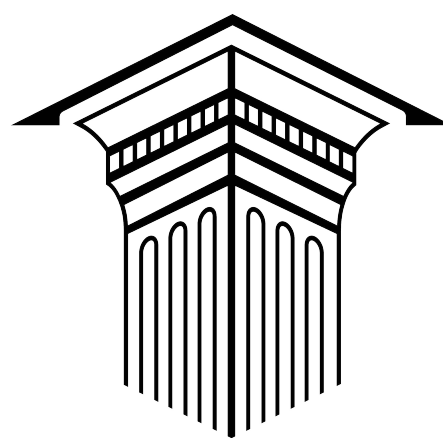


**Schwab
Eaton**

5410 Ledge Stone Drive, Suite 100 • Manhattan, KS. 66503
Phone (785) 539-4687 • Fax (785) 380-5007

22.M323 1/23/2023 SHEETS A1 - A8



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

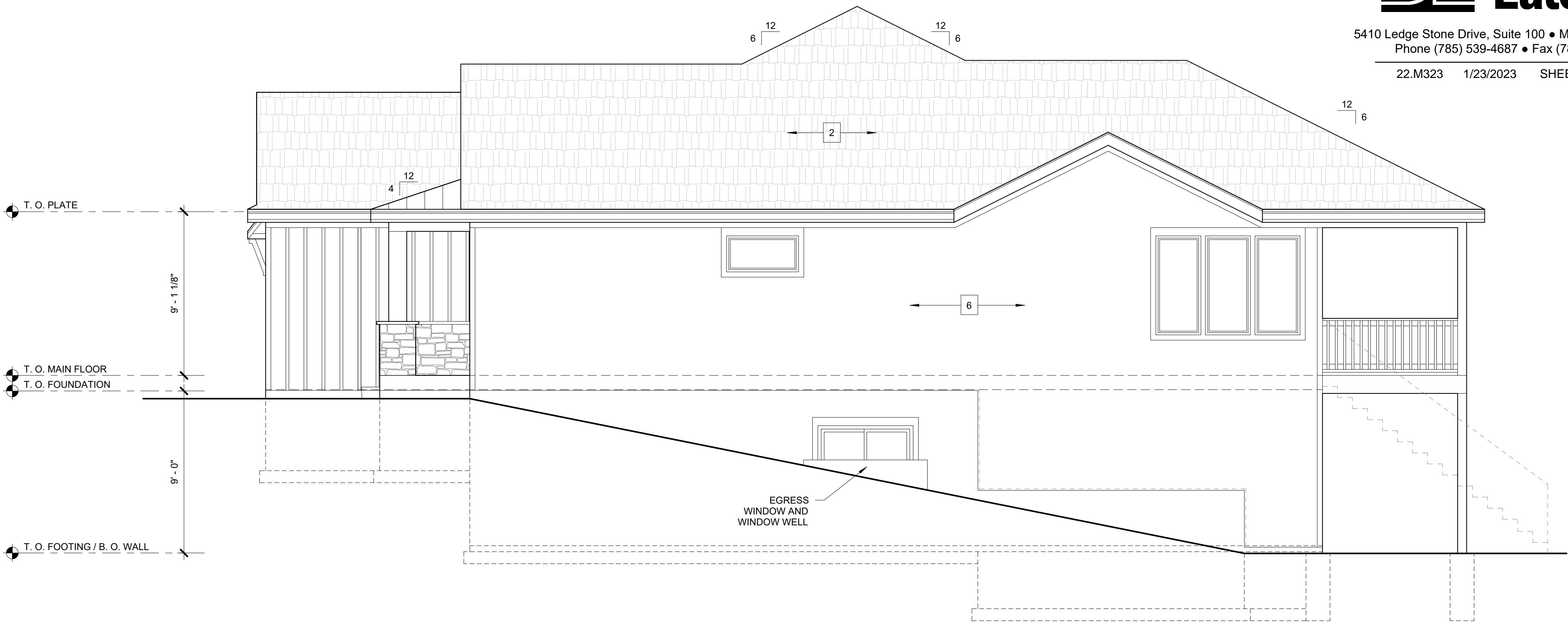
3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

EXTERIOR
ELEVATIONS

A1

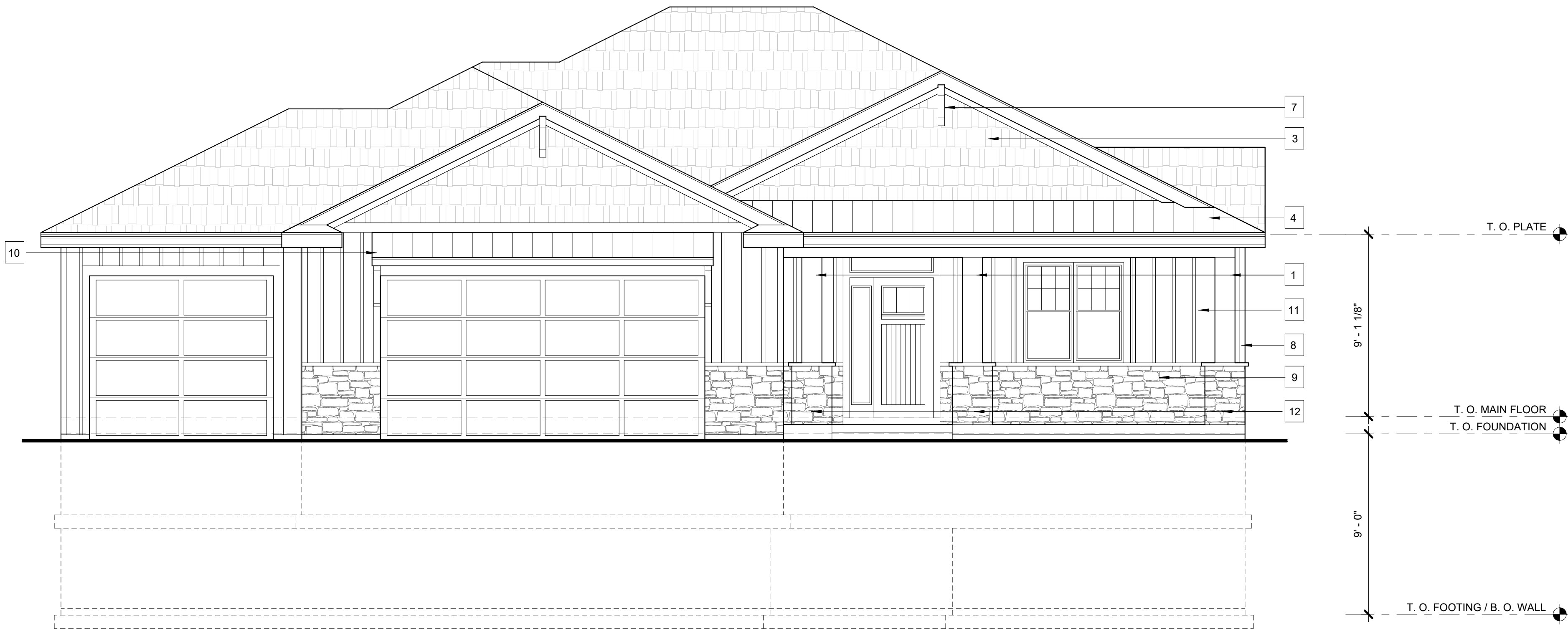


② Right Elevation
1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY	
TOTAL FINISHED	3340 sq/ft
TOTAL FINISHED MAIN	1901 sq/ft
TOTAL UNFINISHED MAIN	0 sq/ft
TOTAL FINISHED LOWER	1439 sq/ft
TOTAL UNFINISHED LOWER	410 sq/ft
GARAGE	842 sq/ft
DECK	332 sq/ft
PAVEMENT AREAS	1427 sq/ft

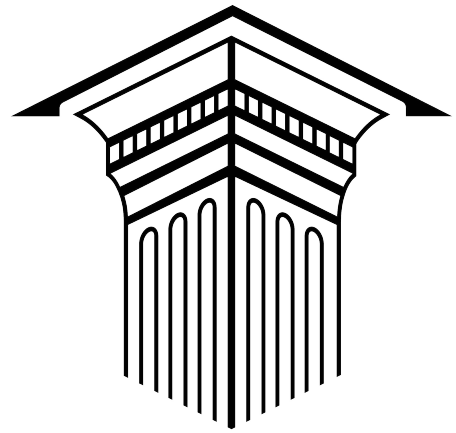
GENERAL ELEVATION NOTES

- 12" x 12" CEDAR POST
- COMPOSITE SHINGLES, TAMKO, HERITAGE 30 YR. WARRANTY, WEATHERED WOOD OR APPROVED EQUAL.
- PRE-MANF SMART SHINGLES OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.
- STANDING SEAM METAL ROOF
- 8" SMART TRIM
- SMART SHEET SIDING W/ VERTICAL GROOVES OVER BUILDING WRAP.
- STAINED CEDAR CORBEL
- 4" SMART TRIM
- MANUF. STONE VENEER AND SILL OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.
- AWNING ROOF
- MANUF. BOARD & BATTEN SIDING OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.
- 24" x 24" COLUMN BASE



① Front Elevation
1/4" = 1'-0"

