

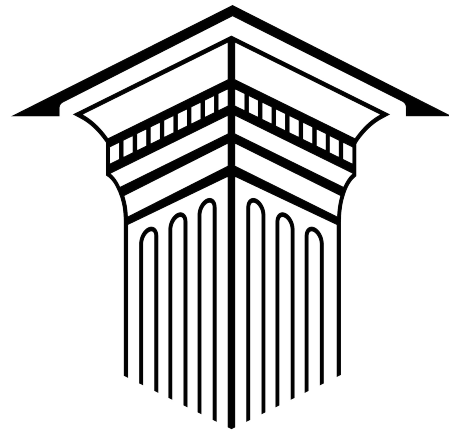
RELEASE FOR CONSTRUCTION  
AS NOTED ON PLANS REVIEW  
DEVELOPMENT SERVICES  
LEE'S SUMMIT, MISSOURI  
11/18/2022 2:17:47



Schwab  
Eaton

5410 Ledge Stone Drive, Suite 100 • Manhattan, KS. 66503  
Phone (785) 539-4687 • Fax (785) 380-5007

22.M281 11/3/2022 SHEETS A1 - A8



DRIPPÉ HOMES



Lot 104, Summit View Farms

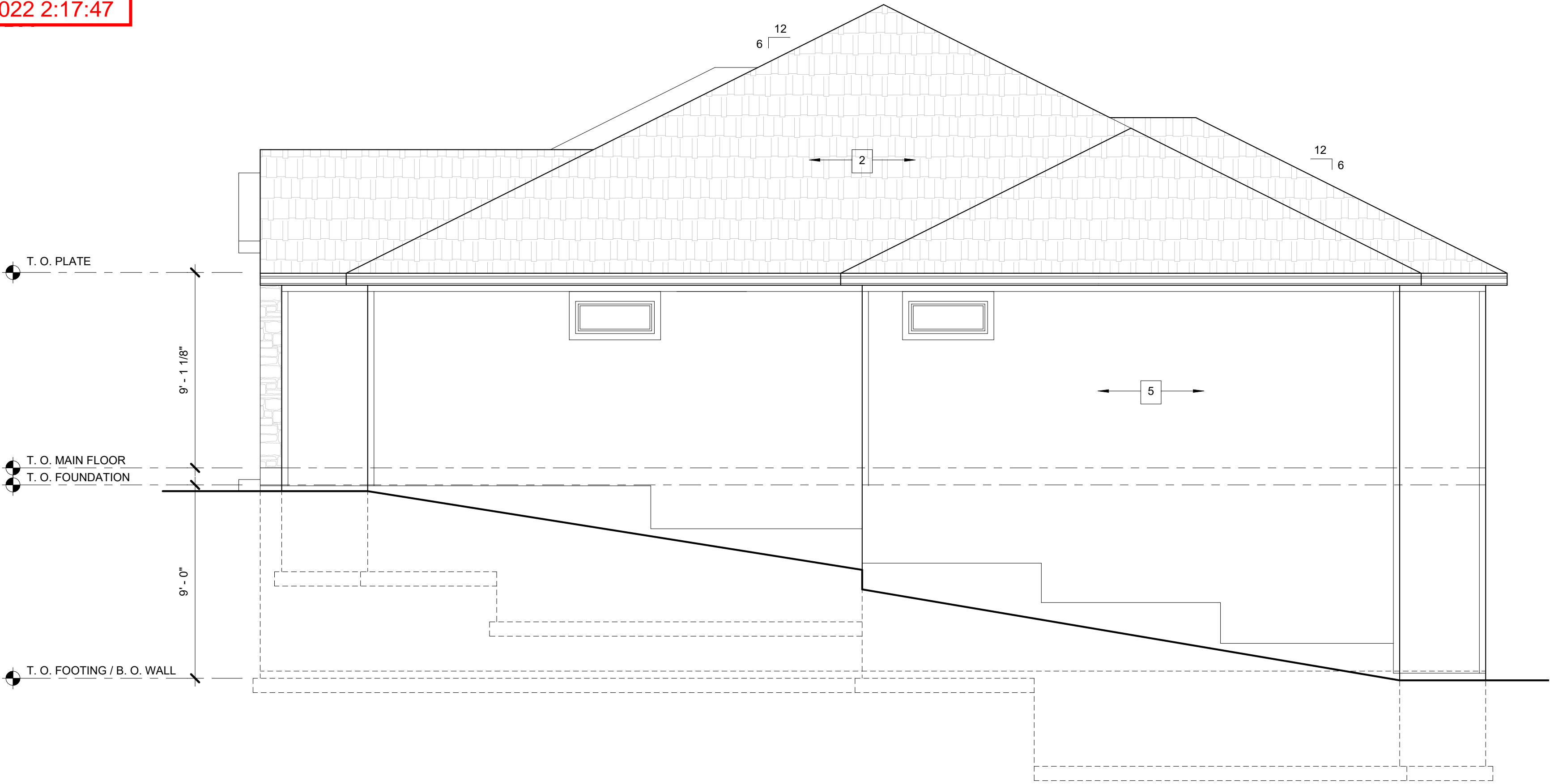
3219 SW Enoch St. Lees Summit, MO

ALL DRAWINGS, DESIGNS,  
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REMAIN PROPERTY OF  
DRIPPÉ HOMES WHETHER  
THE PROJECT THEY ARE  
DESIGNED FOR IS BUILT BY  
DRIPPÉ HOMES OR NOT.

DATE: 02 JUNE 2022  
DRAWN BY: B. WILLIAMS  
BASE PLAN: N/A

EXTERIOR  
ELEVATIONS

A1



② Right Elevation  
1/4" = 1'-0"



① Front Elevation  
1/4" = 1'-0"

GENERAL ELEVATION NOTES	
1	PRE-MANF LAP SIDING OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.
2	COMPOSITE SHINGLES, TAMKO, HERITAGE 30 YR. WARRANTY, WEATHERED WOOD OR APPROVED EQUAL.
3	CONT. RIDGE VENT.
4	4" SMART TRIM
5	SMART SHEET SIDING W/ VERTICAL GROOVES OVER BUILDING WRAP.
6	6" SMART TRIM
7	NOT USED
8	8" SMART TRIM
9	MANUF. STONE VENEER AND SILL OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.
10	NOT USED
11	MANUF. BOARD & BATTEN SIDING OVER BUILDING WRAP OVER APA-RATED EXTERIOR SHEATHING.



Lot 104, Summit View Farms

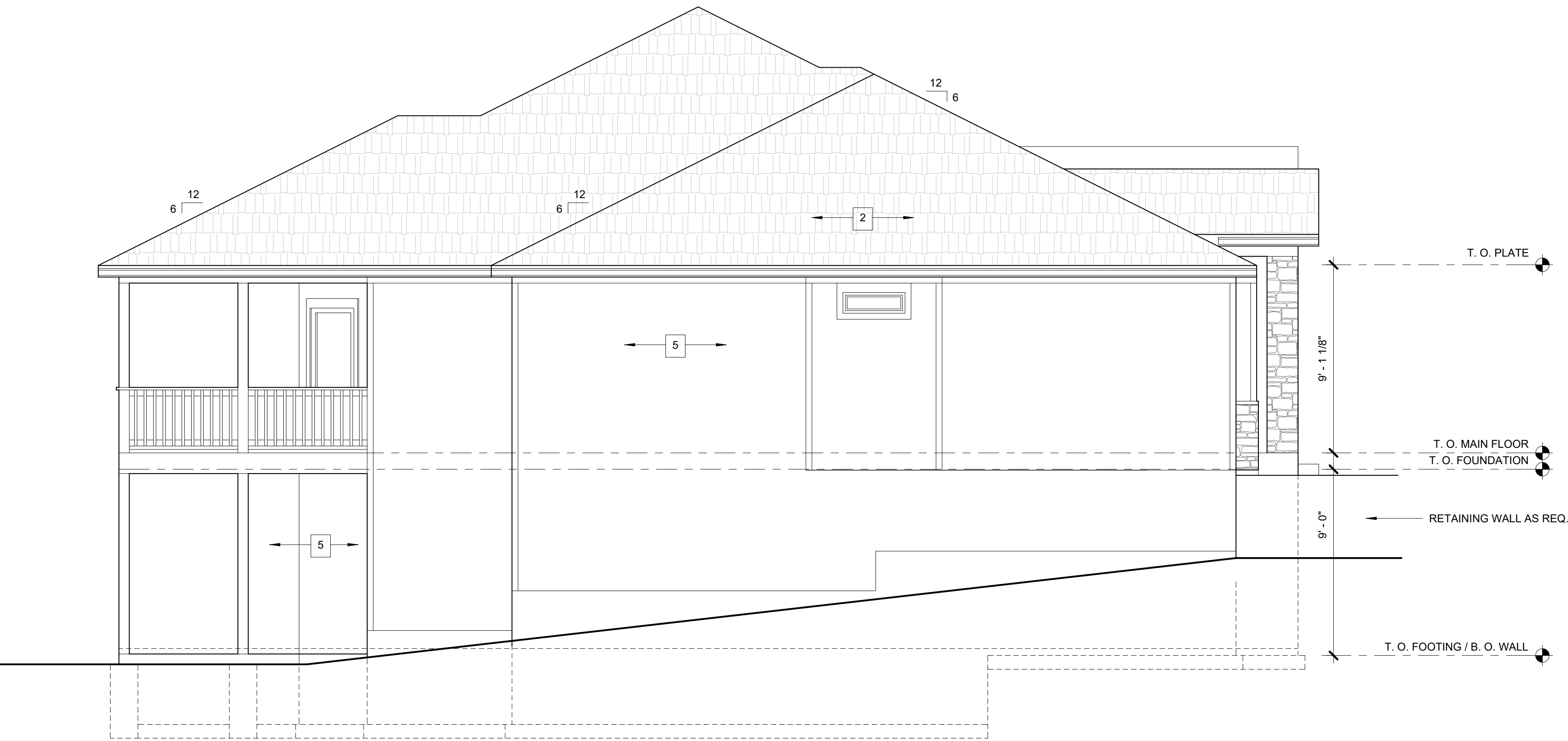
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BASE PLAN: N/A

