FINAL DEVELOPMENT PLAN FOR MACADOODLES 1499 SW MARKET STREET

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W

(1" = 2000')

VICINITY MAP

SECTION S17-T447N-R31W

GENERAL NOTES:

- 1. EXISTING TOPOGRAPHIC INFORMATION SHOWN IS 2. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S
- DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

PROJECT SPECIFICATIONS:

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE

- 1. THE CITY OF LEE'S SUMMIT. MISSOURI

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE INCORPORATED HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.



UTILITY CONTACTS:

SANITARY & WATER: CITY OF LEE'S SUMMIT JEFF THORN

1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 PHONE (816) 969-1900

STREETS:

CITY OF LEE'S SUMMIT MICHAEL PARK 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PHONE (816) 275-1550 PHONE (816) 969-1800

<u>EVERGY:</u> DOUG DAVIN

1300 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 PHONE (816) 347-4320

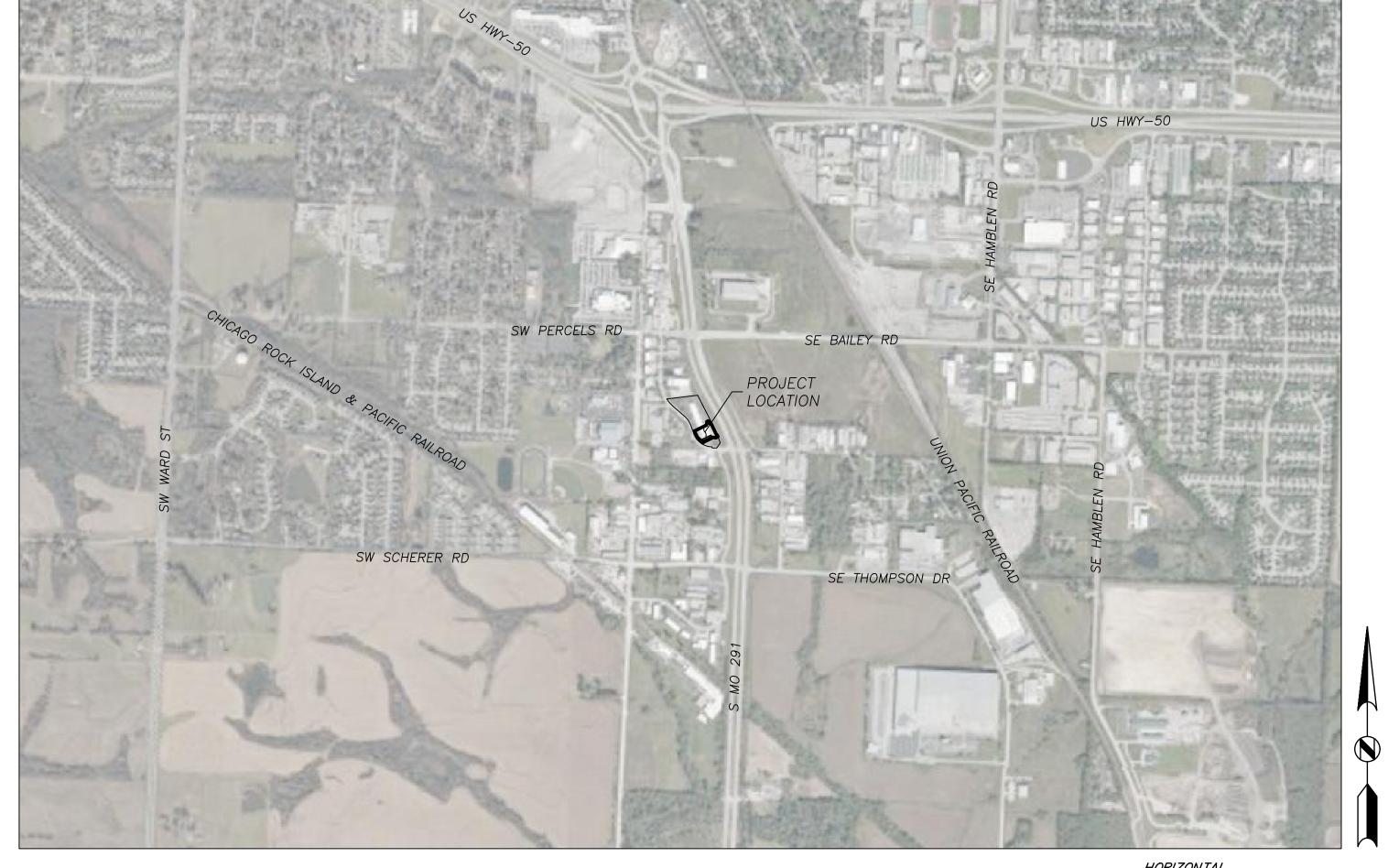
STORMWATER:

CITY OF LEE'S SUMMIT PUBLIC WORKS 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 PHONE (816) 969-1800

RONALD GIPFERT 500 E 8TH STREET KANSAS CITY, MO 64106

<u>MISSOURI GAS ENERGY:</u> RICHARD FROCK

3025 SW CLOVER DRIVE LEE'S SUMMIT, MO 64082 PHONE (816) 472-3489



LEGAL DESCRIPTION:

LOT 12-A, SOUTH PORT BUSINESS PARK, LOTS 12-A, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

OIL AND GAS WELL NOTES:

NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES, PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) PERMITTED OIL AND GAS DATABASE, ACCESSED JUNE 2, 2022.

