

## Andrea Sessler

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**From:** Hector Soto  
**Sent:** Wednesday, March 1, 2023 10:37 AM  
**To:** Curtis Tate  
**Cc:** Andrea Sessler; Brandon Kalwei  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

Yes, this is approvable with an administrative 1' variance to the rear yard setback for the covered portion of the deck.

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**From:** Curtis Tate <curtis@sabhomes.com>  
**Sent:** Tuesday, February 28, 2023 2:37 PM  
**To:** Hector Soto <Hector.Soto@cityofls.net>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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Attached is the revised plot plan showing a covered deck to the 29' given variance rear yard set-back with a 2.17' area of uncovered deck. Let me know if this will be approved. Thanks Hector



Curtis Tate  
Purchasing Manager  
200 NW Commerce Court  
Lee Summit, MO 64086  
(P) 816.477.3453 Direct | 816.524.3855 Company

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**From:** Curtis Tate  
**Sent:** Tuesday, February 28, 2023 10:12 AM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

Okay I'll try and get that to you later today. Thanks Hector



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Purchasing Manager  
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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Tuesday, February 28, 2023 10:11 AM  
**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

In concept, yes. It would just be a partially covered deck where the uncovered portion is subject to a 25' setback and the covered portion is subject to 30', plus up to a 1' variance for each.

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**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Tuesday, February 28, 2023 10:08 AM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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I can get that for you, but will you confirm if the concept will work?



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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Tuesday, February 28, 2023 10:04 AM  
**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

I need to see this layout on a dimensioned plot plan to make sure it will work.

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**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Monday, February 27, 2023 1:09 PM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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The attached plans will show what I was wanting to do with coving the deck up to the rear yard build line, and then cantilever an un-covered portion of the deck past the rear build line

Once I get your approval I'll work on getting everything else re-submitted back through the city to obtain the building permit.



Curtis Tate  
Purchasing Manager  
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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Wednesday, February 22, 2023 4:58 PM  
**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

Please draw it up accordingly and I will look at it. If I am understanding what you are writing, it would be approvable—I'll just need to see it.

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**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Wednesday, February 22, 2023 3:58 PM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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Since I can't go over the front build line I'd like to take this covered deck to the 29' rear build line with your granted variance, and then cantilever with an uncovered deck.



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Purchasing Manager  
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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Wednesday, February 22, 2023 3:52 PM

**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

An uncovered deck is subject to a 25' rear yard setback. A covered deck is subject to a 30' rear yard setback. We can grant an administrative variance to encroach no more than 1' into each setback. For a covered deck, the roof's eave can encroach no more than 3' (36") into the setback, but the deck structure itself must abide by the 30' setback (29' with an administrative variance).

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**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Wednesday, February 22, 2023 2:02 PM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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But we can go over the rear build line with and uncovered structure right?



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Purchasing Manager  
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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Wednesday, February 22, 2023 1:30 PM  
**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

The answer then is that our administrative authority to grant up to a 1' variance does not supersede a platted building line, so we cannot approve the 1' encroachment. Any request would require a variance application to the BZA.

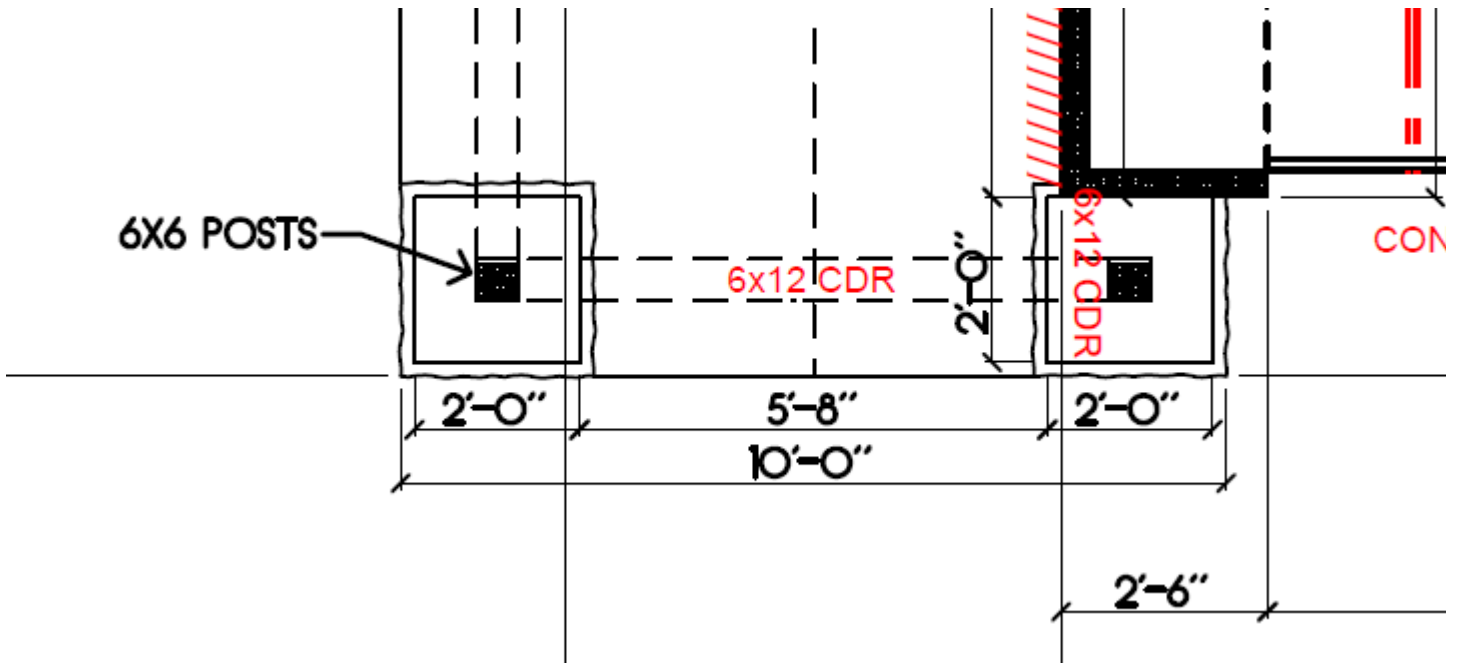
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**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Wednesday, February 22, 2023 1:21 PM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

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That area is covered.