EXTERIOR  
ELEVATIONS

A2



② Left Elevation  
1/4" = 1'-0"



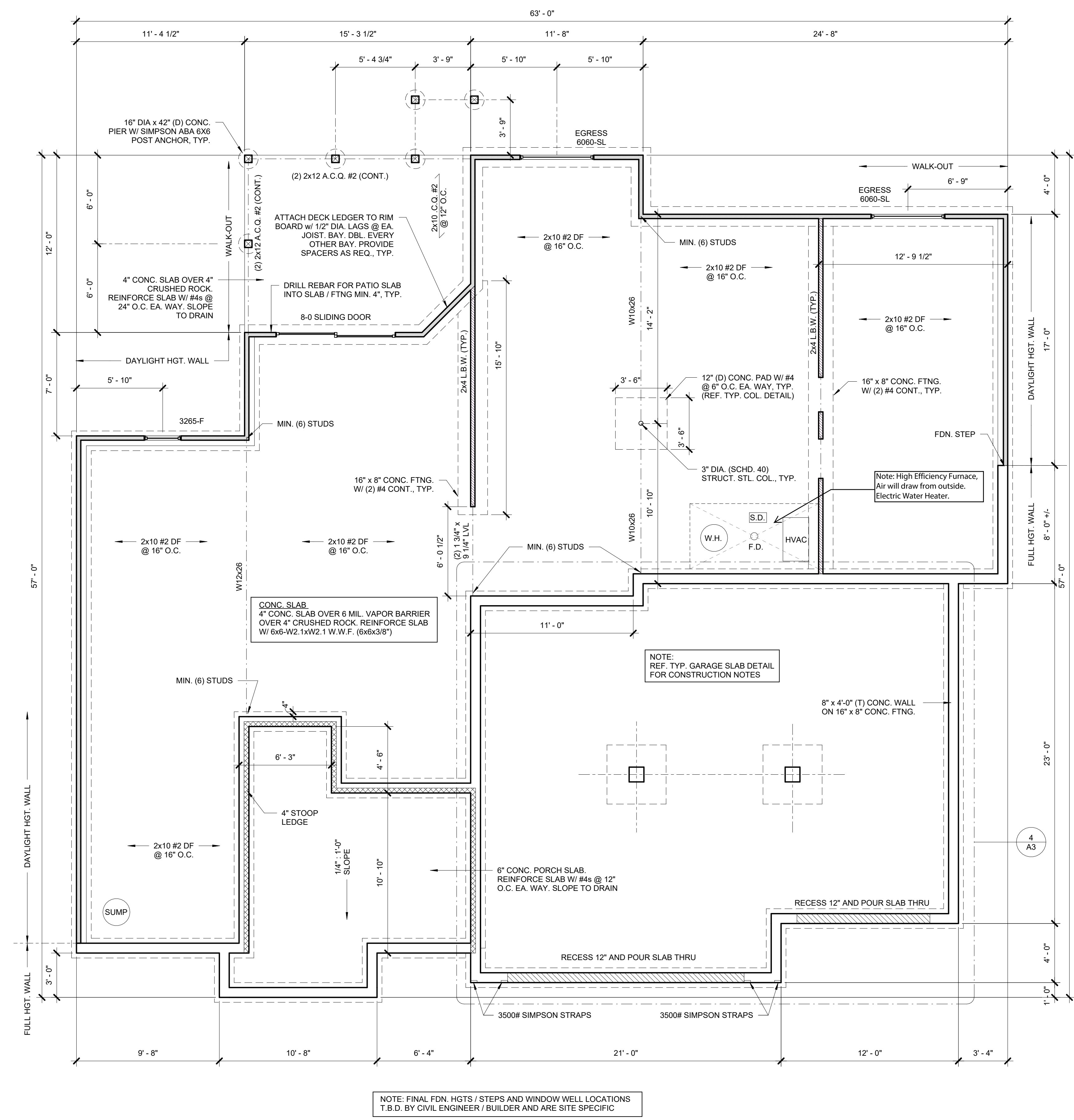
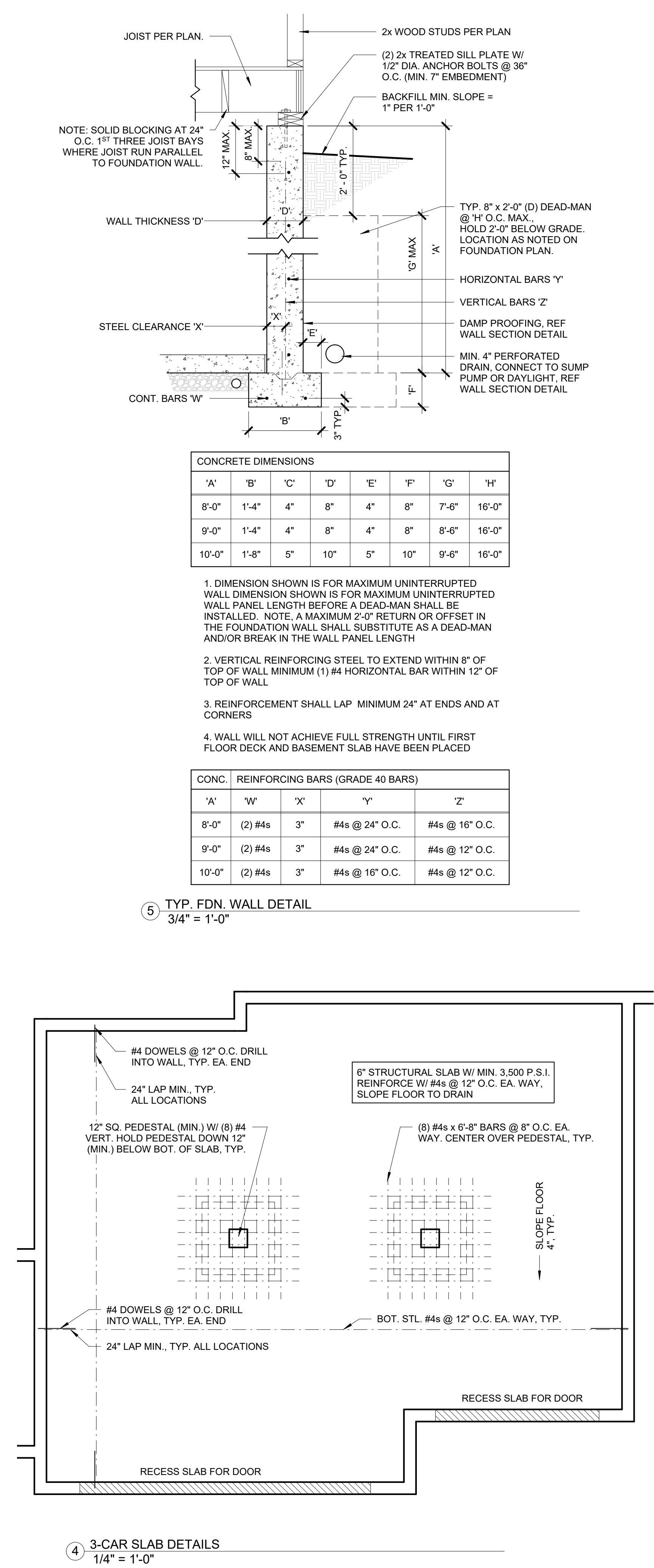
① Rear Elevation  
1/4" = 1'-0"

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DATE: 02 JUNE 2022  
DRAWN BY: B. WILLIAMS  
BASE PLAN: N/A