HISTORIC INFORMATION:

THIS STRUCTURE IS NOT LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

THIS SITE NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE, ACCESSED JUNE 2, 2022.

LIMITS OF DISTURBANCE: 0.19-AC

FEMA INFORMATION:

THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAPS 29095C0438G AND 29095C0419G: EFFECTIVE DATE OF JANUARY 1, 2017. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

WATERSHED:

THIS SITE IS LOCATED WITHIN THE BIG CREEK WASTERSHED.

PROJECT BENCHMARK AND CONTROL POINT **INFORMATION:**

DATE: 12/08/2022

BM #106 N: 992588.2894 E: 2824242.5881

ELEV: 1015.01 DESCRIPTION: SQUARE CUT IN THE SW CORNER OF A CURB INLET

N: 992920.8857 E: 2824381.2703

ELEV: 1029.91 DESCRIPTION: 3" REBAR WITH CONTROL POINT CAP

<u>CP #101</u> N: 992466.7998

E: 2824554.2690 ELEV: 1014.58 DESCRIPTION: 3" REBAR WITH CONTROL POINT CAP

<u>CP #104</u> N: 992672.7045

E: 2824175.3764 ELEV: 1015.87 DESCRIPTION: 3" REBAR WITH CONTROL POINT CAP

SHEET INDEX

CVR	COVER SHEET
C101	OVERVIEW
C102	SITE PLAN
C103	GRADING PLAN
<i>C104</i>	PHASE 1 EROSION CONTROL PLAN
C104	PHASE 2 EROSION CONTROL PLAN

SHEET TITLE

DETAILS I DETAILS II

ARCHITECT

D A GROUP, INCORPORATED 5400 JOHNSON DRIVE #149 MISSION, KS 66205 CONTACT: ROBERT DIAMOND. JR. AIA PHONE: 913-789-8665

OWNER

SOUTHPORT BUSINESS CENTER LLC 1485 SW MARKET STREET LEE'S SUMMIT, MO 64801 CONTACT: BERNELL RICE PHONE: 816-260-8604

SURVEYOR

SAM DEPRIEST, P.L.S. ANDERSON ENGINEERING, INC. 941 W 141ST TERRACE KANSAS CITY, MISSOURI 64145 PHONE: 816-777-0400

PREPARED & SUBMITTED BY:

ANDERSON ENGINEERING, INC. 941 W 141ST TERRACE KANSAS CITY, MISSOURI 64145 PHONE: 816-777-0400

CARLIE AKSAMIT, P.E MISSOURI PE-2021027777

APPROVED BY:

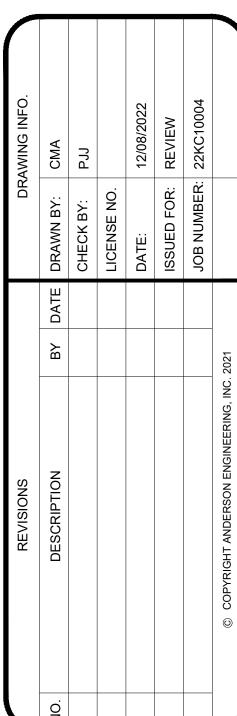
GOVERNING BODY

AUTHORIZING POSITION

DA TE

ER





CHURCH

CP-2 (PLANNED COMMUNITY COMMERCIAL)

PROPOSED USE

LIQUOR STORE

(APPROVED IN CP-2 ZONING PER CITY OF LEE'S SUMMIT UDO SEC. 6.040 TABLE 6-1).

SITE DATA

PARCEL AREA: 157,955 S.F. (3.63 AC) SITE AREA: 34,075 S.F. (0.78-AC)		
3/1E AREA. 34,073 3.F. (0.78-AC)		
PARCEL	EXISTING	<u>PROPOSED</u>
IMPERVIOUS AREA:	108,834 S.F. (68.9%)	109,846 S.F. (69.5%)
OPEN SPACE:	49,121 S.F. (31.1%)	48,109 S.F. (30.5%)
INCREASED IMPERVIOUS AREA	N/A	1,012 S.F. (+0.64%)
<u>BUILDING</u>		
TOTAL COMMERCIAL BUILDING AREA:	30,000 S.F.	SAME AS EXISTING
SITE BUILDING AREA:	12,000 S.F.	SAME AS EXISTING
HEIGHT:	30.52 FEET	SAME AS EXISTING
TOTAL COMMERCIAL BUILDING		
FLOOR AREA RATIO:	0.19 FAR (MAX 0.55 FAR	FOR CP-2 ZONING)
<u>PARKING</u>	SHOPPING CENTER*	
TOTAL STALL COUNT	<i>150</i>	<i>150</i>
ADA STALL COUNT	6 (1 VAN ACCESSIBLE)	5 (1 VAN ACCESSIBLE)

*FOR SHOPPING CENTERS BETWEEN 25,000 S.F. AND 399,999 S.F., 5 PARKING STALLS ARE REQUIRED PER 1,000 S.F. OF GROSS FLOOR AREA. FOR A 150-STALL PARKING LOT, THE

MINIMUM NUMBER OF ADA ACCESSIBLE STALLS IS FIVE (5) AND THE MINIMUM NUMBER OF ADA

VAN-ACCESSIBLE STALLS IS ONE (1).

