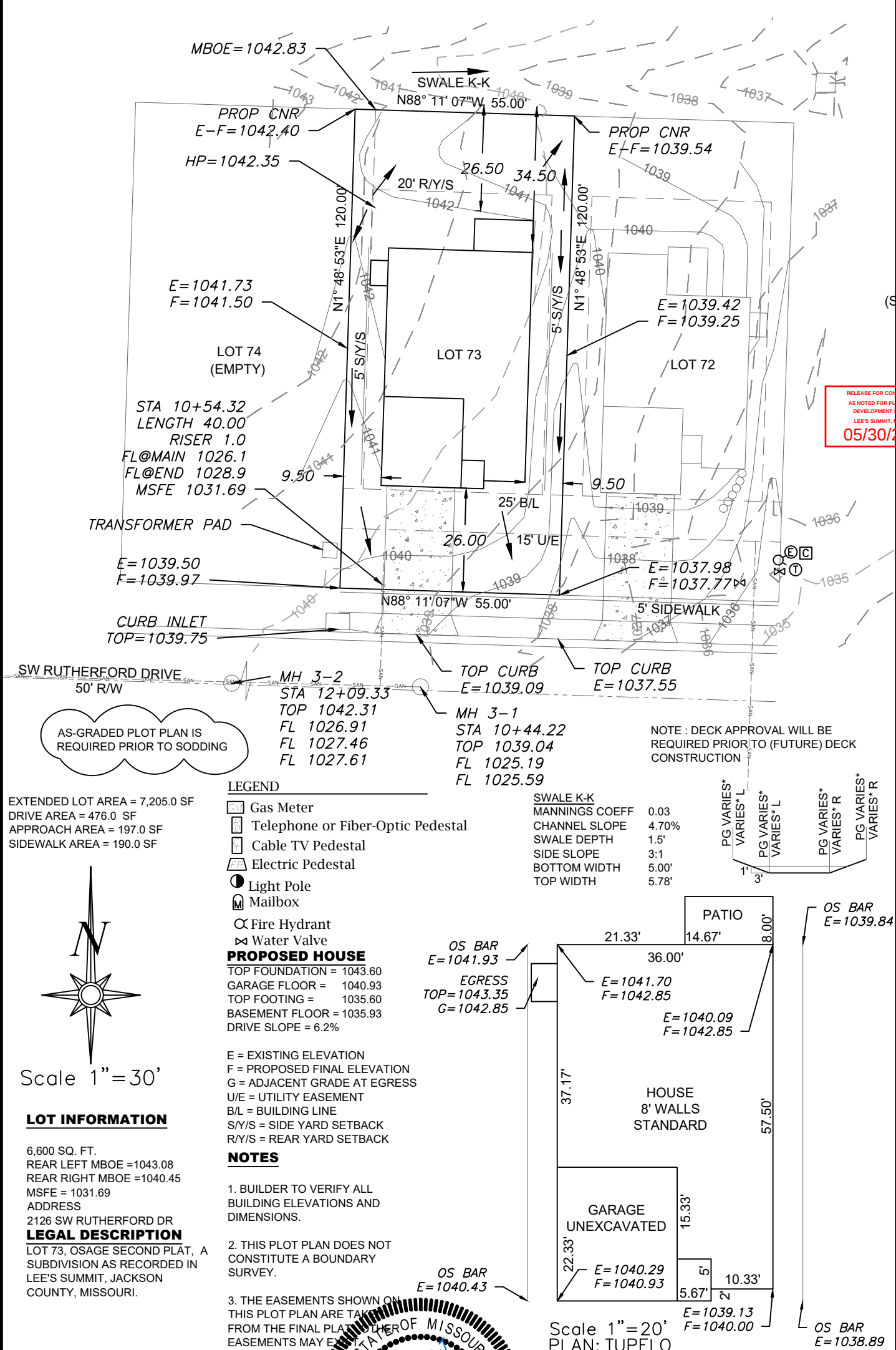


RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
05/30/2023



EXTENDED LOT AREA = 7,205.0 SF
DRIVE AREA = 476.0 SF
APPROACH AREA = 197.0 SF
SIDEWALK AREA = 190.0 SF

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1043.60
GARAGE FLOOR = 1040.93
TOP FOOTING = 1035.60
BASEMENT FLOOR = 1035.93
DRIVE SLOPE = 6.2%

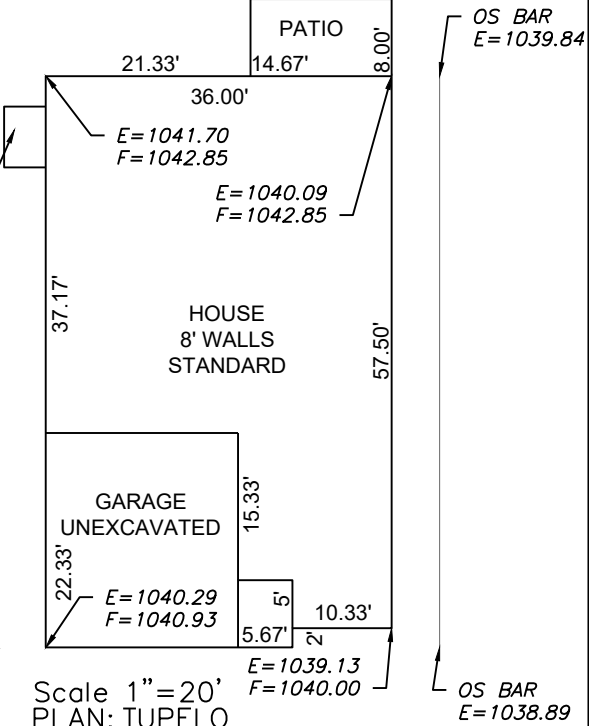
E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT OF RECORD. EASEMENTS MAY EXIST.

SWALE K-K	
MANNINGS COEFF	0.03
CHANNEL SLOPE	4.70%
SWALE DEPTH	1.5'
SIDE SLOPE	3:1
BOTTOM WIDTH	5.00'
TOP WIDTH	5.78'

PG VARIES* VARIES*L	1'
PG VARIES* VARIES*L	3'
PG VARIES* VARIES*R	
PG VARIES* VARIES*R	



LOT INFORMATION

6,600 SQ. FT.
REAR LEFT MBOE = 1043.08
REAR RIGHT MBOE = 1040.45
MSFE = 1031.69
ADDRESS
2126 SW RUTHERFORD DR
LEGAL DESCRIPTION
LOT 73, OSAGE SECOND PLAT, A
SUBDIVISION AS RECORDED IN
LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM

PROFESSIONAL ENGINEER
MATTHEW J. SCHLICH
NUMBER
PE-2006019708
4/5/2023

PLOT PLAN - LOT 73				
OSAGE SECOND PLAT LEE'S SUMMIT, JACKSON COUNTY, MISSOURI				
CLOVER & HIVE 120 SE 30TH STREET LEE'S SUMMIT, MO 64082				
PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 72, 73, OSAGE	6/14/22	1	1
Rev:				

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.