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
01/24/2023



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

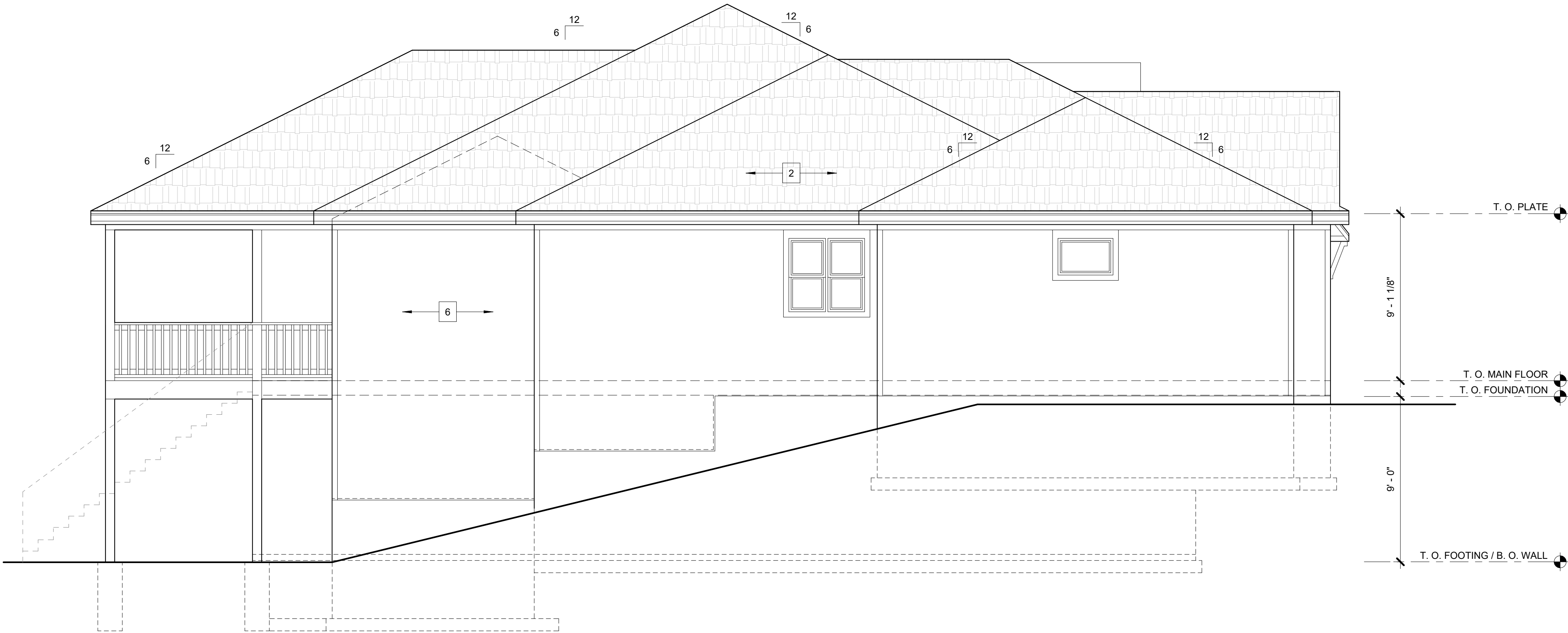
3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

EXTERIOR ELEVATIONS

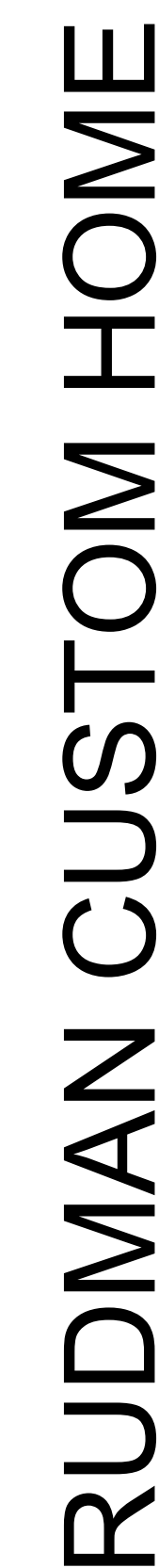
A2



2 Left Elevation
1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"



33223 SW Enoch St, Summit View Farms, Lee's Summit, MO

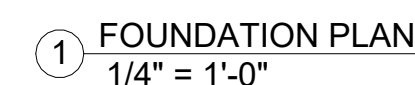
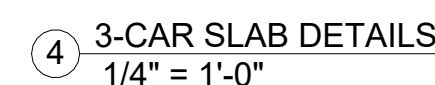
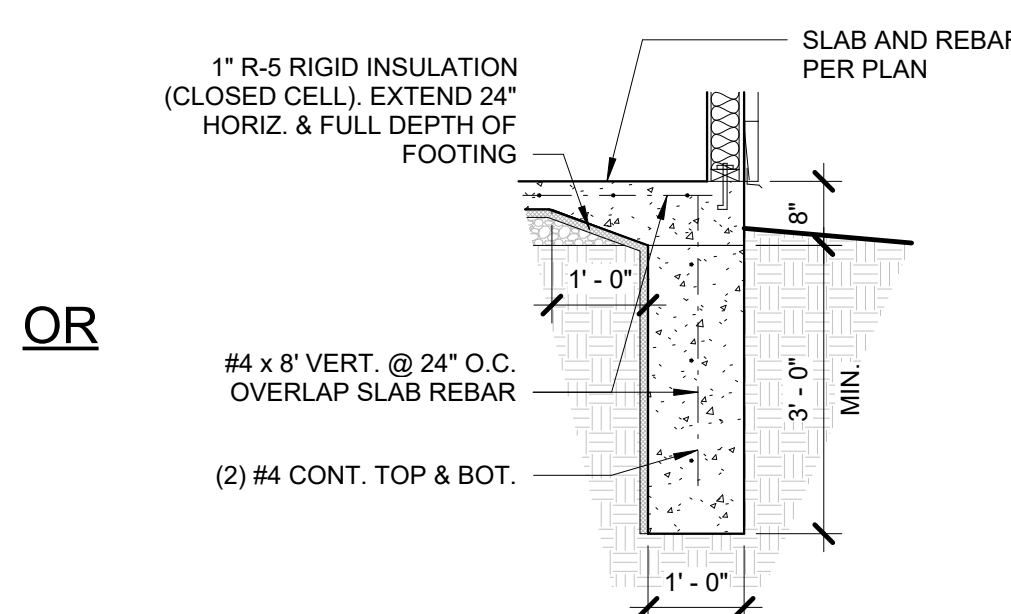
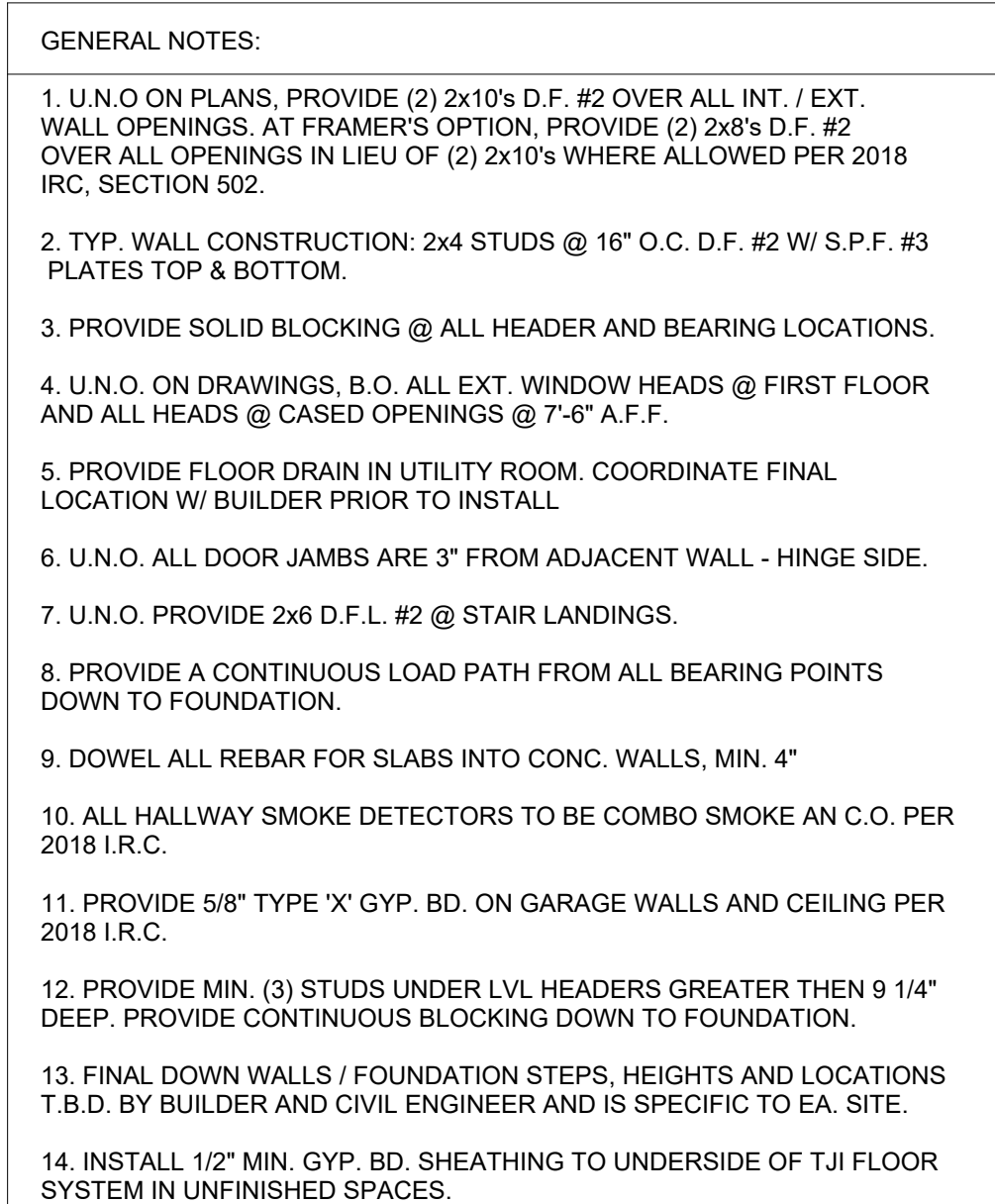
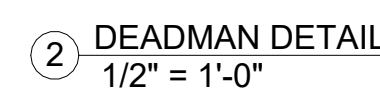
ALL DRAWINGS, DESIGNS,
ESTIMATES, CALCULATIONS
AND SPECIFICATIONS
INCLUDED ARE AND SHALL
REMAIN PROPERTY OF
DRIPPÉ HOMES WHETHER
THE PROJECT THEY ARE
DESIGNED FOR IS BUILT BY
DRIPPÉ HOMES OR NOT.