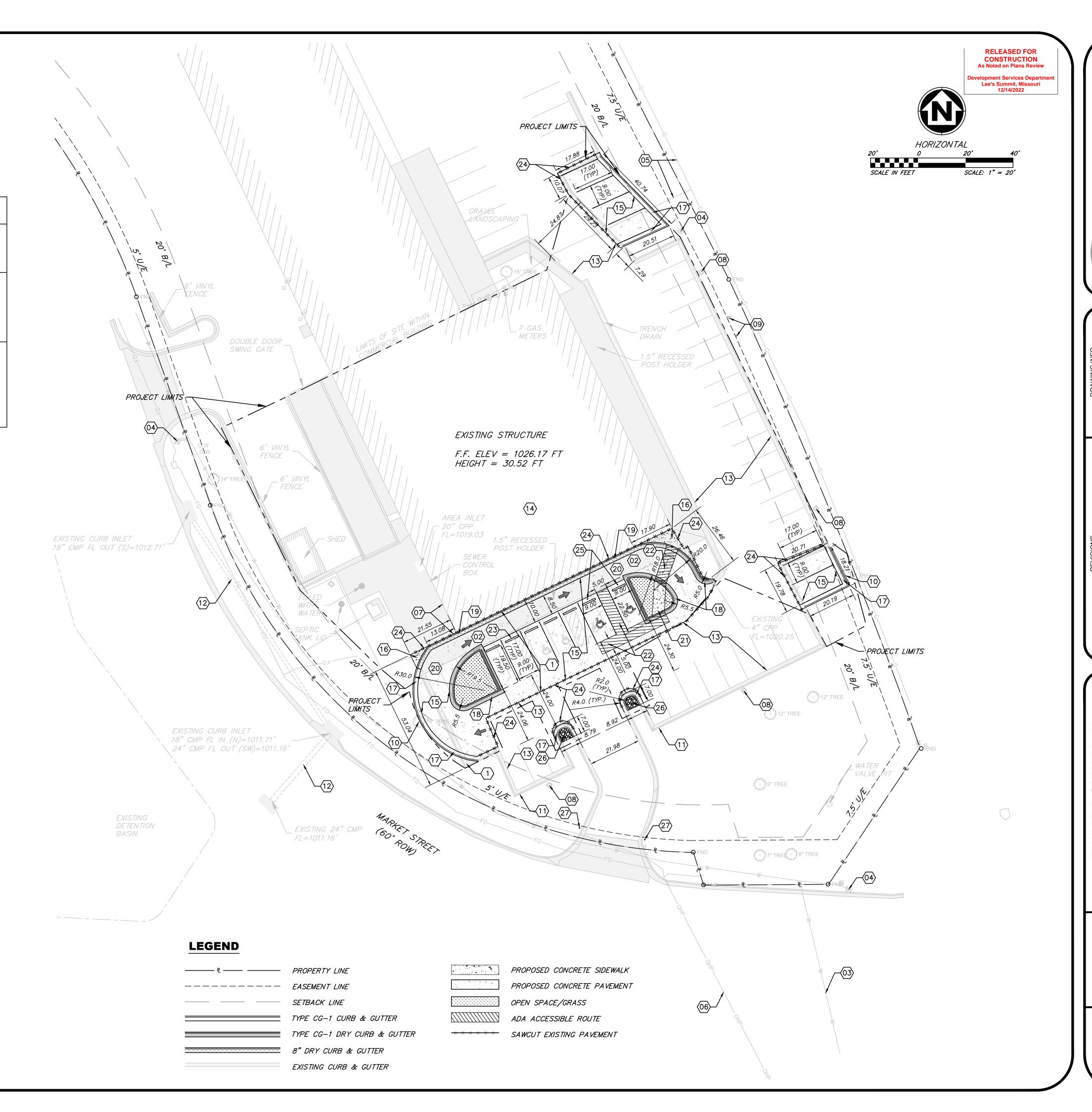
01 EXISTING ASPHALTIC PAVEMENT TO BE REMOVED.

