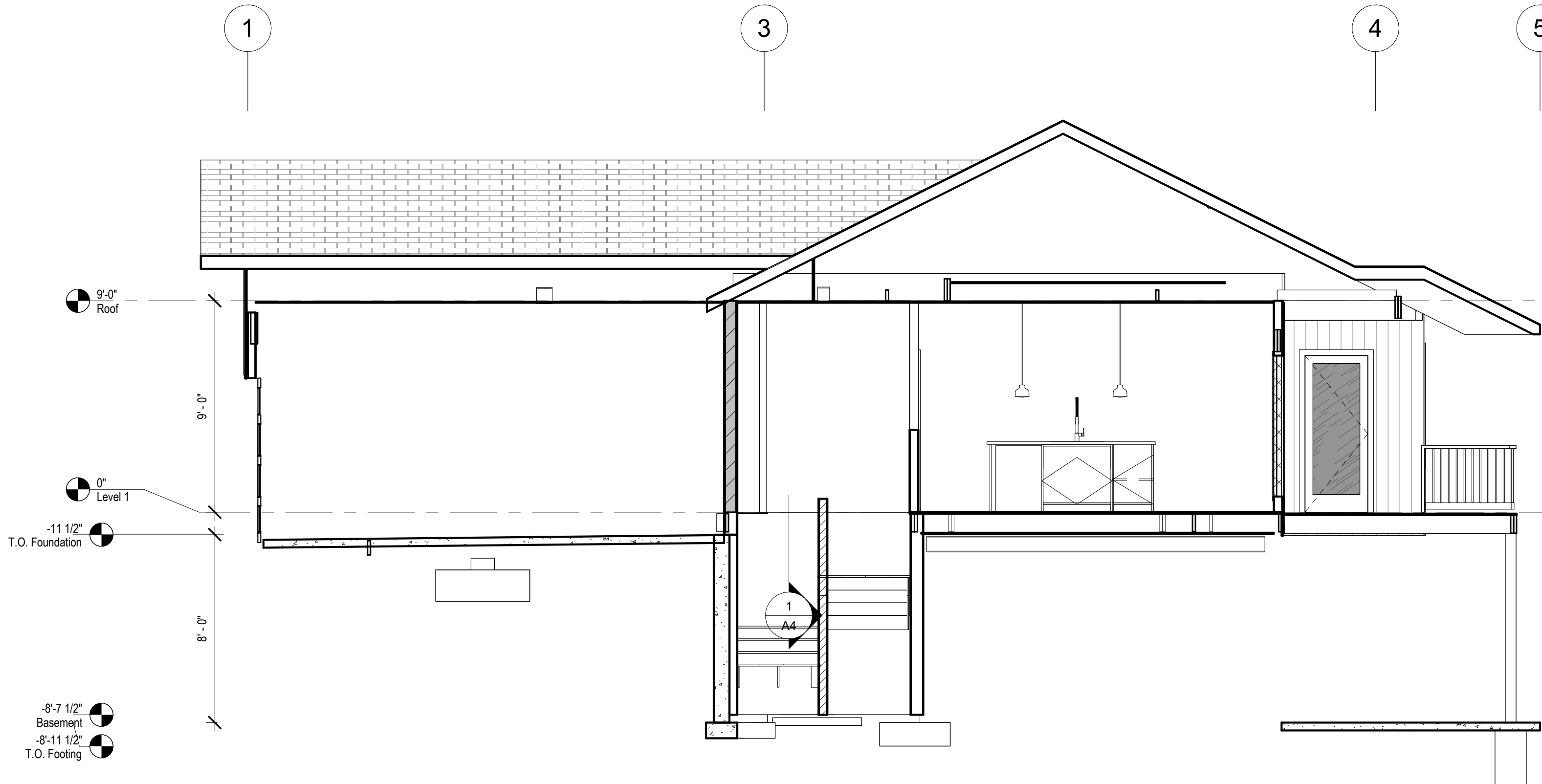
Building Sections

A4.B

Project No. Project Number



② Building Section
1/4" = 1'-0"



① Building Section
1/4" = 1'-0"

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