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How to read these plans.

THESE PLANS ARE DRAWN USING A LEGEND FORMAT. THE LEGENDS ON EACH SHEET EXPLAIN THE MANY SYMBOLS USED THROUGHOUT THE PLANS.

A SYMBOL SHOWN IN A LEGEND DOES NOT NECESSARILY MEAN THAT THE ITEM OCCURS WITHIN THE SCOPE OF THIS PROJECT. REVIEW THE PLANS AND SPECIFICATIONS CAREFULLY TO DETERMINE THE COMPLETE SCOPE OF WORK.

About this project...

RADIANT WAXING IS A STUDIO PROVIDING WAXING SERVICES. THIS LOCATION IS IN AN EXISTING BUILDING IN FORMER RETAIL TENANT SPACE. NO STRUCTURAL WORK IS REQUIRED.

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LEE'S SUMMIT, MISSOURI

Specifications

THESE SPECIFICATIONS CONTAIN IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS, AND METHODS.

DIVISION 1 INSTRUCTIONS TO BIDDERS

- 1.1 THESE DOCUMENTS ARE TO BE BID AS AN ENTIRE PACKAGE. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR/SUBCONTRACTORS FOR ITEMS OMITTED DUE TO BIDDING OF PARTIAL DOCUMENTS.
- 2.1 VISIT THE SITE BEFORE SUBMITTING YOUR FINAL BID. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR/SUBCONTRACTORS FOR ITEMS OMITTED DUE TO LACK OF KNOWLEDGE OF EXISTING UNCONCEALED SITE CONDITIONS.
- 3.1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER THE SCALE OF A DRAWING.
- 4.1 INCLUDE IN YOUR BID THE FOLLOWING ADDITIONAL ITEMS:
 - a. ITEMS TO BE REMOVED IN ORDER TO COMPLETE THE PROJECT. REFER TO DIVISION 2.
 - b. ITEMS TO BE RELOCATED IN ORDER TO COMPLETE THE PROJECT. REFER TO OTHER DIVISIONS WITHIN THESE SPECIFICATIONS.
- 5.1 IF YOU SHOULD FIND APPARENT CONFLICTS IN, OR OMISSIONS FROM THESE DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, CONTACT DUSTIN CURTIS ARCHITECT IN WRITING PRIOR TO SUBMITTING A FINAL BID.
- 6.1 THE CONTRACTOR SHALL GIVE DUSTIN CURTIS ARCHITECT 48 HOURS TO RESEARCH AND REPLY TO ALL QUESTIONS. ONLY WRITTEN RESPONSES FROM DUSTIN CURTIS ARCHITECT SHALL BE CONSIDERED VALID CHANGES TO THE SCOPE OF WORK.

CONTRACTOR'S RESPONSIBILITIES

1.1 THE CONTRACTOR SHALL FILE FOR ALL REQUIRED INSPECTIONS WITH ALL APPLICABLE AGENCIES.

OWNER'S OBLIGATIONS

1.1 THE OWNER WILL PAY FOR ALL NORMALLY REQUIRED BUILDING PERMITS, IMPACT FEES, INSPECTION FEES ETC. AS NEEDED TO COMPLETE THE PROJECT.

2.1 THE OWNER WILL PAY FOR ALL CHANGES TO THE WORK RESULTING FROM CONDITIONS THAT COULD NOT HAVE BEEN KNOWN TO THE CONTRACTOR OR DUSTIN CURTIS ARCHITECT BY VISUAL INSPECTION OF THE SITE.

3.1 THE OWNER WILL MAKE THE SITE ACCESSIBLE TO THE CONTRACTOR DURING THE PERIOD OF CONSTRUCTION, AND WILL NOT HOLD THE CONTRACTOR RESPONSIBLE FOR TIME DELAYS OR COST INCREASES CAUSED BY OWNER OR TENANT ACTIONS.

DIVISION 2 DEMOLITION

1.1 REMOVE ALL EXISTING FLOORING, WALLS, DOORS, CEILINGS, CASEWORK, ETC. AS REQUIRED TO ALLOW FOR ALL NEW WORK.

2.1 REMOVE OR RELOCATE ALL COMPONENTS OF THE MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS AS REQUIRED TO ALLOW FOR ALL NEW WORK. RELOCATION OF ITEMS TO REMAIN SHALL COMPLY WITH ALL CODES AND ORDINANCES.

3.1 WHERE DEMOLITION HAS OCCURRED, REPAIR OR REPLACE ANY REMAINING FLOORS, WALLS OR CEILINGS TO "LIKE NEW" CONDITION. MATCH ADJACENT NEW FINISHES.

DIVISION 17 ACCESSIBILITY REQUIREMENTS

1.1 ALL WORK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ARCHITECTURAL GUIDELINES (ADAAG) AND ANSI STANDARDS A-117.1, LATEST EDITION.

2.1 ALL THRESHOLDS SHALL BE A MAXIMUM 1/2" HEIGHT AND BEVELED.

3.1 ALL DOOR HANDLES SHALL BE LEVER TYPE. CENTER OF LEVER TO BE INSTALLED 36" ABOVE FINISH FLOOR.

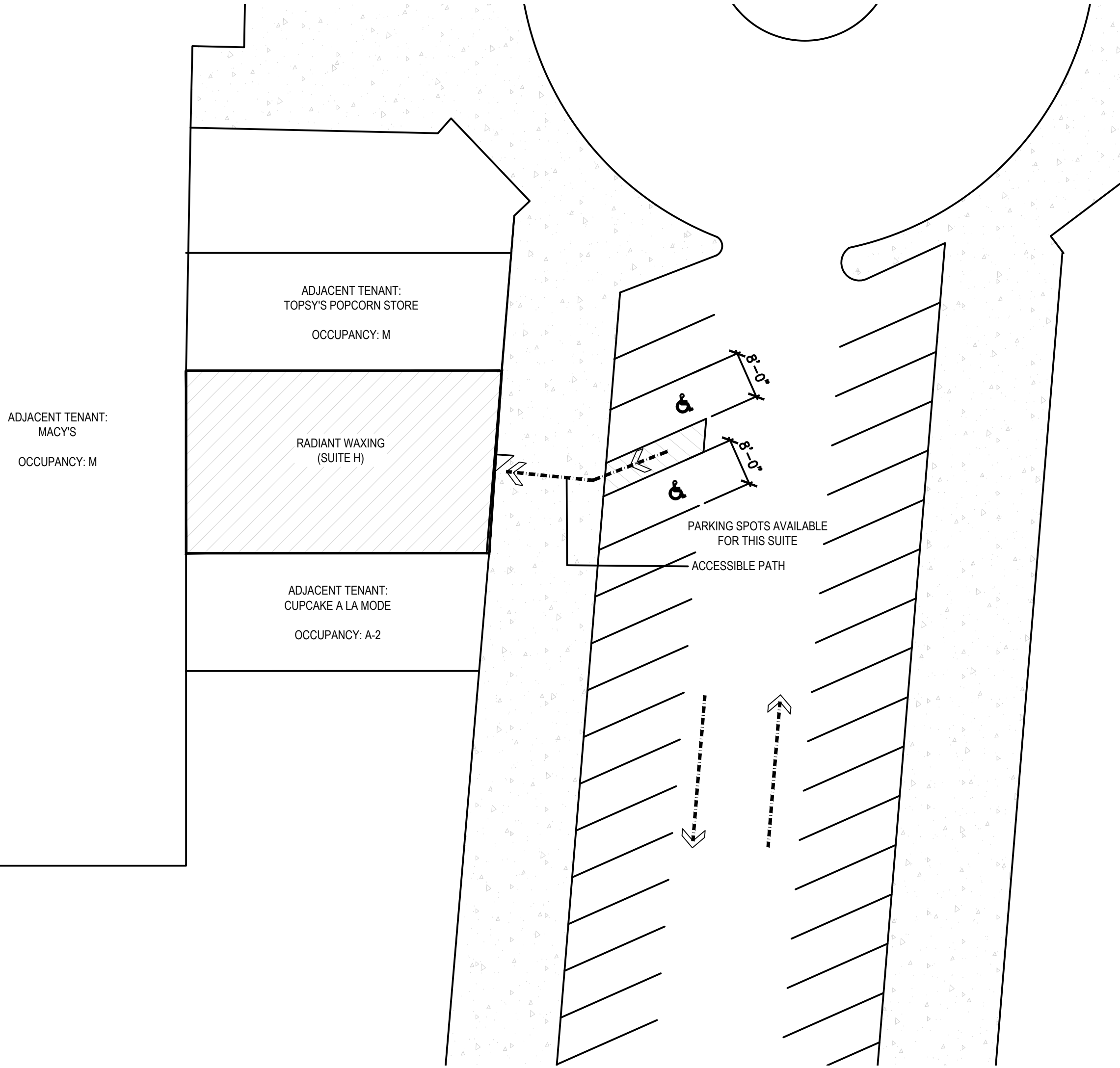
4.1 LAVATORY FAUCETS SHALL BE LEVER TYPE.

5.1 HOT WATER AND DRAINPIPES UNDER LAVATORIES SHALL BE INSULATED.

6.1 TOILET PAPER DISPENSER SHALL BE CONTINUOUS FLOW TYPE.

7.1 FLUSH CONTROL VALVE AT WATER CLOSET SHALL BE ON THE WIDE SIDE OF THE CLOSET AND MOUNTED AT NO GREATER THAN 42" ABOVE THE FINISH FLOOR.

Site Plan



Site Plan
1/16" = 1'-0"

Project Scope of Work

THIS PROJECT IS A TENANT IMPROVEMENT PROJECT OF AN EXISTING SHELL SPACE. PROPOSED WORK INCLUDES:

DEMOLITION: REMOVAL OF NON-BEARING INTERIOR PARTITIONS, EQUIPMENT AND FINISHES IMPROVEMENTS AS NECESSARY, SEE DIVISION 2 OF SPECIFICATIONS.

EXTERIOR: NONE REQUIRED. ALL EXTERIOR SIGNAGE UNDER SEPARATE PERMIT.

INTERIOR:
- NON-LOAD BEARING INTERIOR PARTITIONS
- ROOM FINISHES TO INCLUDE PAINT, WOOD PLANK FLOORING, CERAMIC TILE, AND ACOUSTICAL CEILING.

MECHANICAL: ROOF TOP UNIT IS EXISTING. NEW DUCTING WITHIN THE SPACE WITH NEW REGISTERS.

PLUMBING: NEW RESTROOM FIXTURES, HAND SINK AND KITCHEN SINK.

ELECTRICAL:
- OUTLETS FOR GENERAL USE
- LIGHT FIXTURES
- EXISTING ELECTRICAL PANELS

FIRE SPRINKLER: EXISTING SPRINKLER SYSTEM TO BE MODIFIED. NOT INCLUDED UNDER THIS PERMIT. SEE GENERAL NOTES THIS SHEET.

FIRE ALARM: EXISTING FIRE ALARM TO BE MODIFIED. NOT INCLUDED UNDER THIS PERMIT. SEE GENERAL NOTES THIS SHEET.

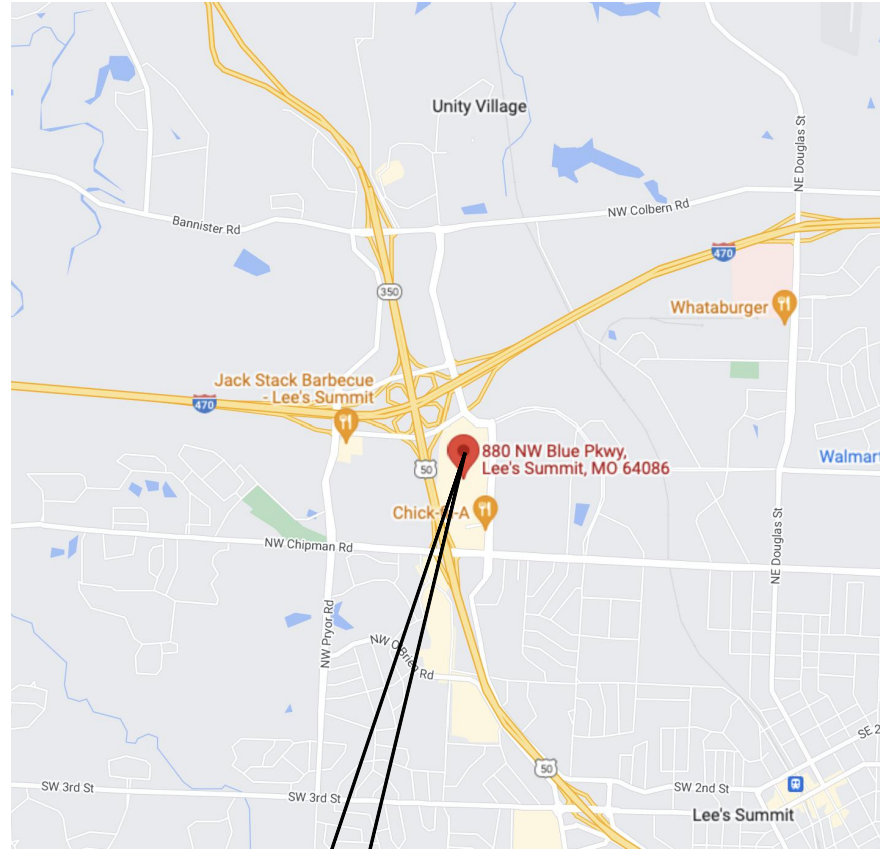
SIGNAGE: NOT INCLUDED UNDER THIS PERMIT

(SEE PLANS FOR FULL DESCRIPTION OF WORK)

General Notes

- A. SITE IMPROVEMENTS, LANDSCAPING, PARKING, SHELL STRUCTURE, WATER AND SEWER MAIN LINES, AND ELECTRICAL DISTRIBUTION ARE EXISTING SYSTEMS AND ARE TO BE MODIFIED ONLY TO THE EXTENT SHOWN IN THESE DOCUMENTS.
- B. ALL PRODUCTS LISTED BY ICC, UL OR EQUIVALENT NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTION. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN APPROVED EVALUATION REPORT OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.
- C. FIRE SPRINKLER APPROVALS ARE NOT INCLUDED UNDER THIS PERMIT. BEFORE COMMENCING ANY WORK ON THE SPRINKLER SYSTEM, PLANS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE SYSTEM MUST BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY.
- D. FIRE ALARM SYSTEM APPROVALS ARE NOT INCLUDED UNDER THIS PERMIT. BEFORE COMMENCING ANY WORK ON THE ALARM SYSTEM, PLANS AND CUT SHEETS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE SYSTEM MUST BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY.

Vicinity Map



THIS
PROJECT



City Construction Codes

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

2018	INTERNATIONAL BUILDING CODE
2018	INTERNATIONAL PLUMBING CODE
2018	INTERNATIONAL MECHANICAL CODE
2017	NATIONAL ELECTRICAL CODE
2018	INTERNATIONAL FIRE CODE
2018	INTERNATIONAL FUEL/GAS CODE
2009	ICC ANSI 117.1

Project Information

ZONING:	CP-2
CONSTRUCTION TYPE:	I-B SPRINKLERED
SUITE AREA:	1526 S.F.
OCCUPANCY TYPE:	B
OCCUPANT LOAD:	
A:	BUSINESS : 1526 / 150 = 10
	10

COMMON PATH OF EGRESS TRAVEL (Table 1006.2.1):	MAX ALLOWABLE: 100'-0" ACTUAL: 59'-0"
EXITS REQUIRED:	1
EXITS PROVIDED:	2
EXIT ACCESS TRAVEL DISTANCE MAXIMUM (Table 1017.2):	REQUIRED: 300' SPRINKLERED ACTUAL: 52'-2"
ACCESSIBLE ROUTE (Sect. 1104.3):	REQUIRED: 36" CLEAR PATH PROVIDED: 43" CLEAR PATH
ACCESSIBLE FACILITIES PROVIDED (Sect. 1109.2):	REQUIRED: 1 PROVIDED: 1

PER TABLE 1006.2.1, IF COMMON PATH OF TRAVEL DISTANCE IS LESS THAN 100 FEET, AND OCCUPANT LOAD IS 29 OR LESS, ONLY 1 EXIT REQUIRED.

Parking Calculations

PARKING REQUIRED:	BUSINESS : 1526 / 250 = 6
	TOTAL: 6
PARKING PROVIDED:	6 EXISTING SPACES (INCLUDING 1 ACCESSIBLE SPACE) FOR THIS SUITE. SEE SITE PLAN ON THIS SHEET. NO CHANGE OF USE WITH THIS PROJECT.
ACCESSIBLE PARKING SPACES REQUIRED:	1
ACCESSIBLE PARKING SPACES PROVIDED:	1
PER IBC TABLE 1106.1, THE MINIMUM NUMBER OF SPACES IS:	1 FOR EACH 25 SPACES UP TO 100 TOTAL SPACES.

Plumbing Fixture Calculations

BUSINESS 10 OCCUPANTS
WATER CLOSETS - MALE/FEMALE (PER INTERNATIONAL PLUMBING CODE TABLE 403.2 EXCEPTION #2 - SEPARATE FACILITIES ARE NOT REQUIRED FOR OCCUPANT LOADS OF 15 OR LESS) REQ'D: 1 PROVIDED: 1
LAVATORIES - MALE/FEMALE REQ'D: 1 PROVIDED: 1
DRINKING FOUNTAINS (PER INTERNATIONAL PLUMBING CODE TABLE 403.1 - EXCEPTION F) REQ'D: (1/100) 0 PROVIDED: 0
OTHER (PER INTERNATIONAL PLUMBING CODE TABLE 403.1 - EXCEPTION E) REQ'D: 0 SERVICE SINK PROVIDED: 1 SERVICE SINK

Status of Documents

THESE PLANS ARE ISSUED FOR BIDDING AND PERMITTING. FINAL PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER APPROVAL BY ALL GOVERNING AGENCIES. AGENCY ITEMS AND ADDENDA ITEM, IF ANY, WILL BE ADDED TO FINAL PLANS AND WILL BE PROPERLY NOTED AS SUCH.

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Radiant Waxing

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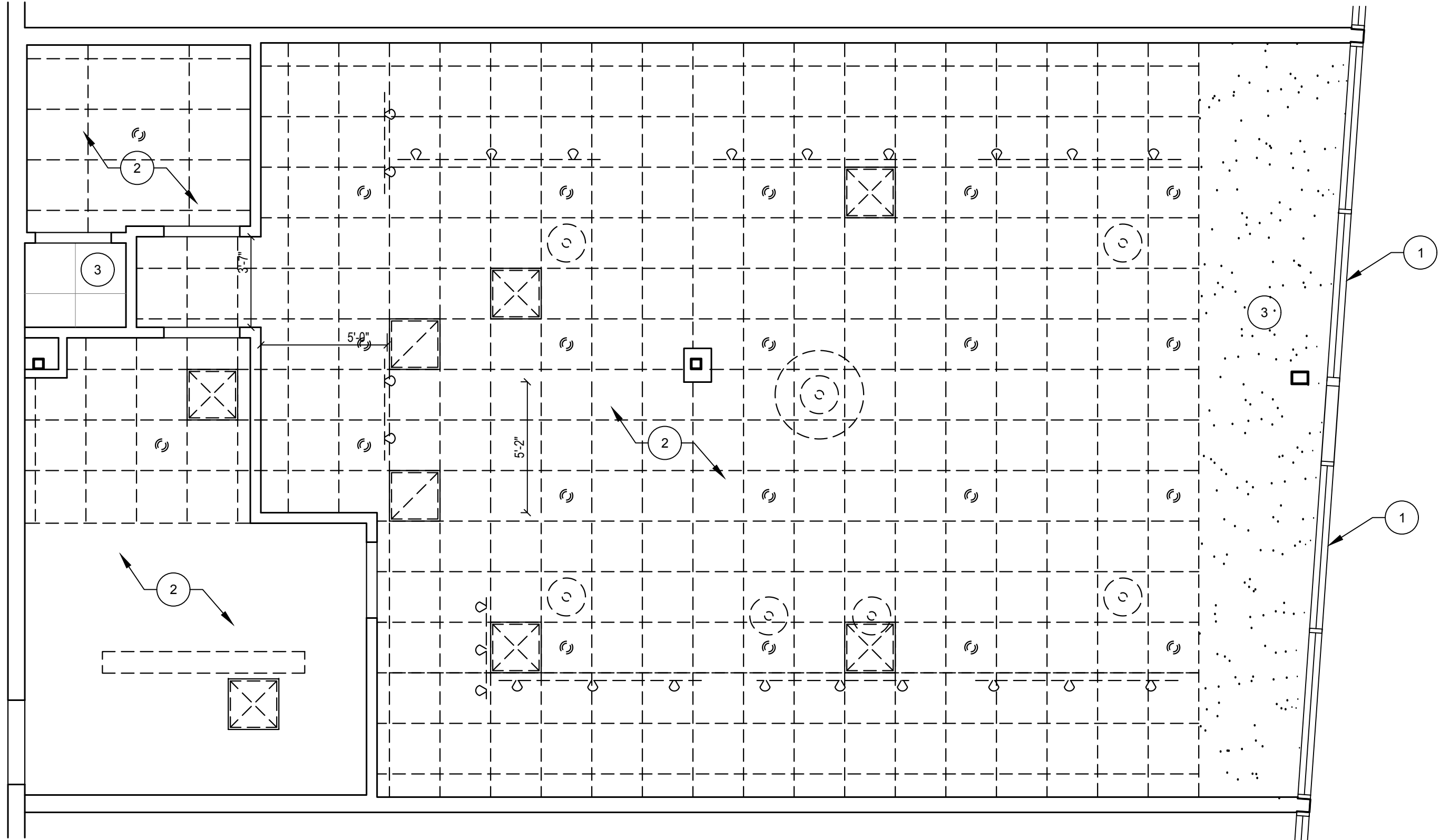
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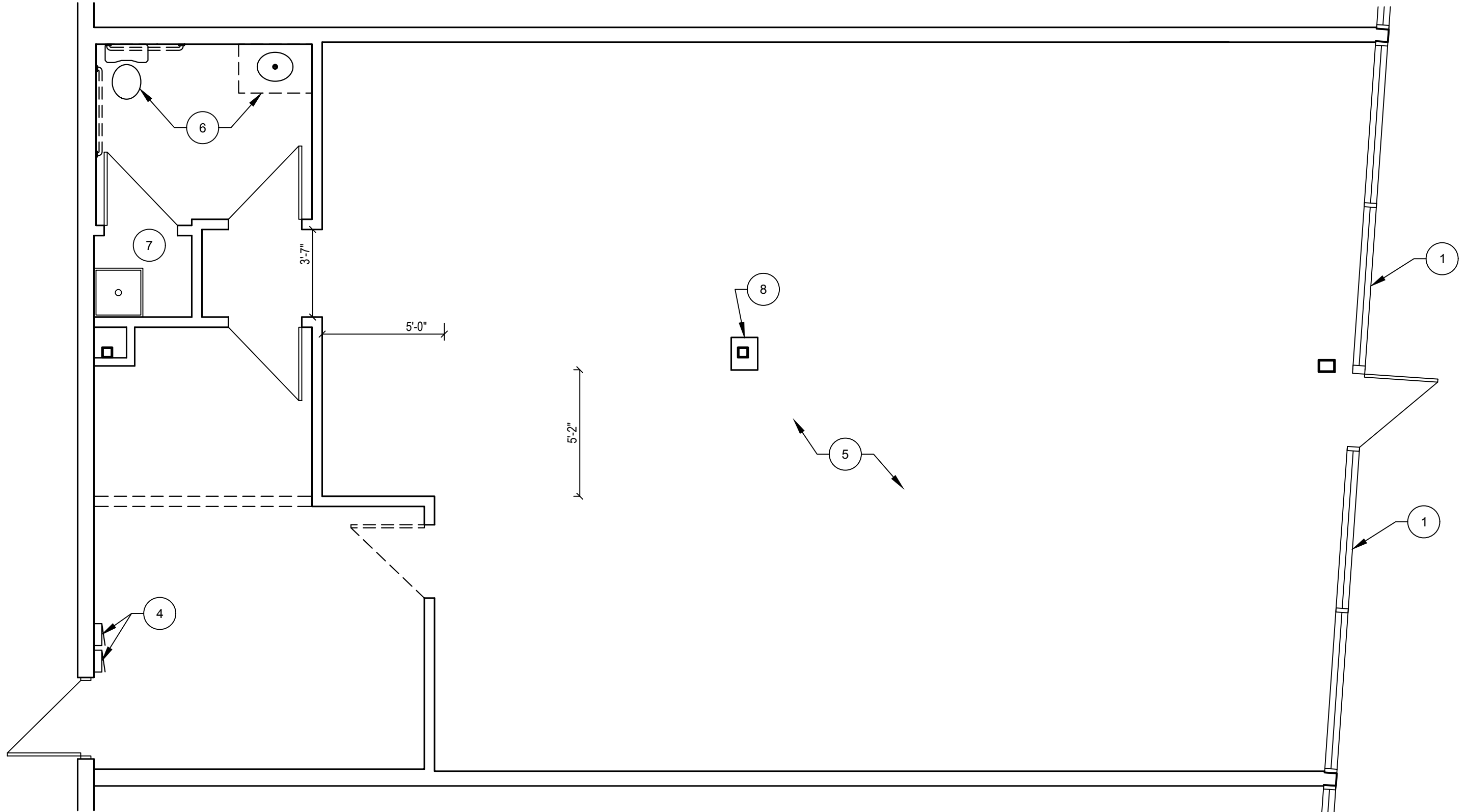
Cover Sheet

EXISTING COVERED REAR ACCESS CORRIDOR



Ceiling Demolition Plan
1/4" = 1'-0"

EXISTING COVERED REAR ACCESS CORRIDOR



Floor Demolition Plan
1/4" = 1'-0"

Wall Legend

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

Doors

SEE DETAIL A5, SHEET D-1 FOR REQUIRED DOOR CLEARANCES.

		EXISTING DOOR OR PAIR OF DOORS.
		EXISTING DOOR OR PAIR OF DOORS TO BE REMOVED.