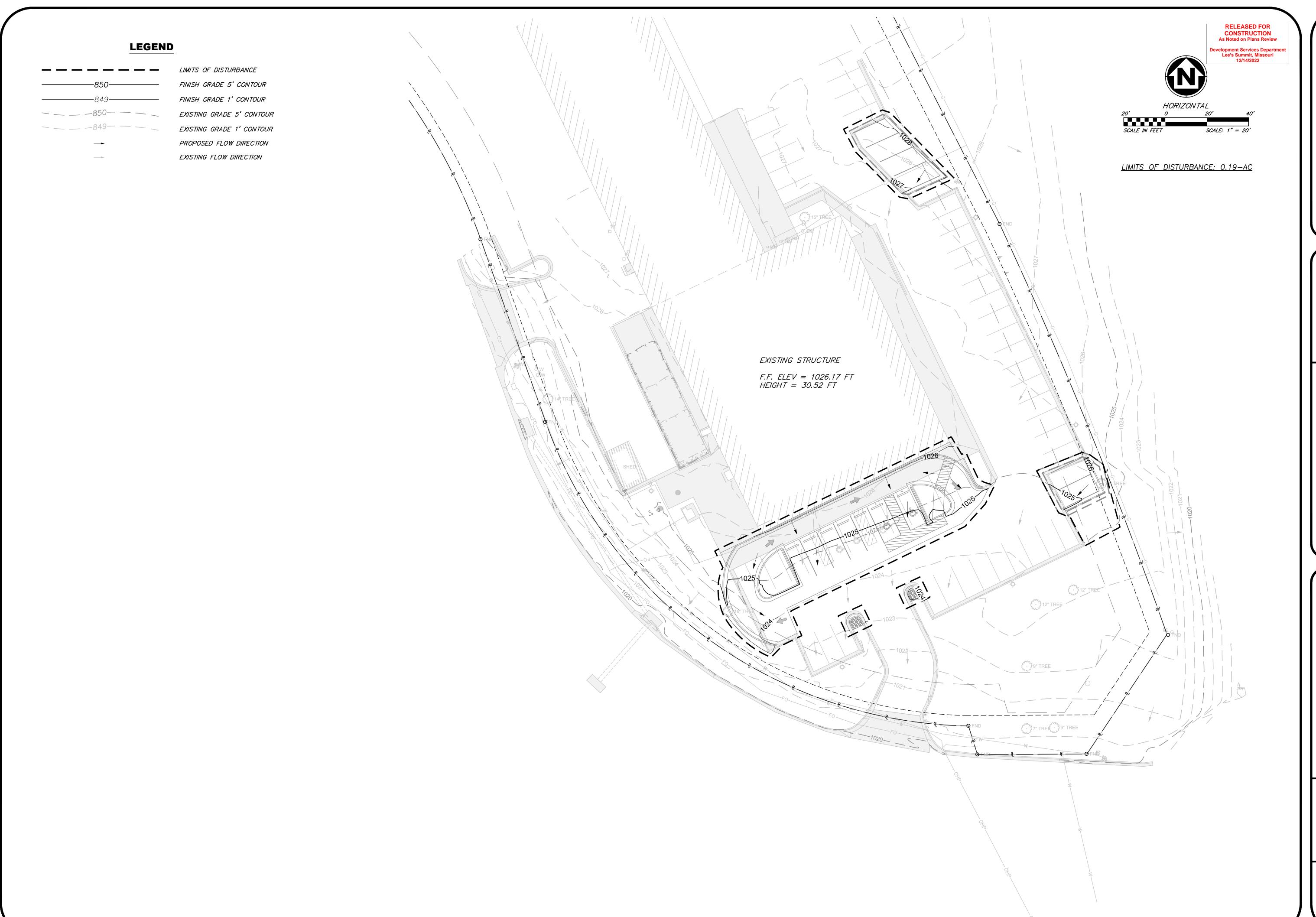
SITE PLAN KEY NOTES

- 02 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- O3 EXISTING WATER MAIN.
- 04 EXISTING FIRE HYDRANT.
- 05 EXISTING GAS LINE.
- 06 EXISTING OVERHEAD UTILITIES.
- 07 EXISTING CONCRETE PAVEMENT TO REMAIN. DO NOT DISTURB.
- 08 EXISTING LIGHT POLE.
- 09 EXISTING PARKING SIGNS TO BE REMOVED.
- 10 EXISTING TREE TO BE REMOVED.
- 11 EXISTING CURB CUT FOR DRAINAGE.
- 12 EXISTING STORM SEWER.
- 13 EXISTING ASPHALTIC PAVEMENT TO REMAIN.
- 14 EXISTING BUILDING. SEE ARCHITECTURAL PLANS FOR MODIFICATION DETAILS.
- 15 CONCRETE PAVEMENT SECTION PER DETAIL ON SHEET C201. REFER TO JOINTING DETAIL GEN-9 ON SHEET C202.
- 16 CONCRETE SIDEWALK, WIDTH VARIES.
- 17 STRAIGHT BACK CURB & GUTTER (TYPE CG-1) PER DETAIL GEN-4 ON SHEET C202.
- 18 STRAIGHT BACK DRY CURB & GUTTER (TYPE CG-1 DRY) PER DETAIL GEN-4 ON SHEET C202.
- 19 8" STRAIGHT BACK DRY CURB & GUTTER PER DETAIL ON SHEET C201.
- 20 DRIVE-THROUGH LANE.
- 21 TYPE A ADA RAMP PER DETAIL GEN-3A ON SHEET C202.
- 22 ADA ACCESSIBLE ROUTE.
- 23 PARKING BLOCKS (TYP.) PER DETAIL ON SHEET C201.
- 24 SAWCUT EXISTING PAVEMENT.
- 25 ADA PARKING SIGN. SIGNS SHALL BE PLACED AT A HEIGHT AT LEAST 60" ABOVE THE GROUND SURFACE.
- 26 RECONFIGURE EXISTING CONCRETE ISLANDS. REMOVE AND REPLACE EXISTING LANDSCAPING STONE.
- 27 "NO PARKING FIRE LANE" SIGN. SIGNS SHALL BE PLACED AT A HEIGHT AT LEAST 60" ABOVE THE GROUND SURFACE.

