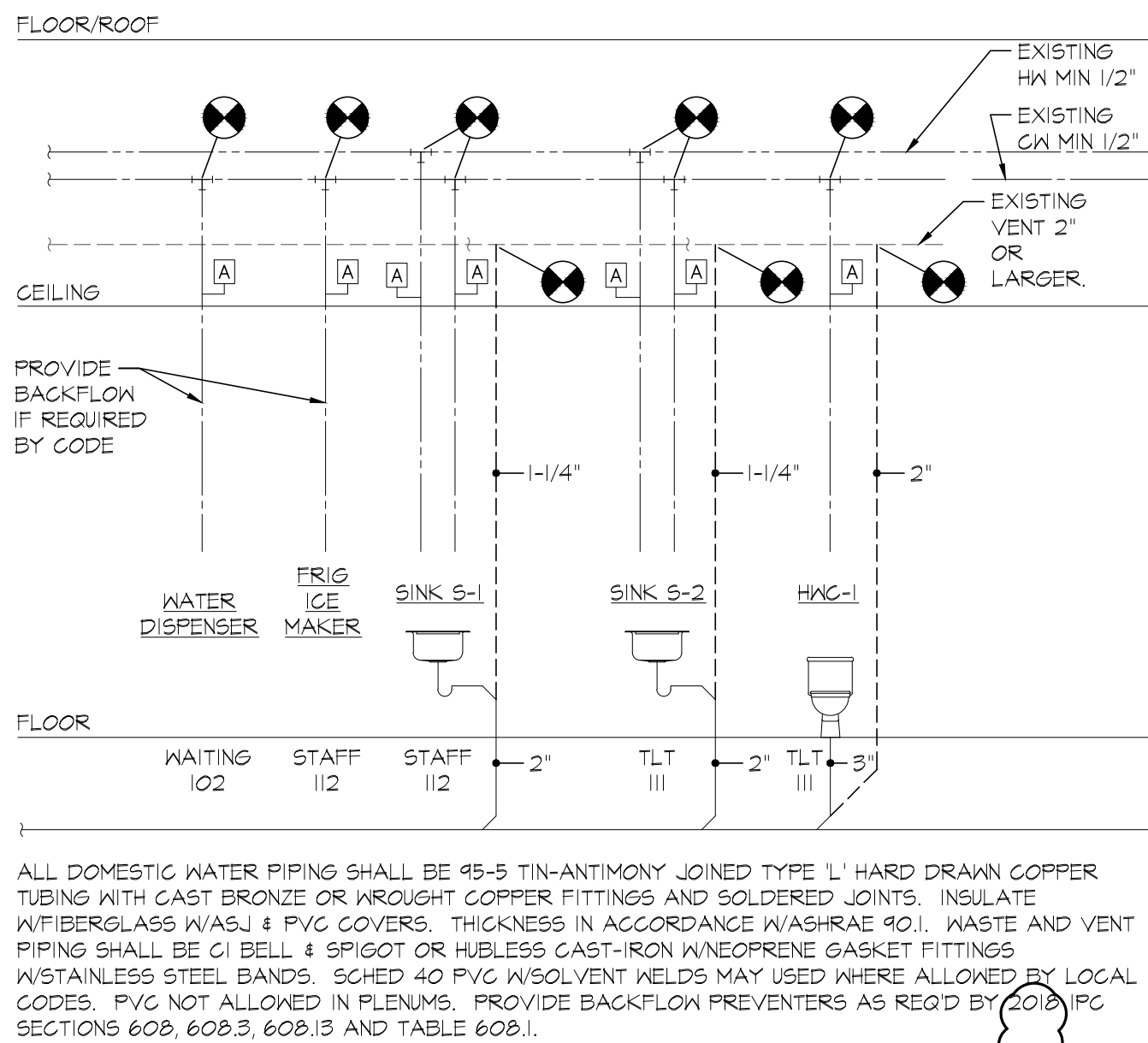


**M5 FLOOR PLAN**  
SCALE: 3/16" = 1'-0" 0' 1'-0" 2'-8" 3'-4"

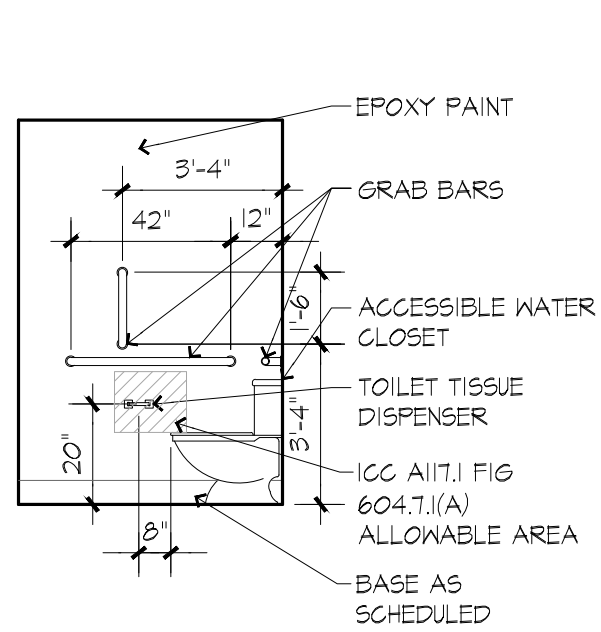


**G6 PLUMBING RISER**  
A1 SCALE: NOT TO SCALE

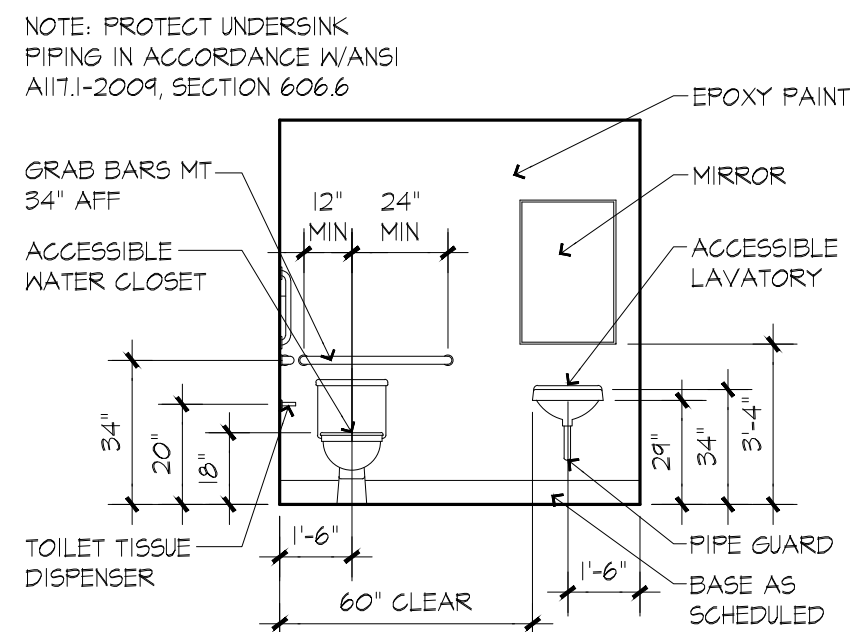
- TOILET NOTES:**
- RELOCATE EXISTING FIXTURE AND ACCESSORIES.
  - HOT WATER SUPPLY AND DRAIN PIPING BELOW SINKS - ADA COMPLIANT.
  - ALL TOILET ACCESSORIES TO BE MOUNTED AS NOTED BELOW OR PER MANUFACTURER'S RECOMMENDATIONS FOR ADA ACCESSIBILITY.
  - PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AS REQUIRED FOR ALL ACCESSORIES

ITEM	SPEC	MOUNTING TYPE	MOUNTING HEIGHT
TOILET TISSUE DISPENSER	BOBRICK B-76851	SURFACE MTD	20" TO CENTER
MIRRORS	BOBRICK B-165 2436	SURFACE MTD	40" MAX TO GLAZING
GRAB BARS	BOBRICK B-6806	SURFACE MTD	34" TO CENTERLINE
PAPER TOWEL DISPENSER	BOBRICK B-262	SURFACE MTD	54" TO TOP

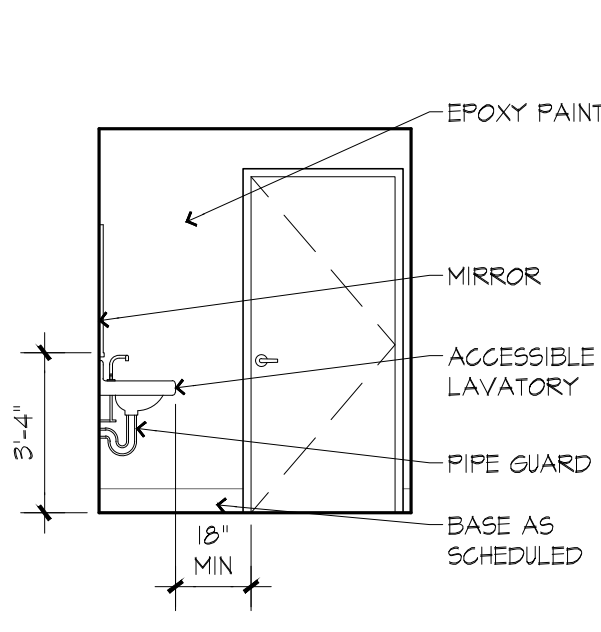
**E6 TOILET ACCESSORIES**  
A2 SCALE: NO SCALE



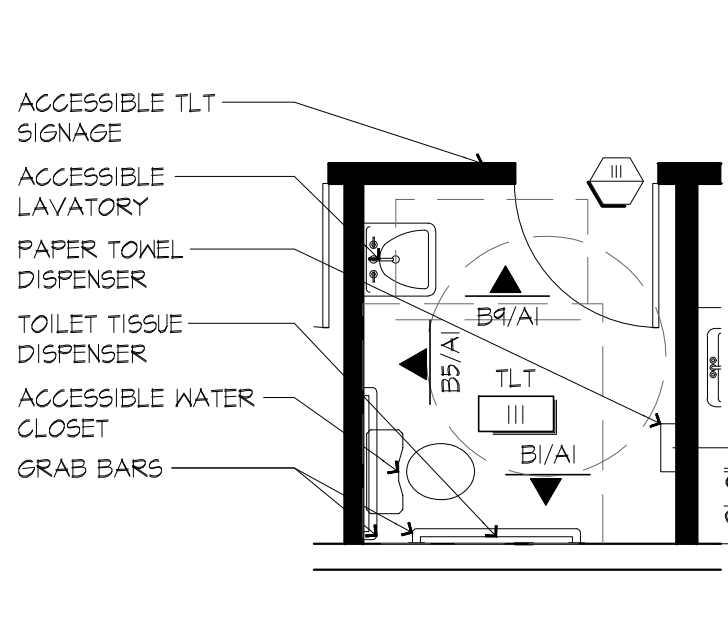
**B1 TOILET ELEVATION**  
A1 SCALE: 1/4" = 1'-0" 0' 1'-0" 2'-0" 4'-0"



