

MAIN STREET BUILDING IMPROVEMENTS

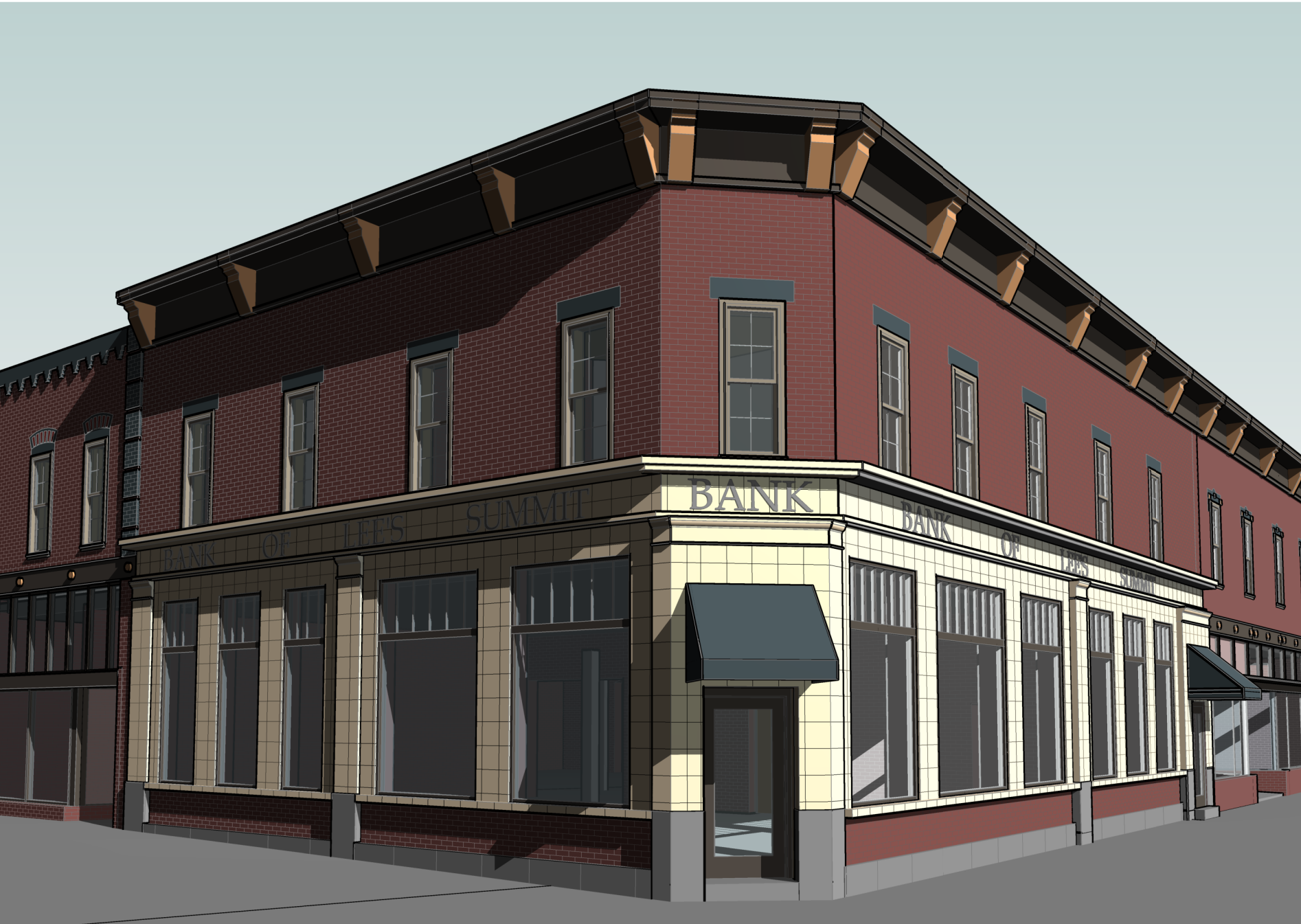
230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

PERMIT DOCUMENTS

21 APRIL, 2022

COLLINS WEBB #: 21121

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ARCHITECTURAL DIMENSIONING CONVENTIONS

WALL SECTION

WALL SECTION NUMBER
A101
DIRECTION OF VIEW
SHEET WHERE DRAWN

LEVEL LINE

NAME OF LEVEL
SECOND LEVEL -10'-0"
INDICATES HEIGHT ABOVE PROJECT DATUM

ROOM NAME AND NUMBER

Room Name
101

REVISION EXTENT

REVISION TAG MARK
EXTENT OF CURRENT REVISION

KEYED NOTE MARK

SEE CORRESPONDING NUMBERED LEGEND ON SHEET WHERE REFERENCE OCCURS

MATCH LINE REFERENCE

DRAWING INDICATION
A104
A103
A101
A102

DRAWING TITLE SYMBOLS

DRAWING TITLE
View Name
SCALE: 1/8" = 1'-0"
DRAWING SCALE
DRAWING NUMBER

LAYOUT GRID LINES

NEW GRID IDENTIFICATION
EXISTING GRID IDENTIFICATION
1

PARTITION TYPE IDENTIFICATION MARK

ELEVATION NUMBER AND DIRECTION OF VIEW
A102
SHEET WHERE DRAWN

EQUIPMENT/ACCESSORY IDENTIFICATION MARK

B3A
SEE PARTITION SYMBOL DESCRIPTION ON PARTITION TYPE SHEET

DOOR IDENTIFICATION MARK

101
SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

WINDOW AND LOUVER TYPE MARK

SEE CORRESPONDING NUMBER ON SCHEDULE

REVISION

REVISION
1
SEE CORRESPONDING NUMBERED LEGEND ON SHEET WHERE REFERENCE OCCURS

SECTION DETAIL REFERENCE

ELEVATION NUMBER AND DIRECTION
A101
SHEET WHERE DRAWN

INTERIOR ELEVATION REFERENCE

ELEVATION NUMBER AND DIRECTION OF VIEW
A102
SHEET WHERE DRAWN

DETAIL REFERENCE

DETAIL NUMBER
A101
SHEET WHERE DRAWN, HYPHEN INDICATES DETAIL ON SAME SHEET

WALL SECTION NUMBER

WALL SECTION NUMBER
A101
SHEET WHERE DRAWN

SECTION DETAIL REFERENCE

ELEVATION NUMBER AND DIRECTION
A101
SHEET WHERE DRAWN

INTERIOR ELEVATION REFERENCE

ELEVATION NUMBER AND DIRECTION OF VIEW
A102
SHEET WHERE DRAWN

DETAIL REFERENCE

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A102
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DETAIL NUMBER
A101
SHEET WHERE DRAWN, HYPHEN INDICATES DETAIL ON SAME SHEET

WALL SECTION

EXCEPT WHERE DIRECTED TO PLACE ITEMS OF THE WORK AT THE "APPROXIMATE LOCATION SHOWN," DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION.

2. ALL ELEMENTS OF THE DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. ALL DIMENSIONS REQUIRED ARE SHOWN OR MAY BE DERIVED FROM THICKNESS SHOWN OR NOTED ON THE FLOOR PLANS, DETAIL PLANS, ELEVATIONS, SECTIONS, SCHEDULES, CONSTRUCTION DETAILS, AND SPECIFICATIONS. SEE THE NOTES BELOW FOR DIMENSIONING CONVENTIONS USED ON THIS PROJECT.

3. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:

- A. DIMENSIONS UTILIZING THE "CENTERLINE" SYMBOL, ARE MEASURED TO:
 - STRUCTURAL OR DIMENSIONAL GRID LINES.
 - CENTERLINE OF CONCRETE OR CONC. MASONRY UNIT WALLS (EXCLUSIVE OF FURRING OR APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO EACH WALL) AT PARTITIONS FRAMED WITH METAL STUDS. REFER TO "PARTITION SCHEDULE" TO DETERMINE THE THICKNESS OF EACH PARTITION.
 - CENTERLINE OF DOOR, WINDOW, OR LOUVER OPENING.
 - CENTERLINE OF EQUIPMENT OR
 - CENTERLINE OF OTHER FEATURES AS INDICATED.
- B. REFER TO ABBREVIATIONS LEGEND FOR SYMBOL, USED TO INDICATE CENTERLINE DIMENSION.
- C. DIMENSIONS UTILIZING THE "FACE OF" SYMBOL, ARE MEASURED TO:
 - FACE OF CONCRETE OR CONC. MASONRY UNIT WALL (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS OF FURRING WHICH MAY BE ADDED TO THE FACE OF SUCH WALLS).
 - FACE OF PARTITION ASSEMBLY (EXCLUSIVE OF ANY APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO EACH WALL) AS DETERMINED BY THE PARTITION SCHEDULE.

UNLESS NOTED AS A "FACE OF FINISH" OR "CLEAR" DIMENSION (SEE NOTE "E" BELOW), DIMENSIONS ARE NOT MEASURED TO THE FACE OF APPLIED FINISH. REFER TO THE "PARTITION SCHEDULE" TO DETERMINE THE THICKNESS OF EACH PARTITION TYPE.

- INSIDE EDGE OF FINISHED DOOR OPENING. REFER TO THE DOOR SCHEDULE FOR ADDITIONAL DIMENSIONAL INFORMATION.
- DIMENSION OR WORK POINT AS INDICATED ON RELATED ARCH. DETAIL, PLAN, SECTION, ELEVATION, LAYOUT OR CONFIGURATION DETAIL, OR CONSTRUCTION DETAIL.

D. REFER TO ABBREVIATIONS LEGEND FOR SYMBOL, USED TO INDICATE "FACE OF" DIMENSIONS.

E. WHERE "FACE OF FINISH" OR "CLEAR" DIMENSIONS ARE SPECIFICALLY NOTED, THE DIM IS MEASURED TO:

- FINISH FACES AT THE MOST NARROW OR CONSTRICTED POINTS OF SECTION WHERE DIMENSION IS SHOWN, WHEN THE DIMENSION OCCURS ACROSS AN OPEN SPACE. THIS CASE, A "FACE OF FINISH" DIMENSION IS EQUIVALENT TO A "CLEAR" DIMENSION.
- FINISH FACES AT THE WIDEST OR MOST EXPANSIVE POINTS OF THE SECTION THE DIMENSION IS SHOWN WHEN THE DIMENSION OCCURS ACROSS AN OBJECT OR GROUP OF OBJECTS.

F. WHERE "EFFECTED" DIMENSIONS ARE USED ON REFLECTED CEILING PLANS TO LOCATE CEILING GRID WORK POINTS, MEASURE DIMENSIONS TO:

- EDGE OF THE INDICATED CEILING AT THE FACE OF THE ADJACENT APPLIED FINISH MEASURED AT THE PLANE OF THE CEILING.

NOTE 3A CONTINUED:

NOTE 3B CONTINUED:

- CAUTION: DUE TO THE POSSIBLE APPLICATION OF APPLIED FINISHES - THICKNESS OF WHICH MAY VARY BETWEEN FLOOR AND CEILING AND IS NOT ACCOUNTED FOR (EXCEPT AS INDICATED BY "FCF" OR "CLEAR") BY THE DIMENSION SHOWN ON THE FLOOR PLANS - THE CONTRACTOR MUST ACQUAINT AS NECESSARY, THE FLOOR PLAN DIMENSIONS TO REFLECT THE ACTUAL DIMENSIONS FOUND AT PLANE OF THE CEILING.

NOTE 3C CONTINUED:

- WHERE DOOR OCCURS NOT ADJACENT TO A PERPENDICULAR WALL AND EITHER "DM" OR "DM" F" IN DIAGRAM BELOW IS 16" 0" OR LESS, LOCATE DOOR UTILIZING THE FOLLOWING MINIMUM DIMENSIONS:
 - DIMENSION A = 18 INCHES MIN.
 - DIMENSION B = 12 INCHES MIN.
 - DIMENSION C = DOOR WIDTH + 2 INCHES MINIMUM.
 - DIMENSION D = 4 INCHES MIN AT METAL FRAMED GYP BOARD PARTITIONS OR 4-EVEN MULTIPLE OF 12 INCH MODULE PLUS 2 INCHES AT CONC. MASONRY UNIT WALLS.
 - DIMENSIONS E AND F AS SHOWN ON PLANS.
 - DIMENSION G = 36 INCHES MIN.
 - DIMENSION H = 60 INCHES MIN.
- IF SPACE ALLOWS, CENTER DOOR IN WALL SHOWN ON THE DRAWINGS SO THAT EITHER "DM" EQUALS "DM" C" OR "DM" E" EQUALS "DM" D".
- IF "DM" IN DIAGRAM BELOW IS LESS THAN THE SUM OF 2 TIMES THE DOOR WIDTH PLUS 20 INCHES, LOCATE DOOR SO THAT MINIMUMS STATED BY NOTE NO. 4C ABOVE FOR "DM" A" AND "DM" B" ARE MET - MAXIMIZING "DM" A" AND MINIMIZING "DM" D" TO THE EXTENT POSSIBLE.

NOTE 4 CONTINUED:

- WHERE DIMENSIONS ARE NOT PROVIDED ON FLOOR PLANS TO LOCATE DOOR OPENINGS, APPLY THE FOLLOWING RULES, IN ORDER, TO DETERMINE THE LOCATION OF DOOR OPENINGS:
 - A. DOOR OPENINGS MAY BE DIMENSIONED ON DRAWINGS OTHER THAN THE FLOOR PLANS. REFER TO THE SECTIONS, ELEVATIONS, DETAILS, AND DOOR SCHEDULE NOTES FOR ADDITIONAL DIMENSIONAL INFORMATION.
 - B. WHERE THE HINGE-SIDE OF A DOOR IS SHOWN ADJACENT TO A WALL, B" WALLS - PERPENDICULAR TO THE WALL IN WHICH THE DOOR OPENING OCCURS.
 - AT DOORS OCCURRING IN METAL FRAMED GYPSUM BOARD PARTITIONS, LOCATE THE HINGE-SIDE OF THE DOOR FINISHED OPENING 4 INCHES FROM THE FACE (EXCLUSIVE OF APPLIED FINISHES) OF THE CLOSEST PERPENDICULAR WALL OR PARTITION ASSEMBLY.
 - AT DOORS OCCURRING IN WALLS OF CONC. MASONRY UNIT CONSTRUCTION LOCATE THE HINGE-SIDE OF THE DOOR FINISHED OPENING 10 INCHES FROM THE FACE (EXCLUSIVE OF APPLIED FINISHES) OF THE CLOSEST PERPENDICULAR WALL OR PARTITION ASSEMBLY.

NOTE 5 CONTINUED:

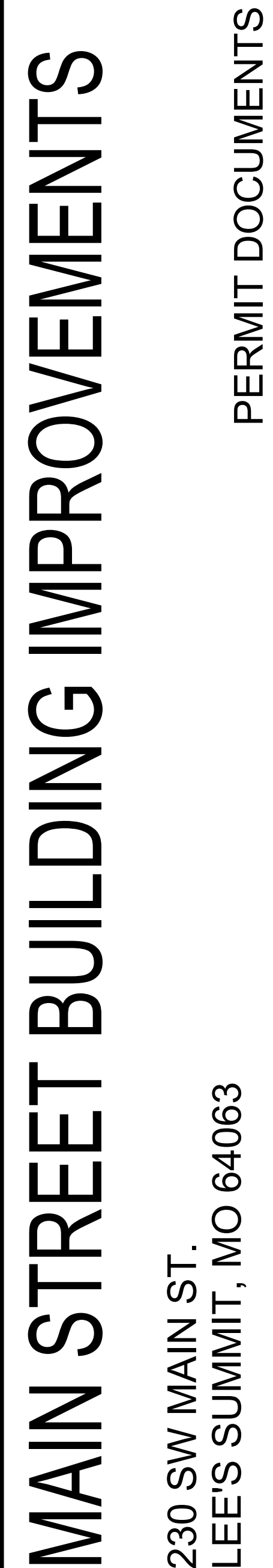
- WHERE DOOR IS SHOWN LOCATED IN A LARGE EXpanse OF OPEN WALL "DM" A" AND "DM" D" IN DIAGRAM BELOW BOTH EXCEED 16'-0". PLACE DOOR AT APPROXIMATE LOCATION SHOWN ON THE PLANS. WHERE DOOR OCCURS IN AN IN WALL, PLACE DOOR AT APPROXIMATE LOCATION SHOWN WHILE MINIMIZING "CUT" OR PARTIAL CMU MODULES ADJACENT TO THE JAMBS.

NOTE 6 CONTINUED:

- WHERE WALLS AND/OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIAS EXPOSED FACES, UNLESS OTHERWISE NOTED:

1. ALL CONTRACTORS AND THEIR SUPERVISORY PERSONNEL SHALL REVIEW THE GENERAL AND SUPPLEMENTARY CONDITIONS TO THE CONTRACT.
2. ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES.
3. CONTRACTOR AND/OR OWNER SHALL OBTAIN ALL REQUIRED BUILDING AND OCCUPANCY PERMITS.
4. CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK.
5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND VISITORS.

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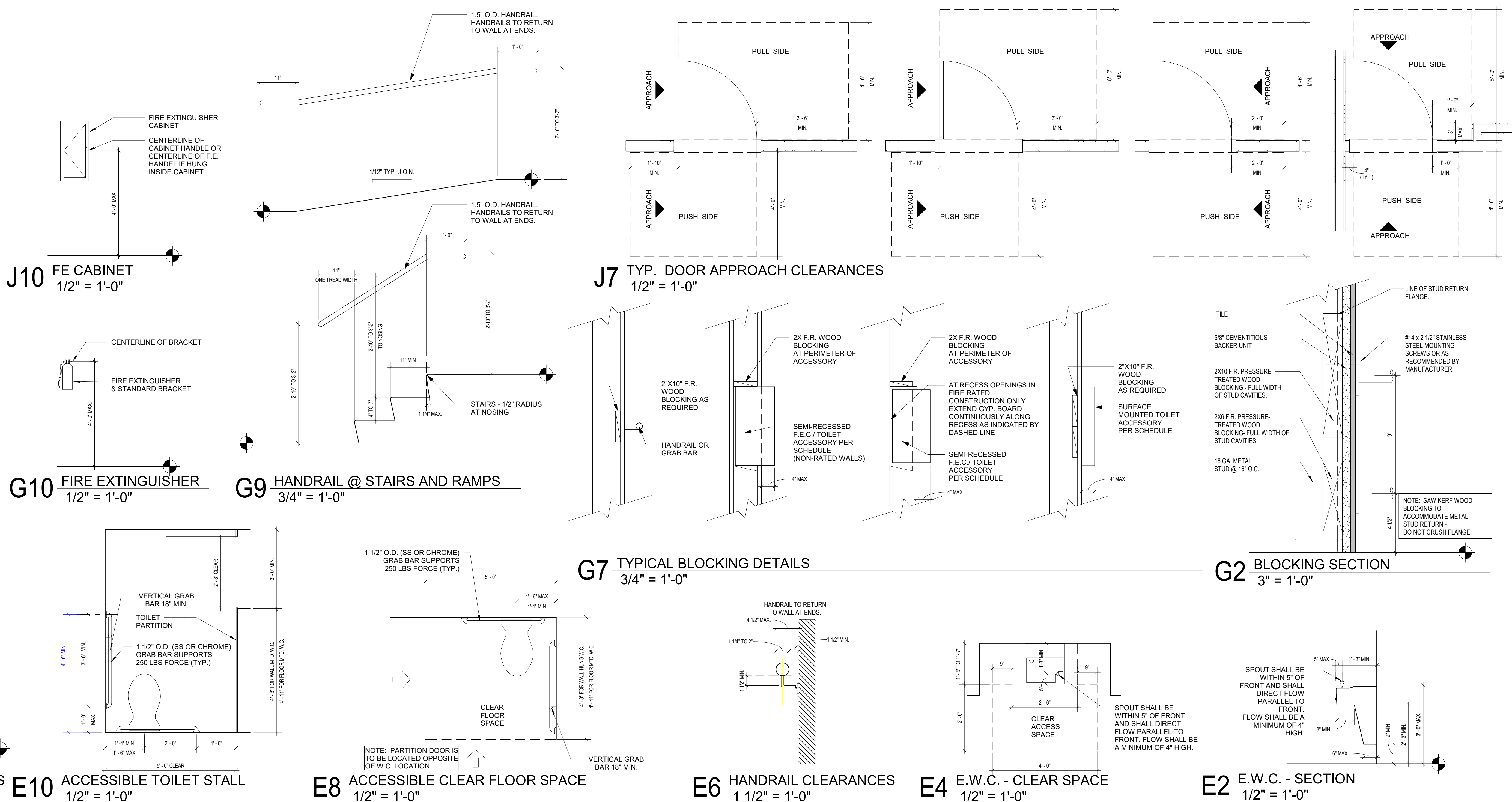


04/21/22
PROFESSIONAL SEAL

G001
ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

GENERAL INFORMATION

- [illegible]



MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS													TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS												
NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT													NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT												
FINISH FLOOR													FINISH FLOOR												
ACCESSORY TYPE													ACCESSORY TYPE												
COMMENTS													COMMENTS												
MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS													PLUMBING FIXTURE TYPICAL MOUNTING HEIGHTS												
NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT													NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT												
FINISH FLOOR													FINISH FLOOR												
ACCESSORY TYPE													ACCESSORY TYPE												
COMMENTS													COMMENTS												
MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS & TOILET ACCESSORY PLANS													MISCELLANEOUS ACCESSORY TYPICAL MOUNTING HEIGHTS & TOILET ACCESSORY PLANS												
NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT													NOTE: SOME OBJECTS INDICATED HERE ARE NOT INCLUDED IN THIS PROJECT												
FINISH FLOOR													FINISH FLOOR												
ACCESSORY TYPE													ACCESSORY TYPE												
COMMENTS													COMMENTS												

WALL PRIORITY LEGEND

NOTE: THIS LEGEND IS FOR GRAPHIC REPRESENTATION ONLY.

FOUR HOUR FIRE WALL (4FW)
THREE HOUR FIRE WALL (3FW)
TWO HOUR FIRE WALL (2FW)
FOUR HOUR FIRE BARRIER (4FB)
THREE HOUR FIRE BARRIER (3FB)
TWO HOUR FIRE BARRIER (2FB) (INCLUDES THE FOLLOWING):
• TWO HOUR SHAFT ENCLOSURE (2SE)
ONE HOUR FIRE BARRIER (1FB) (INCLUDES THE FOLLOWING):
• ONE HOUR SHAFT ENCLOSURE (1SE)

SMOKE TIGHT PARTITION (X) (INCLUDES THE FOLLOWING):
• SMOKE TIGHT PARTITION TO SMOKE TIGHT CEILING (XC)
• SMOKE TIGHT PARTITION WITHIN PLENUM ABOVE CEILING (XP)
• SMOKE TIGHT PARTITION SEPARATION OF INTERSTITIAL SPACES (XI)

DETAIL ABUTMENT OF DISSIMILAR WALL

LOWER PRIORITY WALL
HIGHER PRIORITY WALLS SHALL PASS THROUGH A LOWER PRIORITY WALL

INTERSECTION OF RATED WALLS

TAPE & JOINT COMPOUND (TYP)
LOWER PRIORITY WALL
TAPE & SEAL HIGHER PRIORITY WALL BEHIND INTERSECTING LOWER PRIORITY WALL (TYP)
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)
HIGHER PRIORITY WALL

A

LOWER PRIORITY WALL
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)
CONTINUOUS TAPE & SEAL OF HIGHER PRIORITY WALL (TYP)

C

LOWER PRIORITY WALL
HIGHER PRIORITY WALL
TAPE & JOINT COMPOUND (TYP)

E

NOTES:
1. REFER TO WALL TYPES ON SHEET G121-T1 FOR WALL COMPONENTS, NUMBER OF GYPSUM BOARD LAYERS, TYPE OF GYPSUM BOARD, AND OTHER SIMILAR INFO.
2. THE HIGHER PRIORITY WALL SHALL PASS THROUGH THE LOWER PRIORITY WALL.
3. TAPING AND SEALING OF HIGHER PRIORITY WALLS SHALL BE CONTINUOUS.
4. ALTERNATE LAYERS OF GYPSUM BOARD SHALL OVERLAP AT CORNER INTERSECTIONS OF MULTI-LAYERED RATED GYPSUM BOARD PARTITIONS.

FIRE & SMOKE RESISTIVE LEGEND DEFINITIONS

FIRE WALLS (FW)

DEFINITION:
A FIRE RATED WALL THAT IS CONTINUOUS VERTICALLY FROM FOUNDATION TO ROOF TO SEPARATE CONSTRUCTION INTO SEPARATE BUILDINGS.

USE:
FIRE WALLS SERVE TO CREATE SEPARATE BUILDINGS FOR THE FOLLOWING REASONS:
• CONSTRUCTION TYPE VARIES FROM ONE BUILDING TO ANOTHER.
• COMPLIANCE WITH MAXIMUM ALLOWABLE AREA REQUIREMENTS.
• TO SEPARATE BUILDINGS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
• TO ADDRESS A PROPERTY LINE DEFINING DIFFERENT OWNERSHIP.

SPECIAL CONSIDERATIONS:
• THE FIRE WALL REQUIRES SUFFICIENT STRUCTURAL STABILITY UNDER FIRE CONDITIONS TO ALLOW THE COLLAPSE OF CONSTRUCTION ON EITHER SIDE WITHOUT COLLAPSE OF THE WALL.
• OPENINGS ARE REQUIRED TO BE PROTECTED.
• OPENINGS ARE LIMITED BASED ON A PERCENTAGE OF WALL LENGTH.
• EXTENDING THE FIRE WALL THROUGH THE ROOF WITH A PARAPET IS REQUIRED FOR SOME CONSTRUCTION CLASSIFICATIONS.
• THE REQUIRED FIRE RATING OF A FIRE WALL IS BASED ON OCCUPANCY GROUPS AND CLASS OF CONSTRUCTION.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

FIRE BARRIERS (FB)

DEFINITION:
A FIRE RATED WALL CONSTRUCTED TO RESTRICT THE SPREAD OF FIRE CONTINUITY SHALL BE MAINTAINED FROM TOP OF FLOOR TO UNDERSIDE OF THE FLOOR OR ROOF DECK ABOVE.