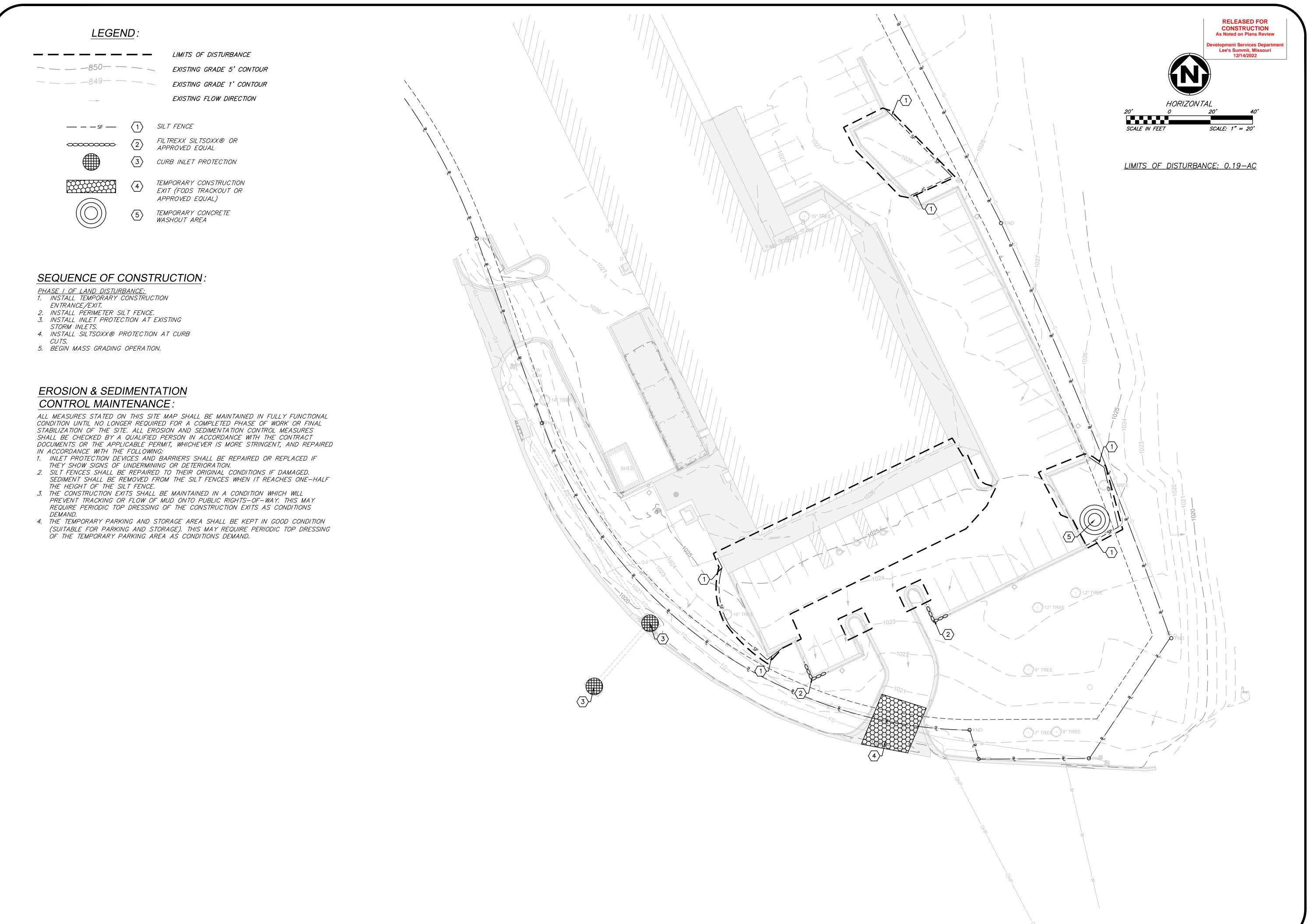
GENERAL NOTES

- 1. ALL EXISTING UTILITIES TO THE EXISTING BUILDING WILL BE USED IN PLACE. NO ADDITIONAL EXTERNAL UTILITIES ARE ANTICIPATED.
- 2. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY OF FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.