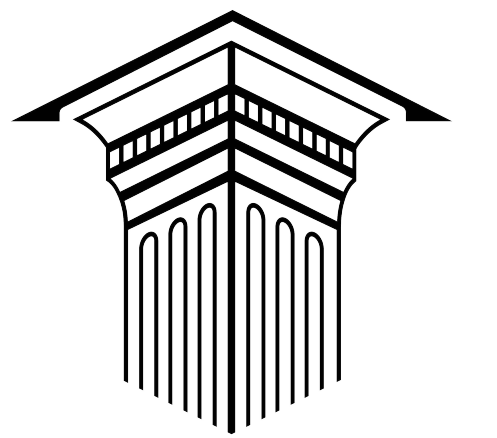
DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

FOUNDATION PLAN

A3

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICE
LEE'S SUMMIT, MISSOURI





DRIPPÉ HOMES



RUDMAN CUSTOM HOME

3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

LOWER LEVEL

A4

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
01/24/2023

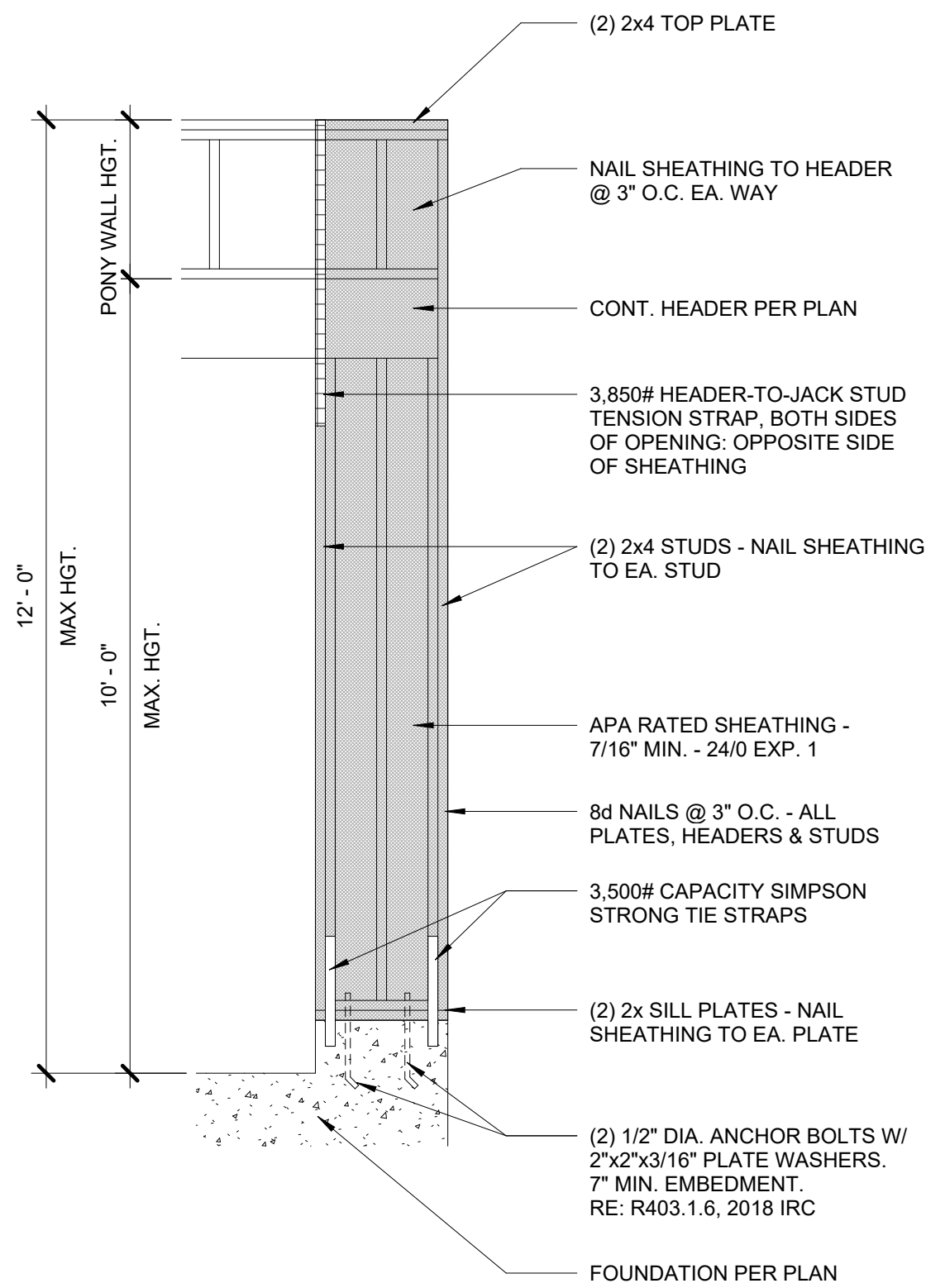
GENERAL NOTES:

1. U.N.O ON PLANS, PROVIDE (2) 2x10's D.F. #2 OVER ALL INT. / EXT. WALL OPENINGS, AT FRAMER'S OPTION, PROVIDE (2) 2x8's D.F. #2 OVER ALL OPENINGS IN LIEU OF (2) 2x10's WHERE ALLOWED PER 2018 IRC, SECTION 502.
2. TYP. WALL CONSTRUCTION: 2x4 STUDS @ 16" O.C. D.F. #2 W/ S.P.F. #3 PLATES TOP & BOTTOM.
3. PROVIDE SOLID BLOCKING @ ALL HEADER AND BEARING LOCATIONS.
4. U.N.O. ON DRAWINGS, B.O. ALL EXT. WINDOW HEADS @ FIRST FLOOR AND ALL HEADS @ CASED OPENINGS @ 7'-6" A.F.F.
5. PROVIDE FLOOR DRAIN IN UTILITY ROOM. COORDINATE FINAL LOCATION W/ BUILDER PRIOR TO INSTALL.
6. U.N.O. ALL DOOR JAMBS ARE 3" FROM ADJACENT WALL - HINGE SIDE.
7. U.N.O. PROVIDE 2x6 D.F.L. #2 @ STAIR LANDINGS.
8. PROVIDE A CONTINUOUS LOAD PATH FROM ALL BEARING POINTS DOWN TO FOUNDATION.
9. DOWEL ALL REBAR FOR SLABS INTO CONC. WALLS, MIN. 4"
10. ALL HALLWAY SMOKE DETECTORS TO BE COMBO SMOKE AN C.O. PER 2018 I.R.C.
11. PROVIDE 5/8" TYPE 'X' GYP. BD. ON GARAGE WALLS AND CEILING PER 2018 I.R.C.
12. PROVIDE MIN. (3) STUDS UNDER LVL HEADERS GREATER THEN 9 1/4" DEEP. PROVIDE CONTINUOUS BLOCKING DOWN TO FOUNDATION.
13. FINAL DOWN WALLS / FOUNDATION STEPS, HEIGHTS AND LOCATIONS T.B.D. BY BUILDER AND CIVIL ENGINEER AND IS SPECIFIC TO EA. SITE.
14. INSTALL 1/2" MIN. GYP. BD. SHEATHING TO UNDERSIDE OF T/J FLOOR SYSTEM IN UNFINISHED SPACES.

BRACED WALL PANEL SCHED.

CS-WSP:
MIN. 7/16" (NOM.) EXT. GRADE STRUCTURAL SHEATHING. NAIL PER LATEST EDITION OF I.R.C. (RE: APA REPORT SR102-D)

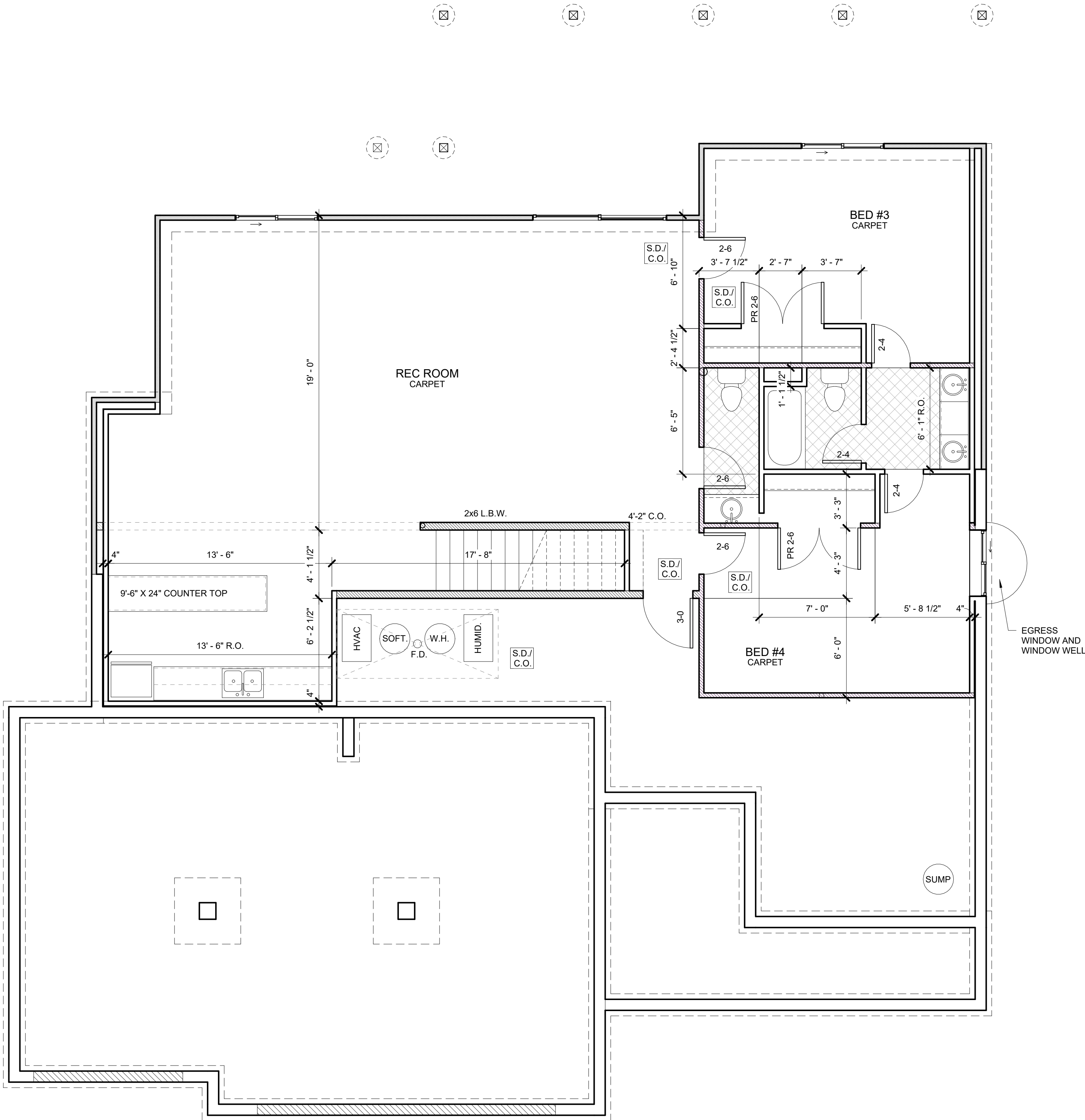
CS-PF:
CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION PER R602.10.6.4, 2018 I.R.C. 24" WIDTH



