

GENERAL NOTES:

1. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL SCOPE NECESSARY FOR THE COMPLETE AND PROPER EXECUTION AND COMPLETION OF WORK BY THE OWNER.
2. THESE ARCHITECTURAL DRAWINGS ARE BASED ON THE DOCUMENTATION OF EXISTING CONDITIONS WITH PROPOSED OWNER IMPROVEMENTS. THOSE AREAS OF THE EXISTING STRUCTURE NOT PART OF THE PROJECT SCOPE ARE SHOWN FOR INFORMATION ONLY. SEE EXISTING CONDITIONS DRAWINGS IN THIS SET OF DOCUMENTS FOR AREAS OF THE EXISTING STRUCTURE INCLUDED.
3. MECHANICAL AND ELECTRICAL MODIFICATIONS ARE TO BE PERFORMED AS DESIGN-BUILD WORK BY LICENSED CONTRACTORS.
4. ALL NEW MECHANICAL AND ELECTRICAL WORK IS SHOWN ON ARCHITECTURAL DRAWINGS IS FOR CLARITY AND COORDINATION ONLY. ALL EQUIPMENT IS TO BE SELECTED AND INSTALLED BY CERTIFIED, LICENSED SUBCONTRACTORS.
5. CONTRACTORS SHALL REVIEW THESE DOCUMENTS IN THEIR ENTIRETY AND VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATE PERSONAL OBSERVATIONS WITH THE REQUIREMENTS OF THESE DOCUMENTS BEFORE PERFORMING THE WORK.
6. IF ANY CONTRACTOR DISCOVERS ANY ERROR, OMISSION, OR INCONSISTENCY IN THESE DOCUMENTS OR DIFFERENCES IN FIELD MEASUREMENTS OR CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER AND ARCHITECT AND RECEIVE INSTRUCTIONS BEFORE EXECUTING THE WORK.
7. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THEIR CONSTRUCTION MEANS, METHODS, SEQUENCES, AND PROCEDURES AND FOR COORDINATING JOB SITE SAFETY AND CLEANLINESS UNLESS SPECIFICALLY DIRECTED OTHERWISE BY THE OWNER.
8. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS. DRAWINGS IN THIS SET HAVE BEEN SHOWN AT SCALE NOTED IN EACH VIEW.
9. ALL HVAC SHOWN IN THIS DRAWING SET IS FOR INFORMATIONAL PURPOSES. ACTUAL DESIGN AND IMPLEMENTATION IS TO BE PROVIDED BY THE DESIGN-BUILD HVAC SUBCONTRACTOR TO MEET 2012 INTERNATIONAL MECHANICAL CODES.
10. ALL NEW AND MODIFIED ELECTRICAL SHOWN IN THIS DRAWING SET IS FOR INFORMATIONAL PURPOSES. ACTUAL DESIGN AND IMPLEMENTATION IS TO BE PROVIDED BY THE DESIGN-BUILD ELECTRICAL SUBCONTRACTOR. COORDINATE SUPPLY REQUIREMENTS FOR ALL NEW EQUIPMENT AND FIXTURES, AND DETERMINE PRECISE LOCATIONS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.

2 - GENERAL NOTES

SCALE: NTS

PROJECT DESCRIPTION:

The MAIN SLICE 2 project consists of the interior improvement of an existing retail tenant space, previously occupied by a similar Mercantile occupancy, at the Douglas Station Commercial Park Lots at NE Douglas and NE ... in Lee's Summit, Missouri. The strip mall development currently houses multiple M Mercantile occupancy tenants.

After renovation, the tenant finish space will also be an M occupancy, represents no chance in use. The tenant space is approximately X square feet on a single, grade level floor. The construction is assumed to be Type II-B, fully sprinklered.

Currently there is existing egress at the east and west ends of the retail space, with code compliant exit signage and door hardware in place. No alterations are being made to the existing building's circulation path or either egress condition.

LOCAL ADOPTED CODES:

The new construction home is within the city limits of Lee's Summit, Missouri which has adopted the 2012 International Building Code package with local amendments.

The project will be designed to meet the following local codes:

- 2012 International Building Code
- 2012 International Existing Building Code
- 2012 International Fire Code
- 2012 International Property Maintenance Code
- 2009 ANSI 117.1 Accessibility Standards

The project is also under the jurisdiction of Lee's Summit, Missouri ordinances and permitting requirements.

- 2012 International Mechanical Code
- 2012 International Fuel Gas Code
- 2012 International Plumbing Code
- 2011 NFPA 70; National Electric Code
- 2012 Energy Conservation Code

ANALYSIS:

Occupancy Group: M- Mercantile

Type of Construction: Type V-A non-combustible construction, fully sprinklered

Occupancy Load:

Room Name and #	Load Factor (SF / OCCUPANT)	Area (SF)	Occupant Load (OCCUPANTS)
Pick-Up #100	5 gross (standing / queing)	69 SF	14
Hall #101	100 gross	266 SF	3
Front Kitchen Prep #102	200 gross	623 SF	4
Public Restroom #103	100 gross	51 SF	1
Office #104	100 gross	51 SF	1
Janitor's Closet #105	300 gross	37 SF	1
Back Kitchen Prep #106	200 gross	385 SF	2
TOTAL OCCUPANCY			26

Note: The purpose of this analysis is to outline the major life safety and fire protection provisions of the 2006 International Building Code as interpreted by Form Field Studio as representing a major impact to the proposed project. The code issues listed here are not intended to be a complete listing of all possible code requirements within the 2012 International Building Code but intended to be a guide to selected section. And it is noted that Local Officials may interpret codes differently.

Provisions for the handicapped have not been reviewed or documented here. And this analysis does not review required provisions for structural, mechanical, electrical, plumbing, elevators, fire suppression, or standpipes, other than items noted.

