



LEE'S SUMMIT
MISSOURI

**RELEASE FOR LAWN SPRINKLER SYSTEM
IN CITY OF LEE'S SUMMIT RIGHT OF WAY
(RESIDENTIAL)**

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

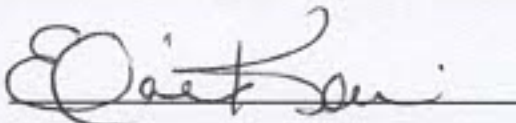
Lot No. 292 Plat Title _____ Address: 1905 NE Parkridge

County: JACKSON State: MO

I, Elaine Kain, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 16th day of December, 2022

By: 
Elaine Kain
Printed or Typed Name

INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI
COUNTY OF JACKSON

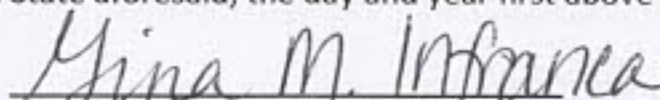
ON THIS, The 16th day of December, 2022 before me, a Notary Public, personally appeared:
Elaine Kain

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that She he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.

(Seal)



/s/ 
Notary Public Signature

Gina M. Infranca
Printed or Typed Name

My Commission Expires:

7-27-2025

Revised 4/24/19

Development Services

220 SE Green Street | Lee's Summit, MO 64063 | P: 816.969.1200 | F: 816. 969.1201 | cityofls.net

GOOGLE FIBER VAULT
TOP CURB
 E=939.97
 F=940.05
 MH D-1
 STA 1+76.42
 TOP 939.99
 FL OUT 929.56
 FL IN 929.81

SAN STUB
 STA 1+86.42
 FL@MAIN 931.17
 MBFE 934.17
 LENGTH 15'

HOUSE LOT 297
GARAGE

TRANSFORMER PAD
 HP=943.50
 MH D-2
 STA 3+42.17
 TOP 943.27
 FL OUT 933.18

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 945.00
 GARAGE FLOOR = 944.00
 TOP FOOTING = 936.00
 BASEMENT FLOOR = 936.33

E = EXISTING ELEVATION
 F = PROPOSED FINAL ELEVATION
 G = ADJACENT GRADE AT EGRESS
 U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 S/Y/S = SIDE YARD SETBACK
 R/Y/S = REAR YARD SETBACK

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

LOT INFORMATION

10,730.7 SQ. FT.
 MBFE =934.17
 ADDRESS
 1905 NE PARK RIDGE DR

LEGAL DESCRIPTION

LOT 297, PARK RIDGE 6TH PLAT,
 A SUBDIVISION AS RECORDED IN
 LEE'S SUMMIT, JACKSON
 COUNTY, MISSOURI.

Scale 1"=30'

Scale 1"=20'

STATE OF MISSOURI
PROFESSIONAL ENGINEER
 MATTHEW SCHLICHT
 NUMBER
 PE-2006019708
 2/25/22

PLOT PLAN - LOT 297
PARK RIDGE 6TH PLAT
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
 WALKER CUSTOM HOMES LLC
 PO BOX 3194
 INDEPENDENCE, MO 64084

PROJECT NO. FILE NAME
 1 LOT 297, PARK RIDGE
DATE 2/18/21
SHEET 1 OF 1