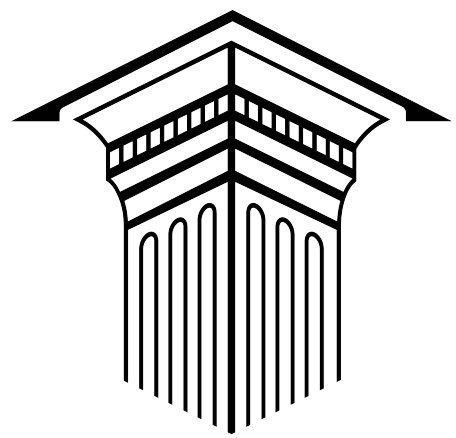
2 BRACED WALL PANEL SCHED
1/2" = 1'-0"

SQUARE FOOTAGE SUMMARY

TOTAL FINISHED	3340 sq/ft
TOTAL FINISHED MAIN	1901 sq/ft
TOTAL UNFINISHED MAIN	0 sq/ft
TOTAL FINISHED LOWER	1439 sq/ft
TOTAL UNFINISHED LOWER	410 sq/ft
GARAGE	842 sq/ft
DECK	332 sq/ft
PAVEMENT AREAS	1427 sq/ft



1 LOWER LEVEL PLAN
1/4" = 1'-0"
1455 SQ.FT.



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

MAIN FLOOR

A5

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
01/24/2023

GENERAL NOTES:

1. U.N.O ON PLANS, PROVIDE (2) 2x10's D.F. #2 OVER ALL INT. / EXT. WALL OPENINGS. AT FRAMER'S OPTION, PROVIDE (2) 2x8's D.F. #2 OVER ALL OPENINGS IN LIEU OF (2) 2x10's WHERE ALLOWED PER 2018 IRC, SECTION 602.
2. TYP. WALL CONSTRUCTION: 2x4 STUDS @ 16" O.C. D.F. #2 W/ S.P.F. #3 PLATES TOP & BOTTOM.
3. PROVIDE SOLID BLOCKING @ ALL HEADER AND BEARING LOCATIONS.
4. U.N.O. ON DRAWINGS, B.O. ALL EXT. WINDOW HEADS @ FIRST FLOOR AND ALL HEADS @ CASED OPENINGS @ 7'-6" A.F.F.
5. PROVIDE FLOOR DRAIN IN UTILITY ROOM. COORDINATE FINAL LOCATION W/ BUILDER PRIOR TO INSTALL.
6. U.N.O. ALL DOOR JAMBS ARE 3" FROM ADJACENT WALL - HINGE SIDE.
7. U.N.O. PROVIDE 2x6 D.F.L. #2 @ STAIR LANDINGS.
8. PROVIDE A CONTINUOUS LOAD PATH FROM ALL BEARING POINTS DOWN TO FOUNDATION.
9. DOWEL ALL REBAR FOR SLABS INTO CONC. WALLS, MIN. 4"
10. ALL HALLWAY SMOKE DETECTORS TO BE COMBO SMOKE AN C.O. PER 2018 I.R.C.
11. PROVIDE 5/8" TYPE 'X' GYP. BD. ON GARAGE WALLS AND CEILING PER 2018 I.R.C.
12. PROVIDE MIN. (3) STUDS UNDER LVL HEADERS GREATER THEN 9 1/4" DEEP. PROVIDE CONTINUOUS BLOCKING DOWN TO FOUNDATION.
13. FINAL DOWN WALLS / FOUNDATION STEPS, HEIGHTS AND LOCATIONS T.B.D. BY BUILDER AND CIVIL ENGINEER AND IS SPECIFIC TO EA. SITE.
14. INSTALL 1/2" MIN. GYP. BD. SHEATHING TO UNDERSIDE OF TJI FLOOR SYSTEM IN UNFINISHED SPACES.

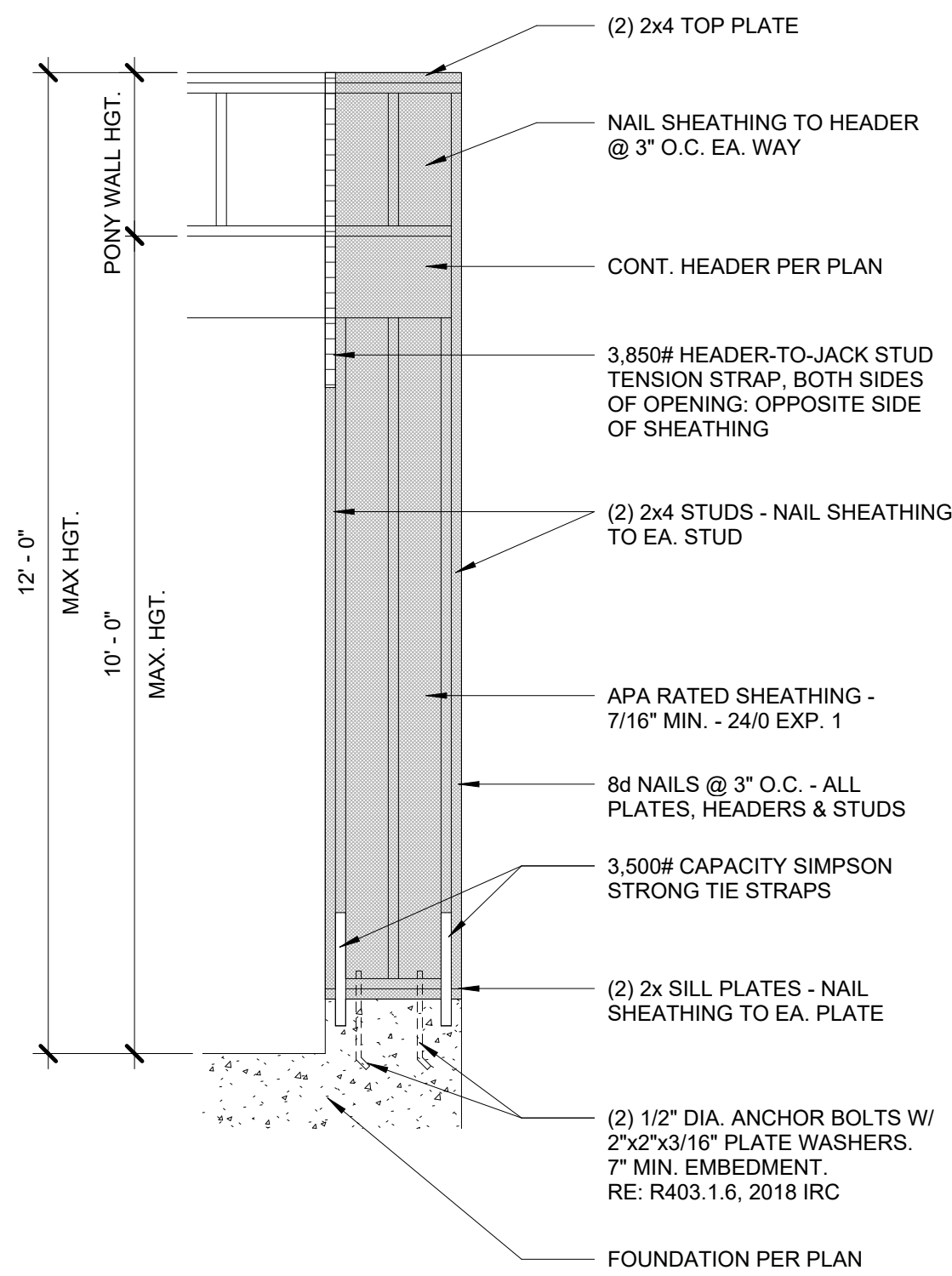
BRACED WALL PANEL SCHED.

B.V.W.S.P.
7/16" EXT. GRADE STRUCTURAL SHEATHING. NAIL PER TABLE R602.10.4 OF THE 2018 I.R.C.

G.B.-1
1/2" GYP. BD. SHEATHING - FULL LENGTH OF WALL. PROVIDE FASTENERS @ 7" O.C. EDGES & 7" O.C. FIELD. PER TABLE R702.3.5 OF THE 2018 I.R.C. PROVIDE FULL BLOCKING BEHIND ALL JOINTS.

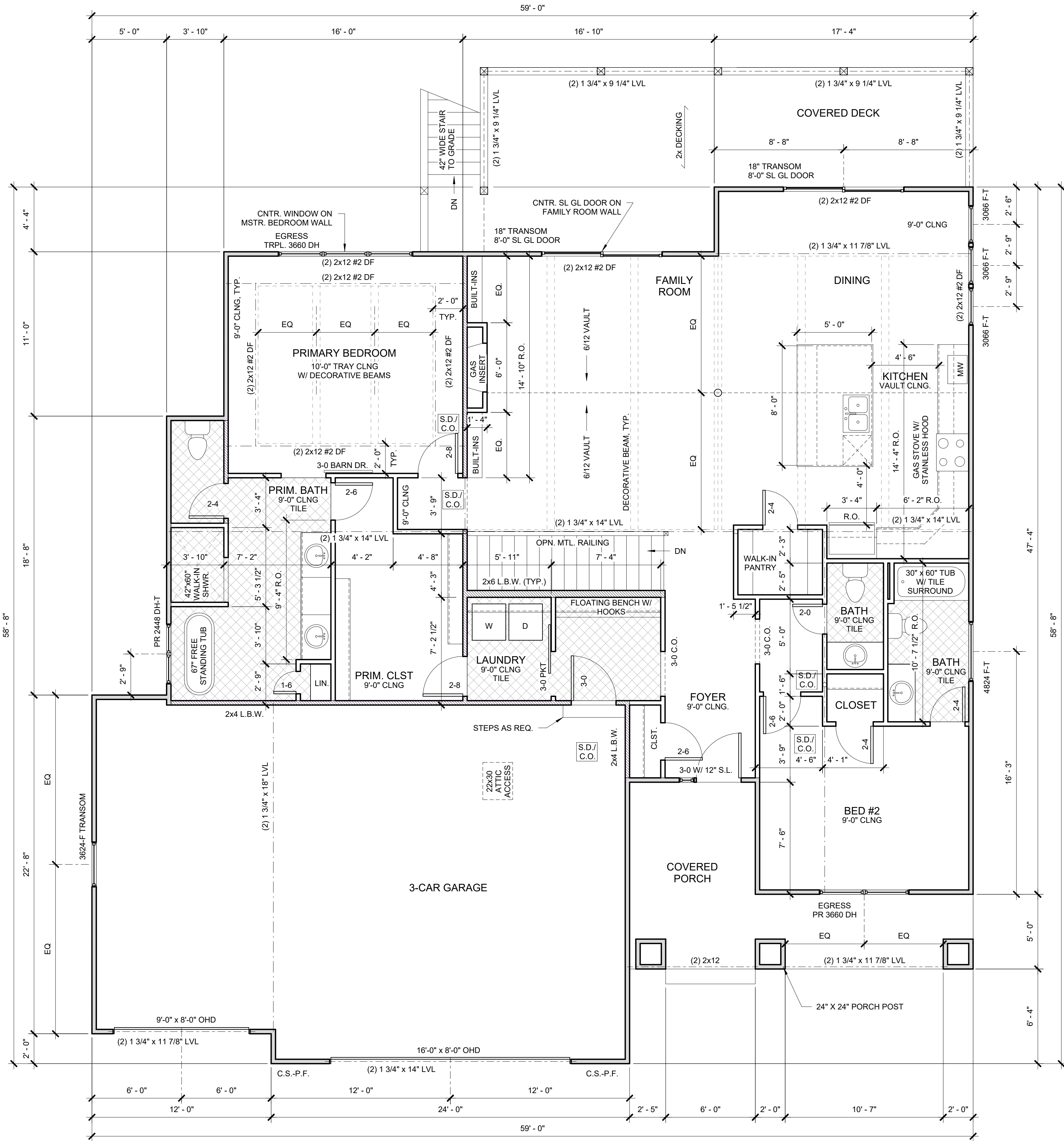
H.P.S.
7/16" HARDBOARD PANEL SIDING (MIN. 4'-0" LENGTH) INSTALLED PER TABLE R703.4 OF THE 2018 I.R.C.

