

ELLIOT ELECTRIC

Elliott's Electric Lee's Summit

2818 NE INDEPENDENCE AVE | LEE'S SUMMIT, MO 64064

PERMIT SET
05.26.2023

GENERAL NOTES

- THESE NOTES APPLY EQUALLY TO THE FULL SET OF DOCUMENTS.
- THE NOTES AND SYMBOLS SET DOWN ON THESE DRAWINGS ARE FOR THE GUIDANCE OF ALL TRADES INVOLVED IN THE PROJECT AND MUST BE FOLLOWED TO EXECUTE THE WORK AS INTENDED.
- MECHANICAL AND ELECTRICAL INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR INFORMATION PURPOSES ONLY. TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL AND ELECTRICAL SYSTEMS IN ACCORDANCE WITH THE INTENT SHOWN ON THE DOCUMENTS AND CODE REQUIREMENTS.
- THE CONTRACTOR SHALL REFER TO THE DRAWINGS FOR DETAILS OF BUILDING CONSTRUCTION TO INSURE SPACE AND SATISFACTORY ARRANGEMENT FOR THEIR WORK. THE VARIOUS DRAWINGS COMPRISING THE SET ARE INTERDEPENDENT AND MUST BE USED JOINTLY AT ALL TIMES. EACH CONTRACTOR SHOULD REFER TO THE GENERAL REQUIREMENTS OF THE CONTRACT. IF DISCREPANCIES OCCUR, CONTACT THE ARCHITECT THRU THE GENERAL CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ALL WORK MUST BE COORDINATED WITH THE OWNER TO MAINTAIN OPERATION OF THE EXISTING CAMPUS ACTIVITY. ALL WORK THAT AFFECT CAMPUS ACTIVITIES, INCLUDING UTILITY TRENCHING, ETC., SHALL BE DONE AFTER BUILDING HOURS.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TYPICALLY INDICATED TO THE FINISHED FACE OF WALLS OR PARTITIONS AND CENTER LINES OF COLUMNS UNLESS NOTED OTHERWISE.
- TITLES, CAPTIONS, HEADINGS, ETC., ARE INTENDED FOR GENERAL REFERENCE AND ARE NOT INTENDED TO LIMIT THE WORK REQUIRED IN ANY WAY.
- EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHERS. THEY SHALL KEEP THEMSELVES INFORMED OF THE PROGRESS AND DETAIL DEVELOPMENT OF THE WORK OF OTHERS AND SHALL BE RESPONSIBLE FOR COORDINATING AND EXPEDITING THEIR WORK WITH THAT OF OTHERS SO THAT THE PROGRESS OF THE TOTAL WORK SHALL BE KEPT ON SCHEDULE.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND STANDARDS.

- EXISTING CONDITIONS SHOWN HAVE BEEN BASED UPON AVAILABLE DRAWING INFORMATION AND MAY BE AT VARIANCE WITH ACTUAL WORK IN PLACE. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND FIELD VERIFICATION AFFECTING THE EXECUTION OF THE WORK. ANY WORK SHOWN ON THE CONTRACT DOCUMENTS WHICH MAY IMPACT THE PROGRESS OF THE WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- EACH CONTRACTOR AND/OR TRADE FITTING OR PLACING THEIR WORK INTO OR ON THE WORK OF OTHERS DOES SO WITH THE UNDERSTANDING THAT THE INSTALLATION OF THEIR WORK CONSTITUTES THEIR ACCEPTANCE OF THE SUITABILITY OF THE WORK IN PLACE. IF THE WORK OF OTHERS IS NOT ACCEPTABLE, THEY SHALL NOTIFY THE GENERAL CONTRACTOR AND SUCH WORK SHALL BE CORRECTED. ANY NEW WORK INSTALLED IN UNSUITABLE EXISTING WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR TRADE INSTALLING THE NEW WORK. NO CLAIMS FOR ADDITIONAL COMPENSATION FOR CORRECTING WORK INSTALLED IN UNSUITABLE EXISTING CONDITIONS WILL BE CONSIDERED.

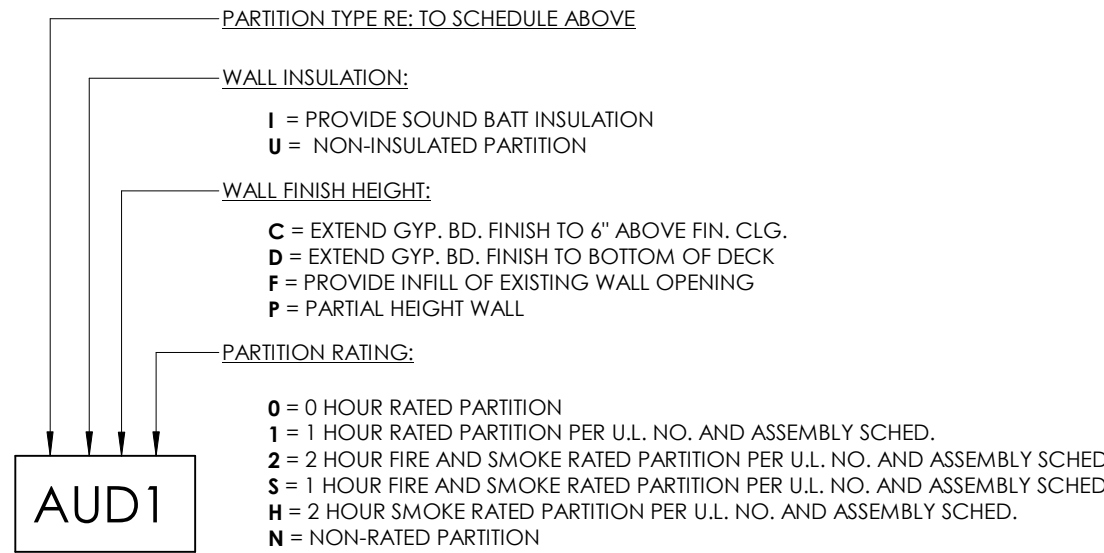
PARTITION SCHEDULE

TYPE	WALL THICKNESS	PLAN DETAIL	HEAD	SILL	U.L. #	STC
A	4-7/8"	3-5/8" MT STUDS @ 16" O.C. TYP. REFER TO PART. TAG FOR RAIL. 3-5/8" TYPE X GYP. BD. EA SIDE METAL STUDS	CONT. FIRE OR SMOKE CAULK PER SPEC. BOTH SIDES	CONT. FIRE OR SMOKE CAULK PER SPEC. BOTH SIDES	U465 HW-0-000 (1-1/2" RATED) (1-1/2" RATED)	STC-44 (1-1/2" RATED)

