

SCOPE OF FIRE SUPPRESSION

CONTRACTOR SHALL INSTALL NEW NFPA-13 FIRE SUPPRESSION SYSTEM FOR BUILDING. REFER TO SPECIFICATIONS FOR REQUIREMENTS, PRODUCT SPECIFICS AND INSTALLATION PROCEDURES. SPRINKLER SYSTEM SHALL BE MONITORED BY THE FIRE ALARM SYSTEM OR A MONITORING SYSTEM WITH DIALER WHEN NO FIRE SPRINKLER IS PRESENT. CONTRACTOR SHALL PROVIDE NECESSARY TAMPER FLOW SWITCH, CONTROLS, AND MONITORING AS REQUIRED. SYSTEM SHALL BE QUICK RESPONSE TYPE FOR APPROPRIATE HAZARD CLASSIFICATION. COORDINATE WITH APPROVED ARCHITECTURAL PLANS FOR CONSTRUCTION TYPES, CLASSIFICATIONS AND HAZARDS.

CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND ARCHITECTURAL PLANS FOR ROUTING OF PIPING AND PLACEMENT OF SPRINKLER HEADS. COORDINATE ATTIC LAYOUT WITH ARCHITECTURAL PLANS AND ANY DRAFTSTOPS OR FIRE BARRIER LOCATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION SHOWING COORDINATION OF SPRINKLER PIPING AND SPRINKLER HEADS WITH OTHER TRADES.

WHERE BUILDING REMAINS UNFINISHED THE SPRINKLER SYSTEM SHALL BE DESIGNED FOR CAPACITY TO EXTEND THE SYSTEM WITHOUT RETURNING TO THE RISER LOCATION FOR FUTURE COVERAGE OF ADDITIONAL SPACES IN BUILDING.

FIRE SPRINKLER DESIGN CRITERIA

ENGINEERING DOCUMENTS SHALL BE BASED UPON THE FOLLOWING CODES AND STANDARDS (AND LIST THEM ON THE LAYOUT DOCUMENTS):

