

IN THE EVENT OF QUESTIONS REGARDING THE CONTRACT DOCUMENTS, SPECIFICATIONS, EXISTING CONDITIONS OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL AND PROCEEDING WITH ANY WORK IN QUESTION.

THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHOULD BE USED. COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF ANY SUCH CONDITIONS ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL BE PERFORMED UNTIL THE CONDITIONS ARE CORRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD ITEMS TO THE OWNER.

ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED, IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE ARCHITECT, NO LATER THAN TEN (10) BUSINESS DAYS, PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, FUNCTIONALITY, APPEARANCE OR WARRANTY. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR ALL DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTY INFORMATION THAT IS PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.

GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CONSTRUCTION CLEANING AT PROJECT CLOSE OUT, PRIOR TO PUNCH LIST WALK THROUGH.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW.

## SCOPE NOTES

REVIEWED SHOP DRAWINGS AND SUBMITTALS BY OTHERS SHALL NOT BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED BY OTHERS.

THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS, SUBMITTALS AND SAMPLES FOR CONFORMITY WITH THE CONTRACT DOCUMENTS AND RETURN THEM TO THE CONTRACTOR WITHIN SEVEN (7) WORKING DAYS EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY THE OWNER.

THE CONTRACTOR SHALL NOT REPRODUCE AND MARK UP ANY PART OF THE CONTRACT DOCUMENTS FOR SUBMITTAL AS A SHOP DRAWING. ANY SUCH SUBMITTAL WILL BE REJECTED.

ANY SUBMITTAL REQUIRED TO BE REVIEWED MORE THAN THE INITIAL REVIEW AND ONE (1) ADDITIONAL REVIEW, WILL BE CONSIDERED TO BE IN EXCESS OF THE SCOPE OF THE PROJECT. THE TIME REQUIRED FOR THIRD AND SUBSEQUENT REVIEWS OF A SUBMITTAL WILL BE PAID FOR BY THE CONTRACTOR TO THE ARCHITECT AT THE ARCHITECT'S STANDARD BILLING RATES, PLUS REIMBURSABLE EXPENSES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY EXISTING CONDITIONS AND ALL CRITICAL DIMENSIONS ASSOCIATED WITH THE PROPOSED WORK. THE CONTRACTOR SHALL CONFIRM THAT ALL WORK OUTLINED WITHIN THE CONTRACT DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO BID OPENING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS ENCOUNTERED WHICH MAY AFFECT BUILDING CODE COMPLIANCE, LIFE SAFETY, ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR COMPLETION OF THE PROJECT AS DIRECTED IN THE CONTRACT DOCUMENTS.

NO ADDITIONAL FUNDS WILL BE APPROVED FOR WORK OMITTED FROM THE CONTRACTOR'S BID DUE TO LACK OF VERIFICATION BY THE CONTRACTOR, EXCEPT AS OTHERWISE APPROVED BY THE OWNER FOR WORK ASSOCIATED WITH HIDDEN CONDITIONS WHICH ARE NOT ACCESSIBLE PRIOR TO CONSTRUCTION.

REFER TO PROJECT MANUAL (WHEN APPLICABLE) FOR ADDITIONAL REQUIREMENTS AND DIRECTIONS. ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER EIGHT (8) OF THE 2012 INTERNATIONAL BUILDING CODE WITH INDIANA AMENDMENTS.

LIGHT GAGE METAL STUDS, STUDS, THEIR COMPONENTS AND THEIR CONNECTIONS SHALL BE ENGINEERED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. THE ENGINEER SHALL AFFIX THEIR SEAL AND SIGNATURE TO SHOP DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW.

STEEL REQUIRED TO TRANSMIT GRAVITY AND/OR LATERAL LOADS TO THE STRUCTURE NOT DETAILED ON THE STRUCTURAL DRAWINGS IS THE RESPONSIBILITY OF THE METAL STUD SUPPLIER TO DESIGN, DETAIL, PROVIDE AND INSTALL.