1 - CODE SUMMARY

SCALE: NTS

PROJECT ADDRESS:  
MAIN SLICE 2  
1196 NE Douglas Street  
Lee's Summit, Missouri 64086

Legal Description:  
DOUGLAS STATION COMMERCIAL PARK LOTS 3-A, 4-A  
& 5-A---LOT 5-A

Parcel ID:  
52-910-14-06-00-0-00-000

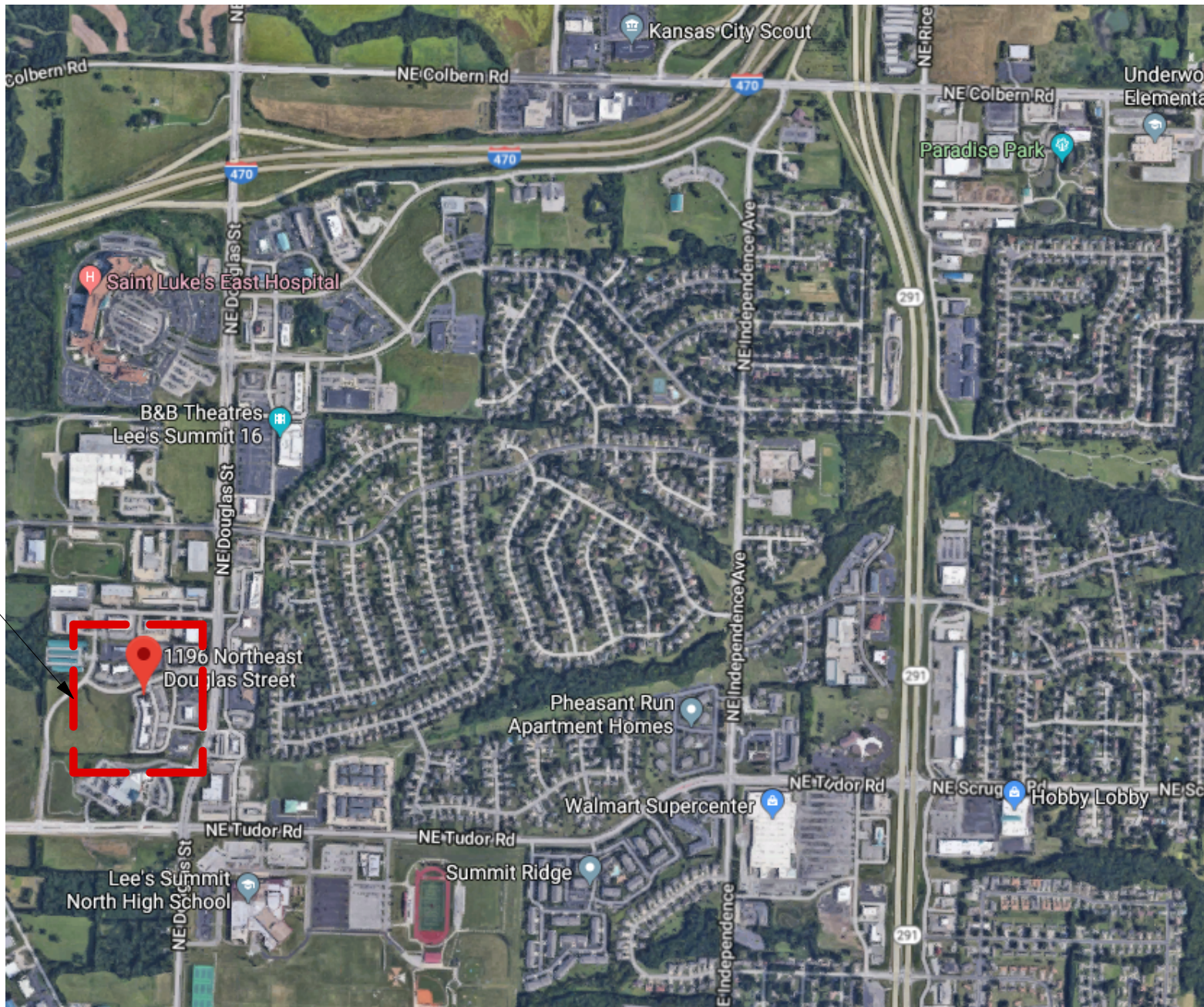
Land Use Type:  
Shopping Center, Neighborhood (code: 2270)

3 - PARCEL INFORMATION

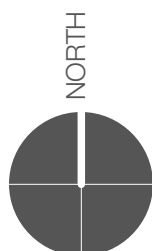
SCALE: NTS

DRAWING SHEET INDEX

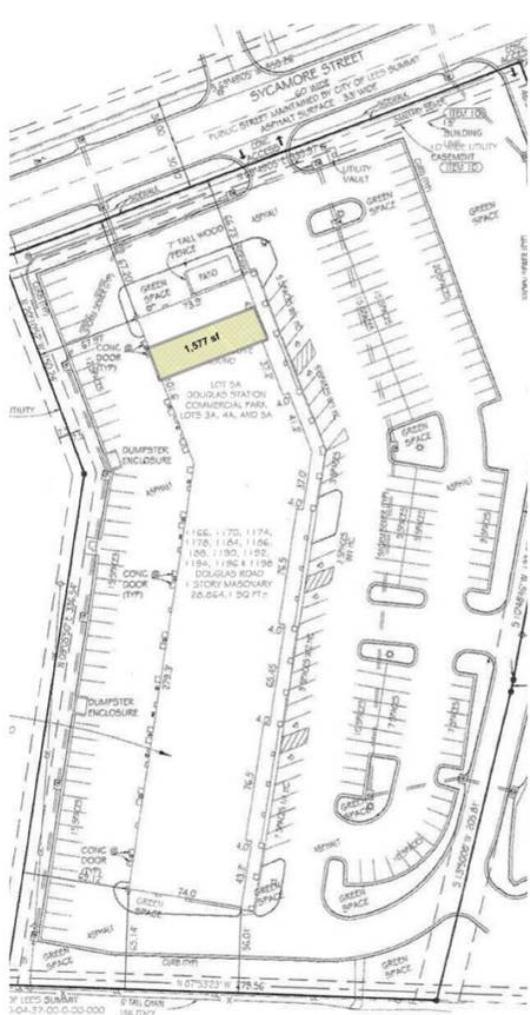
- G1.1 GENERAL INFORMATION
- A1.0 EXISTING CONDITIONS PLANS
- A1.1 NEW TENANT FINISH PLANS
- A1.2 ROOF PLAN



