

Project Notes

- Project Summary
1. This project includes construction of a new Single Family Detached Residence.
- Zoning Notes
1. Jurisdiction: Lee's Summit, MO
2. Zoning: Existing Land Use: Vacant Residential Land.
3. Minimum Setbacks
4. A. Front: 25'
- B. Sides: 5'
- C. Rear: 20'
5. Max Height: 35'
- Building Code Notes
1. Code Jurisdiction:
2. Applicable Codes: 2018 IBC, 2018 IRC, Local Amendments.
3. Hazardous materials, if any in the Contract Area, shall be legally remediated prior to work in this Contract.
4. Floor Area: See Area Summary on Floor Plan.

Precautionary Notes

Copyrights. This drawing has been produced by the Architect or prepared under his direct supervision as an instrument of service and is intended for use only on this project. All Drawings, Specifications, ideas and designs, including the overall layout, form, arrangement and composition of spaces and elements portrayed, constitute the original unpublished Work of the Architect. Any reproduction, use or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

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Responsibilities. THE ARCHITECT DISCLAIMS responsibility for the existing building structure, site conditions, existing construction elements or any documents, drawings or other instruments used for any part of this Project which do not bear the Architect's seal. The Architect's services are undertaken only in the interest of the Project Owner. The Architect assumes no obligation for the benefit of any other entity.

Related Documents. This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other Drawings also affect the Work described. Failure to review and integrate the design intent of the whole of the Construction Documents does not relieve the Contractor from providing a complete Project.

Codes and Ordinances. COMPLY WITH all laws, codes, ordinances and regulations of authorities having jurisdiction and with requirements of the Landlord, if applicable. Do not start Work until all permits and required approvals are obtained.

Verifying Conditions. VERIFY ALL CONDITIONS and dimensions prior to construction. Commencement of Work constitutes verification and acceptance of all existing conditions. Application of a material or equipment item to Work installed by others constitutes acceptance of that Work and assumption of responsibility for satisfactory installation.

Energy Code Certification. This building is designed in conformance with 2012 IECC as amended by KCBRC. Refer to "Code Information" section and associated details for specific requirements.

Room Finish Schedule

Room Name	Finish Floor	Base	Wall	Ceiling	Comments
1-Floor					
Garage					
Her Bath					
Her Closet					
His Bath					
His Closet					
Laundry					
Living					
Mail					
Master Bedroom					
MV Bath					
MV Office					
Pantry					
Powder					
SV Bath					
SV Office					
Utility					
2-Floor					
Crow's Nest					