C.S.-P.F.
CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION PER R602.10.6.4 OF THE 2018 I.R.C. - 24" WIDTH



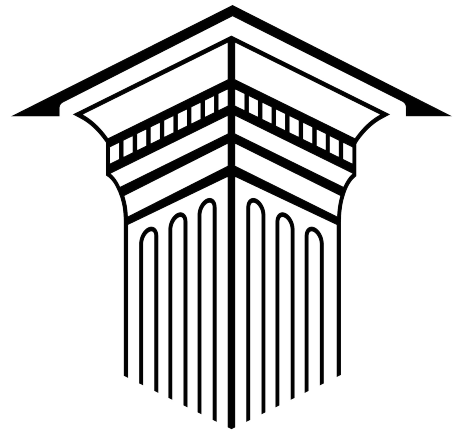
SQUARE FOOTAGE SUMMARY

TOTAL FINISHED	3340 sq/ft
TOTAL FINISHED MAIN	1901 sq/ft
TOTAL UNFINISHED MAIN	0 sq/ft
TOTAL FINISHED LOWER	1439 sq/ft
TOTAL UNFINISHED LOWER	410 sq/ft
GARAGE	842 sq/ft
DECK	332 sq/ft
PAVEMENT AREAS	1427 sq/ft



2 BRACED WALL PANEL SCHED MAIN
1/2" = 1'-0"

1 MAIN FLOOR PLAN
1/4" = 1'-0"



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

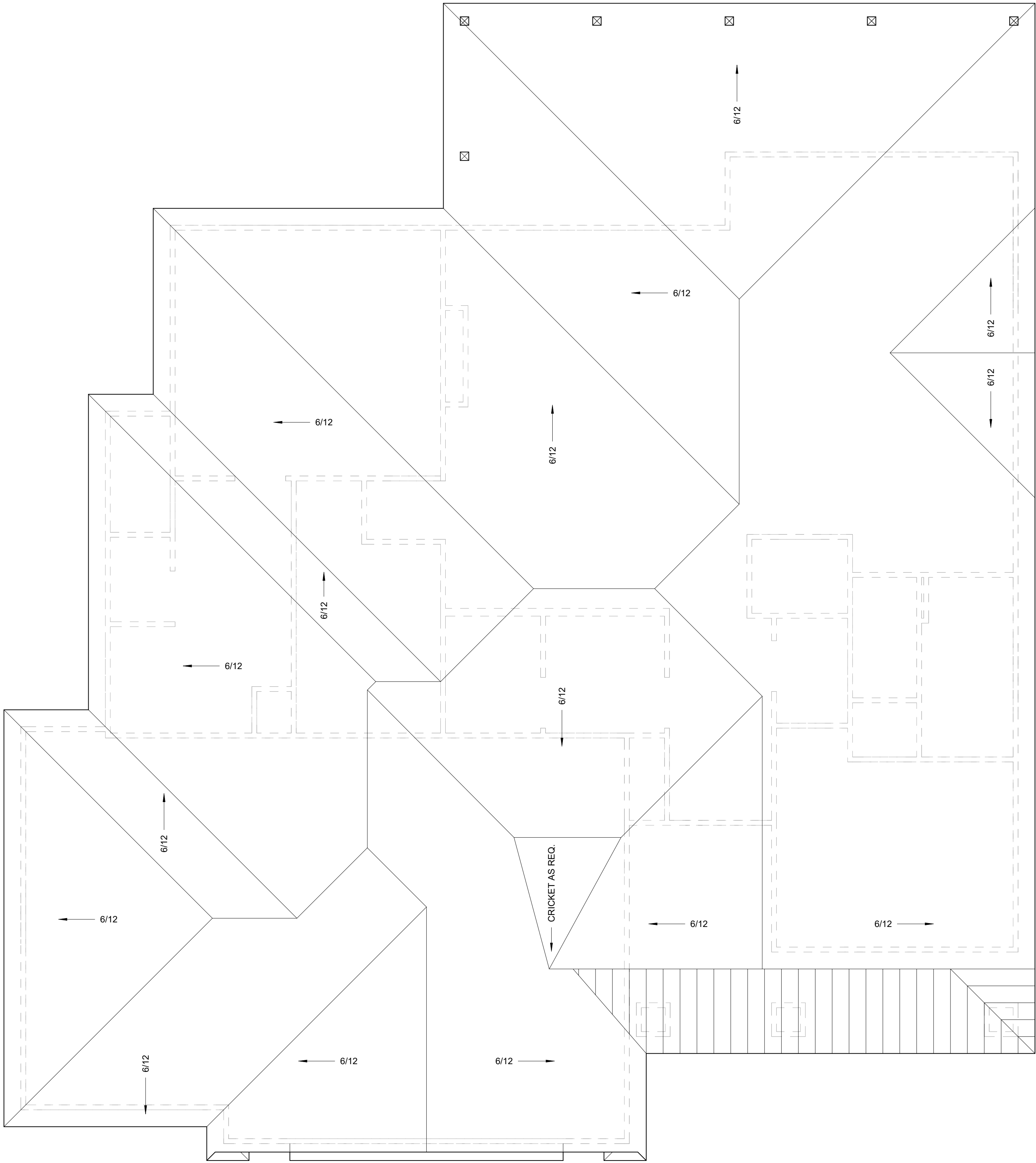
3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

ROOF PLAN

A6



GENERAL ROOF NOTES	
1	U.N.O., 1'-0" ROOF OVERHANG, TYP.
2	REF. EXTERIOR ELEVATIONS FOR T.O. PLATE ELEVATIONS
3	TRUSS LAYOUT AND DESIGN BY TRUSS MANUF.

1 ROOF PLAN
1/4" = 1'-0"

NOTE: BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ENERGY AND OTHER REQUIREMENTS OF THE 2018 IRC

TYP. FOUNDATION NOTES

1. CONCRETE:
A. ALL CONCRETE SHALL BE AIR-ENTRAINED W/ A MIN. COMPRESSIVE STRENGTH AT 28 DAYS OF:
BASEMENT AND INTERIOR FLOOR SLABS - 2500 PSI
FOUNDATION WALLS & FOOTINGS - 3000 PSI
PORCHES AND GARAGE FLOOR SLABS - 3,500 PSI
B. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN ANY CONCRETE. CHLORIDES IN ANY FORM OR CONCENTRATION SHALL NOT BE ADDED TO ANY CONCRETE.
C. ALL CONCRETE OPERATIONS, INCLUDING BUT NOT LIMITED TO MIX DESIGN, MIXING, TRANSPORTING, PLACING, REINFORCING DETAILING AND PLACING, CURING AND TESTING SHALL BE DONE IN ACCORDANCE W/ THE PROVISIONS OF THE LATEST APPLICABLE RECOMMENDATIONS OF THE ACI MANUAL OF CONCRETE PRACTICE.
2. REINFORCING STEEL:
A. ALL REINFORCING STEEL SHALL BE A-615 GRADE 40 STEEL.
B. WELDED WIRE FABRIC SHALL BE ASTM A185
C. BARS MARKED CONTINUOUS AND ALL VERTICAL STEEL SHALL BE LAPPED OR EMBEDDED TO DEVELOP THE FULL CAPACITY OF THE BAR. LAPS SHALL BE CLASS 'B', U.N.O., SPLICE BARS NEAR MIDSPAN AND SPLICE BOTTOM BARS OVER SUPPORTS.
D. AT CORNERS OF ALL WALLS AND GRADE BEAMS, SUPPLY CORNER BARS 4'-0" LONG - MIN. (2'-0" EA. DIRECTION OR 30 BAR DIAMETERS) IN OUTSIDE F.O. WALL MATCHING SIZE AND SPACING OF HORIZONTAL BARS. PROVIDE (3) #4 VERTICAL BARS @ CORNERS FOR SUPPORT.

3. MINIMUM ASSUMED SOIL BEARING CAPACITY IS 2,000 PSF.

4. ALL FOUNDATION WALLS SHALL BE DAMP-PROOFED PER IRC SECTION R406. WHERE HIGH WATER TABLE OR OTHER SEVERE WATER CONDITIONS EXIST, WALLS SHALL BE WATERPROOFED.

5. PROVIDE MINIMUM 4-INCH PERFORATED DRAIN, OR OTHER APPROVED MATERIALS, AROUND USABLE SPACE BELOW GRADE PER IRC SECTION 405.1. THE PIPE SHALL BE COVERED W/ 6" (MIN) OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A 20-GALLON (MIN) SUMP PIT. FINAL LOCATION OF SUMP PUMP AND RECEPTACLE T.B.D. BY BUILDER.