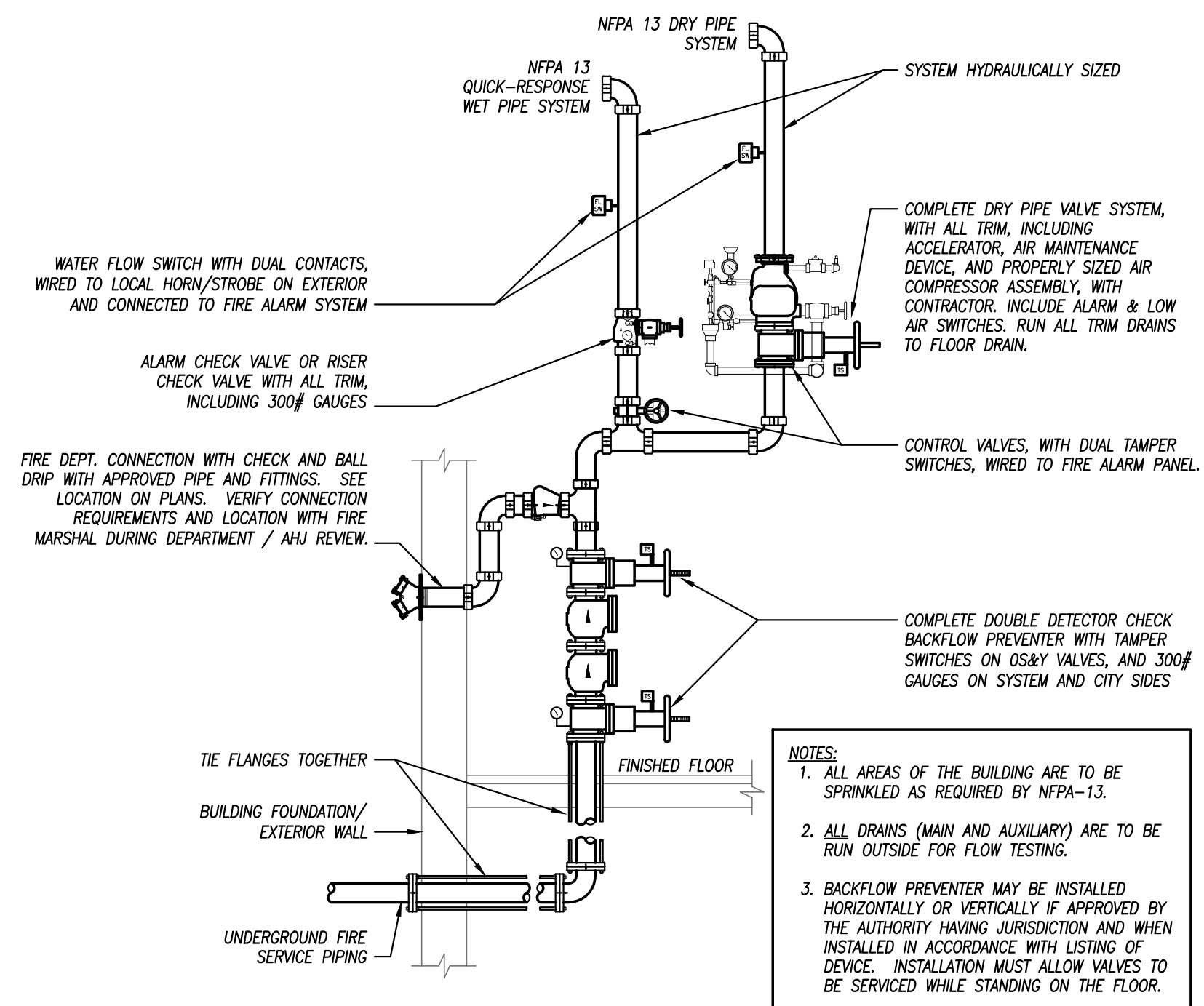
1. NFPA 13 - CURRENT EDITION

FIRE PROTECTION DOCUMENTS SHALL ALSO LIST AND/OR SHOW THE FOLLOWING (UTILIZE CODE APPROVED CODE PLANS AND COORDINATE ALL AREAS OF THE BUILDING AND VARIOUS REQUIREMENTS AS MAY BE NECESSARY. GENERALLY, THE BUILDING SPACES SHALL BE AS FOLLOWS, BUT MAY DIFFER IN SPECIFIC AREAS OF MULTIPLE OCCUPANCIES):