Door Schedule

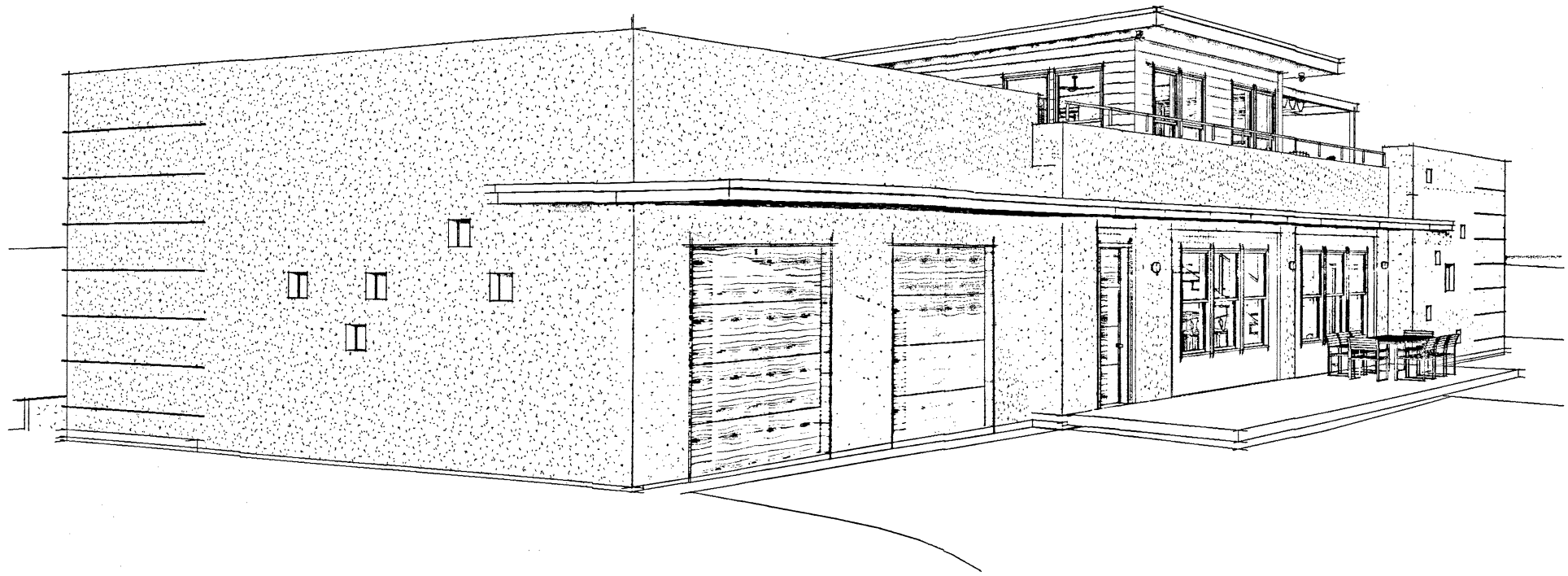
Door Type	Type Comments	Width	Height	Door Material	Door Finish	Frame Material	Frame Finish	Comments	Count
2070 Pckt	Interior Solid Core Wood Pocket Door	2' - 0"	6' - 8"	Solid Core Wood					4
2668	Interior Solid Core Wood Flush	2' - 6"	6' - 8"						4
2868 Glass	Exterior Clad Wood & Glass	2' - 8"	6' - 8"						2
3068	Interior Solid Core Wood Door	3' - 0"	6' - 8"						7
3080	Solid Wood Entrance Door	3' - 0"	8' - 0"	Solid Core Wood					1