PROJECT ADDRESS:  
MAIN SLICE 2  
1196 NE Douglas Street  
Lee's Summit, Missouri 64086



VICINITY PLAN  
NOT TO SCALE



PROJECT #1801

MAIN SLICE 2  
TENANT FINISH

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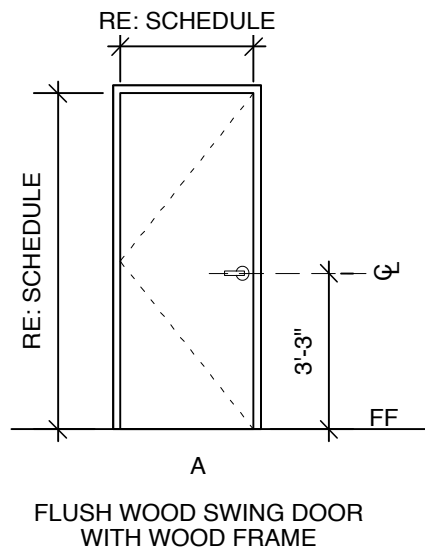
PERMIT DRAWING SET  
20 MARCH, 2018

FORM / FIELD STUDIO  
ART + ARCHITECTURE + PLANNING  
www.formfieldstudio.com

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ELEVATION @ NEW SWING DOOR



DOOR SCHEDULE						
#	DESCRIPTION	ELEV	TOTAL WIDTH	HEIGHT	MATERIAL	NOTES
100.1	SWING DOOR, SINGLE	-	3'0"	7'0"	ALUMINUM STOREFRONT FRAMING	EXISTING EXTERIOR PAIR OF STOREFRONT DOORS TO REMAIN
103.1	SWING DOOR, SINGLE	A	3'0"	6'8"	WOOD DOOR WITH WOOD FRAME	NEW OUTSWINGING DOOR WITH ADA COMPLIANT HARDWARE
104.1	SWING DOOR, SINGLE	-	3'0"	6'8"	WOOD DOOR WITH METAL FRAME	EXISTING SWING DOOR WITH ADA COMPLIANT HARDWARE
106.1	SWING DOOR, SINGLE	-	3'0"	6'8"	RATED STEEL DOOR WITH METAL FRAME	EXISTING EXTERIOR EGRESS DOOR TO REMAIN (RATED)

GENERAL NOTES:

- ALL DIMENSIONS ARE TO BE FIELD VERIFIED BEFORE DOORS ARE ORDERED, FABRICATED, AND/OR INSTALLED.
- ALL NEW DOOR TRIM IS TO MATCH EXISTING CONDITION SIZES, MATERIALS, AND PROFILES.
- WHERE FEASIBLE, EXISTING DOORS IN GOOD CONDITION MAY BE REUSED IN NEW LOCATIONS

4 - DOOR SCHEDULE

SCALE: NTS

PLUMBING FIXTURE SCHEDULE								
MARK	MANUFACTURER	MODEL	DESCRIPTION	POWER	WIDTH	DEPTH	HEIGHT	NOTES
P1	-	-	HAND WASHING SINK		1'5"			EXISTING TO REMAIN
P2	-	-	3-COMPARTMENT SINK					EXISTING TO REMAIN
P3	-	-	2-COMPARTMENT SINK					EXISTING TO BE REMOVED
P4	-	-	MOP SINK					EXISTING TO REMAIN
P5	AO SMITH	ECT-40 200	PRO-MAX 40 GALLON ELECTRIC WATER HEATER			18" DIA.	4'11 1/2"	EXISTING TO REMAIN
P6	BACKSTOP	12-A101	2 GALLON THERMAL EXPANSION TANK	3'5 3/4"		8" DIA.	1'0 1/2"	EXISTING TO REMAIN
P7	AMERICAN DISH SERVICE	AFC-3DS	UPRIGHT CHEMICAL SANITIZING DISHWASHER		2'9 1/2"	2'10 1/4"	5'10 1/2"	NEW

6 - PLUMBING FIXTURE SCHEDULE

SCALE: NTS

APPLIANCE SCHEDULE									
	MANUFACTURER	MODEL	DESCRIPTION	POWER	FUEL TYPE	LENGTH	DEPTH	HEIGHT	NOTES
A	AVANTCO	PICL3 93" / 178PICL3	THREE DOOR REFRIGERATED PIZZA PREP TABLE	120V	-	78"	3'1"	3'6 1/2"	EXISTING TO REMAIN
B	AVANTCO	ICF11-HC 42 1/2"	FLAT TOP DISPLAY FREEZER	115V	-	3'6 1/2"	2'2 3/8"	2'6 3/4"	EXISTING TO REMAIN
C	TRUE		REFRIGERATED FOOD PREP TABLE	-	-	2'3"	-	-	EXISTING TO REMAIN
D	NORLAKE		WALK-IN REFRIGERATION UNIT	-	-	6'0"	6'0"	-	EXISTING TO BE REMOVED
E	BAKERS PRIDE	BCO-G1	NATURAL GAS SINGLE DECK FULL SIZE CONVECTION OVEN	-	NATURAL GAS	3'3"	3'5 3/8"	2'8"	EXISTING TO REMAIN
F	COOKING PERFORMANCE GROUP		6-BURNER RANGE WITH 24" GRIDDLE AND 2 STANDARD OVENS	-	NATURAL GAS	5'0"	2'8"	-	EXISTING TO REMAIN
G	SOLWAVE	180MW1000SS	COMMERCIAL MICROWAVE	120V	-	1'8"	1'6 1/2"	1'0"	EXISTING TO BE REMOVED
H	DOYON	AEF 1055P	SPIRAL MIXER	-	-	1'5 1/4"	2'5 1/4"	3'3 3/4"	EXISTING TO REMAIN
I	BLAKESEE		BENCH MIXER	-	-	-	-	-	EXISTING TO REMAIN
J	BAKERS PRIDE	Y-602	8" DECK PIZZA OVENS	-	NATURAL GAS	6'6"	3'7"	5'6 1/4"	NEW
K	ICE-O-MATIC	ICEO320	CUBE ICE MAKER	115V	-	1'10 3/8"	2'0 1/4"	1'11 1/8"	NEW
L	ICE-O-MATIC	B42	SLOPE FRONT ICE STORAGE BIN	-	-	1'10"	2'7"	3'8"	NEW
M	KOLPAK	QS6-0812-CT	WALK-IN REFRIGERATION UNIT	-	-	12'0"	8'0"	-	NEW