PARTITION NOTES

- ALL GYPSUM WALL BOARD ABUTTING OTHER MATERIAL TO BE FINISHED WITH METAL TRIM BEAD AND JOINT COMPOUND WHERE VISIBLE.
- ALL WOOD AND PLYWOOD BLOCKING, WHERE CALLED FOR ON THE DRAWINGS, TO BE FIRE TREATED.
- ALL DOOR OPENINGS SHALL HAVE 1'-6" CLEAR FROM THE FACE OF THE FRAME TO THE PERPENDICULAR WALL ON THE PULL SIDE, AND 1'-0" CLEAR ON THE PUSH SIDE, TYPICAL.
- ALL FIRE RATED WALL AND FLOOR PENETRATIONS SHALL COMPLY WITH ASTM E-814.
- PARTITIONS TO BE BUILT IN ACCORDANCE WITH PARTITION SCHEDULE AND DESIGN REFERENCED. REFERENCES ARE TO LATEST EDITION OF GYPSUM ASSOCIATION (GA) OR UNDERWRITERS LABORATORIES INC. FIRE RESISTANCE DIRECTORIES, TYPICAL.
- PARTITION SCHEDULE IS GENERAL TO ALL WALL TYPES IN THE PROJECT. REFER TO DETAILS FOR SPECIAL CONDITIONS AND SIZE REQUIREMENTS.
- ALL WALLS SHALL BE TYPE **A** UN.0.