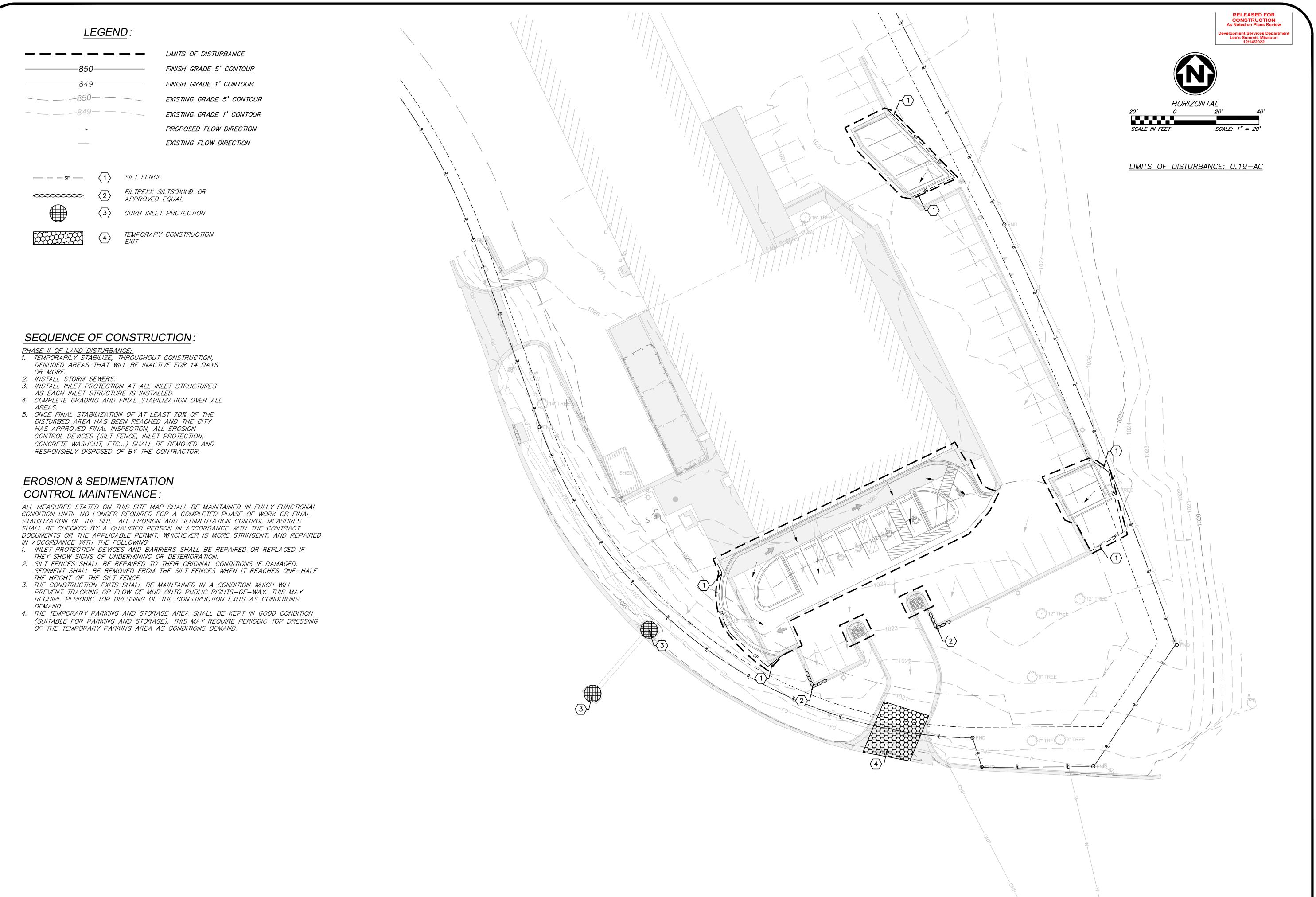




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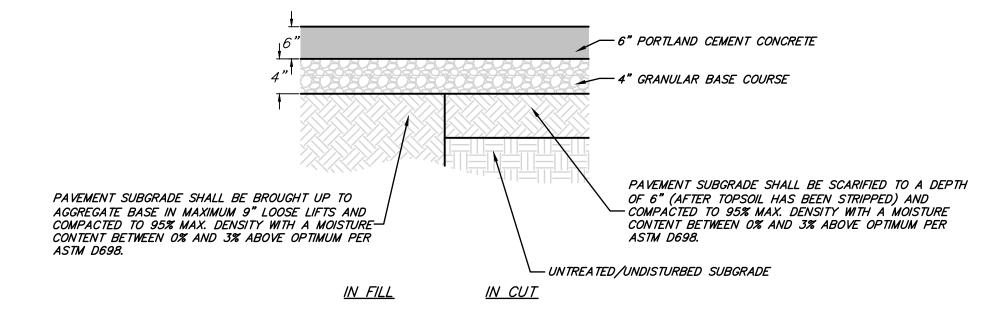
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CURB AND GUTTER GENERAL NOTES:

- 1. 🛂 ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- 3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
- 4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
- 5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS
- 6. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL
- 7. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.
- 8. DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% MIN. SLOPE.

8" STRAIGHT BACK DRY CURB & GUTTER

SCALE: N.T.S.