Windows

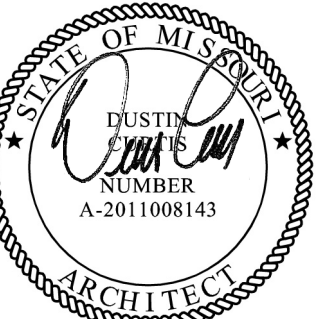
	WINDOW TO BE REMOVED
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General Notes

- A. REMOVE ALL EXISTING INTERIOR WALLS, DOORS, FRAMES, FIXTURES, PLUMBING FIXTURES, ACCESSORIES, MILLWORK AND ANY OBSOLETE EQUIPMENT, CONDUITS, PIPING, ETC. THROUGHOUT PROPOSED NEW DEMISED TENANT SPACE. GC TO VERIFY THAT OBSOLETE POWER AND DATA HAVE BEEN REMOVED AND TERMINATED AT SOURCE AND PLUMBING SYSTEM ARE PROPERLY TERMINATED BELOW THE SLAB. SEE MEP DRAWINGS FOR MORE INFORMATION.
- B. REMOVE ENTIRE LAY IN CEILING SYSTEM, DRYWALL, FURR DOWNS, AND ALL LIGHT FIXTURES, AND MECHANICAL GRILLS IN AREA OF TENANT BUILDOUT. SEE A-2 FOR EXTENTS OF TENANT BUILDOUT. LEAVE EXISTING CEILING IN AREA TO REMAIN AS NOTED.
- C. REMOVE EXISTING FLOORING IN ALL AREAS, UNO. PATCH, REPAIR, LEVEL AND PREP CONCRETE TO RECEIVE NEW FINISHES.
- D. SAW CUT EXISTING CONCRETE SLAB AND TRENCH FOR NEW UNDER SLAB SANITARY PLUMBING WORK. SEE FLOOR PLAN AND PLUMBING DRAWINGS. GC TO THOROUGHLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW SCHEDULED FLOORING AFTER ALL SLAB PATCHING FOR NEW PLUMBING IS COMPLETE. GRIND DOWN SMOOTH, ROUGH AREAS OR HIGH SPOTS. SEE DETAIL A-10 AND A-11/D-1 FOR NEW SLAB INFILL.
- E. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNERS' AND TENANTS' PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALL AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- F. PROVIDE DUST PROOF PARTITIONS AND CLOSURES AS REQUIRED TO PREVENT SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING. MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROTECT ANY ITEMS INDICATED "TO REMAIN" FROM BEING SOILED OR DAMAGED.
- G. CHECK FOR MOLD IN ALL AREAS OF DEMOLITION AND REPORT FINDINGS TO ARCHITECT. IF MOLD IS FOUND, REMOVE AND REPLACE DRYWALL AND ANY FRAMING BEHIND REMOVED DRYWALL AS NECESSARY. IF REMOVING GYP BOARD FROM A RATED WALL, MAINTAIN RATING BY REPLACING GYP BOARD AND FIRE CAULK ALL EXISTING AND NEW PENETRATIONS.
- H. EXISTING ELECTRICAL OUTLETS CAN REMAIN THROUGHOUT. COORDINATE EXISTING ELECTRICAL OUTLET LOCATIONS WITH NEW ELECTRICAL OUTLET LOCATION SHOWN ON ELECTRICAL PLANS. IF AN EXISTING ELECTRICAL OUTLET IS IN CLOSE PROXIMITY TO NEW ELECTRICAL OUTLET, EXISTING OUTLET IS TO BE REMOVED. CONTACT ARCHITECT IF ANY DISCREPANCIES.

Demolition Key Notes

- ALL EXISTING STOREFRONT WINDOWS REMAIN, TYPICAL, U.N.O.
- REMOVE ALL GRID CEILING, ACOUSTICAL CEILING TILE AND GRILLES THROUGHOUT. REMOVE LIGHTING AS NOTED.
- EXISTING CEILING TO REMAIN.
- EXISTING ELECTRICAL PANELS TO REMAIN.
- REMOVE ALL WALL BRACKETS AND WALL BASE THROUGHOUT. PREPARE WALLS FOR PAINT.
- REMOVE TOILET AND LAVATORY AND PREPARE FOR NEW PLUMBING FIXTURES. GRAB BARS TO REMAIN. GC TO ENSURE GRAB BARS ARE INSTALLED PER CODE. REFER TO DETAILS ON SHEET D-2.
- EXISTING MOP SINK TO REMAIN. NO WORK IN THIS ROOM.
- EXISTING COLUMN TO REMAIN. PROTECT AND PREP FOR PAINT.



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LEE'S SUMMIT, MISSOURI

Revisions

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09/26/22

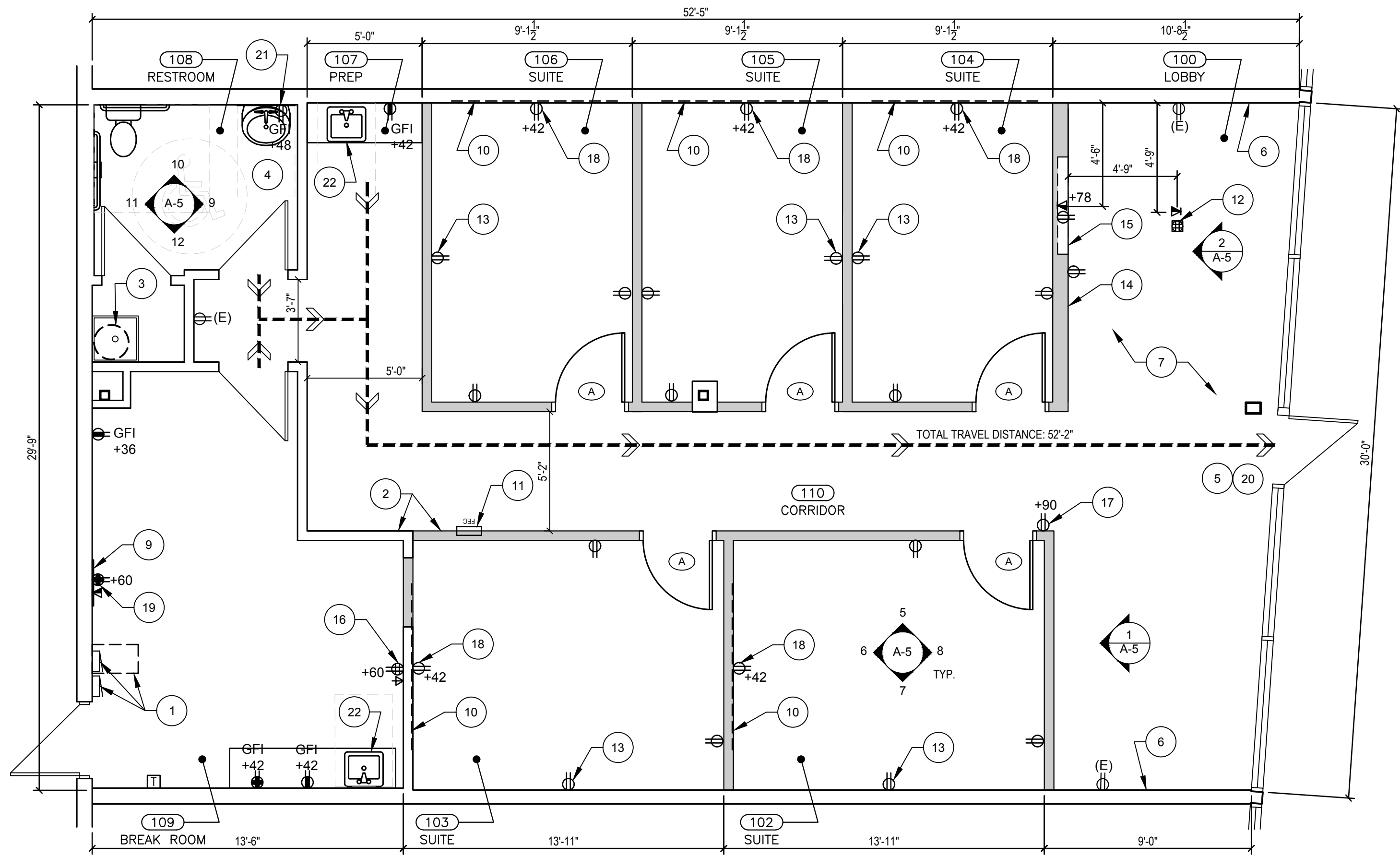
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A-1.1

Demolition Plan

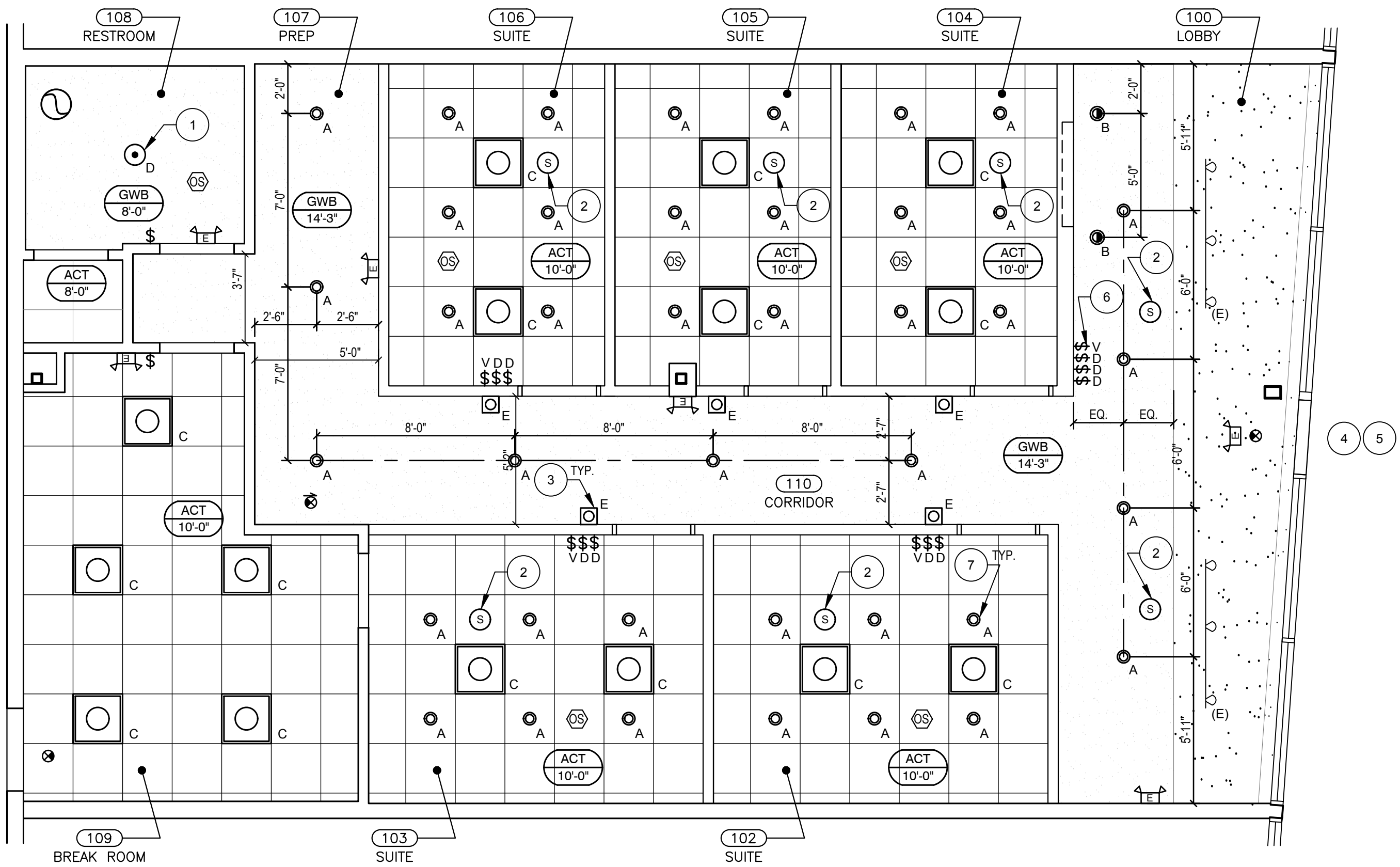
GC TO COORDINATE BUILD-OUT WITH OSR DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

EXISTING COVERED REAR ACCESS CORRIDOR



Floor / Electrical Plan
1/4" = 1'-0"

EXISTING COVERED REAR ACCESS CORRIDOR



Reflected Ceiling Plan
1/4" = 1'-0"

Floor Plan Key Notes

- EXISTING SURFACE MOUNTED ELECTRICAL PANELS AND WALL-MOUNTED TRANSFORMER.
- ALIGN NEW WALL WITH EXISTING WALL.
- EXISTING 15 GALLON HOT WATER HEATER ABOVE CEILING - SEE PLUMBING PLANS.
- NEW ADA ACCESSIBLE RESTROOM. RESTROOM TO HAVE THE FOLLOWING: UNDER SINK PIPE PROTECTION (GC BUILT MELAMINE DRAIN COVER), COAT/PURSE HOOK MOUNTED AT 44", 18" VERTICAL GRAB BAR, 36" AND 42" HORIZONTAL GRAB BARS. ALL-GENDER TACTILE SIGNAGE IN CHARCOAL GRAY. REFER TO SHEETS A-3, A-4 AND DETAILS P2/D-2 AND P4/D-2 FOR SPECIFICATIONS AND MOUNTING HEIGHTS/LOCATIONS.
- READILY VISIBLE DURABLE SIGN POSTED ON EGRESS SIDE ON OR ADJACENT TO DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN SUITE IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1" (25.4mm) HIGH ON CONTRASTING BACKGROUND.
- EXISTING TENANT DEMISING WALL TO REMAIN AS-IS. ELECTRICAL CONTRACTOR TO PROVIDE RATED OUTLET AND JUNCTION BOXES IN ALL RATED WALLS.
- ANY EXISTING ELECTRICAL OUTLETS TO REMAIN (NOT SHOWN ON PLAN). REPLACE OUTLETS AND FACE PLATES AS REQUIRED TO MATCH COLOR OF NEW DEVICES AND FACE PLATES. IF EXISTING OUTLET OCCURS WHERE NEW OUTLET IS SCHEDULED, USE NEW OUTLET SPECIFICATION AND LOCATION - CONFIRM WITH PROJECT MANAGER.
- NOT USED.
- PROVIDE 24" x 48" x 3/4" PLYWOOD TMB IF IT DOES NOT EXIST. LOCATE INSIDE OPEN-BACK UTILITY CABINET. PAINT TO MATCH SURROUNDING WALL. TMB FOR PHONE DEMARK, SECURITY ALARM PANEL, LOW-VOLTAGE EQUIPMENT ETC. GC TO PROVIDE POWER AS REQUIRED FOR OWNER PROVIDED EQUIPMENT. CONFIRM LOCATION WITH UTILITY CABINET AND OWNER.
- PROVIDE WOOD BLOCKING IN WALL AT MILLWORK, TYP.
- FIRE EXTINGUISHER -2A-10BC. TO BE SEMI RECESSED IN WALL IN APPROVED CABINET AT THIS LOCATION. CABINET TO BE LARSEN AL2409-R3-VO ALUMINUM. SEE DETAIL A9/D-1.
- FLOOR BOX AND DATA OUTLET AND TELEPHONE OUTLET. PROVIDE IN-USE COVER WITH BRUSHED ALUMINUM FINISH. FLOOR BOX SHALL BE RATED FOR CONCRETE INSTALLATION. SAW-CUT EXISTING SLAB AS NECESSARY. LOCATION TO ALIGN WITH LEG OF RECEPTION DESK. PROVIDE CONDUITS IN SLAB TO WALL AS REQUIRED.
- DUPLEX OUTLET FOR WAX TABLE. TYPICAL (1) TABLE PER SUITE. GC TO PROVIDE ADD ALTERNATE PRICE FOR OUTLET TO BE LOCATED IN FLOOR BENEATH TABLE. FLOOR BOX SHALL BE RATED FOR CONCRETE INSTALLATION. SAW-CUT EXISTING SLAB AS NECESSARY.
- TOTAL WALL THICKNESS TO BE 8" TO ACCOMMODATE DIGITAL SIGNAGE POCKET.
- FEATURE WALL - GC TO PROVIDE BLOCKING AS REQUIRED. GC TO INSTALL SANUS PREMIUM SERIES 6805 EXTENDABLE TILT MOUNT BLACK TV BRACKET AND OWNER PROVIDED TV. GC TO MODIFY FEATURE WALL AS REQUIRED TO ACCOMMODATE BRACKET. OPENING IN FEATURE WALL TO BE 50.625"H X 29.875"W X 5.5"D - GC TO CONFIRM FINAL SIZE AND LOCATION PRIOR TO MODIFICATION.
- POWER AND DATA FOR OWNER PROVIDED TV. GC TO COORDINATE WITH OWNER FOR TV LOCATION AND INSTALLATION REQUIREMENTS - PROVIDE BLOCKING AS NEEDED.
- AIR AROMA SYSTEM - AROSCENT - FIELD VERIFY EXISTING MECHANICAL DUCT LOCATION FOR PROPER INSTALLATION OF AROSCENT. PROVIDE POWER AS SHOWN WHERE AROSCENT ACTUALLY OCCURS. BOTTOM OF UNIT MOUNTED AT 7'-0" AFF.
- OUTLET TO BE CENTERED ON MILLWORK, TYP.
- POWER AND DATA FOR SOUND SYSTEM INSIDE MILLWORK. COORDINATE FINAL LOCATION AND HEIGHT WITH OWNER AND MILLWORK. GC TO PURCHASE AND INSTALL HTD - HOME THEATER DIRECT DMA-1240 AND CUSTOM CHANNELS COMPACT PLAYER. ALL NETWORK TERMINATIONS TO OCCUR INSIDE MILLWORK.
- ELEC OUTLET FOR BACKLIT MIRROR - GC TO COORDINATE FINAL LOCATION. PROVIDE BLOCKING FOR MIRROR AS REQUIRED. THE BACKLIT MIRROR INTO SWITCH.
- NEW SINK. REFER TO SHEET P-1. CASEWORK PROVIDED BY OTHERS. REFER TO FURNITURE PLAN ON SHEET A-3 FOR DETAILS.

RCP Key Notes

- FIXTURE TO BE CENTERED IN ROOM.
- GC SUPPLIED SPEAKERS - 5.25" POLYPROPYLENE CONE WITH BUTYL RUBBER SURROUND. 75" SILK DOME TWEETER, 60 WATTS RMS, 80 WATTS PROGRAM. FREQUENCY RESPONSE: 80HZ-20KHZ. QUICK-TURN DOG EAR BRACKET IS FOR EASY INSTALLATION (NO ROUGH-IN KIT REQUIRED). FLUSH-MOUNT GRILLE AND FRAME, WHITE. SPEAKER WIRES TO TERMINATE IN BREAKROOM AT SOUND SYSTEM -DMA-1240 HIGH EFFICIENCY MULTI-CHANNEL AMPLIFIER - COORDINATE FINAL LOCATION. PROVIDE VOLUME CONTROL SWITCH IN EACH SUITE AND RECEPTION ADJACENT TO LIGHT SWITCH; TYP.
- GC TO ENSURE BOTTOM OF WALL SCONCE IS AT 6'-8" MIN.; TYP.
- EXISTING EXTERIOR LIGHTING TO REMAIN. GC TO CONFIRM EXISTING EXTERIOR LIGHTING IS TO CODE. REPORT ANY DISCREPANCIES TO PROJECT MANAGER.
- EXTERIOR SIGN JUNCTION BOX TO BE BROUGHT WITHIN 5 FEET OF THE PROPOSED STOREFRONT SIGN LOCATION. REFER TO SHEET E-1.
- PROVIDE VOLUME CONTROL SWITCH FOR RECEPTION SPEAKERS ADJACENT TO SWITCHES; TYP.
- CENTER LIGHT ON CEILING TILE; TYP.

Wall Legend

	EXISTING WALL	Extg Walls
	NEW INTERIOR WALL WITH BATT INSULATION SEE DETAIL A1, SHEET D-1	
	WOOD WALL BLOCKING AT ALL WALL MILLWORK MILLWORK - GC TO COORDINATE WITH OSR MILLWORK SHOP DRAWINGS	New Walls

Elec Legend

	DUPLEX OUTLET - 18" AFF. U.N.O. ON PLAN
	4-PLEX OUTLET - 18" AFF. U.N.O. ON PLAN
	4-PLEX FLOOR OUTLET
	DATA / TELEPHONE OUTLET WITH NUMBER OF REQUIRED PORTS
	GROUND FAULT INTERRUPT OUTLET

Doors

SEE DETAIL A5, SHEET D-1 FOR REQUIRED DOOR CLEARANCES.	
	EXISTING DOOR OR PAIR OF DOORS.
	EXISTING DOOR OR PAIR OF DOORS TO BE REMOVED.
	NEW DOOR OR PAIR OF DOORS: SEE CORRESPONDING NUMBER ON DOOR SCHEDULE ON SHEET A-4

Windows

	SIZE AS INDICATED ON PLAN, TOP OF WINDOW AT +7'-0" (TYPICAL) USE TEMPERED GLASS AS REQUIRED.
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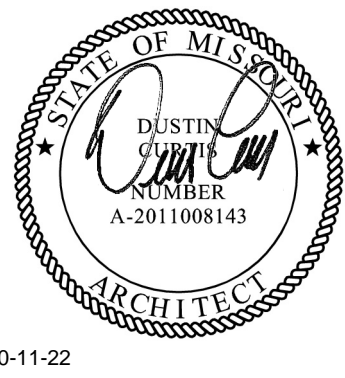
General Notes

- FURNITURE PLACEMENT SHALL NOT RESTRICT ADA ACCESS REQUIRED.
- CONTRACTOR TO PROVIDE MIN. R-30 BATT INSULATION AT ENTIRE DECK SPACE IF NOT CURRENTLY INSTALLED.
- CONTRACTOR TO PROVIDE MIN. R-19 BATT INSULATION IN ALL FRAMED EXTERIOR WALLS IF NOT ALREADY PROVIDED.
- TENANT TO PROVIDE BLINDS FOR SUN CONTROL TO ALL WINDOWS TO EXTERIOR.
- ROOF PENETRATIONS AND ROOF WORK TO BE PERFORMED BY LANDLORD'S CONTRACTOR IF REQUIRED, VERIFY WITH LANDLORD.
- DIMENSIONS ARE TAKEN FROM FACE OF DRYWALL.
- DOOR THRESHOLDS WITH A CHANGE IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 3/4" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

Ceiling Legend

	SUSPENDED ACOUSTICAL CEILING TILE - ACT-1. SEE DETAIL A7/D-1
	LED DOWNLIGHT
	LIGHT FIXTURE TYPE. REFER TO LIGHTING SCHEDULE FOR FIXTURE TYPE
	LED WALL WASH
	2x2 LED TROFFER
	WALL MOUNTED EMERGENCY LIGHT
	EXISTING
	EXIT/EMERGENCY LIGHT COMBO
	WALL SCONCE - TOP OF WALL SCONCE TO ALIGN WITH TOP OF DOOR FRAME
	RETURN AIR GRILLE
	SUPPLY AIR DIFFUSER
	PAINT COLOR - SEE FINISH PLAN ON A-3
	DIMMER SWITCH AT +44" AFF
	VOLUME CONTROL SWITCH AT +44" AFF
	5/8" GYPSUM BOARD CEILING
	EXHAUST FAN
	SPEAKER
	SURFACE MOUNTED LIGHT FIXTURE
	INDICATES CEILING MATERIAL
	INDICATES CEILING HEIGHT

GC TO COORDINATE BUILD-OUT WITH OSR DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM



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LEE'S SUMMIT, MISSOURI

Revisions

Radiant Waxing

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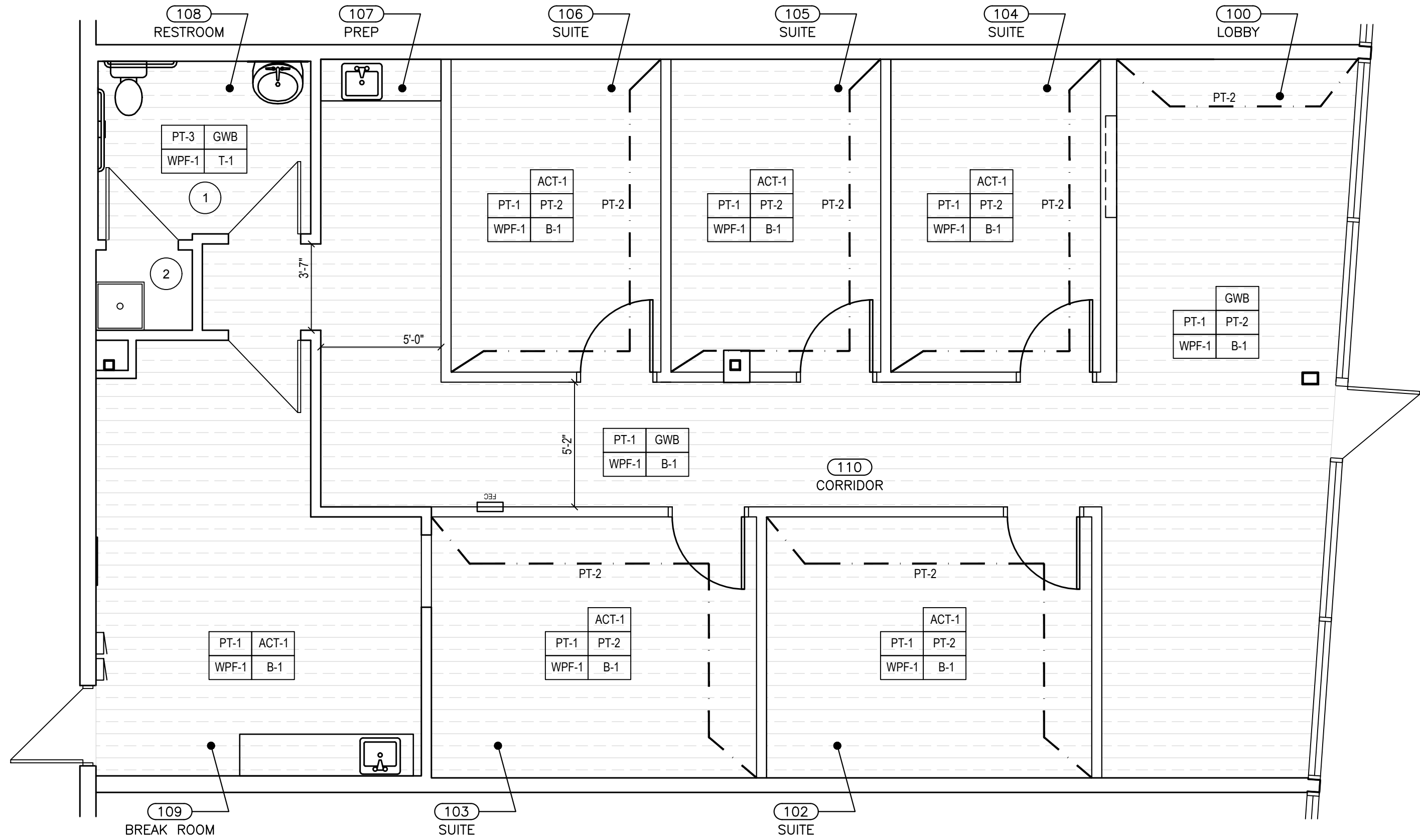
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A-2

