

CODE ANALYSIS

PROPERTY ADDRESS: EDWARD JONES - BRANCH OFFICE: 01643
500 SW MARKET STREET, SUITE C
LEE'S SUMMIT, MO 64063-3987

OCCUPANCY: BUSINESS GROUP B

CONSTRUCTION TYPE: ~~2B~~ 3B

TOTAL CONV. FLOO AREA: 910 SQUARE FEET

OCCUPANT LOAD:
910 SF / 100 GROSS OCC = 9 PERSONS

EXITS REQUIRED: ONE (1) EXIT
EXITS PROVIDED: ONE (1) EXIT

FIRE PROTECTION:
SPRINKLER SYSTEM: YES

BUILDING: 2018 INTERNATIONAL BUILDING CODE (IBC)
PLUMBING: 2018 INTERNATIONAL PLUMBING CODE (IPC)
MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE (IMC)
ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE (NEC)
ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
FIRE: 2018 INTERNATIONAL FIRE CODE (IFC)
ACCESIBILITY: 1CC/ANSI A117.1-2009, ACCESSIBLE & USABLE BUILDINGS & FACILITIES

ALL LOCAL AND STATE AMENDMENTS TO THE ABOVE LOCAL CODES



Edward Jones
BRANCH REAL ESTATE

TRILEAF NO. **720564** EDWARD JONES NO. **01643**

ADDRESS:
500 SW MARKET STREET
SUITE C
LEE'S SUMMIT, MO
64063-3987

DRAWN BY:

TAW

APPROVED BY:

JCB

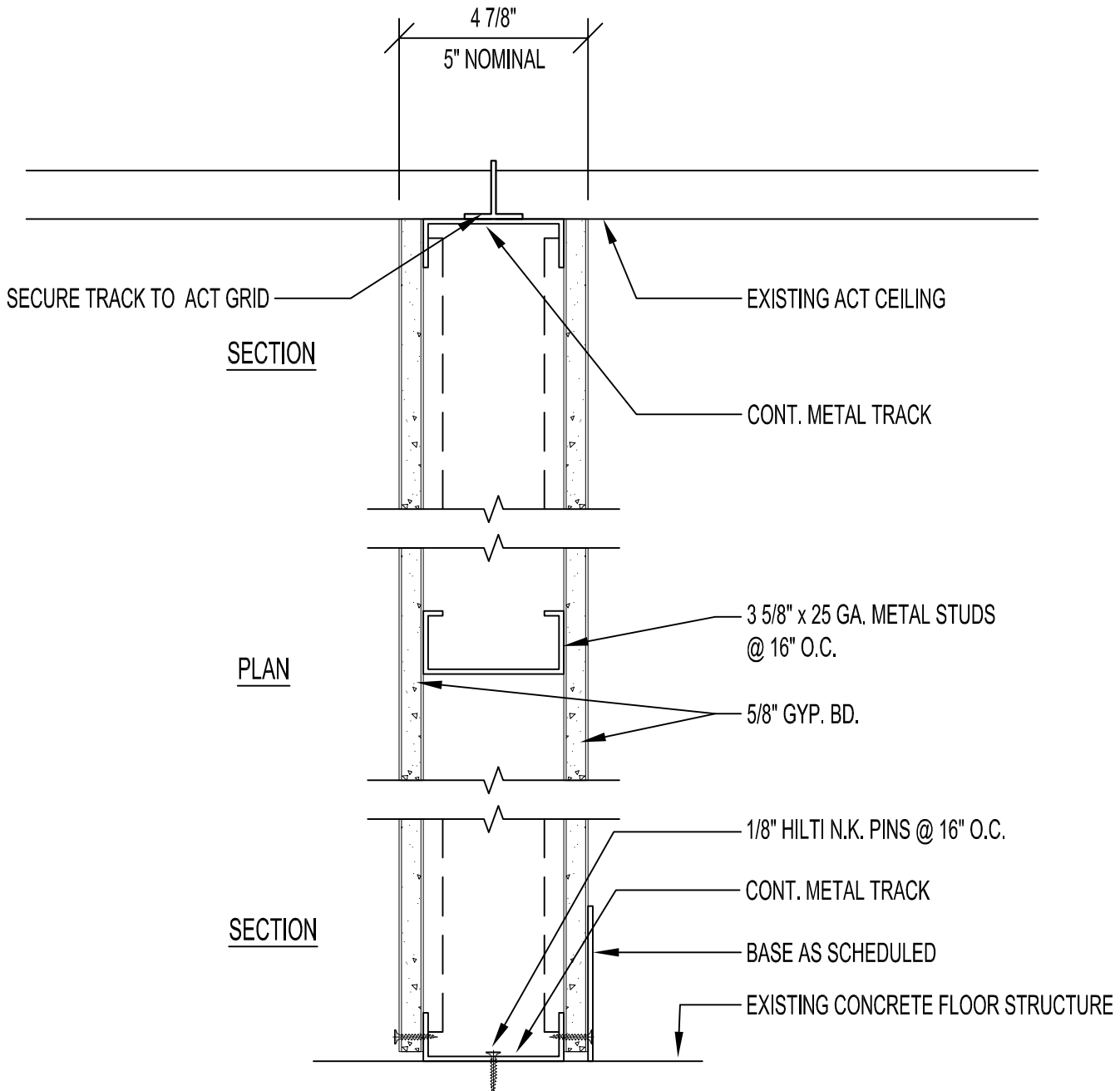
DATE:

08/11/2023

SHEET:

1

WALL SECTION



1

INTERIOR WALL PARTITION (TYP.)

N.T.S.



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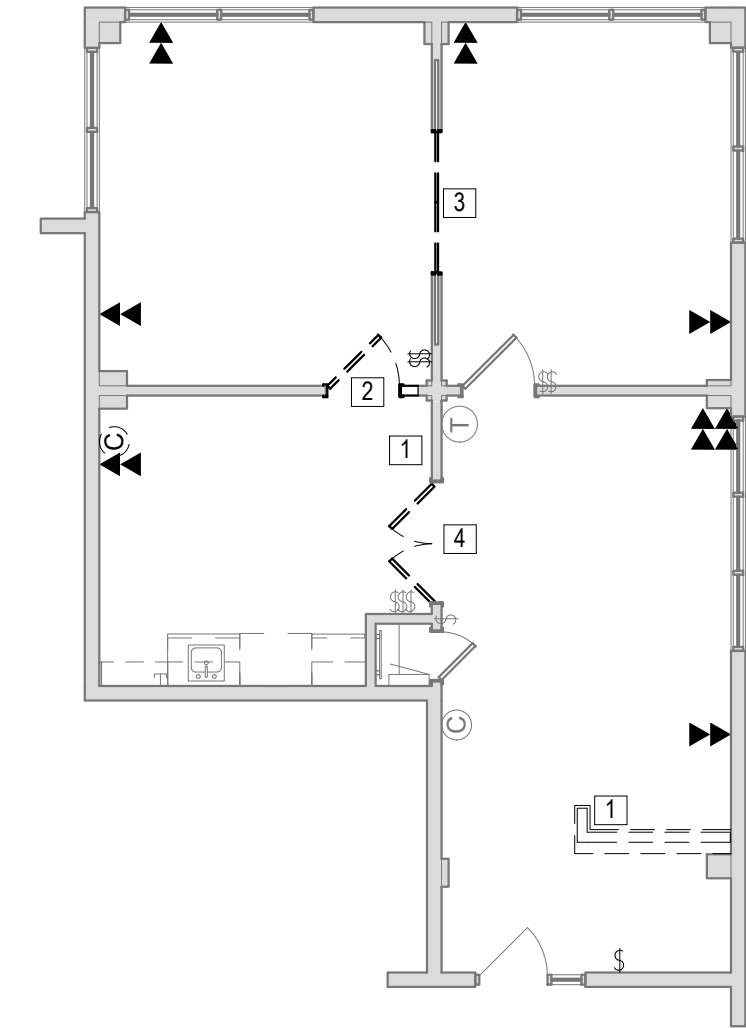
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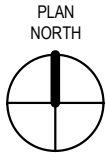
JCB