PARTITION TAGS



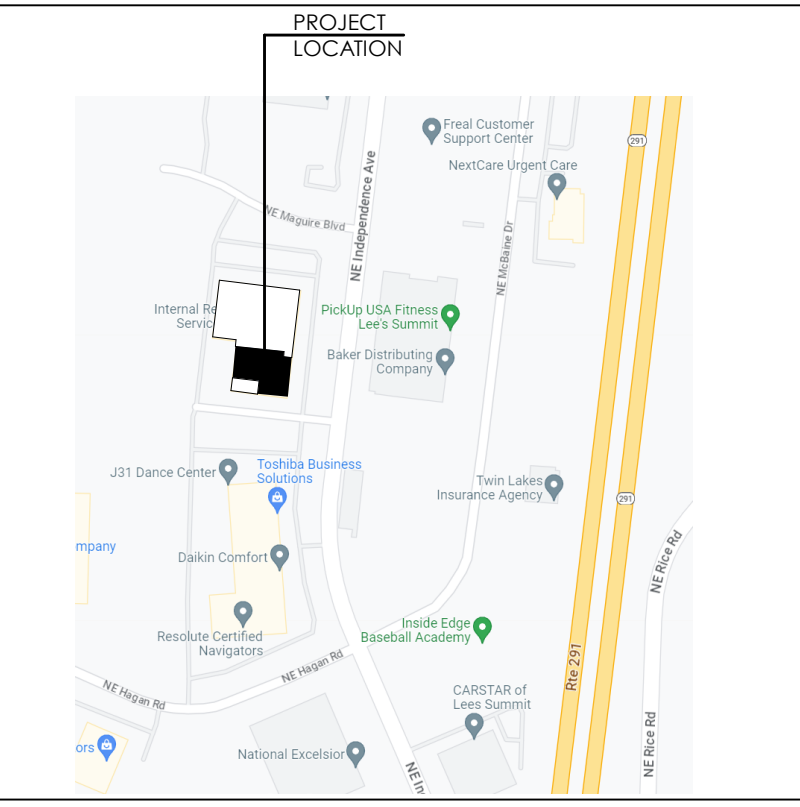
PARTITION LEGEND & NOTES

AFF	ABOVE FINISHED FLOOR	DFLM	DECORATIVE FILM	HR	HAND RAIL	OC	ON CENTER	S	SOUTH
ACT	ACOUSTICAL TILE	DEPT	DEPARTMENT	HRV	HEATING / VENTILATION / AIR CONDITIONING	OP	OPENING	SC	SOLID CORE
AWC	ACOUSTICAL WALL COVERING	DTL	DETAIL	HT	HEIGHT	OPP	OPPOSITE	SS	SOLID SURFACING
AP	ACRYLIC / RESINOUS PANEL	DIA	DIAMETER	HD	HIGH IMPACT DOOR	OD	OVERLAP DRAIN	SPEC	SPECIFICATIONS(S)
ADJ	ADJACENT	DIM	DIMENSION	HPR	HIGH PERFORMANCE RESIN	OCF	OWNER FURNISHED, CONTRACTOR INSTALLED	SQ	SQUARE
AGGR	AGGREGATE	DW	DISHWASHER	HC	HOLLOW CORE	OF	OWNER FURNISHED, OWNER INSTALLED	SQ FT	SQUARE FOOT
A/C	AIR CONDITIONING	DFP	DOOR FRAME PAINT	HM	HOLLOW METAL	P	PAINT	STC	STAINED CONCRETE
ALT	ALTERNATE	DN	DOWN	HORIZ	HORIZONTAL	PLM	PATCH TO MATCH	STL	STAINLESS STEEL
AL	ALUMINUM	DWG	DRAWING	HW	HOT WATER	PL	PLASTIC LAMINATE	STV	STONE VENEER
AMT	APPROXIMATE	E	EAST	HR	HOUR	PL	PLATE	STOR	STORAGE
APT	APARTMENT	EA	EACH	IN	INCH	PT	POINT	STRICT	STRUCTURAL
ARCH	ARCHITECT / ARCHITECTURAL	ELEV	ELEVATION	INCL	INCLUDED(ED), (SION)	PTB	PORCELAIN TILE BASE	SUSP	SUSPENDED
AVE	AVENUE	INFC	INFORMATION	IB	INTEGRAL BASE	PSF	POUNDS PER SQUARE FOOT	TS	TACKABLE SURFACE
BRS	BACKER ROD & SEALANT	ENGR	ENGINEER	ISB	INTEGRAL SINK BOWL	PI	POUNDS PER SQUARE INCH	TB	TACK BOARD
BSMT	BASEMENT	EP	EPOXY PAINT	INT	INTERIOR	PCV	POURED CONCRETE SYSTEM	TV	TELEVISION
BLK	BLOCK	EPF	EPOXY / POURED FLOORING	JT	JOINT	PROP	PROPERTY	TLT	TERRAZO FLOORING
BLKG	BLOCKING	EQ	EQUAL	LAB	LABORATORY	PF	PVC FREE PLANK FLOORING	TLT PTN	TILE PARTITION
BLVD	BULEVARD	EST	ESTIMATE	LAM	LAMINATE(ED)	PS	PVC FREE SHEET	T&G	TONGUE AND GROOVE
BLDG	BUILDING	EXIST	EXISTING	LAV	LAVATORY	QTY	QUANTITY	TYP	TYPICAL
BR	BUMPER RAIL	ETR	EXISTING TO REMAIN	LVT	LAY-IN VINYL CEILING TILE	Q	QUARTZ	UNO	UNLESS NOTED OTHERWISE
CBT	CARPET	EXP	EXPANSION JOINT	LH	LEFT HAND	QCT	QUARTZ COMPOSITION TILE		
CPT	CARPET TILE	EXT	EXTERIOR	LT	LIGHT	QS	QUARTZ SURFACING		
CR	CARPET BASE	FWP	FABRIC WRAPPED PANEL	LWT	LIGHTWEIGHT	RAD	RADIUS	VNR	VENEER
CLK	CAULKING	FFM	FEET PER MINUTE	LWC	LOW WEIGHT CONCRETE	RCF	RAISED COMPUTER FLOOR	VERT	VERTICAL
CLNG	CEILING	FIN	FINISHED	LVC	LOW VOLUME CHANGE	REF	REFERENCE	VCC	VINYL CEILING COVERING
CLN	CLEARANCE	FFE	FINISHED FLOOR ELEVATION	LB	FOUND OR (#)	RE	REFER TO	VEI	VINYL ENHANCED TILE
CLR	CEILING	FE	FIRE EXTINGUISHER	MFG	MANUFACTURER	RCF	REFLECTED CEILING PLAN	VPI	VINYL PLANK FLOORING
CLOS	CLOSED	FEC	FIRE EXTINGUISHER CABINET	MR	MARKER BOARD	REGO	REQUIRED	WVC	WALL COVERING
CW	COLD WATER	FHC	FIRE HOSE CABINET	MAS	MASONRY	REQD	REQUIRED	WSC	WANSICOT
COL	COLUMN	FHY	FIRE HYDRANT	MO	MASONRY OPENING	RE	REVEAL PAINT	WOM	WALK-OFF MAT
CO	COMPANY	FLO	FLOORING	MAX	MAXIMUM	REV	REVISION(S), REVISED	WP	WALL PROTECTION
CONC	CONCRETE	FD	FLOOR DRAIN	MECH	MECHANICAL(AL)	RD	ROUGH OPENING	WC	WATER CLOSET
CMU	CONCRETE MASONRY UNIT	FT	FOOT / FEET	MED	MEDICAL	RH	RUBBER TILE	WR	WELD ROD
CON	CONSTRUCTION	FTG	FOOTING	MT	MILLWORK	RS	RUBBER SHEET	WT	WEST
CONT	CONTINUOUS OR CONTINUE	FND	FOUNDATION	MTL	METAL MATERIAL	SCHD	SCHEDULE	W	WIDE FLANGE
CONTR	CONTRACTOR (LABORATE)	FUR	FURNISHING	NAL	NOT IN CONTRACT	SCRN	SCREEN	W/	WALL PROTECTION SHEET
CJ	CONTROL JOINT	FUT	FUTURE	NTS	NOT TO SCALE	SEC	SEALED CONCRETE	W/O	WITHOUT
CG	CORNER GUARD	GA	GAGE, GAUGE	MIN	MINIMUM	SHT	SHEET	WD	WOOD
COR	CORNER	GC	GENERAL CONTRACTOR	MISC	MISCELLANEOUS	SHT	SHEET	WDS	WOOD DOOR STAIN
CR	CRASH RAIL	GL	GLASS	NF	NO FINISH	SHV	SHEET VINYL FLOORING	WF	WOOD FLOOR
CRM	CROWN MOLDING	GLBK	GLASS BLOCK	NOM	NOMINAL	SM	SIMILAR	WV	WOOD VENEER
CFM	CUBIC FEET PER MINUTE	GWT	GLASS WALL TILE	N	NORTH				
CU FT	CUBIC FOOT	GRD	GRADE, GRADING	NIC	NOT IN CONTRACT				
CU IN	CUBIC INCH	GVL	GRAVEL	NTS	NOT TO SCALE				
CU YD	CUBIC YARD	GROUT	GROUT						
CC	CUBIC CURTAIN	GYP BD	GYPSUM BOARD						

ABBREVIATIONS LIST

SHEET INDEX

COVER	PROJECT INFORMATION
ARCHITECTURAL	DEMO PLAN + GENERAL PROJECT NOTES
A100	FLOOR PLAN + RCP DETAILS
MEP	MEP COVERSHEET
MEP100	MEP SPECIFICATIONS
MEP101	MEP FLOOR PLAN



VACINITY MAP

ADA Compliance for Alterations

The American with Disabilities Act (ADA) provides that alterations to a facility must be made in such a manner that, to the extent feasible, the altered portions of the facility are readily accessible to and by individuals with disabilities. The Client acknowledges that the requirements of the ADA will be subject to various and possibly contradictory interpretations. The Design Professional, therefore, will use his or her reasonable professional efforts and judgement to interpret applicable ADA regulations as they apply to the project. The Design Professional, however, cannot and does not warrant or guarantee that the Client's project will comply with all interpretations of the ADA requirements or the requirements of other federal, state and local laws, rules, codes, ordinances and regulations as they apply to the project.

