

PANERA BREAD BAKERY - CAFE

PRCOM20223170

OAKVIEW - LOT 2 FINAL DEVELOPMENT PLANS

1410 NE DOUGLAS ST.

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI 64086
NE 1/4 OF SEC. 31-48-31

LEGAL DESCRIPTION

LOT 2 OF THE FINAL PLAT OF OAKVIEW - LOTS 1-5, A REPLAT OF LOT 2, "MINOR PLAT, POLYTAINERS ADDITION, LOTS 1 AND 2" AND PART OF NE DOUGLAS STREET ALL IN THE NE 1/4 OF SEC. 31-48-31 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

FLOOD NOTE

THIS PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP 29095C0409G AND 29095C0417G. DATED 1/20/2017

OIL AND GAS WELL NOTE

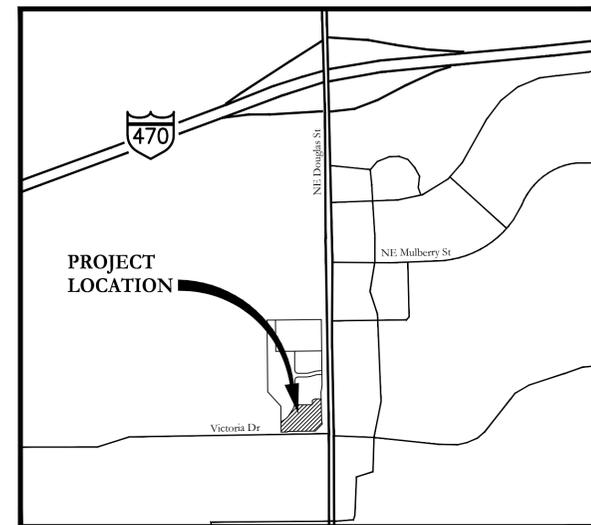
THERE WAS NO OIL OR GAS WELLS LOCATED ON PROPERTY PER MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMITS WEBSITE.

BENCHMARK AND HORIZONTAL DATA

REFERENCE SHEET 4 FOR VERTICAL AND HORIZONTAL CONTROL POINTS IN THE PRIVATE DRIVE IMMEDIATELY WEST OF THE SITE.

UTILITIES AND PUBLIC AGENCIES

CITY OF LEE'S SUMMIT PUBLIC WORKS		(816) 969-1800
WATER UTILITIES	Mark Schaufler	(816) 969-1900
ELECTRIC EVERGY	Ron Dejarnette	(816) 347-4316
GAS SPIRE	Brent Jones	(816) 399-9633
TELEPHONE AT&T	Marty Loper Mark Manion	(816) 275-1550 (816) 325-6516
CABLE COMCAST	Barbara Brown	(816) 795-2255



LOCATION MAP
NOT TO SCALE

CONTACTS

ENGINEERING

Engineering Primary 781-4200
Ronald L. Cowger, PE

Engineering Alternate 781-4200
Art Akin, PE

DEVELOPER

STAR DEVELOPMENT, INC.
TIM HARRIS, PRESIDENT
244 W. MILL STREET, SUITE 101
LIBERTY, MISSOURI, 64068
(816) 781.3322

AGC Engineers, Inc.

405 S. Leonard St., Suite D
Liberty, Missouri 64068
www.agcengineers.com
816.781.4200 ■
fax 792.3666

RELEASED FOR
CONSTRUCTION
As Noted on Plans Review

Development Services Department
Lee's Summit, Missouri
09/14/2022

STATUS

- FOR PERMIT
 FOR CONSTRUCTION
 PLANS CONFORMING TO
CONSTRUCTION RECORDS

DATE:

8-8-22

9-6-22

BY	REVISION	DATE
RC/ACA	UPDATED SHEETS 7, 11 AND 16 DUE TO MEP / ARCH COORDINATION ▲	9-6-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
1	COVER
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS
3A	FINAL PLAT
4	SITE PLAN
5	GRADING & EROSION CONTROL PLAN
6	GRADING PLAN - CUT & FILL
7	UTILITY PLAN
8	SPOT ELEVATION PLAN
9	SPOT ELEVATION PLAN
10	DRAINAGE AREA MAP & CALCULATIONS
11	UTILITY PLAN & PROFILES
12	DETAILS
13	DETAILS
14	DETAILS
15	DETAILS
16	DETAILS
L100	LANDSCAPE PLAN

SEE ADDITIONAL PLANS PREPARED BY LK ARCHITECTS (WICHITA, KS.)

McLAUGHLIN MUELLER, INC. HAS SOLE RESPONSIBILITY FOR SHEET 3 AND VSR DESIGN HAS SOLE RESPONSIBILITY FOR SHEET L100.

ENGINEER'S CERTIFICATION:

I hereby certify that this project has been designed, and these plans prepared, to meet or exceed the design criteria of City of Lee's Summit, Missouri, in current usage, except as indicated below.

- Exceptions:
1. South parking stalls encroach 4' within the 20' parking setback - 2020 PDP approval included
Allow curb & gutter for parking to encroach into the 20' setback along NW Douglas Street by no more than 2 feet and along NW Victoria Drive by no more than 6 feet.
 2. _____
 3. _____
 4. _____

I have not been retained to coordinate as-built drawings for this project.



Ronald L. Cowger, PE
AGC Engineers, Inc.

9-6-22

Date

NOTE:

Contractor shall be responsible for determining the exact locations of all underground utilities or appurtenances prior to commencing construction. Existing underground utilities shown on the drawings are for reference only, and their accuracy and completeness are not guaranteed. Contractor shall be responsible for repair or replacement of all underground utilities damaged during construction.

GENERAL PROJECT NOTES:

- The Contractor shall, at a minimum, have the following document(s) at the job site at all times:
Signed approved plans,
Contract Documents and Project Specifications,
Standard Specifications (Kansas City Metro Chapter-APWA)
Storm Water Pollution Plan (SWPPP)
All required permits
- The Contractor shall reference the City of Lee's Summit Design Criteria, Standard Specifications, Standard Details, Approved Products Lists found at the following website <https://cityofls.net/development-services/design/design-criteria/design-construction-manual-infrastructure>
- This Project shall be constructed in accordance with these Plans, City of Lee's Summit criteria and specifications (listed above), and their absence the Kansas City Metro Chapter of American Public Works Association (most current version) "APWA".
- All work required to complete the project and that is not specifically itemized in the Contractor's proposal shall be considered subsidiary to other work itemized in the proposal.
- All materials and workmanship associated with this project shall be subject to inspection by the City of Lee's Summit and the Owner. The City and/or Owner reserves the right to accept or reject any such materials and workmanship that does not conform to the Standards and Technical Specifications.
- RESERVED
- The Contractor shall notify the Engineer immediately of any discrepancies in the Plans.
- By use of these Plans the Contractor agrees that he shall be solely responsible for the safety and protection of the construction workers and the public.
- Contractor is to obtain the necessary permits for all construction activities.
- Contractor shall be responsible for determining the exact locations of all underground utilities or appurtenances prior to commencing construction. Existing underground utilities shown on the drawings are for reference only, and their accuracy and completeness are not guaranteed. Contractor shall be responsible for repair or replacement of all underground utilities damaged during construction.
- RESERVED
- It shall be the responsibility of the Contractor to control erosion and siltation during all phases of construction.
- Any sidewalk, curb & gutter or pavement disturbed, damaged or destroyed during construction shall be replaced by Contractor at no additional cost to Owner.
- Modified curb shall be used at all locations where pavement drains away from curb.
- The Contractor shall contact the City's Development Services Engineering Inspection to schedule a pre-construction meeting with a field engineering inspector prior to any land disturbance work at (816) 969-1200.
- Contractor shall be responsible to install pavement joints on all concrete pavement, slabs, and / or sidewalk. At a minimum, an expansion joint shall be provided along all interfaces of
 - Building to sidewalk
 - Building to concrete pavement
 - Sidewalk to concrete pavement
 Contractor shall submit a joint plan to the Engineer for review.

GRADING NOTES:

- Erosion protection shall be in place prior to any land disturbance.
- Contours shown are to finished grade.
- The construction area shall be cleared, grubbed, and stripped of topsoil and organic matter from all areas. Excess topsoil shall be stockpiled separately from compactable material. Stripping existing topsoil and organic matter shall be to a minimum depth of six (6) inches.
- Areas to receive fill shall be striped of top soil and other organic material, scarified, and the top eight (8) inch depth compacted to 98% standard proctor density prior to the placement of any fill material. Any unsuitable areas shall be undercut and replaced with suitable material before any fill material can be placed.
- Fill material shall be made in lifts not to exceed nine (9) inches depth compacted to 98% standard proctor density (per ASTM D-698) with a moisture content -3% and +2% optimum moisture. Contractor shall provide (at his/her sole cost) an independent geotechnical report certifying compaction at a sample interval of one (1) sample per 5000 square feet per lift or more frequent if required/recommended by the geotechnical firm. Geotechnical firm shall be approved by Owner prior to beginning fill operations. Fill material may include rock from on-site excavation if carefully placed so that large stones are well disturbed and voids are completely filled with smaller stones, earth, sand or gravel to furnish a solid embankment. No rock larger than three (3) inches in any dimension nor any shale shall be placed in the top 12 inches of embankment.
- In all areas of excavation, if unsuitable soil conditions are encountered, a qualified Geotechnical engineer shall recommend to the Owner on the methods of undercutting and replacement of property compacted, approved fill material.
- All slopes are to be 3:1 or flatter unless otherwise indicated.
- All slopes and areas disturbed by construction shall be graded smooth and a minimum four (4) inches of topsoil applied. If adequate topsoil is not available on-site, the Contractor shall provide topsoil, approved by the Owner, as needed. Any areas disturbed for any reason shall be corrected by the Contractor at no additional cost to the Owner prior to final acceptance of the project.
- All disturbed areas shall be seeded, fertilized and mulched or sodded in accordance with the standards and specifications adopted by the reviewing governing agency and good engineering practices.

EROSION CONTROL NOTES:

- Control of sediment is a very dynamic (ever changing) process. These plans are provided as a basis of anticipated erosion control measures. The Contractor shall modified add or delete with the Owner's permission the erosion control measure shown to prevent the migration of sediment off of the Owner's property and/or into jurisdictional waters/waterways.
- Any sediment deposited on public streets shall be removed immediately by Contractor at his sole expense.
- Stockpile excavation materials away from existing channels and grade to drain to adequate erosion control measures.
- Remove silt build up in temporary sediment basins (if applicable), inlet protection devices and/or silt fence until site is completely stabilized. Verify grade prior to final seeding, lining or rip-rap installation.
- All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Kansas City Metro Chapter of American Public Works Association. Seeding/Sodding shall be completed within 14 days after completing the work, in any area. If this is outside of the recommended seeding period, erosion control measures or other similarly effective measure shall remain and be maintained by Contractor until such time that the areas can be seeded and a stand of grass established per Missouri DNR or MoDOT Section 805.4 standards.
- When sediment deposits reach approximately one-half the height of the BMP, the sediment shall be removed or a second BMP shall be installed. All costs associated with this work, including related incidents, shall be the Contractor's responsibility and shall be included in the bid for the proposed work.
- Contractor shall perform BMP inspection once a week and after each rainfall event, and provide Owner a copy of report within 48 hrs. Faulty or inadequate erosion control measures shall be remediated or modified the same day of inspection so as to minimize the risk of sediment discharge from the Owner's property or jurisdictional waters/waterways.
- Contractor shall protect and maintain erosion control measures until a complete stand of grass as defined by Missouri DNR has been established.
- Concrete Washout Areas will be determined onsite by the Job Superintendent.
- At a minimum the following permits/approvals shall be posted on site or as required by the permit terms and conditions:
City of Lee's Summit Land Disturbance Permit.
- Permanent fertilizing, seeding (Type "A") and mulch shall be in accordance with Kansas City Metro Chapter of American Public Works Association. Final acceptance per MoDOT Sections 805.4
- The Contractor shall install Erosion Control Blanket (ECB) on all slopes with 3:1 slope or greater. ECB shall be Landlok CS2 or approved equal.
- Provide temporary silt fencing at all pipe entrances until all site seeding and sodding has been established. Maintain as necessary.
- Immediately remove sediments or other materials tracked onto public roadways.
- Provide and maintain stabilized roadway construction entrance (or entrances as may be required).
- Coordinate site grading with existing and proposed utilities.
- Stock pile waste excavation materials away from existing channels and grade to drain.
- Remove silt build up in basin and verify grade prior to final seeding, lining or rip-rap installation and clean up.
- All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Standards and Specifications adopted by the City of Lee's Summit, MoDOT, MoDNR or other governing agency and good engineering practices.
- Silt fences, whether straw bales or filter fabric, require maintenance to preserve their effectiveness. All silt fences shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs shall be made immediately. When sediment deposits reach approximately one-half the height of the silt fence, the sediment shall be removed or a second silt fence shall be installed. All costs associated with this work, including related incidentals, shall be the contractor's responsibility and shall be included in the bid for the proposed work.

WATER NOTES:

- Reference MEP Plans to confirm fire protection main size (if required), domestic water and meter sizes. If a discrepancy exists between the Plans contact the Engineer prior to ordering material.
- Domestic water shall be 2-inch "K" copper conforming to the latest federal specifications or cross-linked polyethylene (PEX) meeting current City Code.
- Minimum cover for water lines shall be 42 inches.
- Install fittings as required maximum pipe deflection per manufacturers recommendations.
- Install 2-inch water meter at property line (on private property side).
- All water service installation, including back-flow devices, are subject to field verification and approval by City inspector.

