



LEE'S SUMMIT MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM IN CITY OF LEE'S SUMMIT RIGHT OF WAY (RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 36 Plat Title Deage 1st Address: 2809 5th Maryville Pl. County: Jackson State: Missouri

I, Kyle King, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 12th day of January, 2023

By: [Signature] Printed or Typed Name Kyle King

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI COUNTY OF JACKSON

ON THIS, The 12th day of January, 2023 before me, a Notary Public, personally appeared: Kyle King

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes stated therein and no other.

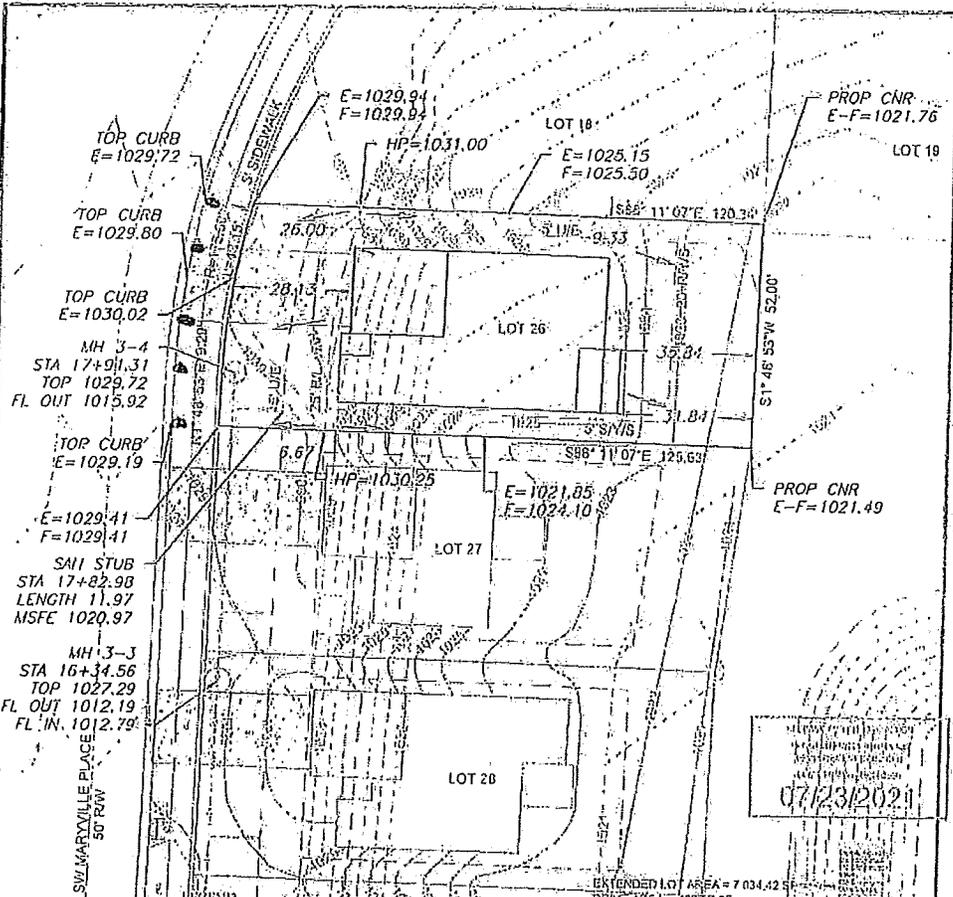
WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

JENNIFER KREISEL Notary Public - Notary Seal STATE OF MISSOURI Comm. Number 15523177 Cass County My Commission Expires: Dec. 6, 2023

/s/ Jennifer Kreisel Notary Public Signature Jennifer Kreisel Printed or Typed Name

My Commission Expires: Dec. 6, 2023

(Seal)



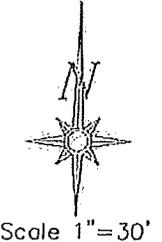
- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE
 TOP FOUNDATION = 1033.50
 GARAGE FLOOR = 1031.50
 TOP FOOTING = 1025.50
 BASEMENT FLOOR = 1025.83
 DRIVE SLOPE = 5.3%

E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS
 U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 S/Y/S = SIDE YARD SETBACK
 R/Y/S = REAR YARD SETBACK

- NOTES**
1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
 2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

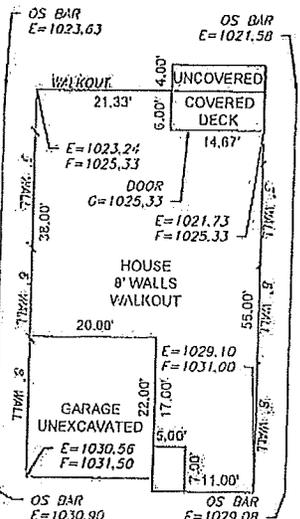
EXTENDED LOT AREA = 7,034.42 SF
 DRIVE WALK AREA = 1,807.87 SF
 APPROACH AREA = 188.85 SF
 SIDEWALK AREA = 176.23 SF



LOT INFORMATION

6,450 SQ. FT.
 REAR LEFT MBOE = 1023.07
 REAR RIGHT MBOE = 1022.10
 MSFE = 1020.97
 ADDRESS
 3609 SW MARYVILLE PLACE

LEGAL DESCRIPTION
 LOT 26, OSAGE FIRST PLAT, A SUBDIVISION AS RECORDED IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



Scale 1" = 20"

ENGINEERING SOLUTIONS
 ENGINEERING & SURVEYING

705 N. 11TH STREET
 LEES SUMMIT, MO 64062
 PHONE: 816.487.1111
 WWW.ENGSOL.COM

PROFESSIONAL ENGINEER
 MATTHEW A. SCHLICK
 LICENSE NUMBER: PE-200019708
 STATE OF MISSOURI

PLOT PLAN - LOT 26
 OSAGE FIRST PLAT
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CLOVER AND HIVE
 120 N. BOTT STREET
 LEE'S SUMMIT, MO 64062

PROJECT NO.	DATE	CAD	SHEET	OF
107-26-01	07/23/2021	W/MS	1	1