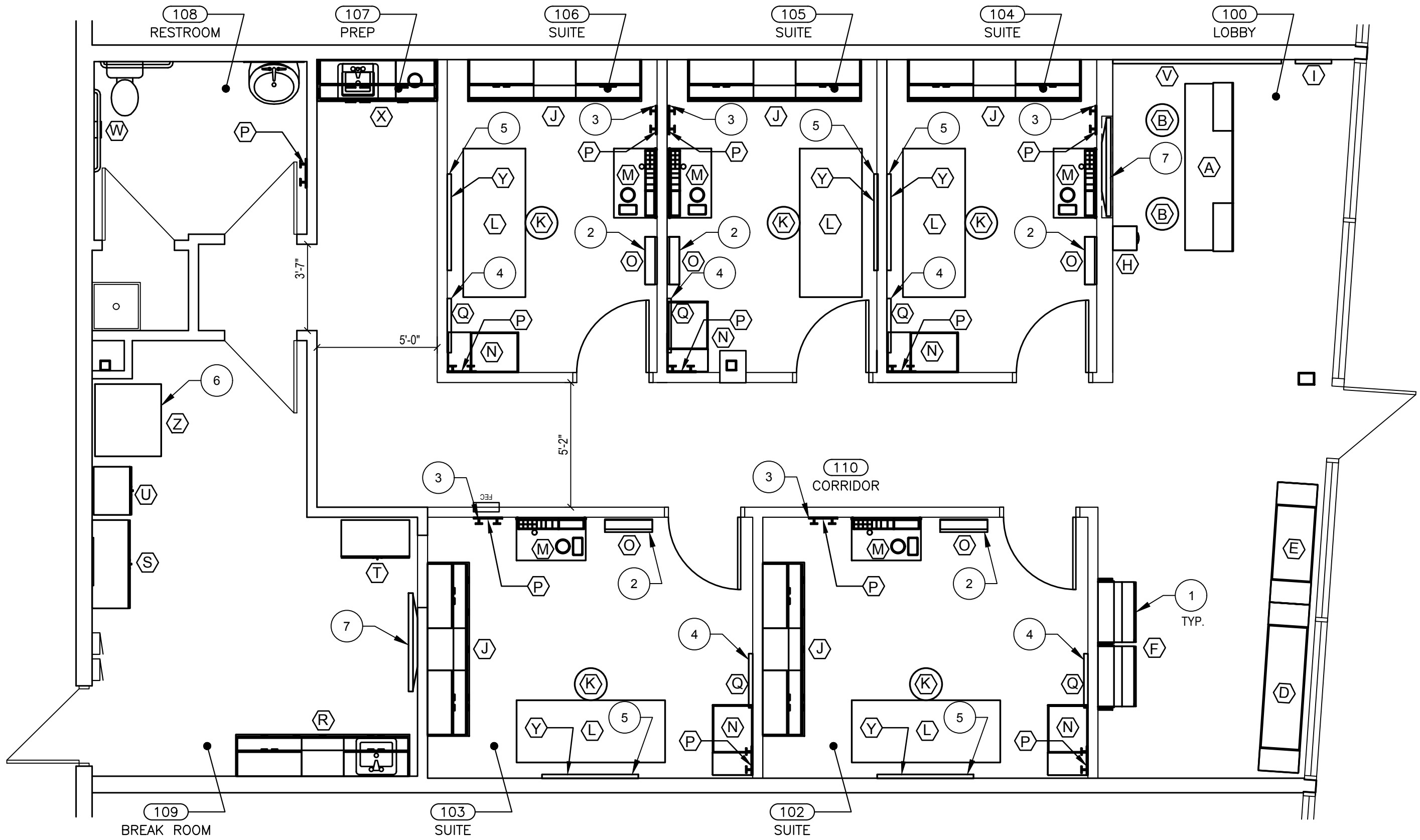
Floor/ Electrical Plan
Reflected Ceiling Plan

EXISTING COVERED REAR ACCESS CORRIDOR



Finish Plan
1/4" = 1'-0"

EXISTING COVERED REAR ACCESS CORRIDOR



Furniture Plan
1/4" = 1'-0"

Finish Plan Legend/Specs

	WOOD PLANK FLOORING MANUFACTURER: INHAUS STYLE: WOOD COLLECTION - JASPER #53460 SIZE: 51" X 8" - 4 SIDE V BEVEL NOTE: LINES DIRECTION DENOTES PLANK ORIENTATION
WPF-1	
PT-1	PAINT: PT-1 (FIELD COLOR) MANUFACTURER: BENJAMIN MOORE COLOR: DISTANT GRAY OC-68 FINISH: PEARL THROUGHOUT; SEMI-GLOSS AT TRIM; LOCATION: ALL WALLS THROUGHOUT TENANT SPACE, U.N.O
PT-2	PAINT: PT-2 (ACCENT) MANUFACTURER: BENJAMIN MOORE COLOR: ANCHOR GRAY 2126-30 FINISH: SEMI GLOSS LOCATION: ACCENT LOCATIONS PER FINISH PLAN
PT-3	PAINT: PT-3 (RESTROOMS) MANUFACTURER: BENJAMIN MOORE - COROTECH WATERBORNE AMINE EPOXY FINISH: GLOSS - WHITE LOCATION: RESTROOM WALLS AND CEILING (IF NEEDED PER CODE)
B-1	WALL BASE MANUFACTURER: MANNINGTON STYLE: EDGE EFFECTS - RESILIENT RUBBER BASE - ETCHED 4-1/2" COLOR: WHITE #401 LOCATION: THROUGHOUT TENANT SPACE AT LVT
WP-1	WALL PANEL - DIMENSIONED/IMPACT WALL MANUFACTURER: MDC STYLE: WALL PANEL BETA18715, PREFINISHED SIZE: 42"x120" QTY: GC TO CONFIRM FINAL WALL SIZE PER LAYOUT - CUT TO FIT WALL LOCATION: ACCENT WALL IN SUITES PER PLAN NOTE: PROVIDE EDGE TRIM EJT3501-3540 AT EACH END. CUT LENGTH AS REQUIRED. PAINT TRIM PT-2 TO MATCH. APPLY TRIM TO PANEL BEFORE INSTALLATION. APPLY TO WALL PER MANUFACTURERS DIRECTIONS
T-1	RESTROOM SUBWAY TILE MANUFACTURER: TBD - FRANCHISEE TO SELECT PRODUCT: WHITE SUBWAY TILE - FRANCHISEE TO SELECT FINISH: FRANCHISEE TO SELECT LOCATION: RESTROOM WALLS TO 48" IF REQUIRED BY CODE FRANCHISEE TO CHOSE BETWEEN TILE OR FRP IF REQUIRED BY CODE
ACT-1	SUSPENDED ACOUSTICAL CEILING TILE MANUFACTURER: ARMSTRONG PRODUCT: MESA #888 SECOND LOOK 24"x24" OR 24"x48" GRID: PRELUDE XL 15/16" EXPOSED TEE, WHITE LOCATION: PER PLAN (ACT CAN BE USED IN THE LOBBY, HALLWAY, SUITE ROOMS AND BREAKROOM)

Finish Plan General Notes

- DRYWALL FINISH TO BE LEVEL 4 SMOOTH. ALL WALLS TO RECEIVE ONE COAT PRIMER AND TWO COATS FINISH COLOR.
- SEE A-4 FOR ARCHITECTURAL SPECIFICATIONS.
- CONTRACTOR TO REPOAIR EXISTING FLOORS AND FLOOR BASE AS NEEDED.
- CONTRACTOR TO PROVIDE BLOCKING AS NEEDED.

Finish Plan Key Notes

- TILE THREE WET WALLS ONLY. WALL OPPOSITE THE TOILET TO ONLY RECEIVE PAINT. REFER TO ELEVATIONS ON SHEET A-5.
- NO NEW FINISHES IN MOP SINK ROOM.

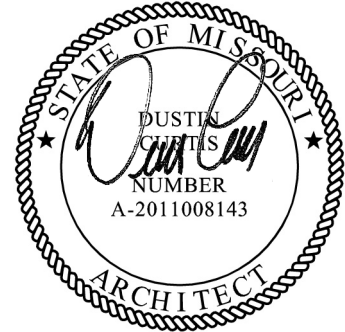
Furniture Plan Key Notes

- ALL FIXED FURNITURE ITEMS TO BE INSTALLED PER OSR DESIGN PACKAGE AND MILLWORK CUT SHEETS; TYP. GC TO CAREFULLY FOLLOW ALL INSTALLATION INSTRUCTIONS CLOSELY INCLUDING EXACT LOCATIONS AND ATTACHMENT METHODS. ANY DISCREPANCIES TO BE BROUGHT TO THE PROJECT MANAGER.
- MIRROR WITH J TRACK ATTACHMENT; TYP.
- COAT HOOKS - SEE PLAN FOR TYPICAL LOCATION. HOOK CLOSEST TO CORNER TO BE AT 60" AFF. SECOND HOOK AT 48" AFF; TYP. PROVIDE BLOCKING AS REQUIRED.
- SUITE ROOM FRAMES, TYP - TOP OF VERTICAL FRAME AT 76" AFF. TOP OF HORIZONTAL FRAME TO BE AT 64" AFF. COLLAGE TO BE CENTERED ON WALL. SEE OSR/LBW COLLAGE LAYOUT FOR ADDITIONAL MOUNTING AND LAYOUT DETAILS.
- WALL ART IN EACH SUITE (BY OWNER) CENTERED ON WALL INSTALLED BY GC. TOP OF ART TO MATCH TOP OF CABINETS (84" AFF); TYP.
- FRIDGE BY OWNER AND INSTALLED BY GC.
- TV BY OWNER AND INSTALLED BY GC.

Furniture Symbol Legend

SYMBOL	ITEM	SUPPLY	INSTALL	SYMBOL	ITEM	SUPPLY	INSTALL
A	LBRECDSEK2021	OSR	GC	N	LB061	OSR	GC
B	LB040	OSR	GC	O	LB043	OSR	GC
C	FRONT DESK STOOL WITH BACK	GC	GC	P	LB020	OSR	GC
D	NOT USED	GC	GC	Q	COAT HOOK	OSR	GC
E	LB0063	OSR	GC	R	900669	OSR	GC
F	LB0062	OSR	GC	S	(2) SUITE ROOM FRAME WALL COLLAGE CLOCK	OSR	GC
G	LB0053	OSR	GC	T	LB010ALT	OSR	GC
H	RETAIL MERCHANDISER - DOUBLE CAB W/BROW BAR	OSR	GC	U	BREAKROOM CABINETRY	OSR	GC
I	NOT USED	OSR	GC	V	LB003	OSR	GC
J	WATER COOLER	OTHER	GC	W	OPEN BACK UTILITY CABINET	OSR	GC
K	900670	OSR	GC	X	LB012	OSR	GC
L	LOBBY WELCOME FRAME	GC	GC	Y	BREAKROOM STORAGE CABINET	OSR	GC
M	LB011F	OSR	GC	Z	LB004	OSR	GC
	STANDARD SUITE ROOM CABINETRY	OSR	GC		RESTROOM STORAGE CABINET	OSR	GC
	LB031	OSR	GC		CUSTOM LOBBY CANVAS ART	OTHER	GC
	SUITE ROOM TASK STOOL WITHOUT BACK	OSR	GC		LB034-BER	GC	GC
	LB030	OSR	GC		TOILET PAPER AND TAMPON DISPENSER	GC	GC
	SUITE ROOM WAX BED COVER	OSR	GC		LB049	OSR	GC
	LB013	OSR	GC		CUSTOM HAND WASH STATION CABINETRY	OSR	GC
	SUITE ROOM WAX CART W/ TABLE PAPER HOLDER	OSR	GC		SUITE ROOM CANVAS ART	OTHER	GC
					REFRIGERATOR	OTHER	GC

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LEE'S SUMMIT, MISSOURI

Revisions

Radiant Waxing

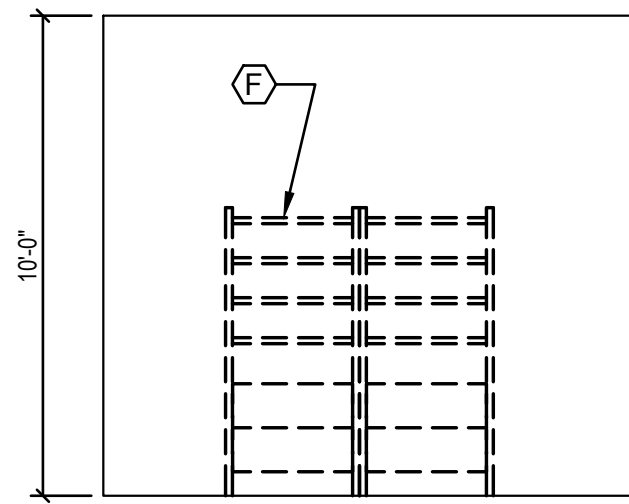
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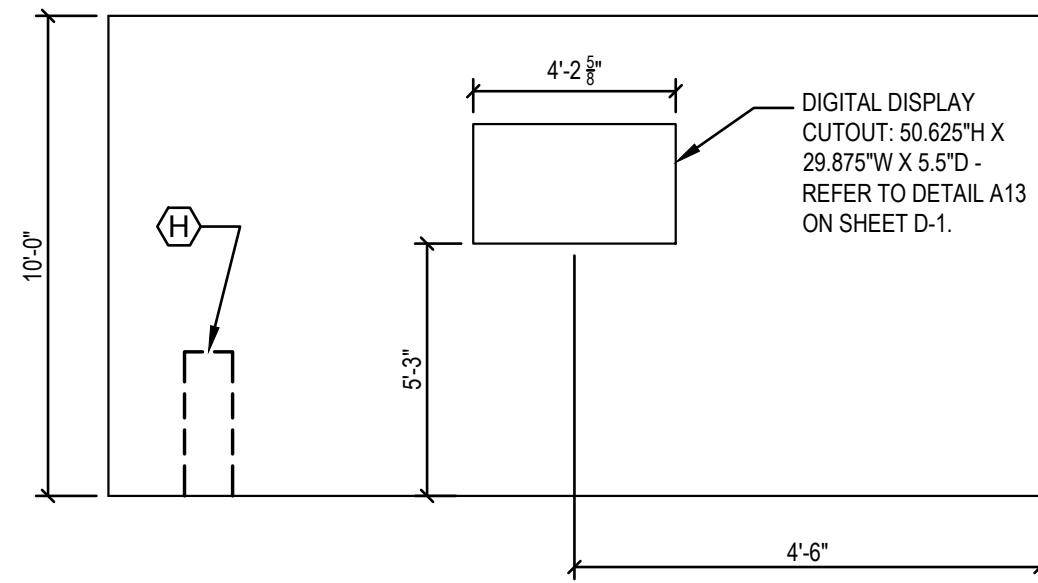
MO-042

A-3

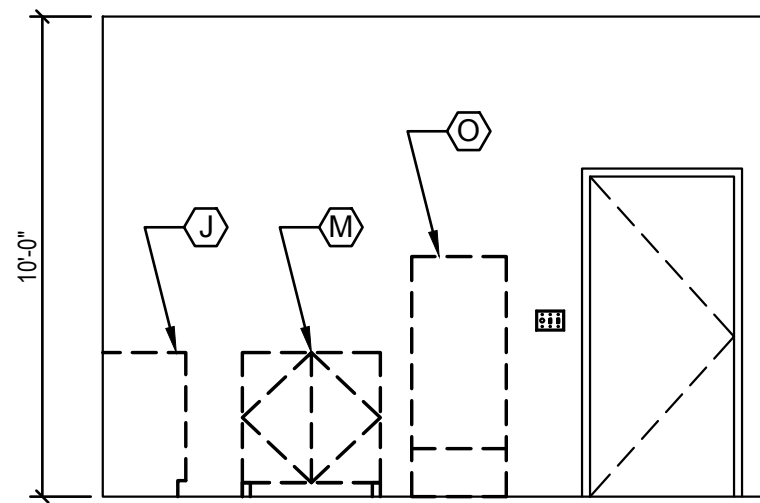
Finish/Furniture Plan



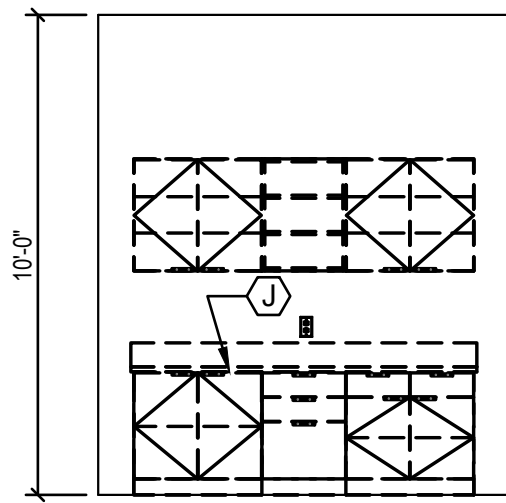
1 **Lobby Elevation**
SCALE: 1/4" = 1'-0"



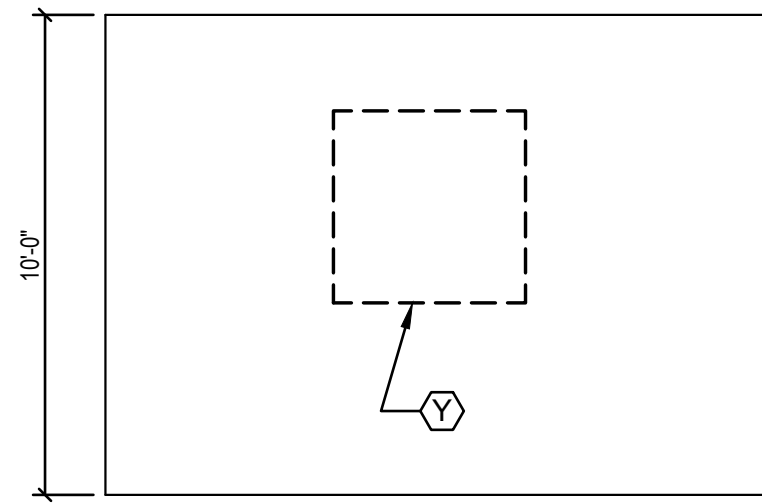
2 **Lobby Elevation**
SCALE: 1/4" = 1'-0"



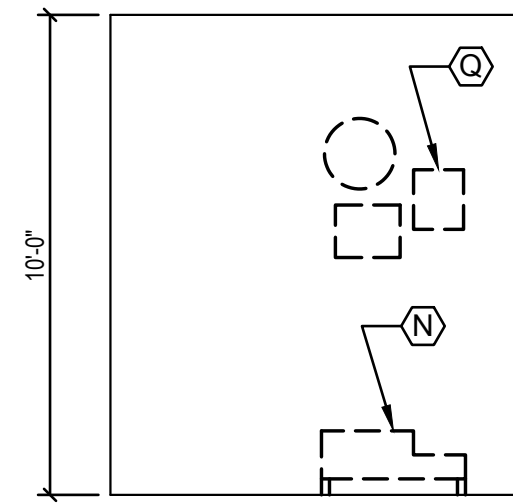
5 **Treatment Room; Typ.**
SCALE: 1/4" = 1'-0"



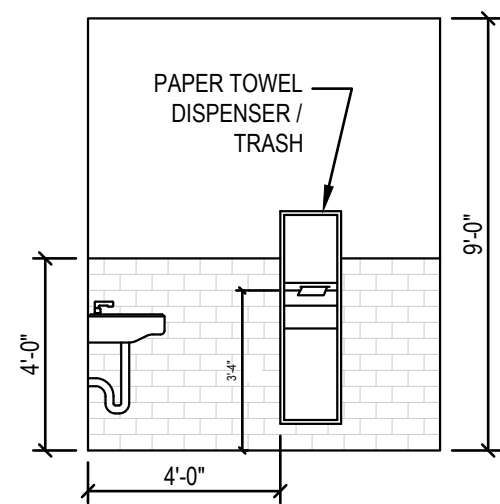
6 **Treatment Room; Typ.**
SCALE: 1/4" = 1'-0"



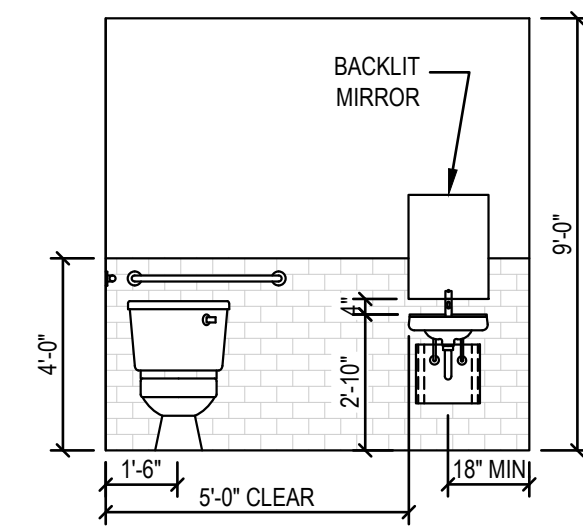
7 **Treatment Room; Typ.**
SCALE: 1/4" = 1'-0"



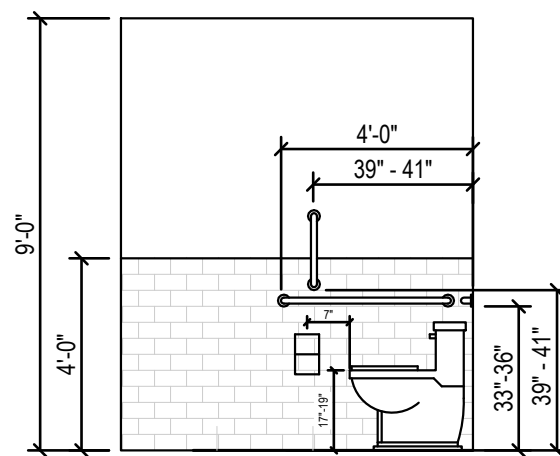
8 **Treatment Room; Typ.**
SCALE: 1/4" = 1'-0"



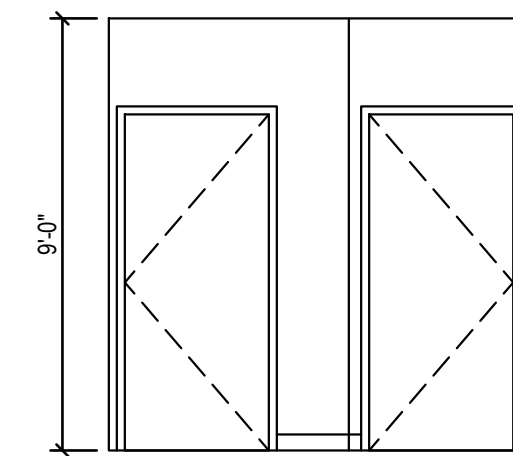
9 **Restroom Elevation**
SCALE: 1/4" = 1'-0"



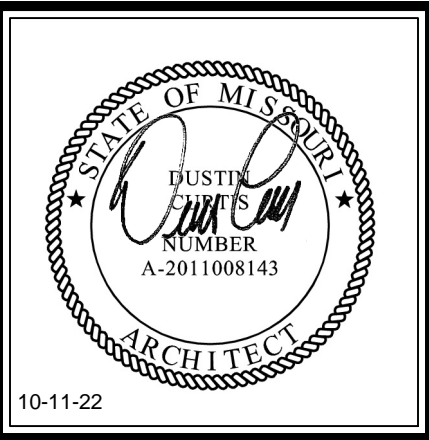
10 **Restroom Elevation**
SCALE: 1/4" = 1'-0"



11 **Restroom Elevation**
SCALE: 1/4" = 1'-0"



12 **Restroom Elevation**
SCALE: 1/4" = 1'-0"



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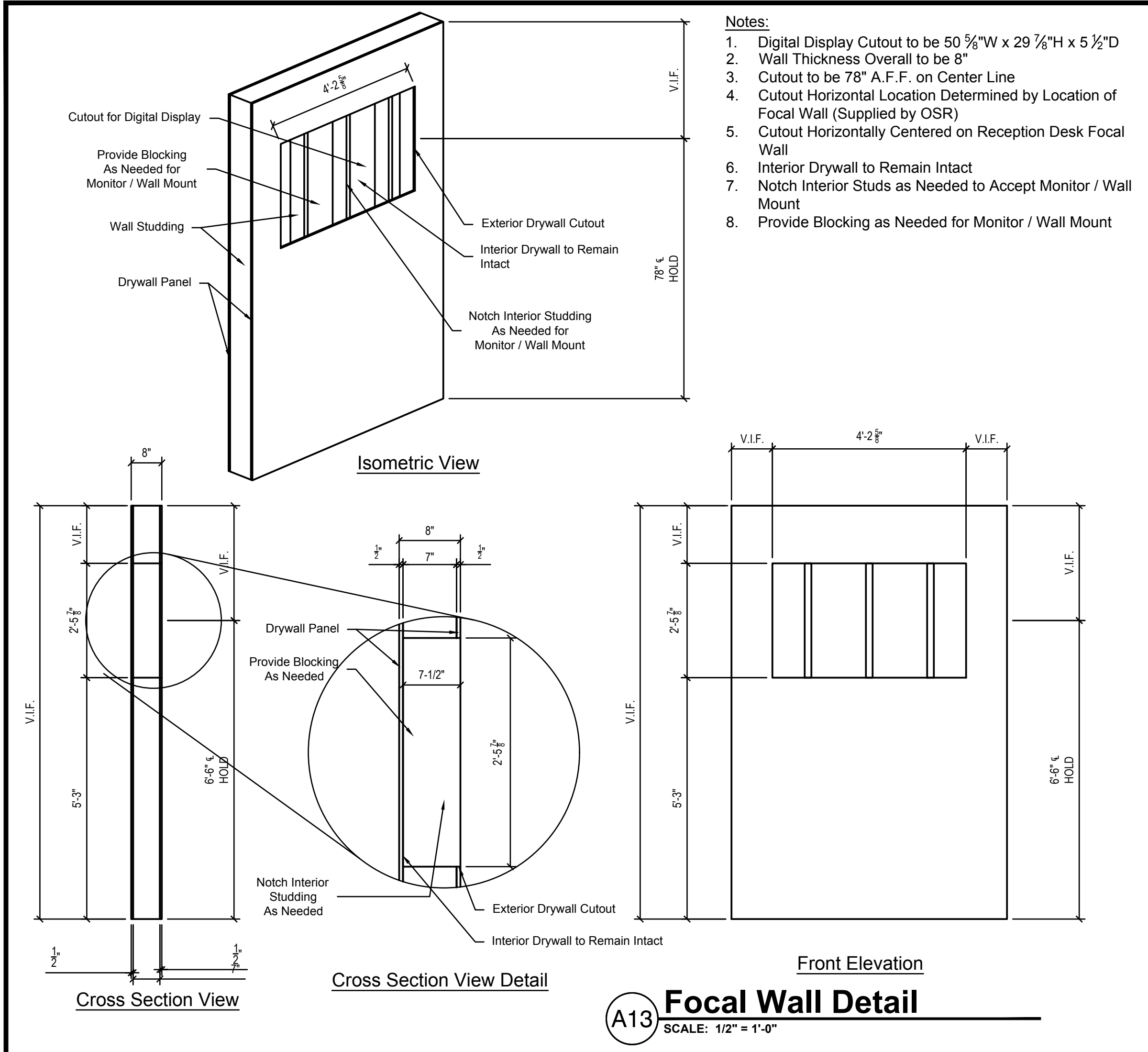
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**RADIANT
WAXING**
LEE'S SUMMIT, MISSOURI