USE:
FIRE BARRIERS HAVE THE FOLLOWING APPLICATIONS:
• TO SEPARATE EXIT PASSAGEWAYS.
• OCCUPANCY SEPARATIONS.
• TO SEPARATE INCIDENTAL USE AREAS.
• ISOLATION OF HAZARDOUS.
• TO SEPARATE ROOMS WITH DIFFERENT LEVELS OF FIRE PROTECTION.
• SMOKE BARRIERS AND SHAFT ENCLOSURES ARE FIRE BARRIERS. SEE ADDITIONAL REQUIREMENTS.

SPECIAL CONSIDERATIONS:
• WITHIN SOME CONSTRUCTION CLASSIFICATIONS, CONSTRUCTION THAT PROVIDES STRUCTURAL SUPPORT OF A FIRE BARRIER IS REQUIRED TO BE OF THE SAME HOURLY FIRE RATING AS THE FIRE BARRIER, OR BETTER.
• OPENINGS ARE REQUIRED TO BE PROTECTED.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH AND CLOSER.

SHAFT ENCLOSURES (SE)

DEFINITION:
A SHAFT ENCLOSURE IS A FIRE BARRIER FORMING THE BOUNDARY OF A VERTICAL SHAFT.

USE:
PROTECT OPENINGS IN FIRE RATED FLOOR/CEILING ASSEMBLIES.

SPECIAL CONSIDERATIONS:
• PENETRATIONS IN SHAFT ENCLOSURES ARE PROHIBITED UNLESS NECESSARY FOR THE FUNCTION OF THE SHAFT. WHERE ALLOWED, OPENINGS ARE REQUIRED TO BE PROTECTED.
• DUCT PENETRATIONS REQUIRE COMBINATION SMOKE AND FIRE DAMPERS EXCEPT FOR EXISTING CONDITIONS THAT ARE GRANDFATHERED.
• HARDWARE FOR SWING DOORS SHALL INCLUDE A LATCH, CLOSER, AND PERIMETER SMOKE SEALS.

WALL TYPE NOTES:

1. RE: LIFE SAFETY PLAN(S) FOR RATED WALL LOCATIONS.
2. WHERE "FIRE-RATED SEALANT" IS INDICATED ON WALL TYPES: PROVIDE FIRE-RATED SEALANT ABOVE TOP TRACK, UNDER BOTTOM TRACK, AT ALL PENETRATIONS (BOTH SIDES), AND AS REQUIRED BY FIRE RATING UL NUMBER.
3. EXTEND FIRE-RATED WALL CONSTRUCTION BEHIND NECESSARY BUILT-IN EQUIPMENT, SUCH AS FIRE EXTINGUISHER CABINETS (FEC), ELECTRICAL, WATER COOLERS (EWC), ELECTRICAL PANELS, ETC. UNLESS NOTED OTHERWISE.
4. PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL FLOOR MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR LABORATORY EQUIPMENT.
5. WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS PENETRATE PARTITIONS: STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH ACoustICAL AND FIRE RATED WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE, AND/OR ACoustICAL ISOLATION OF SPACES WITH APPROPRIATE ACoustICAL/FIRESTOP MATERIAL.
6. THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS, EXCEPT WHERE SPECIFICALLY SHOWN.
7. WALL BASE IS NOT SHOWN ON ALL WALL TYPES FOR CLARITY. REFER TO FINISH SCHEDULE.
8. PROVIDE GLASS-MAT, WATER RESISTANT BACKING BOARD AT ALL WET LOCATIONS.
9. EXCEPT AT FIRE-RATED PARTITIONS, ALL WALL AND COLUMN GYPSUM BOARD FACING SHALL BE HELD AT 5/8 INCH BELOW STRUCTURE, UNLESS NOTED OR SHOWN OTHERWISE.
10. PROVIDE AND INSTALL BLOCKING REQUIRED FOR ALL A.V. EQUIPMENT, G.C. TO COORDINATE WITH TI CONSULTANT FOR FINAL LOCATIONS AND SIZE REQUIREMENTS.
11. COMPRESSIBLE FILLER - ACCEPTABLE MATERIALS WOULD BE: FIBERGLASS INSULATION OR FIRESTOPPING VOIDS TO BE COMPLETELY FILLED AND A FIRESTOP SEALANT OVER ANY ENDS. THIS IS TYPICAL FOR ALL ACoustICAL WALL ASSEMBLIES WHERE "COMPRESSIBLE FILLER" IS CALLED FOR. THERE CAN BE NO VOIDS IN THE INSTALLATION.
12. PROVIDE A MIN. MSG-12 STUD FOR ALL VERTICAL LONG SPAN WALL TYPES.

WALL TYPE A

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL
DEEP LEG DEFLECTION/SLIP TRACK

CEILING HT.
RE: RCP (WHERE REQ'D)
5/8" GYP. BD. EACH SIDE

3 5/8" METAL STUD @ 16" O.C. WITH HORIZ. BRACING, AS REQUIRED.

3 1/2" SOUND BATT INSULATION (WHERE REQ'D)

METAL RUNNERS TOP AND BOTTOM

FLOOR

TYPE	WALL DESCRIPTION
A	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • NO SOUND BATT INSUL. • NON RATED
A1	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • 3 1/2" SOUND BATT INSUL. TO FULL HEIGHT OF WALL • ACoustICAL SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • NON RATED
A2	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 2 LAYERS - 5/8" TYPE "X" GYP. BD. EACH SIDE TO DECK ABOVE • 3 1/2" THICK GLASS FIBER BATT INSUL. TO FULL HEIGHT OF WALL • FIRE-RATED SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • 2-HR RATED RE: UL # U419

WALL TYPE E

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL
AS REQUIRED PER WALL TYPE
EXISTING WALL

CEILING HT.
RE: RCP (WHERE REQ'D)
5/8" GYP. BD. ON ROOM SIDE

METAL STUD / HAT CHANNEL @ 16" O.C.
SOUND BATT INSULATION (WHERE REQ'D)

METAL RUNNERS TOP AND BOTTOM

ROOM SIDE **FLOOR**

TYPE	WALL DESCRIPTION
E2	• 3 5/8" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. ONE SIDE TO DECK ABOVE • NO SOUND BATT INSUL. • NON RATED
E5	• 6" METAL STUD @ 16" O.C. TO DECK ABOVE • 5/8" TYPE "X" GYP. BD. ONE SIDE • NO SOUND BATT INSUL. • NON RATED

WALL TYPE Y

INSTALL FIRESAFING INSULATION TO SEAL TOP OF WALL (RATED WALLS ONLY)

BOTTOM OF DECK
RE: STRUCTURAL
AS REQUIRED PER WALL TYPE
EXISTING WALL

CEILING HT.
RE: RCP (WHERE REQ'D)
5/8" GYP. BD. ON ROOM SIDE

1" SHAFT LINER
SOUND BATT INSULATION (SEE TYPE FOR SIZE)
METAL J TRACK TOP AND BOTTOM

FLOOR

TYPE	WALL DESCRIPTION
Y	• 4" C-H METAL STUDS @ 24" O.C. TO DECK ABOVE • 2 LAYER 5/8" TYPE "X" GYP. BD. ONE SIDE TO DECK ABOVE • 1" SHAFT LINER ON SHAFT SIDE TO DECK ABOVE • 3" SOUND BATT INSUL. - FULL HEIGHT OF WALL • FIRE-RATED SEALANT AT FLOOR, DECK, & ALL PENETRATIONS • 2-HR RATED RE: UL DESIGN # U415 (WHERE REQ'D)

FIRE RESISTIVE LEGEND

FIRE WALLS
3FW 3FW 3FW 3FW 3 HOUR FIRE WALL
2FW 2FW 2FW 2FW 2 HOUR FIRE WALL

FIRE BARRIERS
2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER
1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER

SHAFT ENCLOSURES
2S 2S 2S 2S 2 HOUR SHAFT ENCLOSURE
1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE

FIRE PARTITIONS
1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION
0.5FP 0.5FP 0.5FP 0.5FP 0.5 HOUR FIRE PARTITION
0.5X 0.5X 0.5X 0.5X 0.5 HOUR CORRIDOR PARTITION

SMOKE BARRIER
SB SB SB SB 1 HOUR SMOKE BARRIER

BEARING WALLS
2BW 2BW 1BW 1BW 2 HOUR BEARING WALL
1BW 1BW 1BW 1BW 1 HOUR BEARING WALL

DESCRIPT.
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
CALCULATED EXIT WIDTH REQ'D (IN.)
MIN. WIDTH OF MEANS OF EGRESS COMPONENT (IN.)
EXIT WIDTH PROVIDED (IN.)
FROM ROOM OR LEVEL
X" - CLEAR WIDTH OF OPENING IN INCHES

F.E.C. FIRE RISER CABINET
F.A.C.P. FIRE ALARM CONTROL PANEL
F.D.C. FIRE DEPARTMENT CONNECTION
K.B. KNOX BOX
AR AREA OF RESCUE ASSISTANCE
EGRESS PATH ACCESSIBLE EGRESS COMPONENT
FE-1 INDICATES FIRE EXTINGUISHER CABINET(FEC) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.
FE-2K INDICATES KITCHEN BAR FIRE EXTINGUISHER (FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.
FE-3 INDICATES TEMPORARY WALL HUNG FIRE EXTINGUISHER (FE) LOCATION WITH 75'-0" RADIUS COVERAGE AREA. SEE SPECIFICATIONS FOR FE TYPE.

DOOR RATING LEGEND (REFER TO DOOR SCHEDULE)
20 MIN. DOOR
45 MIN. DOOR
90 MIN. DOOR

GENERAL DESCRIPTION

PROJECT NAME: MAIN STREET LANDLORD IMPROVEMENTS
PROJECT LOCATION: 230 SW MAIN ST., LEE'S SUMMIT, MO 64063
COUNTY: JACKSON

COLLINS WEBB ARCHITECTURE
307B SW MARKET STREET
LEES SUMMIT, MISSOURI 64063

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE - 2018 ED.
INTERNATIONAL PLUMBING CODE - 2018 ED.
INTERNATIONAL MECHANICAL CODE - 2018 ED.
INTERNATIONAL FUEL GAS CODE - 2018 ED.
NATIONAL ELECTRICAL CODE - 2017 ED.
INTERNATIONAL FIRE CODE - 2015 ED.
ADA STANDARDS FOR ACCESSIBLE DESIGN - 2010 ED.
ICC/ANSI A117.1: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES - 2009 ED.

CODE INFORMATION

		TABLE/SECTION/REFERENCE
BUILDING/PROJECT USE: CONSTRUCTION TYPE OCCUPANCY CLASSIFICATION SEPARATED MIXED-USE APPROACH	OFFICE, RESTAURANT TYPE VB (NON-SPRINKLED) GROUP "B", GROUP "A-2"	SECTION 309 TABLE 601 SECTION 309
BASE ALLOWABLE AREA	B: 9,000 SQ. FT. A-2: 6,000 SQ. FT.	TABLE 506.2
FIRST LEVEL	B: 2,440 SQ. FT. A-2: 4,000 SQ. FT.	
SECOND LEVEL	B: 5,720 SQ. FT.	
ALLOWABLE STORIES ACTUAL NUMBER OF STORIES	2 STORIES - EXISTING 2 STORIES	TABLE 504.4
ALLOWABLE HEIGHT ACTUAL HEIGHT IN FEET	40'-0" - EXISTING 29'-10"	TABLE 504.3

FIRE RESISTIVE REQUIREMENTS

PRIMARY FRAME	0 HRS	TABLE 601
NON-BEARING WALLS	0 HRS	TABLE 601
BEARING WALLS INT./ EXT.	0 INT. / 2 EXT. HRS	TABLE 601
FLOOR CONSTRUCTION (SEPARATING OCCUPANCIES)	0 HRS	TABLE 601
CEILING/ROOF	0 HRS	TABLE 601
CORRIDORS	0 HRS	TABLE 1015.1
SEPARATION BETWEEN 1ST FLOOR "A-2" AND 2ND FLOOR "B"	2 HRS	

FIRE EXTINGUISHERS

1. PROVIDE PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE WISCONSIN FIRE PREVENTION CODE. SEE PLANS FOR SUGGESTED LOCATIONS. NOTIFY ARCHITECT OF ANY PROPOSED RELOCATION OR IF A CONFLICT IS ENCOUNTERED.
2. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

CEILING HEIGHT NOTES: (IBC 1208)

1. ALL MEANS OF EGRESS TO HAVE A MINIMUM CEILING HEIGHT OF 7'-6" A.F.F., NOR SHALL HAVE ANY PROJECTION FROM THE CEILING BE LESS THAN 6'-8" A.F.F.
2. OCCUPIED SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-4" A.F.F.
3. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" A.F.F.

INTERIOR FINISHES

GROUP A	MAX. FLAME SPREAD	
EXIT ENCLOSURES	CLASS A (0-25)	803.13
LOBBIES & CORRIDORS	CLASS B (26-75)	803.13
ALL OTHER SPACES	CLASS C (76-200)	803.13
TEXTILES	CLASS A (0-25)	805
SMOKE DEVELOPED	0-450	TABLE/SECTION/REFERENCE

NOTE:
Decorative Materials and Trim (including plastics) must comply with IBC Section 906.

GENERAL EXITING REQUIREMENTS

EXIT TRAVEL DISTANCE	200 FEET	TABLE 1017.2
DEAD END CORRIDOR	20 FEET	SECTION 1020.4
COMMON PATH OF TRAVEL	75' FEET, OR 100' IF OCC. < 50	SECTION 1006.2.1
MIN. CORRIDOR WIDTH	44", OR 36" IF OCC. < 50	SECTION 1020.2

POSTING OF OCCUPANT LOAD

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

EXIT REQUIREMENTS

	TABLE/SECTION/REFERENCE
A. REQUIRED CAPACITY	
1. STAIRS - 0.3" / PERSON	1005.1
2. OTHER COMPONENTS - 0.2" / PERSON	1005.1
B. MINIMUM NUMBER	
1. OCCUPANT LOAD OF 1-500 PERSONS - 2 EXITS PER STORY	1006.3.1
2. OCCUPANT LOAD OF 501-1000 PERSONS - 3 EXITS PER STORY	
3. OCCUPANT LOAD OF MORE THAN 1000 PERSONS - 4 EXITS PER STORY	

SIGNAGE

1. PROVIDE SIGNAGE "IN FIRE EMERGENCY DO NOT USE ELEVATOR, USE EXIT STAIRS" IN ACCORDANCE WITH IBC (3002.3)

OCCUPANT LOAD PER LEVEL

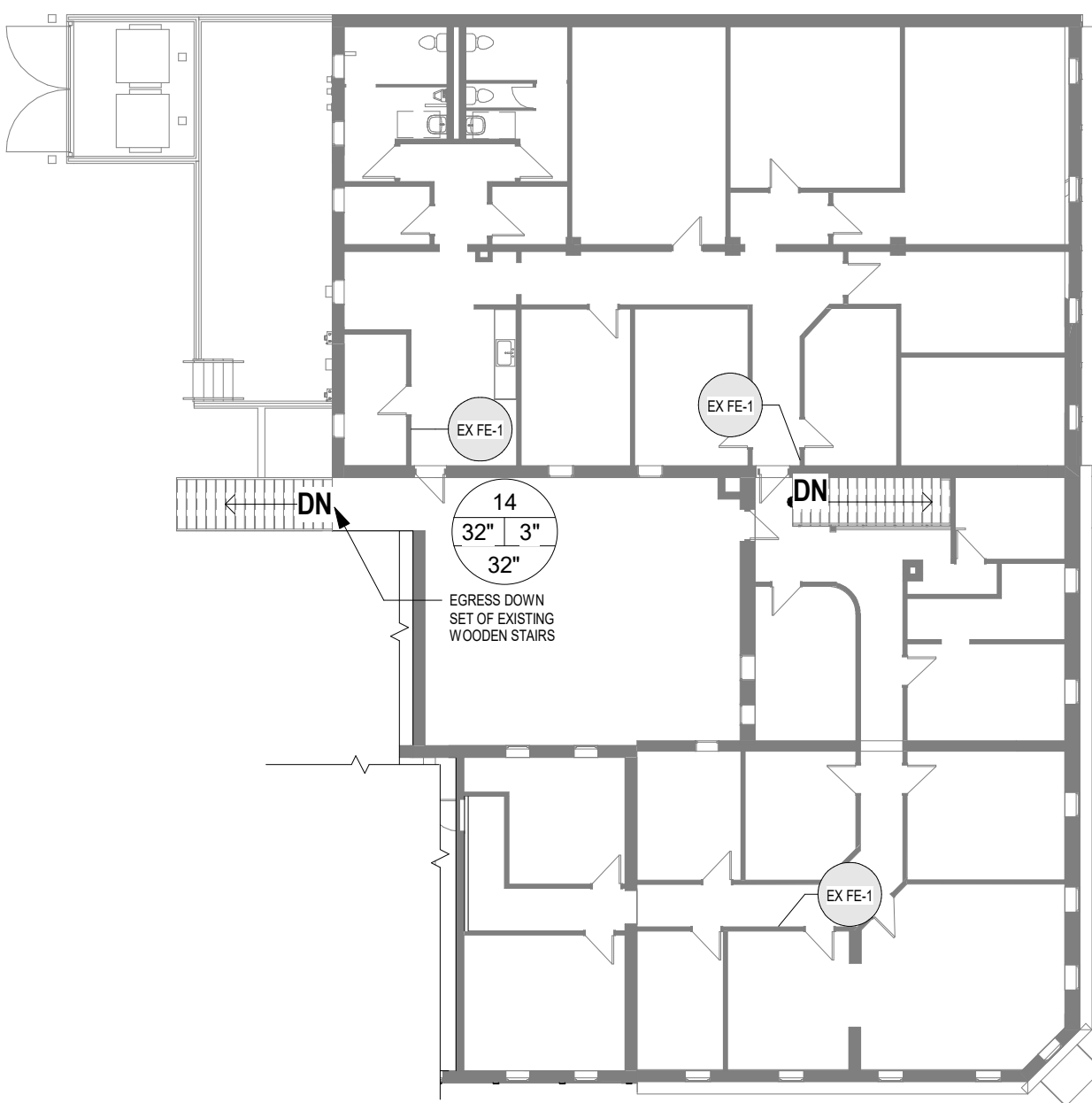
	TABLE/SECTION/REFERENCE
OCCUPANT LOAD - FIRST LEVEL	
B: OFFICE SQUARE FOOTAGE (2205 SF) A-2: FUTURE RESTAURANT	16 OCC FUTURE T.I. 15 OCC 150 SF/OCC
EXITS REQUIRED THIS LEVEL: B EXITS PROVIDED THIS LEVEL: A-2 EXITS PROVIDED THIS LEVEL: B EXITS PROVIDED THIS LEVEL: A-2	2 EXITS FUTURE T.I. 2 EXITS 1 EXIT - EXISTING
OCCUPANT LOAD - SECOND LEVEL	
B: OFFICE SQUARE FOOTAGE (4032 SF)	27 OCCUPANTS 150 SF/OCC
EXITS PROVIDED THIS LEVEL:	2 EXIT - EXISTING

TOTAL OCCUPANT LOAD

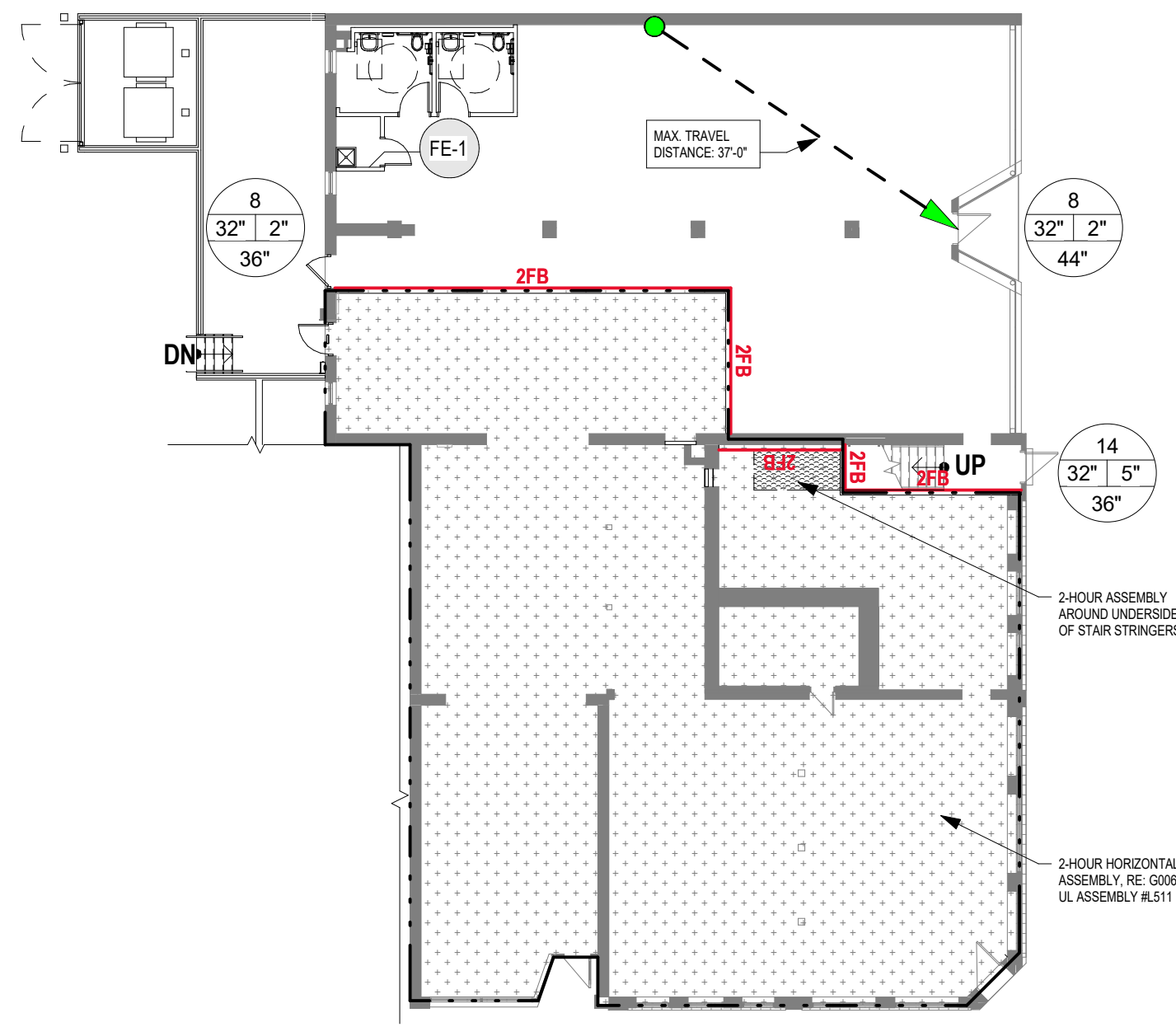
TOTAL OCCUPANT LOAD FOR BUILDING (BUSINESS ONLY): 42 OCCUPANTS

PLUMBING FIXTURE REQUIREMENTS

B OCC WATER CLOSETS	= 1/25 PER FIRST 50, 1/50 FOR 50+ BOTH MALE/ FEMALE				
B OCC LAVATORIES	= 1/40 FOR FIRST 80, 1/80 FOR 80+ BOTH MALE/FEMALE				
B OCC DRINKING FOUNTAIN	= 1/100				
B OCC SERVICE SINK	= 1				
REQUIRED:					
LEVEL	OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
1ST FLOOR	BUSINESS	M 8/25 = 32 F 8/25 = 32	M 8/40 = 2 F 8/40 = 2	15/100 = .15	1 REQ
	ASSEMBLY (A-2)	FUTURE	FUTURE	FUTURE	FUTURE
	TOTAL:	1	1	1	1
2ND FLOOR	BUSINESS	M 14/25 = 56 F 14/25 = 56	M 14/40 = 35 F 14/40 = 35	27/100 = .27	1 REQ
	TOTAL:	2	1	1	1
PROVIDED:					
LEVEL		WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINKS
1ST FLOOR		2	2	BOTTLED WATER PROVIDED	1
2ND FLOOR		4	2	BOTTLED WATER PROVIDED	



A5 2ND FLOOR PLAN - LIFE SAFETY
1/16" = 1'-0"



A3 1ST FLOOR PLAN - LIFE SAFETY
1/16" = 1'-0"

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(www.collinswebb.com)

collins|webb ARCHITECTURE

MAIN STREET BUILDING IMPROVEMENTS

230 SW MAIN ST.
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REVISION DATES:

04/21/22

PROFESSIONAL SEAL

G003

ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

CODE INFORMATION AND LIFE SAFETY PLANS

PERMIT DOCUMENTS

SPECIFICATIONS - PRODUCT & INSTALLATION GENERAL REQUIREMENTS

GENERAL REQUIREMENTS APPLICABLE TO ALL MATERIALS FOR THE PROJECT.

1. NO SUBSTITUTIONS OF MATERIALS WITHOUT COMPLETION OF A SUBSTITUTION REQUEST FORM & APPROVAL OF SUBSTITUTION BY PROJECT MANAGER. FORM CAN BE REQUESTED FROM ARCHITECT.
2. A CONDENSED SET OF SPECIFICATIONS ARE PROVIDED FOR THE PROJECT. STRICT ADHERANCE TO MANUFACTURER REQUIREMENTS AND INSTALLATION ARE REQUIRED TO BE FOLLOWED WITH SECTIONS PROVIDED WITHIN. IF REQUIRED THE ARCHITECT WILL ISSUE ADDITIONAL SECTIONS TO PROVIDE CLARITY TO PRODUCTS OR INSTALLATION REQUIREMENTS.