METAL STUDS SHALL BE DESIGNED TO SUPPORT THE LOADS SHOWN IN THE DESIGN DATA IN ADDITION TO THE WEIGHT OF THE MATERIALS ATTACHED TO THE METAL STUDS. METAL STUDS SHALL BE DESIGNED USING THE LOAD COMBINATIONS IN SECTION 1605.3.1 OF THE INTERNATIONAL BUILDING CODE, 2012 EDITION. NO INCREASE IN ALLOWABLE STRESS IS ALLOWED.

DEFLECTION DUE TO LATERAL LOAD SHALL BE LIMITED TO  $\frac{1}{160}$  OF THE STUD SPAN. FOR CANTILEVERS, THE DEFLECTION DUE TO LATERAL LOAD AT THE END OF THE CANTILEVER SHALL BE LIMITED TO  $\frac{1}{160}$  OF THE CANTILEVER DIMENSION.

METAL STUD MANUFACTURER SHALL DETERMINE FINAL LAYOUT AND GAUGE OF STUDS TO MEET THE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

WHERE ROUGH CARPENTRY IS IN CONTACT WITH THE GROUND, EXPOSED TO WEATHER OR IN AREAS OF HIGH RELATIVE HUMIDITY PROVIDE FASTENERS AND ANCHORAGES WITH A HOT DIP ZINC COATING OF G90 COMPLYING WITH ASTM A153 OR PROVIDE FASTENERS AND ANCHORAGES OF TYPE 304 STAINLESS STEEL.

ALL WOOD SHEATHING TO BE FIRE TREATED UNLESS NOTED OTHERWISE.

ACT  
ADDL  
AFF  
ALUM  
ANOD  
APP  
ARCH  
AWT  
BLDG  
BLKG  
B.O.  
BOT  
BRG  
CAB  
CJ  
CL  
CLR  
CMU  
CONST  
COL  
CONC  
CONC  
CPT  
CT  
CW  
DET, DTL  
DF  
DIA  
DIM  
DWG(S)  
EA  
EC  
EIFS  
EJ  
EL  
ENG  
EQ  
EQUIP  
EXIST  
EXP  
EXT  
FD  
FE  
FEC  
FIN

ACOUSTICAL CEILING TILE  
ADDITIONAL  
ABOVE FINISHED FLOOR  
ALUMINUM  
ANODIZED  
APPROXIMATE  
ARCHITECT  
GYPSUM BOARD  
HARDWARE  
HEIGHT  
HOLLOW METAL  
HORIZONTAL  
HIGH POINT  
HEATING, VENTILATING, AIR CONDITIONING  
HOT WATER  
INSULATION  
JANITOR  
JOIST  
JOINT  
KNOCKDOWN  
KITCHEN  
LAMINATE  
LAVATORY  
LONG LEG HORIZONTAL  
LONG LEG VERTICAL  
MASONRY  
MATERIAL  
MAXIMUM  
MARKER BOARD  
MECHANICAL  
MEZZANINE  
MANUFACTURER  
MINIMUM  
MASONRY OPENING  
METAL  
NOT IN CONTRACT  
NOT RATED  
ON CENTER  
OUTSIDE DIAMETER  
OVERFLOW DRAIN  
OPPOSITE HAND  
OPENING  
OPPOSITE  
OUT TO OUT  
PLASTIC LAMINATE  
PLYWOOD

FLR  
FR  
FT  
GA  
GB  
GC  
GYP BD  
HDWR  
HGT  
HM  
HORIZ  
HP  
HVAC  
HW  
INSUL  
JAN  
JST  
JT  
KD  
KIT  
LAM  
LAV  
LLH  
LLV  
MAS  
MAT  
MAX  
MB  
MECH  
MEZZ  
MFR  
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MTL  
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OH  
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OTO  
PLAS LAM  
PLWD