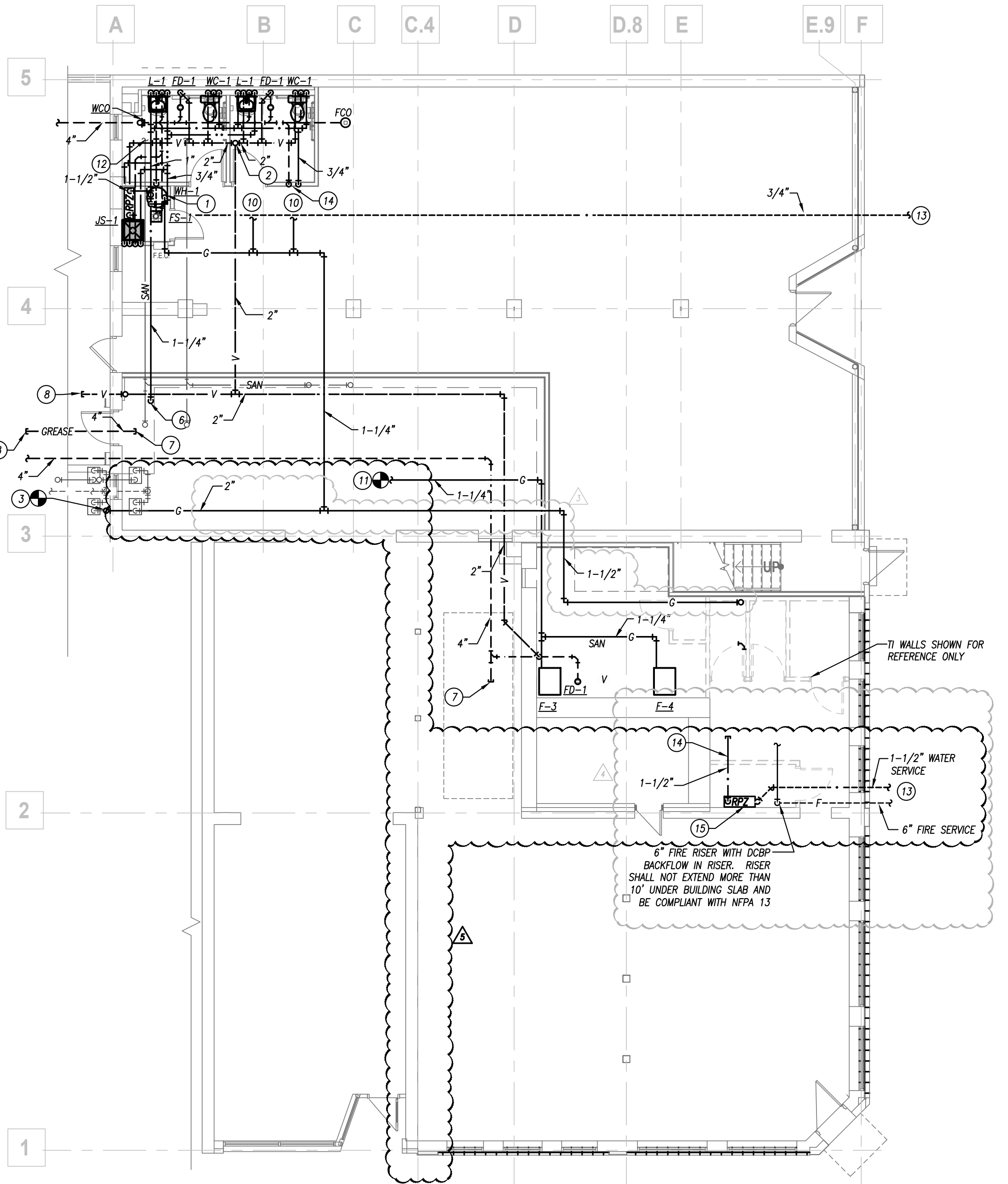
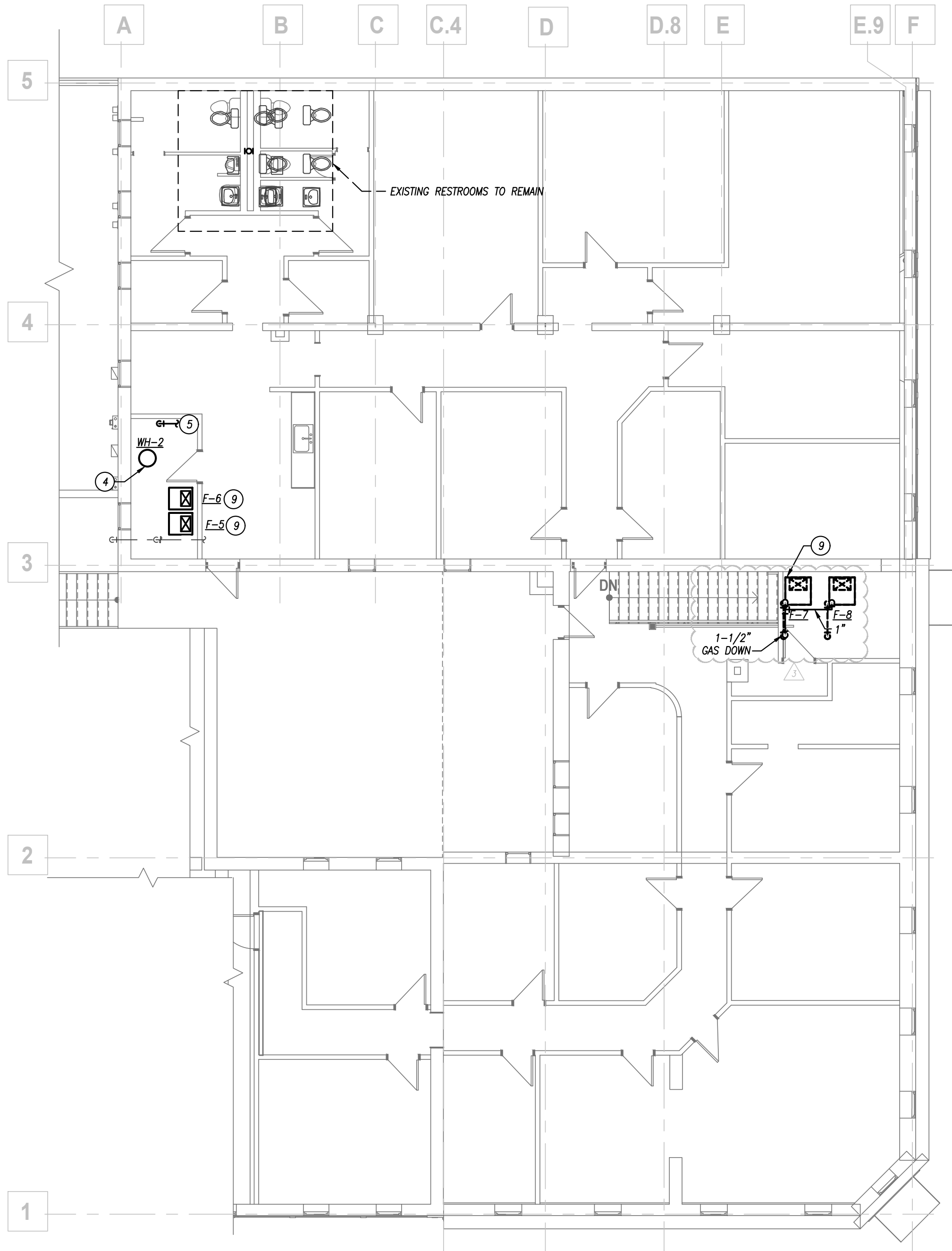
1. OCCUPANCY TYPE - AS LISTED ON ARCHITECTURAL CODE PLANS
2. CONSTRUCTION TYPE - AS LISTED ON ARCHITECTURAL CODE PLANS
3. DESIGN APPROACH (STATE THE FOLLOWING: RESPONSE TYPE, DENSITY, HEAD SPACING.)
4. INTERIOR OCCUPIED SPACES SYSTEM
- 4.1. SYSTEM TYPE - WET
- 4.2. HAZARD CLASSIFICATION - LIGHT
- 4.2.1. SYSTEM RESPONSE TYPE - QUICK
- 4.2.2. DENSITIES - 0.10 GPM/SF FOR 1,500 SF
- 4.2.3. MAXIMUM HEAD SPACING - 225 SF
- 4.3. HAZARD CLASSIFICATION - ORDINARY GROUP 1
- 4.3.1. SYSTEM RESPONSE TYPE - QUICK
- 4.3.2. DENSITIES - 0.15 GPM/SF FOR 1,500 SF
- 4.3.3. MAXIMUM HEAD SPACING - 130 SF
5. ATTIC AND OTHER AREAS SUBJECT TO FREEZING TEMPERATURES
- 5.1. SYSTEM TYPE - DRY