DIVISION 1 - GENERAL REQUIREMENTS

1. SEE ADMINISTRATIVE SPECIFICATION FOR GENERAL REQUIREMENTS RELATED TO ADMINISTRATION OF THIS CONTRACT.
- A. CONTRACTOR LICENSES**
1. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT SHALL BE REQUIRED TO OBTAIN AND PAY FOR ALL NECESSARY LICENSES AS REQUIRED BY ANY LAW OR AGENCIES HAVING JURISDICTION (AHJ) OVER THE PROJECT.

B. BUILDING PERMITS

1. THE GENERAL CONTRACTOR WILL PAY FOR ALL PERMITS REQUIRED BY ANY AGENCY HAVING JURISDICTION (AHJ) OVER THE PROJECT FOR ALL WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR.

C. UTILITY FEES

1. THE CONTRACTOR SHALL PAY THE NECESSARY FEES TO CONNECT TO EXISTING UTILITIES AT THE PROPERTY LINE OR IN ADJACENT STREETS AND RIGHT OF WAY AS SPECIFIED, NECESSARY AND/OR INCLUDED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PAY ALL UTILITY COSTS (BILLS) DURING CONSTRUCTION UNTIL OWNER TAKES POSSESSION OF THE FACILITY OR THE FACILITY IS CERTIFIED AS SUBSTANTIALLY COMPLETE.

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FINISHED SURFACES. PROTECTION FOR FINISHES SUCH AS DOORS, WALLS AND FLOORS SHOULD BE PROVIDED AS REQUIRED. ANY DAMAGES TO THESE AREAS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE.

E. GENERAL CONDITIONS

1. ANY DISCREPANCY OR CONFLICT WITHIN OR BETWEEN DRAWINGS AND ANY DISCREPANCY OR CONFLICT BETWEEN ANY DRAWING AND ANY SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NOTWITHSTANDING, DISCREPANCIES OR CONFLICTS NOT BROUGHT TO THE ARCHITECTS AND OWNERS ATTENTION AND CLARIFIED DURING THE BIDDING OF THE PROJECT WILL BE DEEMED TO HAVE BEEN OR PROPOSED IN THE MORE COSTLY OR DIFFICULT MANNER, AND THE BETTER QUALITY OR GREATER QUANTITY OF THE WORK SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH ARCHITECT'S INTERPRETATION.
2. THE GENERAL CONTRACTOR SHALL KEEP A COMPLETE PROTOTYPE SET OF DOCUMENTS ON THE PROJECT SITE AT ALL TIMES FOR REFERENCE DURING CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILLS AND ATTENTION. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR HAVE AND CONTROL OVER CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
4. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR HAVE AND HAVE CONTROL OVER ALL JOB SITE SAFETY PROCEDURES AND POLICES. THE GENERAL CONTRACTOR SHALL HAVE A SAFETY COORDINATOR AND BE RESPONSIBLE TO HOLD REGULARLY SCHEDULED SAFETY TRAINING WITH ALL JOB SITE PERSONNEL, INCLUDING ALL SUB CONTRACTOR PERSONNEL.
5. NEITHER THE ARCHITECTS OR THE OWNERS INSPECTION NOR FAILURE TO INSPECT SHALL RELIEVE THE CONTRACTOR OF ANY OBLIGATION HEREUNDER. IF ANY WORK FAILS TO CONFORM TO THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY REMEDY AND/OR REPLACE THE SAME AT THE CONTRACTOR'S EXPENSE AND AT THE CONTRACTOR'S RISK. THE OWNER OR ARCHITECT SHALL CONSTITUTE A WAIVER OF THE FOREGOING AND NOTHING HEREIN SHALL EXCLUDE OR LIMIT ANY WARRANTIES IMPLIED BY LAW.
6. THE GENERAL CONTRACTOR SHALL NOT CONDUCT ITS OPERATIONS AS NOT TO UNREASONABLY INTERFERE WITH TRAFFIC ON PUBLIC THOROUGHFARES ADJACENT OR NEAR TO THE PROJECT SITE.
7. DO NOT SCALE DRAWINGS.

F. PROJECT REQUIREMENTS

1. THE GENERAL CONTRACTOR REPRESENTS THAT IT POSSESSES THE SKILLS REQUIRED FOR THE WORK, ASSUMES THE RESPONSIBILITIES OF AN EMPLOYER FOR PERFORMANCE OF THE WORK, AND ACTS AS AN EMPLOYER OF ONE OR MORE EMPLOYEES BY PAYING WAGES, DIRECTING ACTIVITIES AND PERFORMING OTHER SIMILAR FUNCTIONS. THE GENERAL CONTRACTOR IS AN INDEPENDENT CONTRACTOR, FREE TO DETERMINE THE MANNER IN WHICH THE WORK IS PERFORMED.
2. THE GENERAL CONTRACTOR SHALL PROVIDE, AND MAINTAIN IN GOOD WORKING ORDER, THE FOLLOWING ITEMS FOR USE BY THE PROJECT SUPERINTENDENT DAILY DURING THE ENTIRE DURATION OF THE PROJECT:
- A. LAPTOP WITH INTERNET ACCESS
 - B. DIGITAL CAMERA WITH DATE STAMP CAPABILITY AND WITH PROPER CABLES TO ATTACH TO LAPTOP
 - C. EMAIL ACCESS THROUGH THE LAPTOP
 - D. A PRINTER/SCANNER/MACHINE WITH PROPER CABLES TO ATTACH TO LAPTOP
 - E. CELL PHONE
3. THE GENERAL CONTRACTOR SHALL HAVE A CONSTRUCTION SUPERINTENDENT ASSIGNED TO THIS PROJECT, AND THIS SUPERINTENDENT SHALL HAVE THE NECESSARY CONSTRUCTION KNOWLEDGE AND SKILLS TO SUPERVISE THE WORK. THE SUPERINTENDENT SHALL BE REACHABLE BY PHONE DURING NORMAL BUSINESS HOURS, ONCE ASSIGNED, THE SUPERINTENDENT SHALL NOT BE REMOVED OR REPLACED WITHOUT WRITTEN APPROVAL FROM OWNER & ARCHITECT, UNLESS SPECIFICALLY REQUESTED TO BE REPLACED BY OWNER & ARCHITECT.
4. THE SUPERINTENDENT WILL BE REQUIRED TO PROVIDE PHOTOGRAPHS (VIA EMAIL USING A DIGITAL CAMERA) TO THE OWNER & ARCHITECT EACH FRIDAY BY NOON CST, SHOWING THE PROGRESS OF CONSTRUCTION. THE GENERAL CONTRACTOR IS ENCOURAGED TO TAKE PHOTOS DURING CONSTRUCTION TO ASSIST IN THE PROGRESS OF CONSTRUCTION PROGRESS. RECORD UNCOVERED CONDITIONS, RECORD CONDITION AND AMOUNTS OF VENDOR GOODS UPON RECEIPT, AND RECORD CONSTRUCTION THAT VARIES FROM THE CDS (AS PART OF THE AS-BUILTS). ALL PHOTOS WILL HAVE A DATE STAMP.

G. INSPECTIONS/OBSERVATIONS

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OVERSEE CONSTRUCTION OF THE PROJECT, CONTINUALLY INSPECTING THE WORK, MATERIALS, AND WORKMANSHIP PROVIDED BY ALL OF HIS TRADESMEN, SUBCONTRACTORS, AND SUPPLIERS. EXCELLENCE IN QUALITY OF CONSTRUCTION CAN ONLY BE ACHIEVED IF THE CONTRACTOR EMPHOSIS HIGH STANDARDS OF ACCEPTABILITY. THE GENERAL CONTRACTOR CANNOT DELEGATE HIS RESPONSIBILITY TO THE SUBCONTRACTORS, BUT MUST CONTINUALLY MONITOR THE WORK OF EACH TRADE OR THE PROJECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST AND SCHEDULE ALL AGENCIES HAVING JURISDICTION (AHJ) INSPECTIONS NECESSARY TO OBTAIN THE CERTIFICATE OF OCCUPANCY (CERTIFICATE OF COMPLIANCE). PRIOR TO THE DATE OF THE AGENCY INSPECTION, THE GENERAL CONTRACTOR SHOULD INSPECT THE PROJECT TO INSURE THAT CONSTRUCTION MEETS WITH THE REQUIREMENTS. SCHEDULING FINAL INSPECTIONS WITH AGENCY REPRESENTATIVES WHEN THE PROJECT IS NOT COMPLETE MUST BE AVOIDED. COPIES OF FINAL INSPECTIONS MUST BE PROVIDED TO OWNER & ARCHITECT AS THEY ARE AVAILABLE.
3. PRIOR TO REQUESTING THE AGENCY INSPECTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT HIS OWN PRE-SUBSTANTIAL COMPLETION INSPECTION OF THE CONSTRUCTION FOR QUALITY OF CONSTRUCTION AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.
4. THE FOLLOWING PEOPLE SHOULD BE IN ATTENDANCE FOR THE SUBSTANTIAL COMPLETION INSPECTION:
- A. GENERAL CONTRACTOR
 - B. GENERAL CONTRACTOR SUPERINTENDENT
 - C. MECHANICAL CONTRACTOR
 - D. ELECTRICAL CONTRACTOR
 - E. PLUMBING CONTRACTOR
 - F. PAINTING CONTRACTOR
 - G. FLOORING CONTRACTOR
5. ITEMS TO BE SUBMITTED AS A PRE-REQUISITE TO THE REQUEST FOR THE CERTIFICATE OF SUBSTANTIAL COMPLETION AND OWNER ARCHITECTS MUST BE COMPLETED AND CORRECTED.
- A. GENERAL CONTRACTOR'S PUNCH LISTS
 - B. HVAC TEST AND BALANCE REPORT
 - C. SPRINKLER SYSTEM TEST AND BALANCE INSPECTION REPORT
 - D. COPY OF VIDEO OF COMPLETED SEWER SYSTEM
6. THE REVIEW TEAM SHOULD PROCEED IN AN ORGANIZED MANNER THROUGHOUT THE BUILDING INSPECTING EACH SPACE OR ROOM. THE PUNCH LIST GENERATED BY THE SUBSTANTIAL COMPLETION INSPECTION TOUR IS TO BE PREPARED BY THE CONTRACTOR, ALONG WITH THE PUNCH LIST, THE ARCHITECT SHALL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
7. IMMEDIATELY AFTER RECEIPT OF THE PUNCH LIST, THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE EXPECTED TO BEGIN CORRECTION OF THE OUTSTANDING ITEMS AFTER COMPLETION OF PUNCHLIST. THE CONTRACTOR SHALL NOTIFY OWNER & ARCHITECT IN WRITING THAT FULL LIST OF ITEMS TO BE COMPLETED AND OR CORRECT IS FINALIZED.

H. RECORD CLOSE-OUT DOCUMENTS

1. THE OWNER REQUESTS THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO MAINTAIN AN ACCURATE, CURRENT SET OF RECORD DOCUMENTS (AS-BUILTS) AS CONSTRUCTION PROGRESSES, ALL PERTINENT INFORMATION RELATING TO THE PROJECT MUST BE TIMELY MAINTAINED ON THE AS-BUILTS. THE AS-BUILTS MUST BE MAINTAINED ONSITE IN THE GENERAL CONTRACTOR'S OFFICE AND WILL NOT BE USED FOR ANY OTHER PURPOSE, SINCE THE OWNER WILL OWN AND OPERATE THE FACILITY, IT IS IMPERATIVE THAT ALL PARTIES MAINTAIN ACCURATE INFORMATION REGARDING THE ACTUAL CONSTRUCTION OF THE PROJECT.
2. ALL DEVIATIONS FROM THE CONTRACT SET OF DRAWINGS MUST BE NOTED ON THE AS-BUILTS IN RED WITH CLOUDS FOR CLEAR IDENTIFICATION. THE OWNER WILL REVIEW THE AS-BUILTS FOR ACCURACY AND COMPLETENESS MONTHLY, DURING THE PAYMENT APPLICATION REVIEW PROCESS. FAILURE TO POST CHANGES TO THE PROJECT ON THE AS-BUILTS AS IDENTIFIED DURING THE ON-SITE MONTHLY REVIEW WILL BE CAUSE TO SUSPEND PAYMENT UNTIL RECTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENFORCE THE TIMELY POSTING OF AS-BUILT CHANGES WITH THE SUBCONTRACTORS.

I. FINAL CLOSE-OUT OF THE PROJECT

1. WITHIN THIRTY (30) CALENDAR DAYS AFTER THE FINAL PROJECT SUBSTANTIAL COMPLETION, THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL CLOSE-OUT DOCUMENTS AND SUBMIT TO THE OWNER FOR REVIEW. IF THE CONTRACTOR FAILS TO COMPLETE ITS REQUIREMENTS WITHIN THIS TIMELINE ABOVE, THE CONTRACTOR MAY BE SUBJECT TO ADDITIONAL ADMINISTRATION FEES.

J. CLOSE-OUT DOCUMENTS

1. THE CATEGORIES LISTED BELOW SHOULD BE SUBMITTED AT THE SAME TIME.
- A. A DISK WITH ALL PHOTOS TAKEN DURING CONSTRUCTION
 - B. CHANGE ORDERS AND ALL ADDENDA ATTACHED AND POSTED TO THE AS-BUILT DRAWINGS
 - C. AS-BUILT DRAWINGS: ONE HARD COPY TO REMAIN ON SITE AND IN PLANT TUBE; ONE ELECTRONIC COPY TO BE SENT WITH CLOSE-OUT PAPERWORK
2. MATERIALS SELECTION DATA - PROVIDE ALL APPROVED SUBMITTALS
3. OPERATION AND MAINTENANCE MANUALS (OMM) - PROVIDE OMM MANUALS BOXED AND BOUND. THIS ITEM IS OF SIGNIFICANT IMPORTANCE TO MAINTURE MAINTENANCE ACTIVITIES.
- A. ALL HVAC TEST AND BALANCE REPORTS
 - B. RELEASE OF LIEN (AIA FORM 706A), PAYMENT OF DEBT (AIA FORM 706)
4. WARRANTIES, CERTIFICATES, AFFIDAVITS
5. ALL INFORMATION INCLUDED IN THIS CATEGORY WILL BE FURNISHED IN ONE (1) COPY AND BOUND IN A STURDY THREE-RING BINDER WITH A LABEL ON THE OUTSIDE READING "GENERAL CLOSE-OUT DOCUMENTS" TO INCLUDE AN INDEX OF THE CONTENTS. ALL AS-BUILT DOCUMENTS WILL BE ORIGINAL (WITH RED LETTERING ON THE BOTTOM OF THE FORM) AND NOTARIZED. IF THE ELECTRONIC VERSION IS USED A COPY WITH ORIGINAL SIGNATURES WILL BE SUBMITTED. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR WILL HAVE SEPARATE TABS IDENTIFYING EACH BY NAME. THE GENERAL CONTRACTOR WILL LIST EACH SUBCONTRACTOR ALPHABETICALLY AND WILL CHECK TO INSURE THAT A "RELEASE OF LIEN" - AIA FORM 706A AND A "PAYMENT OF DEBT-AIA FORM 706B IS INCLUDED FOR EACH AND EACH SUBCONTRACTOR.
6. AN ANNOTATED COPY OF THE SUBSTANTIAL COMPLETION PUNCH LIST INDICATING ACTION TAKEN ON EACH ITEM.
7. C. WARRANTIES, CERTIFICATES AND AFFIDAVITS SHALL BE INCLUDED FOR ANY EQUIPMENT, MATERIALS OR SYSTEMS COMBINED WITH ALL OF THE ABOVE INFORMATION AND PLACED BEHIND THE TAB OF THE CONTRACTOR THAT ISSUED IT.

DIVISION 4 - MASONRY

04 0500 - MASONRY RESTORATION & TUCKPOINTING

A. REFERENCES

- 1. AMERICAN CONCRETE INSTITUTE (ACI).
- 2. ACI 503.1-02 - SPECIFICATION FOR MASONRY FOR MASONRY STRUCTURES.
- 3. ASTM INTERNATIONAL (ASTM):
 - A. ASTM C 144 - STANDARD SPECIFICATION FOR AGGREGATE FOR MASONRY MORTAR.
 - J. ASTM C 150 - STANDARD SPECIFICATION SPECIFICATION FOR PORTLAND CEMENT.
 - D. ASTM C 207 - STANDARD SPECIFICATION FOR HYDRATED LIME FOR MASONRY PURPOSES.
 - D. ASTM C 286 - STANDARD SPECIFICATION FOR AIR-ENTRAINING ADMIXTURES FOR CONCRETE.
 - A. ASTM C 270 - STANDARD SPECIFICATION FOR PRE-BLENDED DRY MORTAR MASONRY.
 - F. ASTM C 595 - STANDARD SPECIFICATION FOR BLENDED HYDRAULIC CEMENTS.
 - G. ASTM C 780 - STANDARD TEST METHOD FOR PRECONSTRUCTION AND CONSTRUCTION EVALUATION OF MORTARS FOR PLAIN AND REINFORCED CONCRETE.
 - H. ASTM C 979 - STANDARD SPECIFICATION FOR PIGMENTS FOR INTEGRALLY COLORED CONCRETE.
 - I. ASTM C 1093 - STANDARD PRACTICE FOR ACCREDITATION OF TESTING AGENCIES FOR UNIT MASONRY.
 - J. ASTM C 1157 - STANDARD PERFORMANCE SPECIFICATION FOR HYDRAULIC CEMENT.
 - K. ASTM C 1314 - STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF MASONRY PRISMS.
 - L. ASTM C 1598 - STANDARD GUIDE FOR QUALITY ASSURANCE OF MORTARS.
 - M. ASTM C 1714 - STANDARD SPECIFICATION FOR PRE-BLENDED DRY MORTAR MIX FOR UNIT MASONRY.
 - N. ASTM C 329 - SPECIFICATION FOR MINIMUM REQUIREMENTS FOR AGGREGATES ENGAGED IN THE TESTING AND INSPECTION OF MATERIALS USED IN CONSTRUCTION.
 - O. ATTACHMENT TO BUILDING CONSTRUCTION.
 - P. STRUCTURAL PERFORMANCE - RALINGS, INCLUDING ATTACHMENT TO BUILDING CONSTRUCTION, SHALL WITHSTAND THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED:
 - 1. IMAC - INTERNATIONAL MASONRY INDUSTRY ALL-WEATHER COUNCIL (IMAC); RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR COLD WEATHER MASONRY CONSTRUCTION.
 - 2. IMIAC - INTERNATIONAL MASONRY INDUSTRY ALL-WEATHER COUNCIL (IMAC); RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR HOT WEATHER MASONRY CONSTRUCTION.
 - 3. THE BRICK INDUSTRY ASSOCIATION (BIA).
 - 4. ASTM C 1157 - STANDARD SPECIFICATION FOR MORTAR.
 - 5. BIA TECHNICAL NOTE 20 - CLEANING BRICK.

B. SUBMITTALS

- 1. PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA.
- 2. QUALITY ASSURANCE/CONTROL, SUBMITTALS:
 - A. SUBMIT MANUFACTURER'S CERTIFICATE THAT PRODUCTS MEET OR EXCEED SPECIFIED REQUIREMENTS
 - B. SUBMIT TEST RESULTS PREPARED BY A QUALIFIED INDEPENDENT TESTING LABORATORY.

C. QUALITY ASSURANCE

- 1. MANUFACTURER QUALIFICATIONS: FIRM SPECIALIZING IN MANUFACTURE OF MASONRY INSTALLATION MATERIALS, INCLUDING MATERIALS, WITH MINIMUM 10 YEARS EXPERIENCE.
- 2. QUALITY ASSURANCE/CONTROL, TESTING: TEST REPORTS PREPARED BY A QUALIFIED INDEPENDENT LABORATORY INDICATING COMPLIANCE WITH THE FOLLOWING PERFORMANCE REQUIREMENTS:
 - 3. PRE-INSTALLATION MEETING: AT LEAST ONE WEEKS PRIOR TO COMMENCING MASONRY WORK, CONDUCT A MEETING AT THE PROJECT SITE TO DISCUSS CONTRACT REQUIREMENTS AND JOB CONDITIONS, REQUIRE THE ATTENDANCE OF MASONRY CONTRACTOR, AND INSTALLERS OF RELATED MATERIALS, NOTIFY ARCHITECT IN ADVANCE OF MEETING REVIEW DETAILING AND SEQUENCE OF WORK TO BE PERFORMED.
- 4. THE BRICK INDUSTRY ASSOCIATION (BIA) TECHNICAL NOTE 20 - CLEANING BRICK.

D. PROJECT CONDITIONS

- 1. MAINTAIN ENVIRONMENTAL CONDITIONS AND PROTECT WORK DURING AND AFTER INSTALLATION TO COMPLY WITH REQUIREMENTS STANDARDS AND MANUFACTURER'S PRINTED RECOMMENDATIONS.
- 2. DO NOT BUILD OR APPLY MORTAR PRODUCTS ON FROZEN SUBSTRATES.
- 3. REMOVE AND REPLACE MORTAR DAMAGED BY FROST OR BY FREEZING CONDITIONS.
- 4. VENT TEMPORARY HEATERS TO EXTERIOR TO PREVENT DAMAGE TO MASONRY WORK FROM CARBON DIOXIDE BUILD-UP.

E. PRODUCTS

- 1. BASIC OF DESIGN: SPEC MIX#8, INC. WEB: WWW.SPECMIX.COM/WWW.SPECMIX.COM
- 2. REQUESTS FOR SUBSTITUTIONS WILL BE CONSIDERED IN ACCORDANCE WITH PROVISIONS OF SUBSTITUTION PROCEDURES.
- 3. OBTAIN PRODUCTS FROM A SINGLE MANUFACTURER.
- 4. DESIGN AND PERFORMANCE REQUIREMENTS: PROVIDE MORTAR MIXES THAT HAVE BEEN SELECTED, MANUFACTURED, MIXED AND INSTALLED TO COMPLY WITH THE FOLLOWING:
 - A. ASTM C 270
 - B. ASTM C 1714
 - C. MORTAR
 - D. ASTM C 270 FOR TUCKPOINT MORTAR, SPEC MIX TUCKPOINT MORTAR, APPLICABLE STANDARDS: ASTM C 144, ASTM C 150, ASTM C 207, ASTM C 270 FOR TUCKPOINT MORTAR, ASTM C 595, ASTM C 780, ASTM C 1093, ASTM C 1157, ASTM C 1314, ASTM C 1598, ASTM C 1714, ACI 503.1, IMAC.

F. EXECUTION

- EXAMINE SURFACES TO RECEIVE MASONRY WORK AND CONDITIONS UNDER WHICH MASONRY WILL BE INSTALLED. DO NOT PROCEED WITH MASONRY WORK UNTIL SURFACES AND CONDITIONS COMPLY WITH REQUIREMENTS INDICATED IN REFERENCED MASONRY INSTALLATION STANDARD AND MANUFACTURER'S PRINTED INSTRUCTIONS.

- 1. REMOVAL OF EXISTING MORTAR
 - A. REMOVAL OF EXISTING MORTAR: CUT OUT EXISTING MORTAR JOINTS (BOTH BED AND HEAD JOINTS) AND REMOVE BY MEANS OF A TOOTHING CHISEL OR A SPECIAL POINTERS GRINDER, TO A REMAIN DEPTH OF TO 3/4-INCH (19 MM), OR 1/4-INCH (6 MM) DEEPER TO BE REPLACED BY NEW MORTAR.
 - 1. TAKE CARE TO NOT DAMAGE EDGES OF EXISTING MASONRY UNITS TO UNIFORM.
 - 2. REMOVE DUST AND DEBRIS FROM THE JOINTS BY BRUSHING, BLOWING WITH AIR OR RINSING WITH WATER, DO NOT RINSE WHEN TEMPERATURE IS BELOW FREEZING.
2. REPLACEMENT OF MASONRY UNITS
- A. REMOVE DAMAGED, SPALLED, LOOSE OR DETERIORATED MASONRY UNITS. CAREFULLY REMOVE ENTIRE UNITS FROM JOINT TO JOINT, WITHOUT DAMAGING SURROUNDING MASONRY, IN A MANNER THAT PERMITS REPLACEMENT WITH FULL SIZE UNITS.
 - B. SUPPORT AND PROTECT REMAINING MASONRY THAT SURROUNDS REMOVAL AREA, MAINTAIN FLASHING, REINFORCEMENT, LINTELS, AND ADJOINING CONSTRUCTION IN AN UNDAUNTED CONDITION.
 - C. CLEAN MASONRY UNITS SURROUNDING REMOVAL AREAS BY REMOVING MORTAR, DUST, AND LOOSE PARTICLES IN PREPARATION FOR REPLACEMENT.
 - D. REPLACE REMOVED UNITS WITH SALVAGED OR NEW UNITS THAT MATCH EXISTING SIZE AND TEXTURE. DO NOT USE BROKEN UNITS UNLESS THEY CAN BE CUT TO USABLE SIZE.
 - E. INSTALL REPLACEMENT UNITS INTO BONDING AND COURSEING PATTERN OF EXISTING UNITS. IF CUTTING IS REQUIRED, USE A MOTOR-DRIVEN SAW DESIGNED TO CUT MASONRY WITH CLEAN, SHARP, UNCHIPPED EDGES. UNITS MUST BE TOOTHED IN OR COURSEING SHALL MATCH SURROUNDING IN PLACE WORK.
 - F. MAINTAIN JOINT WIDTH FOR REPLACEMENT UNITS TO MATCH EXISTING JOINTS.
 - G. LAY REPLACEMENT UNITS WITH COMPLETELY FILLED BED, HEAD, AND COLLAR JOINTS. BUTTER ENDS WITH SUFFICIENT MORTAR TO FILL HEAD JOINTS AND SHOVE INTO PLACE.
 - C. AS RECOMMENDED BY MANUFACTURER.
 - D. RETEMPERING.
 - E. RETEMPER MORTAR AS RECOMMENDED BY MANUFACTURER

G. INSTALLATION OF TUCK POINTING MORTAR

- 1. INSTALL MORTAR IN ACCORDANCE WITH ADHASE 530.1.
- 2. IMMEDIATELY PRIOR TO APPLICATION OF MORTAR, DAMPEN JOINTS TO BE TUCK POINTED. PRIOR TO APPLICATION OF POINTING MORTAR, ALLOW MASONRY UNITS TO ABSORB SURFACE WATER.
- 3. THENTLY PACK MORTAR INTO JOINTS IN THIN LAYERS, APPROXIMATELY 1/4-INCH (6 MM) THICK MAXIMUM.
- 4. ALLOW LAYER TO BECOME "THUMBPRINT HARD" BEFORE APPLYING NEXT LAYER.
- 5. PACK FINAL LAYER FLUSH WITH SURFACES OF MASONRY UNITS, WHEN MORTAR BECOMES "THUMBPRINT HARD", TOOJ JOINTS.
- 6. MARLINE GRACKING WITHIN THE MORTAR OR MORTAR SEPARATION AT EDGE OF A JOINT IS UNACCEPTABLE. COMPLETELY REMOVE SUCH MORTAR AND REPOINT.
- 7. TOOL JOINTS IN PATCH WORK WITH A JOINTING TOOL, TO MATCH THE EXISTING SURROUNDING JOINTS.
- B. CLEANING
- A. COMPLY WITH CLEANING PROCEDURES AND RECOMMENDATIONS OF THE MANUFACTURERS OF BOTH THE CLEANING SOLUTIONS AND THE UNIT MASONRY.
- B. REMOVE EFFLORESCENCE FROM MASONRY WALL EXPOSED IN THE FINISHED WORK IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION, NCM TA BULLETIN #8-3A AND/OR BIA TECHNICAL NOTE 20 - CLEANING BRICK.
- C. REMOVE DIRT OR STAINS FROM MASONRY WALLS EXPOSED IN THE FINISHED WORK IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, NCM TA BULLETIN #8-2A AND/OR BIA TECHNICAL, NOTE 20 - CLEANING BRICK.
- D. COMPLY WITH APPLICABLE ENVIRONMENTAL LAWS AND RESTRACTIONS.
- AFTER MORTAR HAS FULLY HARDENED, THOROUGHLY CLEAN EXPOSED MASONRY SURFACES OF EXCESS MORTAR AND FOREIGN MATTER, USE WOOD SCRAPERS, STIFF-NOON OR -FIBER BRUSHES, AND CLEAN WATER, SPRAY APPLIED AT LOW PRESSURE.
- 1. DO NOT USE METAL SCRAPERS OR BRUSHES.
- 2. DO NOT USE ACIDIC OR ALKALINE CLEANERS.