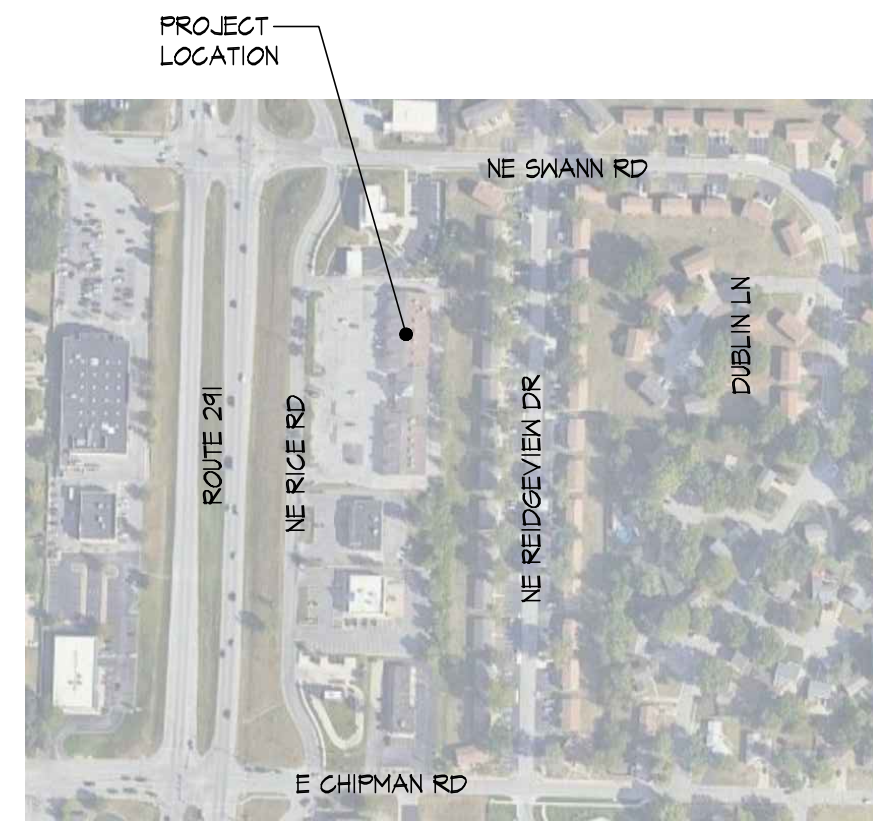
**B5 TOILET ELEVATION**  
A1 SCALE: 1/4" = 1'-0" 0' 1'-0" 2'-0" 4'-0"



**B9 TOILET ELEVATION**  
A1 SCALE: 1/4" = 1'-0" 0' 1'-0" 2'-0" 4'-0"



**B13 TOILET PLAN**  
A1 SCALE: 1/4" = 1'-0" 0' 1'-0" 2'-0" 4'-0"



**N17 KEY/LOCATION PLAN**  
SCALE: NOT TO SCALE 0' 1'-0" 2'-0" 4'-0"

**ACCESSIBILITY STATEMENT:**  
TO THE BEST OF ARCHITECT'S KNOWLEDGE AND INTENT, THIS PROJECT IS DESIGNED TO MEET THE ACCESSIBILITY REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2012 EDITION, AND THE ICC/ANSI-A11.1, ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES, 2009 EDITION.

**PROJECT INFORMATION:**  
PROJECT NAME: MOMMY & ME CHIROPRACTIC  
PROJECT ADDRESS: 811 NE RICE ROAD  
PROPOSED USE: CHIROPRACTIC CLINIC  
JURISDICTION: LEE'S SUMMIT, MO  
BUILDING CODE: INTERNATIONAL BUILDING CODE, 2018 EDITION  
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE, 2018 EDITION  
PLUMBING CODE: INTERNATIONAL PLUMBING CODE, 2018 EDITION  
FIRE SAFETY CODE: INTERNATIONAL FIRE CODE, 2018 EDITION  
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2017 EDITION

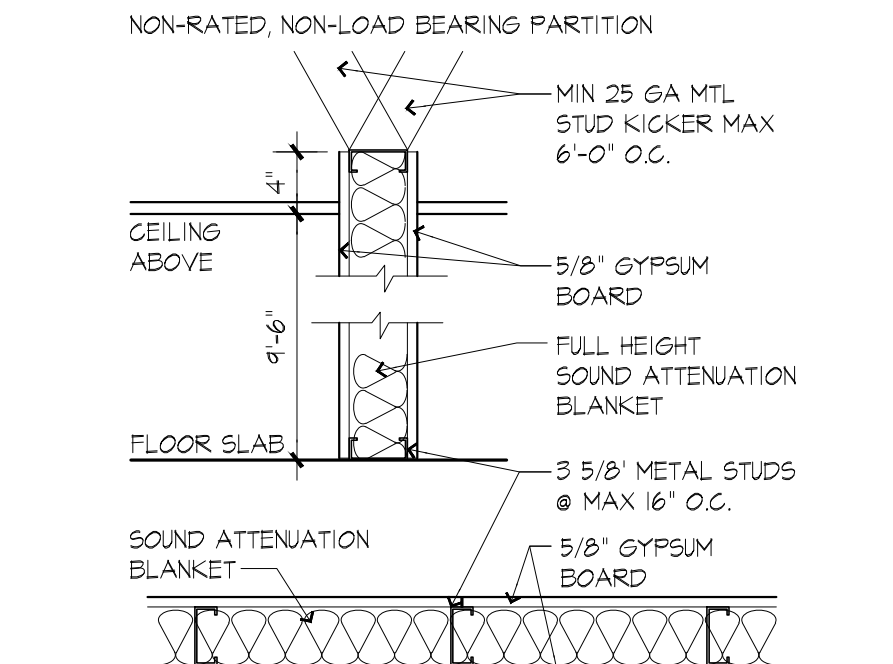
**BUILDING DATA:**  
OCCUPANCY TYPE: B - BUSINESS  
CONSTRUCTION TYPE: V-B  
AUTOMATIC SPRINKLER: NONE

**TENANT AREA DATA**  
TENANT AREA: 1344 SF  
OCCUPANCY: 146 TOTAL  
WAITING: 45 SF x 1/15 SF = 6.3  
B OCCUPANCY: 1249 SF x 1/150 SF = 8.3  
REQUIRED EXITS: 1  
PROVIDED EXITS: 2

**N21 PROJECT INFORMATION**  
A1 SCALE: NO SCALE

- WALL TYPE**
- SECTION REFERENCE**
- DETAIL NO.**
- SHEET NO.**
- ROOM NAME**
- ROOM NUMBER**
- DOOR NUMBER**
- ELEVATION REFERENCE**
- FIRE EXTINGUISHER**
- EXISTING CONSTRUCTION TO REMAIN**
- EXISTING CONSTRUCTION TO BE REMOVED**
- NEW CONSTRUCTION**

