



**LEE'S SUMMIT**  
MISSOURI

**RELEASE FOR LAWN SPRINKLER SYSTEM  
IN CITY OF LEE'S SUMMIT RIGHT OF WAY  
(RESIDENTIAL)**

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

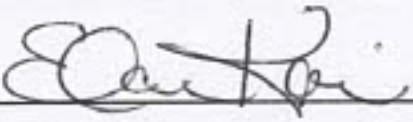
Lot No. 36 Plat Title \_\_\_\_\_ Address: 1621 SW 27th St

County: Jackson State: MO

I, Elaine Kain, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 16th day of December, 2022.

By:   
Elaine Kain  
Printed or Typed Name

**INDIVIDUAL ACKNOWLEDGMENT**

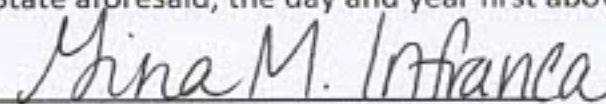
STATE OF MISSOURI  
COUNTY OF JACKSON

ON THIS, The 16th day of December, 2022 before me, a Notary Public, personally appeared:  
Elaine Kain

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that She he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



/s/   
Notary Public Signature  
Gina M. Infranca  
Printed or Typed Name

My Commission Expires:

7-27-2025

(Seal)