H. PROTECTION

- 1. PROTECTION: PROTECT NEWLY POINTED JOINTS FROM WEATHER AND ELEMENTS AS RECOMMENDED BY MANUFACTURER AND INDUSTRY STANDARDS, UNTIL POINTED JOINTS ARE SUFFICIENTLY HARD ENOUGH TO PREVENT DAMAGE.
- 2. PROTECT INSTALLED WORK FROM DAMAGE DUE TO SUBSEQUENT CONSTRUCTION ACTIVITY ON THE SITE.

DIVISION 5 - METALS

05 0215 - PIPE AND TUBE RAILINGS

- A. SUBMITTALS: PRODUCT DATA AND SHOP DRAWINGS WITH PLANS ELEVATIONS AND SECTIONS INDICATING MEMBER SIZES AND LAYOUT, VERTICAL AND HORIZONTAL DIMENSIONS, EDGE CONDITIONS, AND CONNECTION DETAILS. INCLUDE DETAILS OF EQUIPMENT ASSEMBLY, INDICATE DIMENSIONS, WEIGHTS, LOADS, REQUIRED CLEARANCES, METHOD OF FIELD CONNECTIONS, COMPONENTS, AND LOCATION AND SIZE OF EACH FIELD CONNECTION. SAMPLES FOR INITIAL SELECTION FOR EACH TYPE OF EXPOSED FINISH.
- 1. DESIGNATED DESIGN SUBMITTAL: FOR HANDRAIL AND GUARDRAIL SYSTEMS, INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

- B. DESIGN: METAL TUBE RAILINGS SHALL BE DESIGNED BY FABRICATOR TO SUPPORT CODE-REQUIRED LOADS AND TO MATCH THE CONFIGURATIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SEE DRAWINGS FOR REQUIRED RAILING ELEVATIONS.

C. FIELD CONDITIONS

- 1. FIELD MEASUREMENTS: VERIFY ACTUAL LOCATIONS OF WALLS AND OTHER CONSTRUCTION CONTIGUOUS WITH METAL FABRICATIONS BY FIELD MEASUREMENTS BEFORE FABRICATION.

D. PERFORMANCE REQUIREMENTS

- 1. A. DELEGATED DESIGN: ENGAGE A QUALIFIED PROFESSIONAL ENGINEER TO DESIGN RAILINGS, INCLUDING ATTACHMENT TO BUILDING CONSTRUCTION.
- B. STRUCTURAL PERFORMANCE: RAILINGS, INCLUDING ATTACHMENT TO BUILDING CONSTRUCTION, SHALL WITHSTAND THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED:
- 2. HANDRAILS AND TOP RAILS OF GUARDS:
 - A. UNIFORM LOAD OF 50 LBF/FT (0.75 KN/M) APPLIED IN ANY DIRECTION.
 - B. CONCENTRATED LOAD OF 200 LBF (0.88 KN) APPLIED IN ANY DIRECTION.
 - C. UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

E. FASTENERS

- 1. FASTENERS FOR ANCHORING RAILINGS TO OTHER CONSTRUCTION: SELECT FASTENERS OF TYPE, GRADE, AND CLASS REQUIRED TO PRODUCE CONNECTIONS SUITABLE FOR ANCHORING RAILINGS TO OTHER TYPES OF CONSTRUCTION. VERIFY FASTENERS ARE AVAILABLE AND CAPABLE OF WITHSTANDING DESIGN LOADS.

F. MISCELLANEOUS MATERIALS

- 1. METAL SURFACES: GENERAL: PROVIDE MATERIALS WITH SMOOTH SURFACES, WITHOUT SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, STAINS, DISCOLORATIONS, OR BLEMISHES.
- 2. BRACKETS, FLANGES, AND ANCHORS: CAST OR FORMED METAL OF SAME TYPE AND FINISH AS SUPPORTED RAILS UNLESS OTHERWISE INDICATED.
- 3. PIPE: ASTM A 55A 3/4" TYPE F OR TYPE S, GRADE A, STANDARD WEIGHT (SCHEDULE 40), UNLESS ANOTHER GRADE AND WEIGHT ARE REQUIRED BY STRUCTURAL LOADS.

G. FABRICATION

- 1. GENERAL: FABRICATE RAILINGS TO COMPLY WITH REQUIREMENTS INDICATED FOR DESIGN, DIMENSIONS, MEMBER SIZES AND SPACING, METAL TYPES, FINISH, AND ANCHORS, BUT NOT LESS THAN THAT REQUIRED TO SUPPORT STRUCTURAL LOADS.
- 2. CUT, DRILL, AND PUNCH ALUMINUM CLEANLY AND ACCURATELY. REMOVE BURRS AND EASE EDGES TO A RADIUS OF APPROXIMATELY 1/16 INCH (1.6 MM), UNLESS OTHERWISE INDICATED. REMOVE SHARP OR ROUGH AREAS ON EXPOSED SURFACES.
- 3. FABRICATE CONNECTIONS THAT ARE EXPOSED TO WEATHER IN A MANNER THAT EXCLUDES WATER. PROVIDE WEEP HOLES WHERE WATER MAY ACCUMULATE.
- 4. WELDED CONNECTIONS: USE FULLY WELDED JOINTS FOR PERMANENTLY CONNECTING RAILING COMPONENTS. COMPLY WITH REQUIREMENTS FOR WELDED CONNECTIONS IN "FABRICATION" ARTICLE WHETHER WELDING IS PERFORMED IN THE SHOP OR IN THE FIELD.

H. FINISH

- 1. FOR NONGALVANIZED STEEL RAILINGS: PROVIDE NONGALVANIZED FERROUS METAL FITTINGS, BRACKETS, FASTENERS, AND SLEEVES; HOWEVER, GALVANIZE ANCHORS TO BE EMBEDDED IN OTHER CONCRETE OR MASONRY.
- 2. PREPARATION FOR SHOP PRIMING: PREPARE UNCOATED FERROUS/METAL SURFACES TO COMPLY WITH SSPC-SP 3 "POWER TOOL CLEANING."
- 3. PRIMER APPLICATION: APPLY SHOP PRIMER TO PREPARED SURFACES OF RAILINGS UNLESS OTHERWISE INDICATED. COMPLY WITH REQUIREMENTS IN SSPC-PA 1 "SHOP FIELD AND MAINTENANCE PAINTING OF STEEL" FOR SHOP PAINTING. PRIMER NEED NOT BE APPLIED TO SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY.

I. INSTALLATION

- 1. SUPPLY COMPONENTS REQUIRED FOR ANCHORAGE FABRICATED FROM SAME MATERIAL AND FINISH AS FABRICATION UNLESS NOTED OTHERWISE. SHIM AND LEVEL FABRICATIONS AS NECESSARY. COAT CONCEALED SURFACES OF FABRICATIONS IN CONTACT WITH CONCRETE, GROUT, MASONRY, WOOD, OR DISSIMILAR METALS WITH BITUMINOUS PAINT.
- 2. FIT EXPOSED CONNECTIONS TOGETHER TO FORM TIGHT, HAIRLINE JOINTS.
- 3. PERFORM CUTTING, DRILLING, AND FITTING REQUIRED FOR INSTALLING RAILINGS. SET RAILINGS ACCURATELY IN LOCATION, ALIGNMENT, AND ELEVATION, MEASURED FROM ESTABLISHED LINES AND LEVELS AND FREE OF RACK. DO NOT WELD, CUT, OR GRABDE SURFACES OF RAILING COMPONENTS THAT ARE COATED OR FINISHED AFTER FABRICATION AND THAT ARE INTENDED FOR FIELD CONNECTION BY MECHANICAL OR OTHER MEANS WITHOUT FURTHER CUTTING OR FITTING.
- 4. SET POSTS FLUSH WITH A TOLERANCE OF 1/16 INCH IN 3 FEET.
- 5. CONTROL OF CORROSION: PREVENT GALVANIC ACTION AND OTHER FORMS OF CORROSION BY INSULATING METALS AND OTHER MATERIALS FROM DIRECT CONTACT WITH INCOMPATIBLE MATERIALS.
- 6. ADJUST RAILS BEFORE ANCHORING TO ENSURE MATCHING ALIGNMENT AT ABUTTING JOINTS.
- 7. FASTENING TO IN-PLACE CONSTRUCTION: USE ANCHORAGE DEVICES AND FASTENERS WHERE NECESSARY FOR SECURING RAILINGS AND FOR PROPERLY TRANSFERRING LOADS TO IN-PLACE CONSTRUCTION.
- 8. PROTECT FINISHES OF RAILINGS FROM DAMAGE DURING CONSTRUCTION PERIOD WITH TEMPORARY PROTECTIVE COVERINGS APPROVED BY RAILING MANUFACTURER. REMOVE PROTECTIVE COVERINGS AT END OF SUBSTANTIAL COMPLETION.

05 0600 - STRUCTURAL METAL STUDS AND TRACK

THIS SECTION IS A DELEGATED DESIGN SUBMITTAL. CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER LICENSED IN THE JURISDICTION WHERE THIS PROJECT IS LOCATED. ALL FEES SUBMITTED FOR THIS SERVICE WILL BE PART OF BASE CONTRACT.

A. SUBMITTALS: PRODUCT DATA: MANUFACTURER'S DATA SHEETS ON EACH PRODUCT TO BE USED, INCLUDING:

- 1. SHOWING PLANS, SECTIONS, ELEVATIONS, LAYOUTS, PROFILES AND PRODUCT COMPONENT LOCATIONS, INCLUDING ANCHORAGE, BRACING, FASTENERS, ACCESSORIES AND FINISHES.
 - 2. INDICATE COMPONENT DETAILS, FRAMED OPENINGS, BEARING, ANCHORAGE, LOADING, WELDS, TYPE AND LOCATION OF FASTENERS, AND ACCESSORIES.
 - 3. INDICATE METHOD FOR SECURING STUDS AND OTHER COMPONENTS TO TRACKS AND FOR FRAMING CONNECTIONS.
 - 4. SUBMIT CALCULATIONS FOR LOADINGS AND STRESSES UNDER PROFESSIONAL ENGINEER'S SEAL REGISTERED IN THE STATE OF THE PROJECT.
- B. QUALITY STANDARD:
- 1. MANUFACTURER QUALIFICATIONS: COMPANY SPECIALIZING IN MANUFACTURING PRODUCTS SPECIFIED IN THIS SECTION WITH MINIMUM FIVE YEARS' DOCUMENTED EXPERIENCE.
 - 2. INSTALLER QUALIFICATIONS: COMPANY SPECIALIZING IN PERFORMING WORK OF THIS SECTION WITH MINIMUM 3 YEARS' DOCUMENTED EXPERIENCE.
 - 3. DESIGN STRUCTURAL ELEMENTS UNDER DIRECT SUPERVISION OF PROFESSIONAL ENGINEER EXPERIENCED IN DESIGN OF THIS WORK AND REGISTERED IN THE STATE OF THE PROJECT.
- F. INSTALLATION:
- 1. FOLLOW MANUFACTURER INSTALLATION GUIDELINES. INSTALLATION SHALL BE COMPLIANT WITH APPLICABLE BUILDING CODES.

DIVISION 6 - WOOD AND PLASTICS

06 1000 - ROUGH CARPENTRY

- 1. PROVIDE SUFFICIENT FIRE RETARDANT TREATED WOOD BLOCKING AT ALL STUDS FOR SECURING OF WALL & CEILING ITEMS, WHETHER FURNISHED BY OWNER OR CONTRACTOR.
- 2. CONCEALED WOOD IS TO BE FIRE RETARDANT TREATED UNLESS NOTED OTHERWISE.
- 3. PRESERVATIVE TREATED LUMBER IS REQUIRED FOR ALL ITEMS TO REMAIN IN CONTACT WITH CONCRETE OR MASONRY TO CONFORM TO AWPA STANDARD 5.
- 4. EXTERIOR WOOD SHALL BE CD GRADE SPRUCE OR YELLOW PINE, ALL PLY-WOOD TO BE FIRE RATED WHERE WALLS ARE INDICATED AS RATED CONSTRUCTION.
- 5. BLOCKING SHALL BE CLOSELY FITTED, ACCURATELY SET TO REQUIRED LEVELS & LEVELS, SECURELY CONNECTED & FIRMLY FIXED IN PLACE. USING NAILS, SCREWS, &/OR BOLTS AS INDICATED OR REQUIRED BY GOOD PRACTICE AND MANUFACTURER'S RECOMMENDATIONS.

06 2000 - FINISH CARPENTRY

- 1. SUBMITTALS: SAMPLES OF FINISH MATERIALS, CATALOG CUTS OF HARDWARE, AND SHOP DRAWINGS INCLUDING DIMENSIONED PLANS, ELEVATIONS, AND SECTIONS.

- B. QUALITY STANDARD: ARCHITECTURAL WOODWORK INSTITUTES' "ARCHITECTURAL WOODWORK QUALITY STANDARDS"

C. MATERIALS

- 1. SOFTWOOD LUMBER: MAXIMUM MOISTURE CONTENT OF 6 PERCENT; WITH VERTICAL GRAIN, OF QUALITY SUITABLE FOR SCHEDULED FINISH.
 - 2. HARDWOOD LUMBER: MAXIMUM MOISTURE CONTENT OF 6 PERCENT; WITH VERTICAL GRAIN, OF QUALITY SUITABLE FOR SCHEDULED FINISH.
 - 3. SHEET MATERIALS: SOFTWOOD PLYWOOD, EXPOSED TO VIEW: FACE SPECIES AS NOTICATED, PLAN SAWN, MEDIUM DENSITY FIBERBOARD, CORE: 1/2" GRADE A-3, GLUE TYPE AS RECOMMENDED FOR APPLICATION.
- D. INTERIOR WOODWORK:
- 1. COMPLETE FABRICATION BEFORE SHIPPING TO PROJECT SITE TO MAXIMUM EXTENT FEASIBLE. DISASSEMBLE ONLY AS NEEDED FOR SHIPPING AND INSTALLING, WHERE NECESSARY FOR FITTING AT PROJECT SITE, PROVIDE FOR SCABBING AND TRIMMING.
 - 2. BACKSOT AND GROOVE BACKS OF FLAT MEMBERS, KEF BACKS OF OTHER WIDE, FLAT MEMBERS, EXCEPT WHERE ENDS WILL BE EXPOSED IN FINISHED WORK.

F. INSTALLATION

- 1. DO NOT INSTALL INSULATION ADHESIVES WHEN TEMPERATURE OR WEATHER CONDITIONS ARE DETRIMENTAL TO SUCCESSFUL INSTALLATION.
- 2. INSTALL INSULATION IN AREAS AND IN THICKNESSES INDICATED OR REQUIRED TO PRODUCE R-VALUES WHERE INDICATED. CUT AND FIT TIGHTLY AROUND OBSTRUCTIONS AND FILL VOIDS WITH INSULATION.
- 3. INSTALL AN EXTERIOR WALL AND CEILING SPACES WITHOUT GAPS OR VOIDS. DO NOT COMPRESS INSULATION.
- 4. TRIM INSULATION NEATLY TO FIT SPACES. INSULATE MISCELLANEOUS GAPS AND VOIDS.
- 5. EXTEND VAPOR RETARDER TO EXTREMITIES OF AREAS TO BE PROTECTED FROM VAPOR TRANSMISSION. SECURE IN PLACE WITH ADHESIVES OR OTHER ANCHORAGE AS RECOMMENDED BY MANUFACTURER. LOCATE SEAMS AT FLOORING JOINTS, OVERLAP WITH SEALANT, AND SEAL JOINTS. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 6. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 7. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 8. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 9. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 10. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 11. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.
- 12. DO NOT PERMIT INSULATION TO BE DAMAGED PRIOR TO ITS CONSUMMATION.

06 4000 - ARCHITECTURAL WOOD CASEWORK

- A. SUBMITTALS: SAMPLES OF FINISH MATERIALS, CATALOG CUTS OF HARDWARE, AND SHOP DRAWINGS INCLUDING DIMENSIONED PLANS, ELEVATIONS, AND SECTIONS. INDICATE COMPONENT PROFILES, FASTENING METHODS, JOINTS, METALS, AND ACCESSORIES.

- B. QUALITY STANDARD: ARCHITECTURAL WOODWORK INSTITUTES' "ARCHITECTURAL WOODWORK QUALITY STANDARDS"

C. QUALITY ASSURANCE

- 1. FABRICATOR QUALIFICATIONS: COMPANY SPECIALIZING IN FABRICATING THE PRODUCTS SPECIFIED IN THIS SECTION WITH MINIMUM FIVE YEARS OF DOCUMENTED EXPERIENCE.

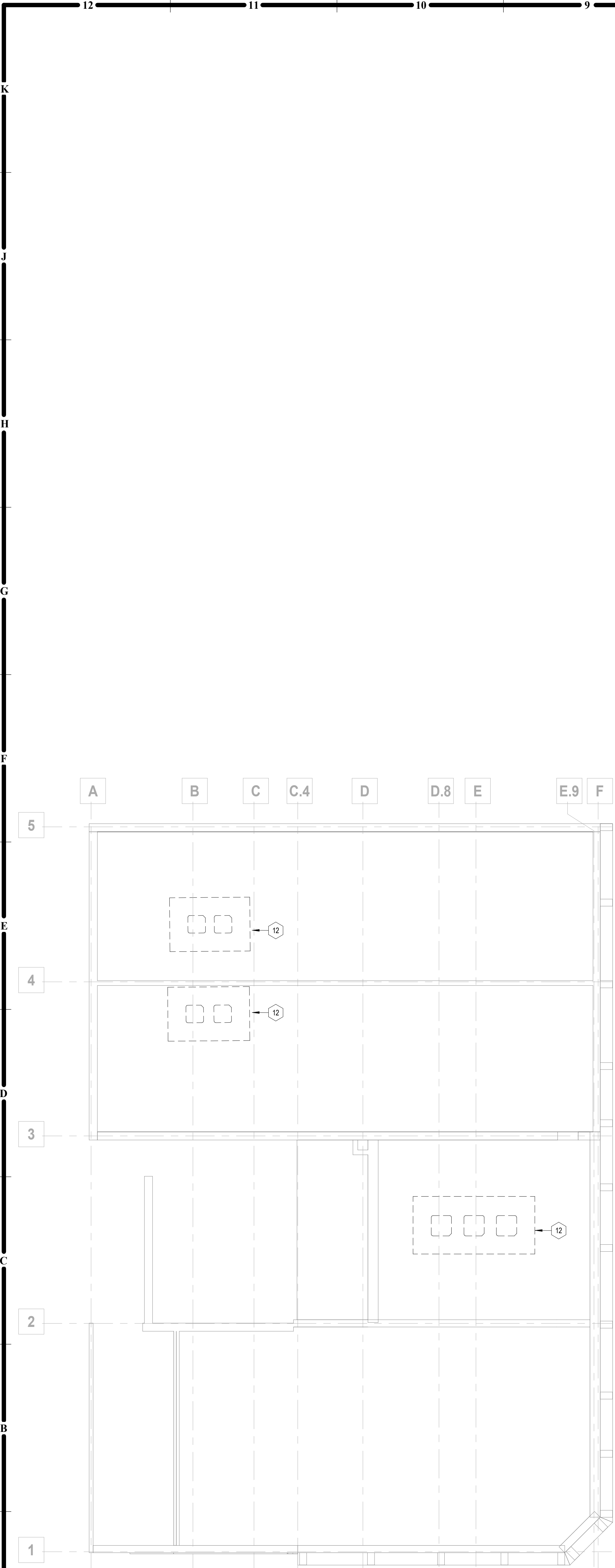
D. CABINETS

- 1. QUALITY STANDARD: CUSTOM GRADE, IN ACCORDANCE WITH AIA/MACWI (AWS) OR AIA/MACWI (NAWS), UNFINISHED OR FINISHED, AS SPECIFIED OR AS RECOMMENDED BY MANUFACTURER.
- 2. WOOD VENEER FACED CABINET, CONCEALED SURFACES: MANUFACTURER'S OPTION.
- 3. PLASTIC LAMINATE FACED CABINETS: CUSTOM GRADE.