Revisions

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A-5
Interior Elevations



Stud Sizing Chart

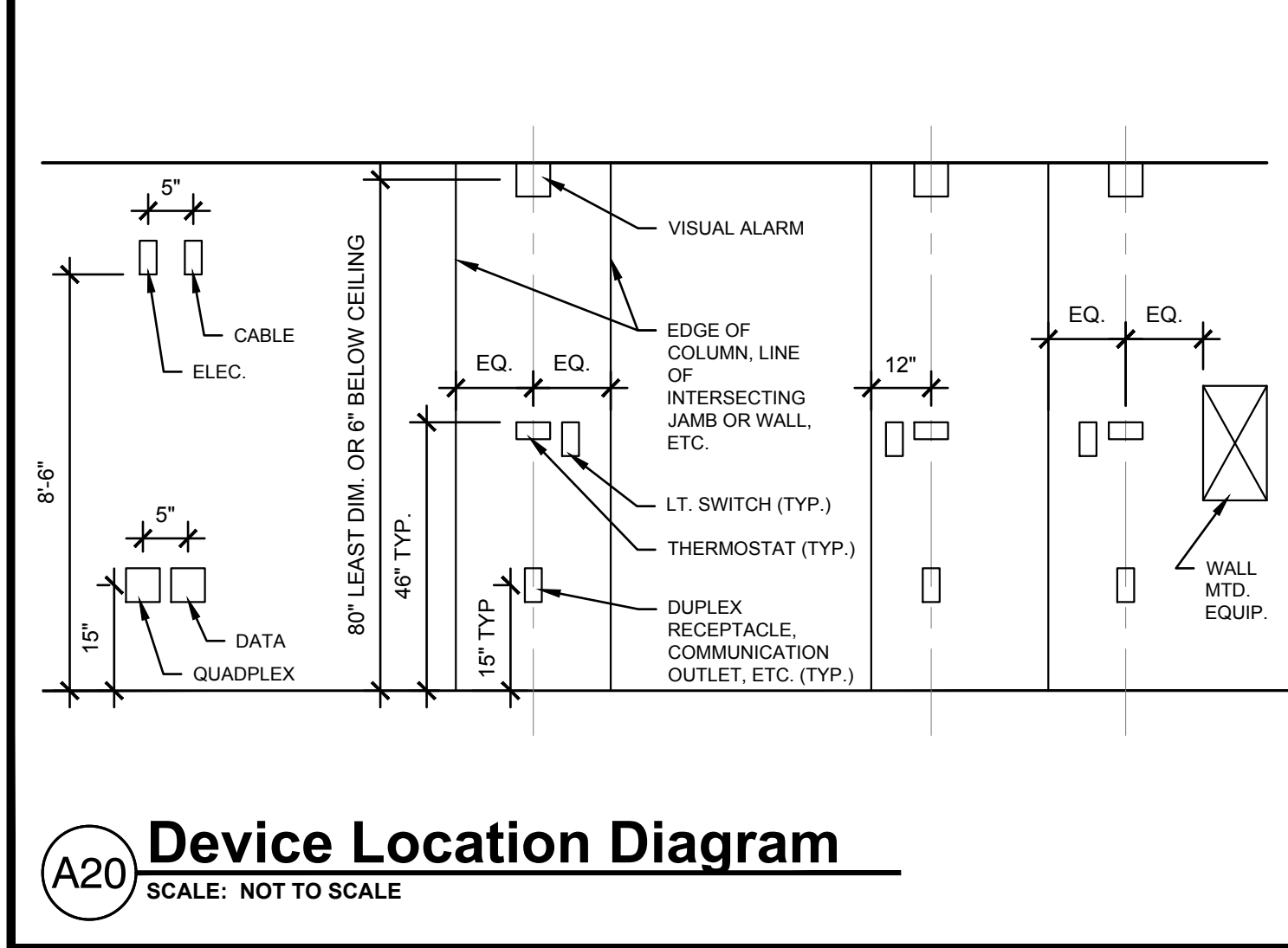
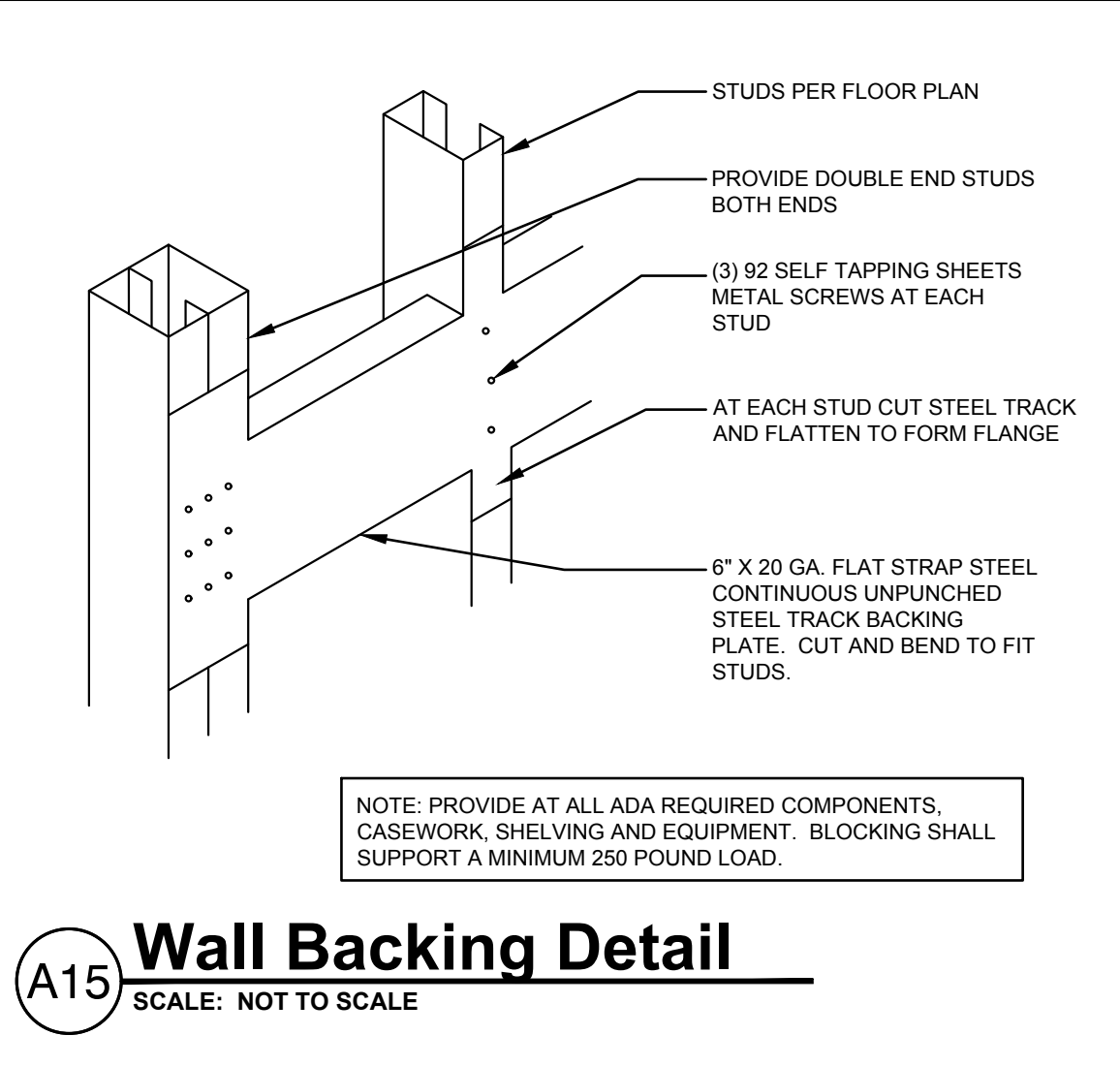
3-5/8" METAL STUDS:
MINIMUM STUD TRACK THICKNESS: 25 GA

GAUGE: BRACING:	SPACING:	MAX HEIGHT:	HORIZ
20	@ 16" O.C.	16'-5"	8'-0" O.C.
20	@ 24" O.C.	14'-9"	8'-0" O.C.
25	@ 16" O.C.	14'-4"	8'-0" O.C.
25	@ 24" O.C.	13'-5"	8'-0" O.C.

6" METAL STUDS:
MINIMUM STUD TRACK THICKNESS: 25 GA

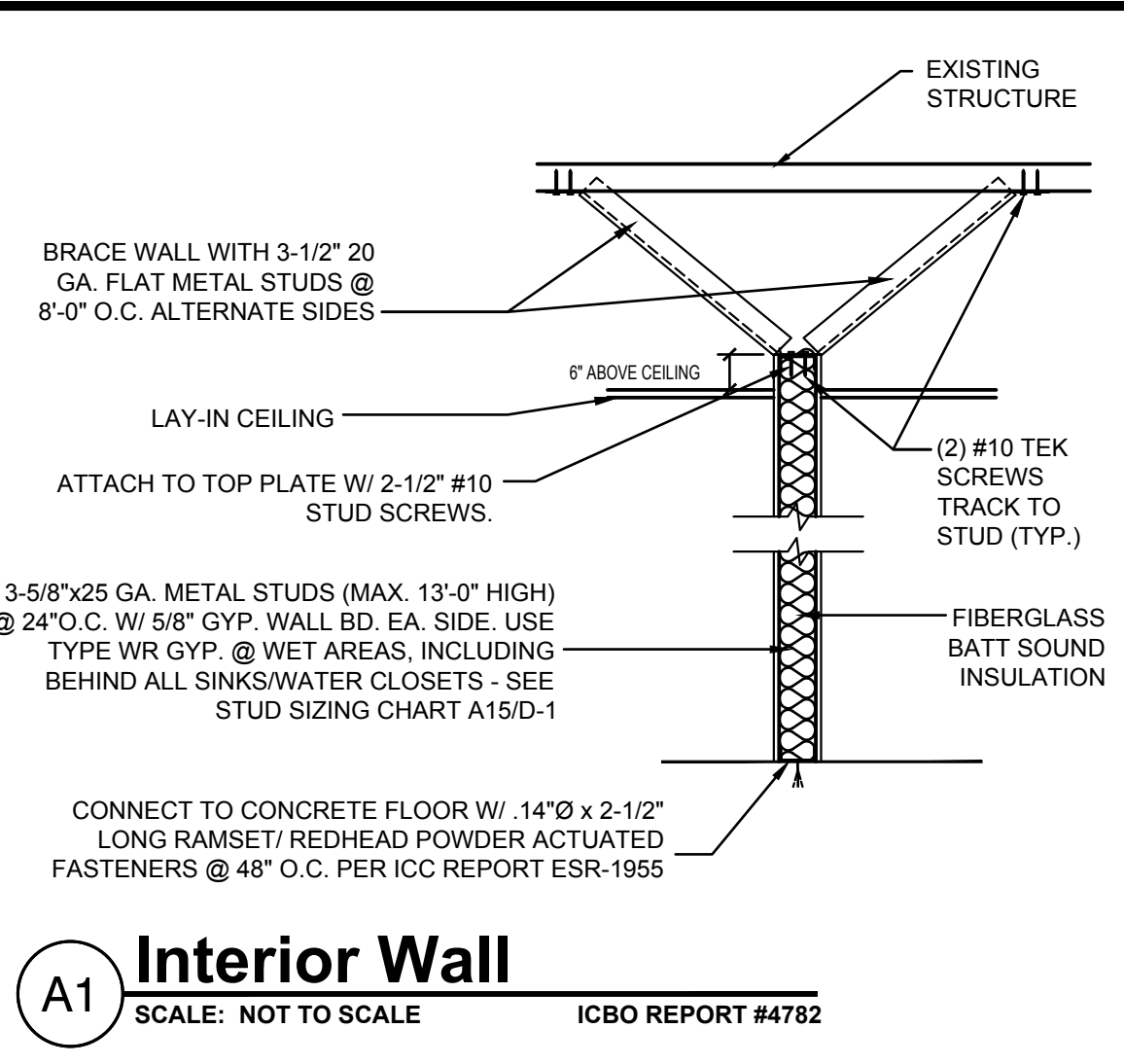
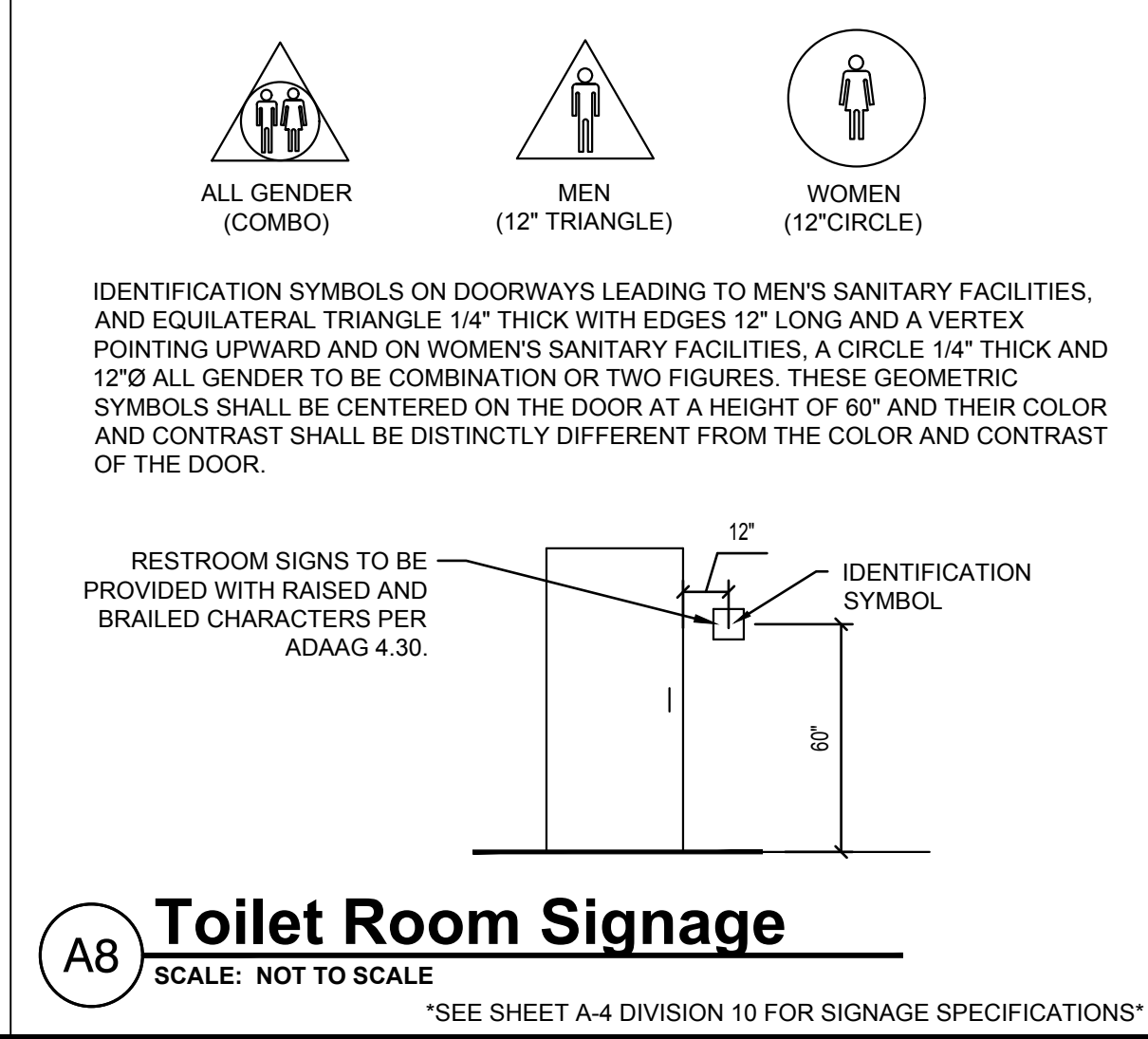
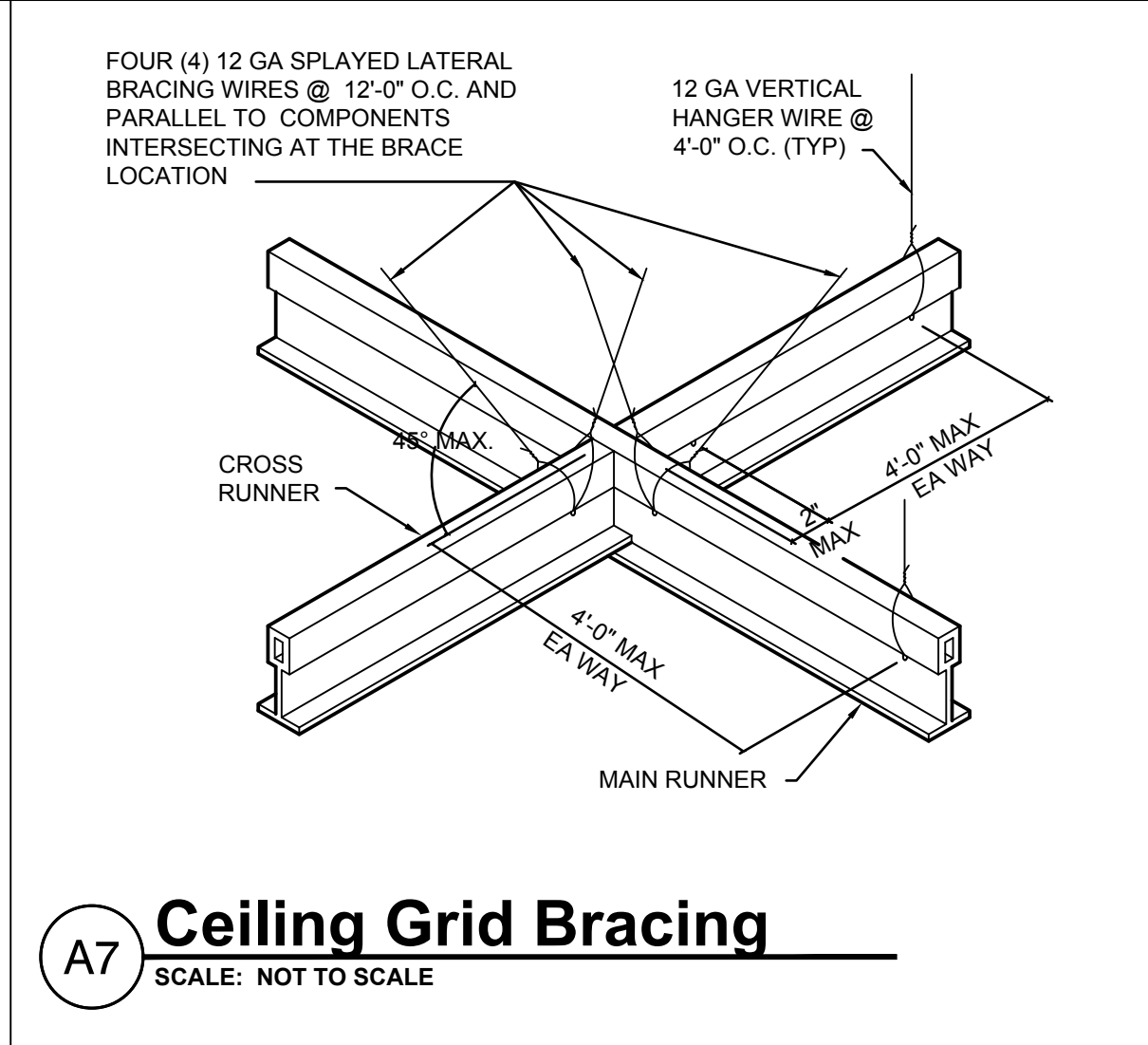
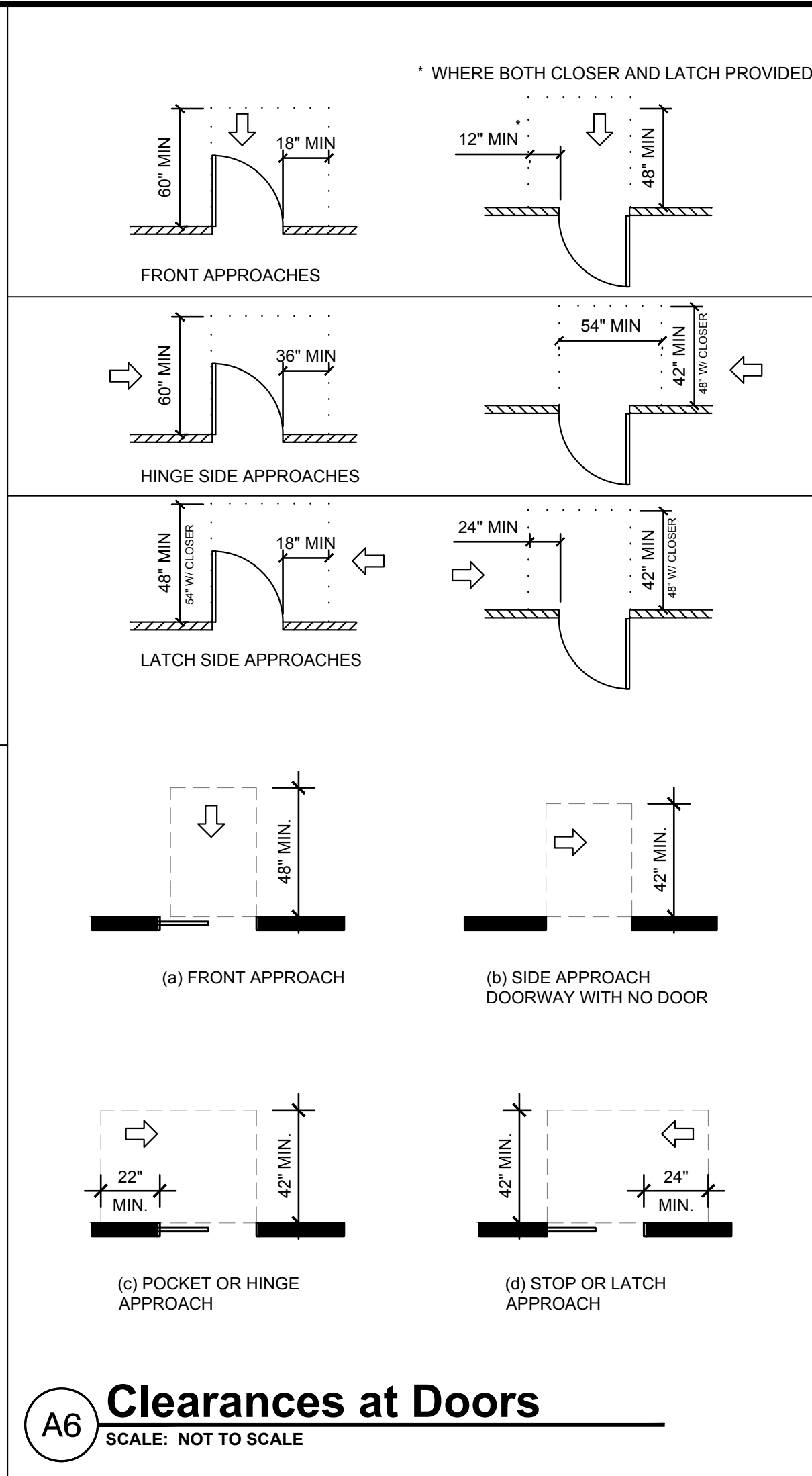
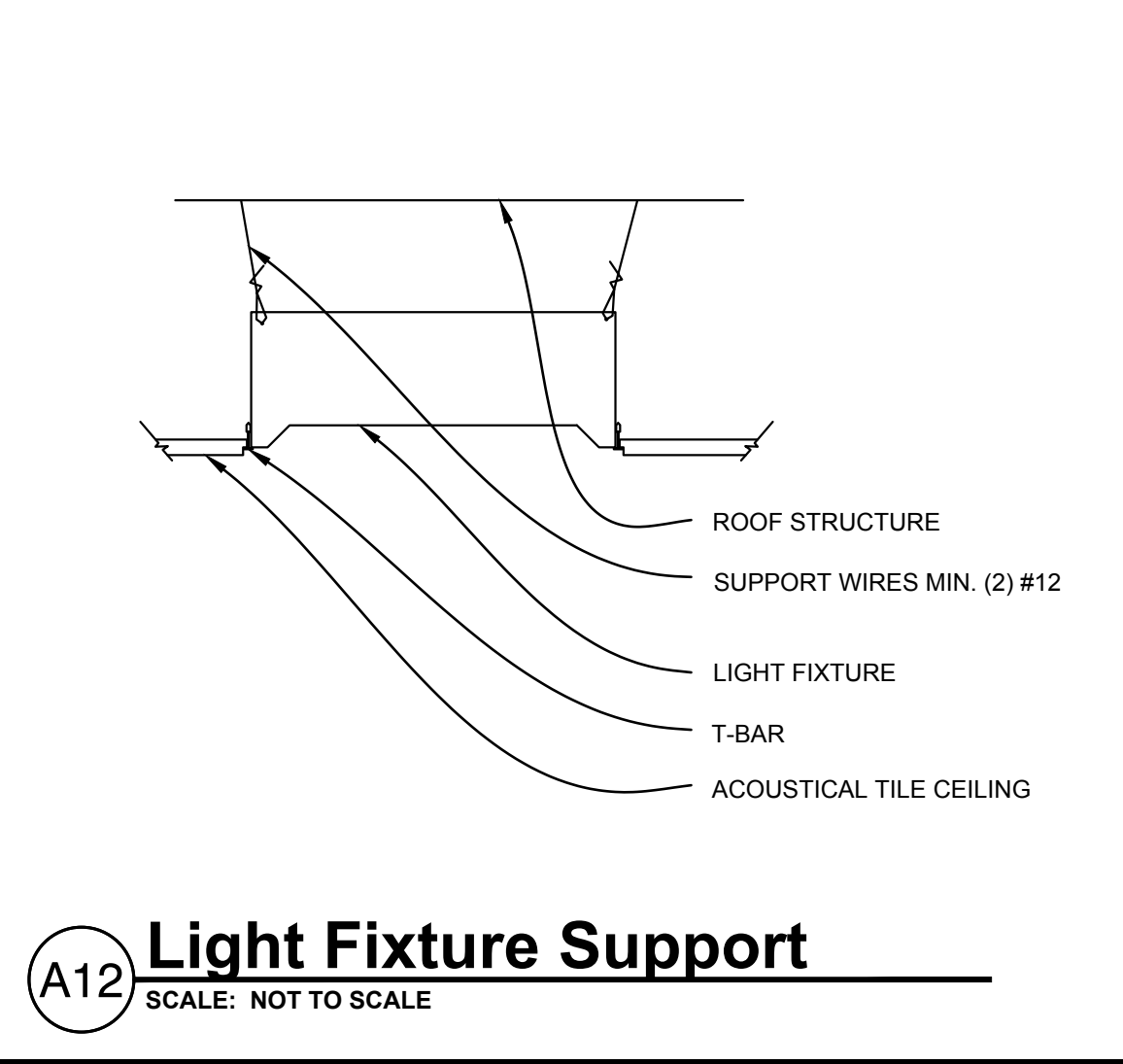
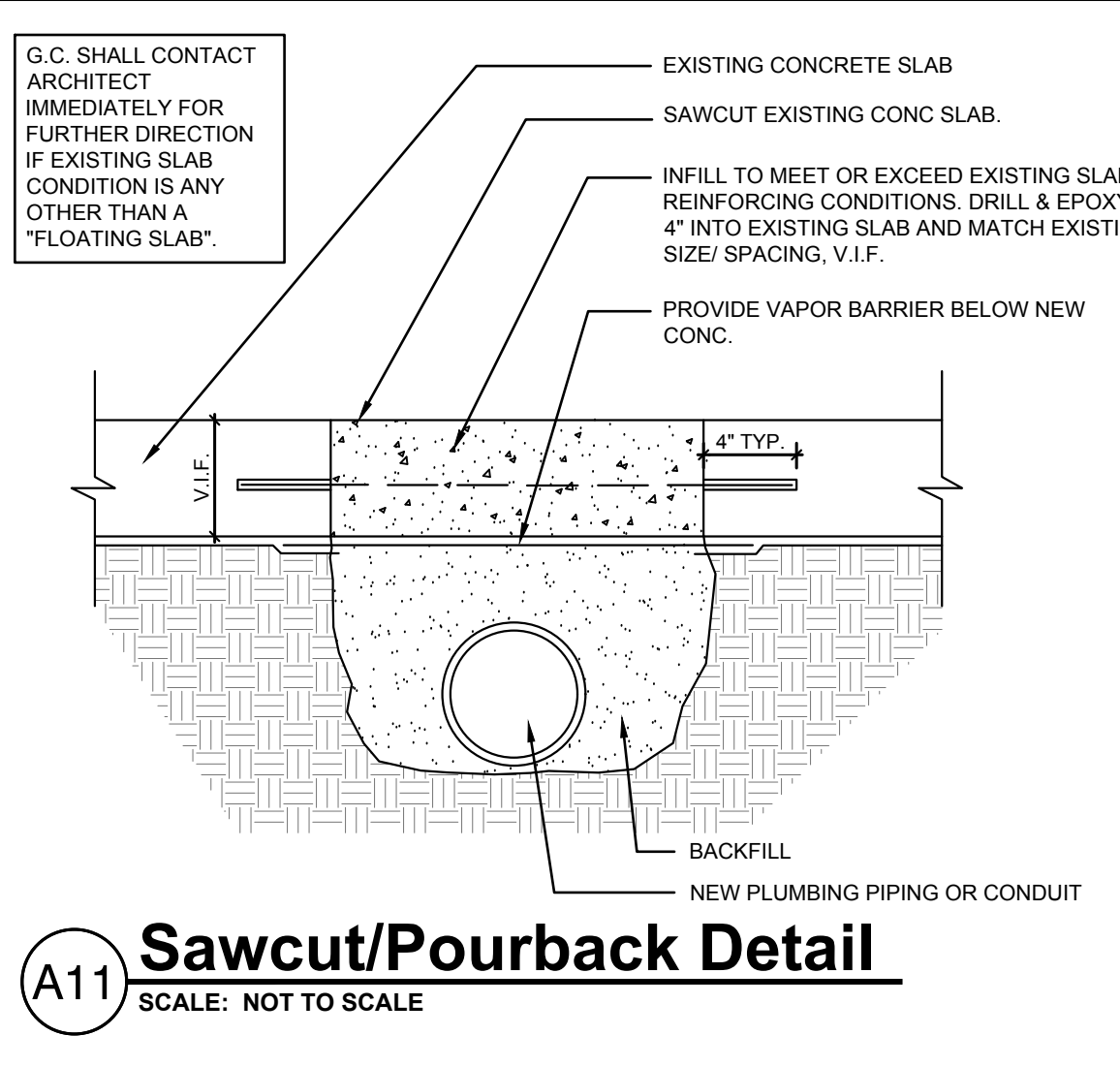
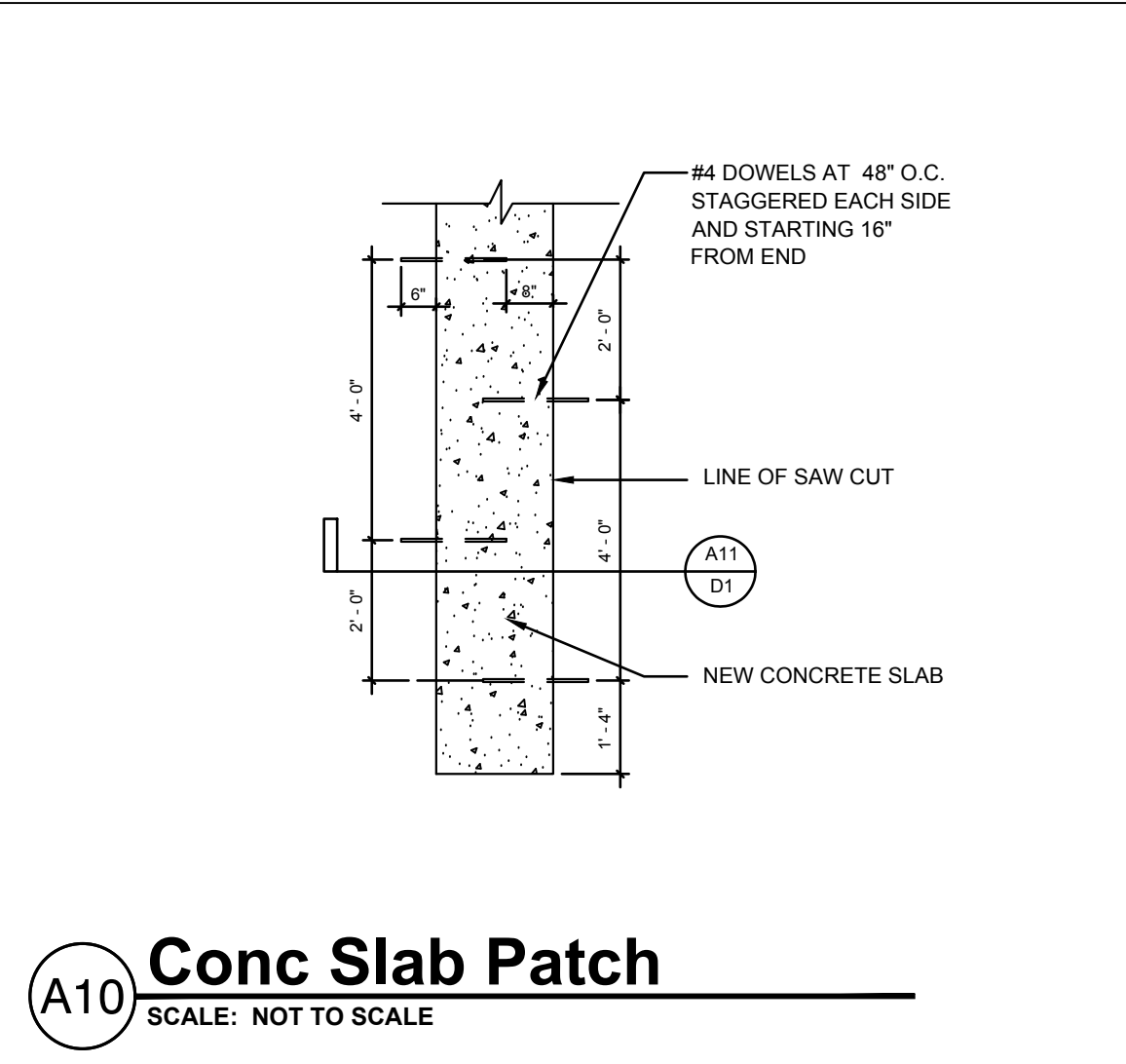
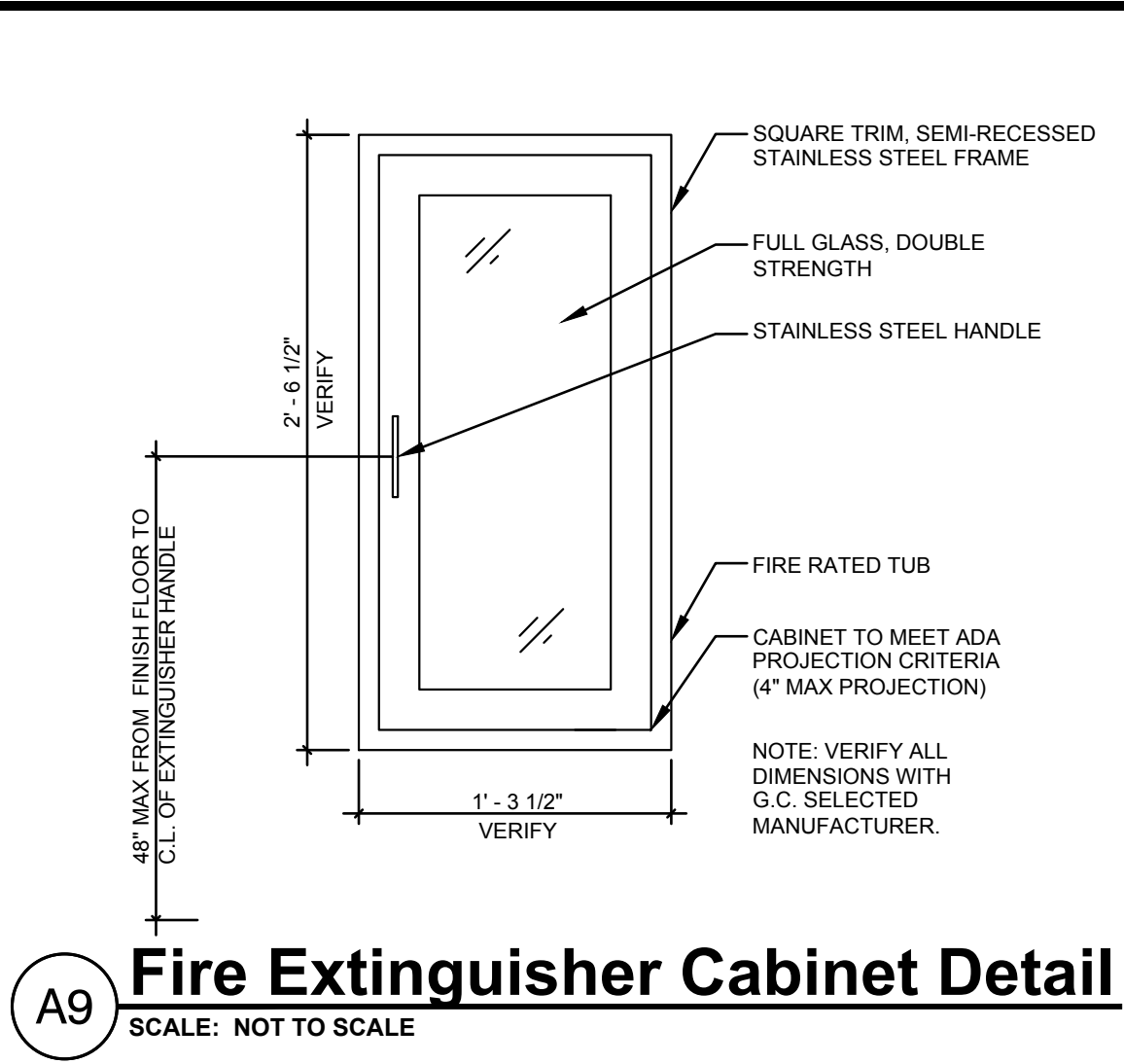
GAUGE: BRACING:	SPACING:	MAX HEIGHT:	HORIZ
20	@ 16" O.C.	24'-6"	10'-0" O.C.
20	@ 24" O.C.	21'-7"	10'-0" O.C.
25	@ 16" O.C.	19'-9"	10'-0" O.C.
25	@ 24" O.C.	16'-9"	10'-0" O.C.