6. ALL FOOTINGS SHALL EXTEND MIN. 36" BELOW GRADE.

7. FOOTINGS SHALL BE A MINIMUM OF 16" W x 8" D W/ (2) #4 BARS CONTINUOUS.

8. U.N.O. FOUNDATION WALLS SHALL BE A MINIMUM 8" THICK W/ MINIMUM #4 BARS @ 24" O.C. - HORIZONTAL & VERTICAL. EXTEND TOP BAR WITHIN 8" OF THE T.O. WALL PER 2003 IRC, R404.13. PLACE REINFORCEMENT 3" FROM INSIDE F.O. WALL.

9. ALL REINFORCEMENT SHALL LAP A MINIMUM OF 24" AT ENDS AND AROUND CORNERS.

10. INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB PER 2003 IRC, R506.2.4.

11. INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE PER 2003 IRC, R506.2.4.

12. U.N.O., CONCRETE FLOOR SLABS SHALL BE 4" THICK (MIN) OVER 6-MIL VAPOR BARRIER OVER 4" GRAVEL BASE. PROVIDE MIN. 3/4" COVERAGE.

13. PROVIDE MIN. 1/2" @ ANCHOR BOLTS, 10" LONG W/ 1" EMBEDMENT AT 3'-0" O.C. (MAX) AND WITHIN 12" OF THE END OF EA. SILL PLATE.

14. FLOOR SLABS SUPPORTED BY FILL CONSISTING OF MORE THAN 24" OF GRANULAR FILL OR 8" OF EARTH SHALL BE REINFORCED PER A SEPARATE ENGINEERED DESIGN.

15. FOUNDATION WINDOW WELLS FOR SECONDARY MEANS OF EGRESS SHALL PROVIDE A MIN. 3'-0"x3'-0" HORIZONTAL AREA. RE: PLANS.

16. U.N.O., ALL STRUCTURAL STEEL COLUMNS # PADS: 3" # STANDARD STEEL PIPE COLUMN (SCHD. 40) ON 36"x36"x12" CONC. FOOTING W/ (3) #4 BARS EA. WAY - TYP UNQ.

17. PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLAB(S) AS INDICATED ON PLANS.

18. TYP. STOOP SUPPORT: PROVIDE 8" W x 4'-0" D CONCRETE WING WALL W/ #4 BARS @ 16" O.C. VERT. AND 12" O.C. HORIZ. TIE BARS INTO FOUNDATION MIN. 24".

19. ALL SILLS AND SLEEPERS & FURRING SUPPORTED ON OR ATTACHED TO CONCRETE OR MASONRY SHALL BE OF DECAY RESISTANT MATERIALS.

MEP GENERAL NOTES

1. PROVIDE THERMAL EXPANSION DEVICE AT WATER HEATER.
2. PROVIDE MECHANICAL VENTILATION IN ROOMS CONTAINING A WATER CLOSET, SHOWER OR BATHTUB IF THERE IS NO OPERABLE WINDOW. RE: PLANS FOR LOCATIONS.
3. ALL RECEPTACLES ON EITHER 15 AMP OR 20 AMP BRANCH CIRCUITS TO BE G.F.C.I. IN THE FOLLOWING LOCATIONS: KITCHEN COUNTERTOPS AND BATHROOMS. WITHIN 12" OF SINK, UNFINISHED PORTIONS OF BASEMENT, EXTERIOR PERIMETER AND GARAGE LOCATIONS. WITHIN 78" A.F.F.
4. PROVIDE MIN. 20 GALLON SUMP PUMP WHERE INDICATED ON PLANS AND A RECEPTACLE TO SERVE PUMP
5. 92% HIGH EFFICIENCY GAS FURNACE WITH DIRECT VENTING OUTSIDE

FIRE PROTECTION

1. PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA AND ON EACH FLOOR, INCLUDING BASEMENTS. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING.
2. PROVIDE 1 3/8" SOLID CORE OR 20 MIN. FIRE DOOR BETWEEN GARAGE AND DWELLING.
3. SEPARATE GARAGE FROM DWELLING AND ATTIC AREAS BY MINIMUM 1/2" TYPE 'X' GYP. BD. APPLIED TO GARAGE SIDE. WHERE A FLOOR / CEILING SPACE IS PROVIDED ABOVE THE GARAGE, COLUMNS AND BEAMS SHALL ALSO BE PROTECTED.
4. PROVIDE 1/2" FIRE-RATED GYP BD. IN THE FOLLOWING LOCATIONS: IN USABLE, ENCLOSED SPACES UNDER STAIRS: BETWEEN LIVING AREAS AND GARAGE.
5. NON-COMBUSTIBLE FIREPLACE HEARTHS SHALL BE A MIN. OF 20" DEEP.

EMERGENCY EGRESS AND RESCUE

1. ALL DESIGNATED EGRESS WINDOWS SHALL HAVE A MIN. OPENABLE AREA OF 5.1 S.F., 24" MIN. (OPENABLE) CLEAR HEIGHT, 20" MIN. CLEAR (OPENABLE) WIDTH, 44" MAX. SILL HEIGHT OFF FLOOR

TYP. FRAMING NOTES

1. DIMENSIONS ARE TO F.O. STUD OR CENTERLINE OF COLUMNS, BEAMS AND OPENINGS.
2. JOISTS UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY W/ IRC SECTION R502.4.
3. JOISTS FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL LAP A MINIMUM 3" AND SHALL BE NAILED TOGETHER W/ MIN. 10d FACE NAILS.

4. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING SPACED NOT MORE THAN 4 FT. O.C. FOR A MINIMUM OF TWO JOIST SPACES OR PROVIDE ALTERNATE ENGINEERED DESIGN.

5. UNLESS NOTED OTHERWISE ON DRAWINGS, TYP. FLOOR FRAMING: 9 1/2" DEEP TJI/PRO, SERIES 100 TS @ 16" O.C. (40L/10D LOADS) - TYP. MAX SPAN= 15'-8".

6. JOISTS FRAMING INTO A WOOD GIRDER OR BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS.

7. TYP. WALL FRAMING AS INDICTED ON PLANS.

8. ALL HEADERS, ROOF RAFTERS & CEILING JOISTS SHALL BE #2 DOUGLAS-FIR-LARCH OR BETTER. BLOCKING BETWEEN PLATES AND ALL OTHER FRAMING LUMBER NOT OTHERWISE DESIGNATED SHALL BE STUD GRADE.

9. LOCATE HEADERS DIRECTLY BELOW TOP PLATES, W/ THE LOWER TOP PLATE NAILED DIRECTLY TO HEADER. SIZE AS INDICATED ON PLANS.

10. PROVIDE TOP PLATES AS INDICATED ON PLANS. OFFSET END JOINTS MIN. 4'-0" AT SPLICES. USE 16-16D COMMON NAILS EA. TOP PLATE SPLICE (8) ON EA. END).

11. STUDS TO BE ALIGNED VERTICALLY, PROVIDE LOAD TRANSFER FROM STUDS ABOVE TO STUDS BELOW WITH FLOOR FRAMING MEMBERS OR W/ CRIPPLE STUDS OR SQUASH BLOCKS BETWEEN SOLE PLATE AND TOP PLATES TO MATCH STUDS ABOVE.

12. ALL JAMBS ON FIRST FLOOR TO BE TRIPLE STUDS (2 FULL + 1 TRIMMER). ALL JAMBS ON SECOND FLOOR TO BE DOUBLE STUDS (1 FULL + 1 TRIMMER). PROVIDE LOAD TRANSFER FROM STUDS ABOVE TO STUDS BELOW WITH FLOOR FRAMING MEMBERS OR W/ CRIPPLE STUDS OR SQUASH BLOCKS BETWEEN SOLE PLATE AND TOP PLATES TO MATCH JAMBS ABOVE.

13. PARALLAM BEAMS TO BE TRUSS JOIST MACMILLAN 2.0E PARALLAM PSL LUMBER BEAMS W/ MINIMUM E = 2.0 KSI. MINIMUM Fb = 2,900 PSI AND MINIMUM Fx = 280 PSI.

14. MICROLLAM BEAMS MINIMUM REQUIREMENTS: 1.9 MICROLLAM LVL, MINIMUM Fb = 2,600 PSI, MINIMUM Fv =285 PSI.

15. EXTERIOR WALL SHEATHING T&B" THICK, 4'-0" WIDE APA RATED STRUCTURAL PANELS ON OUTSIDE FACE + 1/2" GYPSUM WALLBOARD ON INSIDE FACE. BLOCK ALL JOINTS IN EXTERIOR SHEATHING. NAIL SHEATHING W/ 8d COMMON OR GALVANIZED BOX NAILS @ 6" O.C. @ ALL JOINTS, PLATES AND BLOCKING. NAIL 12" O.C. IN FIELD. JOINTS IN GYP. BD. TO OCCUR OVER STUD PLATES OR SOLID BLOCKING. NAIL W/ 6d COOLER NAILS OR 086" 0 x 1 5/8" LONG WALLBOARD NAILS @ 7" O.C. (TYP).