5 - APPLIANCE SCHEDULE

SCALE: NTS

SIM.	SIMILAR
REV.	REVERSE
AFF	ABOVE FINISH FLOOR
N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF
E.O.	EDGE OF
F.O.	FACE OF
T.O.	TOP OF
F.V.	FIELD VERIFY
GWB	GYPSUM WALLBOARD

---	EXISTING WALL TO BE DEMOLISHED
---	EXISTING WALL TO REMAIN
---	NEW PARTITION WALL, FULL HEIGHT, CONNECTING TO DECK
---	NEW PARTITION WALL, PARTIAL HEIGHT PER ELEVATIONS

---	NEW INTERIOR FIXED GLAZING, SIZED ON PLANS
-----	--

	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW SWING DOOR

	DOOR TAG
	WINDOW TAG
	ELEVATION SYMBOL
	DETAIL SYMBOL

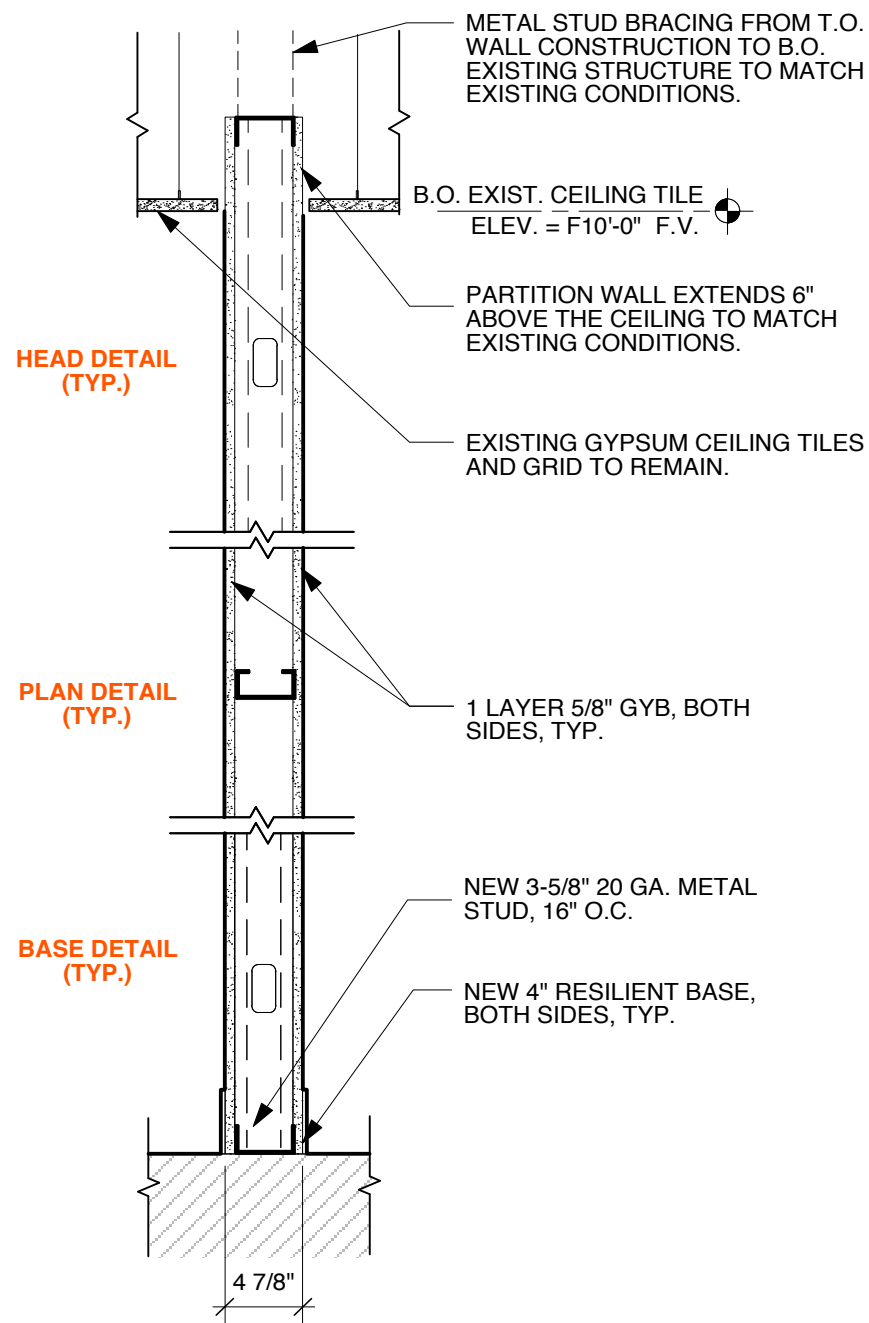
	COLUMN GRID
	ELEVATION DATUM

	NEW RECEPTABLE
	NEW GFCI RECEPTABLE
	NEW SWITCH
	CEILING-MOUNTED FIXTURE
	EXHAUST FAN DIRECT VENTED TO THE OUTSIDE
	CEILING MOUNTED FAN WITH LIGHT
	RECESSED CAN FIXTURE
	EXISTING PENDANT FIXTURE
	EXISTING RECESSED PENDANT SPRINKLER HEAD TO REMAIN