**J21 SYMBOL LEGEND**  
SCALE: NO SCALE

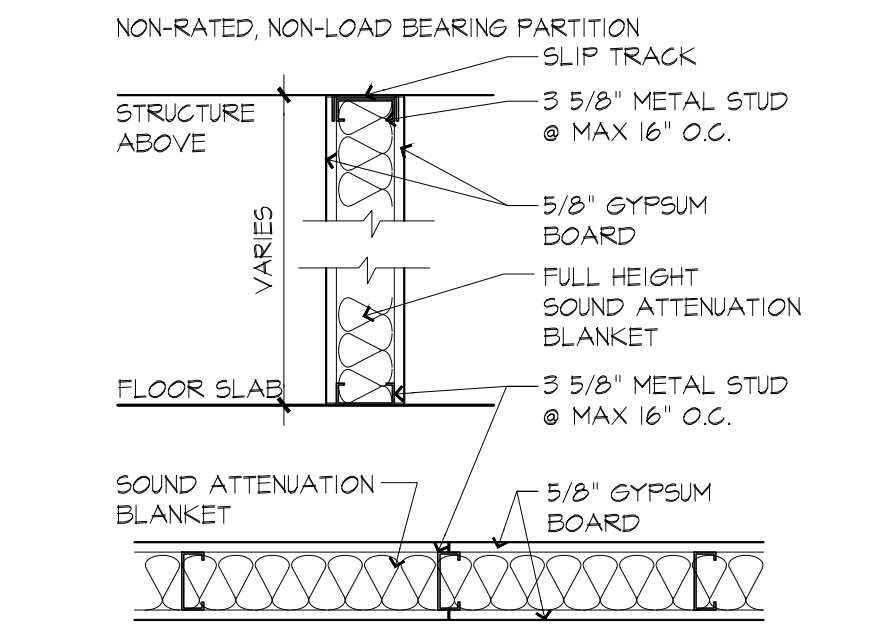


**DESCRIPTION**  
3 5/8" MIN 25 GA. METAL STUDS TO 4" ABOVE SUSPENDED CEILING GRID. BRACE TO STRUCTURE. PROVIDE FOUR FOOT WIDE 5/8" GYPSUM BOARD BOTH SIDES OF STUDS. FULL THICKNESS, FULL HEIGHT MINERAL WOOL SOUND ATTENUATION IN STUD CAVITY

- AS DESCRIBED**
- W/O ACOUSTIC INSULATION**

**E21 WALL TYPE 1**  
A1 SCALE: NOT TO SCALE

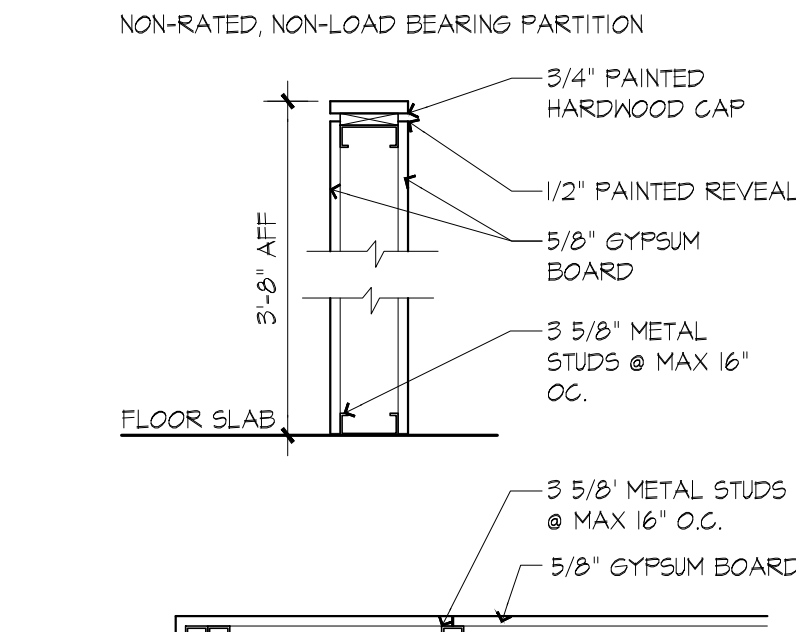
**E17 PARTITION NOTES**  
A1 SCALE: NOT TO SCALE



**DESCRIPTION**  
3 5/8" MIN 25 GA. METAL STUDS TO UNDERSIDE OF DECK, MAX 16" O.C. PROVIDE DIAGONAL STUD BRACING TO SLAB ABOVE @ 48" O.C. AT DROP ARCHES/BULKHEADS.  
1. GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH (E.G. TOILETS, BREAK, JANITOR CLOSET, WET COLUMNS) SHALL BE WATER-RESISTANT.  
J. ALL GYPSUM BOARD TO BE HELD 1/2" ABOVE FLOOR LEVEL TO PREVENT MOISTURE WICKING.

- AS DESCRIBED**
- W/O SOUND ATTENUATION**

**A17 WALL TYPE 2**  
A1 SCALE: NOT TO SCALE



**DESCRIPTION**  
3 5/8" MIN 25 GA. METAL STUDS TO 3'-6 1/2" AFF. PROVIDE FOUR FOOT WIDE 5/8" GYPSUM BOARD BOTH SIDES OF STUDS. 3/4" PAINTED WOOD CAP.

**A21 WALL TYPE 3**  
A1 SCALE: NOT TO SCALE



09/08/23



913.645.3954  
PROJECT NUMBER 2023-116

Consultants

**MOMMY & ME CHIROPRACTIC**  
811 NE RICE ROAD  
LEE'S SUMMIT, MO 64086

This drawing and/or specification is provided by the Architect as an Instrument of Service and is intended for use on this project only. All reports, drawings, specifications, computer files, notes and other documents prepared by the Architect as Instruments of Service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