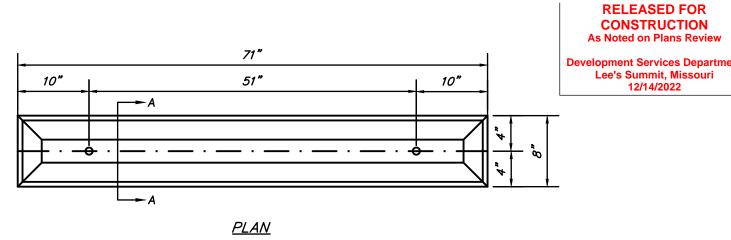


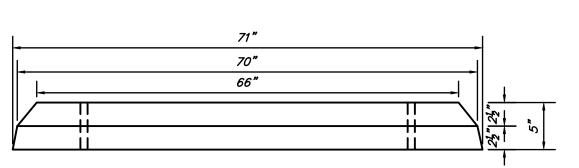
PAVEMENT NOTES:

THE PORTLAND CEMENT CONCRETE PAVEMENT AND GRANULAR BASE ROCK COURSE SHALL CONFORM TO CITY
OF LEE'S SUMMIT STANDARD SPECIFICATIONS (JULY 2020) SECTION 2200—PAVING.

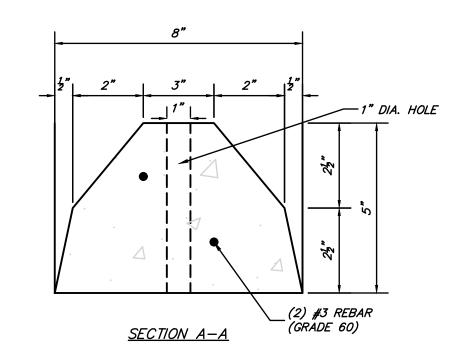
CONCRETE PAVEMENT SECTION

SCALE: N.T.S.