	EXISTING SUPPLY DIFFUSER TO REMAIN
	EXISTING DUCTED RETURN GRILLE TO REMAIN
	EXISTING EXHAUST FAN TO REMAIN
	EXISTING 2X4 FLUORESCENT LIGHT TO REMAIN
	RELOCATED 2X4 FLUORESCENT LIGHT

2 - REFLECTED CEILING PLAN LEGEND

SCALE: NTS



WALL TYPE A.1  
NEW FULL HEIGHT,  
NON-RATED TENANT FINISH  
PARTITION WALL  
METAL STUD FRAME WITH  
NEW 5/8" GWB LAYERS

3 - WALL TYPES

SCALE: NTS

PERMIT SET

20 MARCH, 2018

REV. # / DATE

- COMMENT REVISIONS 4.23.18
- COMMENT REVISIONS 5.11.18

PROJECT #1801  
MAIN SLICE 2

1196 NE DOUGLAS STREET, LEE'S SUMMIT, MISSOURI 64086

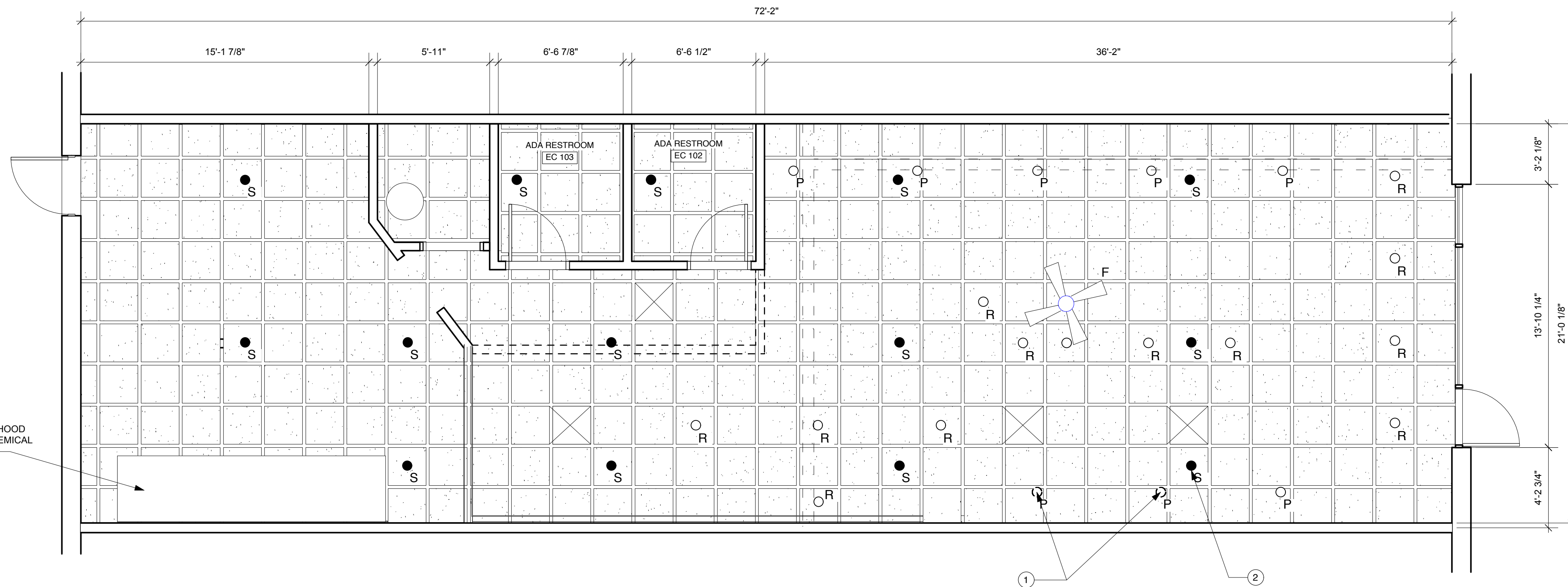
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GENERAL INFORMATION