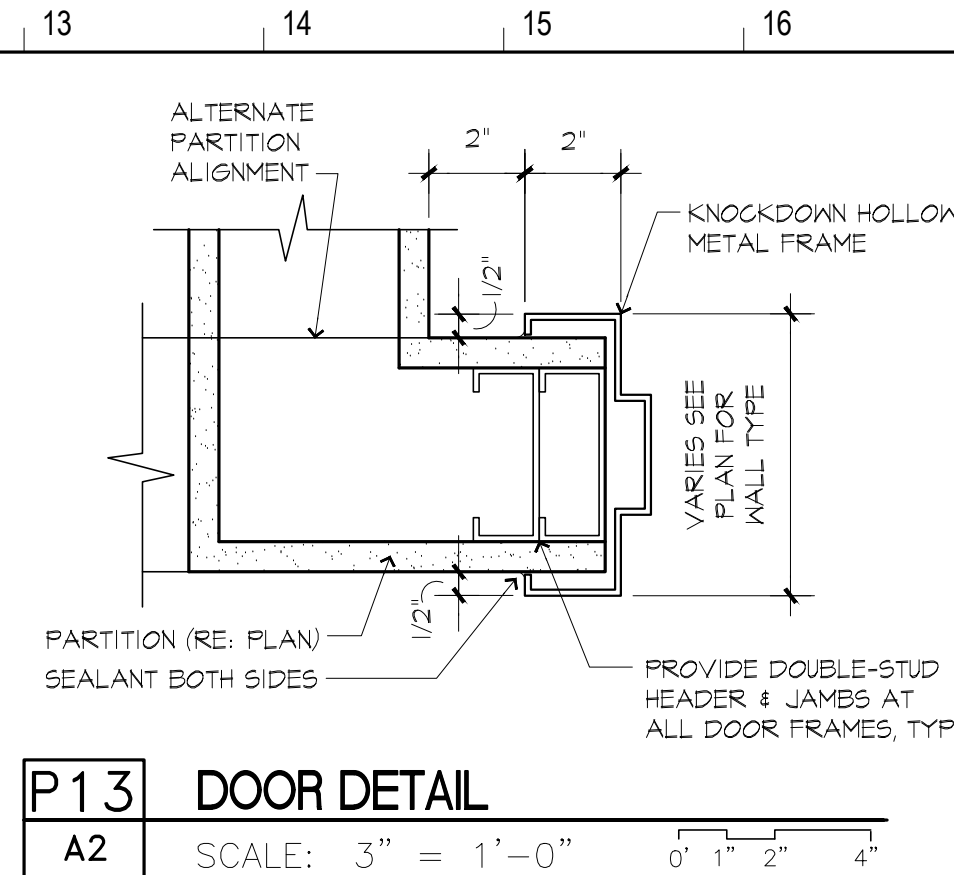
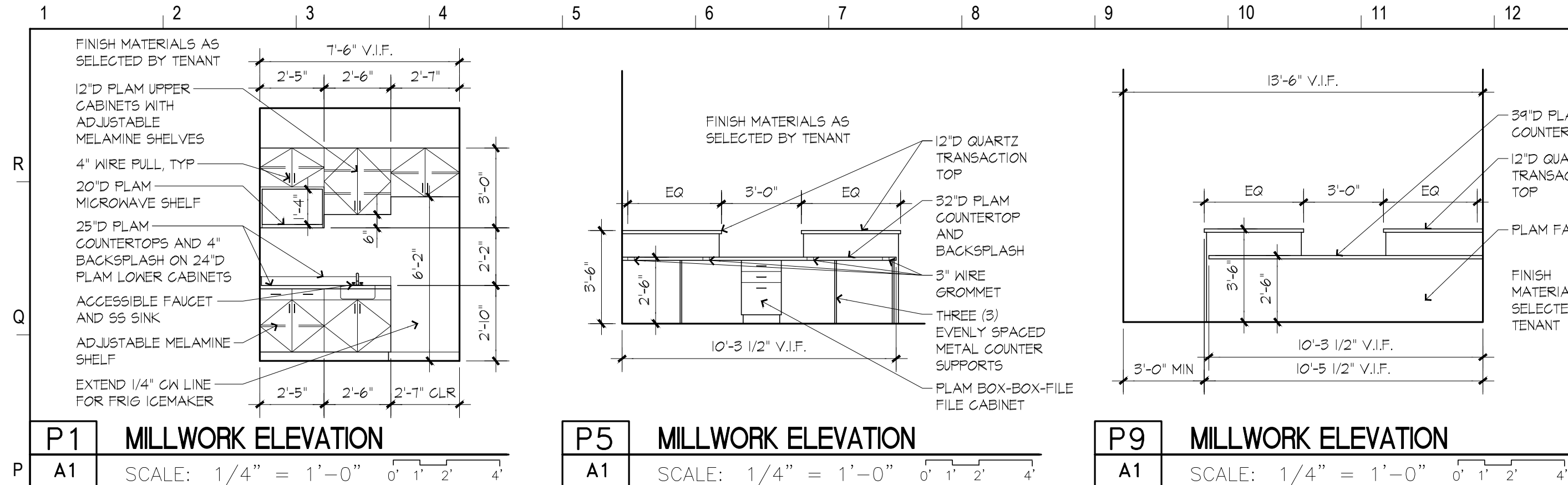
Copyright © 2023  
Multis Design

REV.	ISSUED FOR:	DATE:
	BUILDING PERMIT	17 AUGUST 2023
	PERMIT REVIEW COMMENTS	8 SEPTEMBER 2023

General Project  
Information and  
Floor Plan

**A1**





NO.	DOOR FRAME TYPE	DOOR SIZE	HEAD	JAMB	FIRE RATING	HDM. RATING	DOOR NOTES
EX	-	-	EXISTING TO REMAIN	--	--	1	1
106	A	A	3'-0" x 7'-0"	P13/A2	P13/A2	--	2
107	A	A	3'-0" x 7'-0"	P13/A2	P13/A2	--	2
108	A	A	3'-0" x 7'-0"	P13/A2	P13/A2	--	2
110	A	A	3'-0" x 7'-0"	P13/A2	P13/A2	--	2
111	A	A	3'-0" x 7'-0"	P13/A2	P13/A2	--	3
112	EXIST/EXIST	EXISTING TO REMAIN	--	--	--	4	2