DATE:
08/11/2023

SHEET:
2



1 DEMOLITION PLAN
1/8" = 1'-0"



SITE SPECIFIC NOTES

SITE WORK

1. DEMO EXISTING OUTLETS OVER 18" A.F.F., UNLESS AT EXISTING, REMAINING COUNTERTOP.
2. DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING.
3. REMOVE EXISTING FLOORING, WALL BASE, & FLOORING ADHESIVES IN THOUGHT THE SPACE. WOOD BASE TO BE SALVAGED FOR REUSE.
4. REMOVE EXISTING MILLWORK FROM PREVIOUS TENANT. PATCH AND REPAIR ADJACENT SURFACES.

DEMOLITION KEYED NOTES ☒

1. REMOVE ALL EXISTING PARTITIONS/DOOR & CASEWORK THROUGHOUT TENANT SPACE, AS SHOWN. PATCH AND REPAIR TO ACCEPT NEW FINISHES.
2. FLIP DOOR SWING AS SHOWN ON PLAN TO ACHIEVE REQUIRED ADA CLEARANCES.
3. REMOVE EXISTING POCKET DOORS AND INFILL WITH NEW INSULATED PARTITION AS SHOWN ON PAGE 3.
4. REMOVE DOOR SWINGS AND HINGES. FINISH EXISTING CASED OPENING AS NEEDED.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

Development Services Department
Lee's Summit, Missouri
08/15/2023

DO NOT SCALE DRAWINGS

**CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT DESIGNER: MONICA AZER
AT: p: 314.515.1620

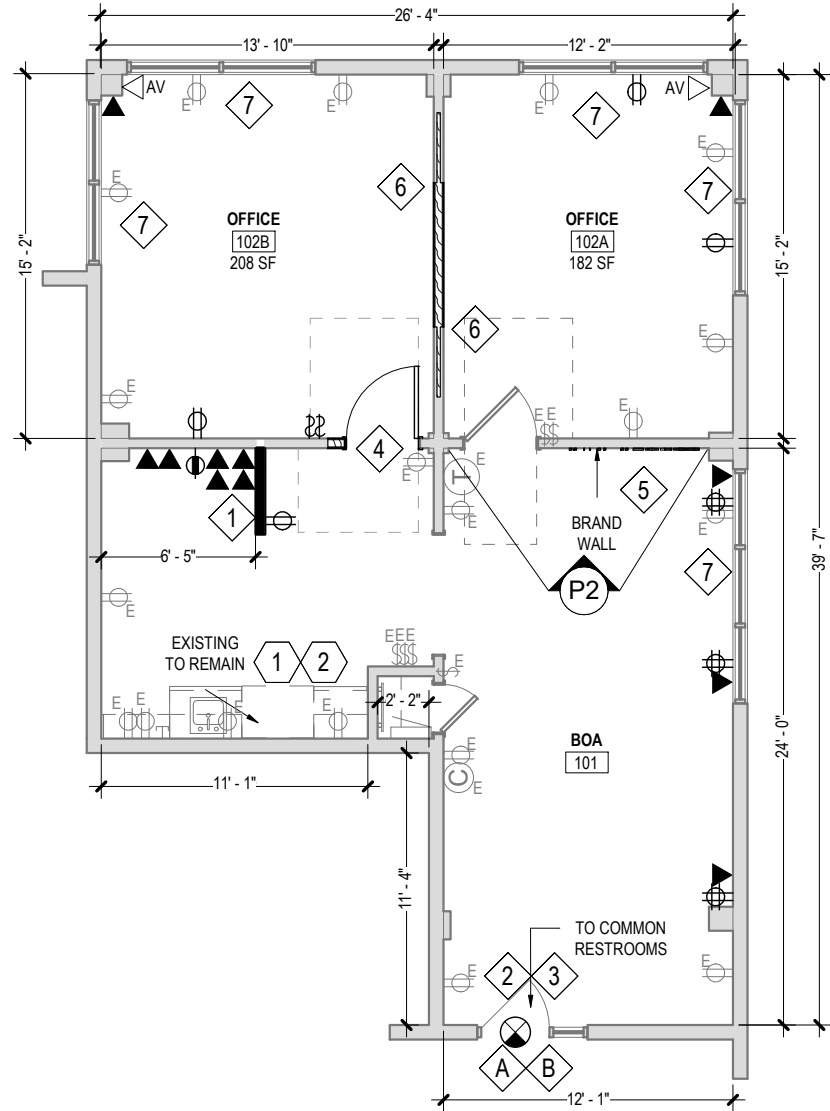
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Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 01643
DATE: 2023.04.05

SQUARE FOOTAGE: 870 USF | 870 RSF

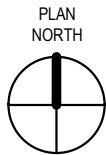
EXHIBIT A
DEMO PLAN

SHEET 2 of 8



1 PARTITION PLAN
1/8" = 1'-0"

****BRANCH TO BE LOW-VOLTAGE PREWIRED****
REFER TO SPEC SHEET 8 FOR MORE DETAIL



LANDLORD SCOPE OF WORK X

FOR REFERENCE IN LEASE AGREEMENT (- NOT TO BE INCLUDED IN GC'S SCOPE)

LANDLORD TO COMPLETE ALL INDICATED SCOPE OF WORK PRIOR TO DELIVERY OF SPACE OR ACCORDING TO LEASE TERMS. LANDLORD TO ENSURE ALL COMPLETED WORK IS DONE TO MEET ADA AND BUILDING CODE REQUIREMENTS.

- A. MODIFY EXISTING COMMON AREA RESTROOM TO MEET ALL ADA AND BUILDING CODE STANDARDS FOR ACCESSIBILITY. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:
- REPLACE GRAB BARS IN BOTH BATHROOMS TO BE 36" LONG GRAB BAR. SEE PAGE 6 FOR DETAILS
 - GRAP BAR TO EXTEND AT LEAST 12" FROM THE CENTERLINE OF THE TOILET TO THE WALL AND AT LEAST 24" IN THE OTHER DIRECTION IN BOTH BATHROOMS. SEE PAGE 6 FOR DETAILS
 - REPLACE GRAB BARS TO BE 42" LONG IN BOTH BATHROOMS. SEE PAGE 6 FOR DETAILS
 - RELOCATE DISPENSER TO BE NO MORE THAN 42" AWAY FROM THE REAR WALL. SEE PAGE 6 FOR DETAILS
 - REPLACE REFLECTING SURFACE IN BOTH BATHROOMS. SEE PAGE 6 FOR DETAILS.
- B. MODIFY EXISTING CURB RAMP TO MEET CODE REQUIREMENTS. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:
- MODIFYING CURB RAMP RUNS TO NOT EXCEED 1:12 (4.76 DEGREES) SLOPE (CURRENTLY AT 7 DEGREES AND 3.8 DEGREES). SIDE FLARES NOT TO EXCEED 1:10 (6 DEGREES) SLOPE.
 - MODIFYING CURB RAMP CROSS SLOPE TO BE 1:48 (1.19 DEGREES OR LESS)
 - MODIFYING BOTTOM LANDING OF RAMP TO (BE MINIMUM SIZE AND) NOT EXCEED 1:48 (1.19 DEGREES) SLOPE IN ALL DIRECTIONS (LOWER LANDING SLOPE CURRENTLY AT2.7 DEGREES AND .2 DEGREES).
 - MODIFYING CURB RAMP TO HAVE AN UPPER LANDING OF 48"X48" WITH A SLOPE OF 1:48 (1.19 DEGREES OR LESS) SLOPE CURRENTLY TERMINATES TO LANDSCAPING. NO UPPER LANDING PRESENT.