<u>ELEVATION</u>

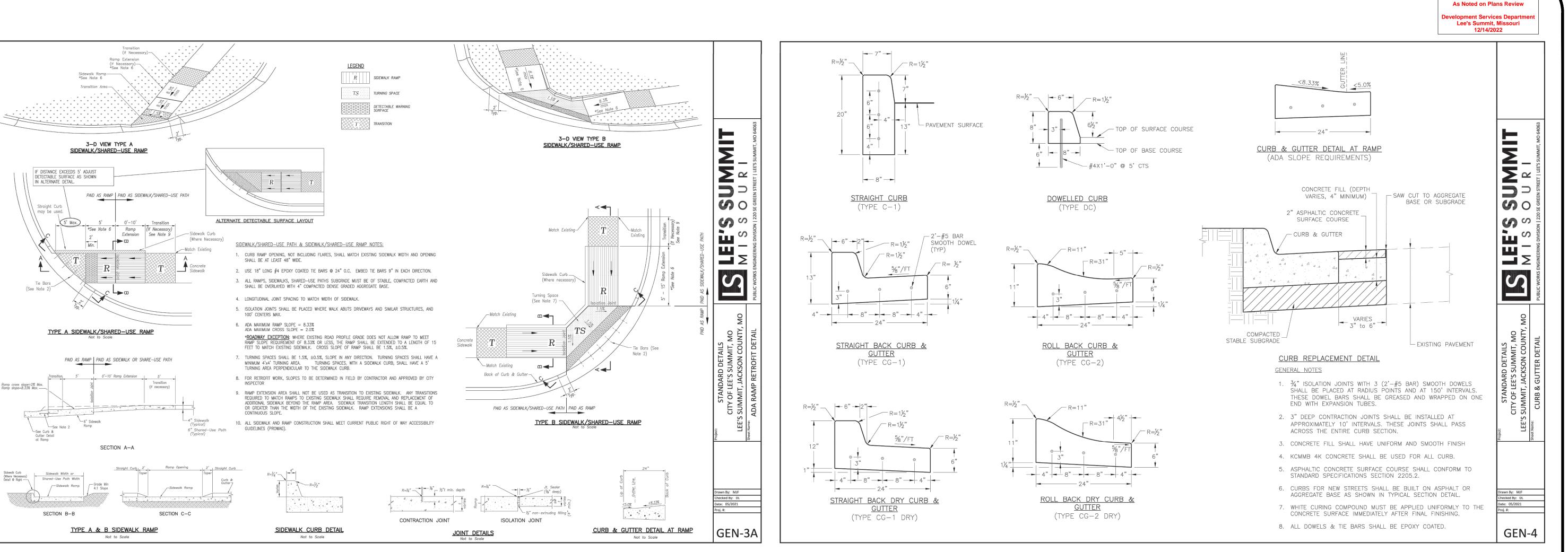


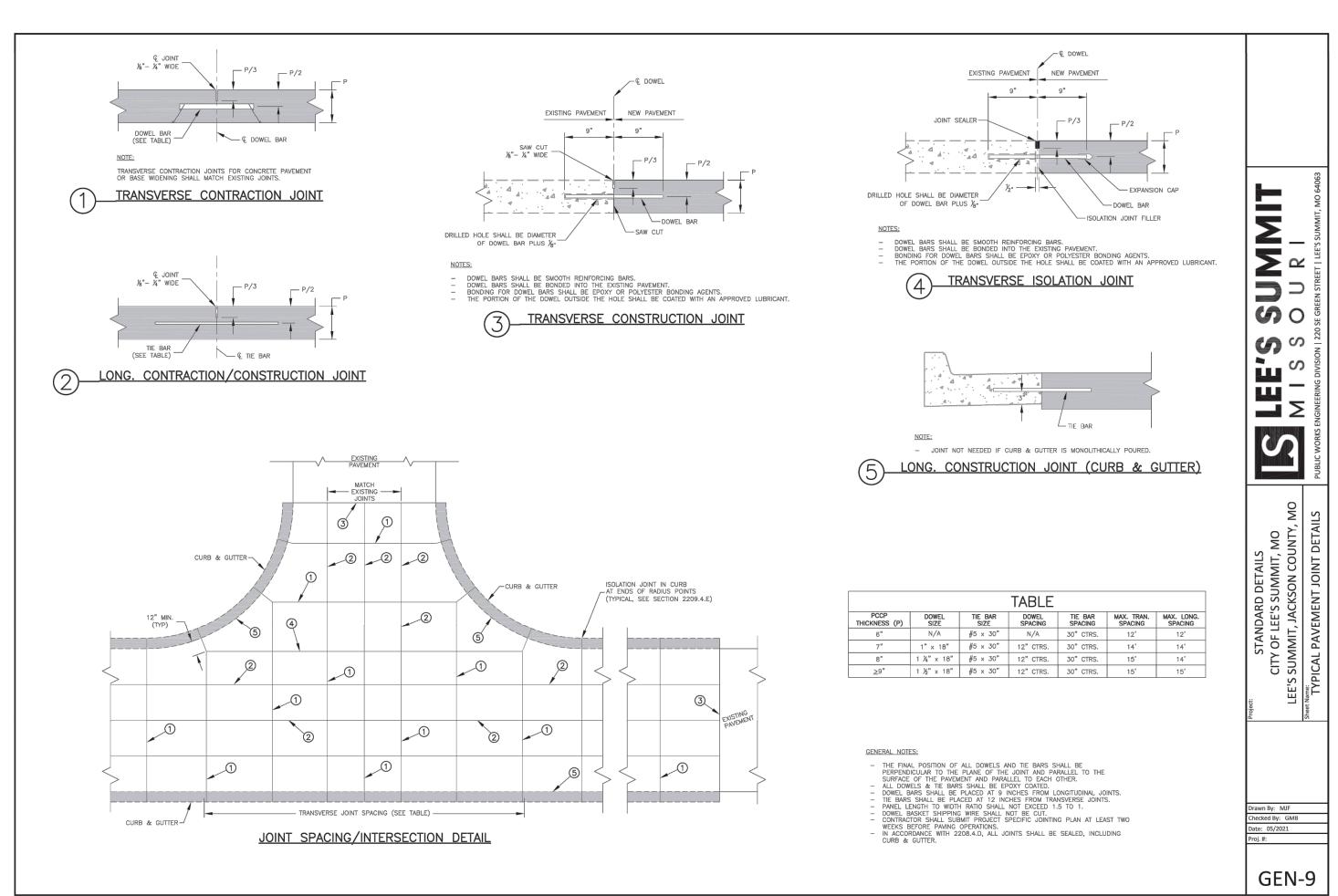
PARKING BLOCK NOTES:

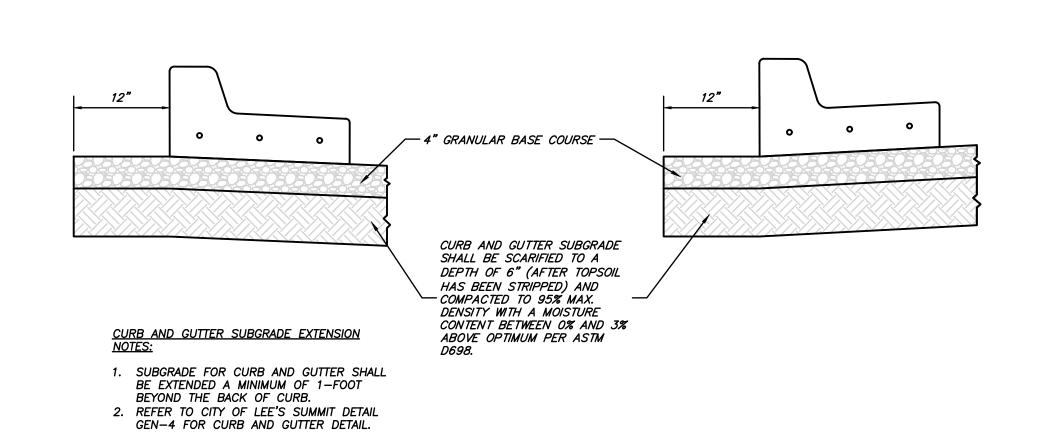
1. 5500 PSI AIR ENTRAINED CONCRETE SHALL BE USED.

PARKING BLOCK STANDARD DETAIL SCALE: N.T.S.

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CURB AND GUTTER SUBGRADE EXTENSION DETAIL

SCALE: N.T.S.

RELEASED FOR CONSTRUCTION