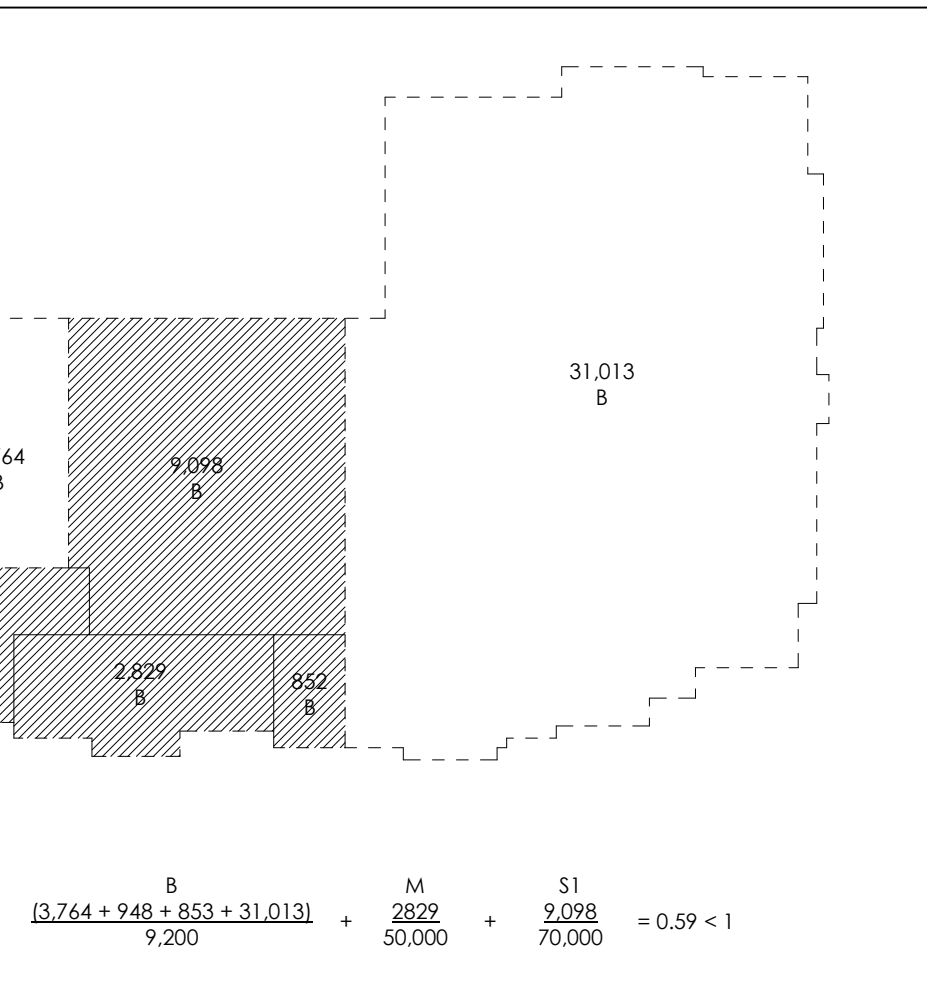


ARCHITECT

bc DESIGN GROUP
12101 W 110th Street, Suite 100
Overland Park, KS 66210
913.232.2123
www.bc-design.com

CODE LEGEND

①	BUILDING EXIT
☒	FIRE EXTINGUISHER CABINET
---	TRAVEL DISTANCE
---	COMMON PATH
---	DEAD END CORRIDOR
---	OCCUPANCY TYPE SEPARATION
■	AREA OF WORK



OCCUPANCY DIAGRAM

CODE REVIEW INFORMATION

FACILITY NAME AND ADDRESS:
ELLIOT ELECTRIC LEE'S SUMMIT
2818 NE INDEPENDENCE AVE
LEE'S SUMMIT, MISSOURI 64064

TYPE OF CONSTRUCTION:
RENOVATION OF EXISTING FACILITY

LOCAL BUILDING INSPECTION DEPARTMENT:
LEE'S SUMMIT, MO

LOCAL FIRE DEPARTMENT:
CITY OF LEE'S SUMMIT

CITY, COUNTY, STATE:
CITY OF LEE'S SUMMIT
JACKSON COUNTY
STATE OF MISSOURI

ARCHITECT:
bc DESIGN GROUP
12101 W 110th St, Suite 100
OVERLAND PARK, KANSAS 66210

GENERAL BUILDING DATA (EXISTING):
LEVEL 1 AREA OF WORK: 18,351 SF RENOVATION

AREA OF THE WORK - RENOVATION:
LEVEL 1 AREA OF WORK: 18,351 SF RENOVATION

APPLICABLE CODES/REGULATIONS:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FIRE CODE
ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

CONSTRUCTION TYPE:
IBC, TYPE IIB (EXISTING)

OCCUPANCY:
S1 - STORAGE
B - BUSINESS
M - MERCANTILE
(NON-SEPARATED PER TABLE 508.4)

FIRE SUPPRESSION:
FULLY SPRINKLED

OCCUPANCY LOAD:
MERCANTILE AREA: 2,829 SF / 60 SF PER PERSON = 47
BUSINESS AREA: 1,800 SF / 150 SF PER PERSON = 12
WAREHOUSE AREA: 9,996 SF / 50 SF PER PERSON = 18
ACCESSORY STORAGE: 104 SF/300 SF PER PERSON = 1

TOTAL OCCUPANT LOAD: 78 OCCUPANTS

NUMBER OF EXITS:
2 REQUIRED, 7 PROVIDED

M.OCCUPANCY:
MAX. TRAVEL DISTANCE: 250 FT
MAX. DEAD END CORRIDOR: 50'-0"
MAX. COMMON PATH OF TRAVEL: 75'-0"

B.OCCUPANCY:
MAX. TRAVEL DISTANCE: 300 FT
MAX. DEAD END CORRIDOR: 50'-0"
MAX. COMMON PATH OF TRAVEL: 100'-0"

S1.OCCUPANCY:
MAX. TRAVEL DISTANCE: 400 FT
MAX. DEAD END CORRIDOR: 50'-0"
MAX. COMMON PATH OF TRAVEL: 100'-0"

EGRESS WIDTH:
78 OCCUPANTS X 2 = 15.6' REQUIRED 17'-0" PROVIDED

PLUMBING FIXTURE COUNT:1ST FLOOR:
WATER CLOSETS: 1 MALE, 1 FEMALE, 1 UNISEX
TOILETS: 1 MALE, 1 FEMALE, 1 UNISEX
SINKS: 1 MALE, 1 FEMALE, 1 UNISEX
DRINKING FOUNTAINS: 1 MALE, 1 FEMALE, 1 UNISEX
SERVICE SINK: 1 MALE, 1 FEMALE, 1 UNISEX
MOST RESTRICTIVE (BUSINESS PER TABLE 2902.1)

DEFERRED SUBMITTALS

FIRE SPRINKLER SYSTEM/NFPA 13
FIRE ALARM SYSTEM

NOTE: FIRE SPRINKLER PROTECTION AND FIRE ALARM SYSTEM CONTRACTOR(S) TO PROVIDE ALL PLANS AND SUBMITTALS IN CONFORMANCE WITH THE BUILDING DESIGN TO CITY FOR APPROVAL WITH A COPY TO THE ARCHITECT FOR REVIEW PRIOR TO WORK.