REFERENCE DOCUMENTS & DRAWINGS:

Contractor shall reference the following documents prior to beginning Work

- SWPPP and Missouri DNR Land Disturbance Permit
- Architectural Plans (including but not limited to MEP and Structural Plans)
- Standard drawings and work details supplied by Panera
- Landlord Work Order list from Star Development Corp

STORM NOTES:

- All HDPE pipe shall be Water-Tight
- All High Density Polyethylene (HDPE) pipe shall conform to AASHTO M294 Type S. Acceptable pipe must come from a Plastic Pipe Institute (PPI) certified manufacturer and have passed the PPI 3rd Party Certification testing. Each individual section of pipe shall be marked in accordance with AASHTO M294 and shall be affixed with the PPI Certification label. HDPE pipe shall be joined with water tight joints meeting the requirements of AASHTO M294 Paragraph 7.9.3.
- Pipe lengths are from inside face to inside face.
- End sections for HDPE pipe shall be metal with concrete toe wall unless noted otherwise.

ELECTRIC:

- Contractor to coordinate with Every Electric for electrical service.
- Contractor to coordinate with Every Electric for location of transformer pad and transformer if required.

GAS:

- Contractor to coordinate with Spire for gas service, and location of meter.

TELEPHONE:

- Site contractor to install PVC conduit(s) for use by telephone company. Site contractor to coordinate with telephone company for installation of service and location of proposed pedestals, etc. Telephone conduit shall have a minimum cover of 30". Site contractor shall coordinate location with telephone company representative and locate PVC crossings as necessary. See building plans for entrance locations.

LEGEND

EXISTING

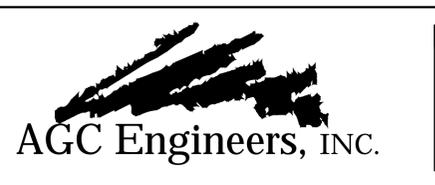
- ⊙ SET MONUMENT AS NOTED STAMPED LS 1999141096
- FOUND 1/2" REBAR LS 1989
- FOUND MONUMENT AS NOTED
- (M) MEASURED DISTANCE
- ⊙ CONTROL POINT
- DOWN GUY
- ⊙ FIRE HYDRANT
- ◇ LIGHT POLE
- ⊙ PP POWER POLE
- POST
- ⊙ MANHOLE
- ⊙ WATER VALVE
- B/L BUILDING LINE
- D/E DRAINAGE EASEMENT
- OHP- AERIAL UTILITY
- S/E SANITARY SEWER EASEMENT
- U/E UTILITY EASEMENT
- UGG- UNDERGROUND GAS
- UGP- UNDERGROUND POWER
- UGT- UNDERGROUND TELEPHONE
- UGW- UNDERGROUND WATER

PROPOSED

- SANITARY STRUCTURE
- SAN — SANITARY SEWER
- STORM STRUCTURE
- STORM SEWER
- W — WATERLINE
- WM WATER METER
- FIRE HYDRANT ASSEMBLY
- G — GAS LINE
- CO ○ CLEANOUT
- Ⓣ PARKING COUNT
- 780 — CONTOUR
- LIGHT POLE (SITE PARKING)
- D/E DRAINAGE EASEMENT
- GM GAS METER
- WM WATER METER
- E/E ELECTRIC EASEMENT
- U/E UTILITY EASEMENT
- B/L BUILDING LINE SETBACK
- MH MANHOLE
- R RADIUS OR RAMP (as it relates to sidewalks)
- L LANDING (as it relates to sidewalks)
- S/W or SW SIDEWALK
- AC AIR CONDITIONER
- MEP MECHANICAL, ELECTRICAL & PLUMBING
- WSD WATER SERVICES DEPARTMENT
- D.S. DOWN SPOUT
- TC TOP OF CURB
- G GROUND
- P PAVEMENT
- LP LOW POINT
- HP HIGH POINT

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BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
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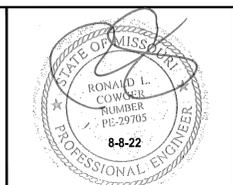


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Liberty, Missouri 64068

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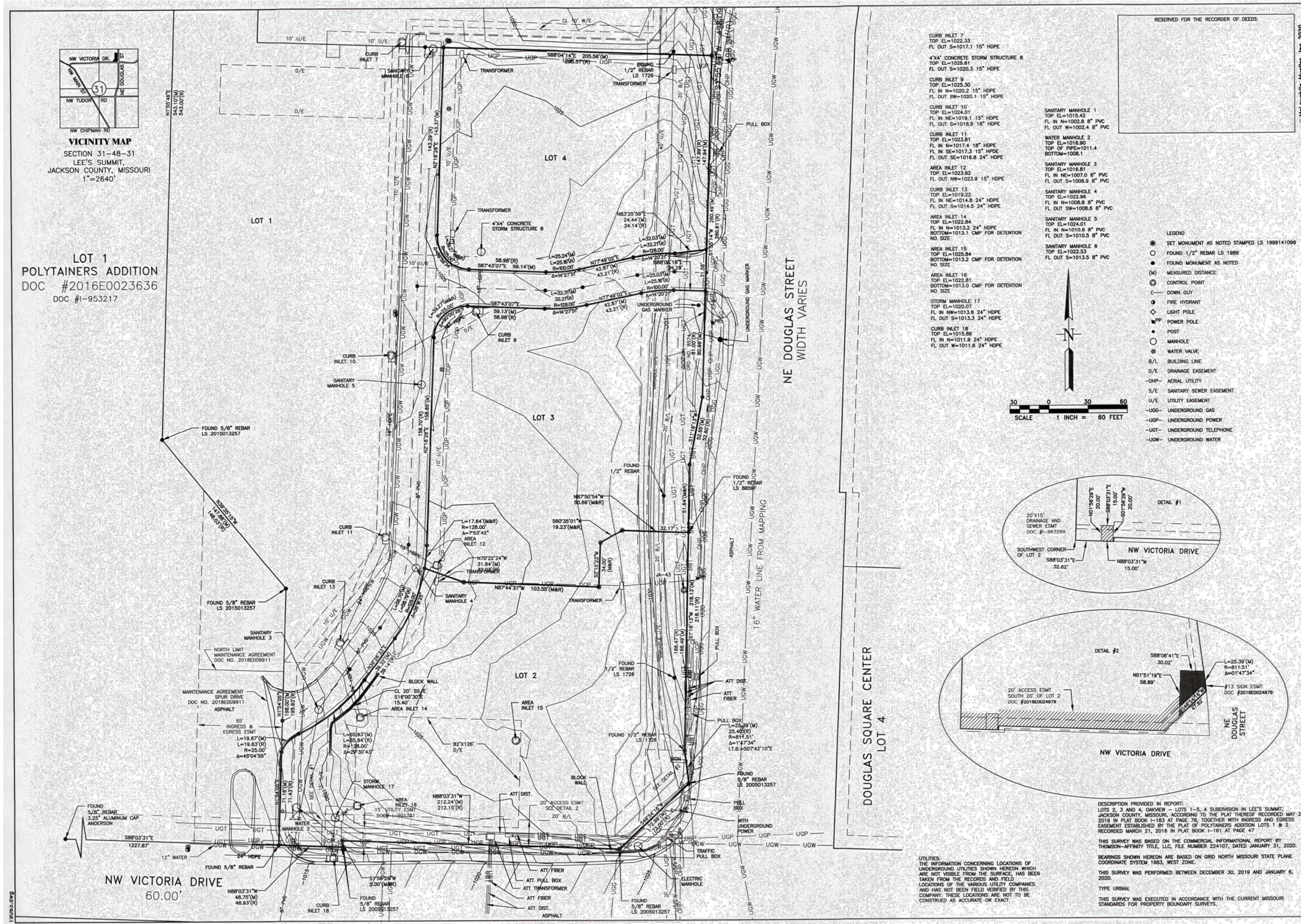
www.agcengineers.com



PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS	2
GENERAL NOTES & LEGEND	

N:\Land Projects\Site Development - Chikara (Lee's Summit) - Lot 2\Drawings\Drawings-Plans\Final Development Plans\GENERAL NOTES & LEGEND.dwg, GENERAL NOTES & LEGEND, 8/8/2022 2:03:19 PM, ANSI Full Size D (34.00 x 22.00 inches), 1:1



Project No. 19063
Sht. No. 1

MCLAUGHLIN MUELLER, INC.
Professional Land Surveyors
218 West Mill Street
Liberty, MO 64068
PH 816-407-0002
Corporation LS 1999141096

Designed By: MAM
Drawn By: MTW
Checked By: MAM
Approved By: MAM
Date: NOVEMBER 12, 2020

BOUNDARY AND TOPOGRAPHY SURVEY, LOTS 2, 3 AND 4, DANVIEW LOTS 1-3, SECTION 31, 40N, 93W, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BY MCLAUGHLIN MUELLER, INC.
MARTIN MUELLER, PLS 2487

RESERVED FOR THE RECORDER OF DEEDS

LEGEND

- SET MONUMENT AS NOTED STAMPED LS 1999141096
- FOUND 1/2" REBAR LS 1989
- FOUND MONUMENT AS NOTED
- (M) MEASURED DISTANCE
- ⊙ CONTROL POINT
- DOWN GUY
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- D/E DRAINAGE EASEMENT
- GHP AERIAL UTILITY
- S/E SANITARY SEWER EASEMENT
- U/E UTILITY EASEMENT
- UGG UNDERGROUND GAS
- UGP UNDERGROUND POWER
- UGT UNDERGROUND TELEPHONE
- UGW UNDERGROUND WATER

DESCRIPTION PROVIDED IN REPORT:
LOTS 2, 3 AND 4, DANVIEW - LOTS 1-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED MAY 24, 2019 IN PLAT BOOK 1-183 AT PAGE 78, TOGETHER WITH INGRESS AND EGRESS EASEMENT ESTABLISHED BY THE PLAT OF POLYTAIERS ADDITION LOTS 1 & 2 RECORDED MARCH 21, 2016 IN PLAT BOOK 1-181 AT PAGE 47

THIS SURVEY WAS BASED ON THE COMMERCIAL INFORMATIONAL REPORT BY THOMSON-AFFINITY TITLE, LLC, FILE NUMBER 224107, DATED JANUARY 31, 2020.

BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH MISSOURI STATE PLANE COORDINATE SYSTEM 1983, WEST ZONE.

THIS SURVEY WAS PERFORMED BETWEEN DECEMBER 30, 2019 AND JANUARY 6, 2020.

TYPE URBAN.

THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

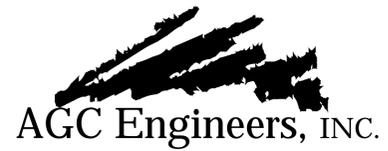
UTILITIES:
THE INFORMATION CONCERNING LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS AND FIELD LOCATIONS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN FIELD VERIFIED BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT.

VICINITY MAP
SECTION 31-48-31
LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI
1"=2640'

LOT 1
POLYTAIERS ADDITION
DOC #2016E0023636
DOC #I-953217

N:\Land Projects\Site Development - Lee's Summit - Lot 2\Drawings\Drawings\Final Development Plans\EXISTING CONDITIONS.dwg, EXISTING CONDITIONS, 8/29/2022 1:03:24 PM, ANSI, full bleed D (34.00 x 22.00 inches), 1:1

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SITE DEVELOPMENT PLANS
EXISTING CONDITIONS

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Development Services Department
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FINAL PLAT OF OAKVIEW - LOTS 1-5

A REPLAT OF LOT 2, "MINOR PLAT, POLYTAINERS ADDITION, LOTS 1 AND 2" AND PART OF NE DOUGLASS STREET ALL IN THE NE 1/4 OF SEC. 31-48-31 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

LOT #	AREA (SF)	ACRES
1	109,278.15	2.509
2	55,341.55	1.270
3	40,893.46	0.939
4	33,292.26	0.764
5	82,762.34	1.900

LEGAL DESCRIPTION:

A replat of Lot 2, "MINOR PLAT, POLYTAINERS ADDITION LOTS 1 & 2" and part of NE Douglas Street in the Northeast One-Quarter of Section 31, Township 48 North, Range 31 West, in the City of Lee's Summit, Jackson County, Missouri.

Beginning at the Northwest corner of said Lot 2; thence South 89 degrees 56 minutes 58 seconds East, along the North line of said Lot 2 and its Easterly extension a distance of 412.85 feet; thence South 00 degrees 03 minutes 20 seconds West a distance of 498.21 feet; thence South 09 degrees 15 minutes 24 seconds West a distance of 52.60 feet; thence South 00 degrees 35 minutes 03 seconds East a distance of 218.11 feet to a point of curvature on the East line of said Lot 2; thence Southeast along the East line of said Lot 2 on a curve to the right, having an initial tangent bearing of South 09 degrees 38 minutes 50 seconds East, a radius of 811.51 feet, a central angle of 01 degrees 47 minutes 38 seconds and an arc length of 25.40 feet; thence along the Southerly line of said Lot 2 for the following four courses, South 45 degrees 02 minutes 57 seconds West a distance of 73.00 feet; thence North 89 degrees 56 minutes 58 seconds West a distance of 212.15 feet; thence South 00 degrees 03 minutes 20 seconds West a distance of 5.00 feet; thence North 89 degrees 56 minutes 58 seconds West a distance of 48.93 feet to the Southwest Corner of said Lot 2; thence along the West line of said Lot 2 for the remaining three courses North 00 degrees 03 minutes 02 seconds East a distance of 185.93 feet; thence North 41 degrees 23 minutes 39 seconds West a distance of 148.03 feet; thence North 00 degrees 03 minutes 02 seconds East a distance of 543.00 feet to the Point of Beginning, and containing 7.3822 acres, more or less.

DEDICATIONS:

The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "OAKVIEW - LOTS 1-5".

STREETS: Roads and streets shown on this plat and not heretofore dedicated to public use as thoroughfares are hereby so dedicated.

EASEMENTS: An easement or license is hereby granted to the City of Lee's Summit, Missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and structures for, pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "UTILITY EASEMENT" or "UE" or within any street or thoroughfare dedicated to public use on this plat.

An easement or license is hereby granted to the City of Lee's Summit, Missouri to locate, construct and maintain or authorize the location, construction or maintenance and use of sanitary sewer pipes and structures upon, over and under the areas outlined and designated on this plat as "Sanitary Easement" or "S/E".