A19 Stud Sizing Chart
SCALE: NOT TO SCALE



SPECIFICATIONS FOR DEVICE LOCATIONS

- WHEN MOUNTING MULTIPLE DEVICES FROM DIFFERENT TRADES IN THE SAME LOCATION (SUCH AS LIGHTING SWITCHES, THERMOSTATS, ETC.), THEIR ARRANGEMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - LOCATE DEVICES AS SHOWN ON THE ARCHITECTURAL PLANS, ELEVATIONS OR SECTIONS.
 - WHEN SHOWN ON MECHANICAL OR ELECTRICAL DRAWINGS, BUT NOT ON ARCHITECTURAL DRAWINGS, DEVICES SHALL BE UNIFORMLY AND SYMMETRICALLY MOUNTED. VERTICALLY ALIGN DEVICES MOUNTED AT HEIGHTS INDICATED, UNLESS SEPARATED HORIZONTALLY BY A MINIMUM OF 24".
 - DEVICES INSTALLED IN MASONRY OR SURFACES TO RECEIVE WOOD PANELS, WALL COVERING OR SIMILAR MATERIALS SHALL BE INSPECTED BY THE ARCHITECT AT TIME OF ROUGH-IN.
 - IF THE CONTRACTOR HAS ANY DOUBTS REGARDING THE LOCATION OF DEVICES, HE SHOULD CONSULT WITH THE PROJECT ARCHITECT/ENGINEER PRIOR TO ROUGHING-IN.
 - WHERE MULTIPLE SWITCHES OCCUR, GANG W/SINGLE COVER PLATE.
- DEVIATIONS FROM THE ABOVE PRINCIPLES WITHOUT PRIOR APPROVAL BY THE ARCHITECT/ENGINEER SHALL BE CORRECTED BY THE INSTALLING CONTRACTOR. ANY COST, INCLUDING CUTTING & PATCHING, ENTAILED IN THE REMOVAL, RELOCATION, AND REINSTALLATION OF ANY DEVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR.



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10-11-22

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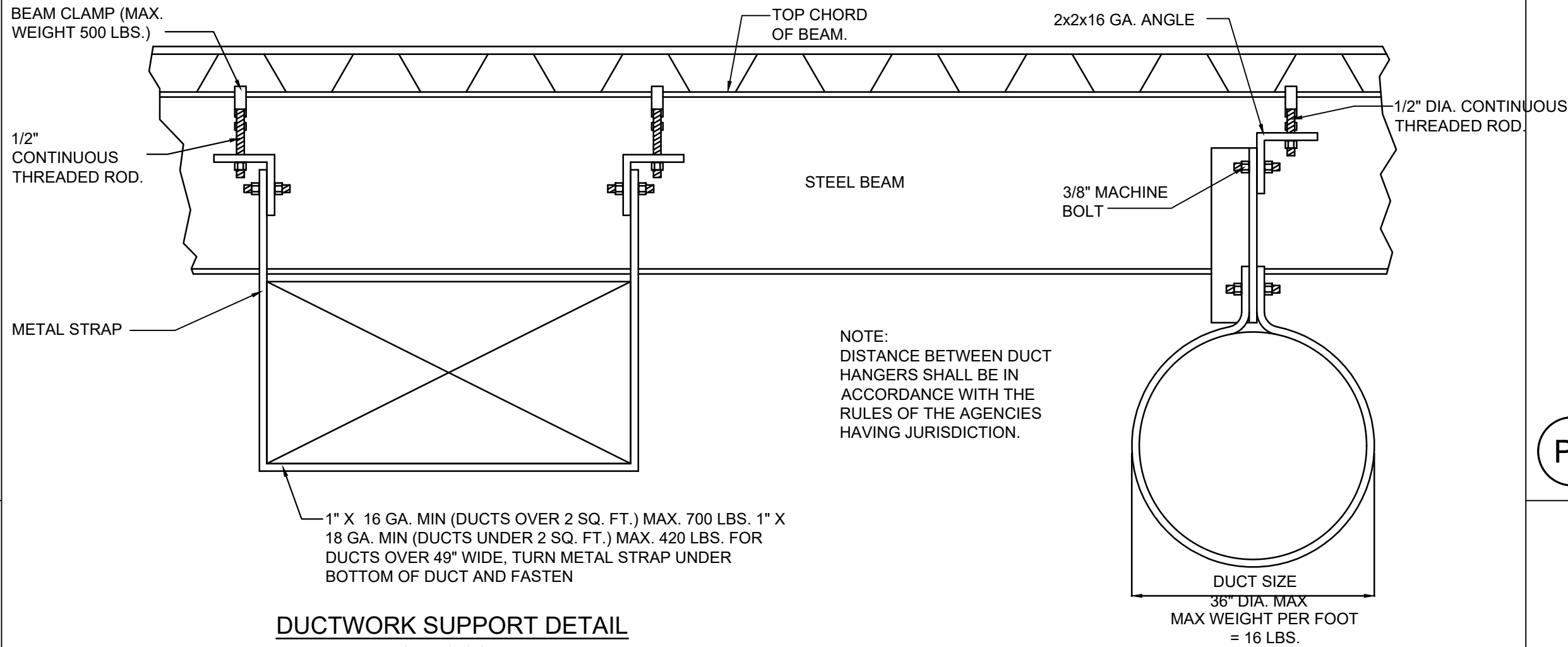
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RADIANT WAXING
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D-1
Architectural Details

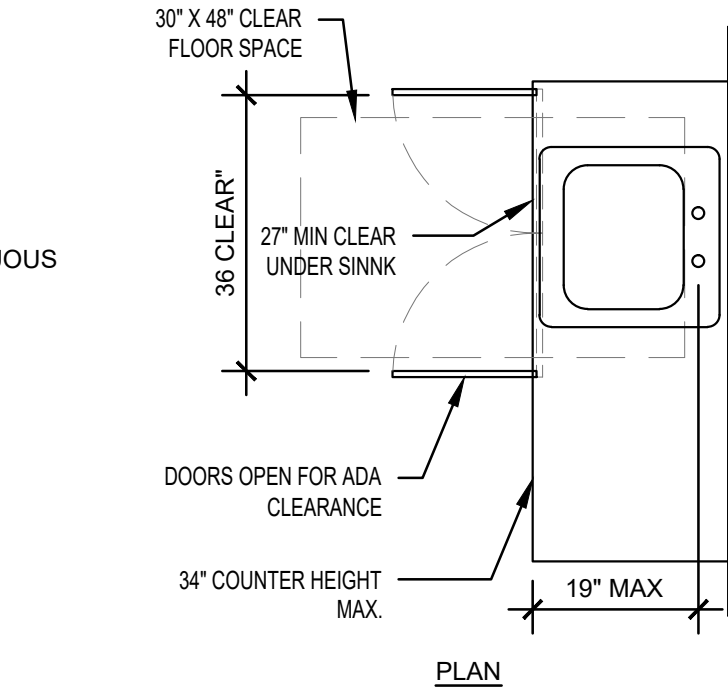


DUCTWORK SUPPORT DETAIL
NOT TO SCALE

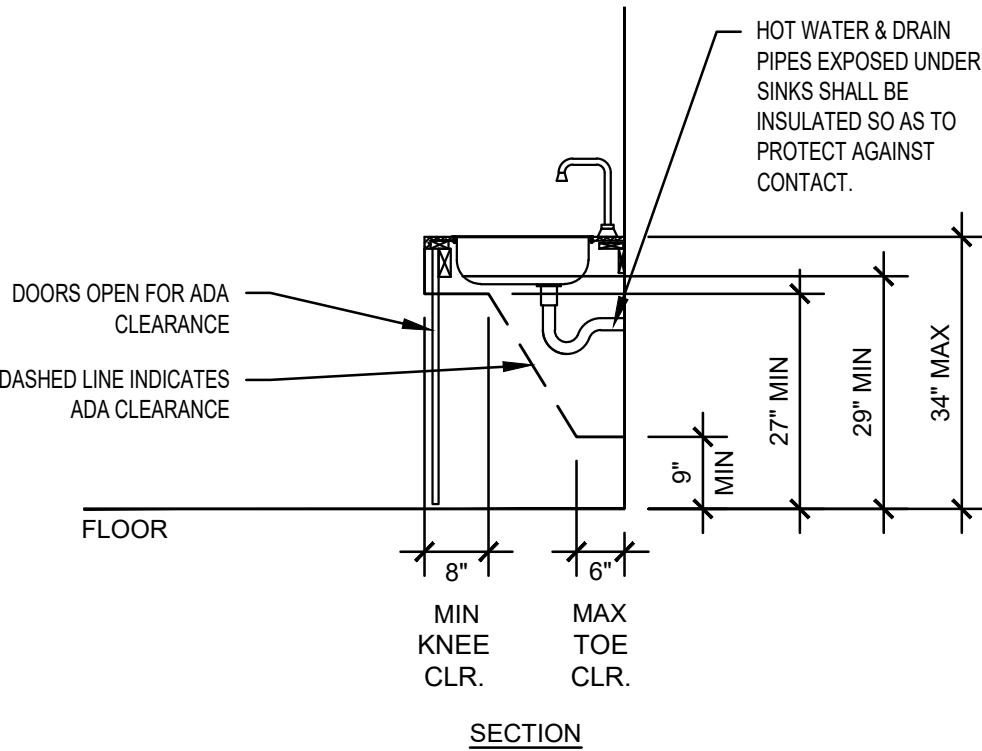
MAX. SIDE INCHES	RECTANGULAR DUCTS MIN. GALV. SHT. GAUGE	ALUMINUM MIN. B & S GAUGE
THROUGH 12	26 (0.022 IN.)	24 (0.020 IN.)
13 THROUGH 30	24 (0.028 IN.)	22 (0.025 IN.)
31 THROUGH 54	22 (0.034 IN.)	20 (0.032 IN.)
55 THROUGH 84	20 (0.040 IN.)	18 (0.040 IN.)
OVER 84	18 (0.052 IN.)	16 (0.051 IN.)

DUCTWORK SUPPORT DETAIL NOT TO SCALE	ROUND DUCT SUPPORT DETAIL NOT TO SCALE
DUCT SIZE 36" DIA. MAX MAX WEIGHT PER FOOT = 16 LBS.	DUCT SIZE 36" DIA. MAX MAX WEIGHT PER FOOT = 16 LBS.
DUCTWORK SUPPORT DETAIL NOT TO SCALE	DUCTWORK SUPPORT DETAIL NOT TO SCALE

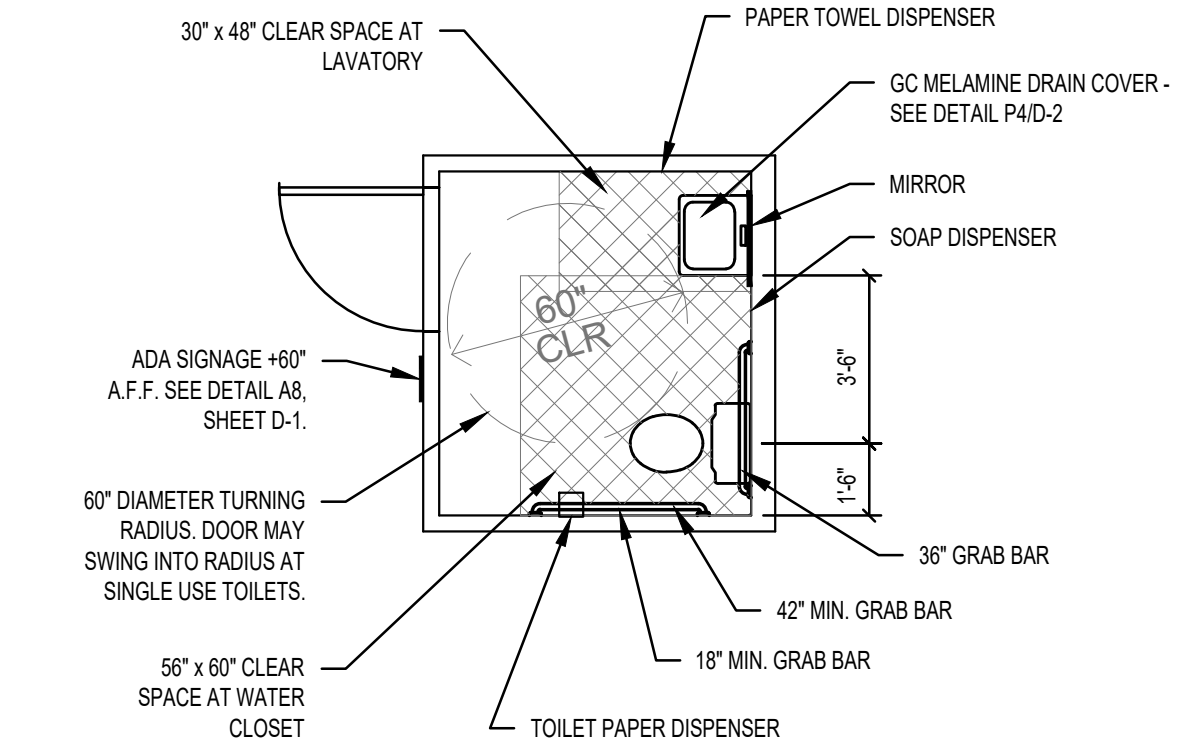
M1 DUCT HANGING
SCALE: NOT TO SCALE



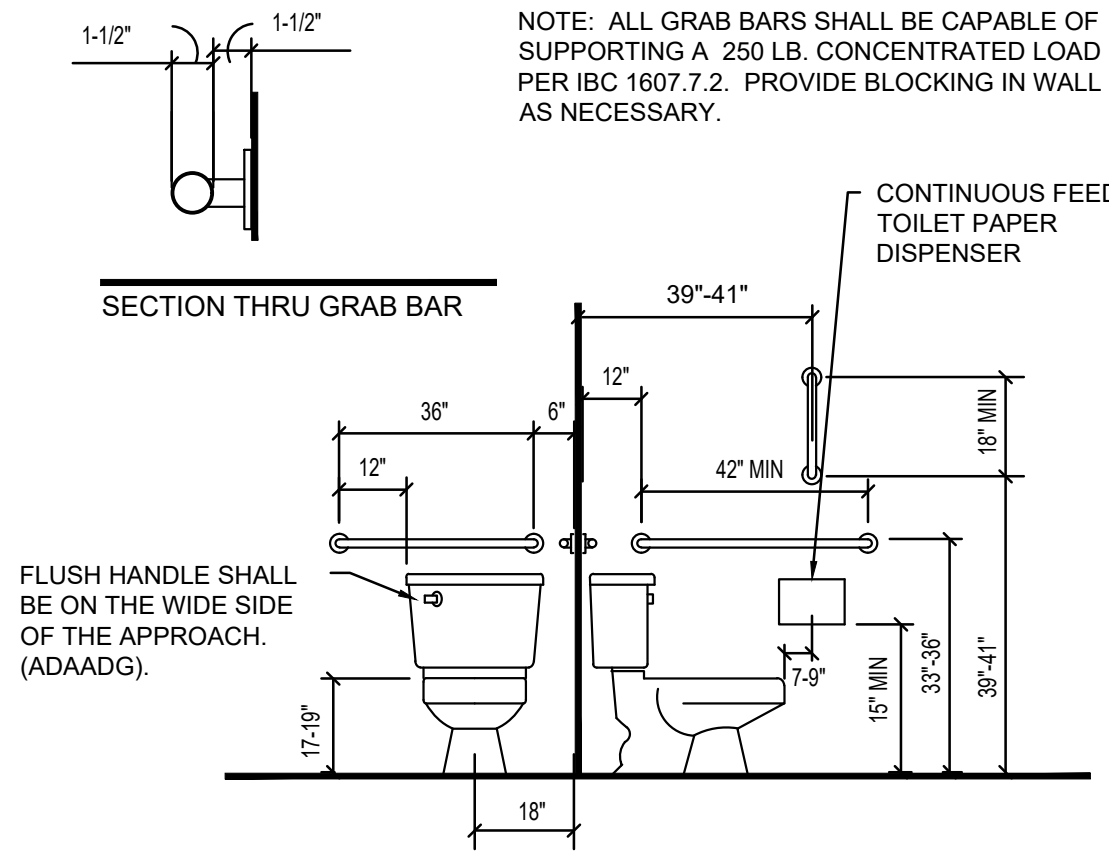
P5 Accessible Sink Plan
SCALE: NOT TO SCALE