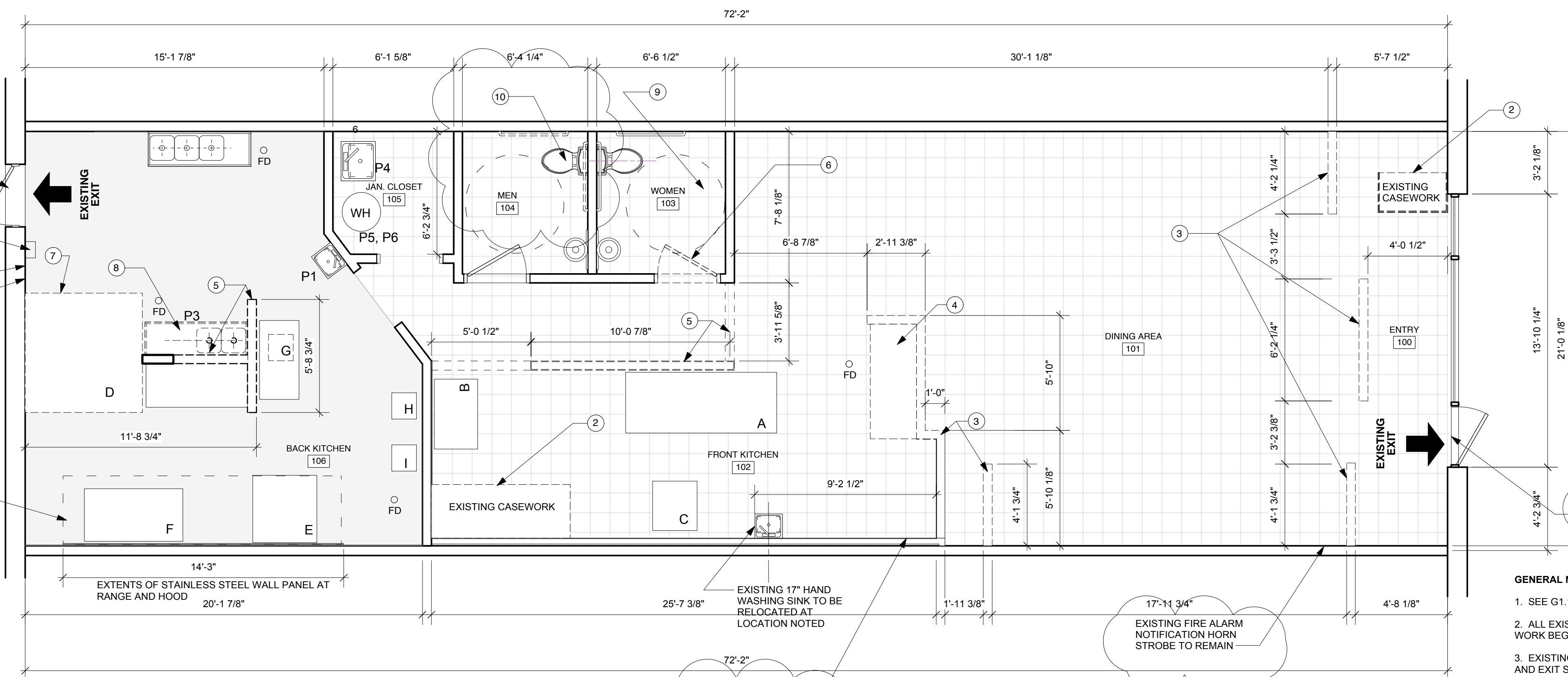
G1.1



- PLAN NOTES:
- 1 REMOVE EXISTING PENDANTS WHERE THEY ARE IN CONFLICT WITH NEW OFFICE CONSTRUCTION
  - 2 ADJUST SPRINKLER HEAD AS REQUIRED FOR NEW OFFICE LOCATION
  - 3 EXISTING BEAMS FOR FRAMING OF UPPER ROOF ASSEMBLY TO REMAIN, SHOWN FOR INFORMATIONAL PURPOSES.

- GENERAL NOTES:
1. SEE G1.1 FOR ALL LEGENDS AND SCHEDULES.
  2. ALL EXISTING SHELL CONDITIONS SHOWN ARE TO BE FIELD VERIFIED BEFORE WORK BEGINS.
  3. UNLESS NOTED OTHERWISE, ALL CEILING LOCATED ITEMS (LIGHTING, HVAC, SPRINKLER, ETC) TO REMAIN IN EXISTING LOCATION

**2 - EXISTING CONDITIONS / DEMOLITION REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



- PLAN NOTES:
- 1 EXISTING EQUIPMENT SHOWN FOR REFERENCE ONLY, TYP. RE: A1.1 FOR EQUIPMENT TO REMAIN AFTER IMPROVEMENT SCOPE OF WORK
  - 2 EXISTING CASEWORK TO BE REMOVED IN ITS ENTIRETY, INCLUDING INTEGRATED POWER / DATA
  - 3 EXISTING LOW-HEIGHT PARTITION WALL TO BE REMOVED IN ITS ENTIRETY
  - 4 EXISTING COUNTERTOPS TO BE REMOVED IN THEIR ENTIRETY
  - 5 EXISTING 8' PARTITION WALL TO BE REMOVED IN ITS ENTIRETY, INCLUDING ANY INTEGRATED POWER, DATA, HVAC
  - 6 REMOVE EXISTING DOOR AND DOOR FRAME IN ITS ENTIRETY
  - 7 REMOVE EXISTING APPLIANCE IN ITS ENTIRETY
  - 8 REMOVE EXISTING PLUMBING FIXTURE IN ITS ENTIRETY
  - 9 EXISTING RESTROOM IS ADA-COMPLIANT PER ICC/ANSI A117.1-2009  
THIS INCLUDES COMPLIANT TOILET, WALL-MOUNTED LAVATORY, LEVER-STYLE FAUCET, SURFACE-MOUNTED MIRROR, AND ALL SURFACE-MOUNTED TOILET ROOM ACCESSORIES  
GRAB BARS INCLUDE REAR AND SIDE WALL, INCLUDING VERTICAL GRAB BAR PER ANSI A117.1-2009 FIGURE 604.5.1  
EXISTING TOILET TO BE REMOVED WITH WASTE LINE CAPPED. GRAB BARS TO REMOVED WITH WALLS
  - 10 EXISTING EXIT SIGNAGE TO REMAIN

- GENERAL NOTES:
1. SEE G1.1 FOR ALL LEGENDS AND SCHEDULES.
  2. ALL EXISTING SHELL CONDITIONS SHOWN ARE TO BE FIELD VERIFIED BEFORE WORK BEGINS.
  3. EXISTING EGRESS DOOR LOCATIONS HAVE CODE-COMPLIANT DOOR HARDWARE AND EXIT SIGNAGE
  4. EXISTING FLOOR DRAIN LOCATIONS ARE TO REMAIN IN PLACE