A private easement or license is hereby granted to all lots within this subdivision and to all future lots within this subdivision to locate, construct and maintain, or to authorize the location, construction and maintenance of water pipes or structures, upon, over, or under those areas outlined or designated upon this plat as "Water Easement" or "W/E".

A private easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of pipes, inlets, manholes, surface drainage facilities, underground detention and other similar facilities, upon, over and under those areas outlined and designated on this plat as "Detention Easement" or "D/E", is hereby granted to all lots within this subdivision and to all future lots within this subdivision.

A private easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, pipes, inlets, manholes, and other similar facilities, upon, over and under those areas outlined and designated on this plat as "Storm Sewer Easement" or "SSE", is hereby granted to all lots within this subdivision and to all future lots within this subdivision.

A perpetual easement of access upon, over and under those areas outlined and designated on this plat as "Private Access Easement" or "A/E" is hereby granted to all lots within this subdivision and to all future lots within this subdivision to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of private streets and similar facilities. Said areas are also reserved for the ingress and access of all owners within this plat, and the owners of future lots within this subdivision and their occupants, guests, and invitees.

Grantors, on behalf of themselves, their heirs, their assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, Section 527.188 RSMo. (2006) any right to request restoration of rights previously transferred and vacation of the easements herein granted.

SURVEYORS NOTES:

- Bearings are based on the North line of the NE 1/4, Sec. 31-48-31W (S89°56'58"E) as shown on the final plats of "LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1" and "POLYTAINERS ADDITION LOTS 1 & 2." The coordinates shown are Missouri West State Plane Values derived from Monument JA-43 and do not reflect the bearings and distances shown on the face of this plat.
- Monumentation will be set upon completion of the construction activities within this plat or within 12 months following the recording of this plat, whichever is earlier. Four permanent monuments will be set as shown. 1/2" rebar with caps will be set as shown and at all corners.
- FLOOD NOTE: This Property does not lie within a Flood Zone as shown on the Flood Insurance Rate Map 2609C0409G, Dated 1/20/2017.
- OIL AND GAS WELL NOTE: There was no Oil or Gas Wells located on property per Missouri Department of Natural Resources Oil and Gas Permits website.
- Sign Easement and Access Easement by 1400 Douglas Corporation recorded in Document No. 2016E0024979.

I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION BASED ON A FIELD SURVEY PERFORMED ON 07-05-2019 AND THAT SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS. THE DETAILS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
09/14/2022

OWNER/DEVELOPER:
OAK VIEW LEES SUMMIT LLC
201 HAWKS RIDGE TRAIL
COLLEEVILLE TX 76034
PH: 214-460-8442

SCHLAGEL & ASSOCIATES, P.A.
Engineers • Planners • Surveyors • Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400

DATE 04-08-2019
DRAWN BY JWT
CHECKED BY AR
PROJ. NO. 17-135

FINAL PLAT
OAKVIEW-LOTS 1-5
REPLAT LOT 2, POLYTAINERS ADD
SHEET NO. 1 OF 1



MISSOURI STATE PLANE COORDINATES
OF 1983 MISSOURI WEST ZONE,
2003 ADJUSTMENT
REFERENCE MONUMENT: JA-43
GRID FACTOR 0.9998981
COORDINATES LISTED IN U.S. FEET
NORTHING EASTING
JA-43 1008449.1270 2823205.6104

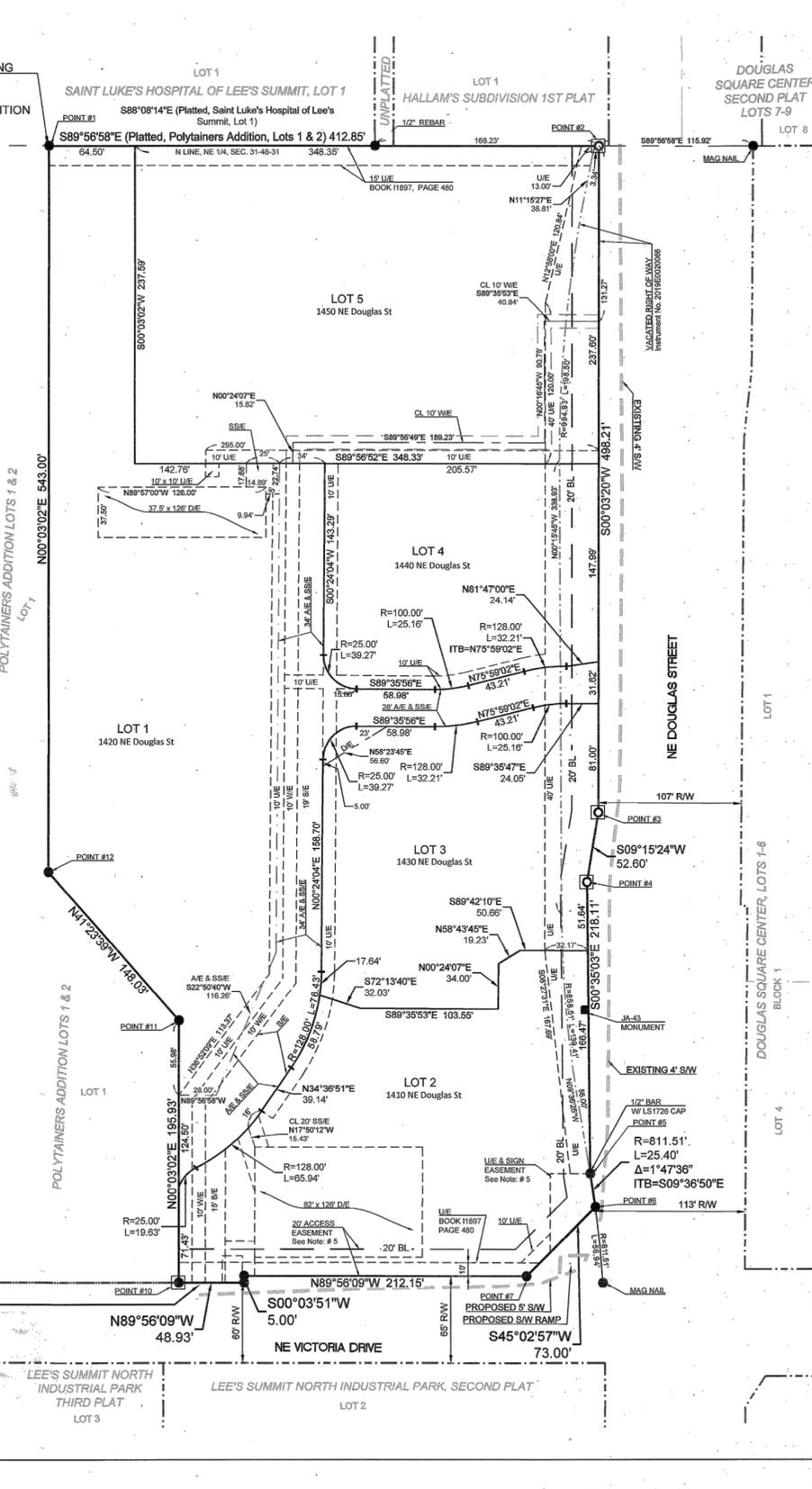
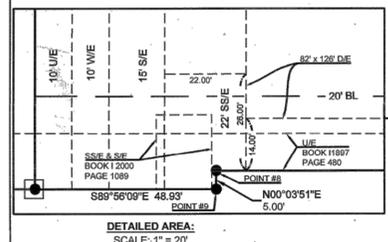
COORDINATE LIST

Point #	Northing	Easting
1	1009607.92	2822824.57
2	1009594.01	2823237.19
3	1009098.08	2823220.38
4	1009044.48	2823210.20
5	1008826.42	2823205.27
6	1008801.20	2823208.29
7	1008751.34	2823154.97
8	1008758.54	2822942.94
9	1008753.55	2822942.77
10	1008755.21	2822893.87
11	1008951.03	2822900.47
12	1009065.23	2822806.28

- LEGEND:**
- BL - BUILDING LINE
 - RW - RIGHT-OF-WAY
 - EXISTING LOT AND PROPERTY LINES
 - - - EXISTING PLAT AND RW LINES
 - A/E - ACCESS EASEMENT
 - D/E - DETENTION EASEMENT
 - S/E - SANITARY SEWER EASEMENT
 - SS/E - STORM SEWER EASEMENT
 - UE - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - SIDEWALK

- FOUND MONUMENT AS NOTED
- FOUND 1/2" REBAR W/ BARTLETT WEST CAP UNLESS OTHERWISE NOTED
- SET 1/2" REBAR W/LS-8859-F CAP UNLESS OTHERWISE NOTED

- PERMANENT MONUMENTS**
- SET 2" ALUMINUM CAP W/ MO LS20022008859 IN 4" MIN. DIAMETER CONCRETE
 - SET 2" ALUMINUM CAP W/ MO LS20022008859 AND 4" DIAMETER CONCRETE ON FOUND 5/8 BAR.



N.T.S. SIZE HAS BEEN REDUCED

BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

AGC Engineers, INC.

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fax 792.3666

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PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
FINAL PLAT

3A

SITE DATA:

- ZONING:** CP-2
- LOT SIZE:** 1.32 ACRES
- BUILDING:** 1 STORY BUILDING, 3,557 SF FOOTPRINT AREA
- PARKING SUMMARY:** REQUIRED: 14 STALLS PER 1,000 SF - 50 STALLS
PROVIDED: 48 STALLS + 2 ADA STALLS - TOTAL 50 STALLS
- PERCENT IMPERVIOUS:** 65%
- FLOOR AREA RATIO (FAR):** 0.07
- THERE IS NO FEMA DESIGNATED 1% FLOODPLAIN ON THIS PROPERTY.

LEGEND:

- ADA PEDESTRIAN ROUTE
- ⬡ PARKING STALL COUNTS

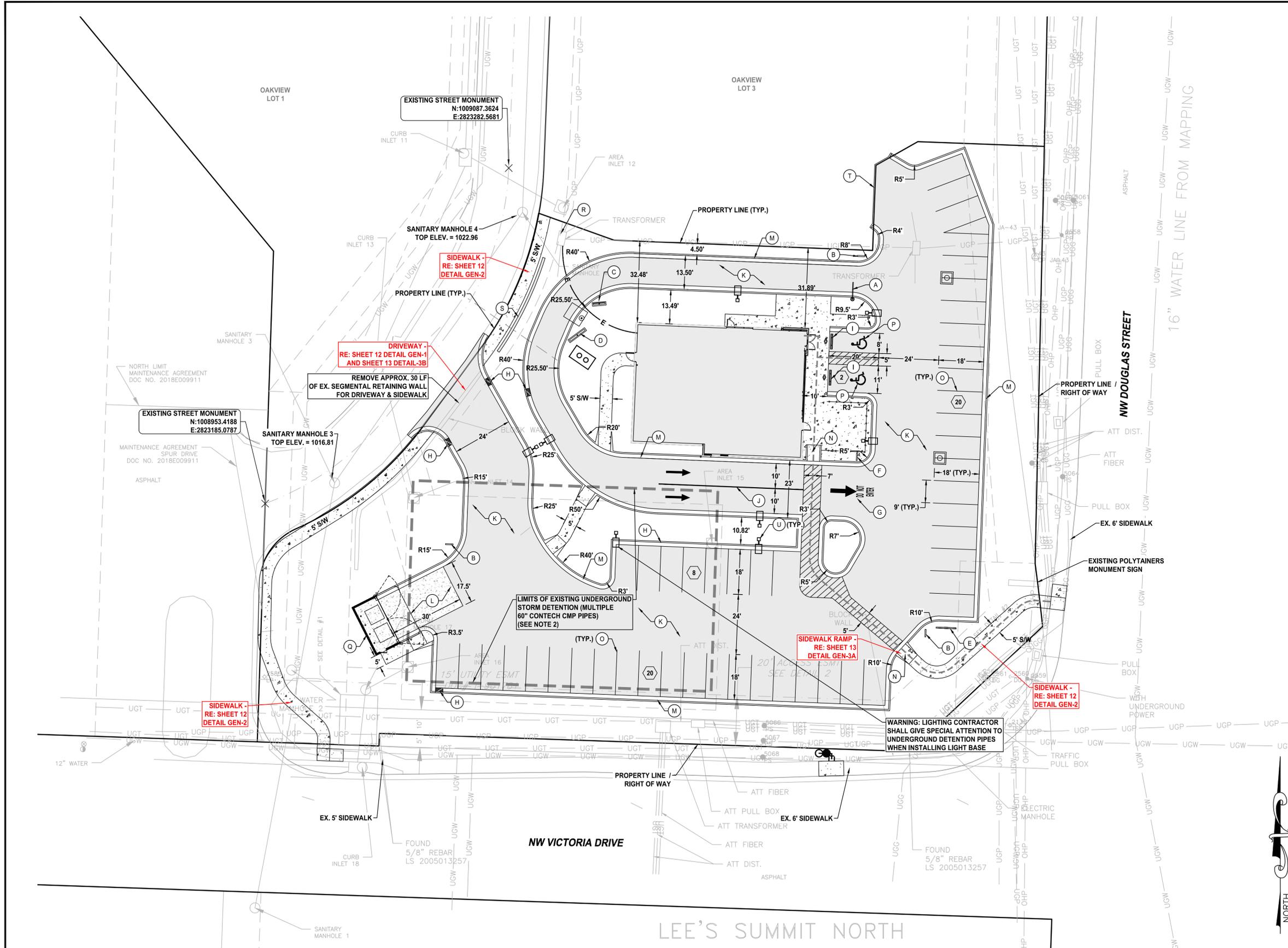
KEY LEGEND

- Ⓐ CLEARANCE BAR (SEE NOTE 1)
- Ⓑ DIRECTIONAL SIGNAGE (SEE NOTE 1)
- Ⓒ PREVIEW BOARD (SEE NOTE 1)
- Ⓓ MENU SIGN (SEE NOTE 1)
- Ⓔ MONUMENT SIGN (SEE NOTE 1)
- Ⓕ "THANK YOU / DO NOT ENTER" SIGN (SEE NOTE 1)
- Ⓖ PAVEMENT MARKING "DO NOT ENTER" 12" BLOCK LETTERING (YELLOW)
- Ⓗ CURB INLET - 2'X3' NYLOPLAST
- Ⓘ CONCRETE WHEEL STOP
- Ⓙ DRIVE THRU STRIPING - 4" YELLOW
- Ⓚ NORMAL DUTY CONCRETE
- Ⓛ HEAVY DUTY CONCRETE
- Ⓜ CG-1 CURB & GUTTER (RE: SPOT ELEVATION PLANS)
- Ⓝ ADA RAMP
- Ⓞ PARKING STRIPING - 4" YELLOW
- Ⓟ STRIPING - (RE: ADA ACCESSIBLE STRIPING LAYOUT)
- Ⓠ TRASH ENCLOSURE (RE: ARCH)
- Ⓡ EXISTING ELECTRICAL TRANSFORMER
- Ⓢ SEGMENTAL RETAINING WALL
- Ⓣ C-1 CONCRETE CURB
- Ⓤ LIGHT POLE (RE: MEP)