- 5.2. HAZARD CLASSIFICATION - LIGHT
- 5.2.1. SYSTEM RESPONSE TYPE - QUICK
- 5.2.2. DENSITIES - 0.10 GPM/SF FOR 1,500 SF
- 5.2.3. MAXIMUM HEAD SPACING - 120 SF
6. CHARACTERISTICS OF WATER SUPPLY TO BE USED, INCLUDING MAIN SIZE AND LOCATION, STATIC AND RESIDUAL PRESSURES AND FLOW RATES
7. THE POINT OF SERVICE FOR THE FIRE PROTECTION WATER SUPPLY
8. SYSTEM VALVING AND ALARM REQUIREMENTS:
- 8.1. SYSTEM SHALL BE MONITORED BY THE FIRE ALARM SYSTEM OR A SEPARATE MONITORING SYSTEM PANEL, DIALER AND ANNUNCIATION ACCESSORIES AS REQUIRED BY LOCAL ADOPTED CODES.
- 8.2. ALL CONTROL VALVES SHALL BE EQUIPPED WITH TAMPER AND FLOW SWITCHES WIRED TO THE MONITORING SOURCE PANEL.
9. PROVIDE ALL ADDITIONAL SYSTEM COMPONENTS FOR DRY SYSTEM INCLUDING AIR COMPRESSOR AND OTHER VALVES MONITORING