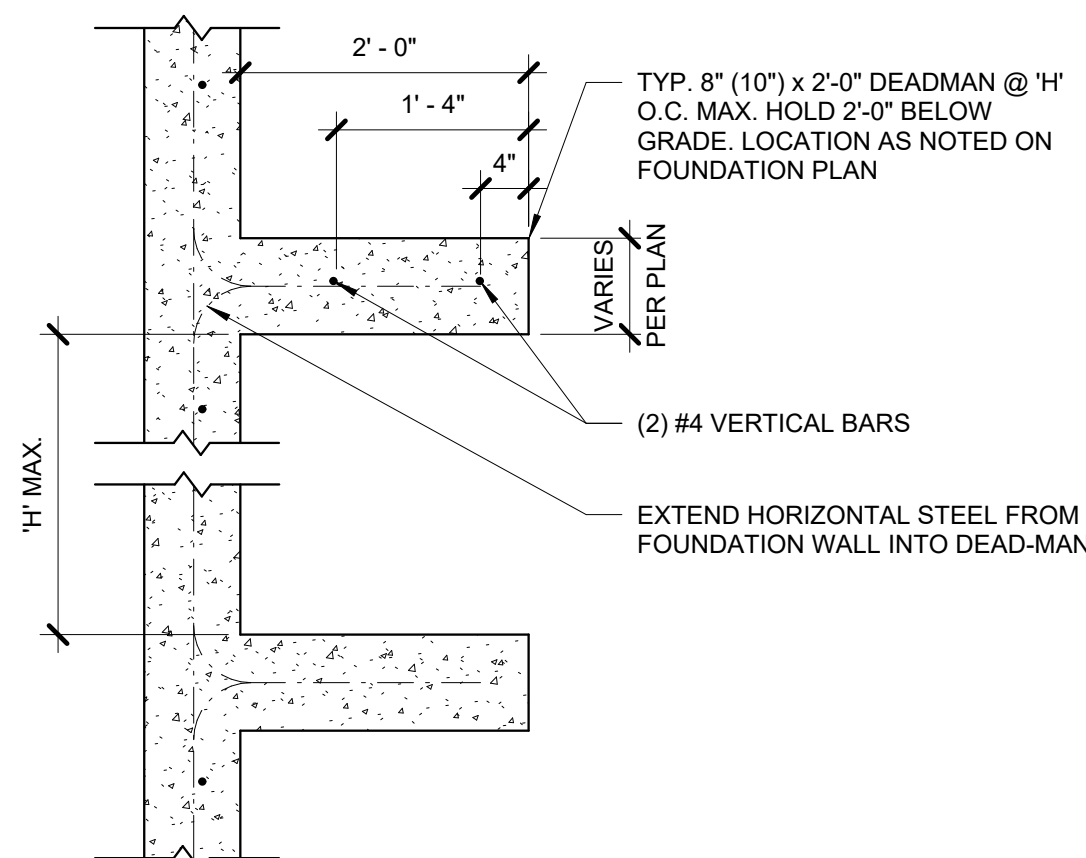
## FOUNDATION PLAN

# A3

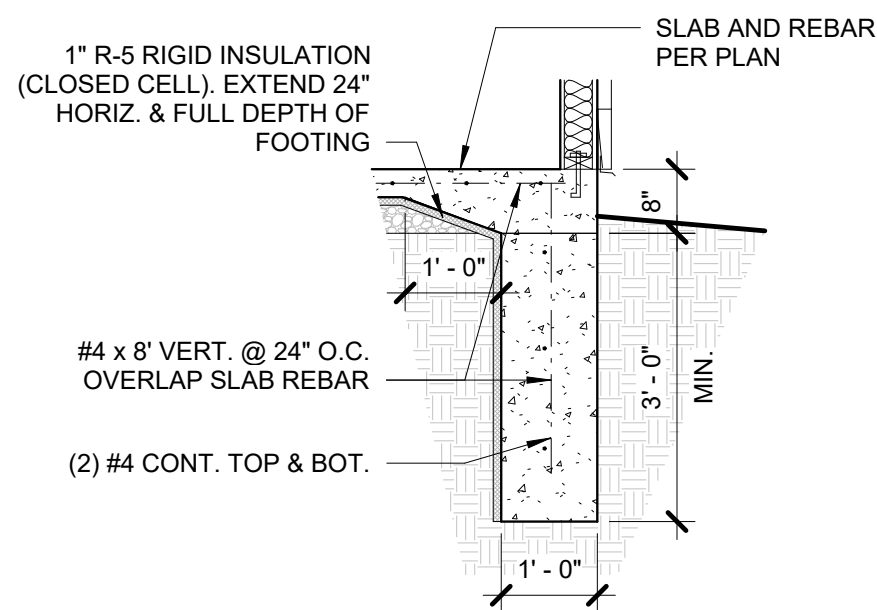


GENERAL CONSTRUCTION NOTES:

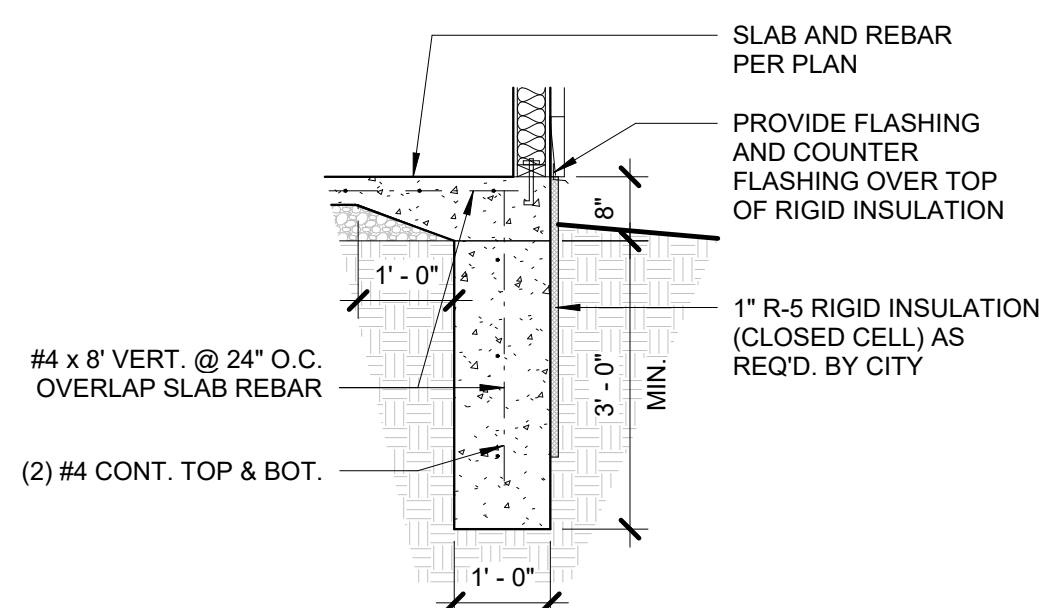
- NOTE:** BUILDING CONSTRUCTION SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE
- U.N.O. ON PLANS, PROVIDE (2) 2x10's D.F. #2 OVER ALL INT. / EXT. WALL OPENINGS. AT FRAMER'S OPTION, PROVIDE (2) 2x8's D.F. #2 OVER ALL OPENINGS IN LIEU OF (2) 2x10's WHERE ALLOWED PER 2018 IRC, SECTION 502.
  - TYP. WALL CONSTRUCTION: 2x4 STUDS @ 16" O.C. D.F. #2 W/ S.P.F. #3 PLATES TOP & BOTTOM.
  - PROVIDE SOLID BLOCKING @ ALL HEADER AND BEARING LOCATIONS.
  - U.N.O. ON DRAWINGS, B.O. ALL EXT. WINDOW HEADS @ FIRST FLOOR AND ALL HEADS @ CASSED OPENINGS @ 7'-6" A.F.F.
  - PROVIDE FLOOR DRAIN IN UTILITY ROOM. COORDINATE FINAL LOCATION W/ BUILDER PRIOR TO INSTALL.
  - U.N.O. ALL DOOR JAMBS ARE 3" FROM ADJACENT WALL - HINGE SIDE.
  - U.N.O. PROVIDE 2x6 D.F.L. #2 @ STAIR LANDINGS.
  - PROVIDE A CONTINUOUS LOAD PATH FROM ALL BEARING POINTS DOWN TO FOUNDATION.
  - DOWEL ALL REBAR FOR SLABS INTO CONC. WALLS, MIN. 4"
  - ALL HALLWAY SMOKE DETECTORS TO BE COMBO SMOKE AN C.O. PER 2018 I.R.C.
  - PROVIDE 5/8" TYPE 'X' GYP. BD. ON GARAGE WALLS AND CEILING PER 2018 I.R.C.
  - PROVIDE MIN. (6) STUDS UNDER LVL HEADERS GREATER THEN 9 1/4" DEEP. PROVIDE CONTINUOUS BLOCKING DOWN TO FOUNDATION.
  - FINAL DOWN WALLS / FOUNDATION STEPS, HEIGHTS AND LOCATIONS T.B.D. BY BUILDER AND CIVIL ENGINEER AND IS SPECIFIC TO EA. SITE.



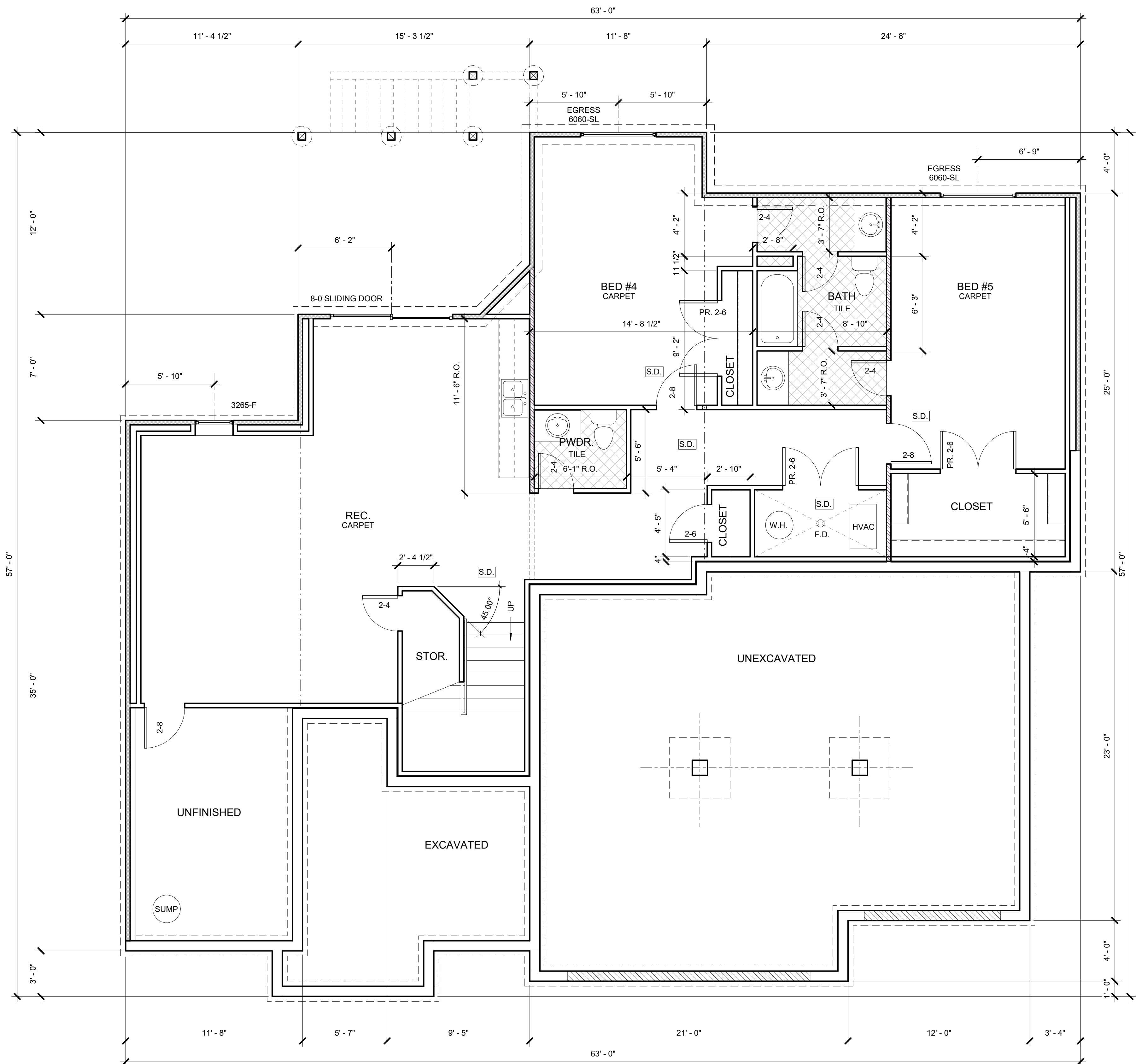
④ TYP. DEADMAN SECTION  
3/4" = 1'-0"