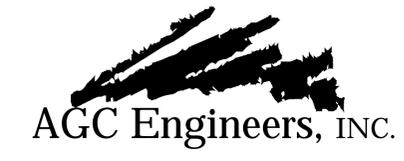
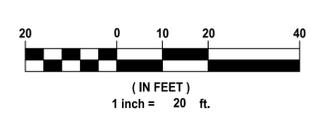
NOTE:

- ALL SIGNAGE IS TO BE PROVIDED BY PANERA WITH THEIR TENANT FINISH. CONTRACTOR SHALL COORDINATE WITH AUTHORIZED PANERA REPRESENTATIVE ABOUT DETAILS AND CONDUIT REQUIREMENTS PRIOR TO PAVING.
- CONTRACTOR SHALL EXERCISE CAUTION WITH CONSTRUCTION EQUIPMENT LOADS AND EXCAVATIONS IN THIS AREA. SEE SHT 14 FOR SPECIAL DETAIL FOR WORK WITHIN THIS AREA. CONTRACTOR, OWNER, AND ENGINEER SHALL HAVE A PRE-CONSTRUCTION MEETING WITH PAUL FLYNN, CONTECH ENGINEERED SOLUTIONS,(785-207-9721) PRIOR TO BEGINNING WORK IN THIS AREA.

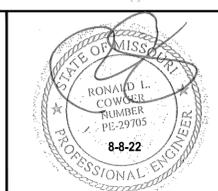
RELEASED FOR CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
09/14/2022



BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
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RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



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PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

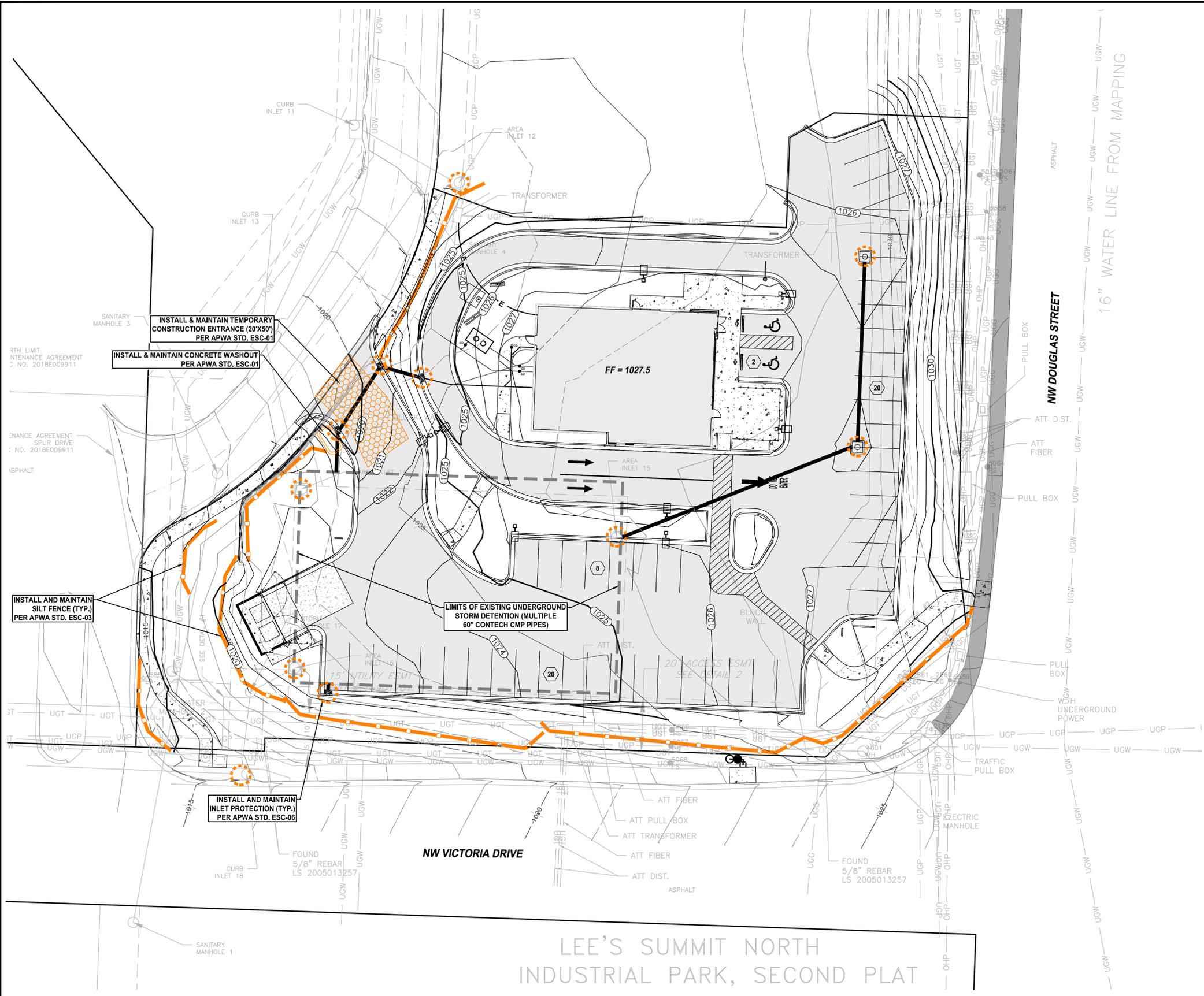
SITE DEVELOPMENT PLANS

SITE PLAN

4

N:\Land Projects\Site Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings\PhaseFinal Development\PhaseSite Plans\Site Plan.dwg, SITE PLAN, 8/8/2022 2:03:51 PM, ANS (at lead) (14.00 x 22.00 inches), 1:1

N:\Land Projects\Site Development - Chelsea (Lee's Summit) - Lot 20\Drawings\Drawings\PhaseFinal Development\PhaseFinal Grading & Erosion Control Plan.dwg GRADING & EROSION CONTROL PLAN, ANSI (inches) D (14.00 x 22.00 inches), 1:1



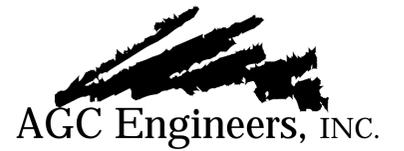
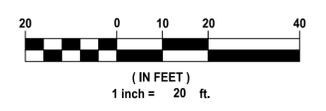
- LEGEND:**
- EROSION CONTROL**
-  INLET PROTECTION PER APWA STD. DWG ESC-06 OR ESC-07
 -  SILT FENCE PER APWA STD. DWG ESC-03

- NOTES:**
1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE BEFORE GRADING.
 2. REMOVE TEMPORARY BMPs AFTER PAVING IS COMPLETED AND PERMANENT GRASS IS ESTABLISHED.
 3. DISTURBED AREA = 1.05 AC



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Lee's Summit, Missouri
08/14/2022

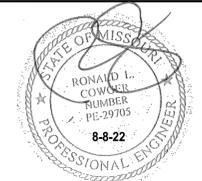
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



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PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
GRADING & EROSION CONTROL PLAN

5

N:\Land Projects\Site Development - Chelera (Lee's Summit) - Lot 20\Drawings\Drawings\PhaseFinal Development Plans\Grading Plan - CUT & FILL.dwg, GRADING PLAN - CUT & FILL, TCKS, 8/8/2022 2:04:12 PM, ANSB (Lot Area 2) (04.00x 22.00 inches), 11



LEGEND:

- CUT AREA (EXPRESSED IN FEET)
- + FILL AREA (EXPRESSED IN FEET)

NOTE:
CUT/FILL SHOWN IS TO FINISHED GRADE AND / OR TOP OF PAVEMENT

NW DOUGLAS STREET

16" WATER LINE FROM MAPPING

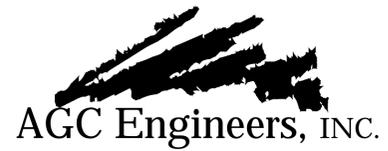
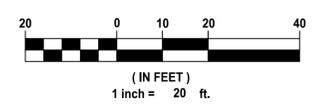
NW VICTORIA DRIVE

LEE'S SUMMIT NORTH
INDUSTRIAL PARK SECOND PLAT



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CONSTRUCTION
As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
09/14/2022

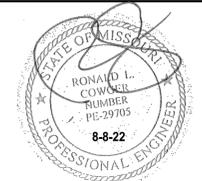
BY	REVISION	DATE
RCI/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RCI/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RCI/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RCI/ACA	FOR REVIEW	5-21-20



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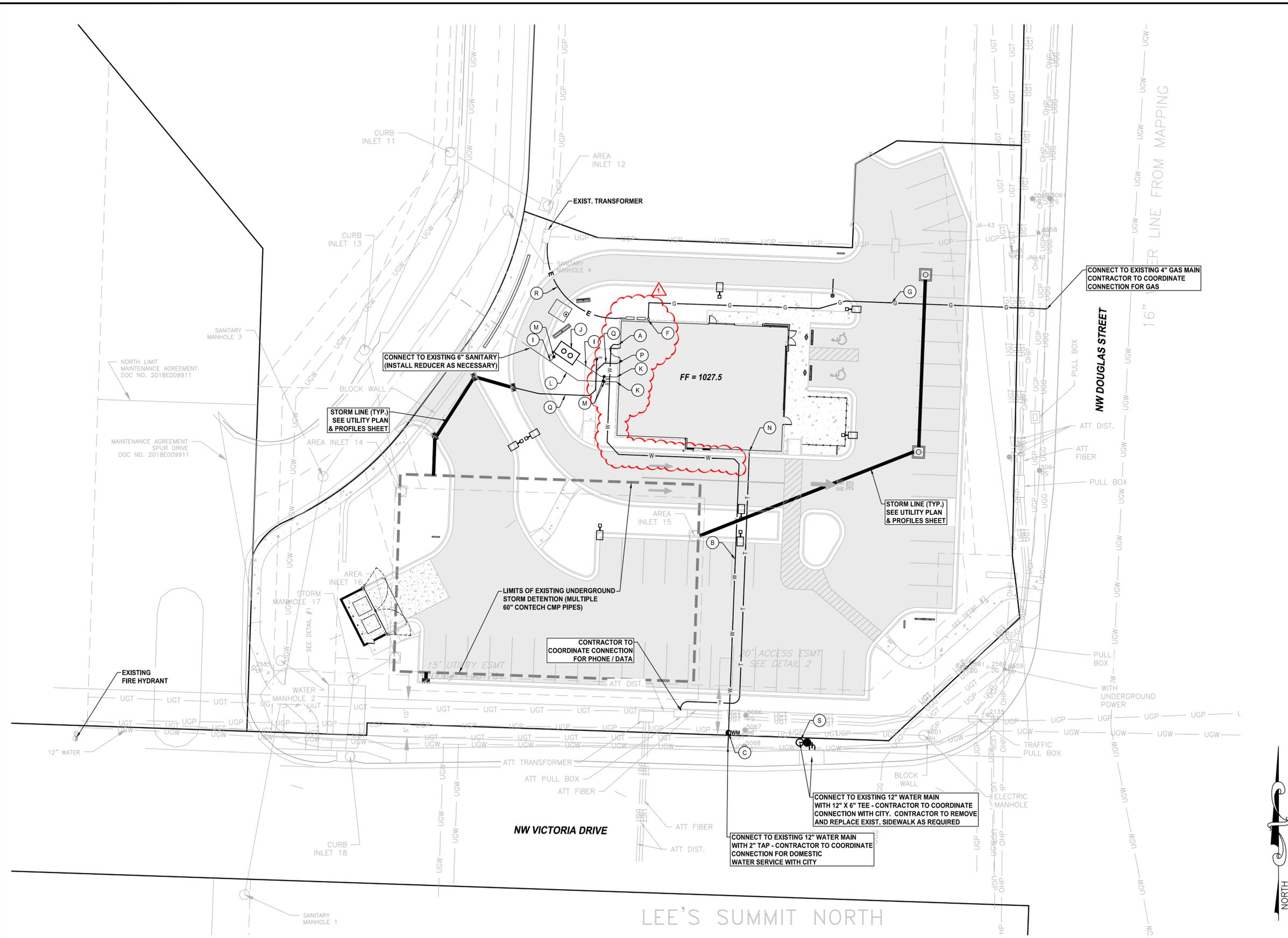


PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
GRADING PLAN - CUT & FILL

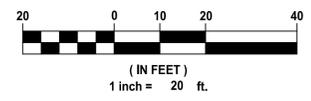
NOTE:
 CONTRACTOR SHALL COORDINATE WITH STAR DEVELOPMENT CORP. PRIOR TO BEGINNING UNDERGROUND UTILITIES TO VERIFY SPECIFIC TENANT REQUIREMENTS SUCH AS DOMESTIC WATER, METER AND FIRE LINE SIZES (IF APPLICABLE), CONDUITS TO / FROM MESSAGE BOARDS, AND GROUND LOOP DETECTION SYSTEMS