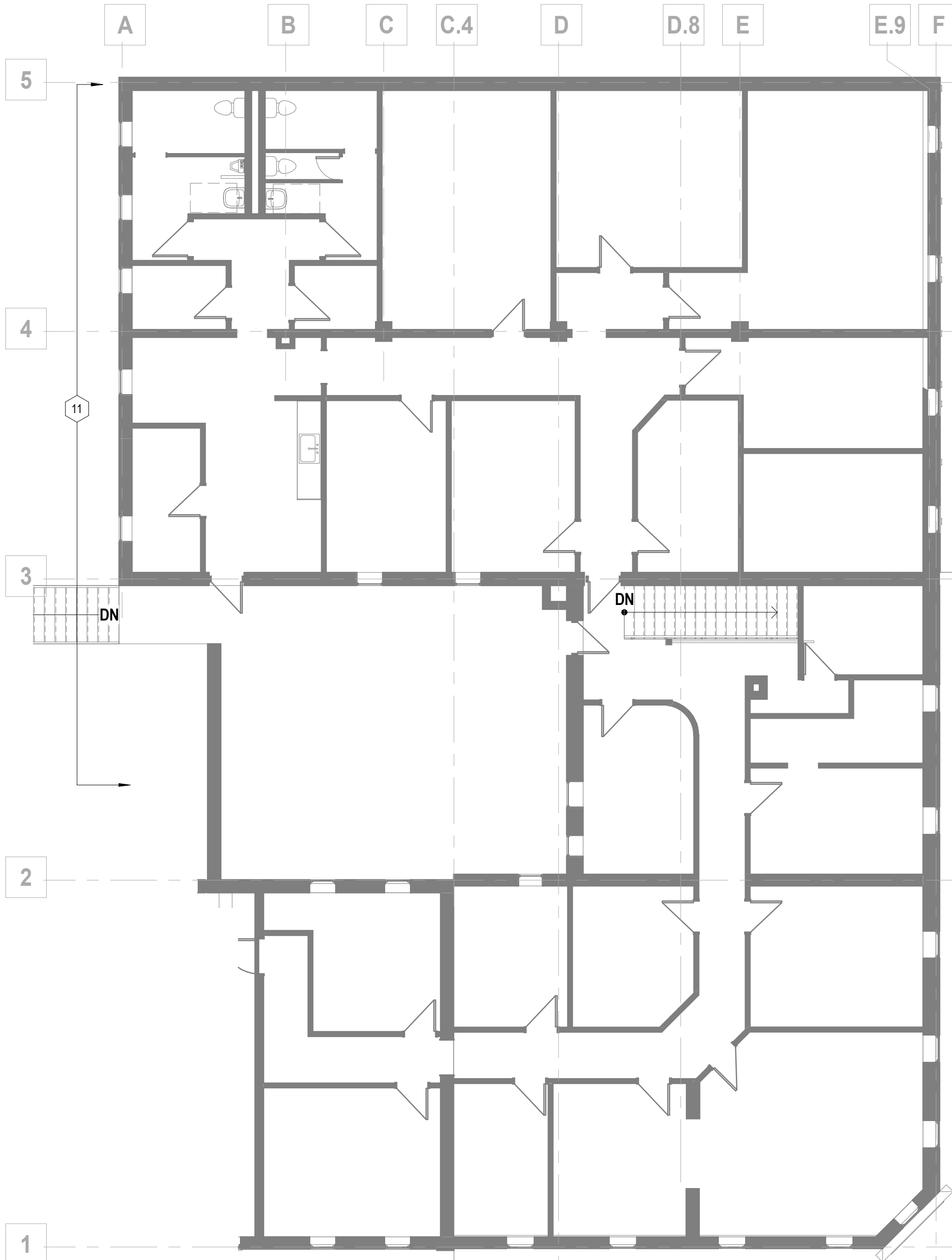
E. MATERIALS (ACCESSORIES) / HARDWARE

- 1. LAMINATES AS NOTICATED IN SCHEDULES: COMPLY WITH M-1.
- 2. ADHESIVE: STANDARD ADHESIVE.
- 3. FASTENERS: SIZE AND TYPE TO SUIT APPLICATION.
- 4. BOLTS, NUTS, WASHERS, LAGS, PINS AND SCREWS: GALVANNEAL OR CHROME-PLATED FINISH IN CONCEALED LOCATIONS.
- 5. CONCEALED JOINT FASTENERS: TYPICALLY 1/4" DIA. GALVANNEAL

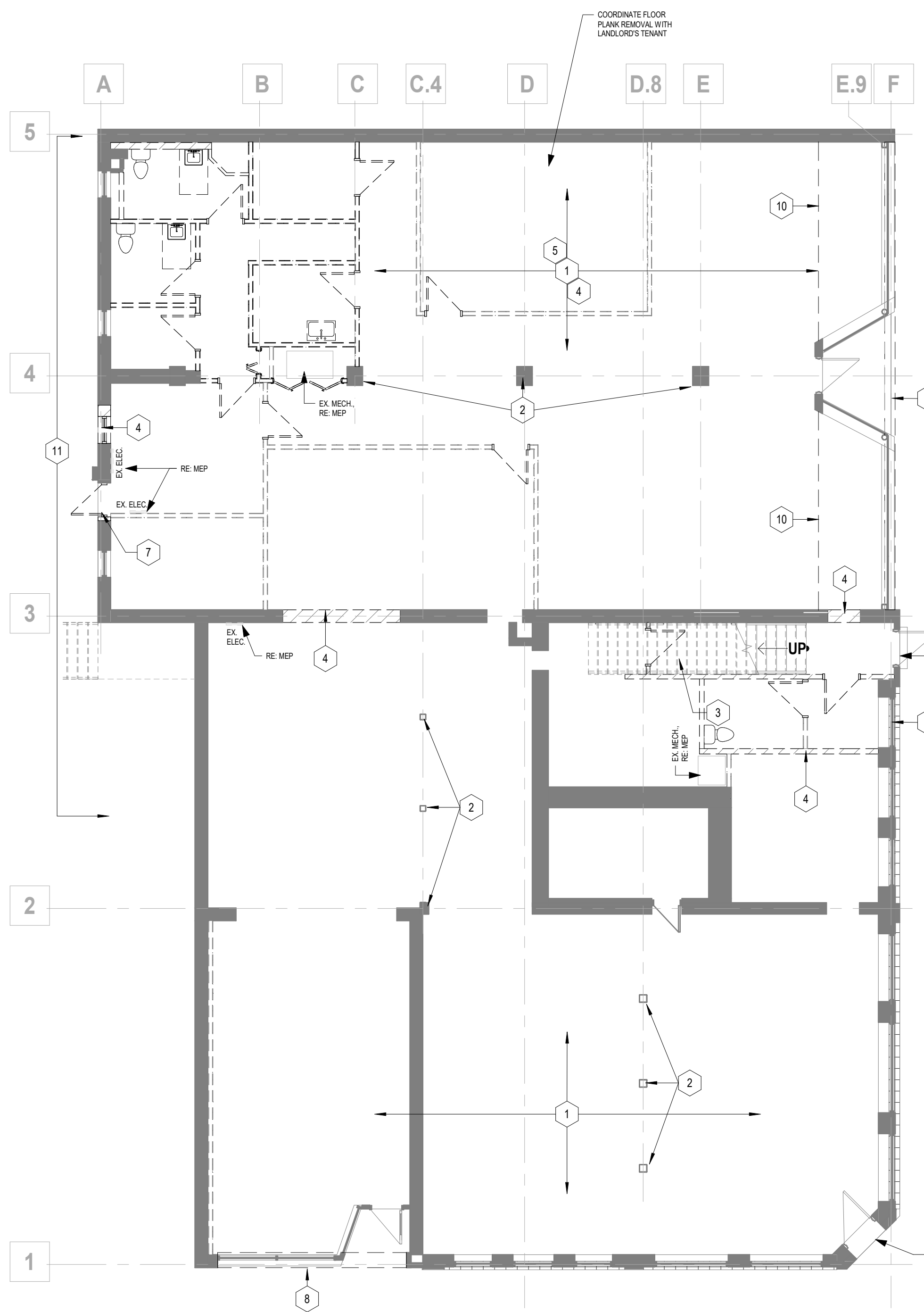
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A12 ROOF DEMO PLAN
1/8" = 1'-0"



A8 2ND FLOOR DEMO PLAN
1/8" = 1'-0"



A4 1ST FLOOR DEMO PLAN
1/8" = 1'-0"

GEN. DEMO NOTES

1. CONTRACTOR TO VISIT PROJECT SITE AND BUILDING, PRIOR TO BID.
2. BUILDING AND SITE TO REMAIN SECURE DURING DEMOLITION AND CONSTRUCTION.
3. PROTECT ALL ITEMS TO REMAIN (WALLS, PLUMBING FIXTURES, PIPING, HVAC UNITS, COLUMNS, ETC.).
4. CARE IS TO BE EXERCISED IN THE DEMOLITION OPERATIONS. EXISTING SURFACES TO REMAIN SHALL BE PROTECTED. ANY DAMAGE INCURRED AS A RESULT OF DEMOLITION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BEAR THE COST OF REPAIRING SUCH DAMAGE.
5. ALL OPENINGS IN WALLS AND ROOFS RESULTING FROM EQUIPMENT AND/OR PIPE REMOVAL SHALL BE SEALED WEATHERTIGHT. ALL CONDITIONS SHALL BE LEFT SAFE AND HAZARD FREE.
6. CONTRACTOR TO REPAIR ANY AREAS DAMAGED DURING DEMOLITION.
7. CONTRACTOR TO COORDINATE DEMOLITION OPENINGS WITH NEW PLANS AND ELEVATIONS.
8. ALL MEP SYSTEMS TO BE REMOVED TO BE FULLY COORDINATED WITH EXISTING CONDITIONS. ALL SYSTEMS TO BE REMOVED COMPLETELY THAT ARE NOT BEING RE-UTILIZED.
9. PROTECT EXISTING CONDITIONS AND MAINTAIN WEATHER TIGHTNESS FOR ALL OCCUPIED/UNOCCUPIED SPACES, BOTH VERTICALLY AND HORIZONTALLY FOR THE ENTIRE DURATION THAT THE BUILDING IS EXPOSED TO THE ELEMENTS. PATCH/REPAIR/REPLACE AS REQUIRED.

DEMO FLOOR PLAN KEYED NOTES

MARK	DESCRIPTION
1	REMOVE EXISTING FLOOR AND ALL ASSOCIATED CONSTRUCTION. PREPARE ENTIRE SUB-FLOOR FOR NEW DRAIN TILE AND CLEAN GRAVEL. EXTERIOR WALLS AND FOUNDATIONS TO BE PREPARED FOR NEW WATERPROOFING BELOW GRADE.
2	PROTECT COLUMNS AND BRACE AS NECESSARY TO PROVIDE FULL STABILITY DURING REWORK OF SUB-FLOOR AREA.
3	EXISTING MAIN STAIR TO 2ND LEVEL TO REMAIN. PROTECT STAIR AND BRACE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY WHILE SUB-FLOOR IS REMOVED. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
4	REMOVE EXISTING DOORS/FRAMES/WALLS AND ROUGH-INS FOR MEP SYSTEMS. REFER TO MEP FOR ADDITIONAL NOTES.
5	REMOVE EXISTING RESTROOM CORE AND ALL ASSOCIATED MEP SYSTEMS. REFER TO MEP FOR ADDITIONAL INFORMATION.
6	REMOVE WINDOW AND PREPARE OPENING FOR NEW EGRESS DOOR. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
7	REMOVE EXISTING WEATHERHOOD AND LOUVER ABOVE EXTERIOR DOOR. REMOVE DOOR AND ENLARGE OPENING FOR NEW EGRESS DOOR. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION.
8	REMOVE WINDOW SYSTEM AND ALL FAILED COMPONENTS. PREPARE OPENING FOR NEW WINDOW SYSTEM, FRAMING AND FLASHINGS.
9	REMOVE BROKEN GLASS. PREPARE FOR NEW GLASS INSTALL.
10	REMOVE PLATFORM AND ALL NON-STRUCTURAL FRAMING.
11	REMOVE ALL COMPONENTS THAT NO LONGER ARE ACTIVE, IN GOOD WORKING ORDER, OR ABANDONED. COORDINATE WITH MEP FOR ADDITIONAL ITEMS TO BE REMOVED.
12	PREPARE ROOF FOR NEW RTU CURBS AND OPENINGS. COORDINATE EXACT LOCATIONS WITH MEP/STRUCTURAL DOCUMENTS.

MAIN STREET BUILDING IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:



PROFESSIONAL SEAL

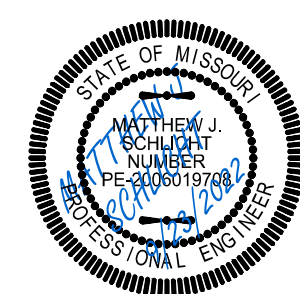
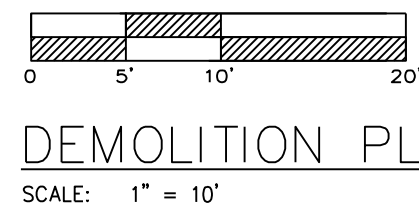
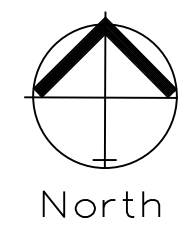
D101

ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

DEMO PLANS



PERMIT DOCUMENTS



Matthew J. Schlicht
MO PE 2006018708
KS PE 19071
OK PE 23226
NE PE E-14335

REVISIONS
City Comments 5/17/2022
Patio Revision 9/23/2022

C.010

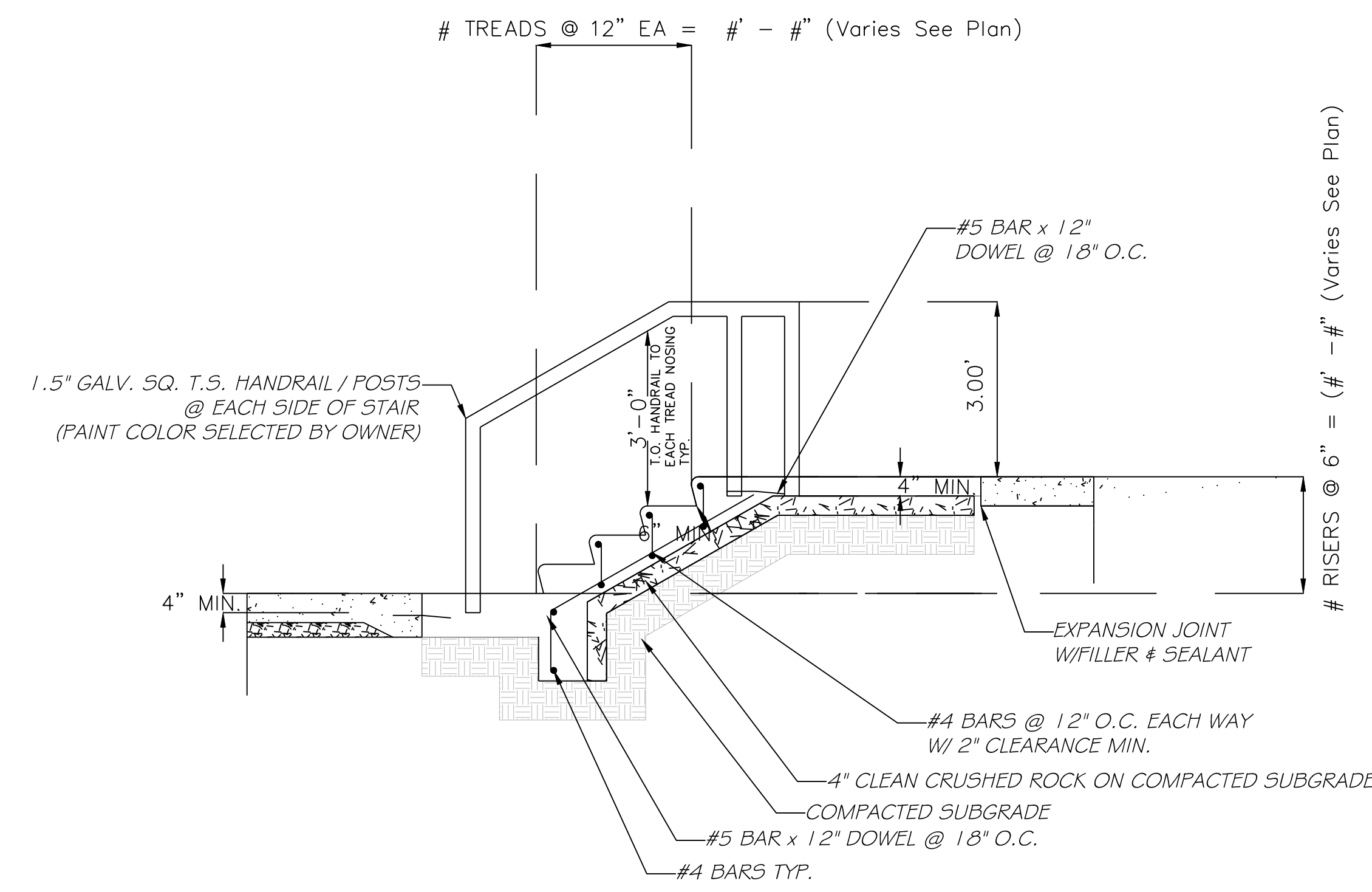
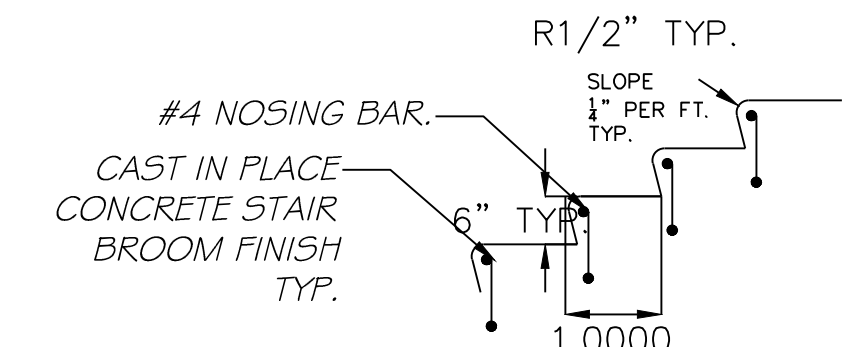
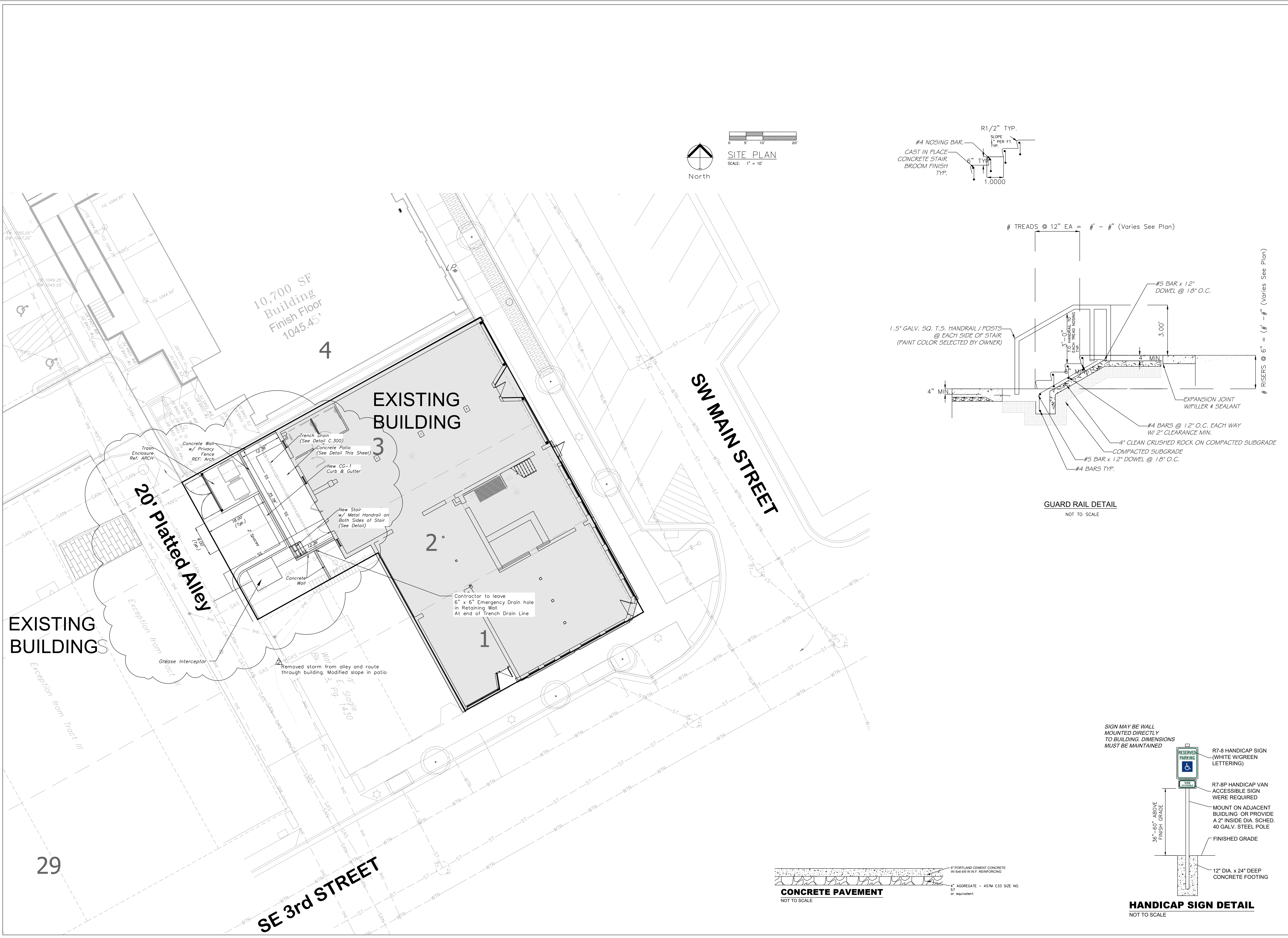
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Preliminary Development Plans
230 SW Main Street
Lee's Summit, Jackson County, Missouri

Project: 228 SW MAIN, L&MO
Issue Date: April 21, 2022

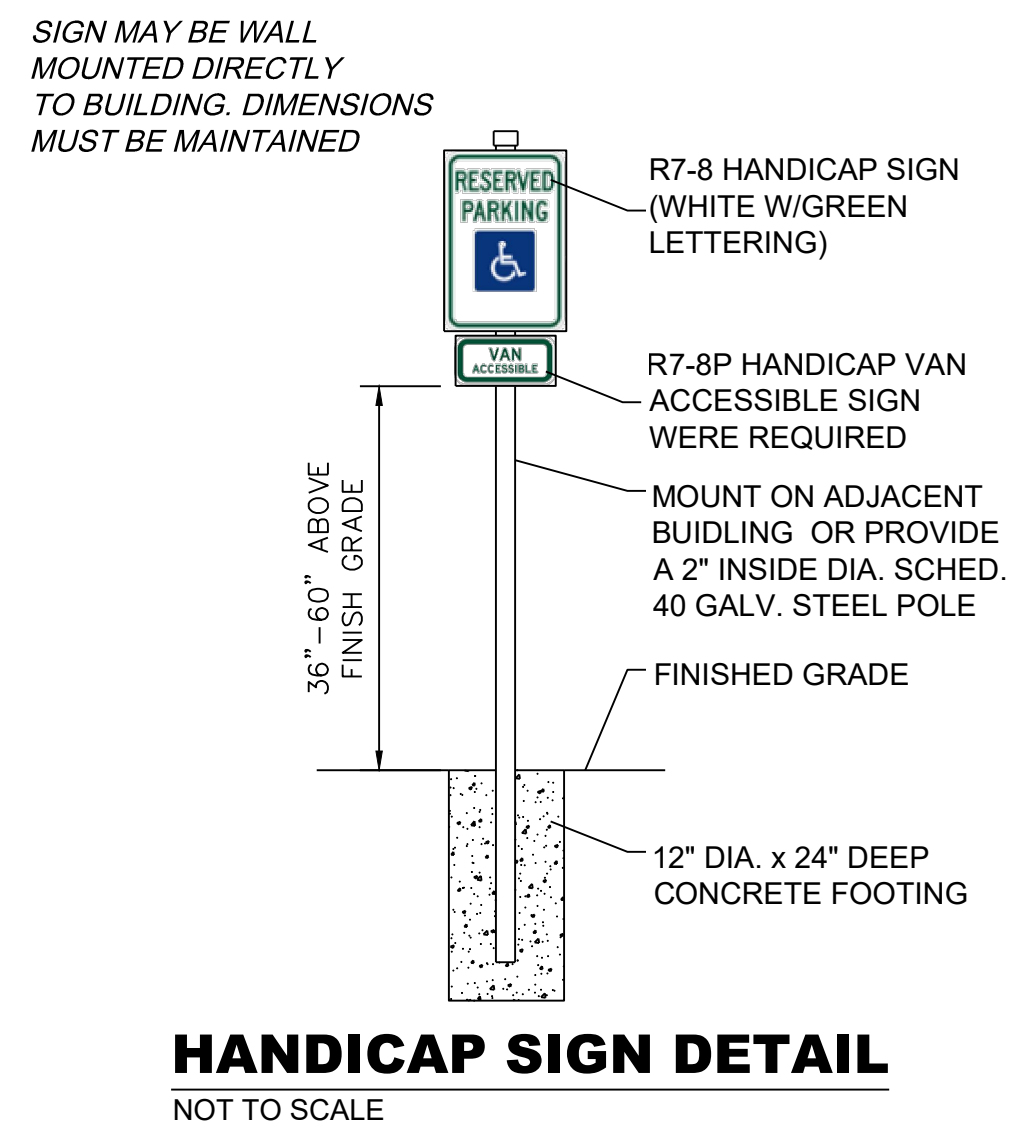
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Lee's Summit, Jackson County, Missouri

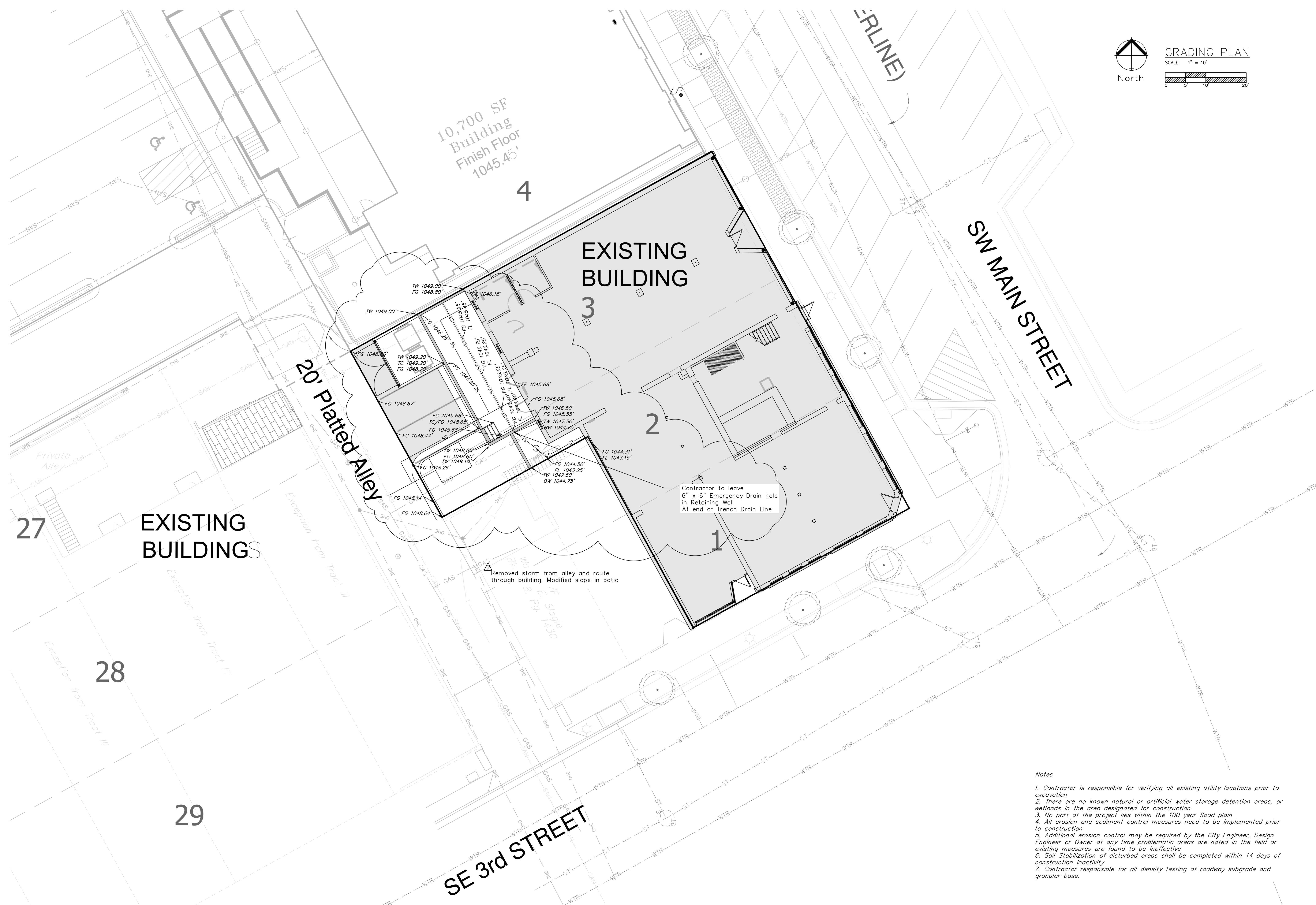
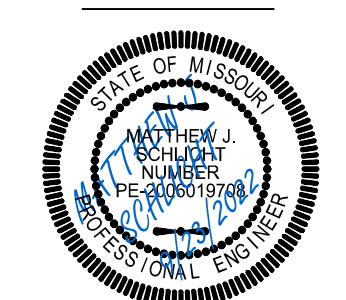
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Surveying 200500319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