ACCEPTANCE TESTING OF FIRE PROTECTION SYSTEM SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

1. NFPA 25 - CURRENT EDITION



FIRE SPRINKLER RISER DETAIL
NOT TO SCALE



GENERAL PLUMBING NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. REFER TO PLUMBING FUTURE / DRAIN SCHEDULES FOR PIPING SIZES FOR INDIVIDUAL CONNECTIONS TO FIXTURES AND RISERS NOT SHOWN ON PLANS.
3. NO SANITARY OR VENT PIPING BELOW GRADE SHALL BE LESS THAN 2'.
4. NO DOMESTIC WATER PIPING SHALL BE SMALLER THAN 3/4" UNLESS NOTED OTHERWISE.
5. ALL VENT PIPING SHOWN IS DIAGRAMMATIC. USE APPROPRIATE FITTINGS FOR VENT PIPING BELOW FLOOR SLAB OF FUTURE.
6. NOT ALL INTERIOR CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE-REQUIRED CLEANOUTS (RE: GENERAL NOTES ON COVER SHEET). COORDINATE EXACT LOCATIONS OF CLEANOUTS WITH ARCHITECT.
7. ALL FLOOR DRAIN TRAPS SHALL BE PROTECTED BY ONE OF THE FOLLOWING METHODS, TO BE INSTALLED AT CONTRACTOR'S DISCRETION AND IN COMPLIANCE WITH ADOPTED VERSION OF PLUMBING CODE AND/OR ANI:

PLUMBING PLAN KEYED NOTES

1. INSTALL WATER HEATER NEXT TO JANITOR'S SINK.
2. 3" VENT THROUGH CHASE ON 2ND FLOOR TO ROOF. TERMINATE VENT 10' CLEAR FROM ANY OUTSIDE AIR INTAKE.
3. CONNECT 2-1/2" GAS LINE TO EXISTING GAS MAIN FOR NORTH/SOUTH FLOOR TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
4. NEW WATER HEATER. RECONNECT WATER HEATER TO EXISTING PLUMBING. PROVIDE NEW PIPE/PIPE FITTING IF REQUIRED.
5. 3/4" DOMESTIC WATER PIPE UP FROM FLOOR BELOW. CONNECT TO EXISTING COLD WATER MAIN TO SERVE ALL 2ND FLOOR PLUMBING FIXTURES AND EQUIPMENT. CONTRACTOR TO VERIFY LOCATION OF EXISTING PIPE.
6. 3/4" COLD WATER PIPE TO 2ND FLOOR.
7. PIPE TO BE CAPPED FOR FUTURE TENANT USE. PIPING TO BE 36" BELOW FINISH GRADE FOR FUTURE TENANT USE.
8. UNDERGROUND GREASE AND VENT TO BE CAPPED OUTSIDE FOR FUTURE GREASE INTERCEPTOR.
9. RECONNECT EXISTING GAS TO FURNACES. PROVIDE NEW CONDENSATE DRAIN AND TERMINATE TO NEAREST FLOOR DRAIN.
10. GAS PIPE FOR FURNACE F-1 AND F-2 RESPECTIVELY. REFER TO DETAIL FOR CONNECTION.
11. CONNECT TO EXISTING GAS MAIN FOR SOUTH TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
12. CONNECT EXISTING SANITARY LINE FROM SECOND FLOOR EXISTING PIPING TO REMAIN. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
13. REFER TO CIVIL FOR CONTINUATION.
14. CAP PLUMBING PIPING FOR FUTURE TENANT BUILD OUT.
15. ROUTE DRAIN FROM RP2 TO UTILITY SINK PROVIDED IN TI PHASE. REFER TO TI DRAWINGS FOR EXACT LOCATION.



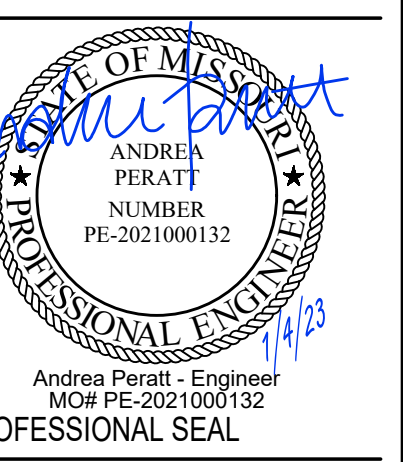
MAIN STREET LANDLORD IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:

City Comments	05/17/22
ASI-01	08/05/22
Owner Revision	12/08/22
Owner Revision	01/04/23



P111
ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121

PLUMBING - FLOOR PLANS