## GENERAL DOOR REQUIREMENTS

1. NEW WOOD DOORS TO BE AA GRADE, SPECIES, CUT AND FINISH AS INDICATED.
2. ALL DOORS TO RECEIVE FULLY ACCESSIBLE LEVER HARDWARE TO MATCH BUILDING STANDARD IN STYLE, QUALITY AND FINISH.
3. ALL WOOD DOORS TO BE IN FRAME, FULLY WELDED HOLLOW METAL FRAMES TO MATCH BUILDING STANDARD.
4. INSTALL MINIMUM 3 DOOR SILENCERS PER LEAF AT NEW HOLLOW METAL FRAMES.
5. UTILIZE EXISTING DOORS, FRAMES AND HARDWARE FROM DEMOLITION SALVAGE TO GREATEST EXTENT FEASIBLE PRIOR TO ACQUIRING ADDITIONAL MATERIALS.
6. DOORS SHALL HAVE 1/8" CLEAR ON THE STRIKE/PULL SIDE OF DOOR AND 1-0" CLEAR ON THE PUSH/PUSH SIDE (IF THEY HAVE BOTH A LATCH AND A CLOSER) VERIFY AND ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
7. TO IDENTIFY DOORS, THE FINISHED FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS.
8. UNDERCUT THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR BY 1/4" INJ MAXIMUM, UNO. VERIFY SLAB CONDITIONS AND TRIM EACH DOOR TO FIT CONDITION. WHERE RADICAL VARIATIONS IN FLOOR LEVEL EXIST, DOORS SHALL BE ORDERED WITH BOTTOM STYLE SIZED TO ACCOMMODATE THESE UNDERCUT CONDITIONS.
9. CAULK THE JOINTS BETWEEN THE FRAME AND WALL, ALL SIDES WITH PAINTABLE WHITE LATEX CAULK.
10. CONTRACTOR SHALL REVIEW KEYING WITH TENANT AND LANDLORD PRIOR TO FITTING CYLINDERS. KEY CYLINDERS AS DIRECTED BY TENANT AND LANDLORD.
11. AT EXISTING DOORS TO REMAIN OR TO BE REUSED, PATCH/FILL DIVOTS, HOLES, CRACKS, SCRATCHES, GOUGES, ETC. PRIOR TO PRIMING/PAINTING/REFINISHING CONTRACTOR TO COORDINATE THE REUSE OF EXISTING DOORS, FRAMES, AND HARDWARE AND TO IDENTIFY RELOCATIONS ON THE DOOR SUBMITTAL.
12. NEW DOOR HARDWARE TO MATCH EXISTING BUILDING STANDARD. CONTRACTOR IS TO FIELD VERIFY WITH EXISTING HARDWARE.
14. ADJUST ALL INTERIOR DOOR HARDWARE TO ENSURE NO INTERIOR DOOR REQUIRES AN OPENING FORCE GREATER THAN 5 POUNDS PER ADA 404.2.4.

HARDWARE GROUP 1  
ALL EXISTING HARDWARE TO REMAIN

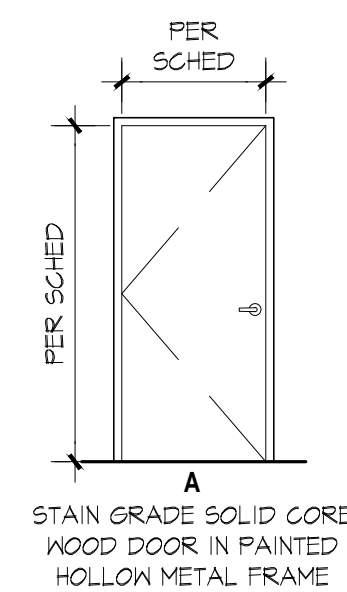
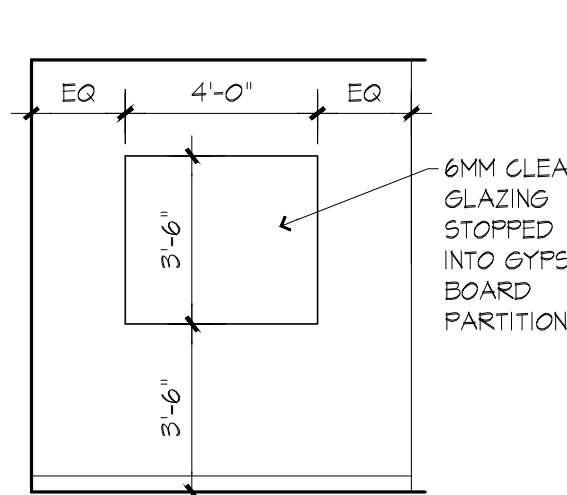
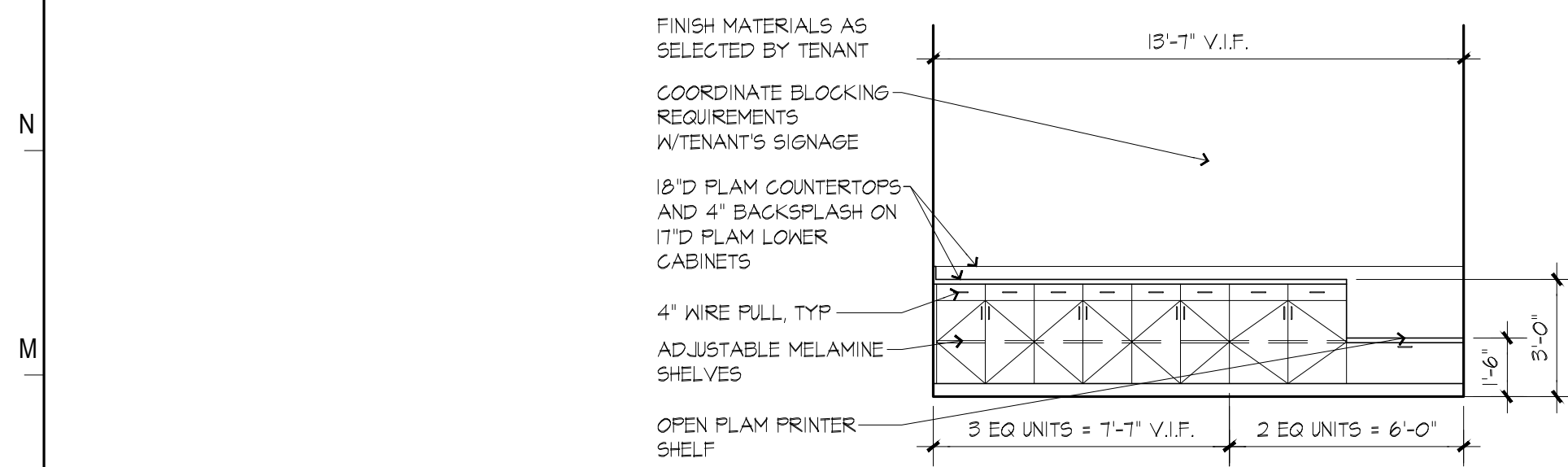
HARDWARE GROUP 2  
1.5 PR BUTT HINGES  
1 ACCESSIBLE PASSAGE SET  
1 STOP