PARTITION KEYED NOTES X

1. PHONE COMPANY SERVICE TO BE INSTALLED AT BOC LOCATION PER DETAIL ON SHEET 8 OF 8 AND PER SPECIFICATIONS ON 1ST DAY OF CONSTRUCTION. **EMAIL PHOTO TO CONSTRUCTION MANAGER TO CONFIRM WORK ASAP.**
2. INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 101. HEATH ZENITH WIRELESS DOOR ALERT WITH WHITE COVER & HORIZONTAL LINES - HOME DEPOT MODEL #SL- 7368-02 OR COMPARABLE ALTERNATIVE.
3. IF LOCAL CODE WILL NOT ALLOW FOR THUMB-TURN LOCKSET AT ENTRY DOOR, **NOTIFY DESIGNER IMMEDIATELY** WITH ALTERNATIVE OPTIONS FOR LOCKSETS WITH INTERIOR LOCKING MECHANISMS.
4. INSTALL NEW 3'-0" SOLID CORE WOOD DOOR AS SHOWN TO MATCH EXISTING. REFER TO SHEET 4 FOR FINISH SPECS.
5. PROVIDE AND INSTALL KEYLESS ENTRY WITH BUZZER AT BOA DESK LOCATION AT ENTRY DOOR; ALL REQUIRED ELECTRICAL TO BE INCLUDED.
6. ALIGN NEW PARTITION WITH EXISTING AS SHOWN ON PLAN. PATCH/REPAIR AND PREP FOR NEW FINISHES.
7. ENSURE WINDOW AND TRIM ARE CLEAN & IN LIKE NEW CONDITION; TOUCH UP WITH WHITE PAINT AS NEEDED.

ALTERNATE KEYED NOTES X

1. NON-STANDARD KITCHENETTE ALTERNATE: CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO INSTALL 11'-10" LF OF BASE & UPPER CABINETS, COUNTERTOP, AND STAINLESS STEEL SINK & FAUCET. BASE CABINET TO HAVE LEAVE-OUT FOR UNDERCOUNTER REF. BROKEN-OUT COST TO INCLUDE (1) DUPLEX OUTLET AT 18" AFF FOR UNDERCOUNTER REF, (1) GFI OUTLET AT 42" AFF, AND ALL PLUMBING AS NEEDED FOR FIXTURES SHOWN INCLUDING HOOKUP TO EXISTING HOT WATER HEATER OR INSTALL OF NEW INSTA-HOT. REFER TO SHEET 8 FOR STANDARD SPECIFICATIONS AND BASIS OF DESIGN FOR PRICING. CONTACT FA FOR FINAL DESIGN & MATERIAL SELECTIONS - FAS | P: #816.333.4318.
2. MODIFYING EXISTING KITCHENETTE ALTERNATE: CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO MODIFY THE EXISTING KITCHENETTE ADA CODE REQUIREMENTS. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:
 - ENSURE HEIGHT DOES NOT EXCEED 34" IN HEIGHT (CURRENTLY AT 36") AND IS NO LOWER THAN 28"
 - ENSURE ALL KNEE CLEARANCE REQUIREMENTS ARE MET.

SITE SPECIFIC SCOPE NOTES

GENERAL CONDITIONS

1. SPACE TO BE DELIVERED IN AS-IS CONDITION.
2. ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS (**SEE SHEETS 6-8**) UNLESS OTHERWISE NOTED IN SITE SPECIFIC OR KEYED NOTES ON SHEETS 1-5, OR REQUIRED BUILDING STANDARD APPLIES.
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & WINDOW MULLION PLACEMENT PRIOR TO CONSTRUCTION; IF UNABLE TO VERIFY DIMENSIONS OR IF A DISCREPANCY OCCURS, NOTIFY DESIGNER IMMEDIATELY.
4. VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.

DEMOLITION

1. REFERENCE SHEET 2 FOR ALL DEMOLITION RELATED SCOPE OF WORK.
2. EXISTING BLINDS TO REMAIN; PROTECT DURING CONSTRUCTION AND CLEAN TO LIKE-NEW CONDITION PRIOR TO DELIVERY OF SPACE.

CONCRETE

1. ENSURE ALL FLOORING SURFACES ARE CLEAN, DRY, SMOOTH, & LEVEL WITHIN 3/16" PER EVERY 10 FEET; READY TO ACCEPT NEW FINISHES PER FINISH SCHEDULE.

THERMAL & MOISTURE PROTECTION

1. INSTALL 4FT LAY-IN BATT INSULATION ABOVE DROPPED CEILING AT ROOMS THROUGHOUT SPACE.
2. GC REQUIRED TO COMPLETE MOISTURE TEST. IF MOISTURE READING IS ABOVE 95, NOTIFY INTERFACE FLOORING IMMEDIATELY.

DOORS / WINDOWS

1. EXISTING DOORS TO REMAIN AS SHOWN. INSTALL NEW 3'-0" SOLID CORE DOORS AS SHOWN ON PLAN AND IN KEYED NOTES. SEE FINISH SCHEDULE ON SHEET 4 FOR SPECS.
2. INSTALL NEW LEVER-STYLE HARDWARE ON ALL DOORS THROUGHOUT THE SPACE; TO MEET ALL ACCESSIBILITY CODES. FINISH TO BE BRUSHED NICKEL OR MATCH TO EXISTING FINISH. INSTALL LEVER-STYLE HARDWARE ON DOOR TO 102A AND 102B; MATCH TO EXISTING STYLE AND FINISH.

CEILING / PARTITIONS / FINISHES

1. EXISTING CEILING TO REMAIN WHERE POSSIBLE; PATCH / REPAIR / REWORK GRID AS REQUIRED FOR NEW PARTITION LAYOUT AND TO ENSURE CONSISTENT GRID THROUGHOUT SPACE.
2. PATCH/REPAIR & PREP EXISTING PARTITIONS AS REQUIRED FOR NEW FINISHES. ENSURE ALL PARTITIONS ARE SIMILAR IN TEXTURE, LAMINATE OR SKIMCOAT WALLS AS NEEDED FOR CONSISTENT FINISH.
3. INSTALL NEW FLOORING AND PAINT PER FINISH SCHEDULE ON SHEET 4. REFER TO FINISH PLAN FOR FLOOR PATTERN INSTALL DIRECTION.
4. REINSTALL EXISTING WOOD BASE AND CROWN MOLDING. PROVIDE NEW TO MATCH WHERE NEEDED. SEE FINISH SCHEDULE ON SHEET 4 FOR SPECS.
5. REINSTALL EXISTING EDWARD JONES METAL LOGO AFTER PAINT, AS SHOWN ON SHEET 4.

MECHANICAL

1. RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM.
2. CLEAN & CHECK EXISTING HVAC UNIT AND SUPPLY/RETURN GRILLES THROUGHOUT. REPLACE ANY DISCOLORED OR NON-WHITE GRILLES WITH NEW WHITE GRILLES THROUGHOUT.
3. MODIFY EXISTING SPRINKLER SYSTEM AND FIRE ALARMS AS REQUIRED BY LOCAL CODES.
4. PROVIDE AND INSTALL FIRE EXTINGUISHER IN BRANCH AS REQUIRED BY LOCAL CODES.