PS  
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R  
RA  
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REQD  
RO  
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SCHD  
SCMD  
SCWD  
SEC  
SF  
SIM  
SPECS  
SQ  
SS  
STD  
STL  
STOR  
STRUCT  
SUSP  
TB  
TEL  
TLT  
T.O.  
TRTD  
TV  
TYP  
UNO  
UR  
YCT  
VERT  
VIF  
VT  
W/  
W/O  
WB  
WC  
WD  
WH  
WP

PROJECTION SCREEN  
QUARRY TILE  
RISER  
RETURN AIR  
RESILIENT BASE  
ROOF DRAIN  
REFERENCE  
REFRIGERATOR  
REQUIRED  
ROUGH OPENING  
SUPPLY AIR  
SCHEDULE  
SOLID CORE METAL DOOR  
SOLID CORE WOOD DOOR  
SECTION  
SQUARE FOOT  
SIMILAR  
SPECIFICATIONS  
SQUARE  
STAINLESS STEEL  
STANDARD  
STEEL  
STORAGE  
STRUCTURAL  
SUSPENDED  
TACK BOARD  
TELEPHONE  
TOILET  
TOP OF  
TREATED  
TELEVISION  
TYPICAL  
UNLESS NOTED OTHERWISE  
URINAL  
VINYL COMPOSITION TILE  
VERTICAL  
VERIFY IN FIELD  
VINYL TILE  
WITH  
WITHOUT  
WOOD BASE  
WATER CLOSET  
WOOD  
WATER HEATER  
WORKING POINT

KEYED NOTE  
WINDOW OR GLAZED OPENING TAG  
IF WINDOW - WH  
IF STOREFRONT - SF#  
IF CURTAINWALL - CW#  
ACCESSORY TAG  
EQUIPMENT TAG  
FINISH TAG  
ROOM TAG  
ELEVATION TAG - INTERIOR OR EXTERIOR  
SECTION CUT AT AREAS SHOWN SMALL SCALE  
ENLARGED PLAN  
ELEVATION TARGET. FINISHED FLOOR = 0'-0" UNO  
REVISION  
PLAN OR TRUE NORTH  
BATT INSULATION - WIDTH OF FRAMING UNO  
FIRE EXTINGUISHER IN SEMI-RECESSED CABINET PROVIDED / INSTALLED BY GC  
SURFACE MOUNTED FIRE EXTINGUISHER PROVIDED / INSTALLED BY GC  
DOOR WITH DOOR NUMBER  
WINDOW OR GLAZED OPENING  
STUD FRAMED WALL - REFER TO INDEX SHEET FOR INFORMATION  
CMU WALL - REFER TO SECTIONS AND DETAILS  
BRICK WALL - REFER TO SECTIONS AND DETAILS  
CONCRETE WALL - REFER TO SECTIONS AND DETAILS  
EIFS OVER SUBSTRATE - REFER TO SECTIONS FOR WIDTH AND PROFILE  
EXISTING DOOR - REFER TO DOOR SCHEDULE  
EXISTING FRAMED WALL  
EXISTING WINDOW WITH SILL AND / OR STOOL  
DEMO'D DOOR  
DEMO'D WALL  
WALL TYPE  
WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET

## CODE ANALYSIS

### APPLICABLE CODES

BUILDING CODE  
2018 INTERNATIONAL BUILDING CODE  
PLUMBING CODE  
2017 INTERNATIONAL PLUMBING CODE  
ELECTRICAL CODE  
2017 NATIONAL ELECTRICAL CODE  
FIRE CODE  
2018 INTERNATIONAL FIRE CODE  
MECHANICAL CODE  
2014 INTERNATIONAL MECHANICAL CODE  
FUEL GAS CODE  
2018 FUEL GAS CODE  
HANDICAPPED ACCESSIBILITY CODE  
2009 ANSI A117.1  
ADA ACCESSIBILITY GUIDELINES

### OCCUPANCY (OVERALL BUILDING)

CLASSIFICATION (302.1):