8070 A/G	Exterior Alum/Glass Door	7' - 8"	6' - 10"	Alum/Glass					1
8080	Garage Door	7' - 10"	8' - 8"	Insul Metal				Shall Meet DASMA 90 mph Reqs.	2

Window Schedule

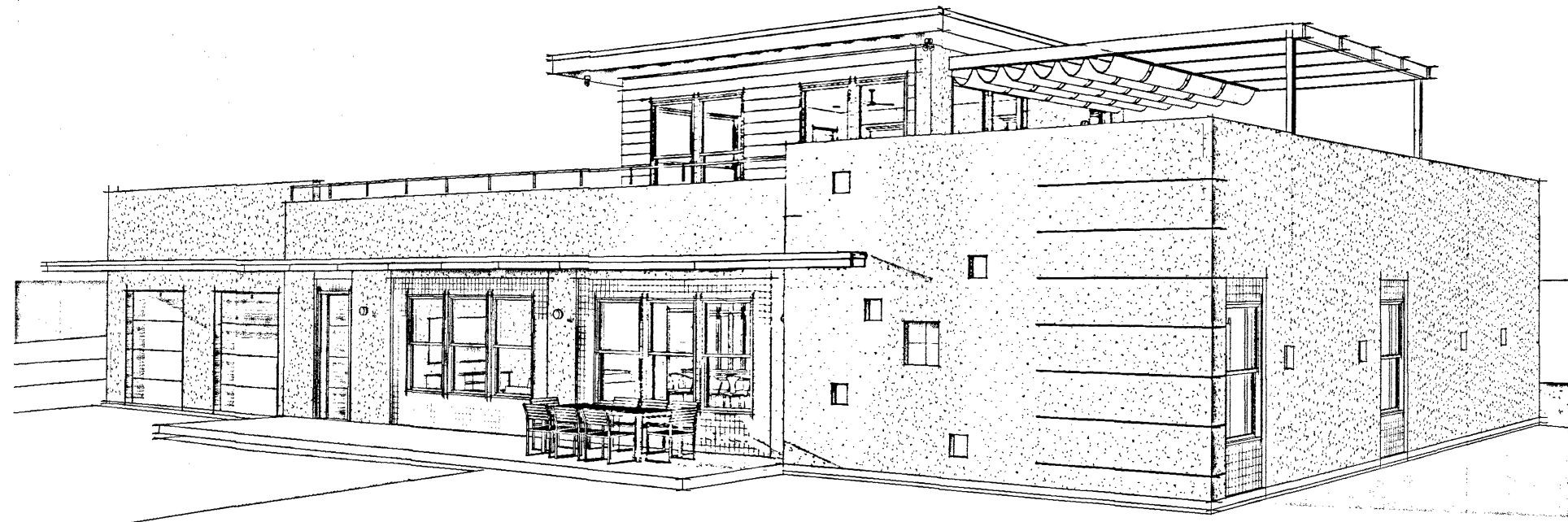
Type Mark	Width	Height	Rough Width	Rough Height	Head Height	Comments	Count
A Egress	3' - 8"	6' - 10"	3' - 8 1/2"	6' - 10 1/2"	7' - 10"		12
B Egress	3' - 8"	5' - 11"	3' - 8 1/2"	5' - 11 1/2"	8' - 0"	Single-hung Egress Window	11