APPROVAL BY BUILDING OFFICIAL IS REQUIRED FOR ALL DEFERRED SUBMITTALS PRIOR TO WORK AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. NO BUILDING OR STRUCTURE SHALL BE USED OR OCCUPIED UNTIL THE BUILDING OFFICIAL HAS ISSUED A CERTIFICATE OF OCCUPANCY (IBC 2018 111.1)

IF NO FIRE SPRINKLER OR FIRE ALARM SYSTEM ITEMS ARE REQUIRED FOR CONFORMANCE WITH CURRENT BUILDING CODES, THE FIRE SPRINKLER PROTECTION AND FIRE ALARM SYSTEM CONTRACTOR(S) MUST NOTIFY THE BUILDING OFFICIAL IN WRITING FOR APPROVAL AS NOTED ABOVE.



1 FIRST FLOOR - CODE PLAN

1/8" = 1'-0"



RELEASED FOR CONSTRUCTION
As Noted on Plans Review



bc DESIGN GROUP

12101 W 110th Street, Suite 100
Overland Park, KS 66210

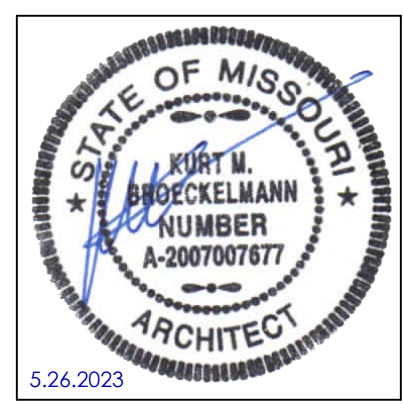
913.232.2123

MO Certificate of Authority Number
A-2011002792

Project Team:

bc Design Group
12101 W 110th St, Suite 100
Overland Park, KS 66210
913.232.2323

Project Title:
ELLIOT ELECTRIC
Elliott's Electric Lee's Summit
2818 NE INDEPENDENCE AVE | LEE'S SUMMIT, MO 64064



Issue Date: 05.26.2023

1 ADDENDUM 1 06.19.2023
2 As-Built 09.05.2023

Drawn by: BAM

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Project Number: 2309.2

COVER

PROJECT INFORMATION

PERMIT SET

NO.	FRAME TYPE	OPENING				FRAME DETAILS				ASSEMBLY RATING	HARDWARE SET	COMMENTS				
		SIZE		THICKNESS	TYPE	MATERIAL	DOOR LABEL	GLAZING TYPE	MATERIAL				DETAILS			
		WIDTH	UNEQUAL LEAF WIDTH										HEIGHT	HEAD	JAMB	SILL
002A	PR	3'-0"		7'-0"	1 1/2"	ELIASON DOOR	PVC+ABS		14x16'	HM				n/a		DOORS, FRAMES AND HARDWARE PROVIDED BY OWNER
002B	PR	3'-0"		7'-0"	1 1/2"	ELIASON DOOR	PVC+ABS		14x16'	HM				n/a		DOORS, FRAMES AND HARDWARE PROVIDED BY OWNER
004	SL-1	3'-0"		7'-0"	1 3/4"	F	WD			HM	S/A100	S/A100				FIELD VERIFY SIDELITE TO MATCH EXISTING
005	SL-1	3'-0"		7'-0"	1 3/4"	F	WD			HM	S/A100	S/A100				FIELD VERIFY SIDELITE TO MATCH EXISTING

DOOR ABBREVIATIONS LEGEND:

F FLUSH
HM HOLLOW METAL
PW PAIR
WD WOOD
SL-1 SIDELITE
SL SLIDING
PVC+ABS PVC FRAME, IMPACT RESISTANT ABS FACE SHEETS

RCP KEYNOTES:

- EXISTING CEILING AND CEILING ELEMENTS TO REMAIN
- TRIM CEILING GRID AS NEEDED FOR NEW WALL ASSEMBLY. REPLACE ANY DAMAGED TILES TO MATCH EXISTING
- NO WORK ON DUCTWORK
- FINAL LIGHTING LAYOUT TO BE APPROVED BY OWNER. FIXTURES TO BE SELECTED BY OWNER.
- EXISTING LIGHTING CANOPIES TO REMAIN
- EXISTING CAN LIGHTS IN SALES AREA TO BE REPLACED W/ NEW 2X2 OR 2X4 LED LIGHT FIXTURES PROVIDED BY OWNER.

REFLECTED CEILING PLAN LEGEND

- | | | |
|------------------------------------|------------------------------|--|
| 2X2 ACOUSTICAL CEILING TILE & GRID | 2X4 LIGHT FIXTURE, EXISTING | PLAN KEYNOTE |
| NEW DIFFUSER - RETURN | 2X2 LIGHT FIXTURE, NEW | CEILING HEIGHT A.F.F. CEILING TYPE/PAINT |
| NEW DIFFUSER - SUPPLY | RECESSED CAN LIGHT, NEW | SMOKE DETECTOR, EXISTING |
| EXISTING DIFFUSER - RETURN | RECESSED CAN LIGHT, EXISTING | EMERGENCY LIGHT, EXISTING |
| EXISTING DIFFUSER - SUPPLY | PENDANT LIGHT | CEILING MOUNTED EXIT LIGHT, EXISTING |