**1 - EXISTING CONDITIONS / DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

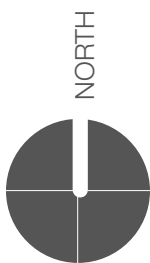
**PERMIT SET**

20 MARCH, 2018  
REV. # / DATE  
1 COMMENT REVISIONS 4.23.18  
2 COMMENT REVISIONS 5.11.18

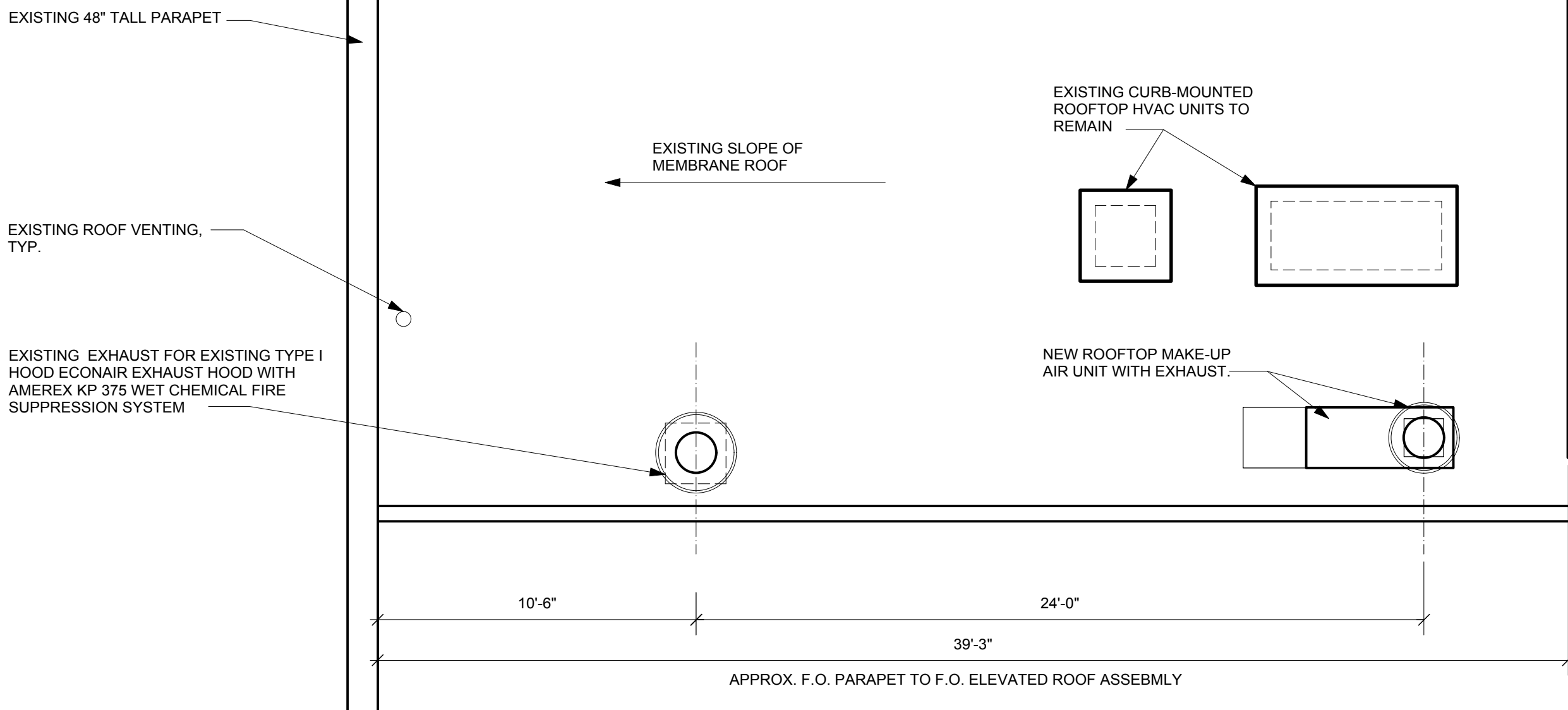
**FLOOR PLANS**







1 - ROOF PLAN  
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- SEE G1.1 FOR ALL LEGENDS AND SCHEDULES.
- ALL EXISTING SHELL CONDITIONS SHOWN ARE TO BE FIELD VERIFIED BEFORE WORK BEGINS.
- THE NEW WORK SHOWN IS INTENDED TO BE TREATED TO MATCH EXISTING CONDITIONS. CURRENTLY THERE IS NO SCREENING OF ANY ROOFTOP EQUIPMENT ON THE ENTIRETY OF THE STRIP MALL BUILDING.
- EXISTING ROOFTOP EQUIPMENT AND PENETRATIONS ARE SHOWN FOR CLARITY AND ARE NOT AMENDED AS PART OF THIS PROJECT.
- PROVIDE NEW CONVENIENCE RECEPTACLE WITHIN 25 FEET OF NEW HVAC EQUIPMENT.
- NEW ROOFTOP MAKE-UP UNIT TO BE SET ON BUILT-UP CURB CONSISTENT WITH EXISTING ROOF CONSTRUCTION. NEW ROOFING MEMBRANE TO WRAP UNDERSIDE OF COUNTERFLASHING TO ENSURE WATER-TIGHT ASSEMBLY.