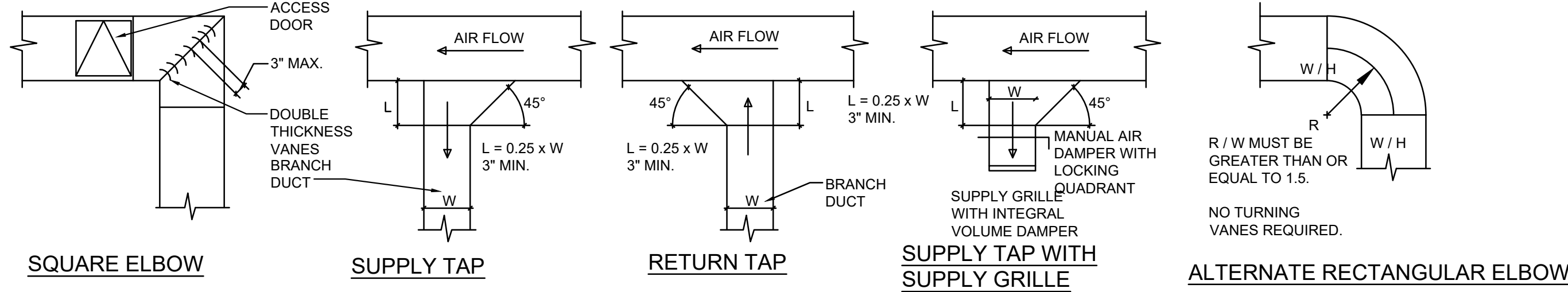
P6 Accessible Sink Section
SCALE: NOT TO SCALE



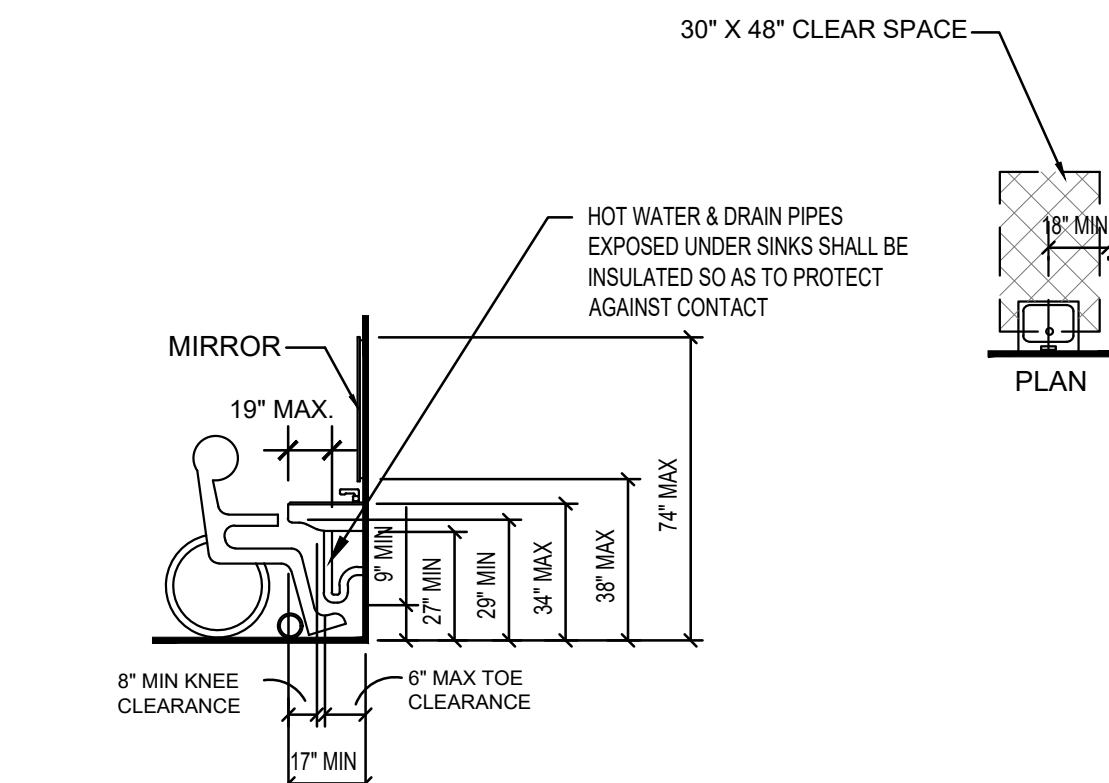
P1 Single Use Toilet Room
ICC / ANSI Requirements
SCALE: NOT TO SCALE



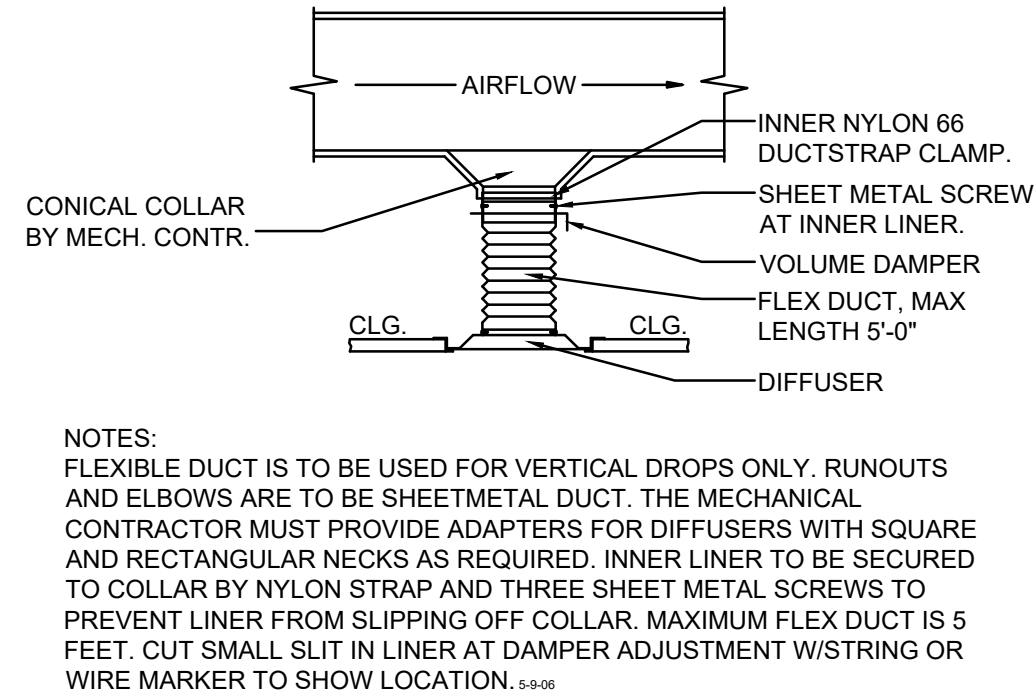
P2 Water Closets, Grab Bars
SCALE: NOT TO SCALE



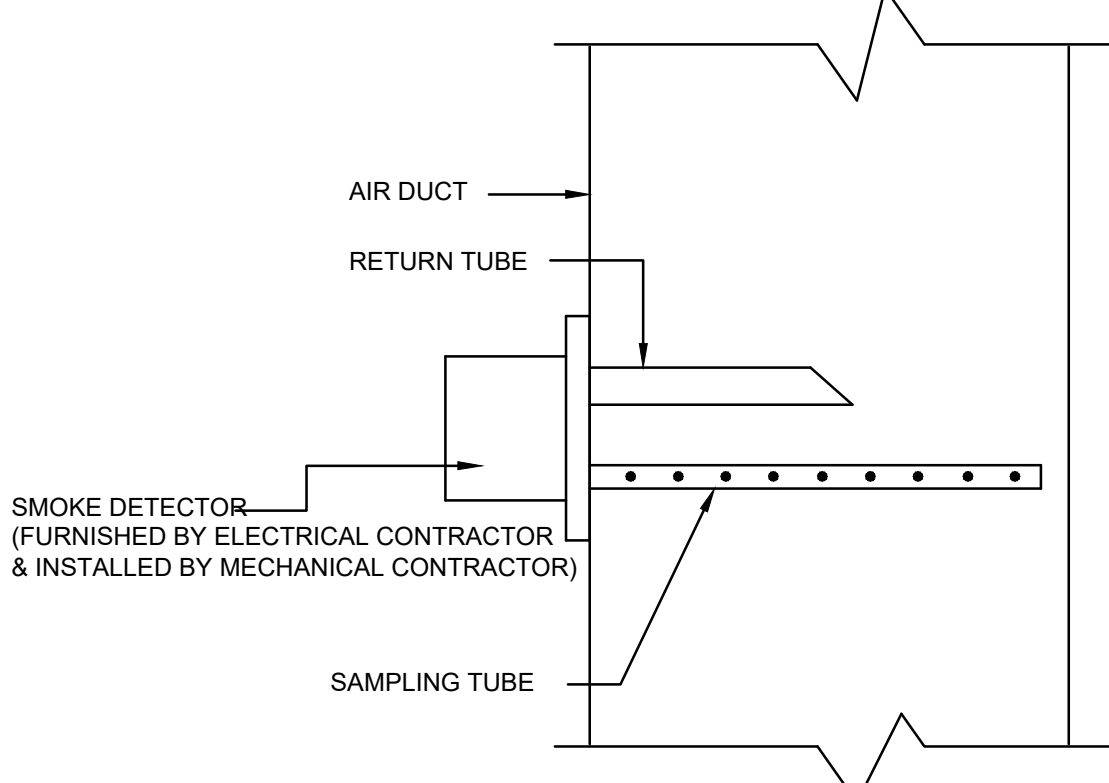
M2 DUCTWORK DETAILS
SCALE: NOT TO SCALE



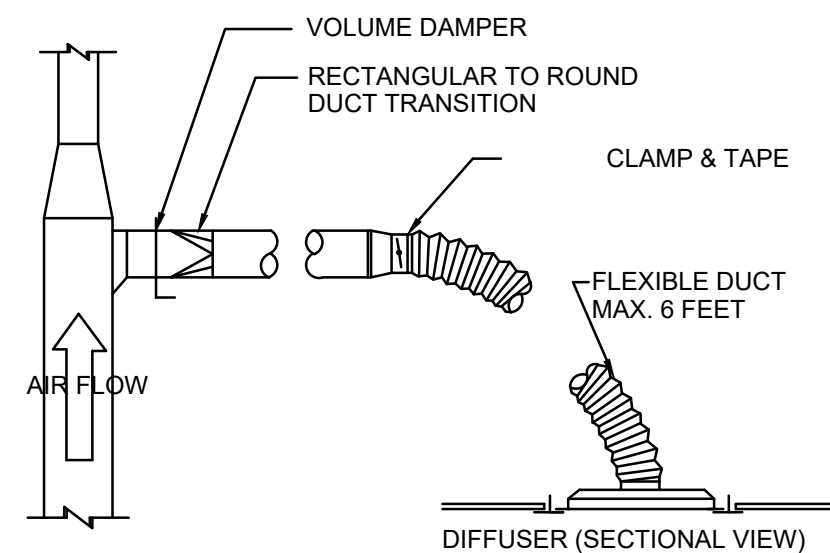
P3 Lavatories
SCALE: NOT TO SCALE



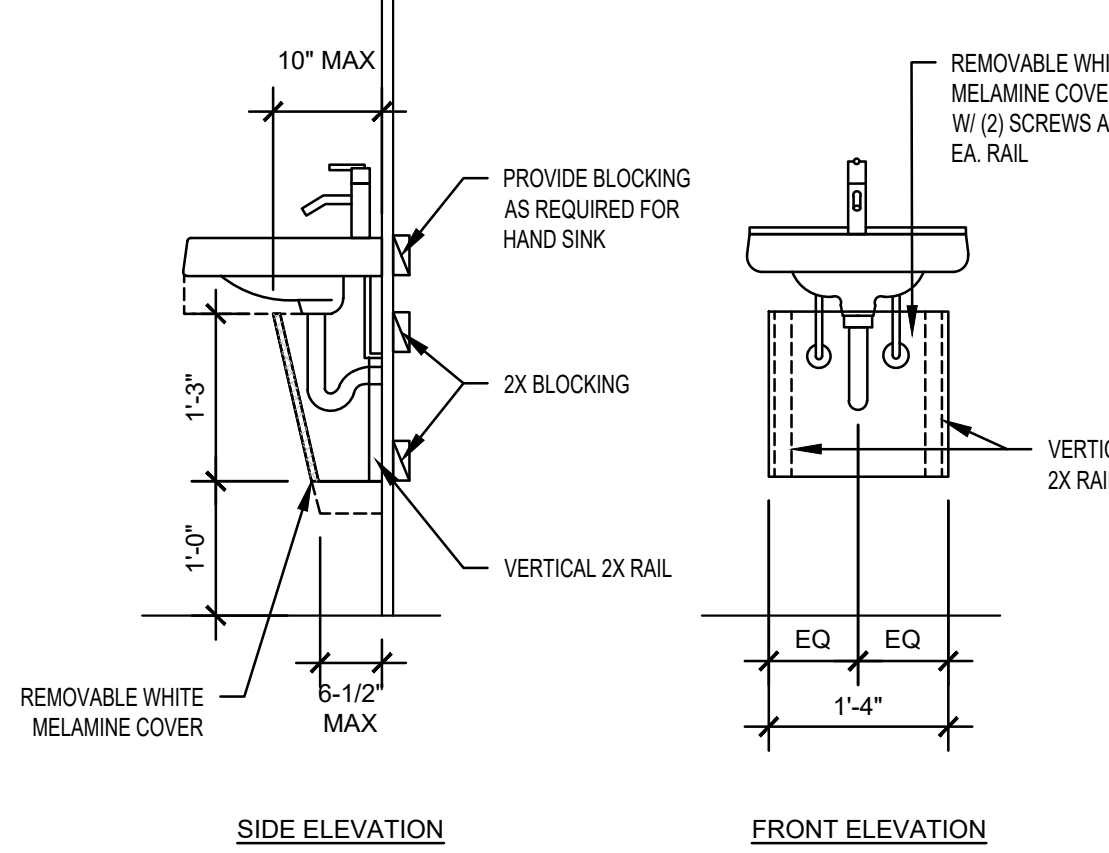
M5 BOTTOM DISCHARGE DUCT
SCALE: NOT TO SCALE



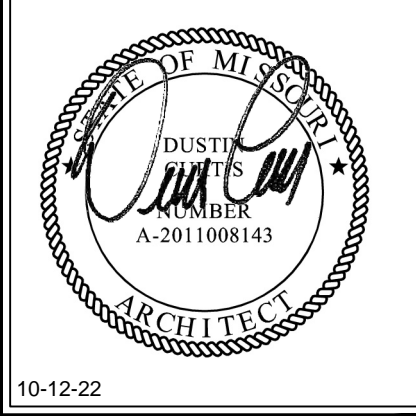
M4 DUCT SMOKE DETECTOR
SCALE: NOT TO SCALE



M3 CEILING DIFFUSER CONNECT.
SCALE: NOT TO SCALE



P4 Lav Drain Cover Detail
SCALE: NOT TO SCALE



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D-2
Mechanical / Plumbing Details

Mechanical Specifications

- ALL NEW LOW PRESSURE SUPPLY & RETURN DUCTWORK TO BE INSTALLED PER S.M.A.C.N.A. STANDARDS. DUCT DIMENSIONS INDICATED ARE CLEAR INSIDE DIMENSIONS, INCREASE DUCT SIZE ACCORDINGLY.
- ALL SHEETMETAL SHALL BE CONSTRUCTED IN CONFORMANCE TO THE LATEST S.M.A.C.N.A. DUCT CONSTRUCTION STANDARDS.
- THERMOSTAT LOCATIONS SHALL BE VERIFIED BY ARCHITECT.
- ALL EQUIPMENT, PIPING, DUCTWORK, ETC. SHALL BE SUSPENDED FROM STEEL OR CONCRETE PLANK IN AN APPROVED MANNER. DO NOT HANG FROM METAL DECK.
- ELECTRICAL CONTRACTOR TO PROVIDE 120V/1/60C, 20AMPS, WEATHER PROOF RECEPTACLE FOR ALL ROOF MOUNT EQUIPMENT
- GENERAL CONTRACTOR TO PROVIDE SHIMS/DRY PACKS FOR THE LEVELING OF UNITS.
- ALL HVAC WORK SHALL BE IN CONFORMANCE TO INTERNATIONAL MECHANICAL CODE 2021 AND ANY STATE OR LOCAL CODES.
- PROVIDE SEISMIC SUPPORTS FOR HVAC EQUIPMENT WHERE REQUIRED.
- ALL STEEL SUPPORTS AS REQUIRED FOR H.V.A.C. EQUIPMENTS (PART OF BUILDING STRUCTURE) SHALL BE BY OTHERS.
- PROVIDE VOLUME DAMPER IN ALL BRANCH DUCTS.
- FIRE DAMPERS SHALL BE PROVIDED WHERE SHOWN & WHERE REQUIRED IN ACCORDANCE WITH LOCAL CODES, ORDINANCES AND INSURANCE CARRIERS.
- PROVIDE ACCESS DOORS IN DUCTWORK AT ALL FIRE DAMPER LOCATIONS.
- ALL FLEXIBLE DUCTWORK SHALL BE THERMAFLEX TYPE M-KE OR APPROVED EQUAL LIMITED TO MAX. LENGTH OF 5'-0". ALL FLEXIBLE DUCTWORK SHALL MEET IMC 2015 AND NFPA REQUIREMENTS FOR USE IN A RETURN AIR PLENUM. PROVIDE SPIN COLLARS WITH VOLUME DAMPERS AT ALL NEW FLEXIBLE CONNECTIONS.
- SHEET METAL CONTRACTOR TO VERIFY EXISTING CONDITION PRIOR TO FABRICATION.
- DUCTWORK SHALL BE SEALED AIRTIGHT WITH APPROVED MASTIC SEALER SUCH AS UNITED MCGILL UNI-WELD TYPE DUCT SEALER. DUCT SEALER SHALL BE UL RATED. DUCT SHALL BE SEALED EXTERNALLY.
- ALL CEILING SUPPLY AIR DIFFUSERS SHALL BE PER SCHEDULE UNLESS OTHERWISE NOTED ON PLANS. CEILING DIFFUSERS & GRILLES SHALL BE KRUGER, CARNES OR TITUS.
- SHEET METAL CONTRACTOR TO VERIFY EXISTING CONDITION PRIOR TO FABRICATION.
- INSULATION SHALL CONFORM TO THE RECOMMENDATIONS OF THE NFPA, AND SHALL HAVE COMPOSITE FIRE AND SMOKE HAZARD RATINGS AS TESTED BY PROCEDURE ASTM-E84 NFPA 255 OR UL 723 NOT EXCEEDING: FLAME SPREAD 25, SMOKE DEVELOPED 50. ACCESSORIES SUCH AS ADHESIVE, MASTICS, CEMENTS FACING, TAPES AND FINISHES, SHALL HAVE THE SAME COMPONENT RATINGS AS LISTED ABOVE. PRODUCTS OR THEIR SHIPPING CARTONS SHALL BEAR A LABEL INDICATING THAT FLAME AND SMOKE RATING DO NOT EXCEED ABOVE REQUIREMENTS. ANY TREATMENT OF JACKETS OR FACINGS TO IMPART FLAME AND SMOKE SAFETY SHALL BE PERMANENT. THE USE OF WATER SOLUBLE TREATMENTS IS PROHIBITED.
- ALL SUPPLY & RETURN DUCTS SHALL HAVE 1" LINING 15'-0" DOWN OF THE DUCTWORK.
- ALL SUPPLY & RETURN UNLINED DUCTS SHALL BE INSULATED W/ 1-1/2" THICK INSULATION.
- ALL OUTSIDE AIR INTAKE DUCTWORK SHALL NE INSULATED.
- ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON FITTINGS.
- ALL GAS PIPING SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH LOCAL UTILITY / LOCAL CODES / NATIONAL FUEL GAS CODE REQUIREMENTS.
- ALL PROOF PENETRATIONS SHOULD BE MADE AND SEALED BY LANDLORD'S ROOFER.
- ALL GAS PIPING HAS BEEN SIZED BASED ON LOW & HIGH PRESSURE GAS AVAILABLE AT THE LEAVING SIDE OF GAS METER.
- ALL AUTOMATIC TEMPERATURE CONTROL WIRING SHALL BE FURNISHED & INSTALLED BY ELECTRICAL CONTRACTOR PER MECHANICAL CONTRACTORS WIRING DIAGRAM.
- CONDENSTAE DRAIN PIPING SHALL BE HARD DRAWN TYPE "L" COPPER TUBING WITH WROUGHT COPPER SOLDER FITTINGS.
- INSULATE ALL CONDENSATE DRAIN PIPING.

Mechanical Notes

- ALL DUCTWORK, EQUIPMENT, REGISTERS, ETC SHOWN HEREIN ARE SCHEMATIC. THE FINAL LOCATIONS SHALL BE FIELD VERIFIED AND COORDINATED TO AVOID INTERFERENCE WITH ALL NEW AND EXISTING STRUCTURES, PIPES, ETC.
- THE CONTRACTOR SHALL COORDINATE ALL OF HIS WORK WITH THE OTHER TRADES.
- MECHANICAL CONTRACTOR SHALL SEAL ALL VOIDS IN OPENINGS AFTER DUCTWORK AND LOUVERS HAVE BEEN INSTALLED.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO SUPPORT AND PROPERLY ANCHOR THE HVAC EQUIPMENT.
- THE MECHANICAL CONTRACTOR SHALL SUBMIT A TEST AND BALANCE REPORT FOR ALL HVAC SYSTEM CERTIFIED BY A NEW JERSEY PROFESSIONAL ENGINEER OR BY A TEST AND BALANCE PROFESSIONAL CERTIFIED BY THE ASSOCIATED AIR BALANCE COUNCIL OR BY THE NATIONAL ENVIRONMENTAL BALANCE BUREAU. ALL NEW OR EXISTING EQUIPMNET ON FLOOR TO BE BALANCED.
- THE MECHANICAL CONTRACTOR SHALL INCLUDE AS PART OF THE BALANCING, THE SERVICES OF A FACTORY AUTHORIZED SERVICE TECHNICIAN TO MAKE REQUIRED ADJUSTMENTS SO THAT THE INSTALLED EQUIPMENT CAN DELIVER THE AIR FLOW RATE AS INDICATED ON THE CONTRACT DOCUMENT AND THE SEQUENCE OF OPERATION.
- ALL REGISTERS SHALL BE CONNECTED TO MAIN DUCTWORK WITH SHEET METAL CONNECTORS.
- MECHANICAL CONTRACTOR SHALL PROVIDE FIRE PROOFING FOR ALL PENETRATIONS WHERE REQUIRED. SEE MECHANICAL DRAWINGS.
- MECHANICAL CONTRACTOR SHALL PROVIDE A LOCK BOX FOR ALL THERMOSTATS.

Legend

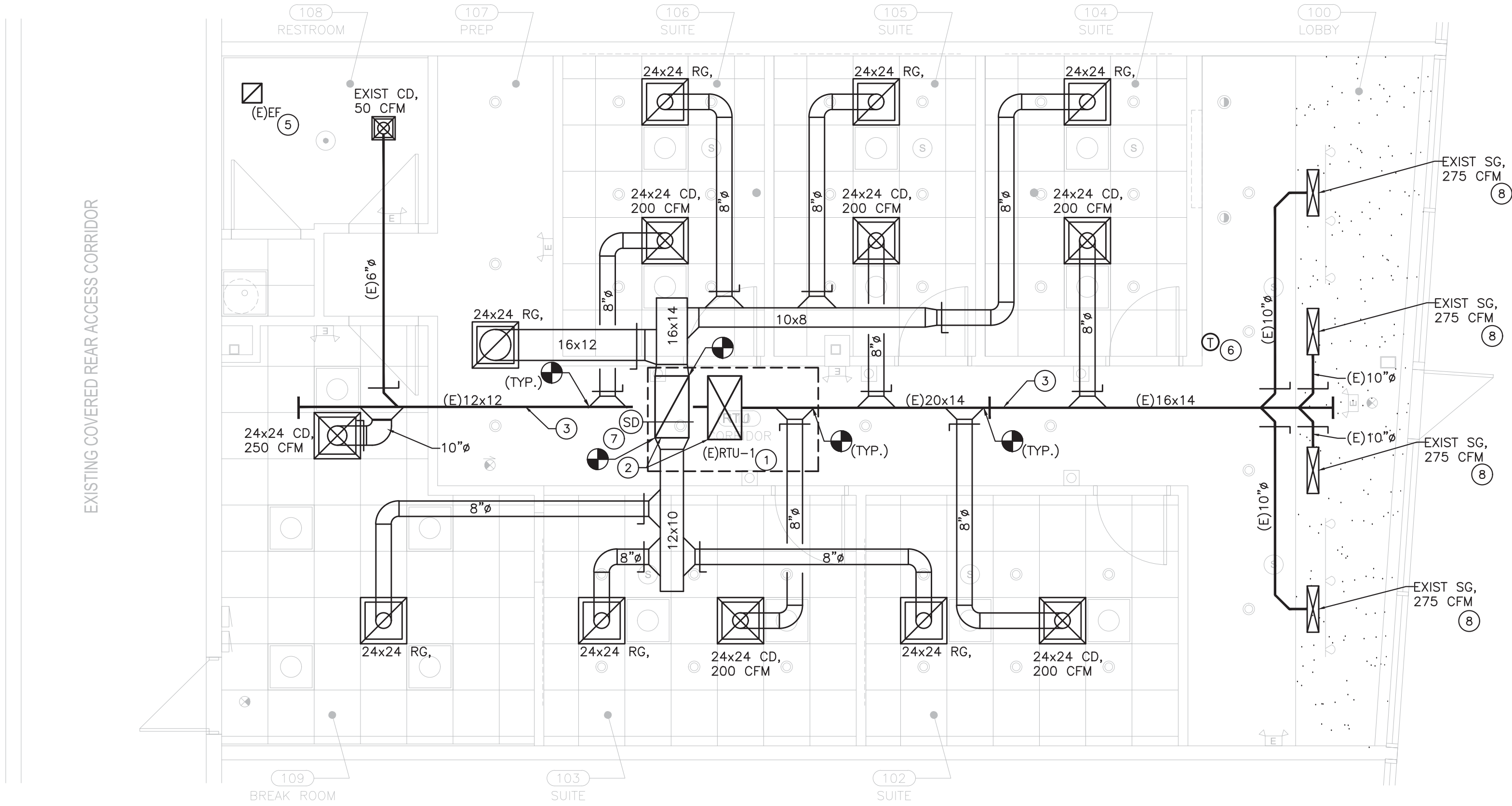
SYMBOL	DESCRIPTION
	NEW 24x24 SUPPLY DIFFUSER
	NEW 24x24 OR 12X24 RETURN GRILLE
	T-STAT
	SENSOR
	NEW RIGID DUCT
	TAKE-OFF WITH VOLUME DAMPER
	UNDER CUT DOOR
	VOLUME DAMPER
FSD/AD	FIRE SMOKE DAMPER W/ACCESS DOOR
ACC	AIR COOLED CONDENSER
AC	AIR CONDITIONING UNIT
EF	EXHAUST FAN
EUH	ELECTRIC UNIT HEATER
HP	HEAT PUMP
RAD	RADIATOR (HW)
RTU	ROOF TOP UNIT
SF	SUPPLY FAN
UH	UNIT HEATER
CD	CEILING DIFFUSER
CR	CEILING REGISTER
DG	DOOR GRILLE
EG	EXHAUST GRILLE
RG	RETURN GRILLE
SD	SUPPLY DIFFUSER
SG	SUPPLY GRILLE
TG	TRANSFER GRILLE
WMS	WIRE MESH SCREEN

Key Notes

- EXISTING LENNOX TGA072 6 TON RTU. BALANCE UNIT TO PROVIDE 2400CFM, & 480 CFM OA. COORDINATE EXACT LOCATION OF UNIT IN FIELD. CONTRACTOR SHALL INSPECT, REPAIR AND REFURBISH UNIT AS REQUIRED FOR A COMPLETE AND OPERABLE HVAC SYSTEM.
- EXISTING SUPPLY AND RETURN AIR DROPS FROM RTU, FULL SIZE OF UNIT OPENING TO REMAIN.
- EXISTING MAIN SUPPLY AIR DUCT TO REMAIN. VERIFY EXACT LOCATION AND ROUTING IN FIELD.
- PROVIDE DUCT OPENING FOR RETURN AIR WITH WIRE MESH SCREEN.
- EXISTING TOILET EXHAUST FAN WITH 6"Ø DUCT UP THROUGH ROOF TO REMAIN. CONTRACTOR SHALL INSPECT REPAIR AND REFURBISH UNIT TO LIKE NEW CONDITION FOR A COMPLETE AND OPERABLE EXHAUST SYSTEM.
- NEW THERMOSTAT MOUNTED AT 48" A.F.F. FOR RTU. CONFIRM FINAL LOCATION WITH ARCHITECT/OWNER.
- PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT OF RTU. SD SHALL SHUTDOWN FAN OPERATION UPON ACTIVATION.
- EXISTING AIR DEVICE TO REMAIN. CONTRACTOR SHALL BALANCE TO CFM INDICATED ON PLAN.