REFLECTED CEILING PLAN NOTES

- CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. REPORT ANY DISCREPANCIES TO ARCHITECT IN WRITING BEFORE BEGINNING WORK IN AFFECTED AREAS.
- CONTRACTOR SHALL VERIFY ALL EXISTING SYSTEMS CURRENTLY INSTALLED IN THE CONSTRUCTION AREA. ALL DEVICES SHALL BE CHECKED AND IN WORKING CONDITION UPON COMPLETION OF THE PROJECT.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL OR FACE OF MASONRY. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN AFFECTED AREAS.
- 'ALIGN' AS USED THROUGHOUT THESE DOCUMENTS IS UNDERSTOOD TO MEAN FINISH SURFACE OF NEW CONSTRUCTION SHALL MEET FINISH SURFACE OF EXISTING CONSTRUCTION IN A NEAT AND SMOOTH MANNER PROVIDING A FLUSH FINISHABLE SURFACE.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND WORK, INCLUDING, BUT NOT LIMITED TO, DIFFUSERS, GRILLES, LIGHTS, ETC.
- ALL CEILINGS ARE TO EXISTING, UNLESS NOTED OTHERWISE.
- REFER TO MEP DRAWING FOR ABOVE CEILING WORK RELATED TO THIS PROJECT. REMOVE TILE AS NEEDED TO INSTALL NEW MEP ITEMS AND PATCH ANY DAMAGED MATERIAL CAUSED FROM NEW INSTALLATION. COORDINATE SCHEDULE W/ HOSPITAL PRIOR TO START OF WORK.
- UNLESS NOTED OTHERWISE, SPLIT PAINT TO MATCH WALL ON WHICH IT OCCURS.
- REINSTALL CEILING TILES SHOWN TO BE REMOVED FOR INSTALLATION OF NEW ELEC. WORK. REPLACE TILES IF DAMAGED.

FLOOR PLAN LEGEND:

- | | |
|---------------|---------------------------------|
| NEW DOOR | PLAN KEYNOTE |
| EXISTING DOOR | DOOR TAG |
| NEW WALL | PARTITION WALL TAG |
| EXISTING WALL | ROOM TAG: ROOM NAME ROOM NUMBER |

GENERAL FLOOR PLAN NOTES

- ALL NEW INTERIOR PARTITIONS ARE TO BE 'ANDY' UNLESS NOTED OTHERWISE. **RE-COVER**
- ALL INTERIOR DOORS TO BE 3'-0" x 7'-0" x 1-3/4" SOLID CORE WOOD DOORS PER SPEC, UNLESS NOTED OTHERWISE. RE: S/A100 FOR TYPICAL FRAME DETAIL.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN THE AFFECTED AREAS.
- RADIUS OUTSIDE CORNERS OF ALL COUNTERTOPS 1-1/2" TYPICAL.
- DIMENSIONS SHOWN IN [] ARE CRITICAL AND MUST BE MAINTAINED.
- INSTALL METAL STRAP BLOCKING AT ALL ITEMS SHOWN TO BE ACCOUNTED TO WALLS, INCLUDING BUT NOT LIMITED TO WALL STOPS, CASEWORK, & GRAB BARS. STRAPS SHALL EXTEND A MINIMUM OF 3 STUDS, TYPICAL.
- ALL OFCI ITEMS LOCATIONS ARE TO BE COORDINATED WITH THE OWNER.

FLOOR PLAN KEYNOTES:

- EXISTING ELECTRICAL PANEL AND TRANSFORMER, RE: MEP
- REINSTALL EXISTING DOOR WITH SIDELITE
- NEW SALES COUNTER BY OWNER. PROVIDE (1) CIRCUIT OF POWER W/ POWER POLE, RE: S/A101
- NEW AUTOMATIC SLIDING DOOR TO REPLACE EXISTING PAIR, FIELD VERIFY OPENING
- MATCH NEW DOOR AND SIDELITE TO EXISTING REINSTALLED DOOR AND SIDELITE
- ICE MACHINE, PROVIDE ELECTRICAL, USE EXISTING WATER AND SANITARY, OFCI
- VENDING MACHINE, PROVIDE ELECTRICAL, OFCI
- WAREHOUSE RACK, OFCI
- OVERHEAD WAREHOUSE RACK, OFCI
- MARCHANDISE RACK, OFCI
- EXISTING OVERHEAD DOOR TO REMAIN
- EXISTING DUMPSTER ENCLOSURE
- EXISTING LOADING DOCKS
- EXISTING CANOPIES ABOVE
- IT DATA
- NOT NOTED
- ADA SALES COUNTER
- PROVIDE NEW SINK, EXTEND NEW COLD WATER, HOT WATER, WASTE, AND VENT PIPING TO EXISTING. FIELD VERIFY PRIOR TO CONSTRUCTION, RE: A1A101
- NEW SALES COUNTER BY OWNER. PROVIDE (1) CIRCUIT OF POWER W/ POWER POLE, RE: S/A101