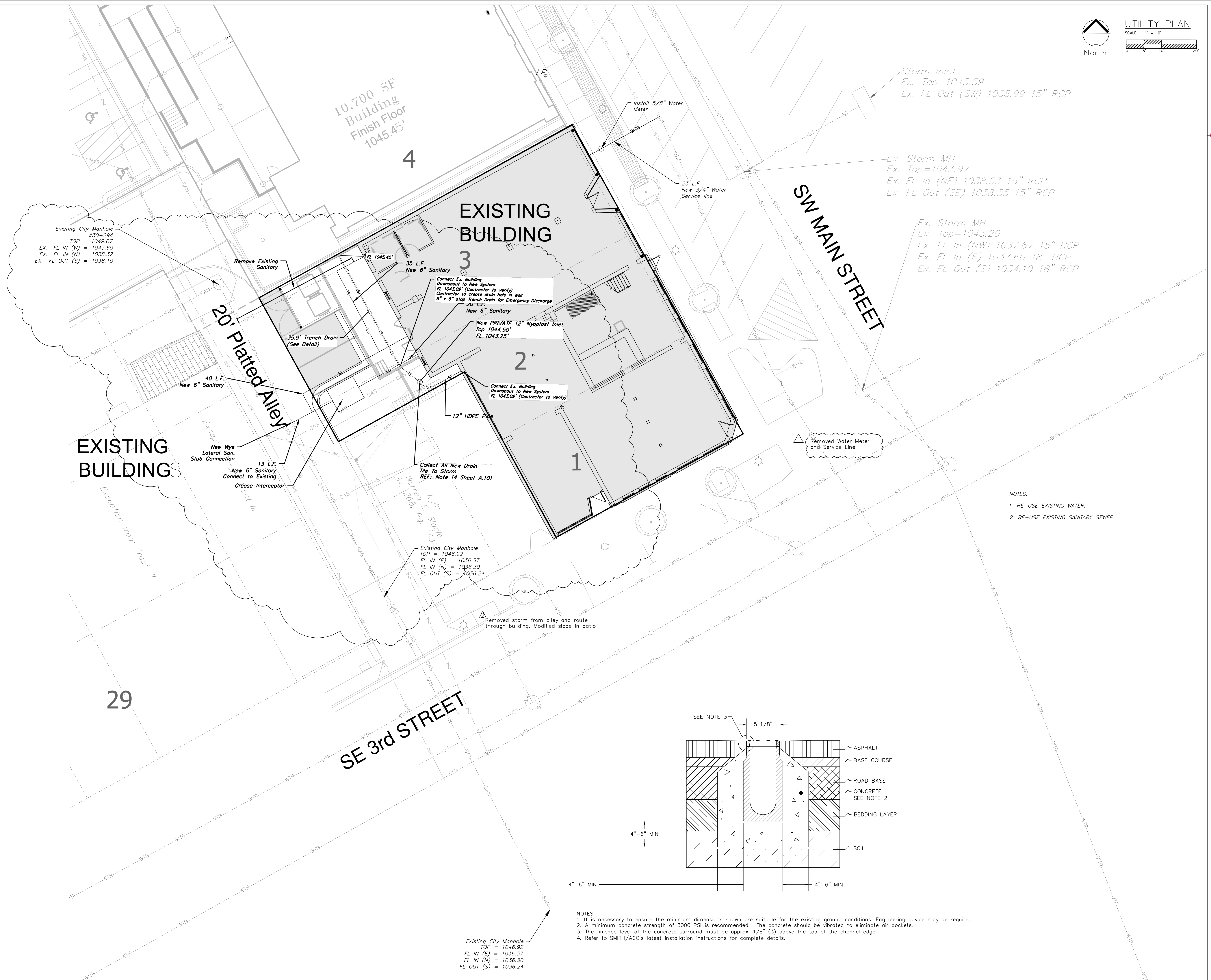
ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
5005 SOUTH STREET
LEE'S SUMMIT, MO 64082
P: 816-623-9888 F: 816-623-9849



GUARD RAIL DETAIL
NOT TO SCALE







5

8"

#5@12" O.C. VERT.

#4@12" O.C. HORIZ.

LEVEL 1
100'-0"

GRADE
99'-0"

#4@12" O.C. CONT. TOP/BOT.

#5@12" O.C. TRANSVERSE

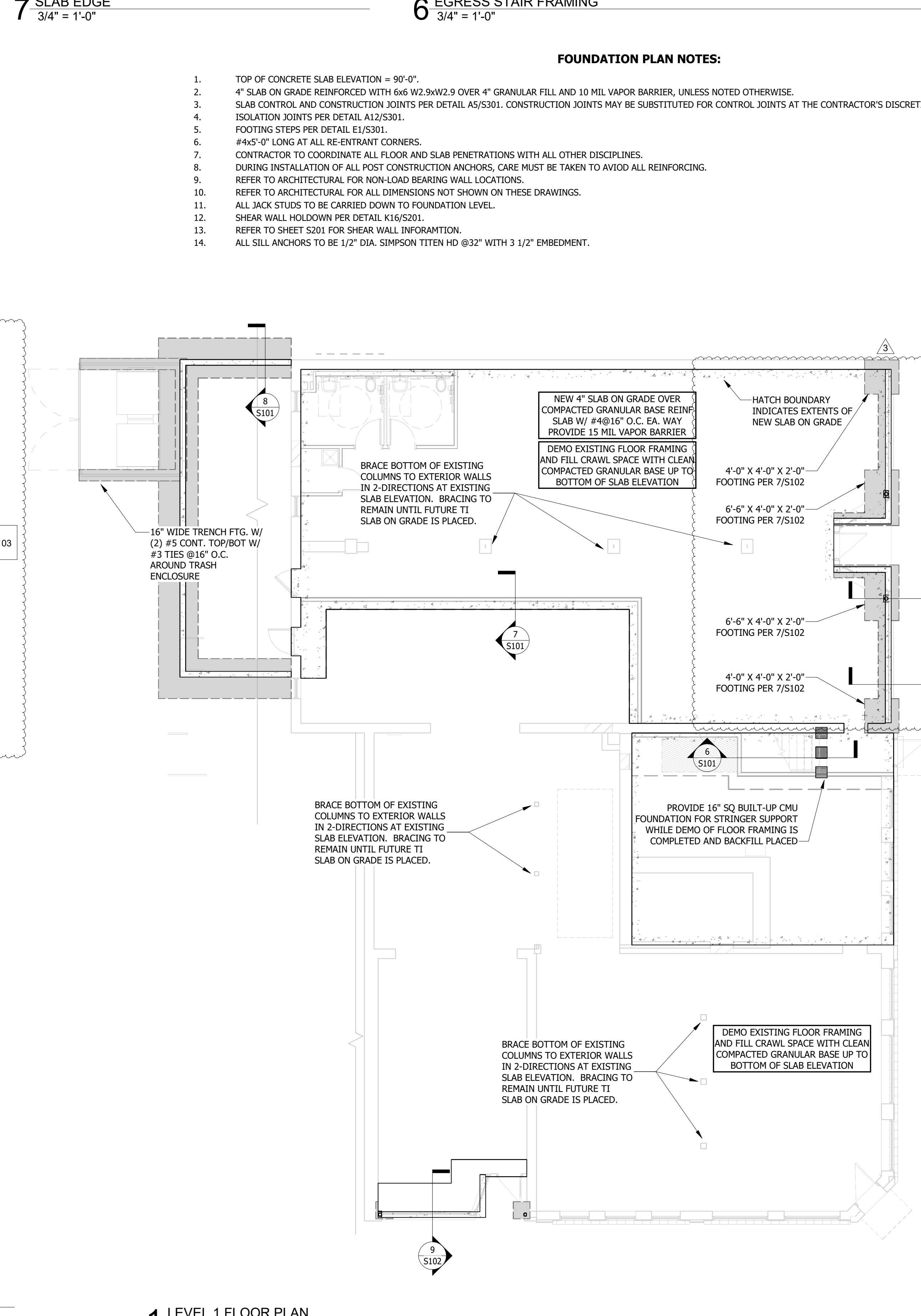
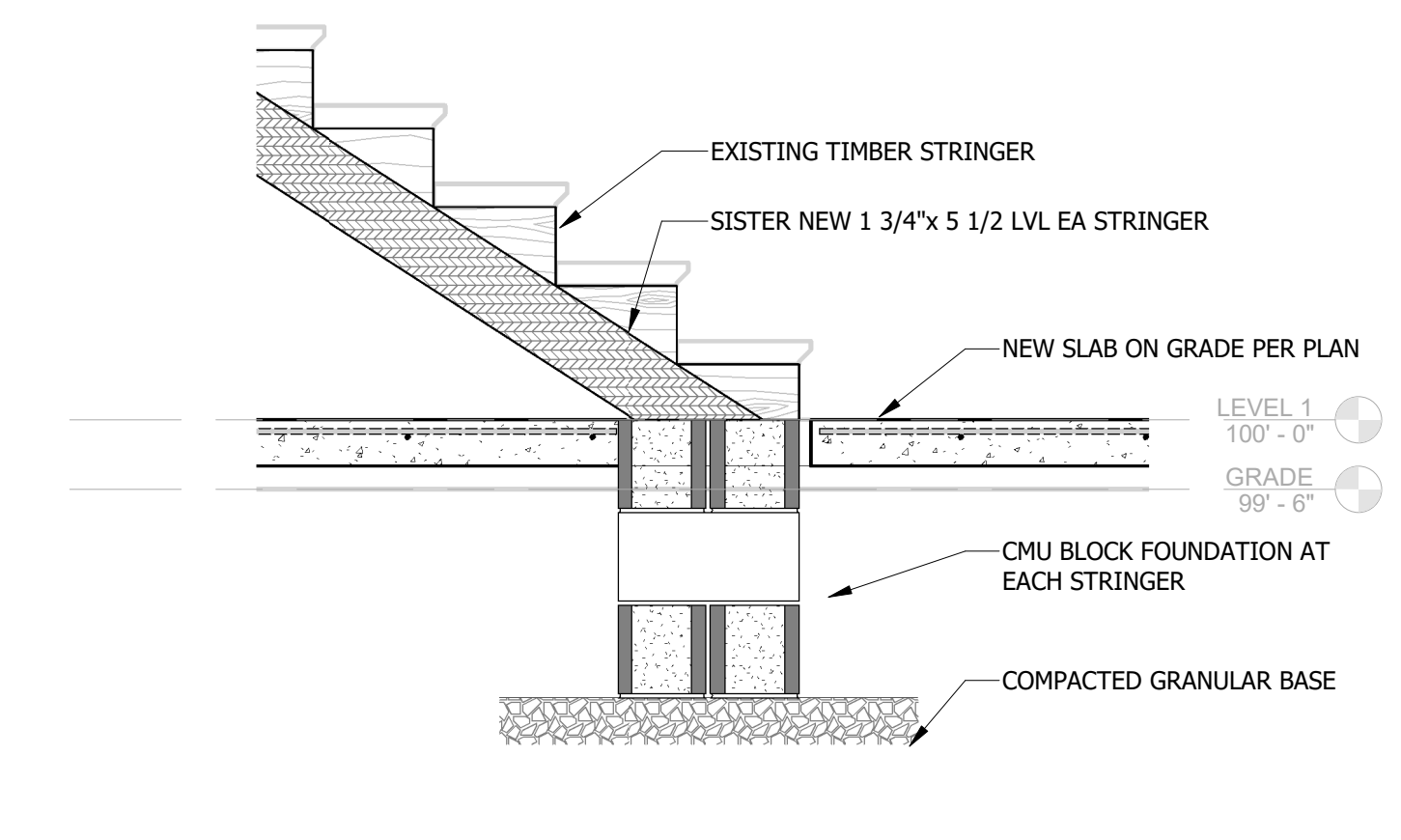
1'-0"

1'-6"

8"

2'-6"


BOTTOM OF FTG. ELEV. 1042.50



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REVISIONS DATES:

2	Revision 2	6/12/22
3	Owner Revisions	9/12/22



6/12/22

PROFESSIONAL SEAL

S101

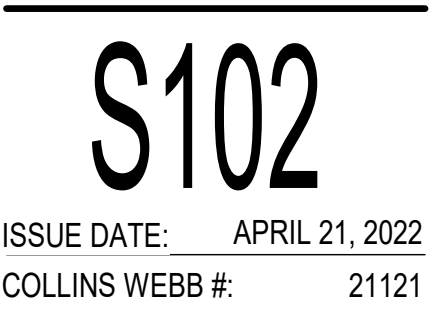
ISSUE DATE: APRIL 21, 2022

COLLINS WEBB #: 21121

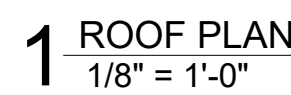
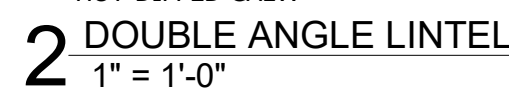
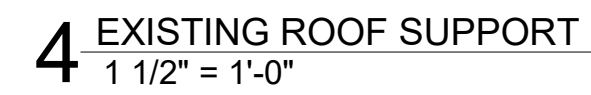
AL PLANS AND SECTIONS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

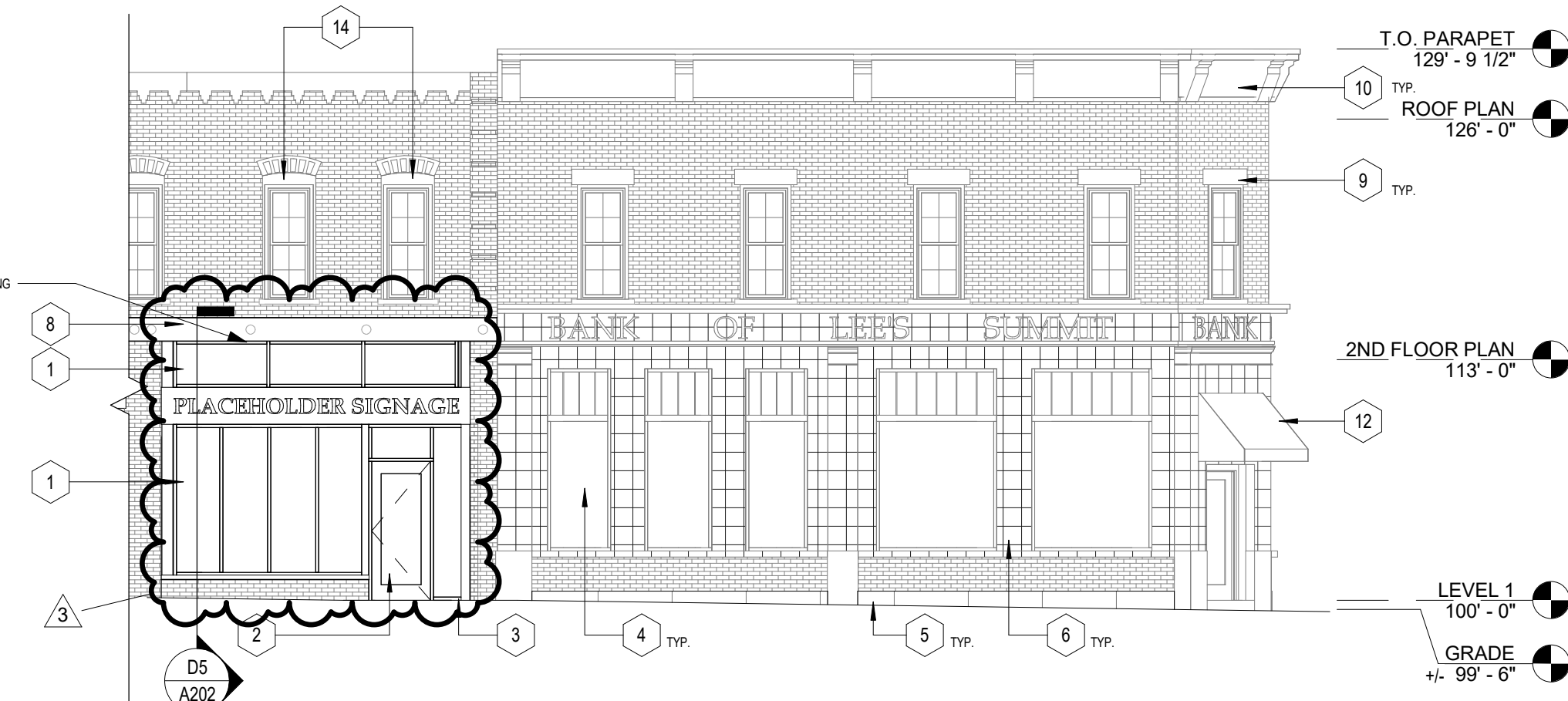
REVISION DATES:		
1	City Comments	5/17/22
2	Revision 2	8/12/22
3	Owner Revisions	9/12/22



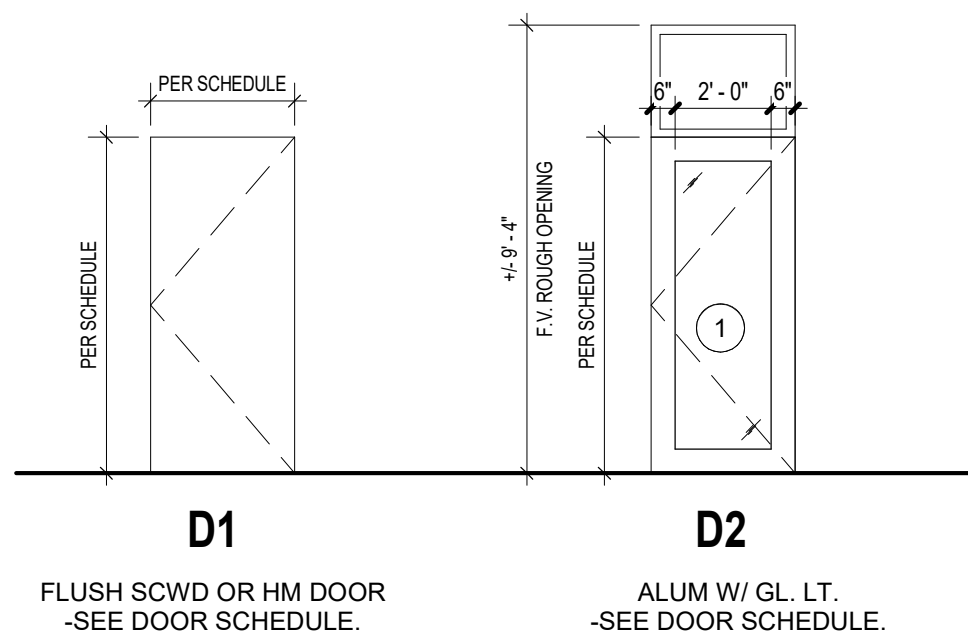
STRUCTURAL PLANS AND SECTIONS



H11 NORTH ELEVATION
1/8" = 1'-0"



F11 SOUTH ELEVATION
1/8" = 1'-0"



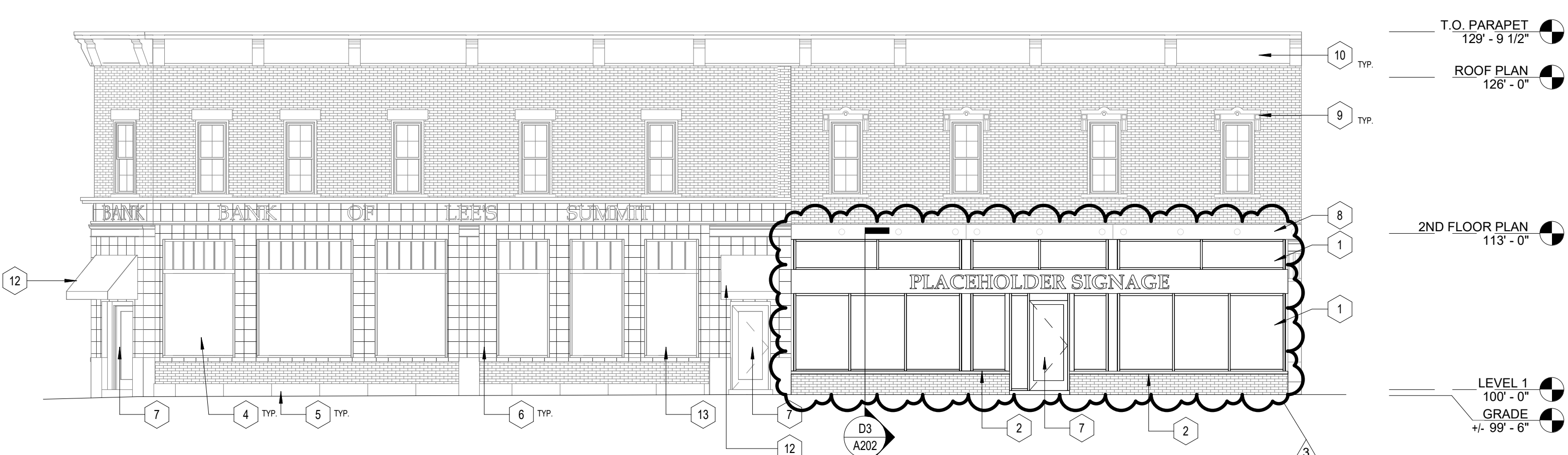
GLASS TYPE LEGEND	
DESIGNATION NUMBER	DESCRIPTION
1	TEMPERED GLASS COLOR: CLEAR

NOTE:
1. DOORS TO BE 1 3/4" THICK, UNLESS NOTED OTHERWISE ON DOOR SCHEDULE.

DOOR SCHEDULE									
DOOR #	WIDTH	HEIGHT	ROOM NAME	DOOR		FRAME		RTG	REMARKS
				TYPE	MATERIAL	FINISH	MATERIAL	FINISH	
N-100B	3'-0"	7'-0"	OFFICE	D2	ALUM/GLASS	ANODIZED	ALUM	ANODIZED	N/A 1, 3, 4, 5, 6, 7
N-101	3'-0"	7'-0"	MEN'S	D1	SCWD	PAINT	HM	PAINT	N/A 1, 3, 4, 6
N-102	3'-0"	7'-0"	WOMEN'S	D1	SCWD	PAINT	HM	PAINT	N/A 1, 3, 4, 6
N-103	2'-8"	7'-0"	UTILITY	D1	SCWD	PAINT	HM	PAINT	N/A 3, 4
N-104	EXIST	EXIST	STAIR	EXIST	EXIST	PAINT	EXIST	PAINT	N/A 1, 2, 3
S-100B	EXIST	EXIST	FUTURE TENANT	EXIST	EXIST	PAINT	EXIST	PAINT	N/A 1, 2, 3
S-100C	3'-0"	7'-0"	FUTURE TENANT	D1	HM	PAINT	HM	PAINT	N/A 1, 3, 4, 6
S-100D	EXIST	EXIST	FUTURE TENANT	EXIST	EXIST	EXIST	EXIST	EXIST	N/A 2, 3

DOOR SCHEDULE REMARKS:
1. MATCH EXISTING MASTER KEYING SYSTEM. COORDINATE WITH BUILDING OWNER.
2. MAINTAIN EXISTING HARDWARE.
3. PROTECT DOOR AND FRAME FROM DAMAGE THROUGHOUT CONSTRUCTION. ANY DAMAGE TO BE REPAIRED/REPLACED PER OWNER DISCRETION.
4. DOOR FRAME 2" OFF FINISHED FACE ON HINGE SIDE, U.N.O.
5. PROVIDE PANIC HARDWARE.
6. MANUALLY LOCKABLE FROM INSIDE OF ROOM. MASTER KEY LOCK ON OUTSIDE OF ROOM.
7. COORDINATE HARDWARE WITH MANUFACTURER.

H6 WEST ELEVATION
1/8" = 1'-0"



F6 EAST ELEVATION
1/8" = 1'-0"



C6 SOUTH ELEVATION - COLOR
3/16" = 1'-0"



A8 EAST ELEVATION - COLOR
3/16" = 1'-0"

GENERAL NOTES
EXTERIOR ELEVATIONS:

- RE: SHEET 00.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
- DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF MTL. STUD WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCO), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
- RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
- BRICK REPAIR: REFER TO SPECIFICATIONS FOR BRICK REPAIR. ALL MASONRY CONTRACTOR TO REVIEW ALL ELEVATIONS FOR REPAIR/REPLACEMENT AS REQUIRED.
- JOINT SEALANTS: REFER TO SPECIFICATIONS FOR JOINT SEALANT REPAIR. REMOVE/REPLACE REPAIR ALL JOINT SEALANTS ON THE BUILDING. PROVIDE 1/2" BACK ROD BEHIND SEALANTS BETWEEN ALL DISSIMILAR MATERIALS. COLOR TO MATCH ADJACENT MATERIALS.
- CONTRACTOR SHALL FOLLOW STUCCO REPAIR AS OUTLINED WITHIN STI RESTORATION DETAIL SERIES. DETAIL MANUAL, IF CONTRACTOR USES ALTERNATE OR SUBSTITUTED MANUFACTURER, A SUBMITTAL SHALL BE PROVIDED CONTAINING SIMILAR DETAIL INFORMATION FOR ARCHITECT'S APPROVAL.
- EXTERIOR BRICK, STEEL, AND WOOD PAINT: BASIS OF DESIGN: SHERWIN WILLIAMS - PRO INDUSTRIAL - PRE-CATALYZED WATERBASED URETHANE B65-1100 SERIES.
- ALL OPENINGS TO BE FIELD VERIFIED PRIOR TO SHOP DRAWINGS BEING SUBMITTED FOR REVIEW AND APPROVAL.
NOTE FOR CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS AND PDS: PRODUCT DATA SHEET. PRIOR TO THE EXTERIOR URETHANE COATING APPLICATION ON BRICK, APPLY CONCRETE AND MASONRY PRIMER-SEALER (BASIS OF DESIGN: LOXON) PRODUCT AND COATS AS RECOMMENDED BY MANUFACTURER.