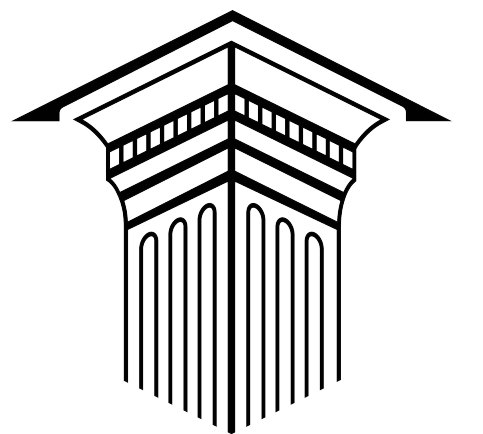
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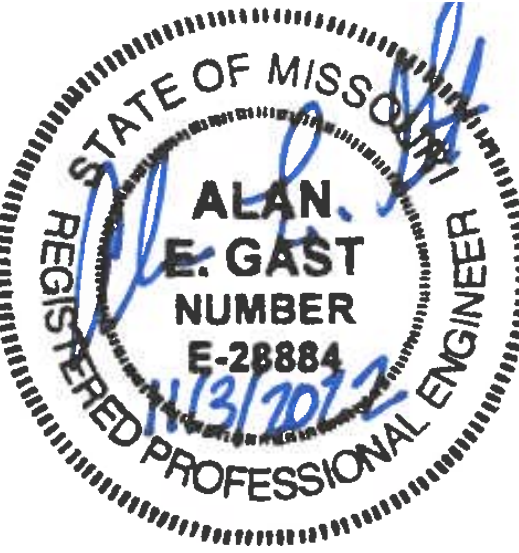
③ FOOTING DETAIL @ WALKOUT  
1/2" = 1'-0"



① LOWER LEVEL PLAN  
1/4" = 1'-0"  
1510 SQ.FT.



DRIPPÉ HOMES



# Lot 104, Summit View Farms

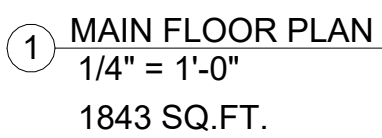
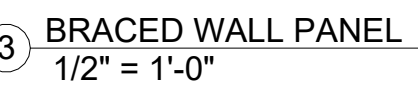
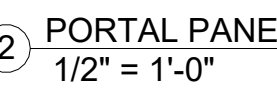
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DRAWN BY: B. WILLIAMS  
BASE PLAN: N/A

LOWER LEVEL

A4





# Lot 104, Summit View Farms

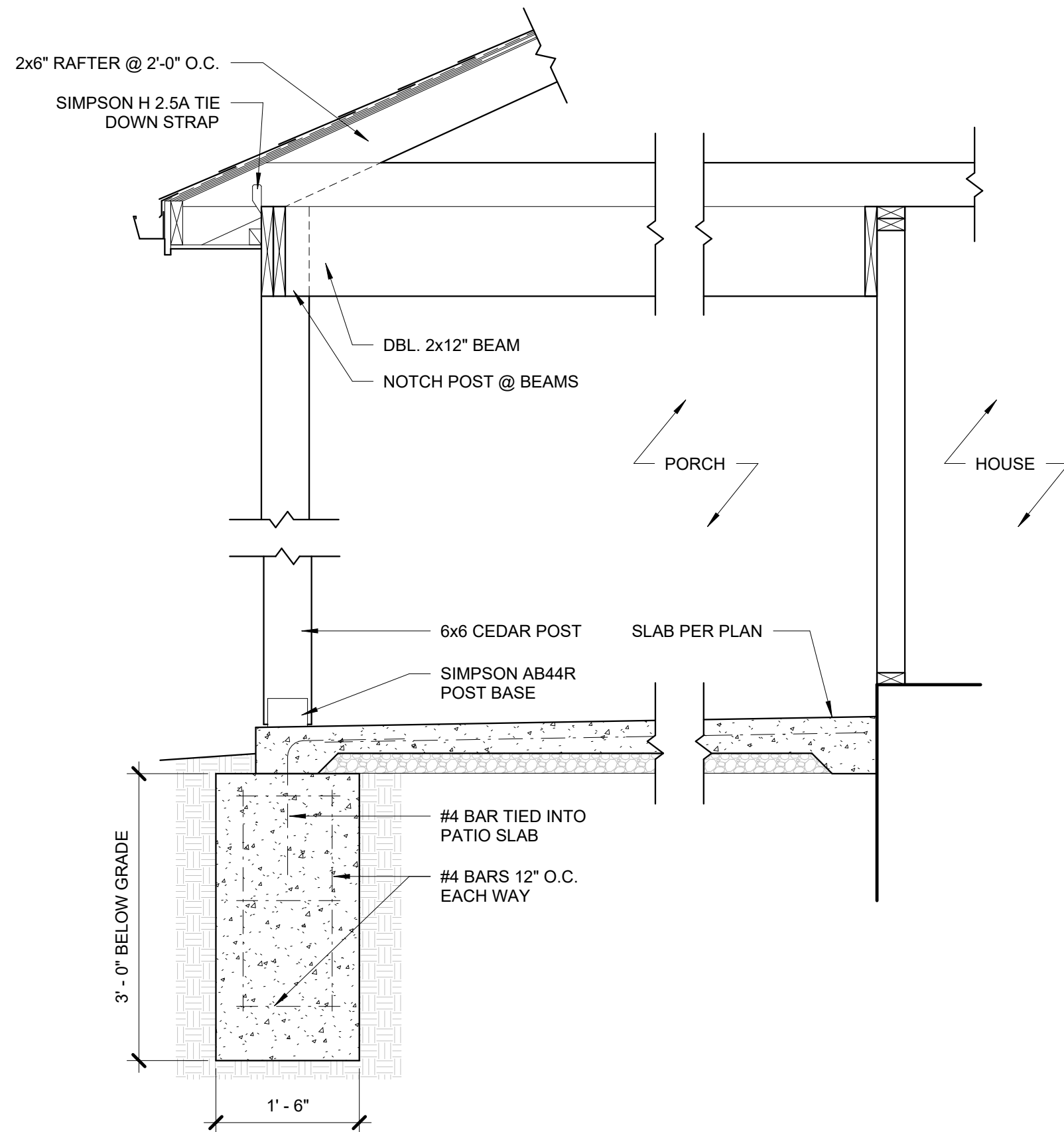
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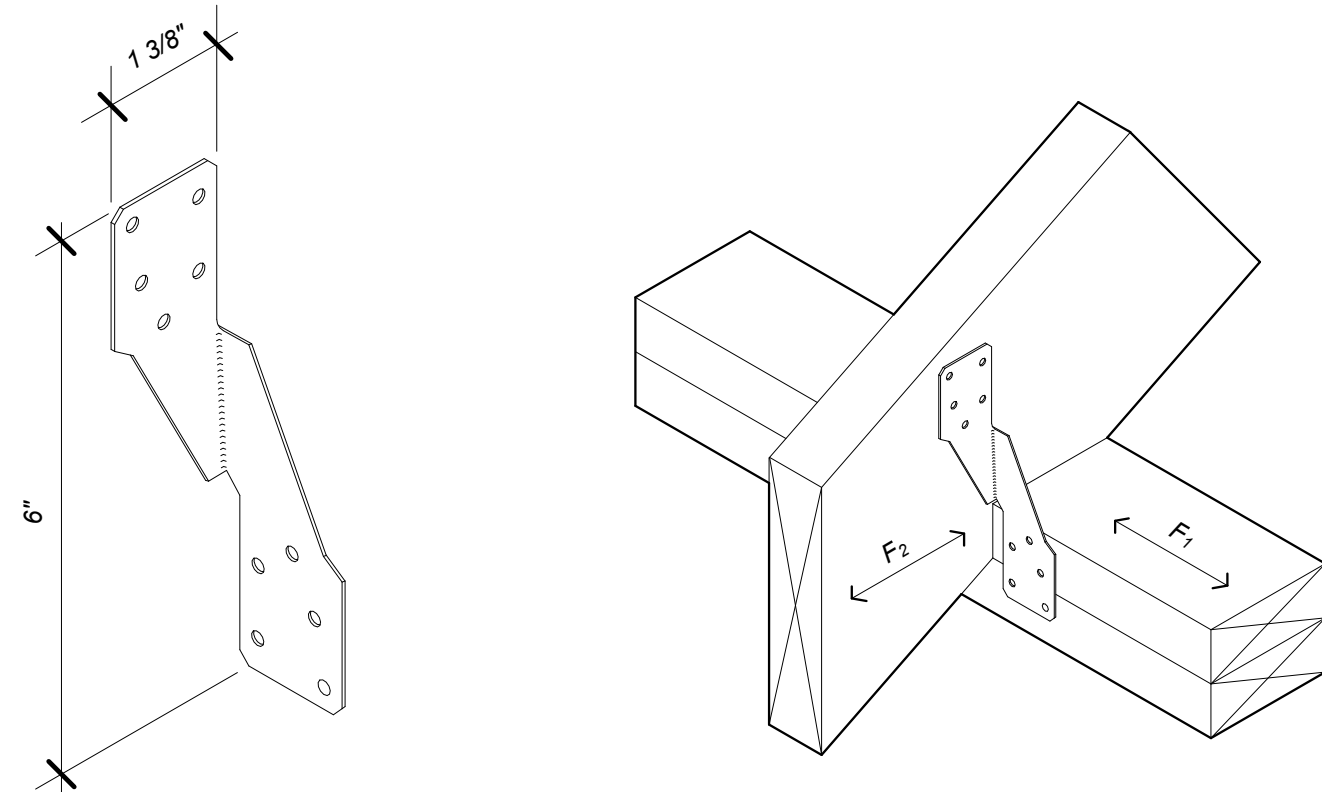
DATE: 02 JUNE 2022  
DRAWN BY: B. WILLIAMS  
BASE PLAN: N/A