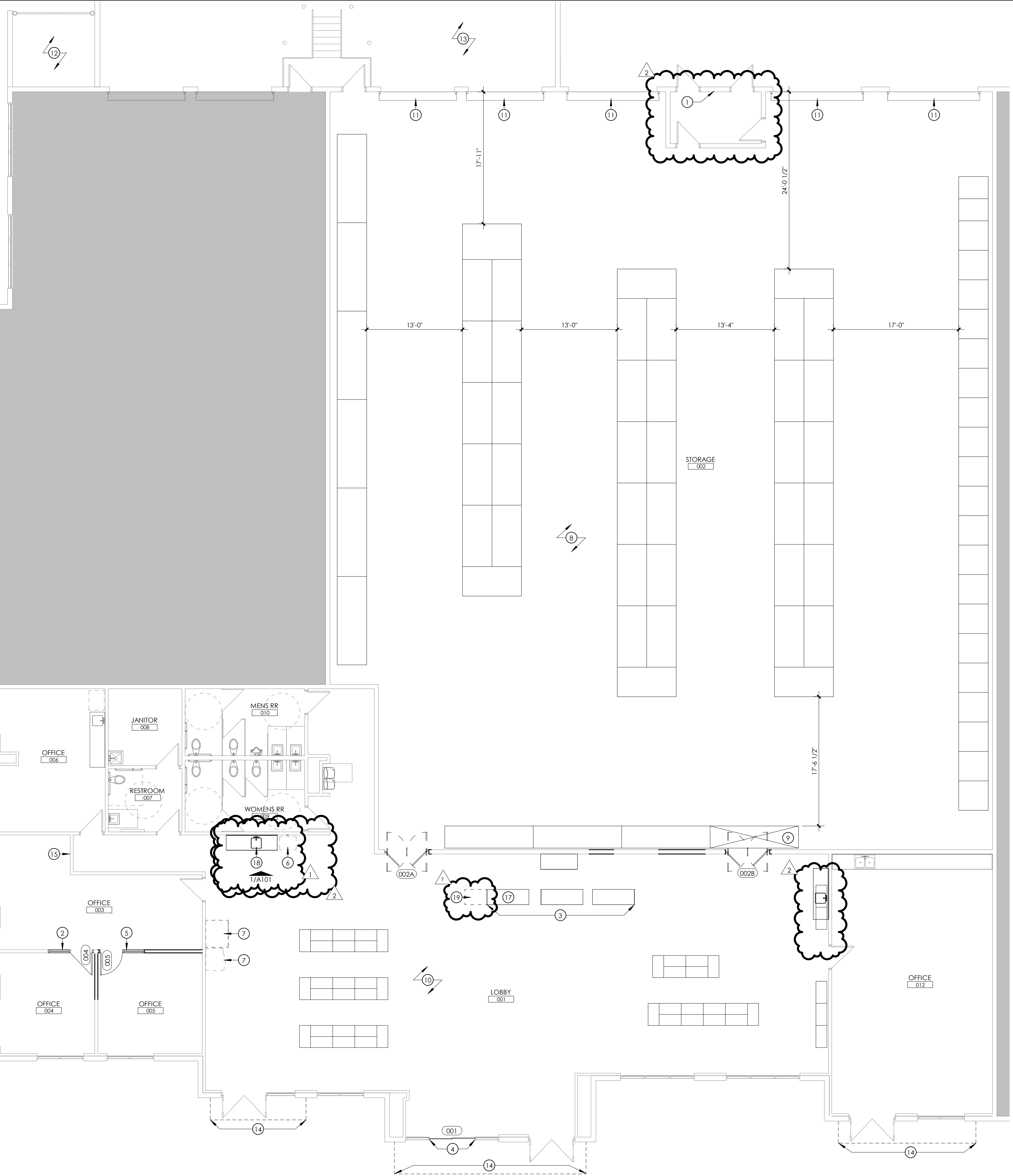
3 FRAME TYPES
1/4" = 1'-0"

4 DOOR TYPES
1/4" = 1'-0"

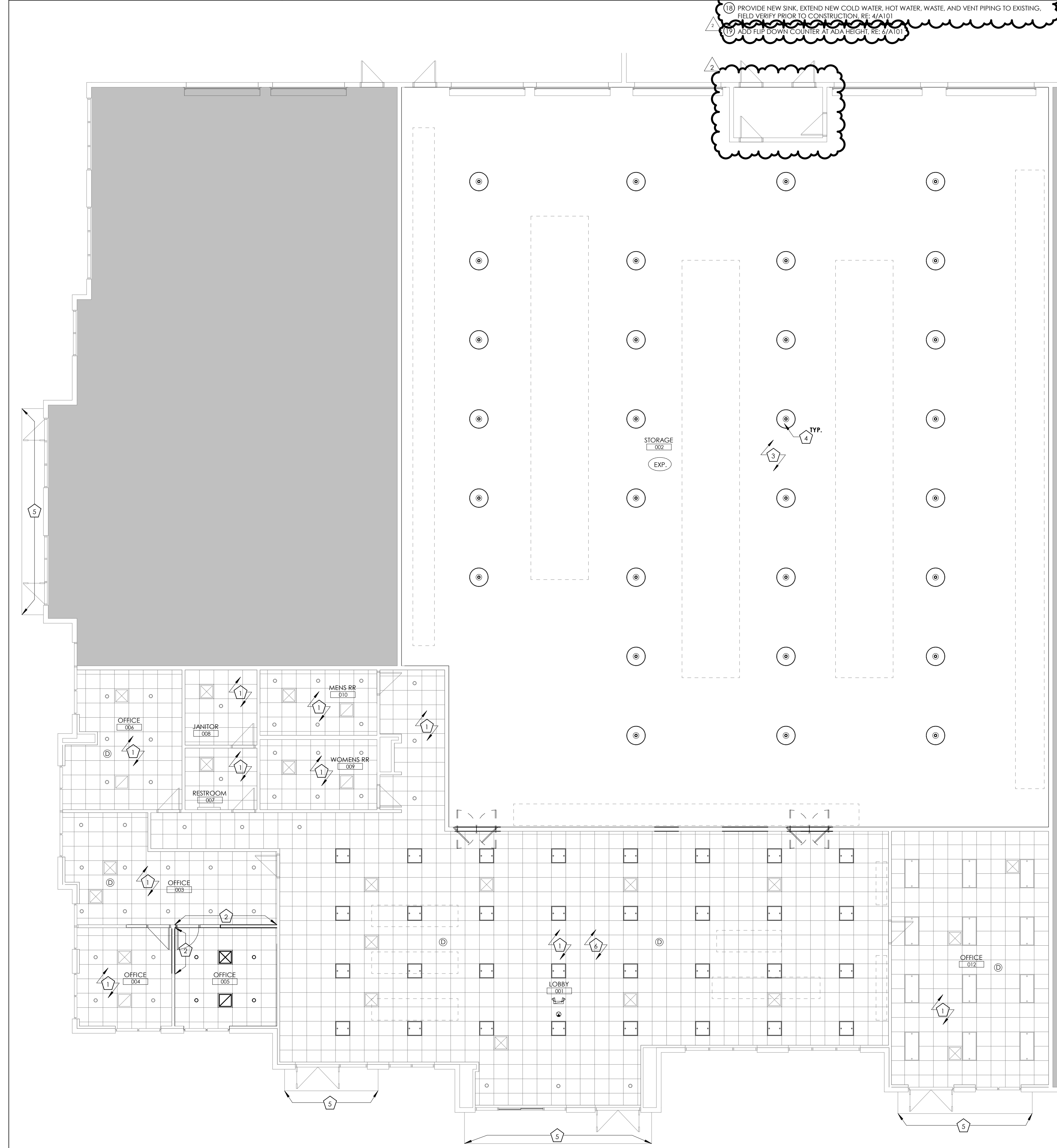
5 DOOR DTL - HEAD/JAMB SIM.
3" = 1'-0"