ELECTRICAL

1. VERIFY EXISTING ELECTRICAL PANEL MEETS EDJ SPECIFICATIONS; UPGRADE OR ADD SUB-PANEL AS REQUIRED.
2. NEW SWITCHES, OUTLETS, AND FACE PLATES TO BE WHITE.
3. EXISTING LIGHTING TO REMAIN THROUGHOUT. IF EXISTING LIGHTING IS T12 UTILIZE BALLAST BYPASS LED LAMPS. RELOCATE EXISTING AND PROVIDE/INSTALL NEW TO MATCH AS NEEDED TO ACCOMMODATE TO NEW PARTITION LAYOUT: ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS. CLEAN EXISTING LIGHTING LENSES AS NEEDED THROUGHOUT; REPLACE BULBS AS NEEDED.
4. (2) NIGHT LIGHTS TO BE HARDWIRED AT 101.
5. INSTALL COMMERCIAL WALL WASH LIGHT FIXTURE TO ILLUMINATE INTERIOR LOGO AS PER KEYNOTE P2 ON SHEET 4; TO BE SEPARATELY SWITCHED.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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BRANCH OFFICE: 01643

DATE: 2023.04.05

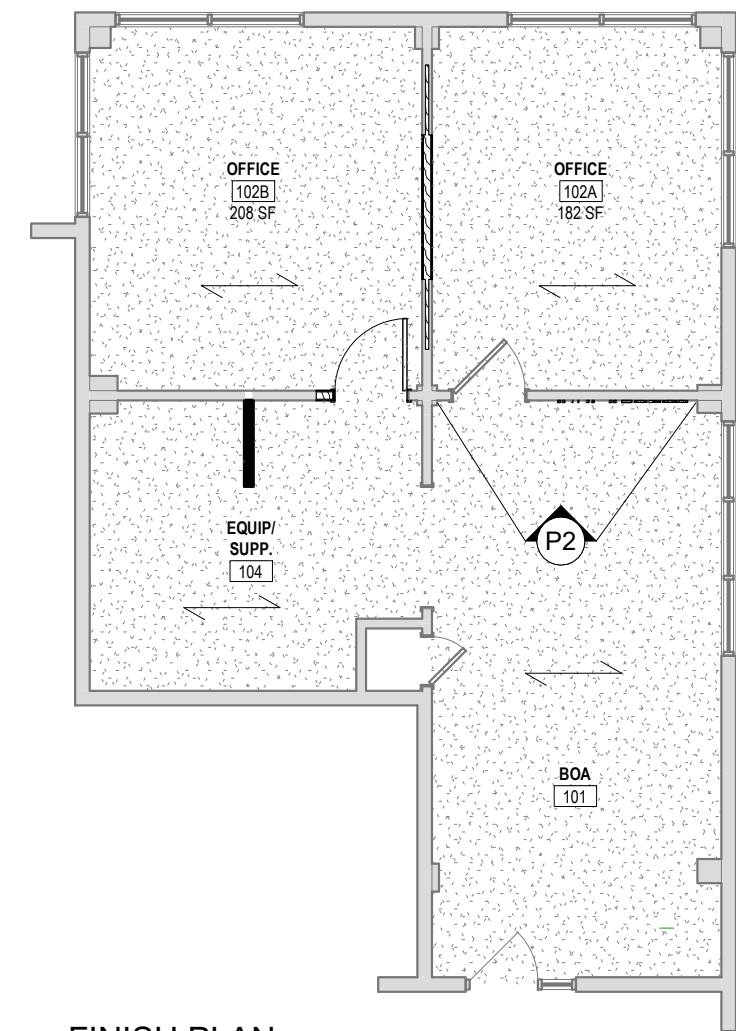
SQUARE FOOTAGE: 870 USF | 870 RSF

EXHIBIT A

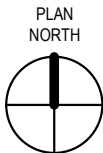
PARTITION PLAN

SHEET

3 of 8



1 FINISH PLAN
1/8" = 1'-0"



FINISH KEYED NOTES



- WALL TO BE PAINTED WITH ACCENT COLOR P2, AND EDJ LOGO INSTALLED.
1. PROVIDE & INSTALL COMMERCIAL LED WALL WASH (SEE SPECIFICATIONS SHEET 7).
 2. EXISTING LOGO TO BE REINSTALLED AFTER PAINTING (SEE SPECIFICATIONS SHEET 8 FOR INSTALL INSTRUCTIONS ONLY).

ROOM FINISH SCHEDULE

RM. NO.	PAINT	ACCENT	FLOORING	BASE	DOOR PANEL	DOOR FRAME	CEILING	NOTES
101	P1	P2	CPT3	EXIST	EXIST	EXIST	EXIST	SEE NOTE "P2"
102A	P1		CPT3	EXIST	EXIST	EXIST	EXIST	
102B	P1		CPT3	EXIST	MATCH	MATCH	EXIST	
104	P1		CPT3	MATCH		EXIST	EXIST	
106	P1		CPT3	EXIST	EXIST	EXIST	EXIST	

FINISH KEY

EXIST = EXISTING FINISH TO REMAIN
MATCH = NEW FINISH TO MATCH EXISTING
BLDG STND = BUILDING STANDARD APPLIES
RELO = RELOCATED



CARPET TILE



LUXURY VINYL TILE



EXISTING TO REMAIN



MATCH EXISTING

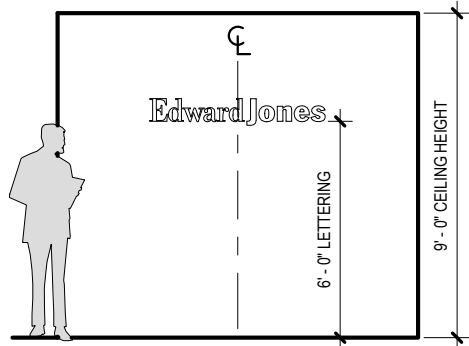


NOT IN CONTRACT

FLOOR
PATTERN
DIRECTION
SYMBOL
*SEE PLAN



SIGNAGE ELEVATION



REFER TO KEYED NOTE ABOVE

**1 LOGO TO BE CENTERED ON WALL, U.N.O.

FINISH SPECIFICATIONS | SECURE PALETTE

WALLS



GENERAL WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7005 PURE WHITE



BRAND WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7075 WEB GRAY

FLOORING



GENERAL CARPET TILE
MFR: INTERFACE
STYLE: EJ BOUCLE
COLOR: 189213
SIZE: 25CM X 1M
INSTALL: ASHLAR



LUXURY VINYL TILE
MFR: INTERFACE
STYLE: STUDIO SET
COLOR: A00704 ESPRESSO
SIZE: 25CM X 1M
INSTALL: RANDOM STAGGERED

WALL BASE



EXISTING WOOD BASE
TO REMAIN, TO BE RE-PAINTED
COLOR: PAINTED SW7006



MATCH WOOD BASE
STYLE: TO MATCH EXISTING,
TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE

DOOR PANELS



EXISTING TO REMAIN,
TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE



MATCH EXISTING DOOR
TYPE: TO MATCH EXISTING STYLE,
TO BE RE-PAINTED
COLOR: PAINTED SW7006

DOOR FRAMES



EXISTING TO REMAIN



MATCH FRAMES
TYPE: TO MATCH EXISTING

GENERAL NOTES:

- INSTALL SCHLUTER TRANSITION STRIPS BETWEEN DISSIMILAR FLOORS.
- REFER TO SPEC SHEETS FOR MORE INFO ON WALL AND FLOORING SPECS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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AT: p: 314.515.1620

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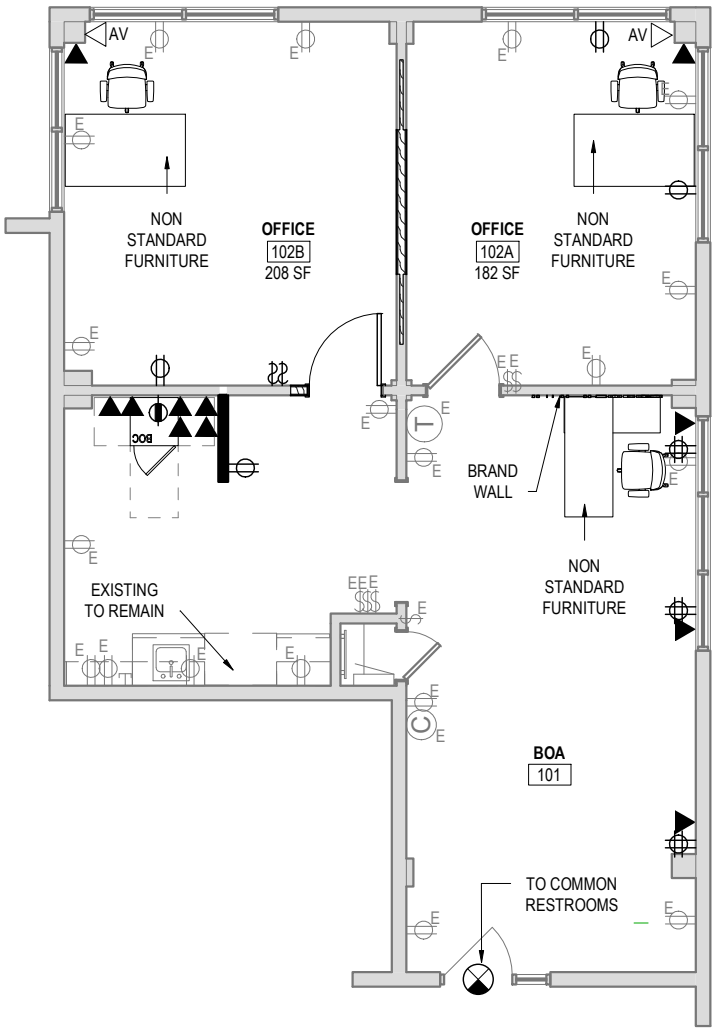
Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 01643

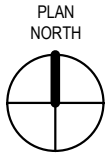
DATE: 2023.04.05

SQUARE FOOTAGE: 870 USF | 870 RSF

EXHIBIT A
FINISH PLAN



1 FURNITURE / EDJ EQUIP. PLAN
1/8" = 1'-0"



EQUIPMENT LEGEND AND DETAILS

**EQUIPMENT SUPPLIED & INSTALLED BY EDWARD JONES

- LASER PRINTER
- COPIER/FAX/SCANNER
- BOC (BRANCH OFFICE CONTROLLER)
PHONE SYSTEM

TYPICAL TV MOUNT DETAIL

N/A

STANDARD FURNITURE

GENERAL NOTES

- REFER TO PLAN FOR EXACT CONFIGURATION AND HANDEDNESS OF FURNITURE TO BE PROVIDED. HANDEDNESS CANNOT BE INTERCHANGED ONCE ORDER IS PLACED. CONFIRM HANDEDNESS WITH DESIGNER PRIOR TO ORDER.
- EXACT ORDER TO BE VERIFIED WITH DESIGNER PRIOR TO PURCHASE.
- ONCE ORDER IS PLACED, ANY CHANGES WILL RESULT IN ADDITIONAL CHARGES.
- REFER TO PLAN FOR EXACT LOCATION OF WALL-MOUNTED ACCESSORIES, REFER TO ACCESSORY TAGS (X)
- REFER TO MANUFACTURER SPECS FOR WALL-MOUNTED ACCESSORY HEIGHTS

FURNITURE SCHEDULE

DESCRIPTION	QUANTITY	ORDER?	MOVE?
CHAIRS			
Zonal Task Chair	3	0	

NO NEW FURNITURE
TO BE PURCHASED
AT THIS TIME

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EXHIBIT A
FURNITURE / EDJ
EQUIPMENT PLAN

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

GENERAL NOTES

1. THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED; OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN “AS NEEDED” BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
2. ANY DISCREPANCIES ON SHEETS 1-5 TO BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
3. ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
5. EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ALL NECESSARY PERMIT DRAWINGS AS REQUIRED PER CODE; COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
6. GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL 8 SHEETS AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
7. ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
8. EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
9. FURNITURE, EQUIPMENT, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
10. THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION.
11. WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH REAL ESTATE ONCE CONSTRUCTION IS COMPLETE.
12. UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

INTERIOR CONSTRUCTION SPECIFICATIONS

1. **DEMOLITION**

A. DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A. LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.

B. REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON SHEET 4. ROOMS LISTED “NIC” OR “EXIST” SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

C. LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLUE DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FOR BRANCHES ON A SLAB FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.
2. **PARTITIONS**

A. ALL NEW WALLS WILL BE CONSTRUCTED OF 3 5/8" METAL STUDS AT 16" O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.

B. ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT, LEVEL 4 FINISH.

C. ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, FIRE SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS AND INSTALL 2" X 4" 12-GAUGE WIRE SECURITY FENCING FROM TOP OF WALL TO DECK TO PROVIDE A SECURE DEMISING WALL.

1. VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED

2. PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFERENCE.

3. FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.

D. A MINIMUM OF 3" SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A, BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION.

E. PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS THAT END AT EXTERIOR WALLS OR MULLIONS TO INCLUDE SOUND CAULK AND RUBBER GASKET AT POINT OF CONNECTION.

3. **CEILING**

A. ACOUSTICAL CEILINGS: TILES TO BE FREE FROM STAINS, DIRT, CHIPS, AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE; GRID TO BE WHITE AND EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.

B. MATCH EXISTING CEILING TILES AND GRID, OR BUILDING STANDARD, WHERE APPLICABLE.

C. IF EXISTING GRID IS IN POOR CONDITION, OR COLOR OTHER THAN WHITE (AND NOT A BUILDING STANDARD), PAINT GRID WHITE, OR REPLACE AS REQUIRED.

D. IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4' COMMERCIAL GRADE ACOUSTICAL CEILING TILE AND GRID. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0", UNLESS NOTED ON PLANS.

BASIS OF DESIGN:

• MFR: USG

• PRODUCT: OLYMPIA MICRO 4753, NRC .60, SIZE: 2' X 4'

• PROFILE: SHADOWLINE TAPERED

• GRID: D, USG DX FLAT GRID

• COLOR: WHITE

• OR COMPARABLE ALTERNATE

E. DRYWALL CEILINGS: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).
4. **FIRE PROTECTION**

A. PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS. HEADS MUST BE CENTERED IN TILE.

B. PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON EXHIBIT A. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.

C. PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.

D. PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.

E. PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.

F. PROVIDE AND INSTALL FIRE EXTINGUISHER; TO MEET ALL LOCAL CODES.
5. **TOILET/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT)**

A. PROVIDE AND INSTALL RESTROOM LAYOUT AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE / HANDICAP ACCESSIBLE AS REQUIRED BY ADA STANDARDS, BUILDING CODES, AND AS SHOWN ON PLANS. GC TO ADHERE TO ANY CODES WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS; CONTACT DESIGNER IF CODE REQUIREMENTS DIFFER FROM PLANS.

B. RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, SINK, WATER HEATER (DEDICATED TO EDJ SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER, & MIRROR. PROVIDE & INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQ'D BY CODE.

C. EXISTING RESTROOM FIXTURES TO REMAIN IF DETERMINED TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.

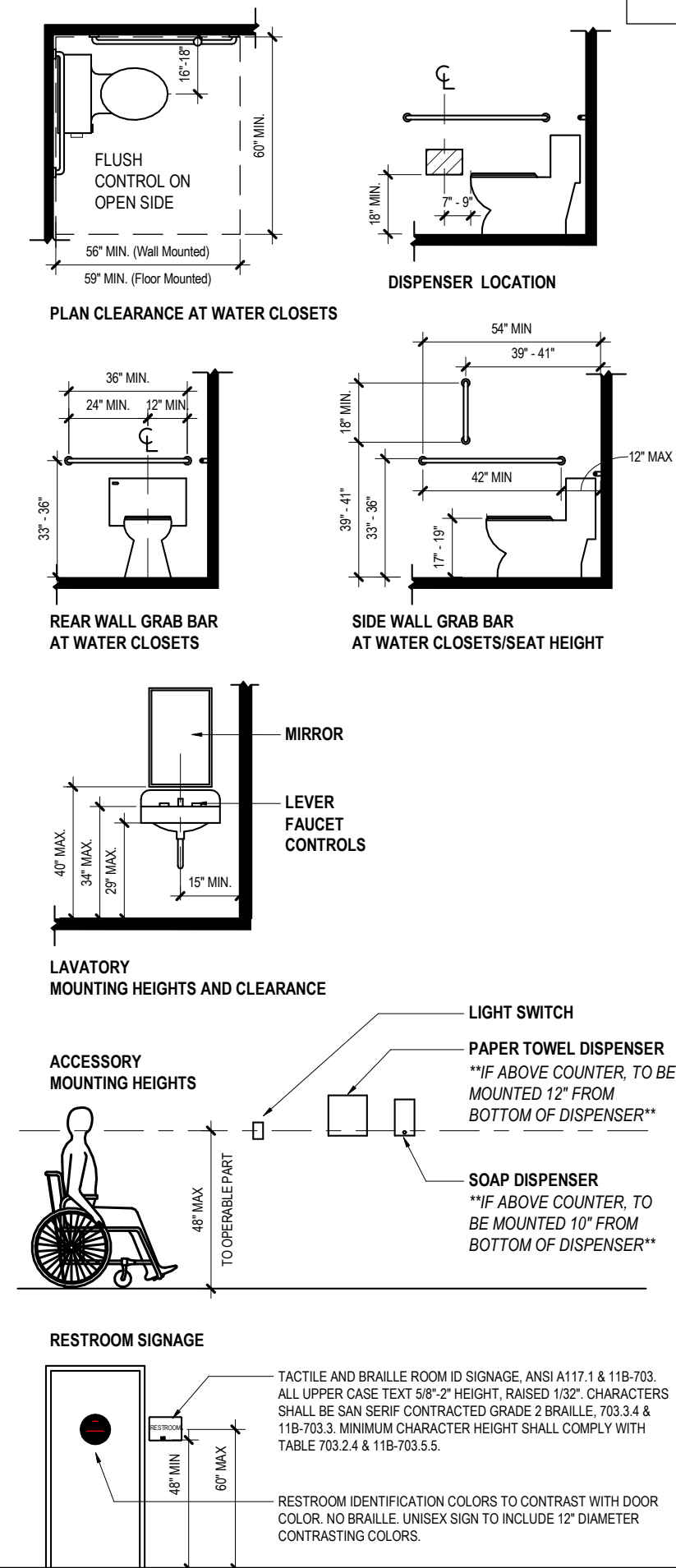
D. SINK(S) (ONLY IF SHOWN ON EXHIBIT A) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.

E. PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING & SEPARATELY SWITCHED AS REQUIRED.

F. PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105.

EDJ PLUMBING FIXTURE SCHEDULE		
ITEM	MODEL #	COMMENTS
18" GRAB BAR	BOBRICK #B-5806X18	
36" GRAB BAR	BOBRICK #B-5806X36	
42" GRAB BAR	BOBRICK #B-5806X42	
MIRROR**	24"WX36"H W/J-MOLD	
PAPER TOWEL DISPENSER	47260 – SCOTT MOD™	ELECTRONIC SLIMROLL, BLACK, PINK CODE
SINK FAUCET**	ZURN Z7440-XL	
SINK**	ZURN Z5340, WHITE	ADA- COMPLIANT WALL MOUNTED, CAULK AS REQ.
SOAP DISPENSER	32504 SCOTT MOD SKINCARE DISPENSER	WALL MOUNTED, TOUCHLESS BATTERY OPERATED
TOILET PAPER DISPENSER	09604 SCOTT SERIES INSIGHT	SURFACE MOUNTED DOUBLE ROLL TOILET TISSUE DISPENSER
TOILET SIGNAGE	PLASTIC ACCESSIBLE RESTROOM SIGN-UNISEX	
TOILET**	PF5112HEWH/PF1403TWH (LEFT FLUSH) PF5112RHEWH/PF1403TWH (RIGHT FLUSH)	ADA COMPLIANT, FLOOR MOUNTED CAULK AS REQ.
ITEMS SHOWN WITH ** MAY USE SIMILAR ALTERNATE MODEL, OTHERWISE GC TO USE SPECIFIED ITEM.		

TYPICAL RESTROOM DETAILS



DO NOT SCALE DRAWINGS

**CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY PAGES, PLEASE CONTACT DESIGNER: MONICA AZER
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64063-3987

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 01643

DATE: 2023.04.05

EXHIBIT A
FINISH
SPECIFICATIONS

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

11. ELECTRICAL

- A. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON EXHIBIT A, INCLUDING DEDICATED OUTLET AS SHOWN.
1. GENERAL PURPOSE OUTLETS
- ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
 - ONE (1) QUAD OR (2) DUPLEXES AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
 - AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.
2. DEDICATED OUTLET
- DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
 - ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC
 - OUTLET TO BE STANDARD 3-PRONG, 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
 - OUTLET TO BE SIMPLEX, ORANGE COLOR CODED RECEPTACLE (NEMA TYPE 5-15 R/G OUTLET, GE5362-IG OR EQUIVALENT).
 - ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.
3. RECESSED OUTLET (IF APPLICABLE)
- LEVITON RECESSED ONE-GANG DUPLEX RECEPTACLE (15A-125VAC 2-POLE, 3-WIRE-NEMA 5-15R) - CAT NO. 689 TO INCLUDE ELECTRICAL BOX.
 - CATALOG NO. 012-00689-00W; UPC NO. 07847731284 1
 - IF ABOVE SPECIFICATION IS UNAVAILABLE, FIND COMPARABLE ALTERNATIVE
- B. ALL OUTLETS TO BE 110 VOLT STANDARD 3-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R). THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF "ZERO CURRENT" WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.
- C. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER, AND IF WITHIN 6" OF A NEW OUTLET LOCATION INDICATED, NO NEW OUTLET IS NEEDED.
- D. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18" A.F.F., U.N.O..
- E. DEMO/REMOVE OUTLETS ABOVE 18" A.F.F. U.N.O. ON PLANS.
- F. INSTALL OR REPLACE ALL OUTLET AND LIGHT COVERS/SOCKETS WITH WHITE THROUGHOUT, U.N.O..
- G. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSFORMERS, SUB-STATIONS, ETC.
- H. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.
- I. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS OF 200 AMPS; UPGRADE AS REQUIRED.
- J. CONTRACTOR TO INSTALL 2'X3' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 36" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 3 FOR LOCATION ON PLAN.
- K. ELECTRICIAN TO INSTALL 3/4" CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 12 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE (▼ OR ▽). DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON EXHIBIT A FOR LOCATIONS OF DOUBLE GANG BOXES.