### OCCUPANCY (TENANT SPACE)

CLASSIFICATION (302.1):  
ACCESSORY USES (508.2.1):  
NON-SEPARATED USES (508.3.2):  
SEPARATED USES (508.3.3):

### AUTOMATIC SPRINKLER SYSTEM

SPRINKLER SYSTEM REQUIRED (903):  
SPRINKLER SYSTEM PROVIDED:

### ALLOWABLE BUILDING HEIGHT

TABULAR HEIGHT (503):

### ALLOWABLE BUILDING AREA

TABULAR AREA (503):

### BUILDING AREA INCREASE

INCREASE FOR SPRINKLERED BUILDING (506.3):  
UNLIMITED AREA (507):  
FRONTAGE INCREASE (506.2):  
If = (FIP - 25) x W / 30  
TOTAL ALLOWABLE AREA WITH INCREASES:  
A<sub>3</sub> = A<sub>c</sub> + (A<sub>c</sub> x If) + (A<sub>c</sub> x Is)  
A<sub>3</sub> = FILL IN

### ACTUAL BUILDING HEIGHT AND AREA

BUILDING AREA: 253,289 SF  
BUILDING HEIGHT (FEET / # FLOORS): 42' / 1 FLR

### TABULAR OCCUPANT LOAD (1004.1.2)

OCCUPANT LOAD FACTOR: 1 / 500  
SQUARE FOOTAGE / OCCUPANT LOAD FACTOR: 253289 / 500  
TOTAL OCCUPANTS: 507

### ACTUAL OCCUPANT LOAD (1004.1.2)

0 (SHELL)

### FIRE RESISTIVE REQUIREMENTS (601 AND 602)

CONSTRUCTION TYPE: II-B  
STRUCTURAL FRAME: NR  
EXTERIOR BEARING WALLS: NR  
INTERIOR BEARING WALLS: NR  
EXTERIOR NON-BEARING WALLS: NR  
INTERIOR NON-BEARING WALLS: NR  
FLOOR CONSTRUCTION: NR  
ROOF CONSTRUCTION: NR  
SHAFTS: N/A

### FIRE RESISTANCE RATED CONSTRUCTION (704, 601, 602)

RATED EXTERIOR WALLS: N/A  
FIRE SEPARATION DISTANCE: 60+  
UNPROTECTED OPENING AREA: N/A

### INTERIOR WALL AND CEILING FINISH REQUIREMENTS (803)

SEE FINISH SCHEDULE FOR MATERIALS  
ALL MATERIALS ARE CLASS A RATED

### FIRE PROTECTION SYSTEMS

STANDPIPE SYSTEM (905): YES  
PORTABLE FIRE EXTINGUISHERS (906.1): SEE PLAN  
FIRE ALARM AND DETECTION SYSTEMS (907): YES  
SMOKE CONTROL SYSTEMS (909): N/A  
SMOKE AND HEAT VENTS (910): N/A

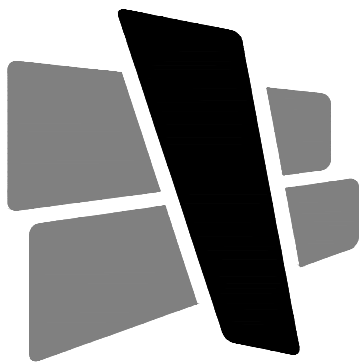
### EGRESS

MINIMUM WIDTH FACTOR (1005.1): 0.20'  
REQUIRED MINIMUM WIDTH FROM SPACE (1005.1): 101.4'  
MINIMUM NUMBER OF EXITS (1015): 3  
ACTUAL NUMBER OF EXITS: 20  
ACTUAL WIDTH OF EXITS: 864'  
ALLOWABLE TRAVEL DISTANCE (1016.2): 400'  
CORRIDOR CONSTRUCTION (1018.1): N/R  
MINIMUM CORRIDOR WIDTH (1018.2): 44'  
MAXIMUM DEAD END CORRIDOR (1018.4): 50'

