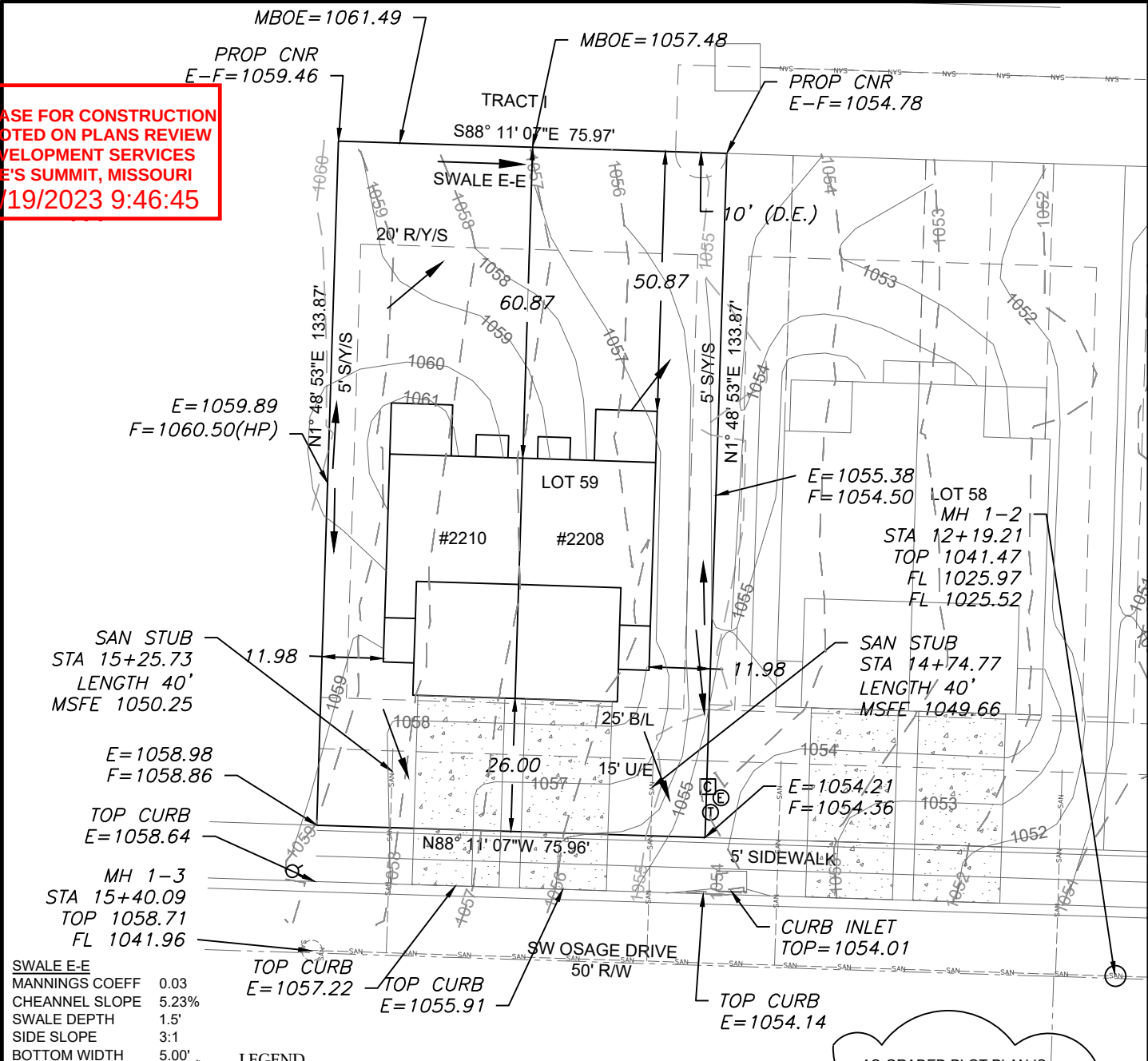


RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
09/19/2023 9:46:45



SWALE E-E	
MANNINGS COEFF	0.03
CHEANNEL SLOPE	5.23%
SWALE DEPTH	1.5'
SIDE SLOPE	3:1
BOTTOM WIDTH	5.00'

- LEGEND**
- Gas Meter
 - Telephone or Fiber-Optic Pedestal
 - Cable TV Pedestal
 - Electric Pedestal
 - Light Pole
 - Mailbox
 - Fire Hydrant
 - Water Valve

PROPOSED HOUSE

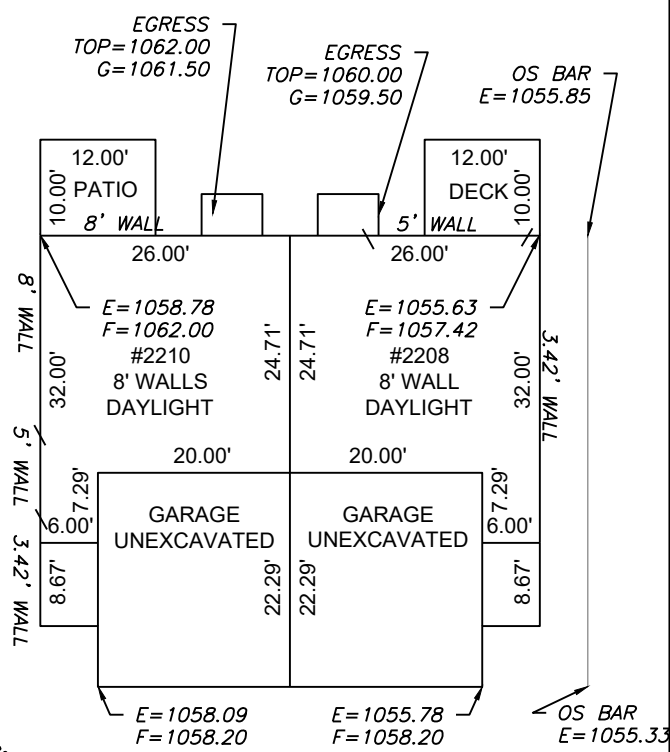
TOP FOUNDATION = 1062.75
GARAGE FLOOR (2210)= 1058.20
GARAGE FLOOR (2208)= 1058.20
TOP FOOTING = 1054.75
BASEMENT FLOOR = 1055.08
DRIVE SLOPE (2210)=2.9%
DRIVE SLOPE (2208)= 8.0%

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

AS-GRADED PLOT PLAN IS REQUIRED PRIOR TO SODDING.



Scale 1"=30'
LOT INFORMATION

10,169 SQ. FT.
REAR LEFT MBOE = 1062.78
REAR RIGHT MBOE = 1054.80
MSFE(2210) = 1050.25
MSFE(2208) = 1049.66
ADDRESS
2210 SW OSAGE DRIVE
2208 SW OSAGE DRIVE

LEGAL DESCRIPTION

LOT 59, OSAGE SECOND PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816)623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM

STATE OF MISSOURI
MATTHEW J. SCHLICHT
PROFESSIONAL ENGINEER
PE-2006019708
8/31/2023

PLOT PLAN - LOT 59				
OSAGE SECOND PLAT LEE'S SUMMIT, JACKSON COUNTY, MISSOURI				
CLOVER & HIVE 120 SE 30TH STREET LEE'S SUMMIT, MO 64082				
PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 56, 57, 58, 59, OSAGE	7/6/23	1	1
Rev:				