## ROOF PLAN

# A6

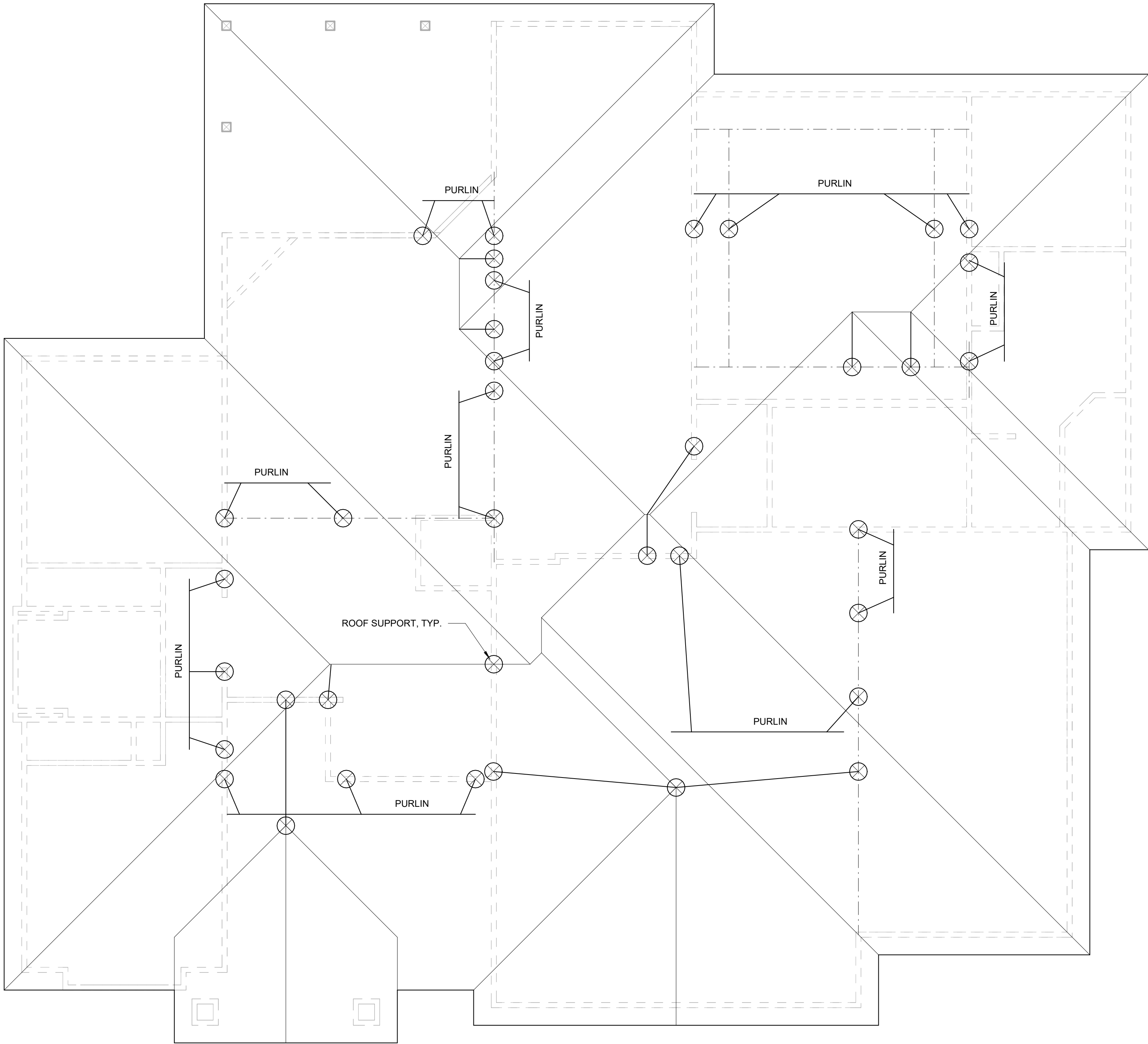


3 PIER @ PATIO SLAB SECTION  
3/4" = 1'-0"



MODEL #	GA.	FASTENERS			DF/SP ALLOWABLE LOADS			UPLIFT W/ 0.131 x 1-1/2" NAILS (160)	SPF/HF ALLOWABLE LOADS		
		TO RAFTERS/ TRUSS	TO PLATES	TO STUDS	UPLIFT (160)	LATERAL (160) F <sub>1</sub> F <sub>2</sub>			UPLIFT (160)	LATERAL (160) F <sub>1</sub> F <sub>2</sub>	
H 2.5A	18	0.131 x 2 1/2"	0.131 x 2 1/2"	-	565	110	110	575	535	110	110

④ PATIO H 2.5A TIE  
3" = 1'-0"



1 ROOF PLAN  
1/4" = 1'-0"

- GENERAL STICK FRAME ROOF NOTES
1. U.N.O., 1'-0" ROOF OVERHANG, TYP.
  2. REF. EXTERIOR ELEVATIONS FOR T.O. PLATE ELEVATIONS
  3. ROOF BRACING PER PLAN
  4. ROOF DESIGNED FOR 25 PSF SNOW LOAD
  5. ALL EXTERIOR HEADERS SHALL BE MIN (2) #2 2x10 DF
  6. ALL POINT LOADS SHALL HAVE A MIN. OF (2) 2x4 BELOW U.N.O.
  7. 2x SUPPORT CONTINUOUS TO BEARING STRUCTURE BELOW OR FOUNDATION.
  8. INSTALL RAFTER AND CLNG. JOIST CONNECTIONS IAW IRC 802.3

NOTE: BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ENERGY AND OTHER REQUIREMENTS OF THE 2018 IRC

TYP. FOUNDATION NOTES

- CONCRETE:
  - ALL CONCRETE SHALL BE AIR-ENTRAINED W/ A MIN. COMPRESSIVE STRENGTH AT 28 DAYS OF:
    - BASEMENT AND INTERIOR FLOOR SLABS - 2500 PSI
    - FOUNDATION WALLS & FOOTINGS - 3000 PSI
    - PORCHES AND GARAGE FLOOR SLABS - 3,500 PSI
  - NO ALUMINUM ITEMS SHALL BE EMBEDDED IN ANY CONCRETE. CHLORIDES IN ANY FORM OR CONCENTRATION SHALL NOT BE ADDED TO ANY CONCRETE.
  - ALL CONCRETE OPERATIONS, INCLUDING BUT NOT LIMITED TO MIX DESIGN, MIXING, TRANSPORTING, PLACING, REINFORCING DETAILING AND PLACING, CURING AND TESTING SHALL BE DONE IN ACCORDANCE W/ THE PROVISIONS OF THE LATEST APPLICABLE RECOMMENDATIONS OF THE ACI MANUAL OF CONCRETE PRACTICE.
- REINFORCING STEEL:
  - ALL REINFORCING STEEL SHALL BE A-615 GRADE 40 STEEL.
  - WELDED WIRE FABRIC SHALL BE ASTM A185
  - BARS MARKED CONTINUOUS AND ALL VERTICAL STEEL SHALL BE LAPPED OR EMBEDDED TO DEVELOP THE FULL CAPACITY OF THE BAR. LAPS SHALL BE CLASS 'B'. U.N.O., SPLICE BARS NEAR MIDSPAN AND SPLICE BOTTOM BARS OVER SUPPORTS
  - AT CORNERS OF ALL WALLS AND GRADE BEAMS, SUPPLY CORNER BARS 4'-0" LONG - MIN. (2'-0" EA. DIRECTION OR 30 BAR DIAMETERS) IN OUTSIDE FO. WALL MATCHING SIZE AND SPACING OF HORIZONTAL BARS. PROVIDE (3) #4 VERTICAL BARS @ CORNERS FOR SUPPORT.
- MINIMUM ASSUMED SOIL BEARING CAPACITY IS 1,500 PSF.
- ALL FOUNDATION WALLS SHALL BE DAMP-PROOFED PER IRC SECTION R406.1 WHERE HIGH WATER TABLE OR OTHER SEVERE WATER CONDITIONS EXIST. WALLS SHALL BE WATERPROOFED PER IRC SECTION R406.2
- PROVIDE MINIMUM 4-INCH PERFORATED DRAIN, OR OTHER APPROVED MATERIALS, AROUND USABLE SPACE BELOW GRADE PER IRC SECTION 405.1. THE PIPE SHALL BE COVERED W/ 6" (MIN) OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL, OR TERMINATE IN A 20-GALLON (MIN) SUMP PIT. FINAL LOCATION OF SUMP PUMP AND RECEPTABLE T.B.D. BY BUILDER.
- ALL FOOTINGS SHALL EXTEND MIN. 36" BELOW GRADE.
- FOOTINGS SHALL BE A MINIMUM OF 16" W x 8" D W/ (3) #4 BARS CONTINUOUS.
- U.N.O. FOUNDATION WALLS SHALL BE A MINIMUM 8" THICK W/ MINIMUM #4 BARS @ 24" O.C. - HORIZONTAL & VERTICAL. EXTEND VERTICAL BARS WITHIN 8" OF T.O. WALL AND HORIZONTAL BARS WITHIN 12" OF TOP OF WALL. PLACE REINFORCEMENT 3" FROM INSIDE F.O. WALL.
- ALL REINFORCEMENT SHALL LAP A MINIMUM OF 24" AT ENDS AND AROUND CORNERS.
- U.N.O., CONCRETE FLOOR SLABS SHALL BE 4" THICK (MIN) OVER 6-MIL VAPOR BARRIER OVER 4" GRAVEL BASE. PROVIDE MIN. 3/4" COVERAGE.
- PROVIDE MIN. 1/2" @ ANCHOR BOLTS, 10" LONG W/ EMBEDMENT AT 4'-0" O.C. (MAX) AND WITHIN 12" OF THE END OF EA. SILL PLATE.
- FLOOR SLABS SUPPORTED BY FILL CONSISTING OF MORE THAN 24" OF GRANULAR FILL OR 8" OF EARTH SHALL BE REINFORCED PER A SEPARATE ENGINEERED DESIGN.
- FOUNDATION WINDOW WELLS FOR SECONDARY MEANS OF EGRESS SHALL PROVIDE A MIN. 3'-0"x3'-0" HORIZONTAL AREA. RE: PLANS.
- U.N.O., ALL STRUCTURAL STEEL COLUMNS # PADS: 3" DIA. STANDARD STEEL PIPE COLUMN (SCHED. 40) ON 36"x36"x12" CONC. FOOTING W/ (3) #4 BARS EA. WAY - TYP UNO.
- PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLAB TO MINIMIZE CRACKING
- TYP. STOOP SUPPORT: PROVIDE 8" W x 4'-0" D CONCRETE WING WALL W/ #4 BARS @ 16" O.C. VERT. AND 12" O.C. HORIZ. TIE BARS INTO FOUNDATION MIN. 24".
- ALL SILLS AND SLEEPERS & FURRING SUPPORTED ON OR ATTACHED TO CONCRETE OR MASONRY SHALL BE OF DECAY RESISTANT MATERIALS.