EXTERIOR ELEVATION
KEYED NOTES

MARK	DESCRIPTION
1	STOREFRONT SYSTEM - BASIS OF DESIGN IS KAWNEER 450T FRAMING SYSTEM. GLAZING TO BE FRONT GLAZED.
2	SILL FLASHINGS - COLOR TO BE DARK ALUMINUM TO MATCH STOREFRONT.
3	BRICK - REPLACE ALL MISSING BRICK AND DAMAGED BRICK. COLOR TO MATCH EXISTING. TUCK POINT AS REQUIRED. PROVIDE BACKER ROD & SEALANT BETWEEN DISSIMILAR MATERIALS, TYP. RE: SPECIFICATIONS.
4	WOOD WINDOWS - REMOVE ALL LOOSE PAINT. PATCH/REPAIR/CAULK AS REQUIRED. PREPARE FOR NEW PAINT.
5	CAST STONE - TO BE RE-SET AND LEVELED. RE-GROUT AS REQUIRED.
6	GLAZED TILE - CLEAN AND TUCK-POINT.
7	WOOD DOOR - SAND AND REPAINT ENTRY DOOR AND FRAME. COLOR DARK BRONZE TO MATCH NEW WINDOW SYSTEM.
8	STEEL LINTEL - REMOVE ALL LOOSE MATERIAL AND REPAINT.
9	ALUMINUM WINDOWS / WINDOW HEAD DETAIL - ALUMINUM WINDOWS AT SECOND LEVEL EXISTING TO REMAIN. REMOVE ALL LOOSE MATERIAL. REPAIR CAST STONE HEADER AS REQUIRED AND REPAINT.
10	TOP OF WALL DETAIL - REMOVE ALL LOOSE MATERIAL AND REPAINT. REPAIR AS REQUIRED AND REFLASH TOP OF WALL AS NEEDED TO MAKE A WATER TIGHT SYSTEM. PREPARE FOR NEW FINISH.
11	REMOVE EXISTING WEATHERHOOD ABOVE EXTERIOR DOOR. 14"x14" OF EXISTING OPENING ABOVE DOOR TO REMAIN FOR NEW INTAKE LOUVER. INFILL REMAINDER OF EXISTING OPENING WITH SUB-FRAMING, SHEATHING, AND FINISH MATERIAL TO MATCH EXISTING. RE: MEP. REPLACE EXISTING DOOR WITH NEW HOLLOW METAL DOOR.
12	EXISTING AWNINGS - RE-ATTACH EXISTING AWNINGS TO BUILDING. NEW FABRIC ON AWNINGS TO MATCH SW #7625 MOUNT ETNA.
13	INSTALL NEW TEMPERED GLAZING AS REQUIRED.
14	REPLACE WOOD TRIM AT PERIMETER OF WINDOW WITH EXTERIOR/PAINT-GRADE LUMBER. MATCH EXISTING LUMBER SIZES. PAINT.
15	EXHAUST WALL CAPS, RE: MECH. PAINT TO MATCH WALL.
16	LOUVERS, RE: MECH. PAINT TO MATCH WALL.
17	ELEC. METER, RE: ELEC.
18	WALL PACK, RE: ELEC.

EXTERIOR ELEVATION
COLOR LEGEND

	PRIMARY COLOR: SW #7594 CARRIAGE DOOR
	ACCENT COLOR 1: SW #7625 MOUNT ETNA
	ACCENT COLOR 2: SW #7675 SEALSKIN
	ACCENT COLOR 3: SW #0009 EASTLAKE GOLD
	EXISTING GLAZED TILE TO REMAIN. RE: KEYNOTE #6

MAIN STREET BUILDING IMPROVEMENTS

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PROFESSIONAL SEAL

A201
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COLLINS WEBB #: 21121

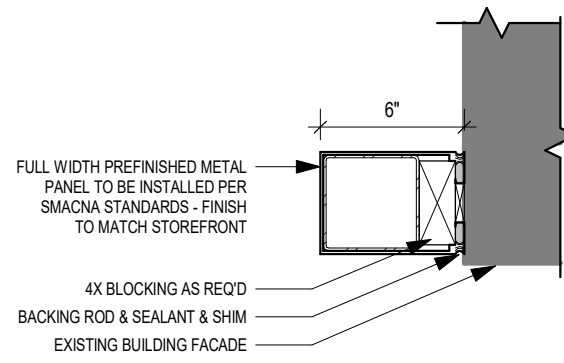
EXTERIOR ELEVATIONS AND
DOOR SCHEDULE



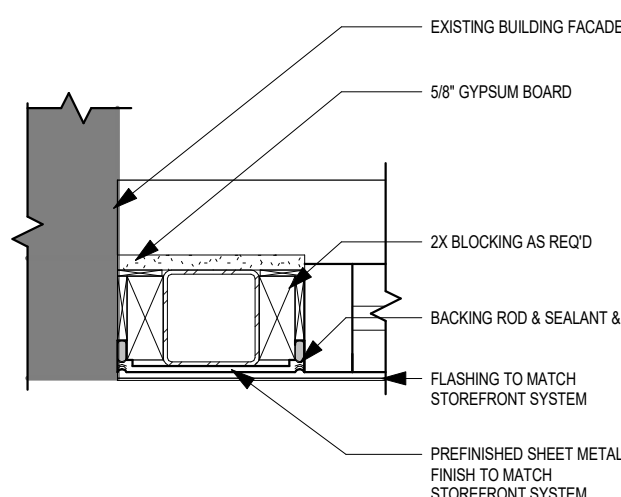
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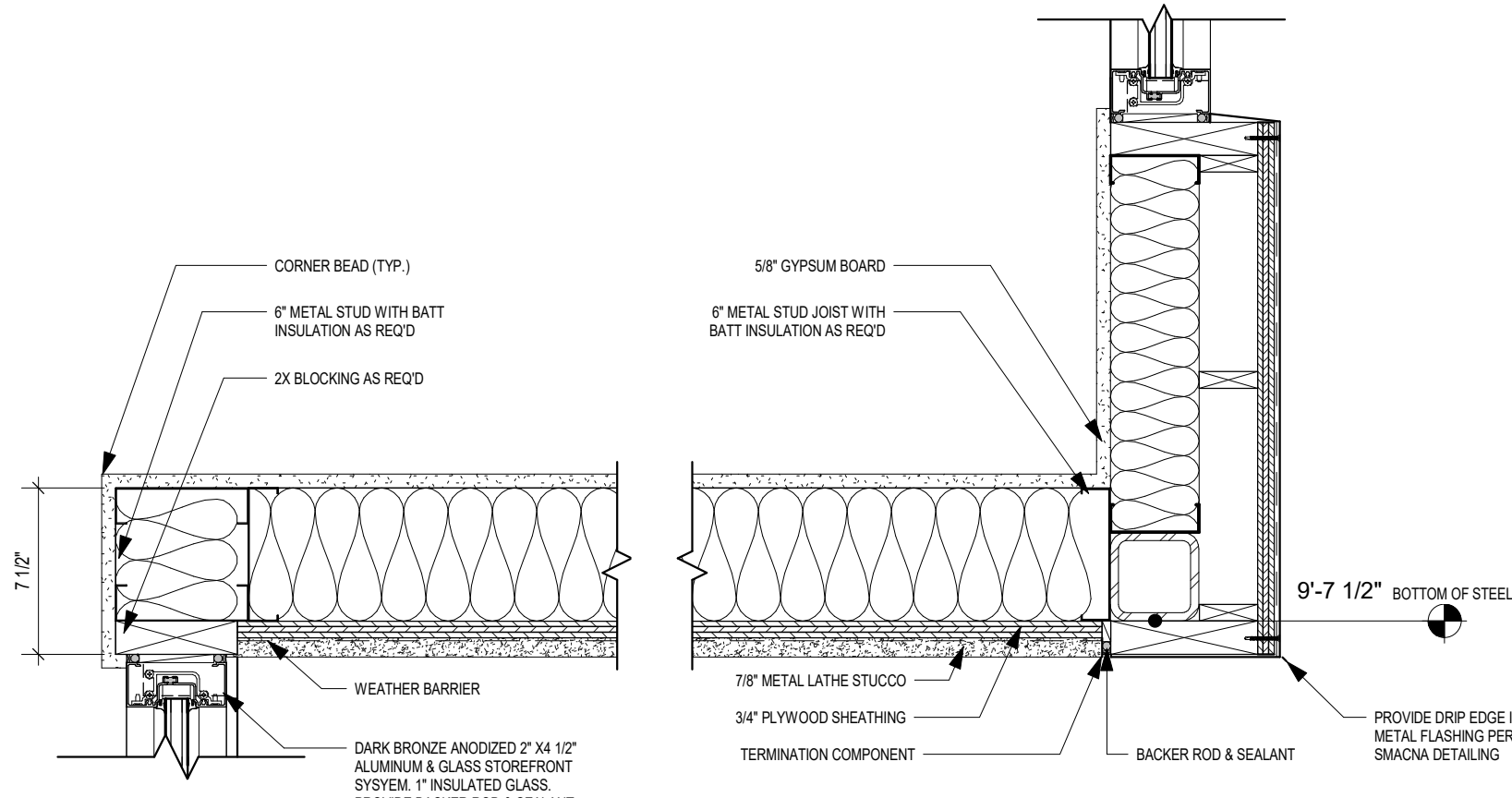
F11 PLAN DETAIL - NEW STOREFRONT - COLUMN - SOUTH 2
1 1/2" = 1'-0"



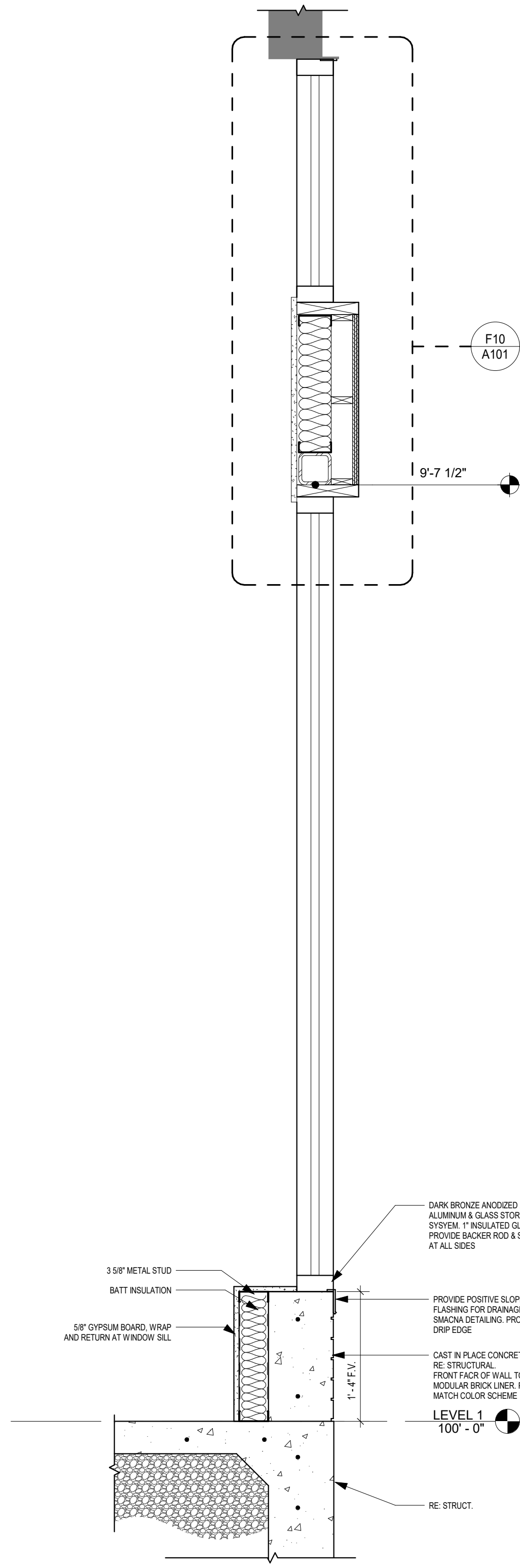
D11 PLAN DETAIL - NEW STOREFRONT - COLUMN - SOUTH 1
1 1/2" = 1'-0"



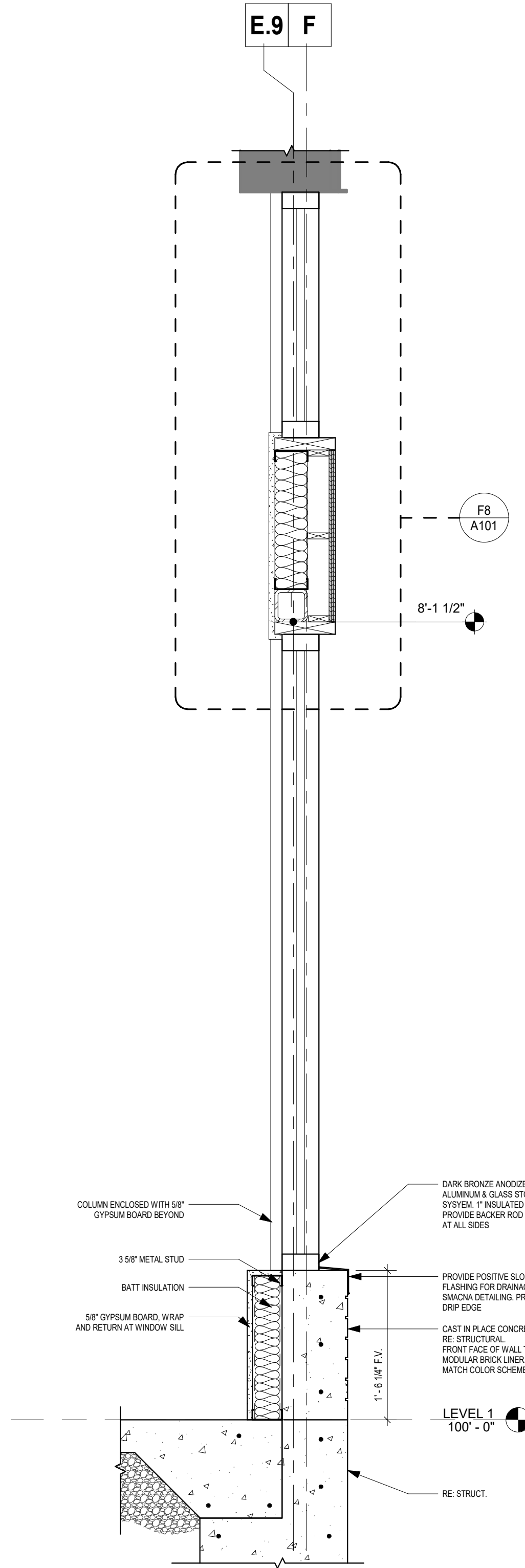
D9 DETAIL - NEW STOREFRONT - SOFFIT
1 1/2" = 1'-0"



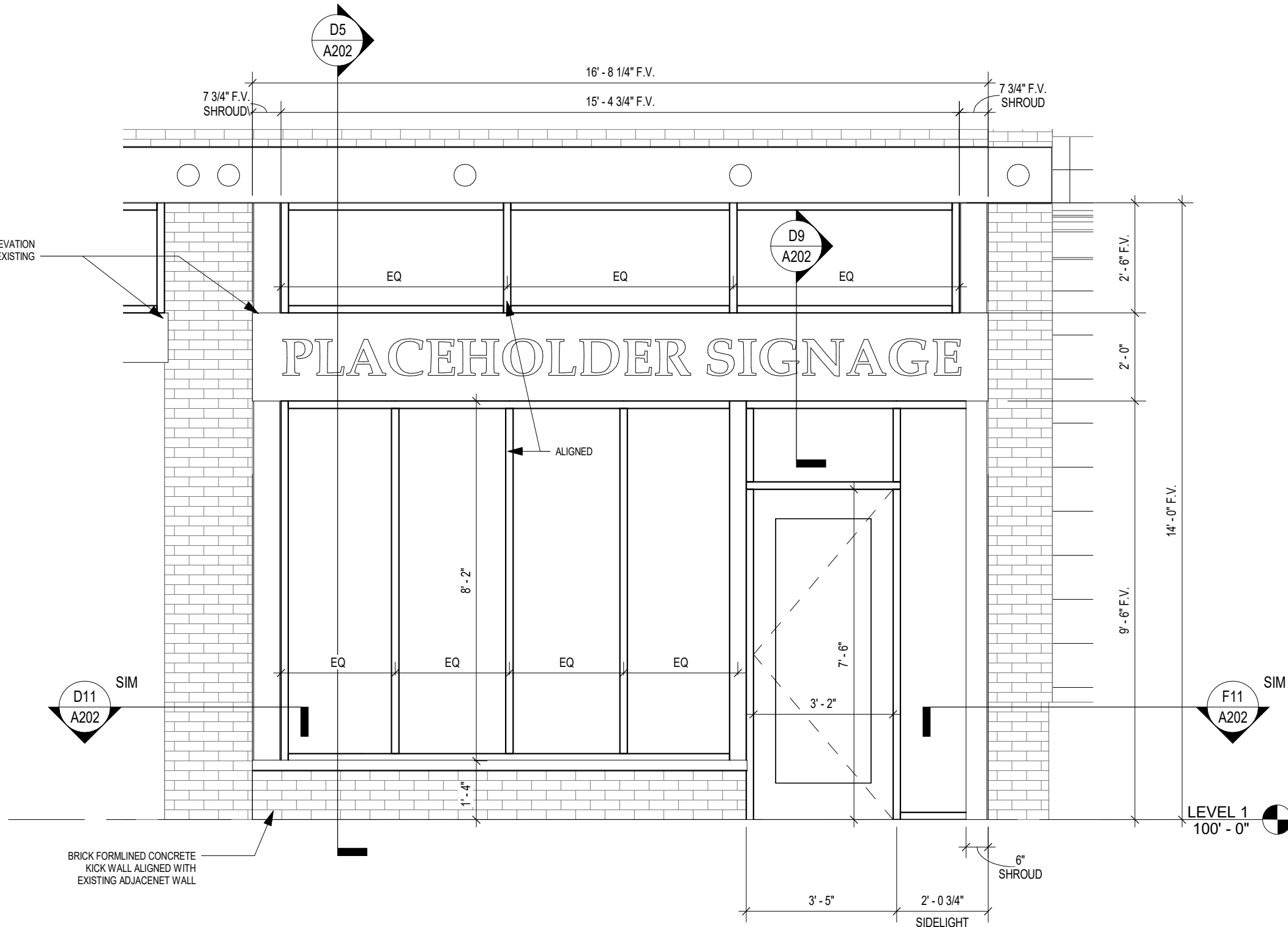
D5 SECTION - STOREFRONT SOUTH
1" = 1'-0"



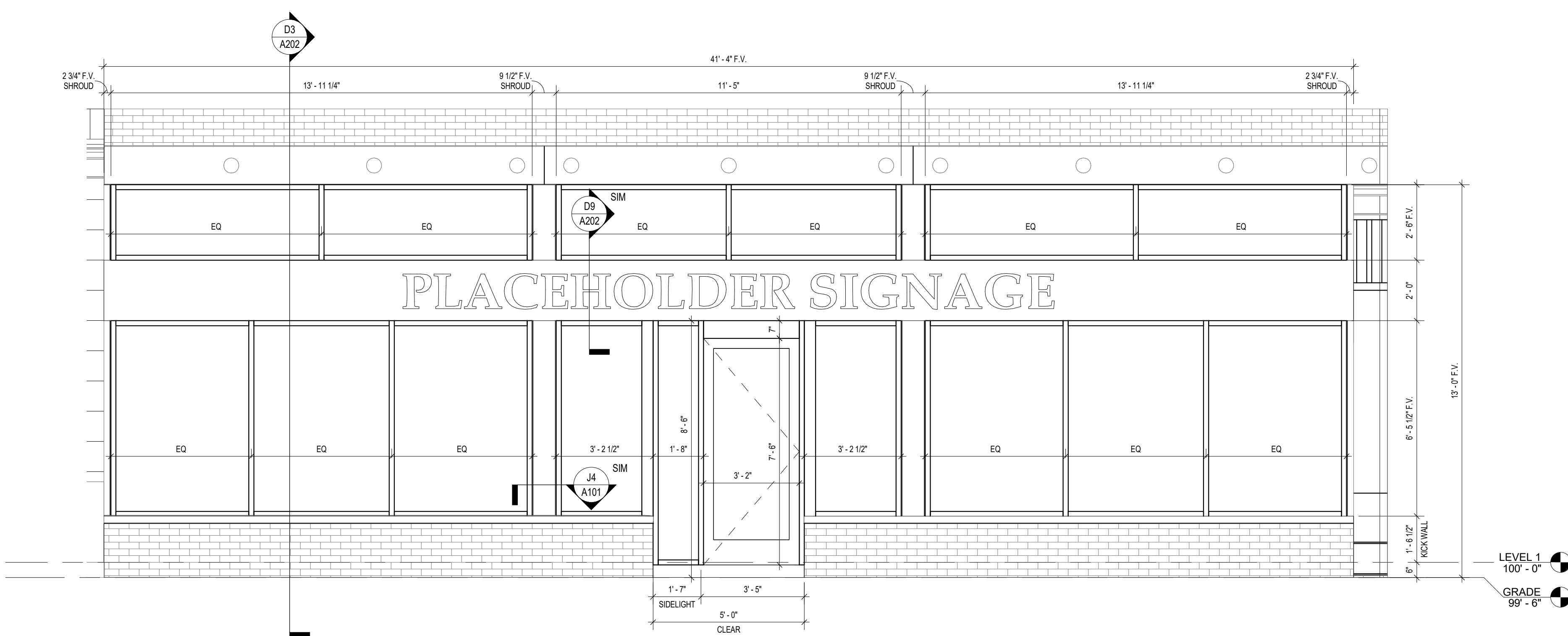
D3 SECTION - STOREFRONT EAST
1" = 1'-0"



A11 SOUTH ELEVATION - NEW STOREFRONT
3/8" = 1'-0"



A7 EAST ELEVATION - NEW STOREFRONT
3/8" = 1'-0"



GENERAL NOTES EXTERIOR ELEVATIONS:

1. RE: SHEET 00.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 2. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF MTL. STUD WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
 3. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
 4. **BRICK REPAIR** - REFER TO SPECIFICATIONS FOR BRICK REPAIR. ALL MASONRY CONTRACTOR TO REVIEW ALL ELEVATIONS FOR REPAIR/REPLACEMENT AS REQUIRED.
 5. **JOINT SEALANTS** - REFER TO SPECIFICATIONS FOR JOINT SEALANT REPAIR. REMOVE/REPLACE/REPAIR ALL JOINT SEALANTS ON THE BUILDING. PROVIDE 1/2" BACK ROD BEHIND SEALANTS BETWEEN ALL DISSIMILAR MATERIALS. COLOR TO MATCH ADJACENT MATERIALS.
 6. CONTRACTOR SHALL FOLLOW STUCCO REPAIR AS OUTLINED WITHIN STUCCO RESTORATION DETAIL SERIES: DETAIL MANUAL. IF CONTRACTOR USES ALTERNATE OR SUBSTITUTED MANUFACTURER, A SUBMITTAL SHALL BE PROVIDED CONTAINING SIMILAR DETAIL INFORMATION FOR ARCHITECT'S APPROVAL.
 7. **EXTERIOR BRICK, STEEL, AND WOOD PAINT** - BASIS OF DESIGN: SHERWIN WILLIAMS - PRO INDUSTRIAL - PRE-CATALYZED WATERBASED URETHANE B05-1100 SERIES.
 8. ALL OPENINGS TO BE FIELD VERIFIED PRIOR TO SHOP DRAWINGS BEING SUBMITTED FOR REVIEW AND APPROVAL.
- NOTE FOR CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS AND PDS: PRODUCT DATA SHEET. PRIOR TO THE EXTERIOR URETHANE COATING APPLICATION ON BRICK, APPLY CONCRETE AND MASONRY PRIMER-SEALER (BASIS OF DESIGN: LONOX) PRODUCT AND COATS AS RECOMMENDED BY MANUFACTURER.**

MAIN STREET BUILDING IMPROVEMENTS

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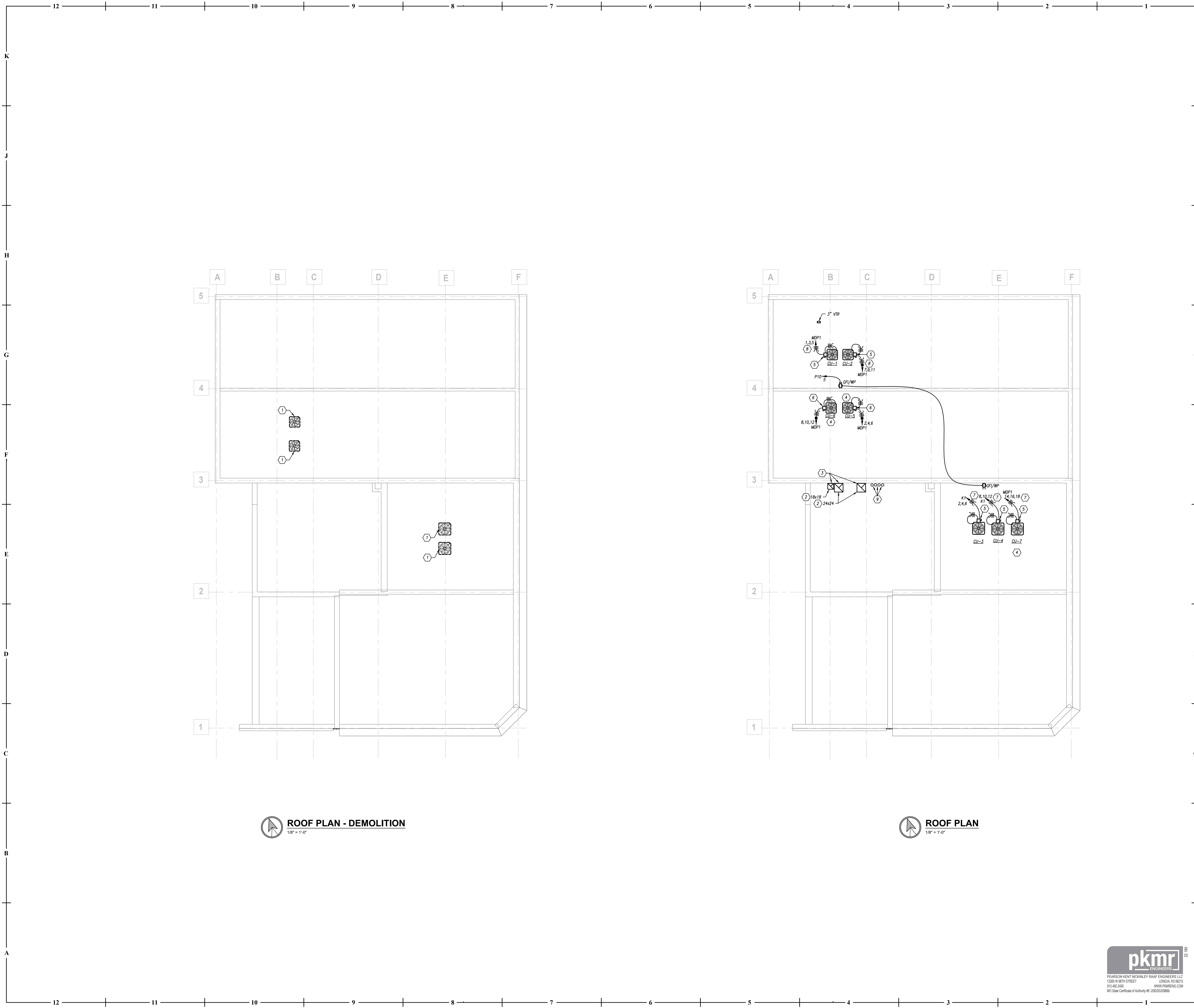
PROFESSIONAL SEAL

A202
ISSUE DATE: 21 APRIL, 2022
COLLINS WEBB #: 21121

ENLARGED ELEVATIONS AND
DETAILS



PERMIT DOCUMENTS



GENERAL ROOF PLAN

NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. MAINTAIN CODE-REQUIRED DISTANCES FOR ALL VENTS, EXHAUSTS, ETC. FROM MECHANICAL EQUIPMENT OUTSIDE AIR INTAKES.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE MOUNTED A MINIMUM OF 36" ABOVE THE ROOF ON SUITABLE STEEL SUPPORTS UNLESS OTHERWISE NOTED.