16. PROVIDE 2x SOLID BLOCKING AT END OF JOISTS NOT FRAMED INTO RIM BOARD AND ABOVE LATERAL SUPPORT.

17. WINDOW REFERENCES ARE BASED ON KOLBE & KOLBE: FOUNDATION SERIES. R.O. SIZE INDICATED ON PLANS. ~ 95%.

GARAGE DOOR 'H-FRAME' ASSEMBLY:

GARAGE DOOR FRAMES SHALL BE DESIGNED AND INSTALLED PER THE FOLLOWING:

2x6 VERTICAL JAMB (FROM HEADER TO WITHIN 8" OF SLAB) ATTACHED W/ 3 1/4" x120" NAILS @ O.C. STAGGERED & (7) 3 1/4" x 120" NAILS THRU JAMB INTO HEADER. (RE BRACE PANEL DETAIL)

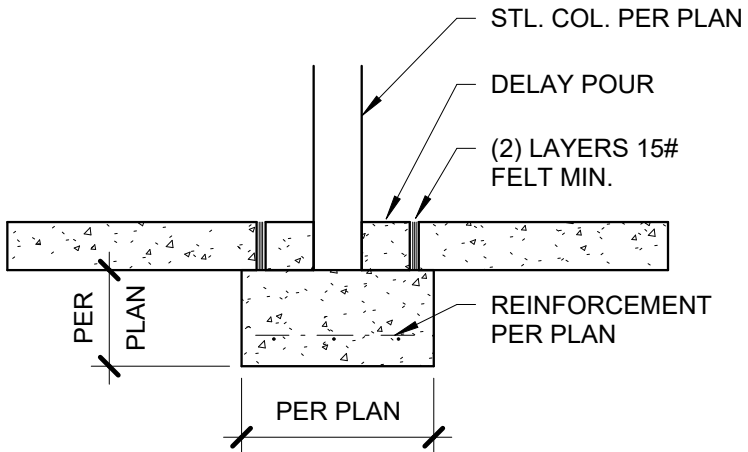
SAFETY GLAZING GENERAL NOTE:

GLAZING IN HAZARDOUS LOCATIONS SHALL BE OF APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS; INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO THE DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR SPAS, TUBS, SHOWERS AND WHIRLPOOLS; AND GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 9 SF. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

STAIR AND DECK GENERAL NOTES:

1. ALL STAIRWAYS SHALL HAVE A MAXIMUM RISE OF 7 3/4" AND MINIMUM 10" RUN
2. PROVIDE GUARDRAILS AT 34" A.F.F. FOR WHERE LESS THAN 30" FLOOR HEIGHT DIFFERENCE; PROVIDE 36" WHERE 30" A.F.F. WHERE 30" OR TALLER
3. ALL HANDRAILS (REQ'D. ON 4+ RISERS) SHALL BE 34" ABOVE NOSE OF STAIR TREADS. SIZE AND SHAPE PER IRC SECTION R315.2.
4. DECK PLANS SHALL BE APPROVED BY THE CITY PRIOR TO CONSTRUCTION

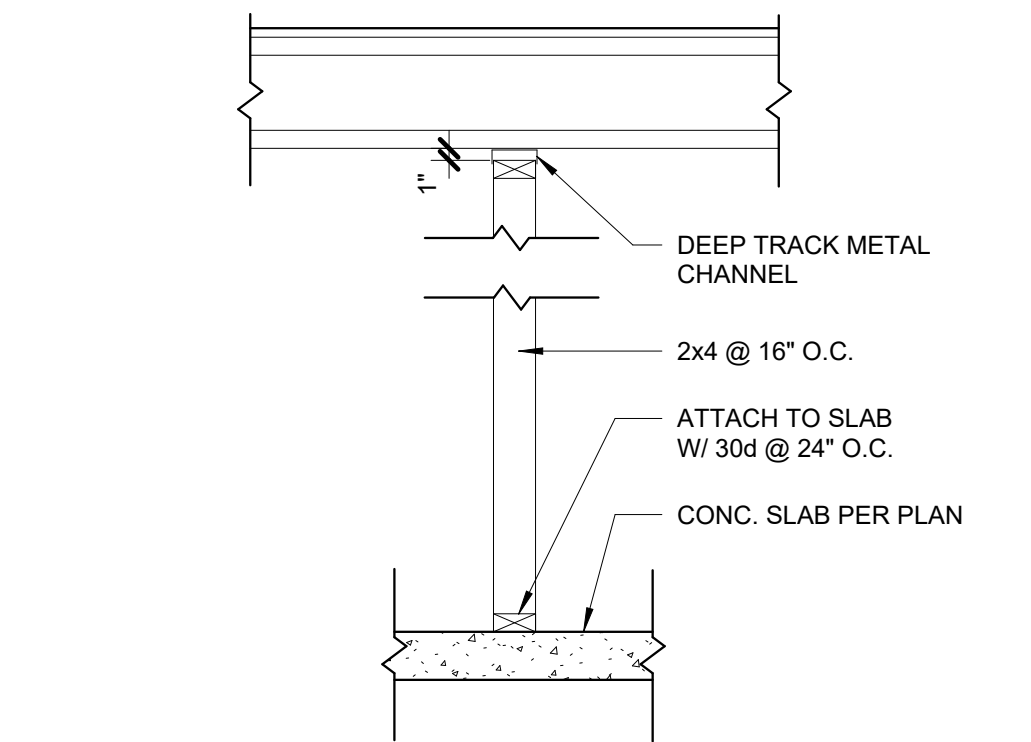
3 TYP. COLUMN DETAIL
3/4" = 1'-0"



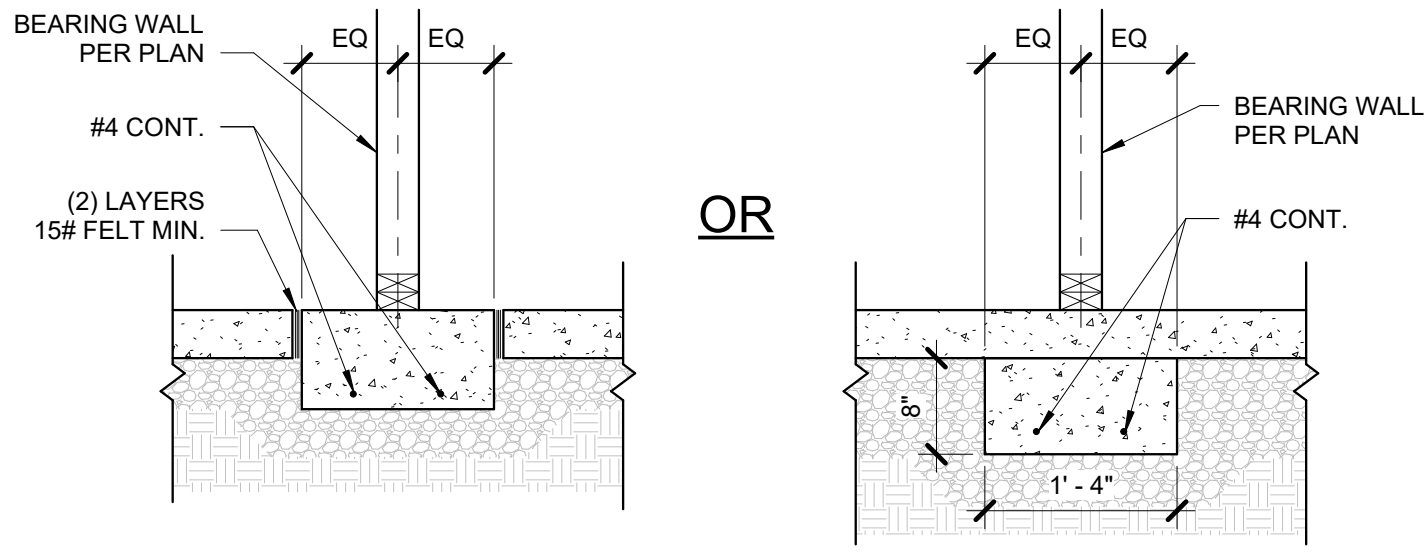
INSULATION VALUES PER TABLE N1102.1(1) - WINDOW AREA NOT LIMITED		
LOCATION	MIN. R-VALUE	
CEILING	R-38	
CATHEDRAL CEILING	R-30	
FLOORS OVER HEATED SPACE	R-19	
FLOORS OVER OUTSIDE AIR	R-30	
EXTERIOR WALL	R-13 (4"); R-19 (6")	
CRAWL SPACE WALL	R-19	
BASEMENT WALL	R-10 - INSULATE CONC. WALLS ADJACENT TO FIN. SPACE	
GLAZING	U ≤ 0.40; SHGF ≤ 0.40	

LOAD CONDITION TABLE

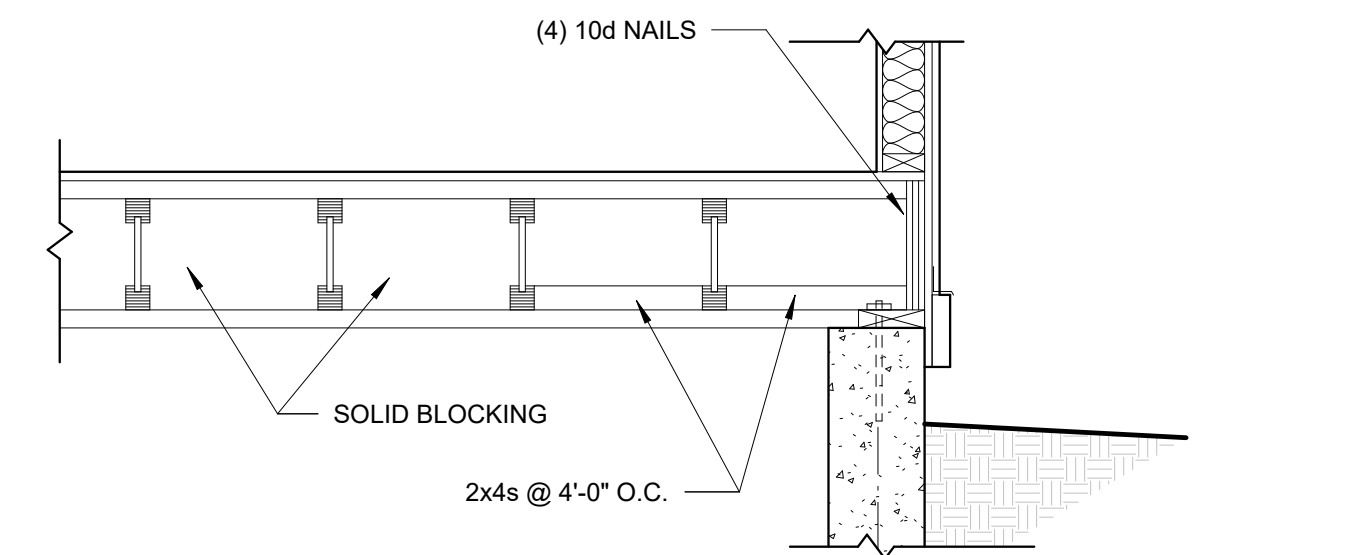
AREA	MIN. DEAD LOAD	MIN. LIVE LOAD
EXTERIOR BALCONIES	10	60
DECKS	10	40
CEILING JSTS./ATTICS W/O STORAGE - SCUTTLE ACCESS ONLY - ROOF SLOPE 3/12 OR LESS	10	5
CEILING JSTS./ATTICS W/O STORAGE - SCUTTLE ACCESS ONLY - ROOF SLOPE OVER 3/12	10	10
CEILING JSTS./ATTICS W/ STORAGE - DOOR / PULL DOWN LADDER ACCESS	10	20
ROOMS - NON-SLEEPING	10	40
ROOMS - SLEEPING	10	30
ROOF - LIGHT ROOF COVERING	10	20
ROOF - HEAVY COVERING CONCRETE/TILE/SLATE	20	20