MEP GENERAL NOTES

- PROVIDE THERMAL EXPANSION DEVICE AT WATER HEATER.
- PROVIDE MECHANICAL VENTILATION IN ROOMS CONTAINING A WATER CLOSET, SHOWER OR BATHTUB IF THERE IS NO OPERABLE WINDOW. RE: PLANS FOR LOCATIONS.
- ALL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE GFCI OR GFI PER NATIONAL ELECTRICAL CODE REQUIREMENTS
- PROVIDE MIN. 20 GALLON SUMP PUMP WHERE INDICATED ON PLANS AND A RECEPTACLE TO SERVE PUMP

FIRE PROTECTION

- PROVIDE COMBINATION CARBON MONOXIDE AND SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA AND ON EACH FLOOR, INCLUDING BASEMENTS. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING.
- PROVIDE 1 3/8" SOLID CORE OR 20 MIN. FIRE DOOR BETWEEN GARAGE AND DWELLING.
- SEPARATE GARAGE FROM DWELLING AND ATTIC AREAS BY MINIMUM 1/2" TYPE 'X' GYP. BD. APPLIED TO GARAGE SIDE. WHERE A FLOOR / CEILING SPACE IS PROVIDED ABOVE THE GARAGE, COLUMNS AND BEAMS SHALL ALSO BE PROTECTED.
- PROVIDE 1/2" FIRE-RATED GYP BD. IN THE FOLLOWING LOCATIONS: IN USABLE, ENCLOSED SPACES UNDER STAIRS; BETWEEN LIVING AREAS AND GARAGE.
- NON-COMBUSTIBLE FIREPLACE HEARTHS SHALL BE A MIN. OF 20" DEEP.

STAIR AND DECK GENERAL NOTES:

- ALL STAIRWAYS SHALL HAVE A MAXIMUM RISE OF 7 3/4" AND MINIMUM 10" RUN
- PROVIDE GUARDRAILS AT 34" A.F.F. FOR WHERE LESS THAN 30" FLOOR HEIGHT DIFFERENCE; PROVIDE 36" WHERE 30" A.F.F. WHERE 30" OR TALLER
- ALL HANDRAILS (REQ'D. ON 4+ RISERS) SHALL BE 34" ABOVE NOSE OF STAIR TREADS. SIZE AND SHAPE PER IRC SECTION R311.7.8. PROVIDE SOLID BLOCKING
- DECK PLANS SHALL BE APPROVED BY THE CITY PRIOR TO CONSTRUCTION

TYP. FRAMING NOTES

- DIMENSIONS ARE TO F.O. STUD OR CENTERLINE OF COLUMNS, BEAMS AND OPENINGS.
- JOISTS UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY W/ IRC SECTION R502.4.
- JOISTS FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL LAP A MINIMUM 3" AND SHALL BE NAILED TOGETHER W/ MIN. 10d FACE NAILS.
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING SPACED NOT MORE THAN 4 FT. O.C. FOR A MINIMUM OF TWO JOIST SPACES OR PROVIDE ALTERNATE ENGINEERED DESIGN.
- UNLESS NOTED OTHERWISE ON DRAWINGS, TYP. FLOOR FRAMING: 9 1/2" DEEP TJI/PRO, SERIES 100 TS @ 16" O.C. (40L/10D LOADS) - TYP. MAX SPAN= 15'-8".
- JOISTS FRAMING INTO A WOOD GIRDER OR BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS.
- TYP. WALL FRAMING AS INDICATED ON PLANS.
- ALL HEADERS, ROOF RAFTERS & CEILING JOISTS SHALL BE #2 DOUGLAS-FIR-LARCH OR BETTER. BLOCKING BETWEEN PLATES AND ALL OTHER FRAMING LUMBER NOT OTHERWISE DESIGNATED SHALL BE STUD GRADE.
- LOCATE HEADERS DIRECTLY BELOW TOP PLATES, W/ THE LOWER TOP PLATE NAILED DIRECTLY TO HEADER. SIZE AS INDICATED ON PLANS.
- PROVIDE TOP PLATES AS INDICATED ON PLANS. OFFSET JOINTS MIN. 4'-0" AT SPLICES. USE 16-16d COMMON NAILS EA. TOP PLATE SPLICE ((8) ON EA. END).
- STUDS TO BE ALIGNED VERTICALLY, PROVIDE LOAD TRANSFER FROM STUDS ABOVE TO STUDS BELOW WITH FLOOR FRAMING MEMBERS OR W/ CRIPPLE STUDS OR SQUASH BLOCKS BETWEEN SOLE PLATE AND TOP PLATES TO MATCH STUDS ABOVE.
- ALL JAMBS ON FIRST FLOOR TO BE TRIPLE STUDS (2 FULL + 1 TRIMMER). ALL JAMBS ON SECOND FLOOR TO BE DOUBLE STUDS (1 FULL + 1 TRIMMER). PROVIDE LOAD TRANSFER FROM STUDS ABOVE TO STUDS BELOW WITH FLOOR FRAMING MEMBERS OR W/ CRIPPLE STUDS OR SQUASH BLOCKS BETWEEN SOLE PLATE AND TOP PLATES TO MATCH JAMBS ABOVE.
- PARALLAM BEAMS TO BE TRUSS JOIST MACMILLAN 2.0E PARALLAM PSL LUMBER BEAMS W/ MINIMUM E = 2.0 KSI. MINIMUM Fb = 2,900 PSI AND MINIMUM Fx = 290 PSI.
- MICROLLAM BEAMS MINIMUM REQUIREMENTS: 1.9 MICROLLAM LVL, MINIMUM Fb = 2,600 PSI, MINIMUM Fv = 285 PSI.
- EXTERIOR WALL SHEATHING 7/16" THICK, 4'-0" WIDE APA RATED STRUCTURAL PANELS ON OUTSIDE FACE + 1/2" GYPSUM WALLBOARD ON INSIDE FACE. BLOCK ALL JOINTS IN EXTERIOR SHEATHING. NAIL SHEATHING W/ 8d COMMON OR GALVANIZED BOX NAILS @ 6" O.C. @ ALL JOINTS. PLATES AND BLOCKING. NAIL 12" O.C. IN FIELD. JOINTS IN GYP. BD. TO OCCUR OVER STUDS PLATES OR SOLID BLOCKING. NAIL W/ 6d COOLER NAILS OR 1 5/8" LONG WALLBOARD NAILS @ 7" O.C. (TYP).
- PROVIDE 2x SOLID BLOCKING AT END OF JOISTS NOT FRAMED INTO RIM BOARD AND ABOVE LATERAL SUPPORT.
- WINDOW R.O. SIZE INDICATED ON PLANS
- ALL FRAMED WALLS OVER 10'-0" TALL TO ENGINEERED TO MEET ALL SHEAR LOAD REQUIREMENTS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- PROVIDE CODE APPROVED METAL FASTENERS + HARDWARE WHEN IN CONTACT WITH PRESSURE TREATED LUMBER
- DESIGN LOADS:

ROOF - 25 psf (LIVE)  
10 psf (DEAD)

FLOOR - 40 psf (LIVE)  
20 psf (DEAD)

DECK - 40 psf (LIVE)  
10 psf (DEAD)

GARAGE DOOR 'H-FRAME' ASSEMBLY:

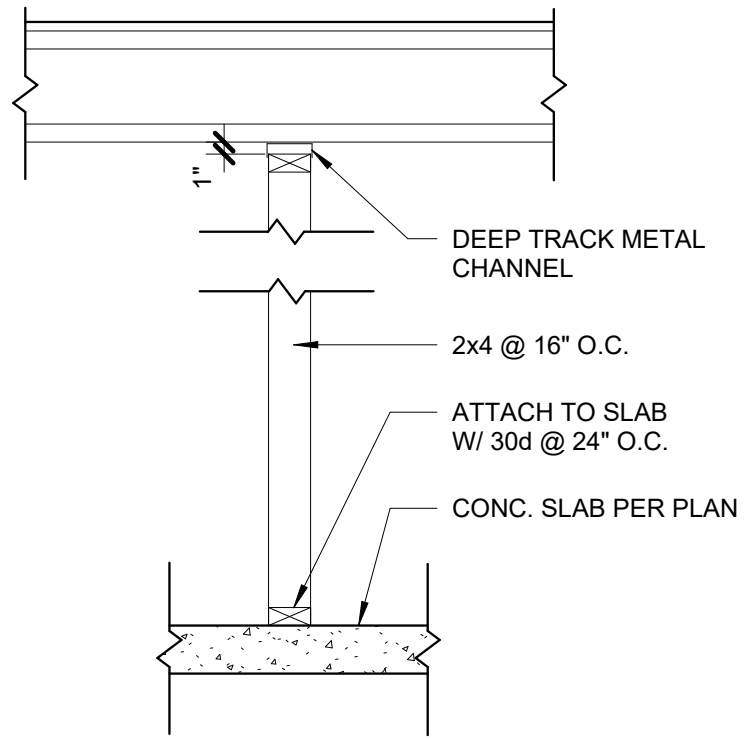
GARAGE DOOR FRAMES SHALL BE DESIGNED AND INSTALLED PER R602.10.6.3 AND REF. PORTAL PANEL PFG DETAIL

SAFETY GLAZING GENERAL NOTE:

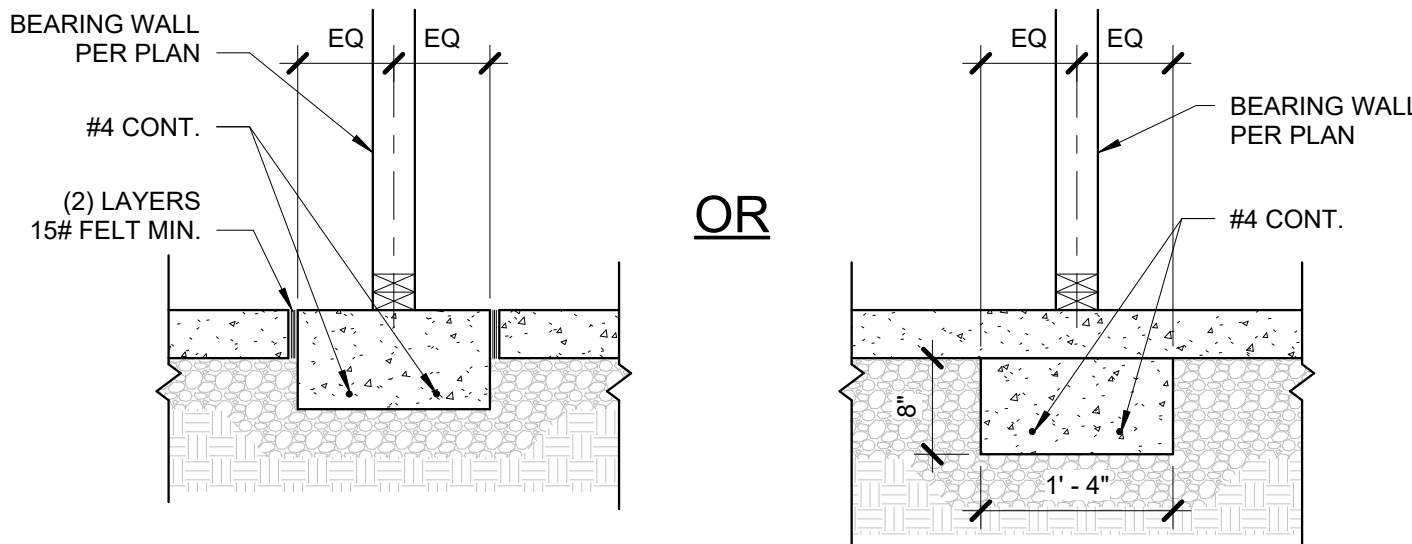
GLAZING IN HAZARDOUS LOCATIONS SHALL BE OF APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS; INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO THE DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR; WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR SPAS, TUBS, SHOWERS AND WHIRLPOOLS; AND GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 9 SF. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

EMERGENCY EGRESS AND RESCUE

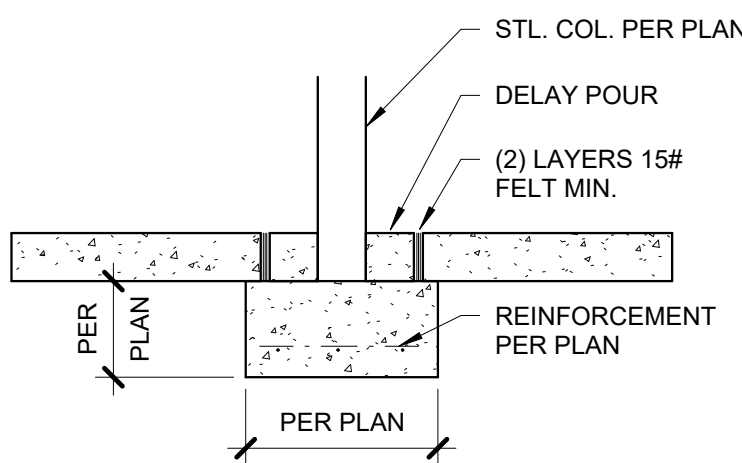
- ALL DESIGNATED EGRESS WINDOWS SHALL HAVE A MIN. WINDOW OPENING OF 5.7 SQ/FT WITH A MIN. WIDTH OF 20" AND A SILL LESS THAN 44" A.F.F.



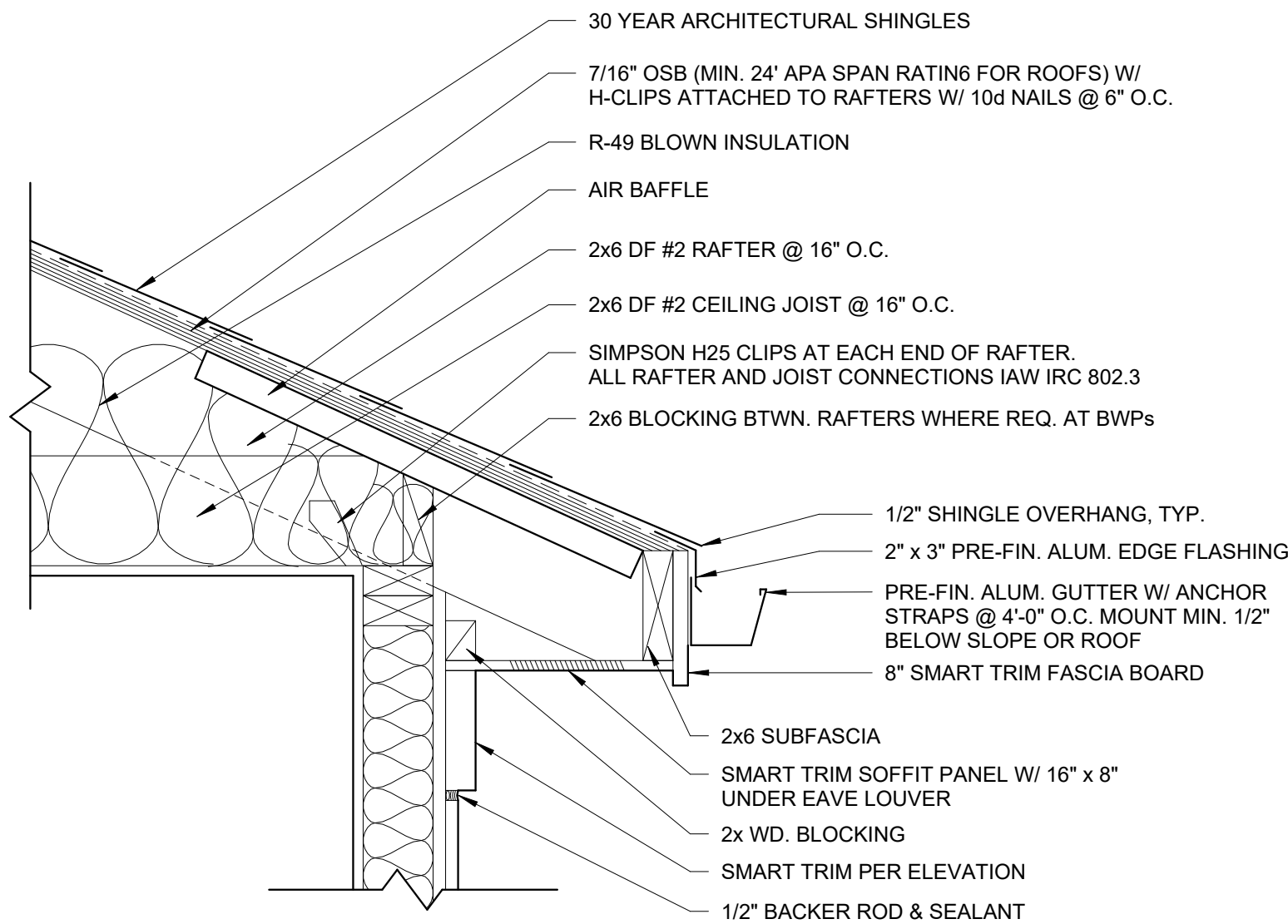
⑥ TYP. NON-BEARING DETAIL  
3/4" = 1'-0"