General Notes

- DUCTWORK LAYOUTS ARE DIAGRAMMATIC AND INTEND TO SHOW A GENERAL ARRANGEMENT, SIZE AND CAPACITY. ALL OFFSETS ARE NOT NECESSARILY SHOWN. CONTRACTOR SHALL ARRANGE AND COORDINATE THE WORK, FURNISH NECESSARY OFFSETS AND FITTINGS TO AVOID CONFLICT WITH OTHER MECHANICAL AND ELECTRICAL SERVICES, LIGHTING AND WITH STRUCTURAL AND ARCHITECTURAL ELEMENTS.
- WHILE ALL ATTEMPTS AT ACCURACY HAVE BEEN TAKEN, NO GUARANTEE OF AN EXACT REPRESENTATION OR COMPLETENESS IS IMPLIED. RESPONSIBILITY FOR FINAL VERIFICATION FALLS TO THE CONTRACTOR. ANY UNRESOLVED DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- GIVE BUILDING MANAGEMENT A NOTICE 48 HOURS BEFORE ANY SYSTEMS SHUT DOWN
- ALL FIRE RATED PENETRATIONS SHALL BE PROVIDED WITH FIRE DAMPER WITH ACCESS DOOR.
- PROVIDE CORD OPERATED DAMPER WHERE DAMPER IS REQUIRED AT INACCESSIBLE CEILING.



Mechanical Plan

1/4" = 1'-0"

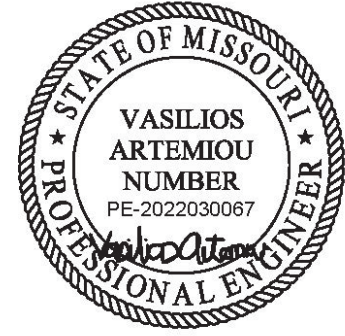
SUPPLY/RETURN AIR DIFFUSER SCHEDULE

(TITUS)

UNIT NO.	CFM RANGE PER LFT	DIMENSIONS (IN.)	REMARKS
CD	SEE DWG	24x24	MODEL TMS-AA, PROVIDE OPPOSED BLADE DAMPER
RG	SEE DWG	SEE DWG	MODEL 350FL, 3/4" SPACING

NOTES:

- COORDINATE BORDER TYPE WITH ARCH. DETAILS.
- ALL SELECTIONS BASED UPON ABOVE SCHEDULE UNLESS OTHER WISE NOTED ON PLANS.



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LEE'S SUMMIT, MISSOURI

Revisions

1

Radiant Waxing

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09/26/22

MO-042

M-1

Mechanical Floor Plan

Plumbing Specifications

- I. GENERAL ITEMS:
- IT IS THE INTENT OF THESE SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION FOR FINISHED WORK, TESTED AND READY FOR OPERATION. THE WORK THROUGHOUT SHALL BE EXECUTED IN THE BEST AND MOST THOROUGH MANNER UNDER THE DIRECTION OF AND TO THE SATISFACTION OF THE OWNER.
 - ALL MATERIALS REQUIRED FOR THIS WORK SHALL BE NEW, UNUSED, BEST OF ITS RESPECTIVE KINDS, AND FREE FROM DEFECTS AND OF FIRST CLASS QUALITY. BASIS OF QUALITY SHALL BE LATEST STANDARDS OF ASTM, ANSI FEDERAL SPECIFICATIONS OR OTHER ACCEPTABLE STANDARDS.
 - THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR WORK UNTIL ITS COMPLETION AND FINAL ACCEPTANCE AND SHALL REPLACE ANY OF THE SAME WHICH MAY BE DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER.
 - THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED AND MATERIALS INSTALLED TO BE FREE FROM INHERENT DEFECTS AND SHALL KEEP IN REPAIR AND REPLACE ANY DEFECTIVE MATERIALS OF WORKMANSHIP, FREE OF COST TO THE TENANT (OWNER) FOR A PERIOD OF ONE (1) YEAR AFTER THE OPENING FOR BUSINESS.
 - CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE SITE FOR THE WORK BEFORE HAVING SUBMITTED A PROPOSAL. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CONDITIONS FOUND DURING THE COURSE OF THE CONTRACT.
 - DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
 - THE CONTRACTOR SHALL CONTACT THE ARCHITECT, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE ARCHITECT, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
 - ALL WALL OR FLOOR PENETRATIONS SHALL BE SLEEVED, WATERPROOFED AND FIRE STOPPED. PROVIDE TEMPORARY PROTECTION UNTIL FINAL CONSTRUCTION IS COMPLETED.

- II. WORK RESPONSIBILITY:
- FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND CONTRACTORS FOR A COMPLETE, SAFE INSTALLATION OF PLUMBING WORK IN FULL CONFORMITY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION AS INDICATED ON DRAWINGS AND/OR HEREIN SPECIFIED, INCLUDING IN GENERAL THE FOLLOWING:
 - SANITARY DRAINAGE CONNECTIONS TO PLUMBING FIXTURES AND EQUIPMENT REQUIRING SAME WITH FINAL CONNECTIONS TO EXISTING PREINSTALLED OUTLETS PROVIDED BY PRIOR TENANT(S) OR LANDLORD. PLUMBER SHALL VERIFY EXACT LOCATION OF WASTE PIPE OUTLET BEFORE SUBMITTING BID AND NOTIFY THE ARCHITECT OF ANY LOCATION DISCREPANCIES. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONCRETE SAWCUTTING REQUIRED TO MAKE THE FINAL CONNECTION TO THE EXISTING WASTE PIPING OR CAPPED OUTLET(S). SAWCUTTING, EXCAVATING, BACKFILLING AND NEW CONCRETE MUST MEET WITH THE LANDLORD'S APPROVAL.

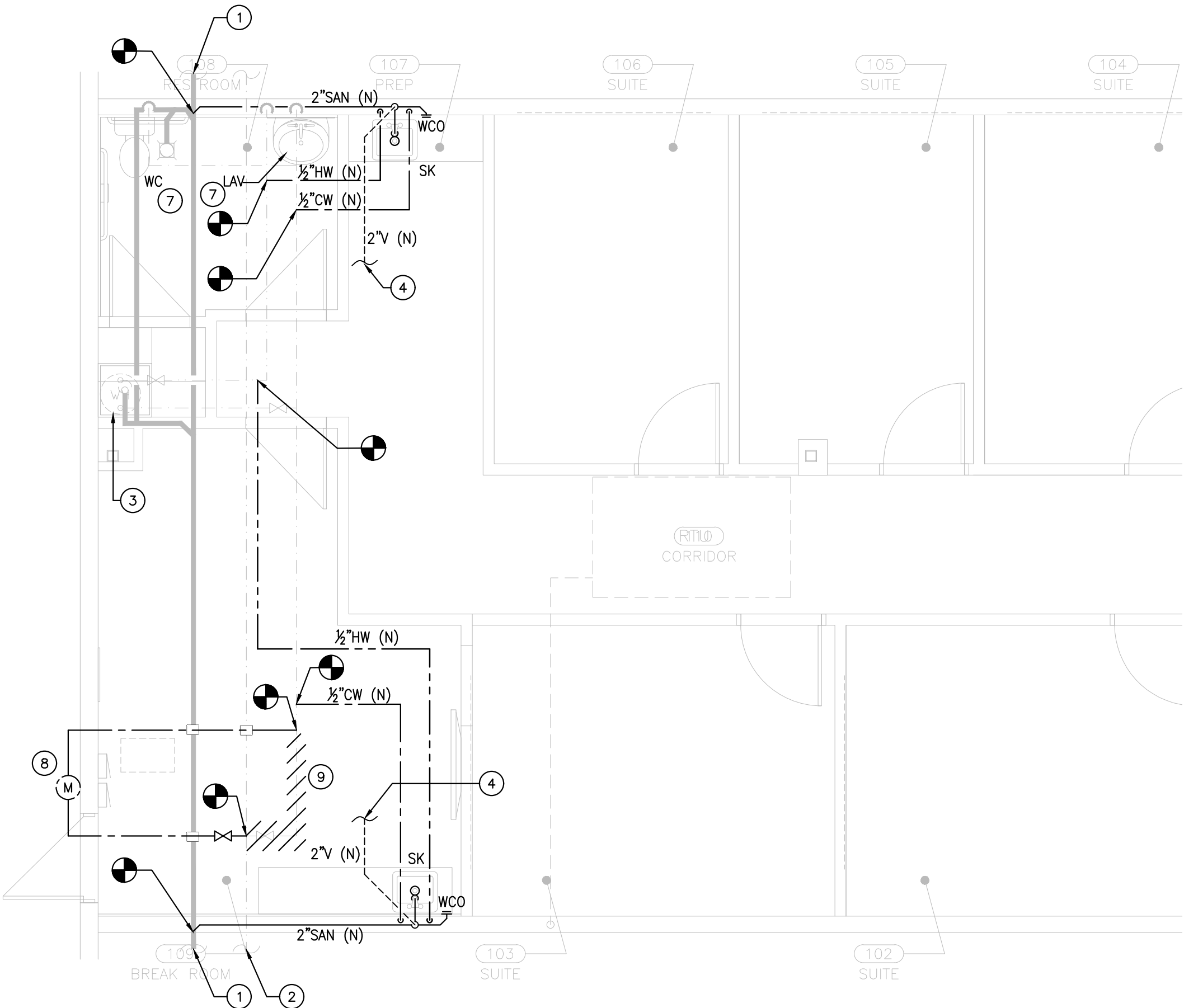
A. SNAKE SANITARY FOR A DISTANCE OF 100 FEET AND REPORT ANY BLOCKAGE.
B. TEST WATER PRESSURE TO INSURE MINIMUM OF 50 PSI.
C. CONTRACTORS TO INCLUDE IN THEIR BID SEWER CAMERA INSPECTION WITH A LINE LOCATE CAMERA.
 - COMPLETE VENT SYSTEM, ALL FIXTURES INDIVIDUALLY VENTED WITH FINAL CONNECTION THROUGH ROOF OR TO EXISTING LANDLORD SUPPLIED COMMON VENT. ROOF PENETRATION AND FLASHING TO BE PERFORMED BY LANDLORD'S ROOFER (IF APPLICABLE). COST OF ROOF PENETRATION AND FLASHING TO BE PART OF THIS CONTRACT, UNLESS NOTED OTHERWISE IN BID PROPOSAL (IF APPLICABLE).
 - DOMESTIC WATER SUPPLY SYSTEM INCLUDING CONNECTION TO EXISTING CAPPED OUTLET AND FINAL CONNECTIONS TO PLUMBING FIXTURES AND EQUIPMENT REQUIRING SAME. VERIFY EXACT LOCATION AND SIZE BEFORE SUBMITTING BID.
 - INSULATION OF ALL HOT AND COLD WATER PIPING, INCLUDING UNDER LAVATORY A.D.A. PIPE WRAPPINGS.

- III. INSTALLATION:
- SLEEVES:** PROVIDE #22 GAGE GALVANIZED IRON PIPE SLEEVES FOR PIPING THROUGH WALLS AND FLOOR, PACK WIT NON-ASBESTOS ROPE AND FILL WITH EXPANDO NON-SHRINKING CEMENT.
 - ESCUTCHEONS:** PROVIDE EXPOSED PIPING, BOTH BARE AND COVERED, WITH CP CAST BRASS ESCUTCHEONS WHERE PASSING THROUGH FLOORS, CEILINGS, WALLS OR PARTITIONS.
 - HANGERS AND SUPPORTS:** SUPPORT HORIZONTAL DRAINAGE PIPING AT LEAST EVERY 5 FEET OR AT EVERY HUB, COPPER TUBING EVERY 7 FEET AND STEEL PIPE EVERY 10 FEET WITH "CLEVIS" HANGERS AND INSULATION PROTECTION SHIELDS. PIPING SHALL NOT BE SUPPORTED FROM BRIDGING OR OTHER PIPING. ONLY SUPPORT FROM TOP FLANGES OF BEAMS AND TOP CHORDS AT PANELS OF JOIST AND TRUSSES. PROVIDE SWAY AND SEISMIC BRACING WHERE REQUIRED BY CODES.
 - TEST:** TEST PIPING AND PROVE TIGHT FOR AT LEAST TWO HOURS IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND/OR AS SPECIFIED. TEST SHALL BE PERFORMED IN THE PRESENCE OF OWNER'S REPRESENTATIVE AND LOCAL INSPECTOR. TEST SHALL BE REPEATED IF NECESSARY UNTIL FINAL APPROVAL OF SYSTEM IS OBTAINED.
 - STERILIZATION OF DOMESTIC WATER SYSTEM:** BEFORE BEING PLACED IN SERVICE, ALL WATER LINES SHALL BE CHLORINATED TO THE SATISFACTION OF THE ARCHITECT OR LANDLORD'S REPRESENTATIVE, IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C601-53T.
 - SLOPE:** SLOPE WASTE LINES 2 INCHES AND SMALLER NOT LESS THAN 1/4 INCH PER FOOT. SLOPE LARGER MAINS NOT LESS THAN 1/8 INCH PER FOOT.
 - CLEANOUT:** INSTALL A CLEANOUT AT BASE OF EACH SOIL STACK, AT EACH CHANGE IN DIRECTION, AT INTERVALS NOT OVER 50 FEET AND ELSEWHERE AS SHOWN ON DRAWINGS OR REQUIRED BY LOCAL CODE. CLEANOUTS SHALL NOT BE INSTALLED IN PUBLIC AREAS WITHOUT SPECIFIC PERMISSION BY TENANT'S CONSTRUCTION MANAGER.

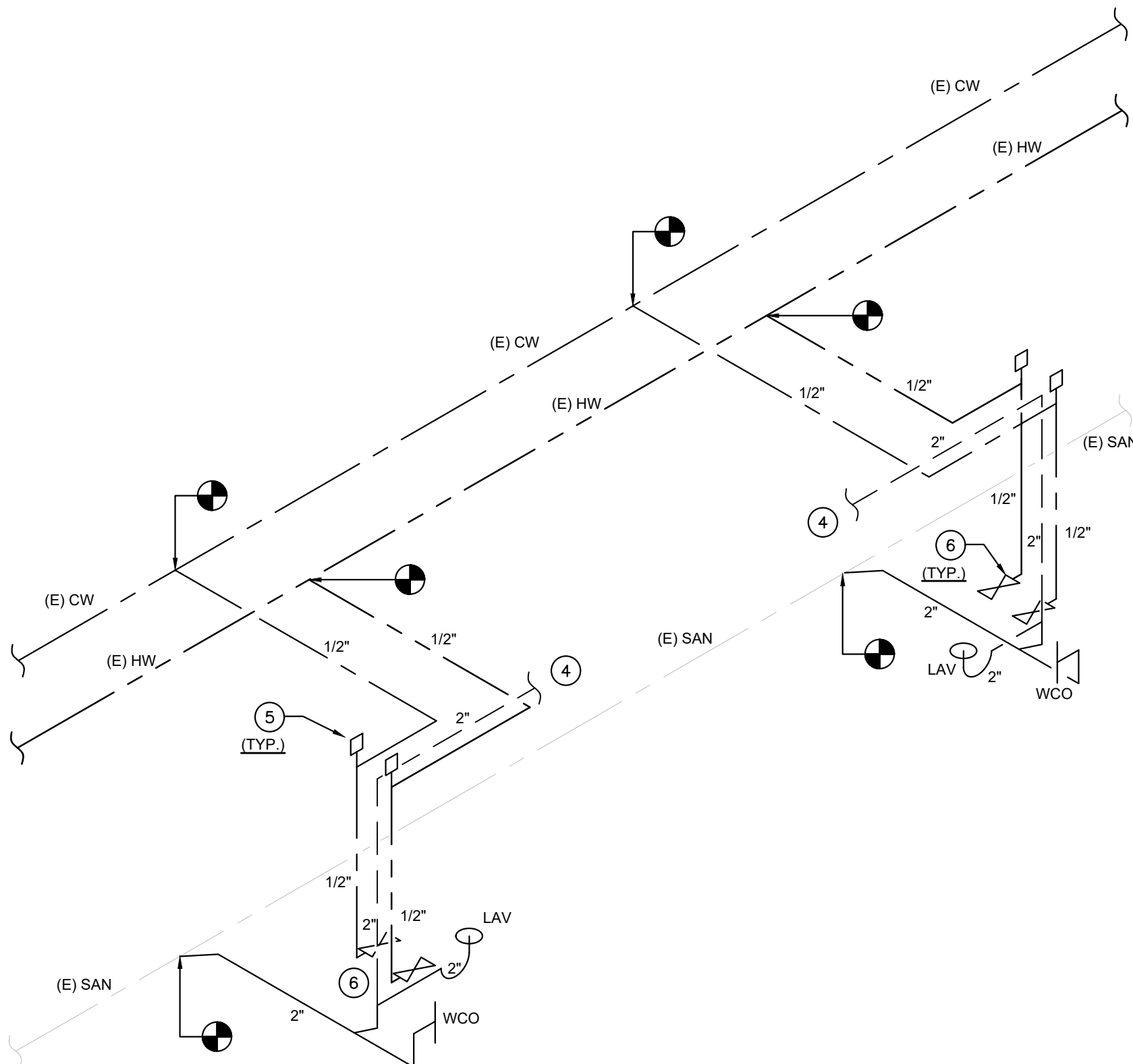
- IV. MATERIALS:
- DRAINAGE AND VENT PIPING:** SCHEDULE 40 PVC
 - WATER PIPING ABOVE SLAB:** TYPE "L" COPPER TUBING USING SILVER SOLDER.
 - WATER HAMMER ARRESTERS:** PROVIDE ON HOT AND COLD WATER BRANCHES TO FIXTURES, J. R. SMITH HYDROTROL MODEL 5020 FOR UP TO 60 FIXTURE UNITS. INSTALL IN ACCESSIBLE AREA OR PROVIDE ACCESS PANEL.
 - VALVES:** GATE VALVE WATTS SERIES GV: 1/4" TO 4" BRONZE BODY, CHECK VALVE WATTS SERIES CVY: 3/8" TO 2" BRONZE BODY, BALL VALVE WATTS SERIES B6080 OR B6081 FULL PORT: 1/2" TO 2" BRONZE BODY.
 - MIXING VALVE:** WATTS SERIES MMV MIXING VALVE, 1/2" LINE SIZE.

- V. INSULATION:
- ALL HOT AND COLD WATER PIPING AND FITTINGS SHALL BE INSULATED WITH 1" THICK RIGID ELASTOMERIC FOAM WITH VAPOR BARRIER UNIVERSAL JACKET PASTED WITH VAPOR BARRIER CEMENT FOR PIPE LESS THAN OR EQUAL TO 1-1/2"Ø, 2" THICK RIGID FIBERGLASS WITH VAPOR BARRIER UNIVERSAL JACKET PASTED WITH VAPOR BARRIER CEMENT FOR PIPE GREATER THAN 1-1/2"Ø PIPE. VAPOR BARRIER NOT REQUIRED ON HOT WATER PIPING.
 - ALL ADA CONFORMING, WHEELCHAIR ACCESSIBLE LAVATORY P-TRAP AND ANGLE VALVE ASSEMBLIES TO BE COVERED, WITH THE MOLDED, ANTIMICROBIAL TRUBRO, INC "LAV-GUARD" UNDERSINK PROTECTIVE PIPE COVER MODEL #103.

CONTRACTOR SHALL VERIFY REQUIREMENTS OF TENANT SUB METER WITH LANDLORD PRIOR TO BID. CONTRACTOR SHALL PROVIDE NEW TENANT SUBMETER ON TENANT MAIN INCOMING WATER MAIN. INSTALL UNIT ON WALL OUTSIDE TENANT SPACE IN ACCESS CORRIDOR.



Plumbing Plan
1/4" = 1'-0"



Riser Diagram
N.T.S.

Legend

SYMBOL	DESCRIPTION
---	COLD WATER LINE / CW
----	HOT WATER LINE / HW
-.-.-.-	TEMPERED WATER LINE / THW
----	SANITARY LINE / SAN.
-.-.-.-	VENT LINE / V.
[Symbol]	FLOOR DRAIN / FD
[Symbol]	DRAIN WITH TRAP
[Symbol]	WATER METER
[Symbol]	BALL VALVE / GATE VALVE
[Symbol]	TEMP. PRESSURE VALVE
[Symbol]	BACKFLOW PREVENTER
[Symbol]	MIXING VALVE
[Symbol]	TRAP PRIMER
[Symbol]	WATER HAMMER ARRESTOR

Key Notes

- EXISTING 4" SANITARY MAIN ROUTE BELOW SLAB. COORDINATE EXACT LOCATION AND ROUTING IN FIELD.
- EXISTING 2" DOMESTIC CW LINE STUBBED INTO TENANT SPACE BY LANDLORD. VERIFY EXACT SIZE IN FIELD. COORDINATE EXACT LOCATION AND ROUTING IN FIELD.
- EXISTING HWH TO REMAIN. VERIFY EXACT LOCATION IN FIELD. INSPECT, REPAIR, AND REFURBISH HWH AS REQUIRED FOR A COMPLETE AND OPERABLE PLUMBING SYSTEM.
- ROUTE NEW 2" VENT TO EXISTING SANITARY VENT MAIN FOR SPACE. VERIFY EXACT LOCATION AND ROUTING IN FIELD. VERIFY EXISTING SEWER VENT GOES THROUGH ROOF. VENT SHALL EXTEND 36" ABOVE ROOF.
- FURNISH AND INSTALL WATER HAMMER ARRESTORS IN THE DOMESTIC WATER PIPING AS SHOWN ON THE WATER RISER DIAGRAM. WATER HAMMER ARRESTORS TO BE LOCATED IN AN ACCESSIBLE LOCATION. UNITS AS MANUFACTURED BY SIOUX OR PRECISION PLUMBING PRODUCTS ARE ACCEPTABLE.
- ALL PLUMBING FIXTURES SHALL BE INSTALLED WITH STOP VALVES TO ISOLATE EACH FIXTURE. REFER TO RISER DIAGRAM AND PLUMBING SPECIFICATIONS FOR FURTHER INFORMATION.
- NEW FIXTURES TO BE INSTALLED ON EXISTING STUB-INS. MODIFY EXISTING CONNECTIONS AS REQUIRED TO COMPLY WITH ADA REQUIREMENTS AND PER ARCHITECTURAL DRAWINGS.
- PROVIDE NEW DOMESTIC WATER METER PER LANDLORD REQUIREMENTS. INSTALL ON WALL OUTSIDE TENANT SPACE IN ACCESS CORRIDOR. COORDINATE METER TYPE AND LOCATION WITH LANDLORD.
- HATCHED AREA INDICATES EXISTING TENANT CW MAIN TO BE REMOVED. RE-USE EXISTING TAKEOFF FROM LANDLORD CW MAIN AND PROVIDE NEW TAKE OFF, SAME SIZE AS EXISTING. PROVIDE NEW SHUTOFF VALVE AND ROUTE TO NEW TENANT CW SUBMETER. TIE BACK IN TO TENANTS CW MAIN IN SPACE.