12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING)

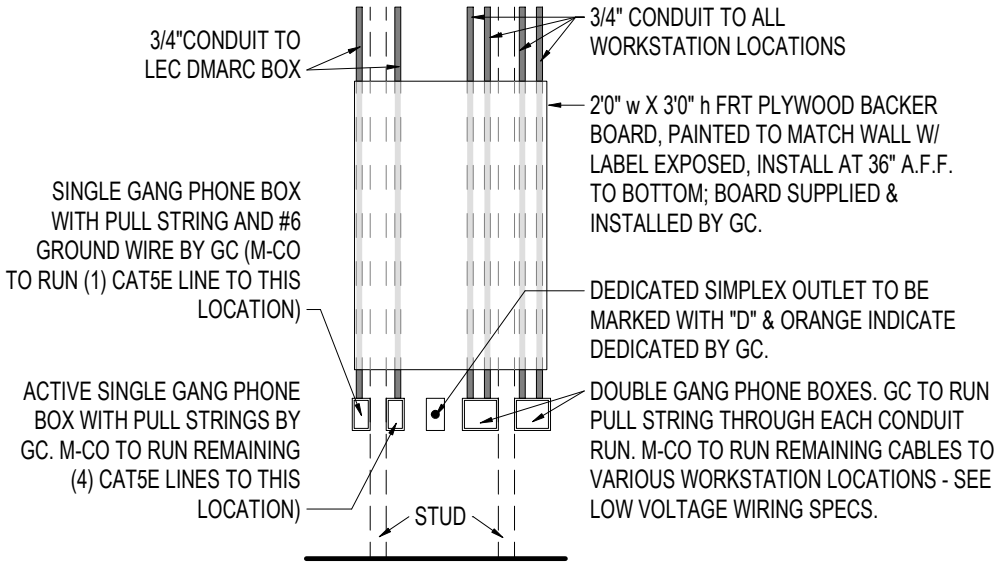
- LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)
- A. LOW VOLTAGE IMPLIES THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION, WITH THE EXCEPTION OF THE DEMARC EXTENSION. LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO CLIENT. CONTRACTOR ONLY RESPONSIBLE FOR GANG BOXES, AV FACEPLATES, CONDUIT, AND PULLSTRINGS AS NOTED IN NEXT SECTION.
- B. IF LOW VOLTAGE WORK IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES; CONTACT LEASING COORDINATOR/PROJECT MANAGER LISTED ON SHEET 1. NOTE THAT PRE-WIRE IS NOT STANDARD AND IS ONLY DONE WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE. PREWIRE WILL BE REQUIRED IF CEILING HEIGHT IS OVER 9'-0" IN U.S. AND OVER 10'-0" IN CANADA; AND/OR IF INDICATED ON SHEET 3. IF A PREWIRE IS INDICATED ON SHEET 3, GC TO CONTACT EDWARD JONES BRANCH INSTALL AT BRINSTALL@EDWARDJONES.COM WHEN PROJECT IS READY FOR LOW VOLTAGE PRE-WIRE.
- C. NOTIFY LEASING COORDINATOR/PROJECT MANAGER OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
1. ELECTRICAL BOXES - 4X2-1/8D HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
2. MUD RINGS - MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.

CONDUIT-DEMISED PREMISES

- A. CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE ▼) IF THE NEW CEILING IS DRYWALL, INSTALL CONDUIT FROM THE POINT OF CONNECTION (PHONES/DATA/PRINTER LOCATIONS INDICATED WITH ▼) AND STUB ABOVE CEILING WITH PULL STRING RUN TO THE POINT OF TERMINATION (CLIENT SERVER OR BOC).
- B. CONFIRM ACTUAL LOCATIONS ON EXHIBIT A PRIOR TO INSTALLATION. EXISTING CONSTRUCTION--CONDUIT NOT TO BE DONE IF IT REQUIRES REMOVAL OF DRYWALL PARTITIONS OR CEILINGS, UNLESS PRIOR APPROVAL RECEIVED FROM EDJ DESIGNER. IF WIREMOLD PRODUCT IS REQUIRED, INSTALL PANDUIT RACEWAY LD10E16-A.
- C. PROVIDE ONE SINGLE GANG BOX (ONE PER TRIANGLE ▼) AND PULL STRING AT EACH CONDUIT LOCATION. LABEL PULL STRINGS AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION. RECEPTACLES AND FACEPLATES TO BE PROVIDED BY EDWARD JONES BRANCH INSTALL.
- D. IF APPLICABLE, PROVIDE ONE SINGLE GANG BOX AND BRUSH CABLE PASS-THRU FACEPLATE (ONE PER TRIANGLE ▽) WITH PULL-STRING BETWEEN AV GANG BOXES FOR FUTURE FA-PROVIDED AV CABLING.
- E. IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
- F. STANDARD STUB-UP QUANTITY: TEN (10) 3/4" DIAMETER LOCATIONS, UNLESS NOTED OTHERWISE ON PLANS - INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
1. 3/4" CONDUIT LOCATIONS
- (2) AT BOA (ROOM 101)
 - (1) AT OFFICE 102A
 - (1) AT OFFICE 102B
 - (4) AT BOC INTO DOUBLE GANG BOXES
 - (2) AT INCOMING PHONE/DATA LINES TO BOC PER PLAN (ONE ACTIVE FOR PHONES AND ONE W/ #6 GROUND WIRE RUN FROM BOX TO ELECTRICAL PANEL TO GROUND BOX FOR DATA)
 - (1) AT OPEN 106 + IF INDICATED ON PLAN
2. ADDITIONAL MAY BE NEEDED IF ADDITIONAL DATA PORTS ARE SHOWN ON PLAN.
- G. ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.
- CONDUIT AND PHONE LINES FROM BUILDING SOURCE TO EXTENDED DEMARC (BOC)
- A. GENERAL CONTRACTOR TO INSTALL (2) 3/4" CONDUIT FROM THE BUILDING SOURCE TO THE EXTENDED DEMARC LOCATION WITHIN THE BRANCH (BOC LOCATION SHOWN ON PLAN).
****IF DATA LINES ENTER BUILDING AT A DIFFERENT LOCATION THAN PHONE LINES, (1) CONDUIT WILL NEED TO COME FROM THE DATA SOURCE TO THE GROUNDED BOX AT THE BOC LOCATION. REMAINING CONDUIT SHOULD BE RUN IN FROM THE PHONE LINE SOURCE TO THE BOC LOCATION****
- B. CONTACT BRANCH REAL ESTATE IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING THE NUMBER OF PHONES LINES OR LOCATION OF DEMARC EXTENSION CONDUIT.