## SYMBOLS

(NOT ALL MAY APPLY)

KEYED NOTE  
WINDOW OR GLAZED OPENING TAG  
IF WINDOW - WH  
IF STOREFRONT - SF#  
IF CURTAINWALL - CW#  
ACCESSORY TAG  
EQUIPMENT TAG  
FINISH TAG  
ROOM TAG  
ELEVATION TAG - INTERIOR OR EXTERIOR  
SECTION CUT AT AREAS SHOWN SMALL SCALE  
ENLARGED PLAN  
ELEVATION TARGET. FINISHED FLOOR = 0'-0" UNO  
REVISION  
PLAN OR TRUE NORTH  
BATT INSULATION - WIDTH OF FRAMING UNO  
FIRE EXTINGUISHER IN SEMI-RECESSED CABINET PROVIDED / INSTALLED BY GC  
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EIFS OVER SUBSTRATE - REFER TO SECTIONS FOR WIDTH AND PROFILE  
EXISTING DOOR - REFER TO DOOR SCHEDULE  
EXISTING FRAMED WALL  
EXISTING WINDOW WITH SILL AND / OR STOOL  
DEMO'D DOOR  
DEMO'D WALL  
WALL TYPE  
WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET



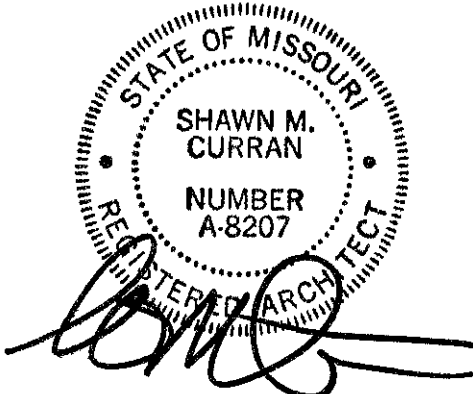
**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681  
F :: 317 . 288 . 0753



**SCANNELL**  
PROPERTIES

## CERTIFICATION



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## PROJECT INFORMATION

LEE'S SUMMIT LOGISTICS  
BUILDING C LOT 3

X CORNER OF  
NE TUDOR RD & MAIN ST  
LEE'S SUMMIT, MO 64086

## ISSUE DATES

PERMIT SET 09/16/22  
PERMIT COMMENTS 11/01/22

220019

SCOPE NOTES &  
WALL TYPES

**A001**

## WALL TYPES

NOT TO SCALE

### WALL TYPE GENERAL NOTES

- NOTE: WALL HEIGHT AS MARKED ON PLANS IN CONJUNCTION WITH WALL TYPE SYMBOL WILL SUPERCEDE WALL HEIGHTS AS SHOWN ABOVE. SEE SYMBOLS LEGEND THIS SHEET.
- PROVIDE DEEP LEG DEFLECTION TRACK AT TOP OF ALL METAL STUD WALLS WHERE STUDS EXTEND TO UNDERSIDE OF ROOF DECK OR STRUCTURE ABOVE.
- USE MOLD AND MILDEW RESISTANT GYPSUM WALLBOARD ON ALL PLUMBING WALLS. USE 5/8" CEMENT BOARD INSTEAD OF GYP BOARD BEHIND ALL TILE FINISHES.
- BRACE METAL STUD WALLS TO TOP OF STRUCTURAL STEEL ELEMENTS ABOVE CEILING PLANE. COORDINATE REQUIRED BRACE SPACING WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- REFER TO ROOM FINISH SCHEDULE FOR ALL FINISH SELECTIONS; CEILING TYPES AND HEIGHTS; AND TYPES, SIZES AND LOCATIONS ETC.
- ALL STUD WALLS CREATING A CONCEALED WALL SPACE TO HAVE FIREBLOCKING AT INTERVALS NOT EXCEEDING 10'-0" PER 718.2.2 IBC 2012