Plumbing Fixture Schedule

- WC** WATER CLOSET - KOHLER HIGHLINE MODEL K-3658 ELONGATED BOWL 1.28 GPF, WHITE FINISH W/ MODEL K-4731 ELONGATED OPEN FRONT TOILET SEAT FOR ADA COMPLIANCE.
- LAV** LAVATORY - KOHLER SOHO WALL MOUNTED BATHROOM SINK MODEL K-2054-N, WHITE FINISH, 4" CENTER DRILLING. PROVIDE W/ KOHLER CORALAIS CENTERSET BATHROOM SINK FAUCET, MODEL K-15243-4RA 0.5 GPM, POLISHED CHROMER FINISH.
- SK** SINK - KOHLER VAULT COUNTER MOUNT SINK MODEL K-3840-1, STAINLESS STEEL FINISH. PROVIDE WITH DANZE PARMA D150558 STAINLESS STEEL SINGLE HANDLE BAR FAUCET.
- WCO** WALL CLEANOUT AND ACCESS COVER, JOSAM SERIES 58600-CO.
- WHA** WATER HAMMER ARRESTOR - SIOUX CHIEF 652 SERIES OR EQUAL BY PRECISION PLUMBING PRODUCTS, INC. EQUAL BY ZURN
- FD** FLOOR DRAIN - ZURN Z-453-P WITH "TYPE B" STRAINER

General Notes

- PLUMBING LAYOUTS ARE DIAGRAMMATIC AND INTEND TO SHOW A GENERAL ARRANGEMENT, SIZE AND CAPACITY. ALL OFFSETS ARE NOT NECESSARILY SHOWN. CONTRACTOR SHALL ARRANGE AND COORDINATE THE WORK, FURNISH NECESSARY OFFSETS AND FITTINGS TO AVOID CONFLICT WITH OTHER PLUMBING AND ELECTRICAL SERVICES, LIGHTING AND WITH STRUCTURAL AND ARCHITECTURAL ELEMENTS.
- WHILE ALL ATTEMPTS AT ACCURACY HAVE BEEN TAKEN, NO GUARANTEE OF AN EXACT REPRESENTATION OR COMPLETENESS IS IMPLIED. RESPONSIBILITY FOR FINAL VERIFICATION FALLS TO THE CONTRACTOR. ANY UNRESOLVED DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- GIVE BUILDING MANAGEMENT A NOTICE 48 HOURS BEFORE ANY SYSTEMS SHUT DOWN



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LEE'S SUMMIT, MISSOURI

Revisions

Radiant Waxing

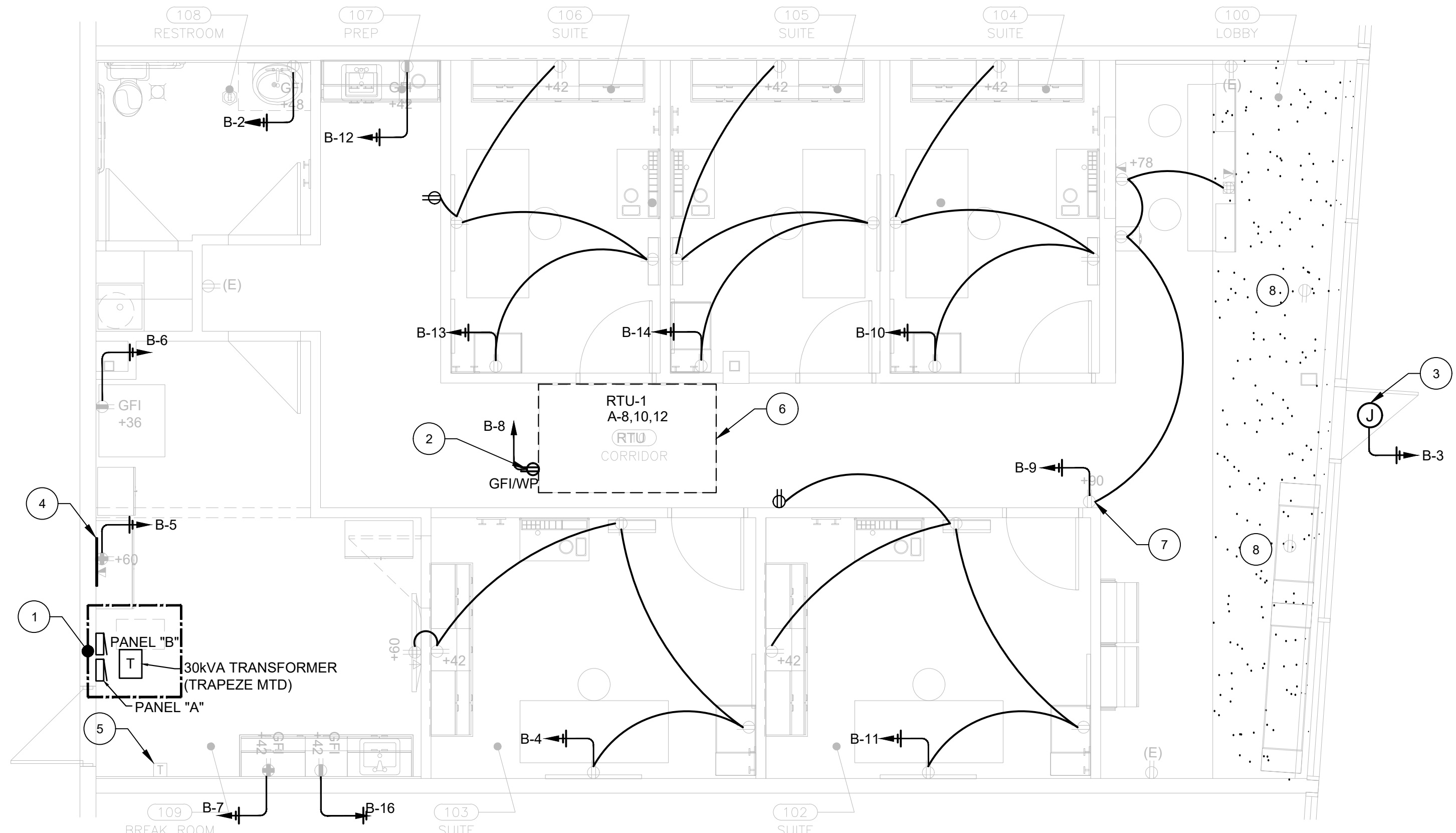
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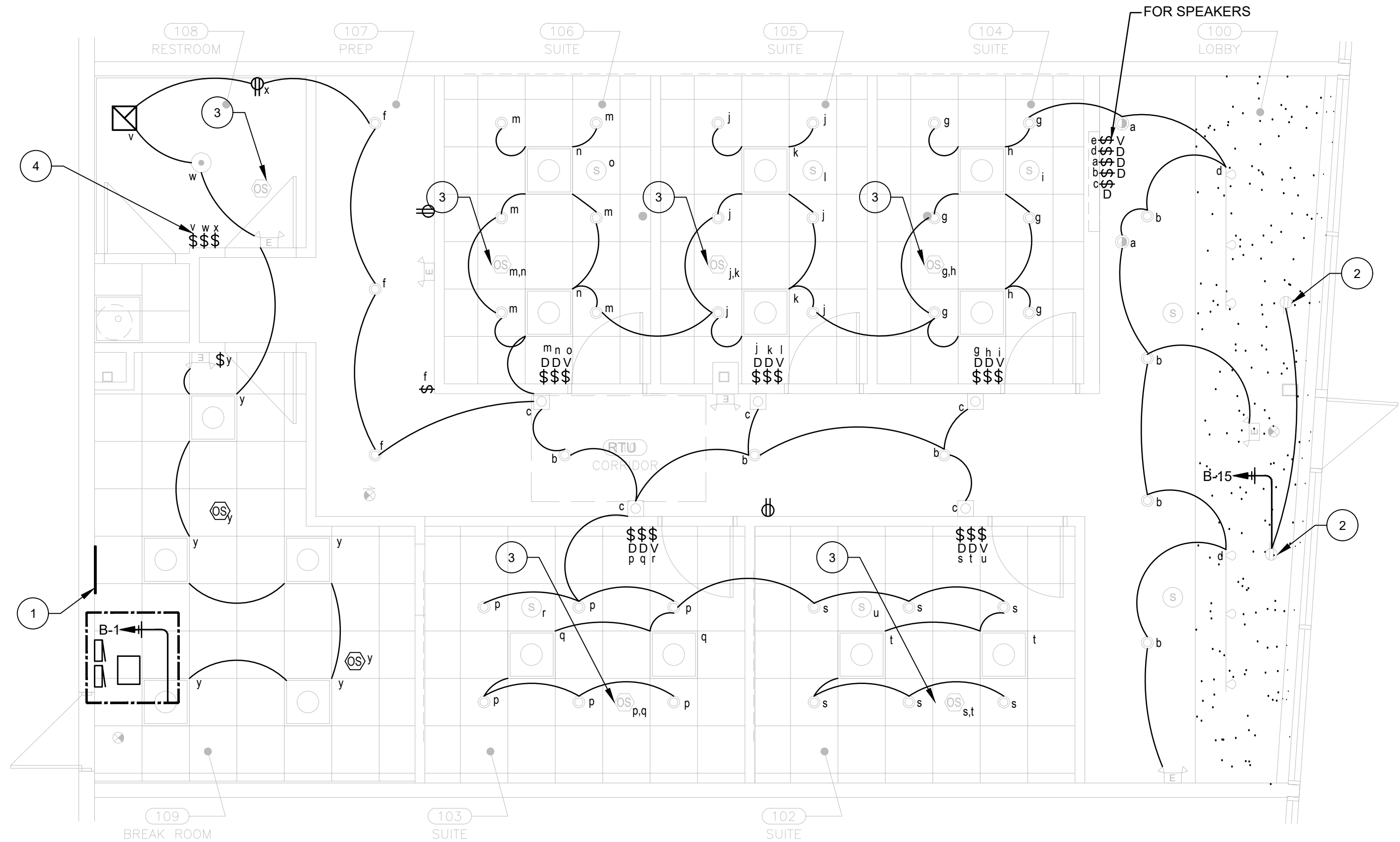
MO-042

P-1

Plumbing Plan & Riser



Power Plan
1/4" = 1'-0"



Lighting Plan
1/4" = 1'-0"

Electrical Legend			
	DUPLEX OUTLET - 18" AFF, U.N.O. ON PLAN		4-PLEX FLOOR OUTLET
	4-PLEX OUTLET - 18" AFF, U.N.O. ON PLAN		DATA / TELEPHONE OUTLET AND REQUIRED NUMBER OF PORTS
	DEDICATED DUPLEX		DEDICATED 4-PLEX
	GFI GROUND FAULT INTERRUPT OUTLET		TIME CLOCK

- ### Power Plan Keynotes
- LOCATION OF EXISTING ELECTRICAL PANELS "A" AND "B" AND STEP-DOWN TRAPEZE MOUNTED TRANSFORMER TO REMAIN.
 - EXISTING ROOF GFI/WATERPROOF OUTLET WITHIN 25' OF EXISTING ROOFTOP UNIT TO REMAIN.
 - J-BOX FOR TENANT SIGN, VERIFY LOCATION. PROVIDE POWER AS SHOWN. RUN CIRCUIT THROUGH PHOTOCELL TO PANEL. LOCATE TIMECLOCK ADJACENT TO TMB.
 - PROVIDE 24" x 48" x 3/4" PLYWOOD WITH #6CU GROUND FOR TELEPHONE MOUNTING BOARD. EXTEND NEW PHONE CONDUIT TO THIS LOCATION. PROVIDE DEDICATED QUAD - CONFIRM FINAL HEIGHT - LOCATE INSIDE OPEN BACK UTILITY CABINET.
 - PROVIDE PHOTOCELL FOR FUTURE TENANT SIGN - INSTALL AT 6'-0" AFF, IF ONE DOES NOT EXIST.
 - EXISTING MECHANICAL UNIT ON ROOF WITH EXISTING CIRCUITRY TO REMAIN.
 - AROMA DISPENSER.
 - CEILING MOUNTED DUPLEX FOR SIGN. REFER TO LIGHTING PLAN.
 - CEILING MOUNTED DUPLEX FOR SHOW WINDOW..

- ### Power Plan General Notes
- A. SEE ELECTRICAL SPECIFICATIONS FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.
- B. CONFIRM ALL FINAL RECEPTACLE LOCATIONS WITH OSR DESIGN DRAWINGS.

Wiring Schedule

GENERAL NOTES:
A. PROVIDE CODE SIZE GROUND CONDUCTOR IN ALL CONDUIT (THE GROUND CONDUCTOR IS NOT SHOWN IN WIRE COUNT).
B. AMPACITY SHOWN IS AMPACITY OF CONDUCTOR WITH CORRECTION FACTOR FOR 41-45°C, FOR CONDUCTOR RATED @ 75°C PER NEC TABLE 310.16.

CIRCUIT BREAKER AMPS	CONDUCTORS	AMPACITY	GROUND	CONDUIT SIZE
20	#12	20.5	#12	3/4"
30	#10	28.7	#10	3/4"
40	#8	41.0	#10	3/4"
50	#6	53.3	#10	1"
60	#4	69.7	#10	1"

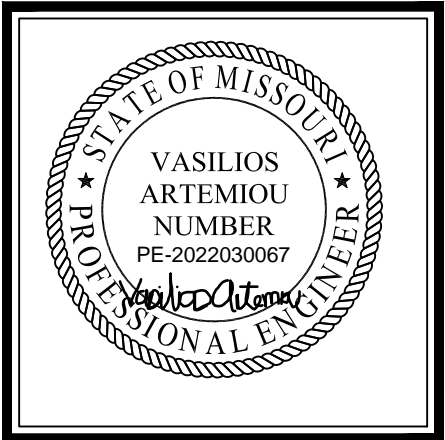
Ceiling Legend

	SUSPENDED ACOUSTICAL CEILING TILE - ACT-1. SEE DETAIL A7/D-1
	LED DOWNLIGHT
	LIGHT FIXTURE TYPE, REFER TO LIGHTING SCHEDULE FOR FIXTURE TYPE
	LED WALL WASH
	2x2 LED TROFFER
	WALL MOUNTED EMERGENCY LIGHT
	EXISTING
	EXIT/EMERGENCY LIGHT COMBO
	WALL SCONCE - TOP OF WALL SCONCE TO ALIGN WITH TOP OF DOOR FRAME
	RETURN AIR GRILLE
	SUPPLY AIR DIFFUSER
	CEILING MOUNTED OCCUPANCY SENSOR
	DIMMER SWITCH AT +44" AFF
	VOLUME CONTROL SWITCH AT +44" AFF
	5/8" GYPSUM BOARD CEILING
	EXHAUST FAN
	SPEAKER
	SURFACE MOUNTED FIXTURE

- ### Lighting Plan Key Notes
- GC SHALL SUPPLY AND INSTALL SPEAKERS AND WIRE FROM SPEAKERS TO THE DATA DROP IN THE CABINET. PROVIDE CONDUIT AS NEEDED. GC TO VERIFY EXACT LOCATION WITH OWNER.
 - PROVIDE CEILING MOUNTED RECEPTACLE FOR SHOW WINDOW USE.
 - PROVIDE CEILING MOUNTED OCCUPANCY SENSOR (LUTRON) OR WALL MOUNTED OCCUPANCY SENSOR (WITH DIMMER SWITCH WHERE APPLICABLE) - WATTSTOPPER DW-311 OR SIM, TYP.
 - TIE BACK LIT LED MIRROR AND EXHAUST FAN INTO WALL MOUNTED OCCUPANCY SENSOR.

- ### Lighting Plan General Notes
- A. SEE ELECTRICAL SPECIFICATIONS FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.
- B. VERIFY LIGHTING, AIR SUPPLY AND AIR RETURN LOCATION WITH CONTRACTOR PRIOR TO INSTALLATION.
- C. GC TO VERIFY EXACT LOCATION OF ALL ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION. GC TO COORDINATE ALL ITEMS WITH OSR DESIGN DRAWINGS

- ### Landlord Notes
- ALL ELECTRICAL TO/FROM ROOF MUST BE RUN THROUGH PROPER ROOF FLASHING OR MECHANICAL UNITS. NO PENETRATIONS IN SIDES OF CURBS.
 - ANY TELCO/DATA LINES MUCH BE IN CONDUIT TO DEMARC, NO FREE WIRE RUNS.
- **GC TO COORDINATE BUILD-OUT WITH OSR DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM**



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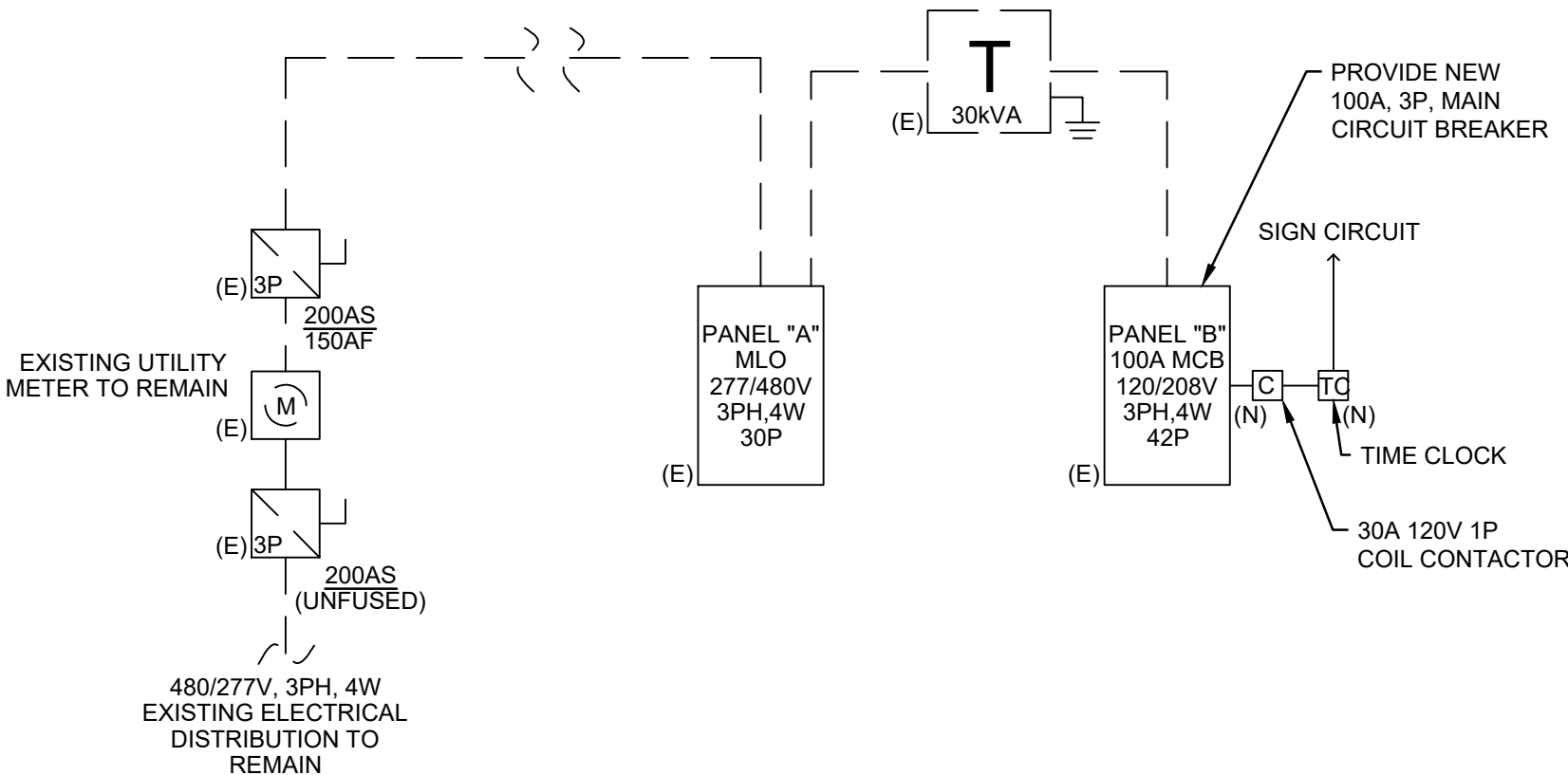
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Revisions

Radiant Waxing
880 NW Blue Parkway
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Lee's Summit, MO 64086
09/26/22
MO-042

E-1
Power/ Lighting Plan



Partial One-Line Diagram

Panel Schedule 'A' (Existing)

PANEL A	250 AMP	277/480V 3 PHASE 4W		MLO	NEMA 1	SURFACE MOUNTING		
LOCATION: SEE PLAN				BREAKER RATING: MLO AIC				
USE/AREA SERVED	CB	No.	LOAD (VOLT AMPS)		No.	CB	USE/AREA SERVED	
EXIST TRANSFORMER	45	1	A	B	C	20	1	SPARE
		2	5431			2	1	
		3	0	3420		20	1	SPARE
		4		720		4	1	
		5			3360	20	1	SPARE
SPARE	20	7				6	1	
		1	5540			8	25	EXISTING RTU
		9		0		10		
		1		5540				
		11		0		12	3	
SPARE	20	13	0			14	1	
		1		0		16	1	SPARE
		15	0	0		18	1	SPARE
		1		0		20	1	SPARE
		17		0		20	1	SPARE
SPARE	20	19	0			20	1	SPARE
		1		0		22	1	SPARE
		21		0		24	1	SPARE
		1		0		26	1	SPARE
		23		0		28	1	SPARE
SPARE	20	25	0			30	1	SPARE
		1		0				
		27		0				
		1		0				
		29		0				
TOTAL	1		10971	9680	8900			
		PANEL LOAD = 33,706 / 831 = 40.6 AMPS						

* INDICATES CONTINUOUS LOAD AT 125%
** INDICATES LARGEST MOTOR LOAD AT 125%
E INDICATES EXISTING CIRCUIT
L INDICATES LOCK ON DEVICE
T INDICATES CIRCUIT RUN THRU TIMECLOCK
R REUSE EXISTING CIRCUIT

Panel Schedule 'B' (Existing)

PANEL B	250 AMP	120/208V 3 PHASE 4W			MCB (NEW)	NEMA 1	SURFACE MOUNTING	
LOCATION: SEE PLAN				BREAKER RATING: 100A AIC				
USE/AREA SERVED	CB	No.	LOAD (VOLT AMPS)			No.	CB	USE/AREA SERVED
			A	B	C			
LIGHTING	20	1	1351			2	20	RESTROOM RECEPTACLES
	1	1	180			2	1	SUITE 103 RECEPTACLES
SIGN	20	3		180		4	20	BREAK ROOM FRIDGE RECEPTACLES
	1	1		1080		6	1	ROOFTOP RECEPTACLES
BREAK ROOM RECEPTACLES	20	5			360	20	20	SUITE 104 RECEPTACLES
BREAK ROOM RECEPTACLES	1	1			180	20	1	PREP AREA RECEPTACLES
BREAK ROOM RECEPTACLES	20	7	360			12	20	SUITE 105 RECEPTACLES
LOBBY RECEPTACLES	1	1	180			14	20	BREAK ROOM MICROWAVE RECEPTACLES
LOBBY RECEPTACLES	20	9		900		16	20	SPARE
SUITE 102 RECEPTACLES	1	1		720		18	20	SPARE
SUITE 102 RECEPTACLES	20	11			720	20	20	SPARE
SUITE 106 RECEPTACLES	1	1			360	20	20	SPARE
SUITE 106 RECEPTACLES	20	13	720			22	20	SPARE
LOBBY CEILING RECEPTACLES	1	1		720		24	20	SPARE
SPARE	20	15		360		26	20	SPARE
SPARE	1	1		180		28	20	SPARE
SPARE	20	17			0	30	20	SPARE
SPARE	1	1			0	32	20	SPARE
SPARE	20	19	0			34	20	SPARE
SPARE	1	1		0		36	20	SPARE
SPARE	20	21		0		38	20	SPARE
SPARE	1	1		0		40	20	SPARE
EXISTING WATER HEATER PROVIDE 2#18-1#10G-3/4"C (MIN)	40	23			3328	42	20	SPARE
SPARE	20	25	3328		0	44	20	SPARE
SPARE	1	2	0			46	20	SPARE
SPARE	20	27		0		48	20	SPARE
SPARE	1	1		0		50	20	SPARE
SPARE	20	29			0	52	20	SPARE
SPARE	1	1			0	54	20	SPARE
SPARE	20	31	0			56	20	SPARE
SPARE	1	1				58	20	SPARE
SPARE	20	33		0		60	20	SPARE
SPARE	1	1		0		62	20	SPARE
SPARE	20	35			0	64	20	SPARE
SPARE	1	1				66	20	SPARE
SPARE	20	37	0			68	20	SPARE
SPARE	1	1		0		70	20	SPARE
SPARE	20	39		0		72	20	SPARE
SPARE	1	1			0	74	20	SPARE
SPARE	20	41			0	76	20	SPARE
SPARE	1	1				78	20	SPARE
TOTAL			6839	3420	4768			
PANEL LOAD = 15,027 / 360 = 41.7 AMPS								

* INDICATES CONTINUOUS LOAD AT 125%
** INDICATES LARGEST MOTOR LOAD AT 125%
E INDICATES EXISTING CIRCUIT
L INDICATES LOCK ON DEVICE
T INDICATES CIRCUIT RUN THRU TIMECLOCK
R REUSE EXISTING CIRCUIT

Electrical Specifications

- 1.1 WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE RULES, REGULATIONS AND ORDINANCES.
- 2.1 PROVIDE PROPER GROUNDING FOR ALL EQUIPMENT, RACEWAYS, ETC.
- 3.1 ALL DISCONNECTS, FIXTURES AND OTHER ELECTRICAL COMPONENTS SUBJECT TO THE WEATHER MUST HAVE WEATHERPROOF ENCLOSURES.
- 4.1 ALL ROUGH-IN LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER LOCATION.
- 5.1 PROVIDE DISCONNECTS, FUSES, OVER CURRENT PROTECTION, CONTROL AND POWER WIRING, CHORDS AND PLUGS TO ALL EQUIPMENT INCLUDED AS PART OF THIS PROJECT. IF REQUIRED FOR PROPER OPERATION BUT NOT PROVIDED BY THE EQUIPMENT MANUFACTURER, EQUIPMENT SHALL INCLUDE ALL HVAC, EXHAUST FANS, HOODS, KITCHEN EQUIPMENT, MEDICAL EQUIPMENT AND ANY SPECIAL EQUIPMENT SHOWN AS A PART OF THE PROJECT.
- 6.1 CONDUCTORS:
 - a. USE THW OR THWN #12 MINIMUM, 75° RATING.
 - b. FOR HOME RUNS OVER 65 FEET, USE ONE SIZE LARGER WIRE.
 - c. FOR HOME RUNS OVER 115 FEET, USE TWO SIZES LARGER WIRE.
 - d. ALUMINUM CONDUCTORS ARE NOT ALLOWED.
- 7.1 CONDUIT:
 - a. USE RIGID OR EMT AS ALLOWED BY CODE.
 - b. ALL CONDUITS EXPOSED TO THE ELEMENTS OR BURIED UNDERGROUND SHALL BE WRAPPED WITH SCOTCH 51 TAPE OR EQUAL.
 - c. MC TYPE PREWIRED FLEXIBLE CABLE SHALL BE PERMITTED IN ALL WALLS AND CEILINGS AS PERMITTED BY CODE AND LOCAL BUILDING OFFICIALS.
- 8.1 OVER CURRENT PROTECTION:
 - a. CIRCUIT BREAKERS THAT ARE TO BE USED TO PROTECT LIGHTING CIRCUITS ARE TO BE RATED FOR SWITCHING DUTY.
 - b. PROVIDE LOCK-ON DEVICES FOR NIGHT LIGHT, EMERGENCY AND EXIT LIGHT CIRCUITS.
 - c. ALL RECEPTACLES AND FIXED EQUIPMENT WITHIN AREA OF WET LOCATION NEED GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC 517.20

Lighting Schedule

	TYPES	MANUFACTURER & MODEL #	LAMPS	VOLTAGE	MOUNTING	DESCRIPTION	NOTES
☉	A	NORA LIGHTING - COBALT SERIES 4" LED CAN NHIC-4LMRAT / NLCBC-451D	(1) 11W LED	120V	LAY-IN	(1) LAMP	3000K
☉	B	NORA LIGHTING - COBALT SERIES 6" DIRECTIONAL LED CAN NHIC-6LMRAT	(1) 11W LED	120V	LAY-IN	(1) LAMP	80/3000K
☐	C	NICOR LIGHTING 2X2 LED TROFFER T6C	30W LED	120V	LAY-IN	2X2 LED	3500K
☉	D	ROYAL PACIFIC LTD 6" LED LOW PROFILE 8556-WH-90-4K	15W	120V	SURFACE MOUNTED	RESTROOM CEILING LIGHT	82/3000K
☐	E	DWELED - HOLLYWOOD WS-26014-BN	(1) 8W LED	120V	SCONCE	SUITE ENTRY SCONCE	-
☐	-	LITHONIA EU2 LED M12 WHITE	-	MVOLT	WALL MOUNT	WALL MOUNTED EMERGENCY LIGHT FIXTURE W/ EMERGENCY BATT. PACK (90 MIN.)	-
☉	-	FULHAM FIREHORSE OR EQ FHEX24-A-D-G-EM-SD ALUMINUM/GREEN	120	120V	-	DOUBLE FACE LED EXIT SIGN - BRUSHED NICKLE, ALUMINUM OR STAINLESS W/ GREEN TEXT, EM. BATT., SELF DIAGNOSTICS	-



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LEE'S SUMMIT, MISSOURI

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E-2

One Line/ Schedules