- KEY LEGEND**
- (A) DOMESTIC WATER ENTRY (RE: MEP)
 - (B) 2" DOMESTIC WATER LINE (CONFIRM WITH MEP PRIOR TO INSTALLATION)
 - (C) 2" WATER METER AND METER PIT
 - (D) NOT USED
 - (E) NOT USED
 - (F) GAS ENTRY (RE: MEP)
 - (G) 1" GAS LINE (RE: MEP FOR GAS SIZE AND MATERIAL)
 - (H) GREASE WASTE ENTRY (RE: MEP)
 - (I) 4" GREASE WASTE LINE
 - (J) 1500 GALLON GREASE INTERCEPTOR (RE: MEP)
 - (K) SANITARY SEWER ENTRY (RE: MEP)
 - (L) 4" SANITARY SEWER LINE (2% MIN. SLOPE)
 - (M) CLEANOUT
 - (N) PHONE / DATA SERVICE ENTRY (RE: ARCH)
 - (O) ELECTRICAL TRANSFORMER (RE: MEP)
 - (P) INTERNAL ROOF DRAINAGE CONNECTION (RE: ARCH / MEP)
 - (Q) 6" PVC DOWNSPOUT STORM LINE (MIN. 4% SLOPE)
 - (R) ELECTRIC TO BUILDING
 - (S) FIRE HYDRANT ASSEMBLY



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BY	REVISION	DATE
RC/ACA	COORDINATION REVISIONS WITH MEP / ARCHITECT	9-6-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



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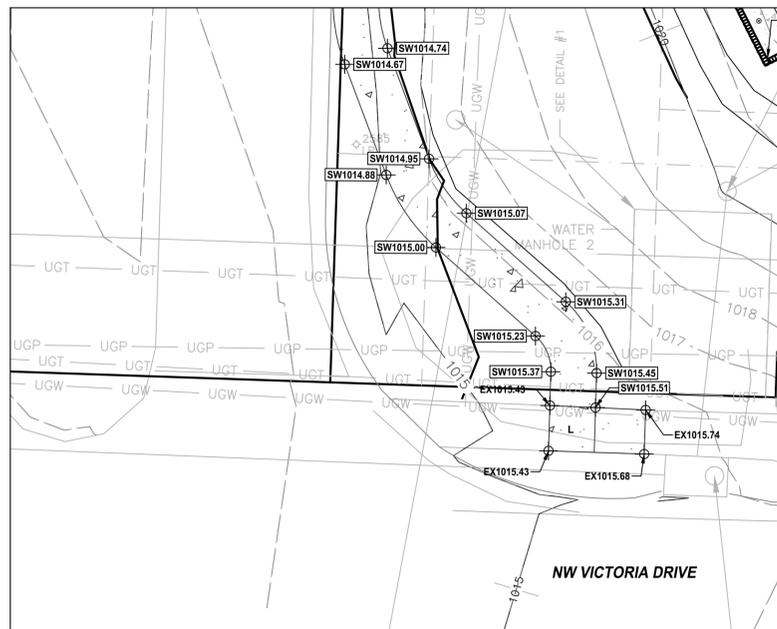
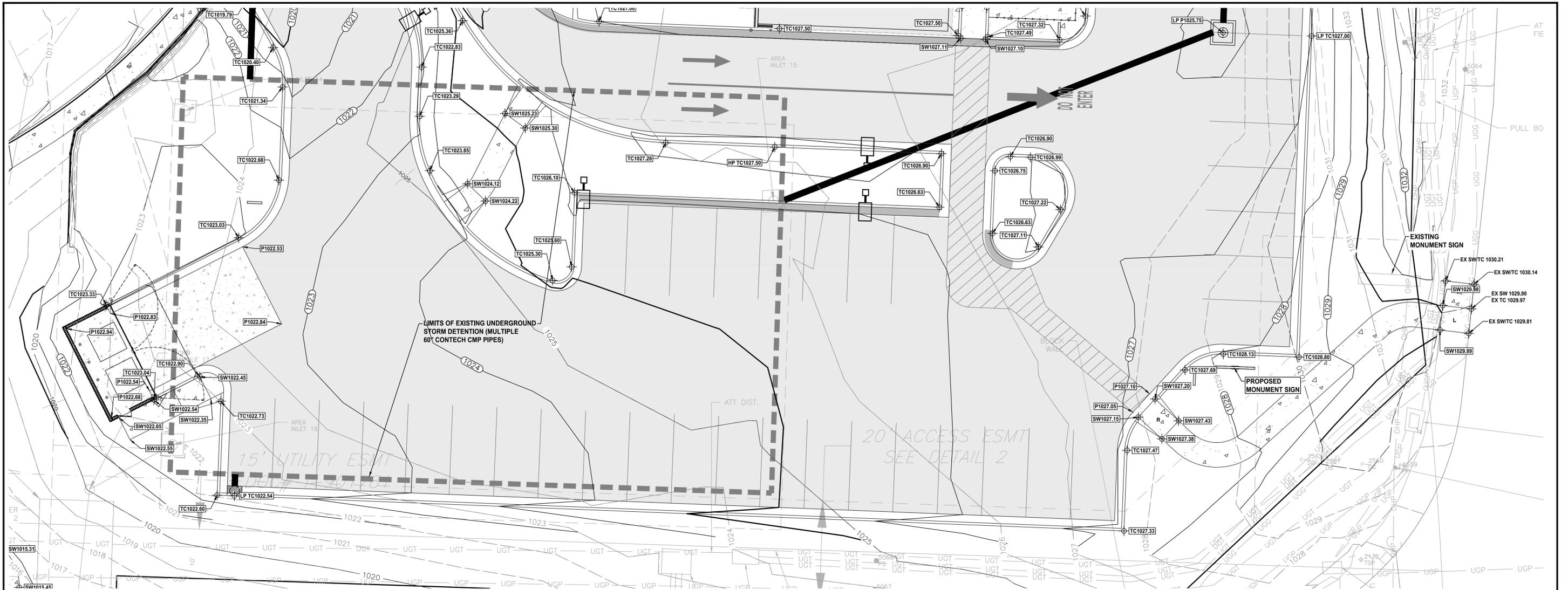


PANERA BREAD BAKERY - CAFE
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
UTILITY PLAN

7

N:\Land Projects\Site Development - Chelsea (Lee's Summit) - Lot 20\Drawings\Drawings\Final Development Plans\SPOT ELEVATION PLAN.dwg, SPOT ELEVATION PLAN (3, 8/2/2022 2:04:42 PM, ANS) (Sheet D (14.00 x 22.00 Inches), 1:1

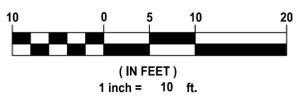


EXISTING		PROPOSED	
⊕ EX800	EXISTING GROUND ELEVATION	⊕ SW800	SIDEWALK ELEVATION
⊕ G800	GROUND ELEVATION	⊕ SWTC800	SIDEWALK/TOP OF CURB
⊕ P800	PAVEMENT ELEVATION	⊕ SWP800	SIDEWALK/TOP OF PAVEMENT
⊕ TC800	TOP OF CURB ELEVATION	====	CG-1 CURB AND GUTTER
⊕ TW800	TOP OF WALL ELEVATION	=====	CG-1 MODIFIED CURB AND GUTTER
⊕ LP800	LOW POINT	R	RAMP - 1:12 MAX. LONGITUDINAL SLOPE 2% MAX. CROSS SLOPE
⊕ HP800	HIGH POINT	L	LANDING - 2.0% MAX ANY DIRECTION
		T	TRANSITION
		---	GRADE BREAK

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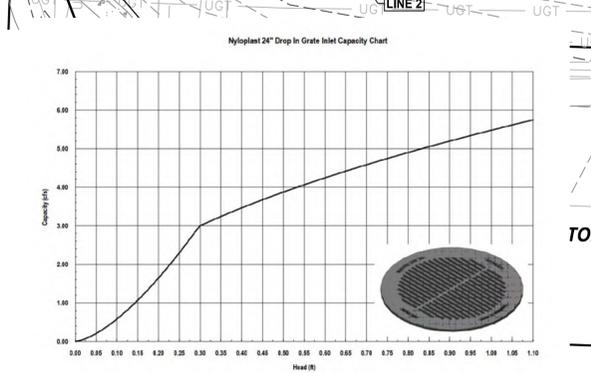
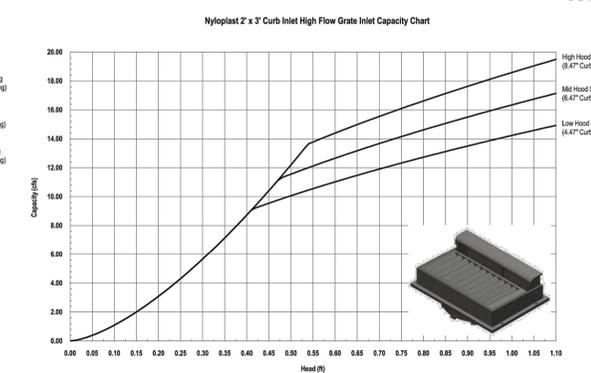
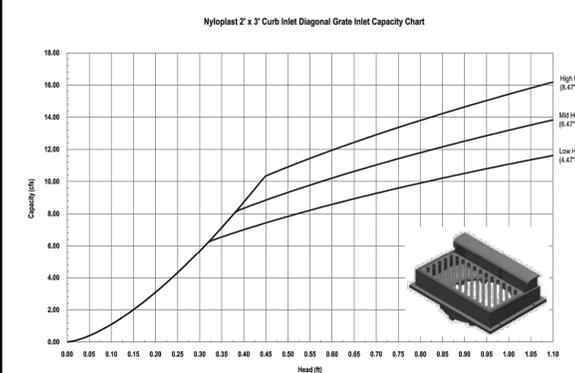
PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
SPOT ELEVATION PLAN

CURB INLET DESIGN TABLE																								
Return Frequency 10 yr										Return Frequency 100 yr														
Inlet Struct. #	Overland Flow (ft)					Gutter Flow (ft)					Inlet Capacity					Inlet Capacity								
	L	S	C	n	K	L	S	C	n	K	Q	W	D	Depth	Area	Q	W	D	Depth	Area				
11	20	2	0.9	50	6	0.014	1.28	0.09	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	7.1	-6.8	6	3	4.00	3.20	-2.87
12	15	2	0.9	50	6	0.014	1.11	0.10	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	7.1	-6.8	6	3	4.00	3.20	-2.84
13	10	2	0.9	100	2	0.014	0.91	0.30	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	4.1	-3.2	3	6.00	4.80	-5.87	
21	25	2	0.9	100	2	0.014	1.43	0.57	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	4.1	-1.9	3	6.00	4.80	-2.55	
15	90	1	0.9	10	1	0.014	3.42	0.04	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	4.1	-1.9	3	6.00	4.80	-2.55	
40	90	1	0.9	10	1	0.014	3.42	0.04	5.00	1.00	0.3	28	1	10.5	2.08	0.24	1.04	4.1	-1.9	3	6.00	4.80	-2.55	

PIPE DESIGN TABLE																							
Return Frequency 10 yr										Return Frequency 100 yr													
Line	Inlet Struct. #	Pipe	Pipe Capacity					Pipe Capacity					Pipe Capacity										
			Q	W	D	Depth	Area	Q	W	D	Depth	Area	Q	W	D	Depth	Area						
1	15	CI	5.00	5.00	1.00	0.90	7.35	0.04	0.04	0.3	6	0.012	2.00	0.9	4.4	3.9	1.3	0.19	1.00	0.23	0.03	500	0.19%
14	MH	NA	7.16	1.00	0.90	0.74	0	0.08	0.5	6	0.012	2.00	0.9	4.4	4.5	2.5	0.27	0.50	0.16	0.05	500	0.03%	
13	CI	5.00	0.91	1.00	0.90	0.29	0.14	0.22	1.2	15	0.012	23.11	33.7	27.5	13.0	1.0	0.16	0.50	1.31	0.01	16	0.03%	
12	CI	5.00	0.94	1.00	0.90	0.29	0.14	0.26	1.5	15	0.012	25.7	11.2	9.2	6.3	1.2	0.30	0.50	0.31	0.01	29	0.04%	
11	CI	5.00	0.91	1.00	0.90	0.27	0.05	0.31	1.7	15	0.012	1.00	7.0	5.7	4.7	1.4	0.43	0.50	0.17	0.02	16	0.09%	
2	21	CI	5.00	5.00	1.00	0.90	7.35	0.34	0.34	2.3	15	0.012	1.00	7.0	5.7	5.0	1.8	0.48	1.00	0.39	0.05	4	0.10%
3	31	AI	1.56	1.56	1.00	0.90	8.60	0.18	0.18	1.4	15	0.012	1.00	7.0	5.7	4.4	1.1	0.38	1.00	0.31	0.02	72	0.04%
30	AI	1.61	1.83	1.00	0.90	8.48	0.18	0.36	2.7	15	0.012	1.00	7.0	5.7	5.3	2.2	0.54	0.50	0.22	0.04	97	0.15%	
4	40	CI	5.00	5.00	1.00	0.90	7.35	0.04	0.04	0.3	6	0.012	2.00	0.9	4.4	3.9	1.3	0.19	1.00	0.23	0.03	500	0.19%