It's this area of the stoop.



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**From:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Sent:** Wednesday, February 22, 2023 1:11 PM  
**To:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Subject:** RE: HF113 - 2211 SW Hook Farm Drive

Quick question – when you say stoop, this area circled in blue is only composed of steps? Is it covered?

[Redacted]

**Hector Soto, AICP** | Senior Planner  
 220 SE Green Street | Lee's Summit, MO 64063  
 816.969.1238 | [cityofLS.net](mailto:cityofLS.net) | [Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)

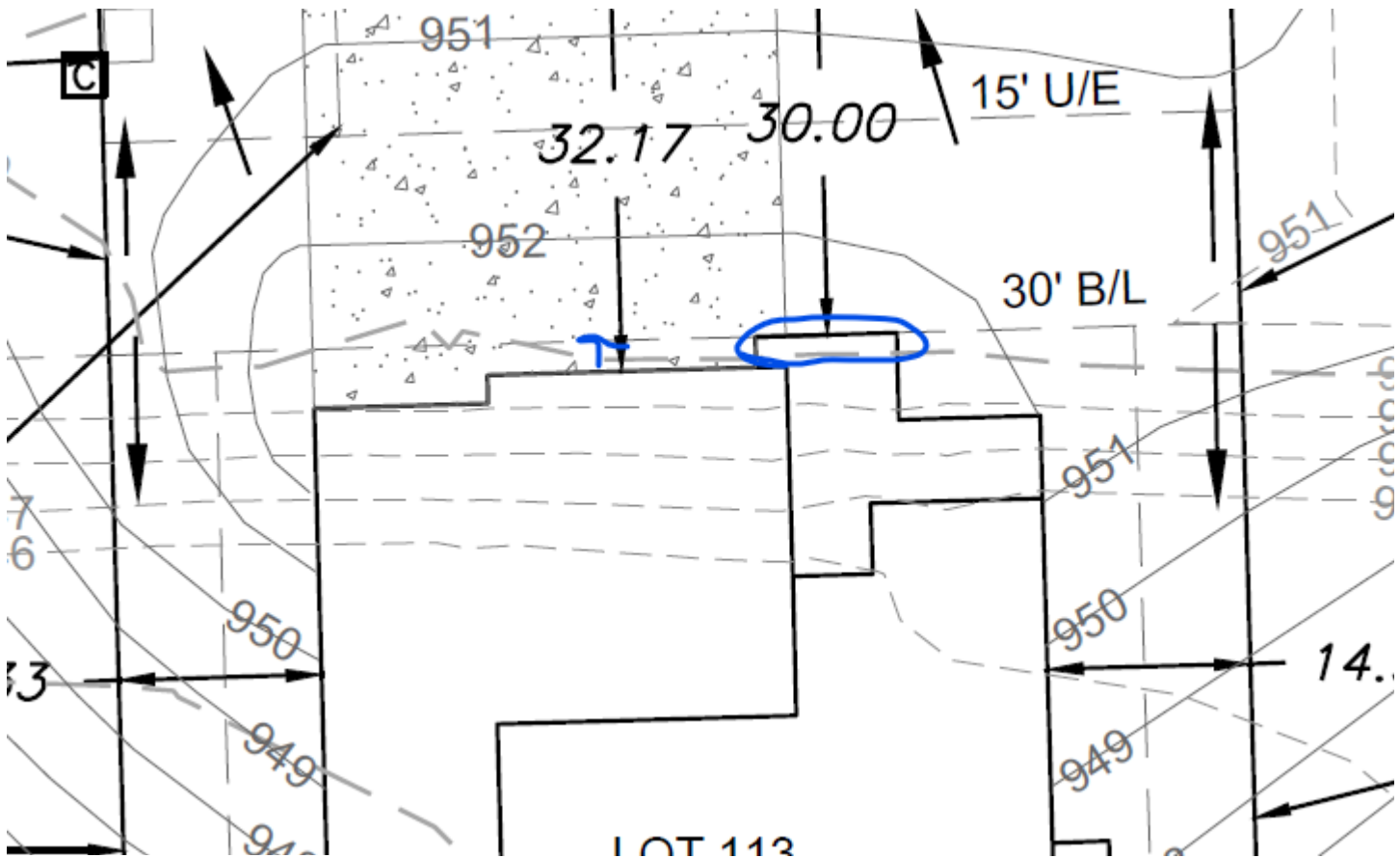
[Redacted]

**From:** Curtis Tate <[curtis@sabhomes.com](mailto:curtis@sabhomes.com)>  
**Sent:** Friday, February 17, 2023 3:33 PM  
**To:** Hector Soto <[Hector.Soto@cityofls.net](mailto:Hector.Soto@cityofls.net)>  
**Subject:** HF113 - 2211 SW Hook Farm Drive

**CAUTION!** This is an **EXTERNAL** email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hey Hector – thanks for taking my call.

Would you please look to see if we can go over the front build line by 1' with the stoop. Just the area circled in blue. This will help SAB and the homeowners out tremendously. I'm trying to do whatever I can to eliminate the lost square footage on the deck due to the rear build line. Let me know either way as soon as you can. Thanks



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