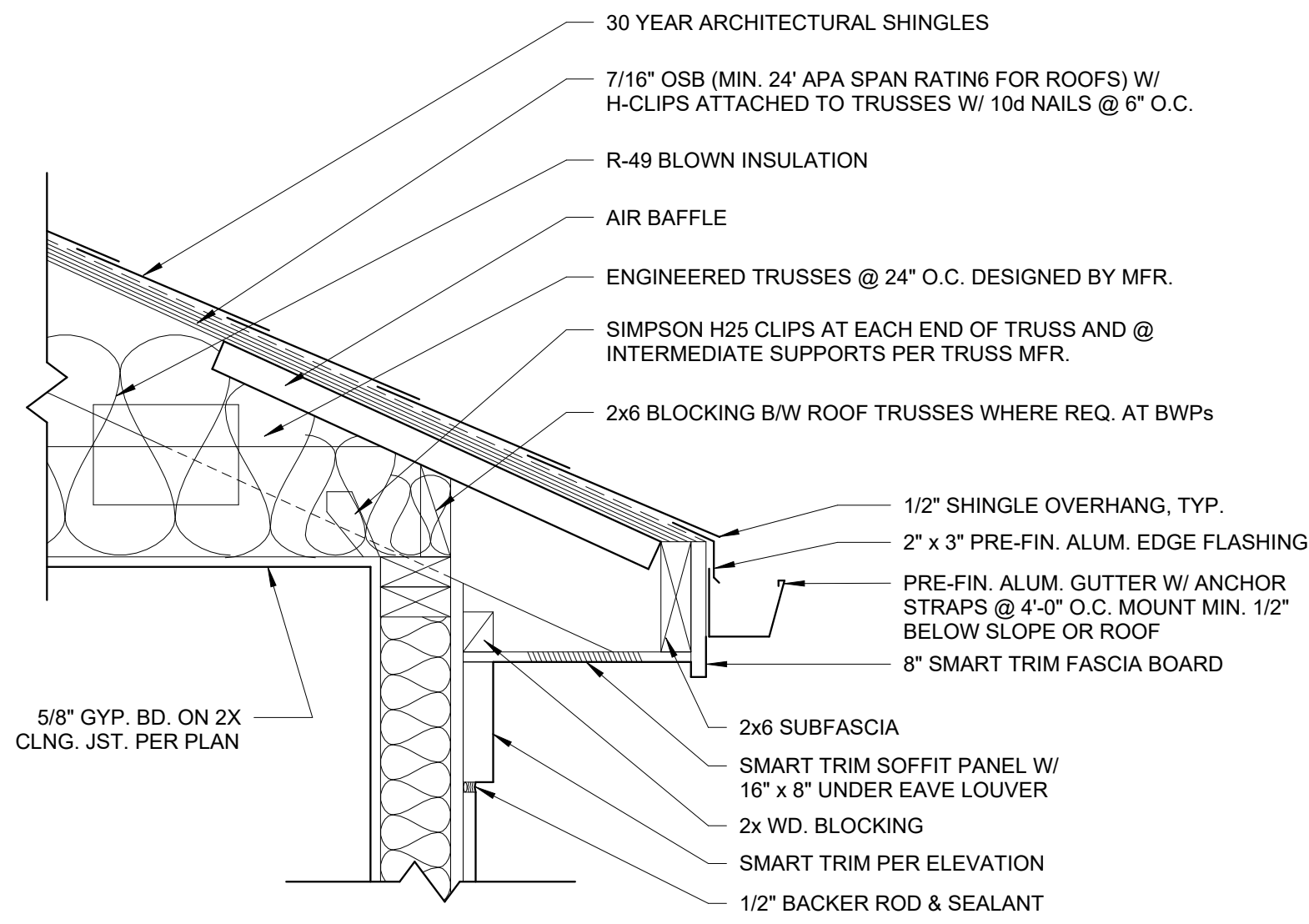
6 TYP. NON-BEARING DETAIL
3/4" = 1'-0"



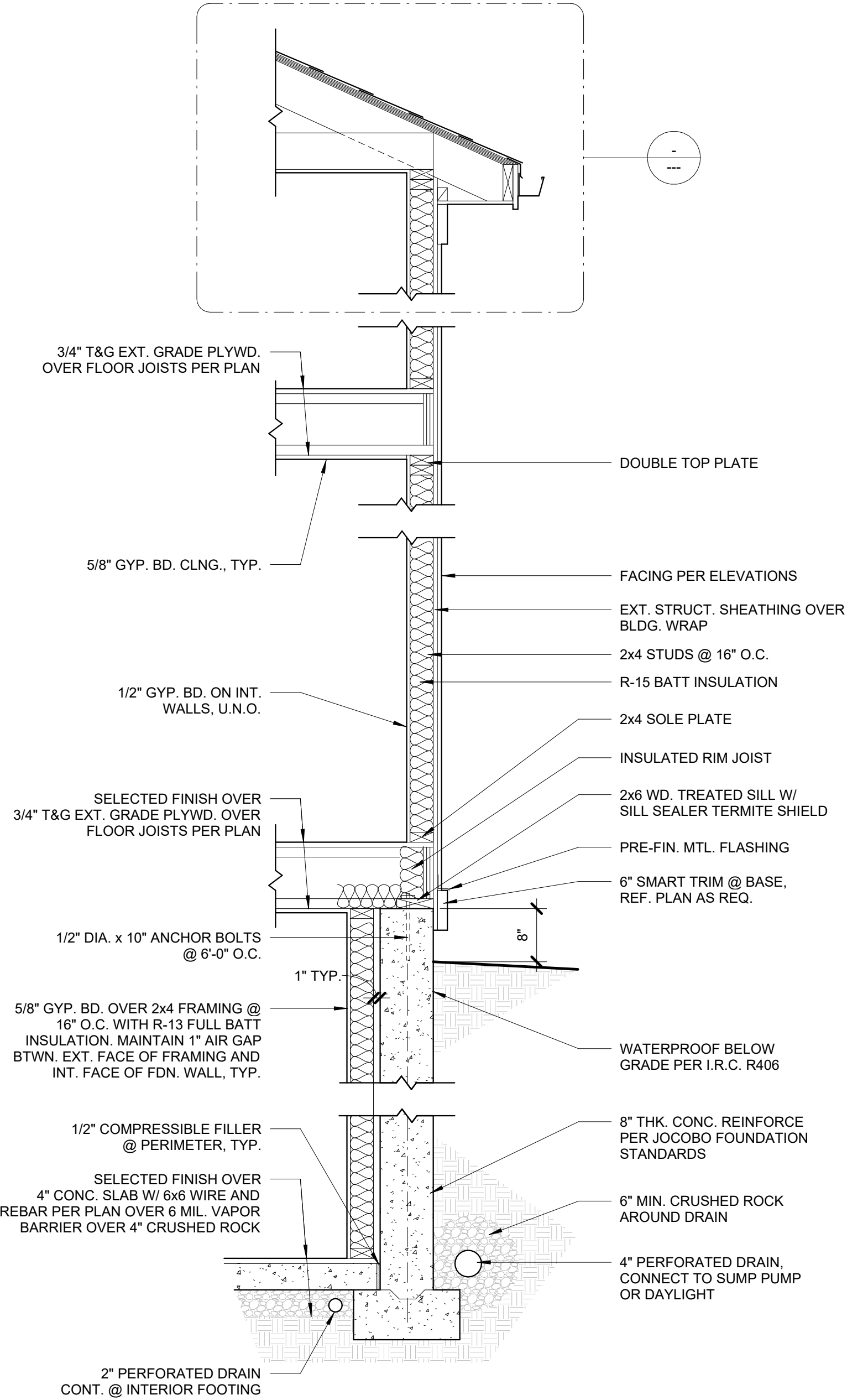
4 TYP. BEARING DETAIL
3/4" = 1'-0"



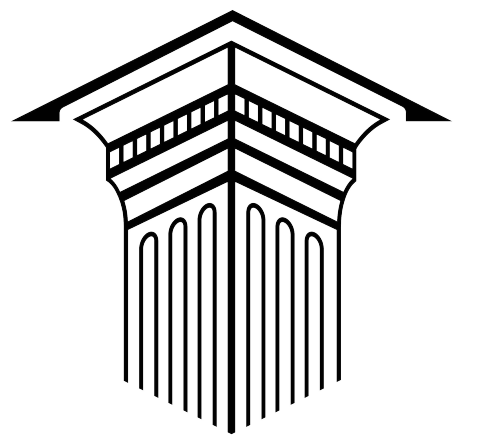
5 TYP. FRAMING DETAIL
3/4" = 1'-0"



2 TYP. EAVE DETAIL - TRUSS
1 1/2" = 1'-0"



1 TYP. WALL SECTION
3/4" = 1'-0"



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

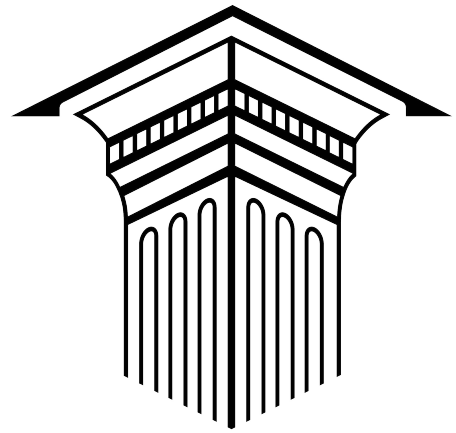
3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

CONSTRUCTION
NOTES & DETAILS

A7



DRIPPÉ HOMES



RUDMAN CUSTOM HOME

3223 SW Enoch St, Summit View Farms, Lee's Summit, MO

ALL DRAWINGS, DESIGNS, ESTIMATES, CALCULATIONS AND SPECIFICATIONS INCLUDED ARE AND SHALL REMAIN PROPERTY OF DRIPPÉ HOMES WHETHER THE PROJECT THEY ARE DESIGNED FOR IS BUILT BY DRIPPÉ HOMES OR NOT.

DATE: 17 MAY 2022
DRAWN BY: B. WILLIAMS
BASE PLAN:

SITE PLAN

A8



1 SITE
1/8" = 1'-0"