PIPE DESIGN TABLE																							
Return Frequency 100 yr										Return Frequency 100 yr													
Line	Inlet Struct. #	Pipe	Pipe Capacity					Pipe Capacity					Pipe Capacity										
			Q	W	D	Depth	Area	Q	W	D	Depth	Area	Q	W	D	Depth	Area						
1	15	CI	5.00	5.00	1.25	0.90	10.32	0.04	0.04	0.5	6	0.012	2.00	0.9	4.4	4.5	2.4	0.26	1.0	0.3	0.09	500	0.19%
14	MH	NA	7.16	1.25	0.90	0.50	0	0.08	0.9	6	0.012	2.00	0.9	4.4	5.0	4.4	0.41	0.5	0.2	0.15	500	0.03%	
13	CI	5.00	0.91	1.25	0.90	0.68	0.14	0.22	1.2	15	0.012	23.11	33.7	27.5	15.3	1.8	0.21	0.5	1.8	0.02	16	0.10%	
12	CI	5.00	0.94	1.25	0.90	0.68	0.14	0.26	1.5	15	0.012	25.7	11.2	9.2	7.4	2.1	0.40	0.5	0.4	0.03	29	0.14%	
11	CI	5.00	0.91	1.25	0.90	0.65	0.05	0.31	3.1	15	0.012	1.00	7.0	5.7	5.5	2.5	0.58	0.5	0.2	0.05	16	0.19%	
2	21	CI	5.00	5.00	1.25	0.90	10.32	0.34	0.34	3.9	15	0.012	1.00	7.0	5.7	5.9	3.2	0.66	1.0	0.5	0.16	4	0.32%
3	31	AI	1.56	1.56	1.25	0.90	11.99	0.18	0.18	2.4	15	0.012	1.00	7.0	5.7	5.2	2.0	0.50	1.0	0.4	0.06	72	0.12%
30	AI	1.61	1.83	1.25	0.90	11.84	0.18	0.36	4.8	15	0.012	1.00	7.0	5.7	6.1	3.9	0.75	0.5	0.3	0.12	97	0.47%	
4	40	CI	5.00	5.00	1.25	0.90	10.32	0.04	0.04	0.5	6	0.012	2.00	0.9	4.4	4.5	2.4	0.26	1.0	0.3	0.09	500	0.58%



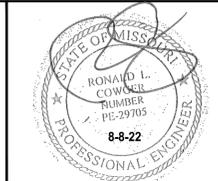
Nyloplast
3130 Verona Avenue - Buford, GA 30518
(866) 884-8470 | (770) 932-2443 | Fax: (770) 932-2460
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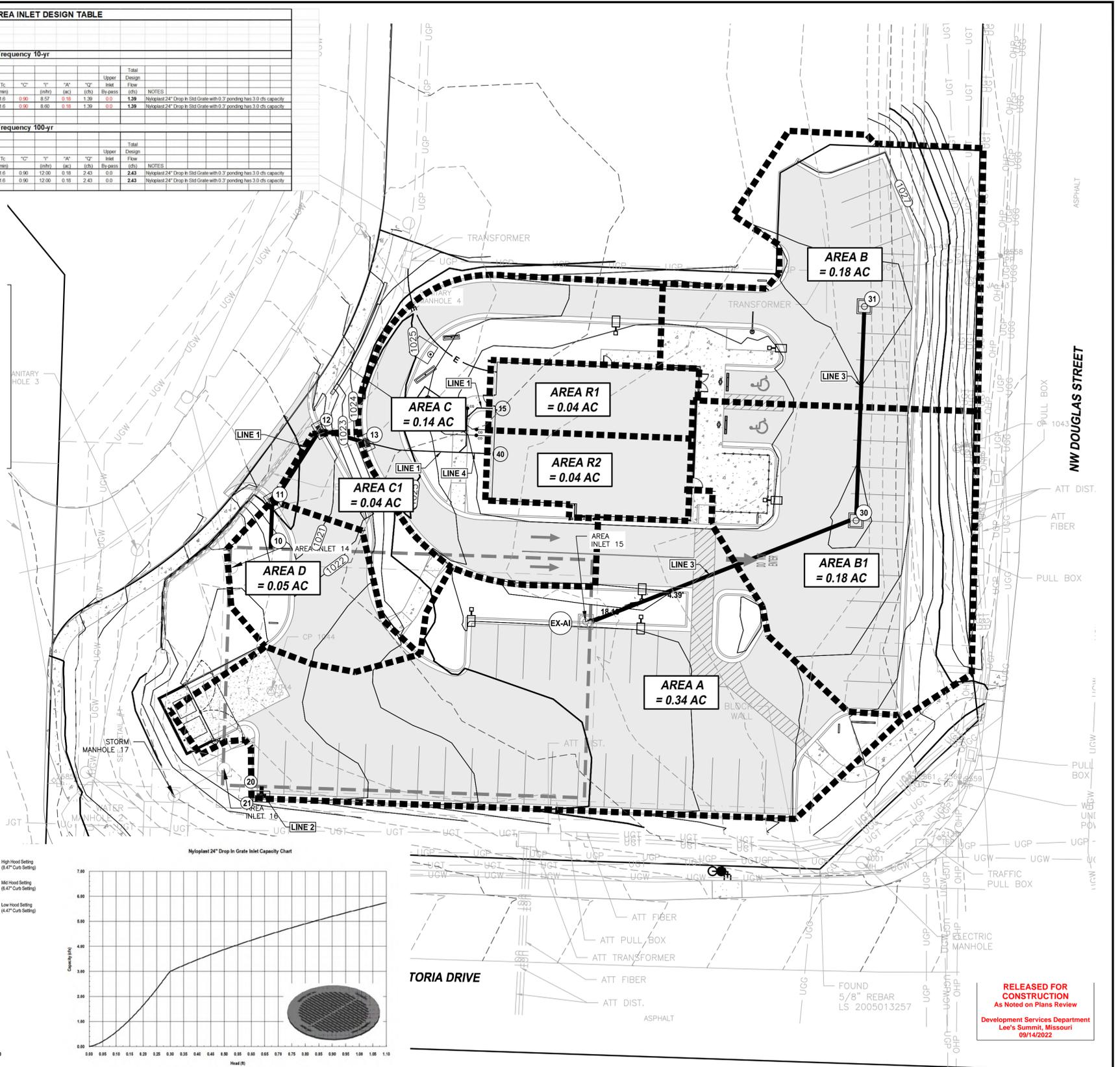
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

AGC Engineers, INC.

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LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITE DEVELOPMENT PLANS
DRAINAGE AREA MAP & CALCULATIONS

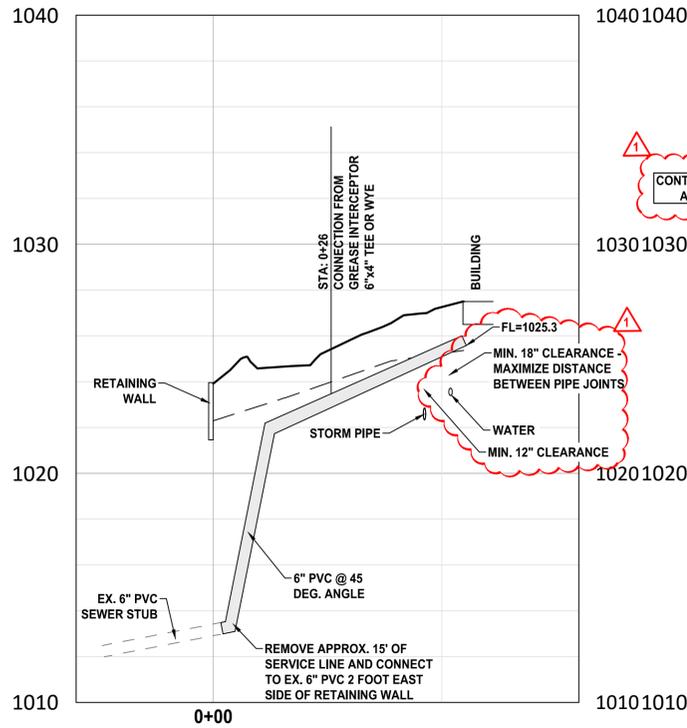


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Lee's Summit, Missouri
09/14/2022

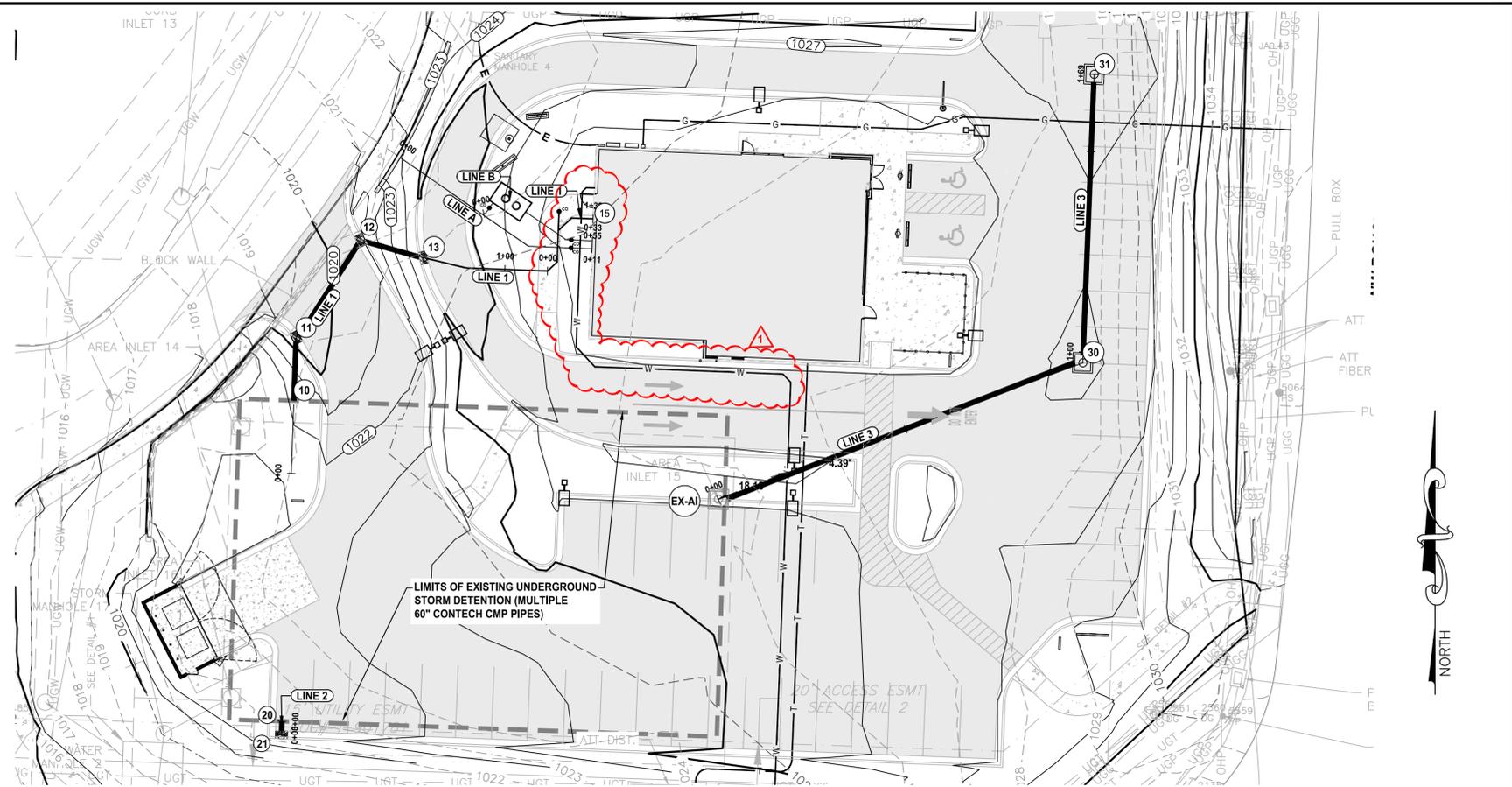
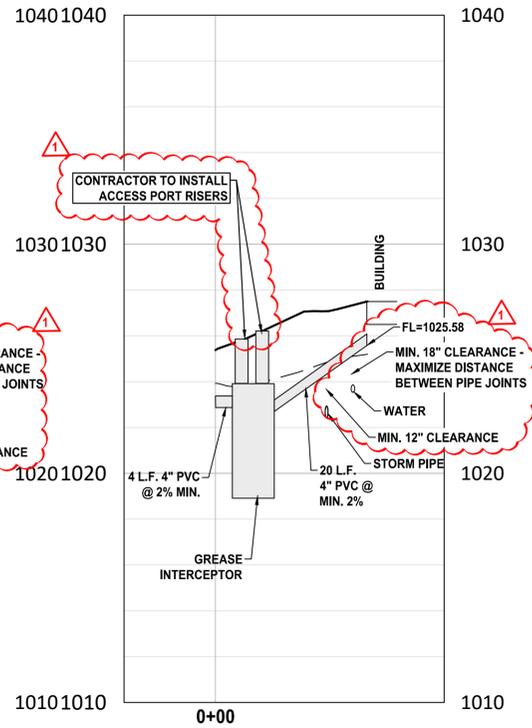
LEE'S SUMMIT NORTH
INDUSTRIAL PARK. SECOND PLAT