BOC REQUIREMENTS:

NOTE: CONDUIT IS INSTALLED INSIDE WALL. IF WALL IS EXISTING, CONDUIT MAY BE SURFACE MOUNTED. MUST HAVE ROOM FOR EQUIPMENT TO INSTALL ON PLYWOOD. (SEE KEYED NOTE #1 ON SHEET 3)

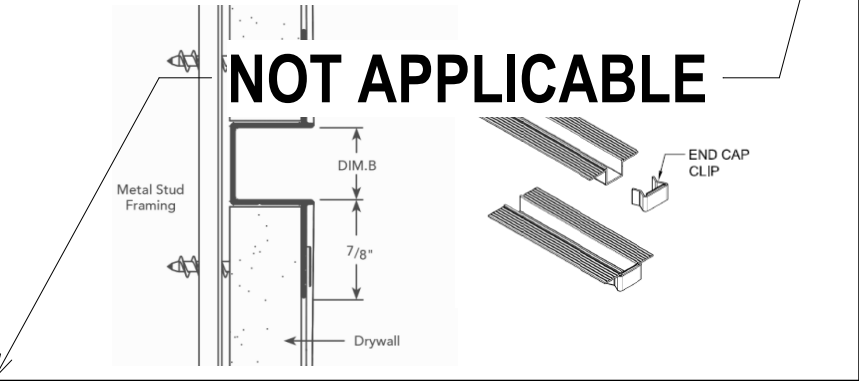


13. MISCELLANEOUS (ONLY IF SHOWN ON SHEET 3)

- A. FIXED WINDOW
1. NEW INTERIOR WINDOW BETWEEN FA OFFICE AND BOA AREA TO BE A FIXED, 42"W X 30"H AND INSTALLED AT 42" A.F.F., UNLESS NOTED OTHERWISE; FRAME TO MATCH DOOR FRAMES.
2. GLASS TO BE CLEAR, 1/2" TEMPERED STATIONARY PANEL. GLIDERS AND MIRRORRED WINDOWS NOT ALLOWED.
- B. FIREPLACES, STOVES, SHOWERS, TUBS
1. ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE RENDERED INOPERABLE AND ALL LINES TO BE CAPPED.
2. IF WOOD BURNING FIREPLACE EXISTING GC TO INSTALL COVER MADE FROM LUMBER AND DRYWALL THAT RESTS INSIDE THE OPENING AND DOES NOT DAMAGE THE FIREPLACE.

14. EDWARD JONES STANDARD SIGNAGE

- A. FOR ORDERING & INSTALL INSTRUCTIONS, SEE CONTACT INFO ON SHEET 1
- B. EDJ LOGO
1. EDJ LOGO LETTERING TO BE ORDERED BY CONTRACTOR, BUT WILL BE PAID FOR BY EDWARD JONES. ONLY INSTALLATION SHOULD BE INCLUDED IN CONTRACTOR'S SCOPE OF WORK.
2. LETTERING TO BE CENTERED ON PARTITION AS SHOWN ON FINISH PLAN ON SHEET 4. REFER TO SIGNAGE ELEVATION FOR MOUNTING HEIGHT.
3. CONTRACTOR TO USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT, ALLOW AT LEAST 2" ON EITHER SIDE OF LETTERING. IF PARTITION SELECTED DOES NOT MATCH ELEVATION, NOTIFY DESIGNER IMMEDIATELY.
- C. BRAND WALL METAL REVEAL (IF APPLICABLE, SEE SHEET 4)
1. CONTRACTOR TO ORDER METAL REVEAL (EDJ-625-625) FROM FRY REGLET AND INSTALL PER MANUFACTURER INSTRUCTIONS. REFERENCE FINISH PLAN AND SIGNAGE ELEVATION ON SHEET 4.
- a. REVEAL AVAILABLE IN 10' STANDARD LENGTHS ONLY. REVEAL TO BE CENTERED IF WALL IS SLIGHTLY LONGER THAN 10', OR WILL REQUIRE MULTIPLE REVEALS SEAMED TOGETHER IF INDICATED TO BE LONGER. SEE FINISH PLAN ON SHEET 4.
- b. INSTALL END CAP CLIP WHERE APPLIES AT OPEN ENDS



15. INTERIOR CASEWORK AND EQUIPMENT

- A. REFER TO SHEET 3 FOR CASEWORK SCOPE OF WORK. IF NOTED TO BE ALTERNATE SCOPE OF WORK, GC TO PROVIDE BROKEN-OUT COST IN BID BASED ON THE BELOW BASIS OF DESIGN. IF APPROVED TO PROCEED WITH THE ALTERNATE, GC TO COORDINATE DIRECTLY WITH THE FINANCIAL ADVISOR TO FINALIZE FINISH SELECTIONS AND COST ESTIMATE. PAYMENT FOR ANY ALTERNATE SCOPE WILL BE COORDINATED BETWEEN GC AND FINANCIAL ADVISOR.
- B. CASEWORK TO BE MADE UP OF 3/4" PLYWOOD WITH PLASTIC LAMINATE ON ALL EXPOSED EDGES, AND MELAMINE INTERIOR. INTERIOR ADJUSTABLE SHELVING TO BE MADE UP OF 3/4" PLYWOOD WITH MATCHING MELAMINE ON ALL EXPOSED EDGES.
- C. CASEWORK TO INCLUDE SOFT-CLOSE HINGES AND DRAWER SLIDES.
- D. CABINET PULLS TO BE 4" WIRE PULL, BRUSHED NICKEL.
- E. NEW CASEWORK TO MATCH EXISTING CASEWORK FINISHES, IF APPLICABLE. IF NO STANDARD IS IN PLACE, BASIS OF DESIGN TO BE PLASTIC LAMINATE CABINETS, AND PLASTIC LAMINATE COUNTERTOP.
- BASIS OF DESIGN:
 - CABINET EXTERIOR: WILSONART, FRENCH LINEN 5016
 - CABINET INTERIOR: BLACK MELAMINE
 - COUNTERTOP: WILSONART, CLASSIC LINEN 4943-38, EASED EDGE, BACKSPLASH
- F. ALL ELECTRICAL, PLUMBING, AND PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY CONTRACTOR. REFER TO SHEET 3 FOR SPECIFIC ELECTRICAL AND PLUMBING SCOPE OF WORK NEEDED.
- KITCHEN SINK BASIS OF DESIGN:
 - MFR: GLACIER BAY
 - MODEL: VT3322G2, ALL-IN-ONE, DUAL MOUNT
 - OR COMPARABLE ALTERNATE (CONTACT PROJECT MANAGER FOR APPROVAL).
- G. ALL APPLIANCES FOR KITCHENETTES AND COFFEE BARS TO BE PROVIDED AND INSTALLED BY FINANCIAL ADVISOR, UNLESS NOTED OTHERWISE ON SHEET 3.
- H. ALL CASEWORK TO BE BUILT TO COMPLY WITH ADA AND BUILDING ACCESSIBILITY CODE: CLIENT-FACING SERVICE COUNTERS (BOA DESK)
- SHALL COMPLY WITH SECTION 904, FOR EITHER PARALLEL OR FORWARD APPROACH
 - CLEAR FLOOR SPACE COMPLYING WITH SECTION 305 SHALL BE POSITIONED IN FRONT OF THE ADA COUNTER.
- WORK COUNTERS
- SHALL COMPLY WITH SECTION 902
 - CLEAR FLOOR SPACE COMPLYING WITH 305, AND KNEE AND TOE CLEARANCE COMPLYING WITH 306.
- KITCHENETTES
- SHALL BE 34" HIGH MAX COUNTERS
 - COMPLY WITH SECTIONS 305, 606, AND 808, AND PROVIDE EITHER PARALLEL OR FRONT APPROACH CLEARANCES AT SINKS AND ALL APPLIANCES

****DO NOT SCALE DRAWINGS****

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BRANCH REAL ESTATE

BRANCH OFFICE: 01643

SQUARE FOOTAGE: 870 USF | 870 RSF

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