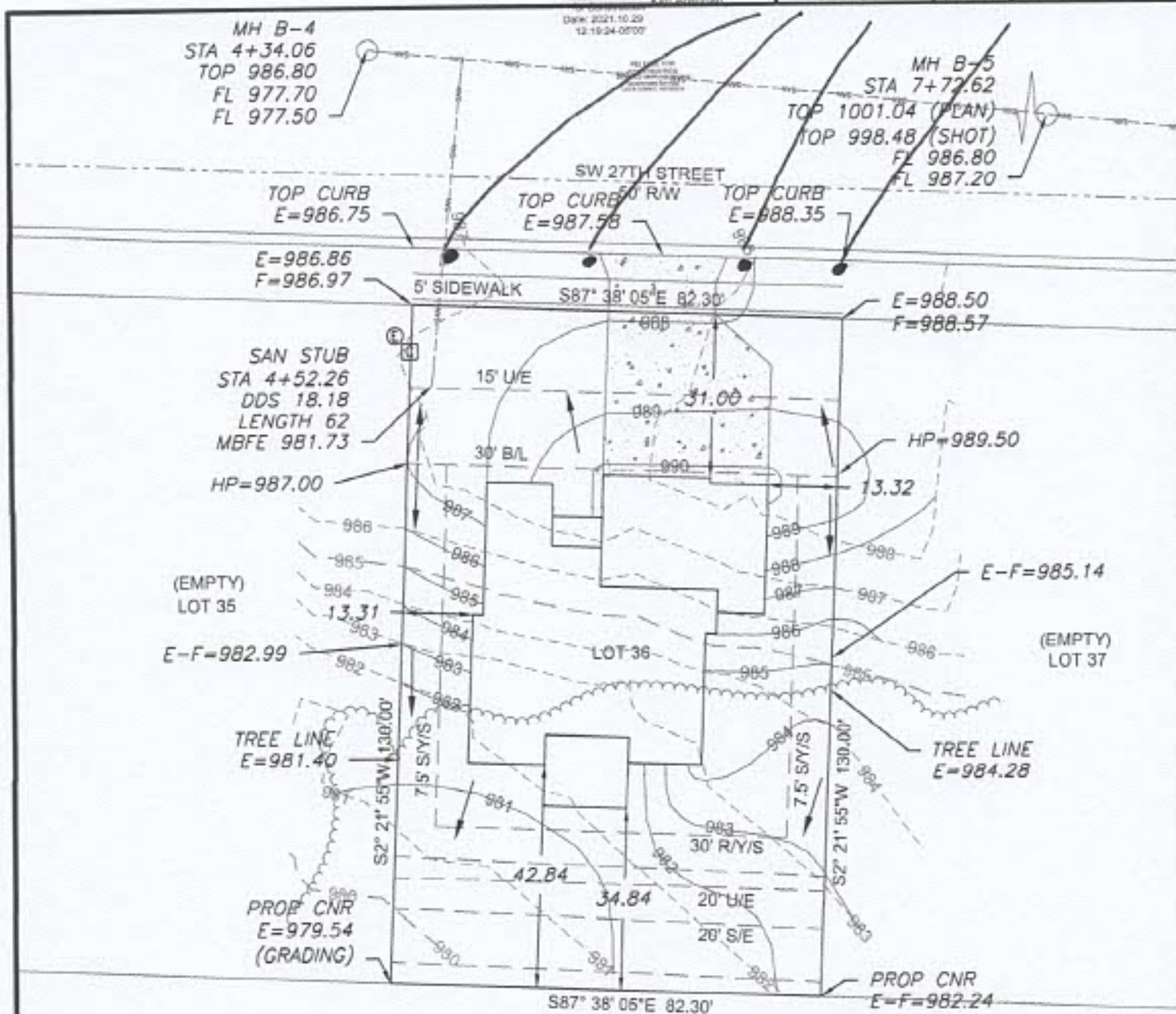
Revised 4/24/19

**Development Services**

220 SE Green Street | Lee's Summit, MO 64063 | P: 816.969.1200 | F: 816. 969.1201 | [cityofls.net](http://cityofls.net)



heads inside ROW



#### LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

#### PROPOSED HOUSE

TOP FOUNDATION = 991.17  
GARAGE FLOOR = 990.17  
TOP FOOTING = 982.17  
BASEMENT FLOOR = 982.50  
DRIVE SLOPE = 7.6%

E = EXISTING ELEVATION  
F = PROPOSED FINAL ELEVATION  
G = ADJACENT GRADE AT EGRESS  
U/E = UTILITY EASEMENT  
B/L = BUILDING LINE  
S/Y/S = SIDE YARD SETBACK  
R/Y/S = REAR YARD SETBACK

#### NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. EASEMENTS MAY EXIST.



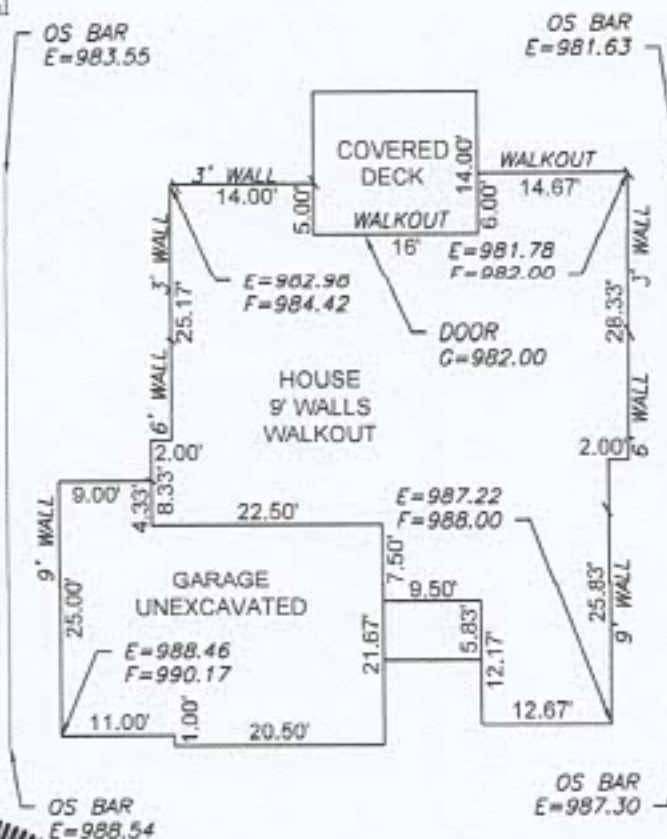
Scale 1"=30'

#### LOT INFORMATION

10,699 SQ. FT.  
MBFE=981.73  
ADDRESS  
1621 SW. 27TH ST

#### LEGAL DESCRIPTION

LOT 36, WHISPERING WOODS  
SECOND PLAT, A SUBDIVISION AS  
RECORDED IN LEE'S SUMMIT,  
JACKSON COUNTY, MISSOURI.



Scale 1"=20'  
PLAN: THE PHOENIX 3

**ENGINEERING**  
ENGINEERING & SURVEYING  
**SOLUTIONS**

50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P: (816) 623-9888 F: (816) 623-9889  
WWW.ENGINEERINGANDSURVEYING.COM



#### PLOT PLAN - LOT 36

WHISPERING WOODS SECOND PLAT  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

WALKER CUSTOM HOMES LLC  
PO BOX 3194  
INDEPENDENCE, MO 64064

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 36, WHISPERING WOODS	9/28/21	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HEREON.