HARDWARE GROUP 3  
1.5 PR BUTT HINGES  
1 ACCESSIBLE PRIVACY FUNCTION  
LOCK SET

HARDWARE GROUP 4  
ALL EXISTING HARDWARE TO REMAIN  
EXCEPT ADD:  
1 ACCESSIBLE LOCKSET TO MATCH  
EXISTING FUNCTION

DOOR NOTES

1. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
2. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. MODIFY HARDWARE PER SCHEDULE



L4	MILLWORK ELEVATION
A1	SCALE: $1/4" = 1'-0"$

L9	GLAZING ELEVATION
A1	SCALE: $1/4" = 1'-0"$

L13	DOOR/FRAME TYPES
A2	SCALE: 1/4" = 1'-0"

L17	DOOR SCHEDULE
A1	SCALE: NO SCALE

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS N	E	S	W	CEILING	CEILING HEIGHT	REMARKS
100	VESTIBULE	WOM	RB	PT	PT	PT	PT	ACT	EXIST	
101	ADMIN	CPT	RB	PT	PT	PT	PT	GYP	OTS	I
102	WAITING	CPT	RB	PT	PT	PT	PT	GYP	OTS	
103	KIDS	CPT	RB	PT	PT	PT	PT	GYP	OTS	
104	ADJUSTMENT	CPT	RB	PT	PT	PT	PT	GYP	OTS	
105	MODALITY	CPT	RB	PT	PT	PT	PT	GYP	OTS	
106	CONSULT	CPT	RB	PT	PT	PT	PT	ACT	9'-6"	
107	ACUPUNCTURE	CPT	RB	PT	PT	PT	PT	ACT	9'-6"	
108	STORAGE / DATA	VCT	RB	PT	PT	PT	PT	ACT	9'-6"	
109	HALL	CPT	RB	PT	PT	PT	PT	ACT	9'-6"	
110	CONSULT	CPT	RB	PT	PT	PT	PT	ACT	9'-6"	
111	TOILET	VCT	RB	EPT	EPT	EPT	EPT	ACT	9'-6"	
112	STAFF	VCT	RB	PT	PT	PT	PT	ACT	9'-6"	

LEGEND

WOM WALK-OFF CARPET AS SELECTED BY TENANT  
CPT CARPET AS SELECTED BY TENANT  
RB 4" RESILIENT COVE BASE AS SELECTED BY TENANT  
PT PAINT FINISH AS SELECTED BY TENANT  
EPT EPOXY PAINT FINISH AS SELECTED BY TENANT  
ACTI NEW 2x4, SUSPENDED LAY-IN ACOUSTICAL CEILING  
PANELS IN WHITE 15/16" GRID AS SELECTED BY  
TENANT

ACT2 NEW 2X2 ACOUSTICAL CEILING PANELS AS SELECTED  
BY TENANT IN EXISTING GRID  
GYP EXISTING GYPSUM BOARD CEILING. PATCH AND  
REPAIR AS NECESSARY AND FINISH TO LEVEL.  
PAINT FINISH AS SELECTED BY TENANT

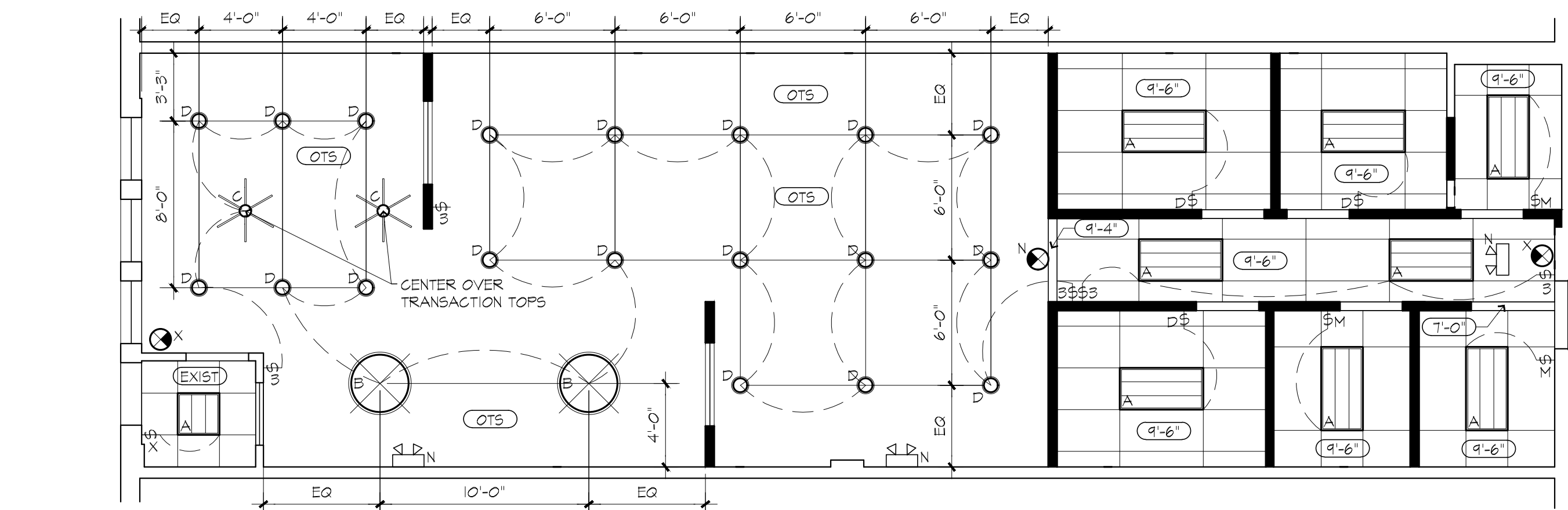
### FINISH SPECIFICATIONS

1. PAINT FINISH AT WALLS TO BE TWO FINISH COATS LATEX EGGSHELL OVER ONE COAT COMPATIBLE PRIMER (ASSUME ACCENT WALL COLOR IN EACH SPACE, FIVE COLORS TOTAL)
2. PAINT FINISH AT HOLLOW METAL FRAMES TO BE TWO FINISH COATS ALKYD SEMI-GLOSS OVER ONE COAT COMPATIBLE PRIMER (ONE COLOR THROUGHOUT)
3. PROVIDE RESILIENT TRANSITION STRIP AT DISSIMILAR FLOORING MATERIALS TO MATCH RE
4. REMOVE EXISTING FINISHES AND PREP ALL SURFACES PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF NEW FINISHES