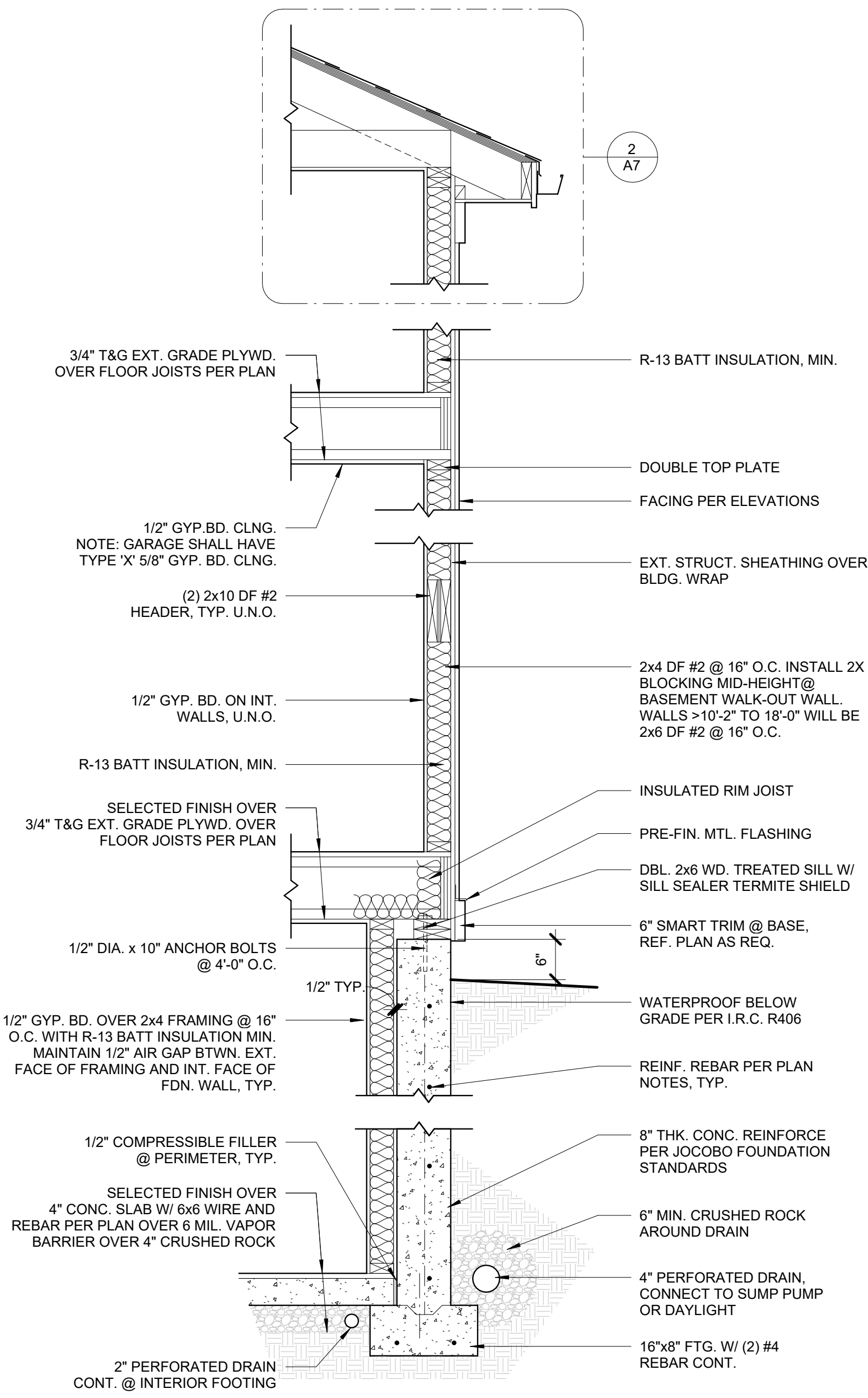
④ TYP. BEARING DETAIL  
3/4" = 1'-0"



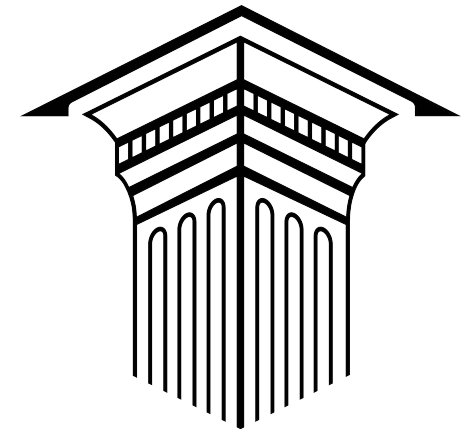
③ TYP. COLUMN DETAIL  
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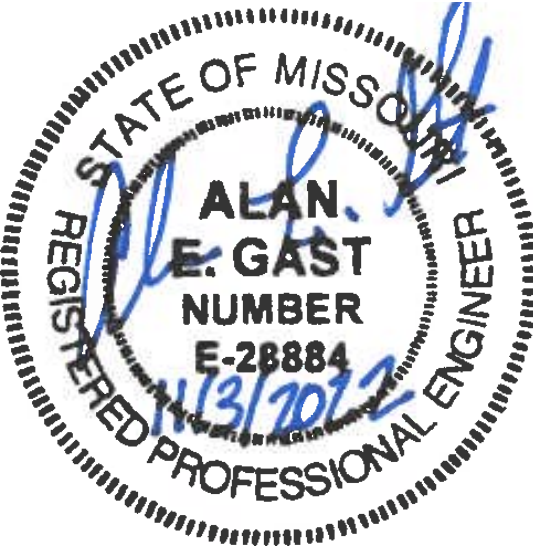
② TYP. EAVE DETAIL - STICK FRAMED  
1 1/2" = 1'-0"



① TYP. WALL SECTION BASEMENT  
3/4" = 1'-0"



DRIPPÉ HOMES



Lot 104, Summit View Farms

3219 SW Enoch St. Lees Summit, MO

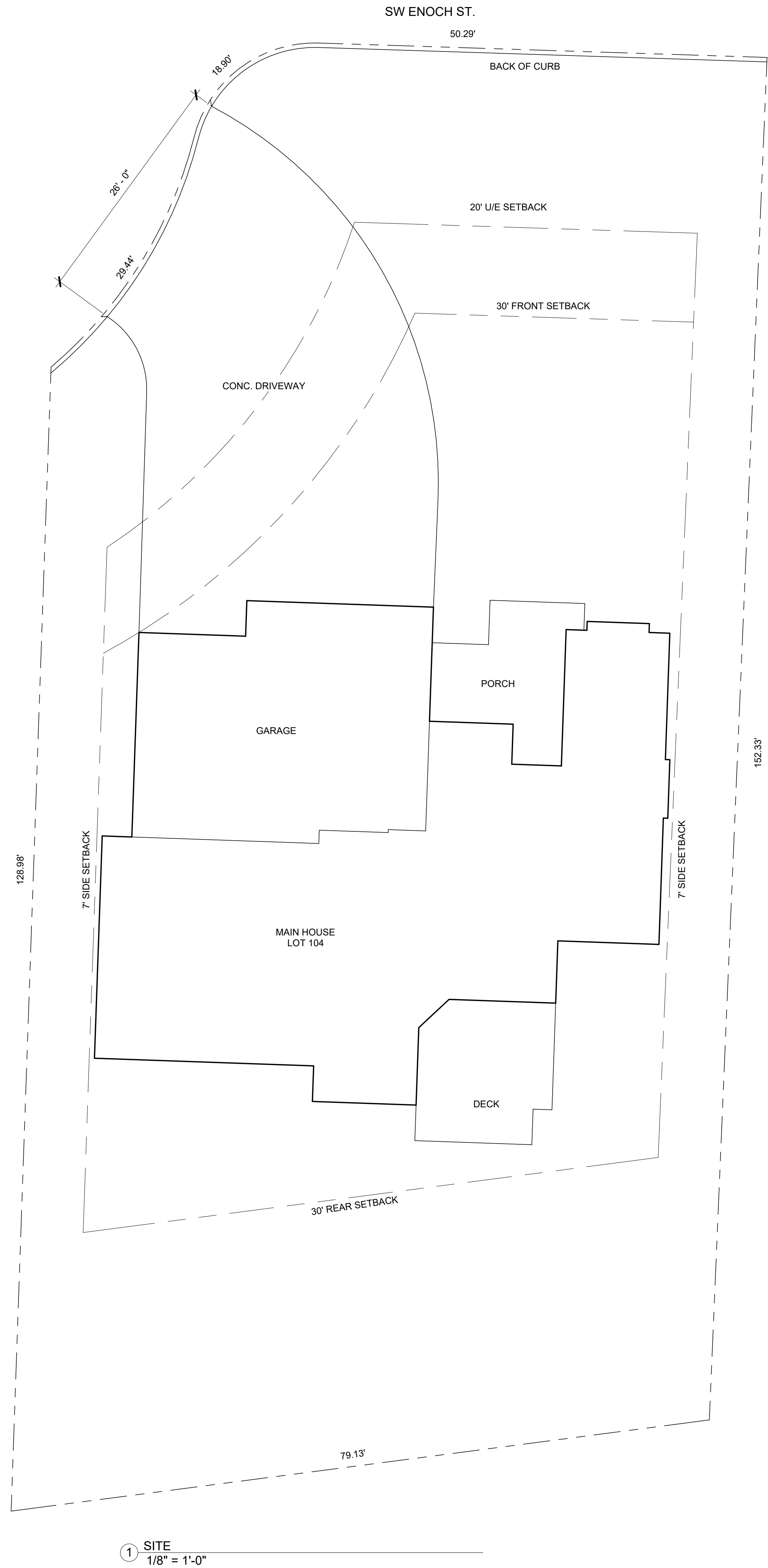
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DATE: 02 JUNE 2022  
DRAWN BY: B. WILLIAMS  
BASE PLAN: N/A

CONSTRUCTION  
NOTES & DETAILS

A7

Square Footage Summery:  
Main Level Finished: 1,843 sqft  
Basement Finished 1510 sqft  
Total Finished = 3353 sqft  
Garage = 821 sqft  
Basement Unfinished = 289 sqft  
Deck (no stairs) = 178 sqft



1 SITE  
1/8" = 1'-0"



## Lot 104, Summit View Farms

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BASE PLAN: N/A

SITE PLAN

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