Sheet List

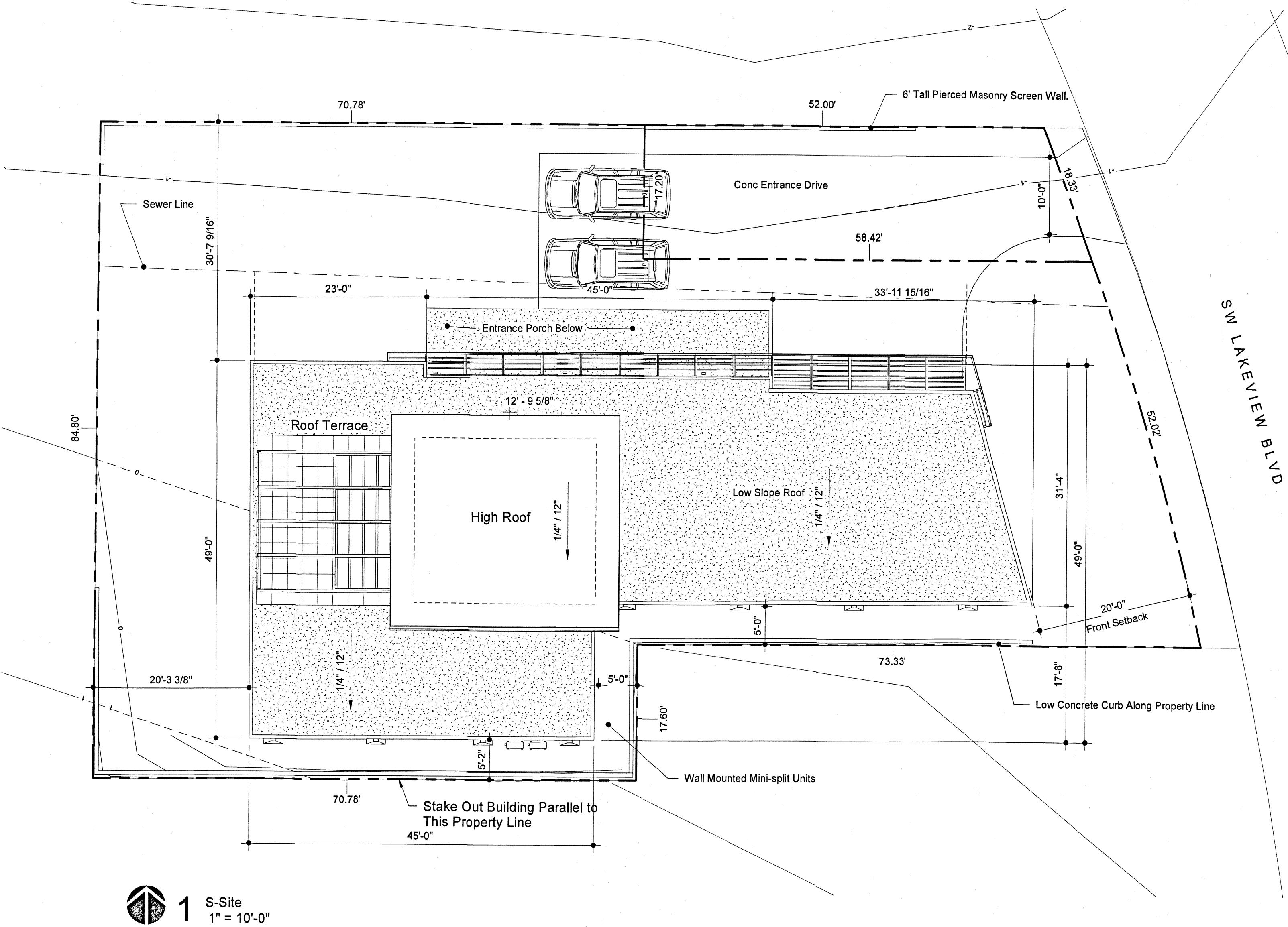
Sht No	Sheet Name	Project Issue Date	Current Revision
A0.1	Cover Sheet	12/19/2019	
A2.1	Main Floor Plan	12/19/2019	
A2.2	Main Concrete Layout	12/19/2019	
A2.3	Upper Floor Plan	12/19/2019	
A2.4	Upper Concrete Layout	12/19/2019	
A3.1	Main Ceiling Plan	12/19/2019	
A3.2	Upper Ceiling Plan	12/19/2019	
A4.1	Exterior Elevations	12/19/2019	
A5.1	Building Sections	12/19/2019	
A7.1	Interior Elevations	12/19/2019	