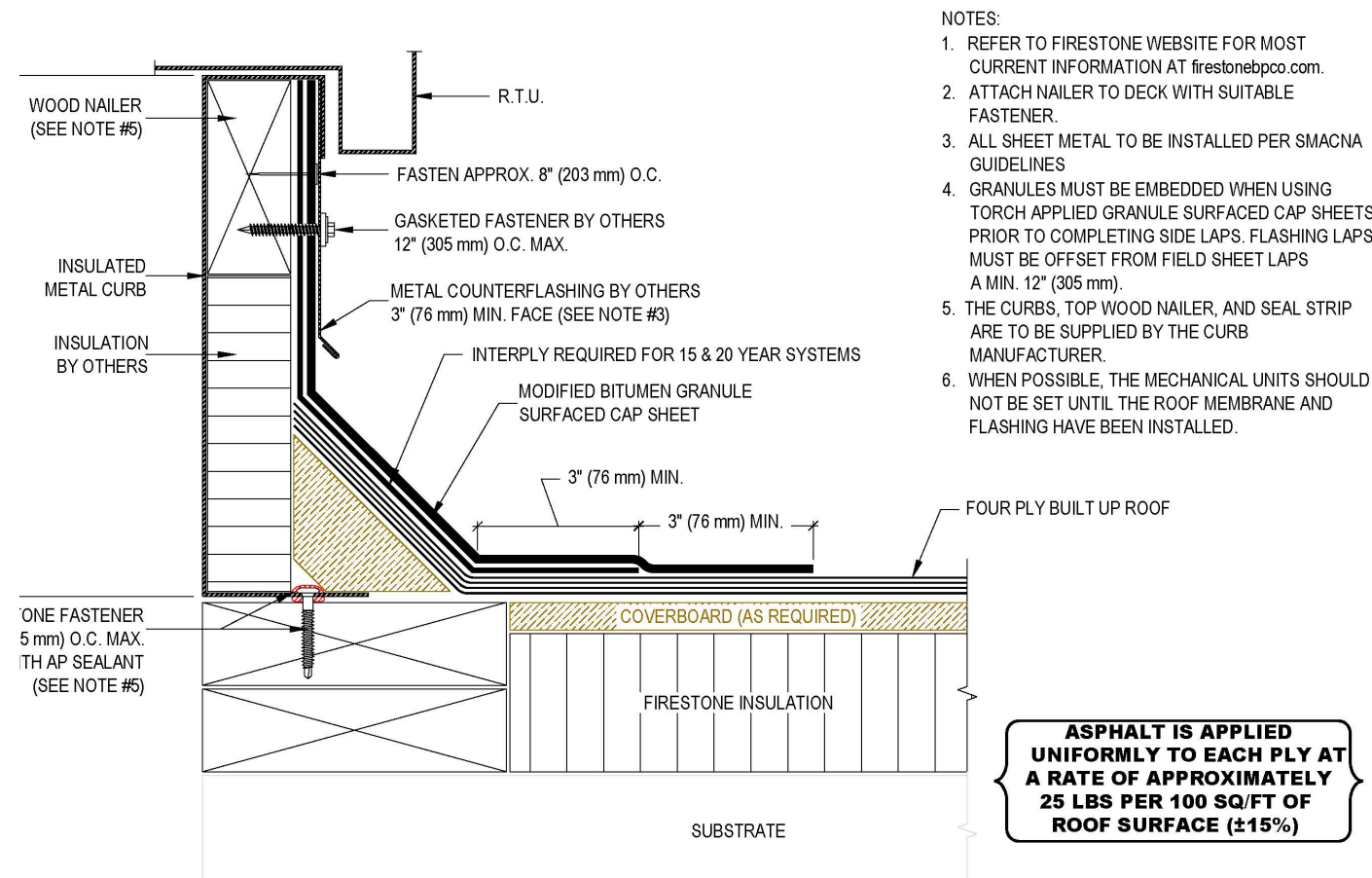
HOOD EXHAUST SPECIFICATIONS:

TYPE 1 KITCHEN HOOD EXHAUST SYSTEMS SHALL BE FURNISHED AND INSTALLED AS NOTED BELOW AND SHALL COMPLY WITH NFPA 96, AND SHALL BE INSTALLED VERTICALLY (MAXIMUM 45 DEGREE OFFSET FROM THE VERTICAL) FROM THE HOOD OUTLET TO THE ROOF MOUNTED FAN INLET :

1. FABRICATED DUCTWORK: THE CONTRACTOR SHALL FURNISH AND INSTALL MINIMUM 16 GAUGE STEEL WITH WELDED SEAMS AND FITTINGS, OR MINIMUM 18 GAUGE, TYPE 304 STAINLESS STEEL WITH 20 FINISH AND WELDED SEAMS AND FITTINGS. EXHAUST DUCTS SHALL BE CONSTRUCTED WITH MINIMUM NEGATIVE 2" WG PRESSURE CLASS CONSTRUCTION. PROVIDE ALL REQUIRED TRANSITION FITTINGS FROM HOOD EXHAUST DUCT CONNECTION OUTLET TO DUCTWORK SYSTEM, AND FROM DUCTWORK SYSTEM TO ROOF MOUNTED EXHAUST FAN INLET.

COMMERCIAL KITCHEN GREASE EXHAUST DUCTWORK SHALL BE INSULATED WITH 2 HOUR RATED, 1-1/2" THICK, ONE LAYER, TOTALLY FOIL-ENCAPSULATED FLEXIBLE FIREPROOFING WRAP SPECIFICALLY TESTED TO PROVIDE 2 HOUR RATING ON KITCHEN GREASE DUCT AND VENTILATION DUCTS WHERE NOTED ON DRAWINGS. THE WRAP SHALL BE THERMAL CERAMICS, FIREMASTER, OR EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH ALL RECOMMENDED TAPE, STICK-CLIPS AND DRAWBANDS. FIRE-RATED DUCT WRAP SHALL BE LISTED BY NFPA 96, AND SHALL BE INSTALLED WITH PERIMETER AND LONGITUDINAL OVERLAP OF 3".

GREASE DUCT ACCESS DOORS AND DUCT GREASE RESERVOIRS SHALL ONLY BE FURNISHED AND INSTALLED PER 2012 IMC, SECTION 506 IF THE INSTALLATION REQUIRES HORIZONTAL RUNS OF GREASE DUCT.



2 - TYPICAL CURB DETAIL  
SCALE: NOT TO SCALE

PERMIT SET

20 MARCH, 2018

REV. # / DATE

- 1/ COMMENT REVISIONS 4.23.18
- 2/ COMMENT REVISIONS 5.11.18

PROJECT #1801  
MAIN SLICE 2

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FLOOR PLANS

A1.2