6 DOOR HEAD DETAIL
3" = 1'-0"

7 DOOR SILL DETAIL
3" = 1'-0"



1 FIRST FLOOR - FLOOR PLAN
1/8" = 1'-0"



2 FIRST FLOOR - RCP
1/8" = 1'-0"

Project Title:
ELLIOT ELECTRIC

Elliott's Electric Lee's Summit

2818 NE INDEPENDENCE AVE | LEES SUMMIT, MO 64064



Issue Date: 05.24.2023
Issue: 1
Date: 06.19.2023
2 As-Built 09.05.2023

Drawn by: BMM
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Project Number: 2309.2

A100

FLOOR PLAN & RCP

Material List:

- 2" Plywood with Overlay Laminates
- Slates 2" Plywood with Overlay Laminates
- Drawers & Doors to Have Heavy Duty Full Extension Drawer Guides
- Drawers & Doors to Have Brushed Nickel Pulls
- Laminates - Vitracore - Heavy Legacy 400 (4)

Detail Printer /Catalogue Counter

PLAN

ELEVATION

Book Shelf Detail

Printer Shelf Detail

Material List:

- 2" Plywood with Overlay Laminates
- Slates 2" Plywood with Overlay Laminates
- Drawers & Doors to Have Heavy Duty Full Extension Drawer Guides
- Drawers & Doors to Have Brushed Nickel Pulls
- Laminates - Vitracore - Heavy Legacy 400 (4)

Detail Sales Counter

PLAN

ELEVATION

ADA Sales Counter

2" Hole for Data/Phones

Heavy Duty Full Extension Guide

Drawers with 2" Solid Brass Pulls

NOTE #1: 2" HOLES FOR CABLES TO BE SPILLED ON INTERIOR PARTITIONS FOR ELECTRICAL AND DATA CABLES.

NOTE #2: ELECTRICAL TO RETAIL 1/2 GANG OUTLETS AT DISCREET IN WALL COUNTER IN BACKGROUN SECTION.

Plan Sales Counter

6 ADA Counter

1" x 1" 10"

SALES COUNTER PER OWNER

ADA COUNTER, DEPTH MATCH SALES COUNTER

3'-0"

FLIP HARDWARE

5 SALES COUNTER - FOR REFERENCE ONLY

1 COFFEE BAR

1/4" = 1'-0"

PLAM COUNTERTOP AND BACKSPLASH, COLOR SELECTED BY OWNER

PLAM DOOR AND DRAWER FRONTS, COLOR SELECTED BY OWNER

EXISTING BASE

ICE MACHINE, OPOI

OPEN TO BEYOND

2 CASEWORK SECTION

1" = 1'-0"

PER ELEVATION

TOP PER ELEV.

DRAWER

WIRE PULL

PART. BD. ADJ. SHELF (BY PER ELEV.)

PART. BD. DOOR

DRILLED HOLES FOR SHELF RESTS

SEMI-EXPOSED INTERIOR

BASE MATCH EXISTING

3 CASEWORK SECTION

1" = 1'-0"

PER ELEVATION

TOP PER ELEV.

WIRE PULL

PART. BD. DOOR

SEMI-EXPOSED INTERIOR

BASE MATCH EXISTING

4 PLUMBING FIXTURE SCHEDULE

MARK NO.	FIXTURE TYPE	MANUFACTURER	MODEL NO.	DESCRIPTION	MINIMUM CONNECTION SIZE			
					CW	HW	WASTE	VENT
S-1	SINK	KARAN	E-553	SINGLE COMPARTMENT UNDERMOUNT SINK, 18 GA. TYPE 304 STAINLESS STEEL, 9" DEEP BOWL, DELTA MODEL 9959F-OST THERMIC DECK MOUNTED FAUCET WITH CERAMIC OPERATING CARTRIDGE, TOUCH TECHNOLOGY, SINGLE LEVER HANDLE, 2-1/2" FUNCTION PULL DOWN 6-0" SPRING SPOUT WITH MAGNETIC DOCKING, DUAL CHECK AND 1.8 GPM AERATOR, 1 OR 3 HOLE MOUNTING WITH OPTIONAL DECK PLATE. ACCESSORIES: ELKAY LX-35 STRAINER WITH 1-1/2" TAILPIECE, 1-1/2" 17 GA. SEMI-CAST BRASS P-TRAP WITH CLEANOUT, CHROME-PLATED RISERS WITH LOOSE KEY ANGLE STOPS.	1/2"	1/2"	2"	1-1/2"

GENERAL INTERIOR ELEVATION NOTES

1. PROVIDE F.T. WOOD BLOCKING AS REQUIRED FOR EQUIPMENT. COORDINATE SIZE AND LOCATION WITH OWNER.
2. 1 1/2" RADIUS ON ALL OUTSIDE CORNERS OF COUNTERTOPS & MICROWAVE SHELVES, TYP.
3. ALL EXPOSED ENDS OF CABINETS TO BE FINISHED, TYP.
4. ALL SHELVES EQUAL TO OR GREATER THAN 3'-0" SHALL BE 1" THICK.
5. ALL ELECTRICAL, MECHANICAL, AND PLUMBING ITEMS ARE FOR REFERENCE AND LOCATION ONLY. REFER TO MEP DRAWINGS FOR SIZES, TYPES, AND EXACT QUANTITIES.
6. DIMENSIONS FOR MEP ITEMS ARE TO CENTERLINE OF COVERPLATE OR CENTER OF OPERABLE MECHANISM, TYP.
7. ALL EDGES OF PLAM COUNTERTOPS TO BE A PVC EDGE UNLESS OTHERWISE NOTED.
8. ALL END PANELS OF CASEWORK ARE TO BE FINISHED, TYP.
9. PROVIDE UNDER COUNTER SUPPORTS EVERY 3'-0" O.C., MIN.
10. REFER TO INSTALLATION GUIDELINES/COVER FOR TYPICAL INSTALLATION GUIDELINES & MOUNTING HEIGHTS.
11. ALL BASE CABINETS THAT ARE NOTED TO BE 25" DP, ON ELEVATIONS SHALL BE 24" FROM WALL TO FRONT OF CABINET DOOR. 25" TO EDGE OF COUNTERTOP, TYP.

INTERIOR ELEVATION LEGEND

N NORMAL DUPLEX, RE-MEP

REP FINISHED END PANEL

RELEASED FOR CONSTRUCTION

As Noted on Plans Review

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1 ADDENDUM 1 06.19.2023

2 AS-BUILT 09.05.2023

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DETAILS

PERMIT SET