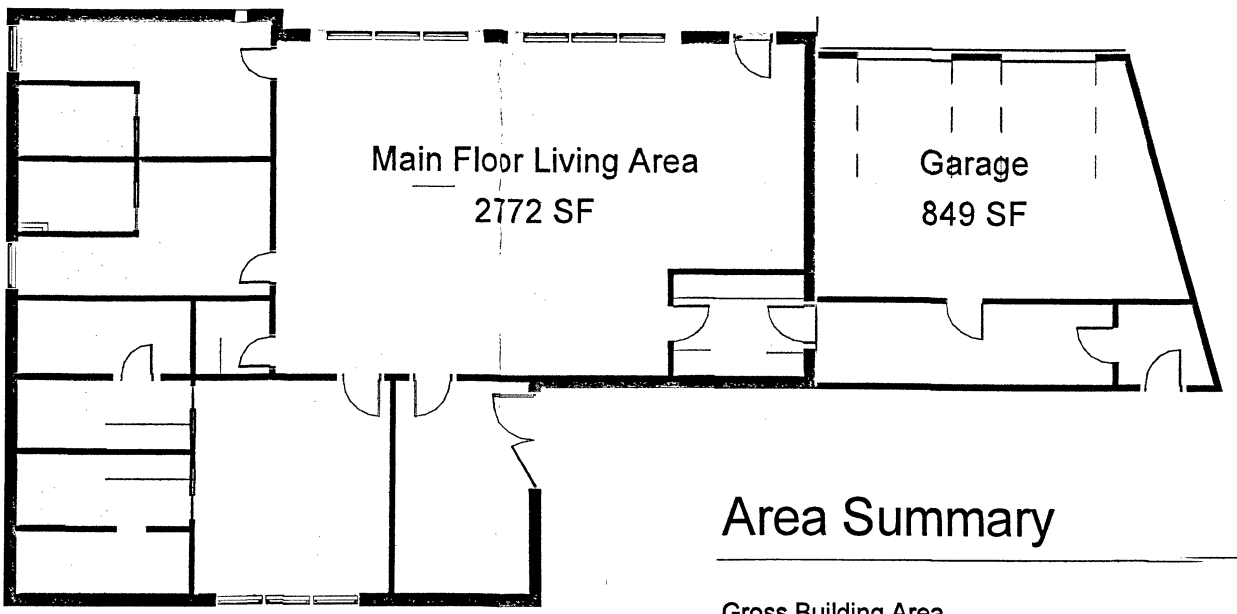
4 Front Left Corner



5 Front Right Corner



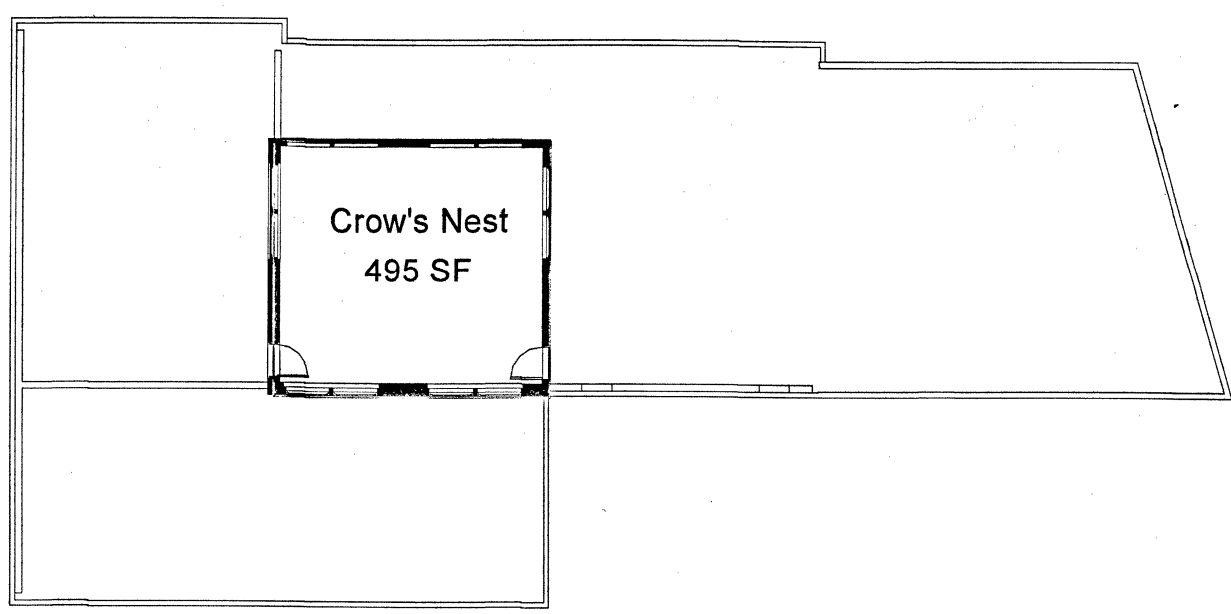
1 S-Site
1" = 10'-0"



2 1-Floor Area Plan
1/16" = 1'-0"

Area Summary

Gross Building Area	
2,772 SF	Main Floor Living Area
495 SF	Crow's Nest
849 SF	Garage
4,116 SF	



3 2-Floor Area Plan
1/16" = 1'-0"

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MEMBER AMERICAN INSTITUTE OF ARCHITECTS
BFWFOWLER@ME.COM • BFWFOWLERARCHITECT.COM
3611 W 122ND TERRACE, LEAWOOD, KS 66209 • 913.908.6363

PROJECT NAME

Caementicium
CASE STUDY

PROJECT ADDRESS
206 SW Lakeview Blvd
Lee's Summit, MO

CLIENT CONTACT
Meredith & Shane Veritasi
816 383 0100
s.v@veritasi.com

ISSUED FOR
Permit Set

SHEET NAME

Cover Sheet

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
CODES ADMINISTRATION
LEE'S SUMMIT, MISSOURI
DATE 1/11/20

PROJECT NO.
1915
ISSUE DATE
12/19/2019

SHEET NO.

A0.1

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REVISION DESCRIPTION DATE