REMARKS

1. CLEAN EXISTING WINDOW TREATMENTS AND REPAIR ANY NON-FUNCTIONING UNITS

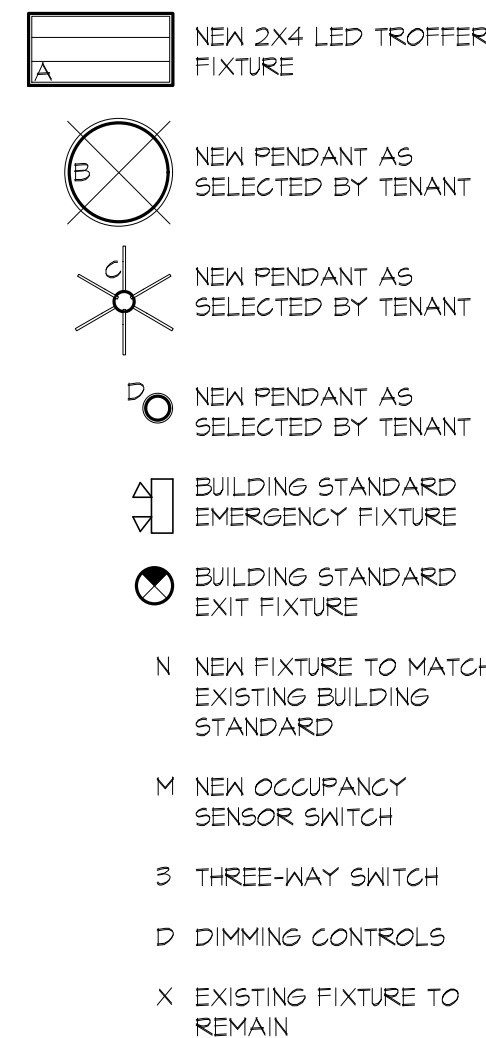
E5	FINISH SCHEDULE
A1	SCALE: NO SCALE 



**G13 CEILING PLAN**

SCALE:  $\frac{3}{16}'' = 1'-0''$

0' 2'-8" 5'-4" ↑ N



C17	CEILING LEGEND
A2	SCALE: NO SCALE

CEILING AND LIGHTING GENERAL NOTES

- A. THIS PLAN IS FOR REFERENCE ONLY.
- B. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT FIXTURES, SWITCH LOCATIONS, AND ASSOCIATED ITEMS. ALL LIGHT FIXTURE DEVICES LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT DATA, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND FIELD CONDITIONS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH WORK.
- C. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEPFF AND STRUCTURAL ELEMENTS. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED. INSTALL DUCTWORK TIGHT TO UNDERSIDE OF BEAMS, WITH A SMALL SPACE TO AVOID OBSTRUCTION. INSTALLATION OF ANY ALTERATION OF DUCTWORK, PIPING, OR OTHER EQUIPMENT THAT WILL REQUIRE FASCIAS, SOFFITS AND OTHER TRIMMING IN CEILING HEIGHT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR TO PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT AND ENGINEER'S REVIEW.
- D. MULTIPLE SWITCHES AT EACH LOCATION SHALL BE GANGED TOGETHER WITHIN ONE COVER PLATE (UNO).
- E. ALL FIXTURES AND DEVICES TO BE UNDERWRITERS LABORATORIES INC. (UL) LABELED.
- F. LIGHT FIXTURES, REGISTERS, SPEAKERS, RECESSED FIXTURES AND SIMILAR CEILING ELEMENTS, AND LIFE-SAFETY DEVICES SHALL BE LOCATED IN THE CENTER OF CEILING TILE IN BOTH DIRECTIONS. ALL LIGHTS SHALL BE IDENTICAL FIXTURES, DEVICES OR LAMPS IN A RUN OR ROW. TYPICAL UNO.
- G. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, ETC.
- H. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER ON LENS, LENS, Baffle, AND EXPOSED SURFACES, TO AVOID FINGER MARKS OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW.
- I. PROVIDE BLOCKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- J. COORDINATE SCHEDULING OF WORK WITH DATA/TELEPHONE CABLES TO BE REMOVED TO FACILITATE PLENUM SYSTEMS INSTALLATION.
- K. COORDINATE SCHEDULING OF WORK WITH DATA/TELEPHONE INSTALLER. INSTALL CEILING TILES AFTER DATA/TELEPHONE CABLES HAVE BEEN INSTALLED.
- L. INSTALL CEILING TILES AFTER FINISH PAINTING TO MINIMIZE VOC RELEASE.
- M. COLOR OF SWITCHES AND PLATES TO BE COORDINATED WITH TENANT AND WORK.

A21	CEILING NOTES
A2	SCALE: NO SCALE



08 / 17 / 23



913.645.3954

PROJECT NUMBER 2023-116

## Consultants

**MOMMY & ME CHIROPRACTIC**  
811 NE RICE ROAD  
LEE'S SUMMIT, MO 64086

LEE'S SUMMIT, MO 64086

This drawing and/or specification is provided by the Architect as an Instrument of Service and is intended for use on this project only. All reports, drawings, specifications, computer files, notes and other documents prepared by the Architect as Instruments of Service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

Copyright © 2023  
Multis Design

[illegible]

## Ceiling Plan, Schedules and Interior Elevations

# A2