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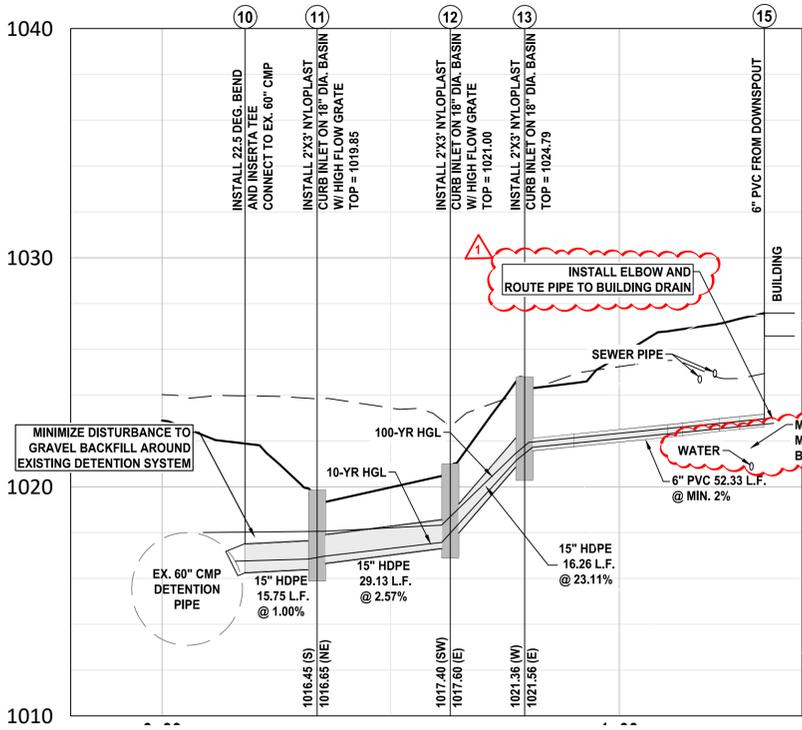
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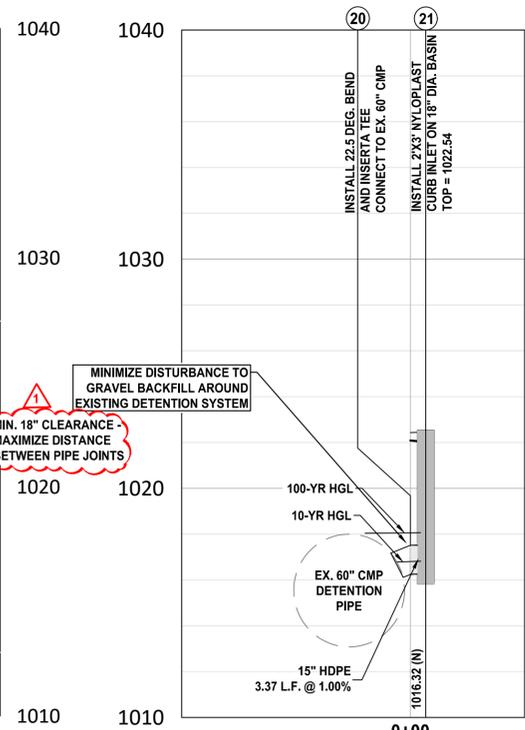
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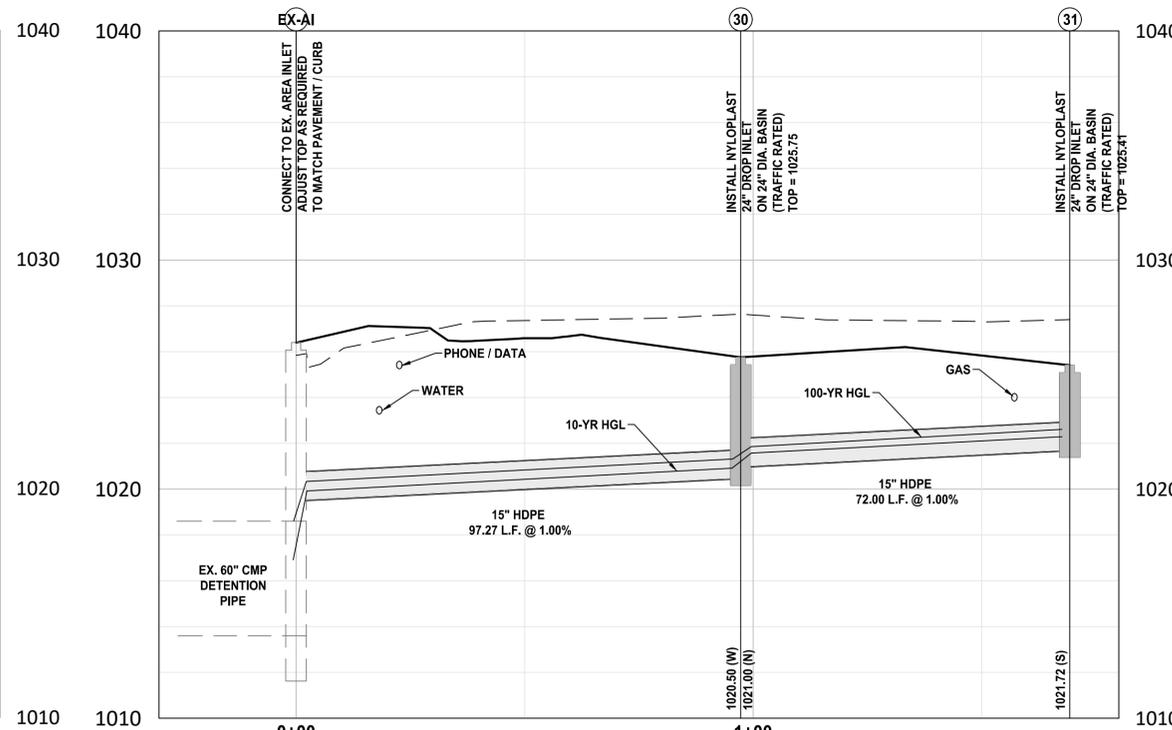
STORM LINE 1



STORM LINE 2

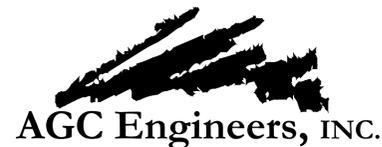
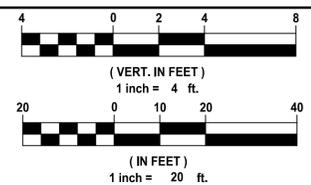


STORM LINE 3

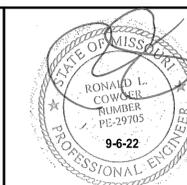


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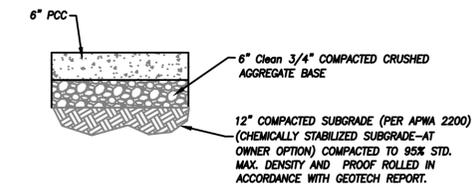
BY	REVISION	DATE
RC/ACA	COORDINATION REVISIONS WITH MEP / ARCHITECT	9-6-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
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RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



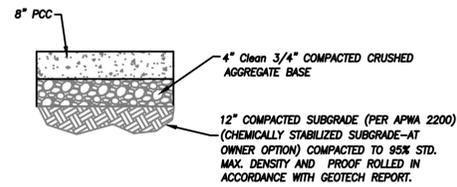
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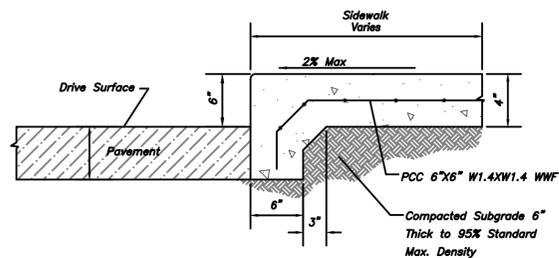
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LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITE DEVELOPMENT PLANS
UTILITY PLAN & PROFILES



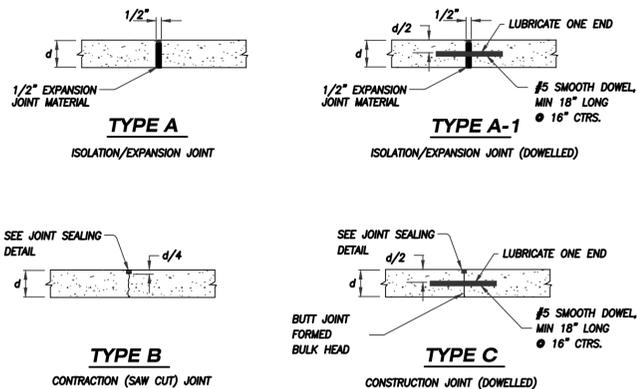
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NOT TO SCALE



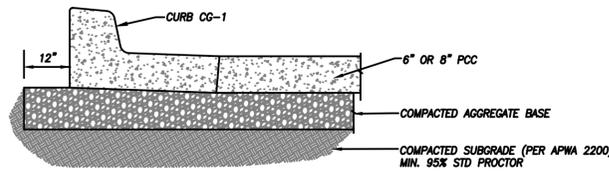
HEAVY DUTY CONCRETE SECTION
NOT TO SCALE



INTEGRAL SIDEWALK / CURB DETAIL
NOT TO SCALE

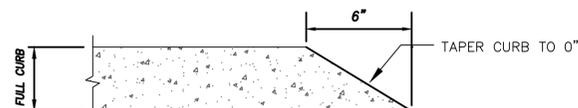


CONCRETE JOINT DETAILS
NOT TO SCALE



- EXTEND BASE SECTION 12" BEHIND CURB
- SEE PAVEMENT SECTIONS FOR TYPE & THICKNESS

CURB & GUTTER BASE SECTION
NOT TO SCALE



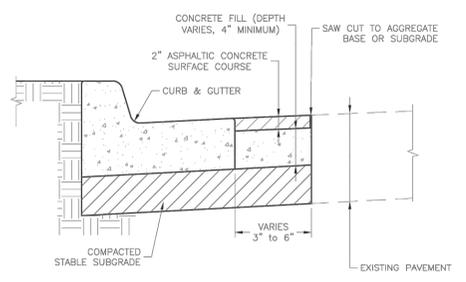
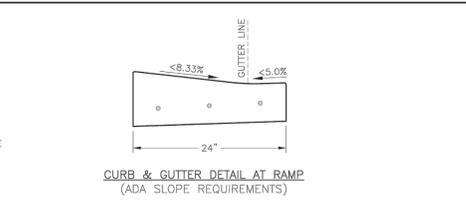
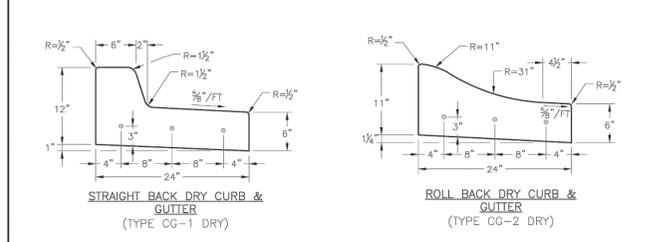
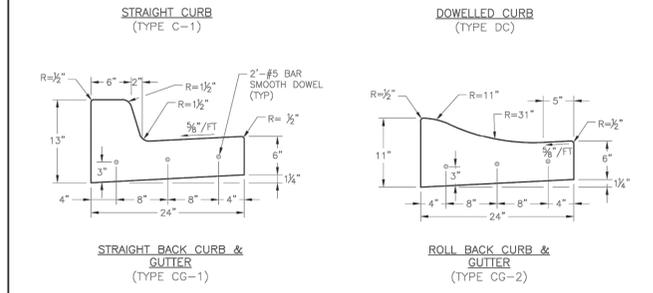
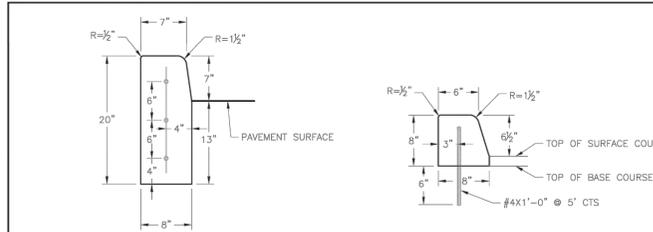
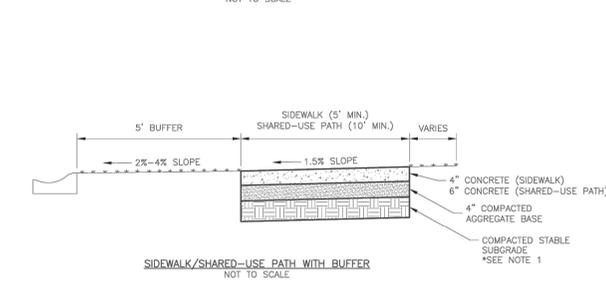
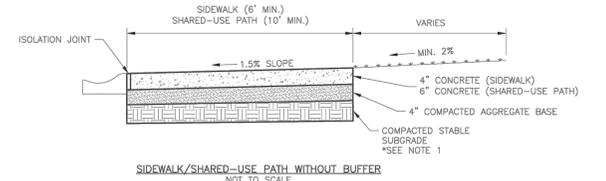
CURB TERMINATION DETAIL
NOT TO SCALE

- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KCMBB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
 - ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 - AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
 - AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
 - SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

GEN-2

Date: 06/20/21
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Checked By: DL

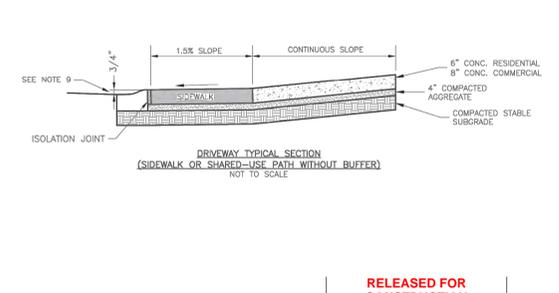
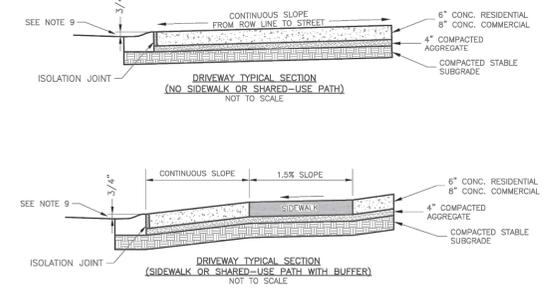
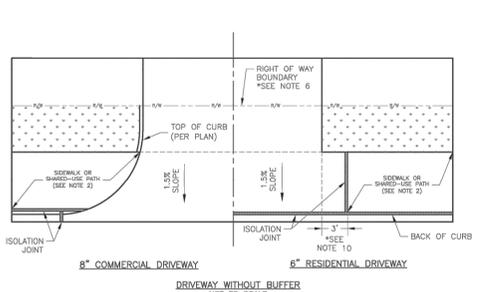
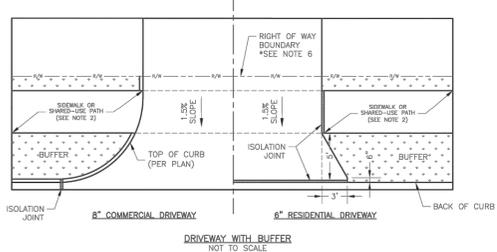


- CURB REPLACEMENT DETAIL**
GENERAL NOTES
- 3/4" ISOLATION JOINTS WITH 3 (2"-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 - KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 - ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

LEE'S SUMMIT MISSOURI
STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4

Drawn By: MFE
Checked By: DL
Date: 06/20/21
Proj #: 21-001



- GENERAL NOTES:**
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-3B, SIDEWALK/SHARED-USE PATH RAMP AT DRIVEWAY DETAIL).
 - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
 - KCMBB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
 - COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMBB 4K CONCRETE MIX.
 - RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMBB 4K CONCRETE MIX IS RECOMMENDED, OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
 - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 - 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
 - SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3" FROM THE DRIVEWAY.
 - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

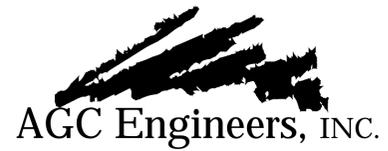
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Development Services Department
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LEE'S SUMMIT MISSOURI
STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

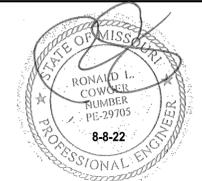
GEN-1

Drawn By: MFE
Checked By: DL
Date: 06/20/21
Proj #: 21-001

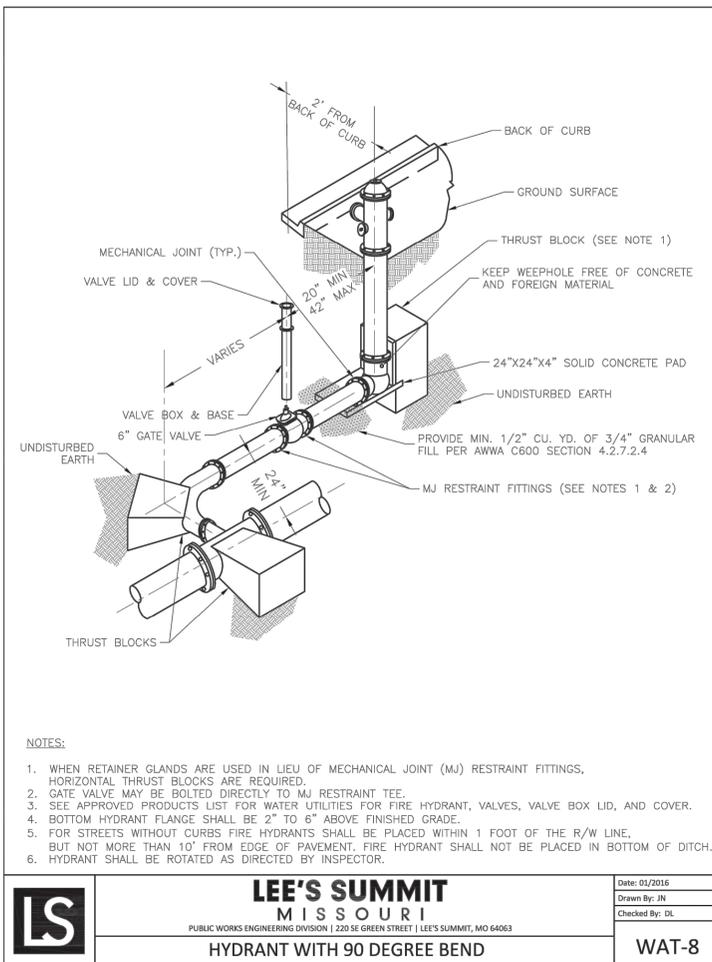
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS	8-8-22
RC/ACA	FOR REVIEW PER CITY COMMENTS	7-25-22
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RC/ACA	FOR REVIEW	5-21-20



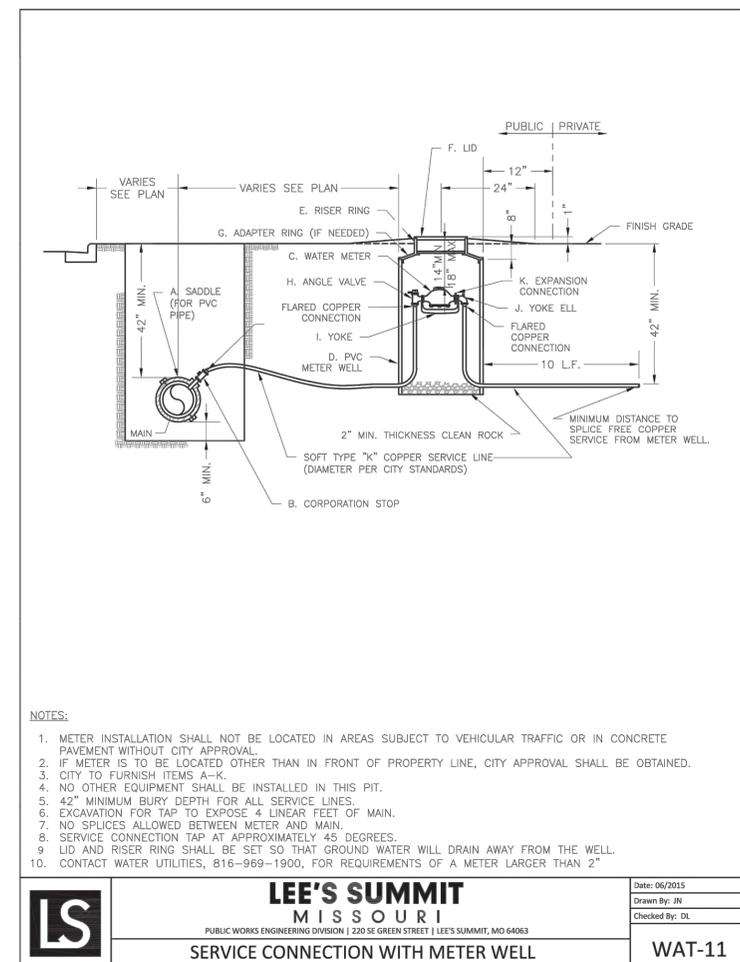
405 S. Leonard St., Suite D
Liberty, Missouri 64068
816.781.4200
fax 792.3666
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PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITE DEVELOPMENT PLANS
DETAILS



LS	LEE'S SUMMIT MISSOURI	Date: 01/2016
	<small>PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063</small>	Drawn By: JN Checked By: DL
HYDRANT WITH 90 DEGREE BEND		WAT-8

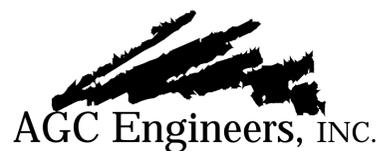


LS	LEE'S SUMMIT MISSOURI	Date: 06/2015
	<small>PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063</small>	Drawn By: JN Checked By: DL
SERVICE CONNECTION WITH METER WELL		WAT-11

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Lee's Summit, Missouri
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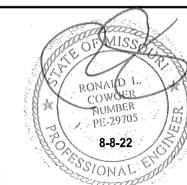
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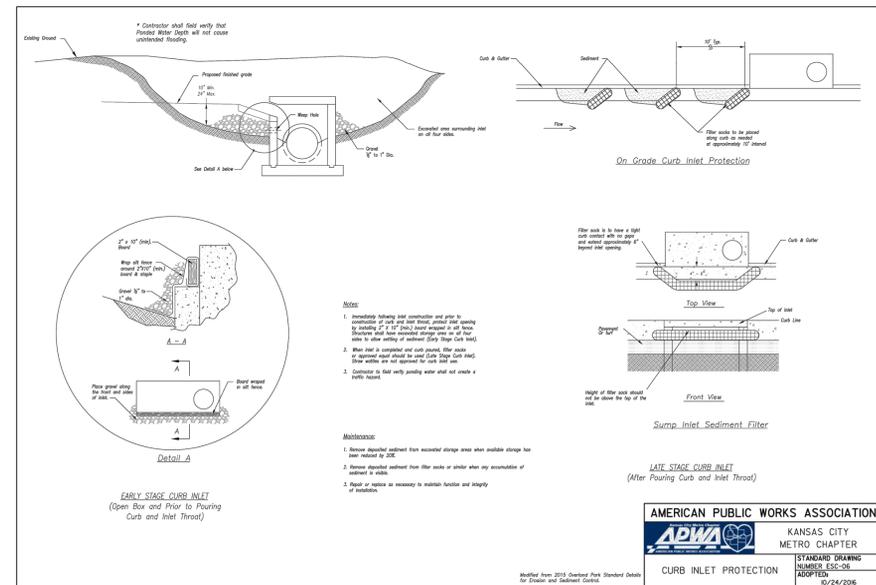
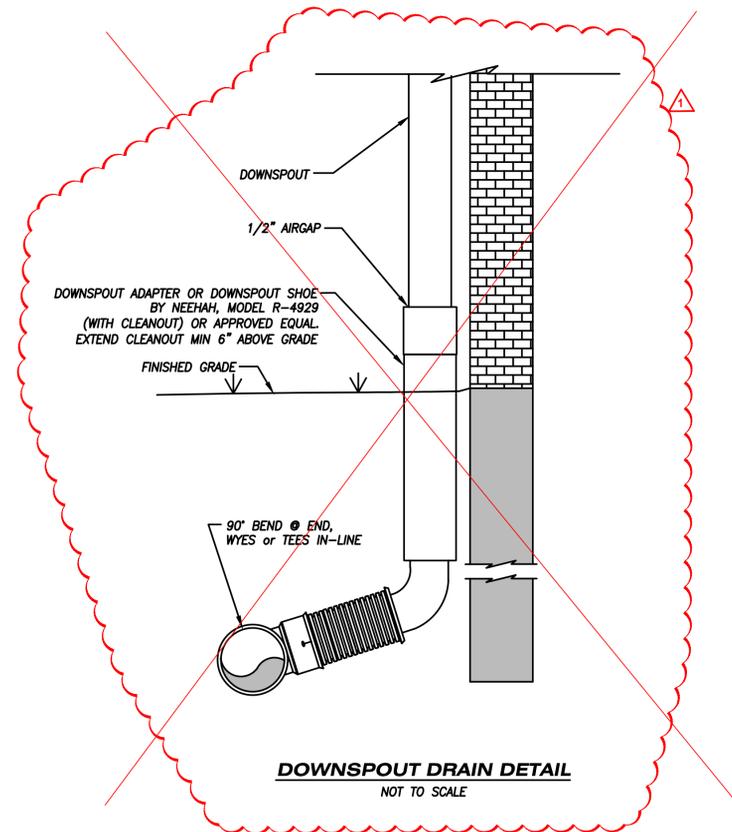
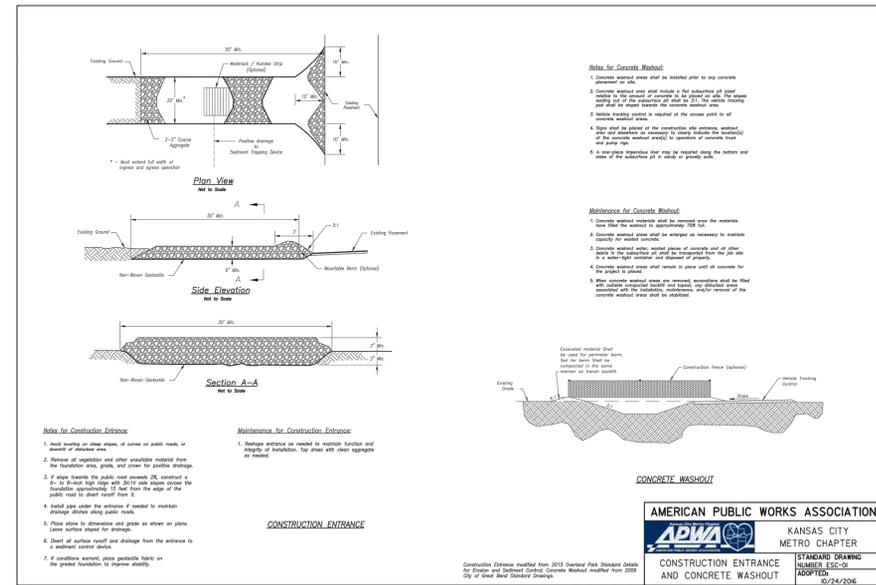
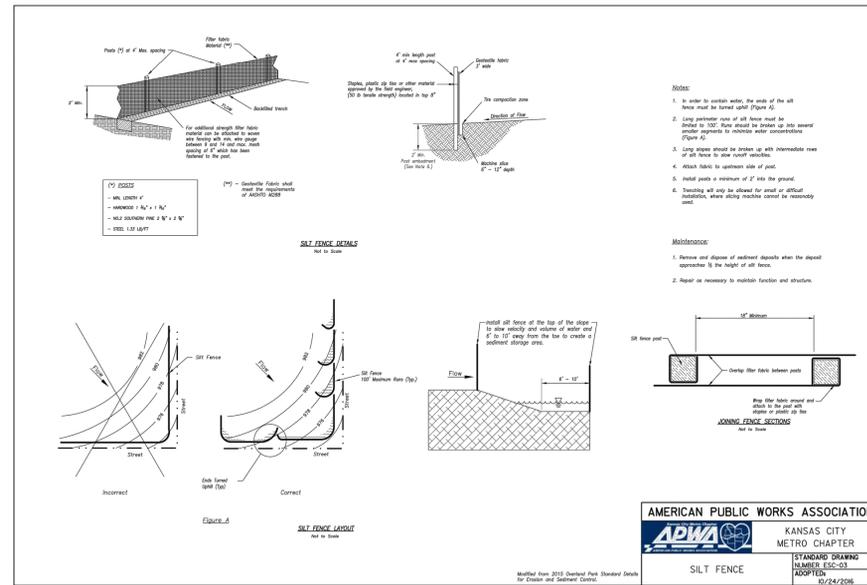
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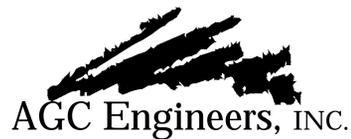
SITE DEVELOPMENT PLANS	15
DETAILS	

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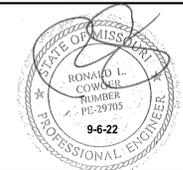


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LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITE DEVELOPMENT PLANS
DETAILS

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