ROOF PLAN KEYED NOTES

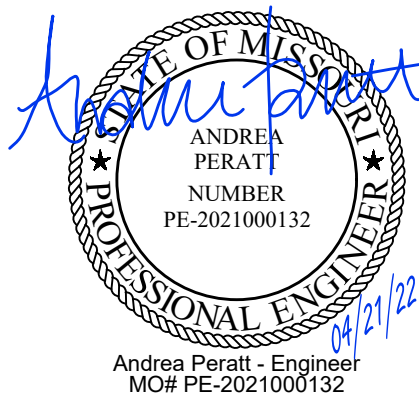
- ① CONTRACTOR TO FIELD VERIFY LOCATION AND REMOVE EXISTING CONDENSING UNITS. REUSE EXISTING LOCATIONS. REFRIGERANT PIPE PENETRATIONS AND ACCESSORIES OF CONDENSING UNITS SERVING SECOND FLOOR. REFER TO NEW WORK PLAN.
- ② DISHWASHER, GREASE AND MAKE-UP AIR DUCT FROM/ TO FIRST FLOOR TO/ FROM 2ND FLOOR ROOF.
- ③ CAP DUCTWORK ON ROOF FOR FUTURE USE.
- ④ CONDENSING UNIT SERVING 2ND FLOOR TO BE INSTALLED IN EXISTING LOCATION.
- ⑤ 60AMP, 3-POLE, NON-FUSED HEAVY-DUTY DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.
- ⑥ 30AMP, 3-POLE, NON-FUSED HEAVY DUTY DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.
- ⑦ (3) #6 WIRE AND (1) #10 GROUND IN 3/4" CONDUIT.
- ⑧ (3) #8 WIRE AND (1) #10 GROUND IN 3/4" CONDUIT.
- ⑨ CONDUIT PENETRATIONS FOR FUTURE MECHANICAL EQUIPMENT. REFER TO SHEET E111 FOR ADDITIONAL INFORMATION.

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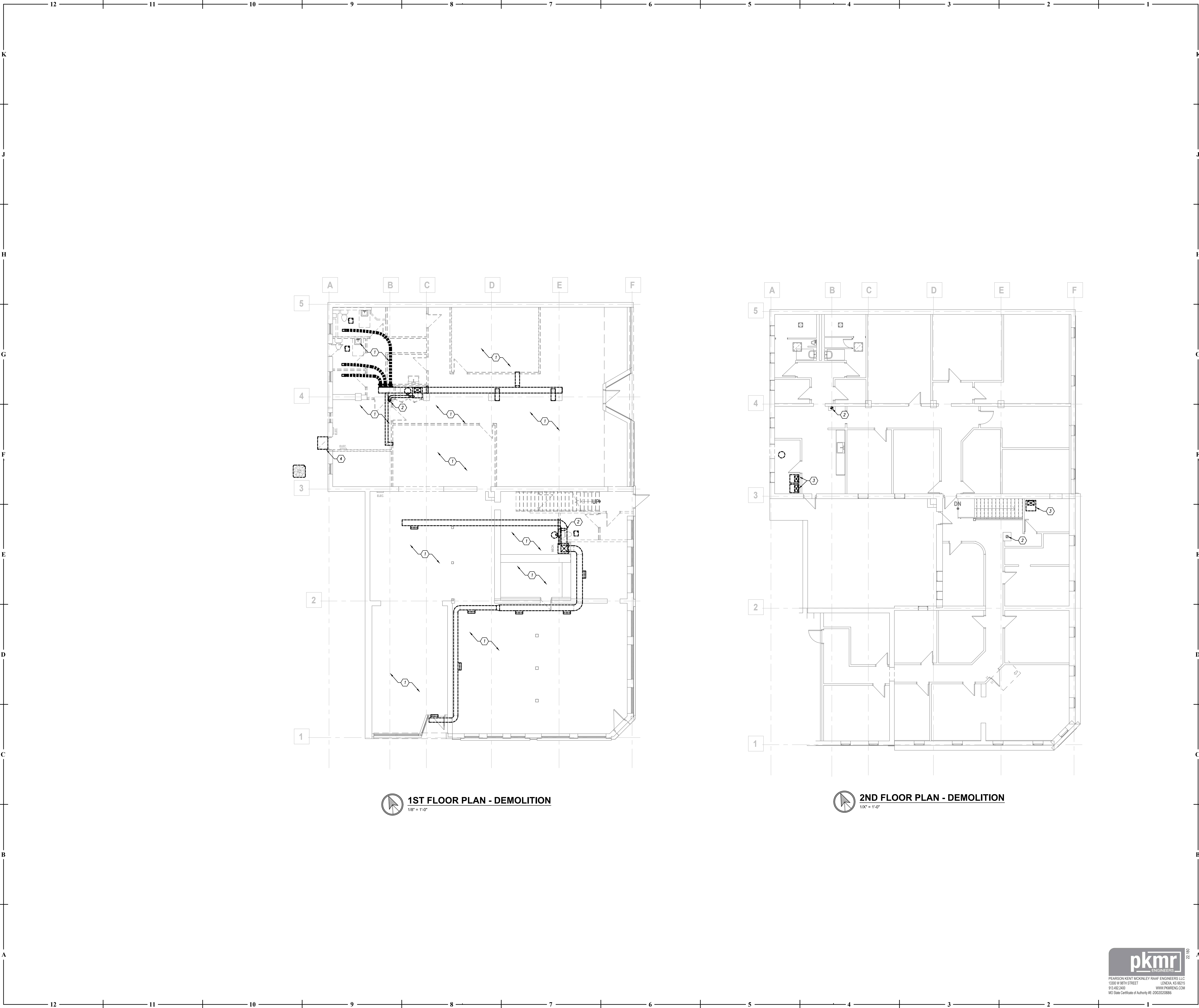
PROFESSIONAL SEAL

MEP101

ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121

ROOF PLAN





GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

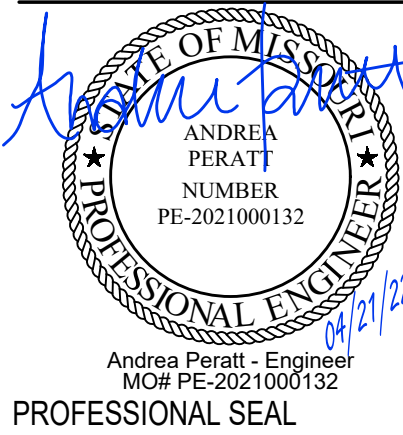
- 1 REMOVE ALL DUCTWORK, DIFFUSERS AND EQUIPMENT IN THIS AREA. PATCH/ REPAIR WALL/ CEILING IF REQUIRED. REFER TO NEW WORK PLAN.
- 2 REMOVE VERTICAL FLUE DUCT GOING THROUGH SECOND FLOOR TO ROOF. REFER TO NEW WORK PLAN.
- 3 REMOVE EXISTING FURNACE. KEEP ALL DUCTWORK, FLUE AND ACCESSORIES. CLEAN RETURN PLENUM, GRILLE AND PROVIDE NEW FILTERS. PREPARE DUCTWORK FOR NEW FURNACE INSTALLATION. REFER TO NEW WORK PLAN.
- 4 REMOVE EXISTING WEATHER HOOD AND INTAKE OPENING. PATCH AND REPAIR OPENING WITH CONSTRUCTION MATERIALS TO MATCH EXISTING CONDITIONS. REFER TO ARCHITECT.

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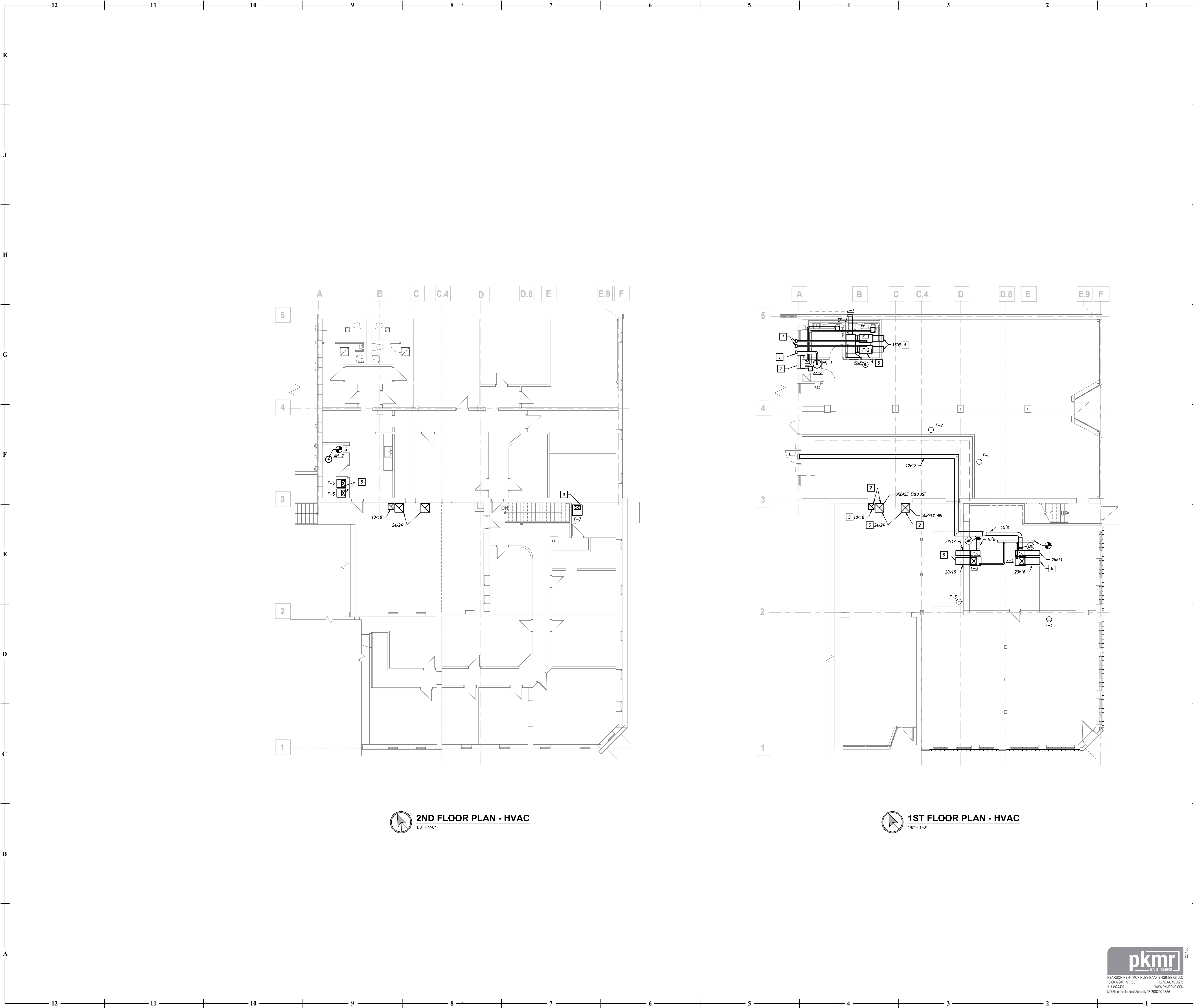
M011
ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121

DEMOLITION - FLOOR PLANS



Permit Set





GENERAL HVAC NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE AS THE DIFFUSER NECK UNLESS NOTED OTHERWISE.
3. MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 5'-0".
4. ALL RUNOUTS TO TERMINAL BOXES SHALL BE ONE SIZE LARGER THAN BOX INLETS UNLESS NOTED OTHERWISE.
5. ALL AIR DISTRIBUTION DEVICES SHALL HAVE LOCKABLE VOLUME CONTROL DEVICES.
6. ALL 90 DEGREE TURNING ELBOWS SHALL BE SMOOTH ROUND OR SQUARE WITH TURNING VANES.
7. DUCT SIZES SHOWN ON PLANS ARE INSIDE FREE AREA.
8. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC FIRE AND SMOKE DAMPERS.
9. FOR BALANCING THE OUTSIDE AIRFLOW QUANTITIES, REFER TO HVAC SCHEDULES.

HVAC PLAN KEYED NOTES

1. TERMINATE 4" FLUE/VENT WITH PRINTABLE WALL CAP. REFER TO DETAIL.
2. DISHWASHER, GREASE AND MAKE-UP AIR DUCT CAPPED IN SPACE FOR FUTURE USE.
3. DISHWASHER AND GREASE DUCT FROM FIRST FLOOR TO 2ND FLOOR ROOF. DUCT TO BE ROUTED ON EXTERIOR WALL AND CAPPED OVER 2ND FLOOR ROOF. REFER TO ROOF PLAN.
4. CAP SPIRAL DUCTWORK IN SPACE. ROUTE DUCTWORK RIGHT TO STRUCTURE.
5. FURNACES TO BE INSTALLED ABOVE TOILET. REFER TO DETAIL FOR INSTALLATION.
6. SUPPLY AND RETURN AIR DUCTWORK ROUTED THROUGH STRUCTURAL WALL. BOTTOM OF DUCT TO BE ROUTED AT 10'-0" A.F.F. COORDINATE PENETRATIONS WITH STRUCTURE.
7. ROUTE GENERAL EXHAUST TO PLENUM ON BACKSIDE OF EXISTING LOUVER. PLENUM TO MATCH EXISTING SIZE OF LOUVER. REFER TO DETAIL.
8. REPLACE EXISTING FURNACES, CONNECT TO EXISTING DUCTWORK, FLUES, ELECTRICAL AND CONDENSATE.
9. REPLACE EXISTING WATER HEATER TO CONNECT INTO EXISTING FLUES.

MAIN STREET LANDLORD IMPROVEMENTS

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ISSUE DATE: APRIL 21, 2022
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MECHANICAL - FLOOR PLANS



Permit Set



EXHAUST FAN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	TYPE	SERVICE	CFM	E.S.P. (IN)	BHP	HP	DRIVE	SONES	RPM	ELECTRICAL	CONTROL	REMARKS
EF-1	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL
EF-2	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL
EF-3	COOK	GC-146	CEILING CABINET	BATHROOM	90	0.250	----	36W	DIRECT	1.3	900	120V / 1PH	SWITCH	ALL

REMARKS:

- UNIT SHALL BE PROVIDED WITH SOLID STATE SPEED CONTROL MOUNTED AT FAN.
- PROVIDE WITH STARTER AND WIRE TO START SWITCH.

FURNACE SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CFM	O.A. CFM	FAN DATA		HEATING			ELECTRICAL				REMARKS
					E.S.P. (IN)	HP	CAPACITY (MBH)	INPUT (MBH)	OUTPUT (MBH)	EFF.	VOLTS / PH	M.C.A.	M.O.C.P.	
F-1	LENNOX	SL297UH090V48B	1,400	210	0.5"	1/2	45.0	110.0	106.7	97.0%	120V / 1PH	12.0	20	2
F-2	LENNOX	SL297UH090V48B	1,400	210	0.5"	1/2	45.0	110.0	106.7	97.0%	120V / 1PH	12.0	20	2
F-3	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12.0	20	1
F-4	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12.0	20	1
F-5	LENNOX	SL280UH090V36B	1,200	180	0.5"	1/2	36.0	110.0	88.0	80.0%	120V / 1PH	12	15	1
F-6	LENNOX	SL280UH090V36B	1,200	180	0.5"	1/2	36.0	110.0	88.0	80.0%	120V / 1PH	12	15	1
F-7	LENNOX	SL280UH135V60D	1,990	299	0.5"	1	60.0	165.0	132.0	80.0%	120V / 1PH	12	20	1

REMARKS:

- STANDARD EFFICIENCY FURNACE.
- HIGH EFFICIENCY FURNACE. PROVIDE WITH MANUFACTURER'S VERTICAL DISCHARGE KIT. REFER TO DETAIL.

CONDENSING UNIT SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CAPACITY (MBH)	MINIMUM SEER	AMBIENT TEMP. (°F)	ELECTRICAL			REMARKS
						VOLTS / PH	M.C.A.	M.O.C.P.	
CU-1	LENNOX	16ACX-048-230	45.0	15.0	105°	208V / 3PH	29.0	40	ALL
CU-2	LENNOX	16ACX-048-230	45.0	15.0	105°	208V / 3PH	29.0	40	ALL
CU-3	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL
CU-4	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL
CU-5	LENNOX	16ACX-036-230	36.0	16.0	105°	208V / 3PH	21.0	30	ALL
CU-6	LENNOX	16ACX-036-230	36.0	16.0	105°	208V / 3PH	21.0	30	ALL
CU-7	LENNOX	16ACX-060-230	60.0	15.5	105°	208V / 3PH	36.0	50	ALL

REMARKS:

- COOLING CAPACITY BASED ON A SUCTION TEMPERATURE OF 49°F.
- ENERGY-STAR COMPLIANT.
- PROVIDE WITH 3-1/2" CONCRETE PAD.

LOUVER SCHEDULE

PLAN MARK	QTY.	MANUFACTURER	MODEL NUMBER	STYLE	SERVICE	WIDTH (IN)	HEIGHT (IN)	APD (IN)	FREE AREA (SQ FT)	VELOCITY (FPM)	REMARKS
L-1	2	GREENECK	EDJ-401	STATIONARY	INTAKE	14	14	0.006	0.3	200	ALL

REMARKS:

- PROVIDE EXTENDED SILL AND MOUNTING FRAME TO MATCH CONSTRUCTION. COORDINATE EXACT LOUVER SIZE TO INSTALL WITHIN MASONRY DIMENSIONS.
- PROVIDE COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

GRILLE, REGISTER & DIFFUSER SCHEDULE

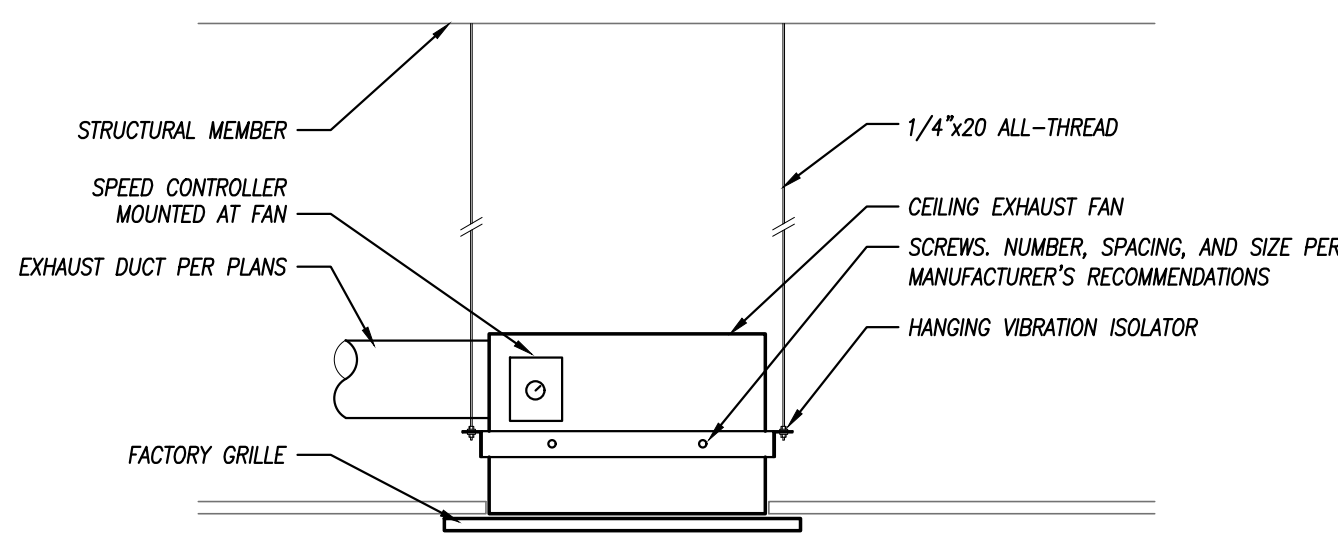
PLAN MARK	MANUFACTURER	MODEL NUMBER	MATERIAL	STYLE	DESCRIPTION	MOUNT TYPE	FACE SIZE (IN)	NECK SIZE (IN)	VOLUME DAMPER	MAX APD (IN. WG.)	MAX NC	FINISH COLOR	REMARKS
RT	TITUS	350FLF2	STEEL	SQUARE WALL	35 DEG SINGLE DEFLECTION AEROBLADE 3/4" SPACING	WALL	AS INDICATED	AS INDICATED	NO	0.08	25	WHITE	ALL

GENERAL REMARKS:

- PROVIDE ALL GRD WITH ALL NECESSARY MOUNTING HARDWARE.
- PROVIDE GRD WITHOUT SCREWS/SCREWS WHEN INSTALLED IN JAY-IN CEILINGS
- VERIFY CEILING CONFIGURATION, COLOR AND SPECIFICS WITH ARCHITECTURAL CEILING PLANS.

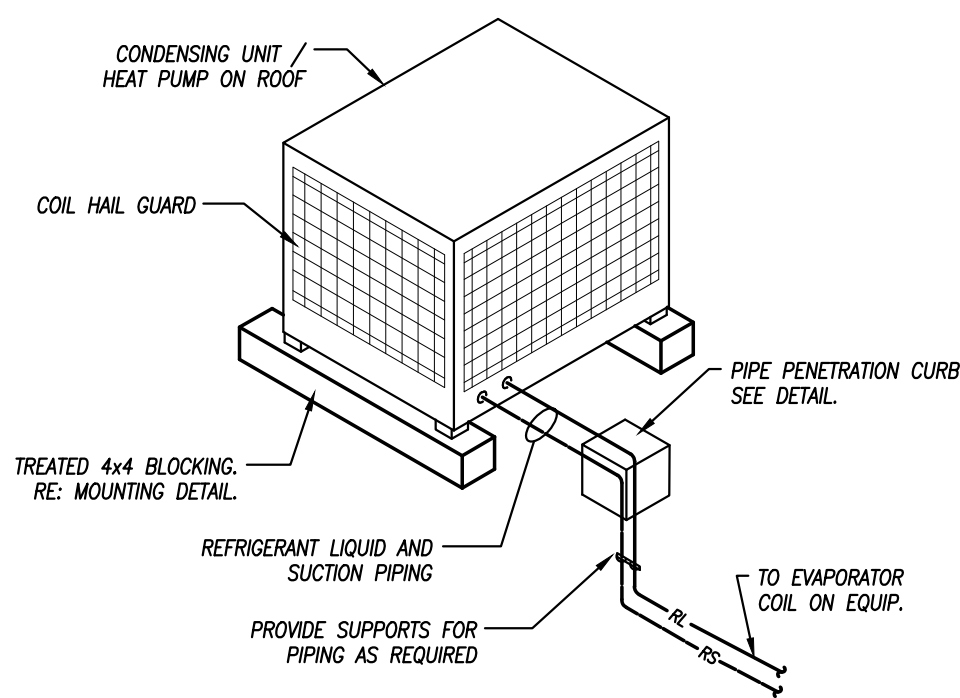
NOTES:

- PROVIDE WITH FILTERED GRILLE. PROVIDE WITH MERV 8 2" FILTER TO FIT WITHIN GRILLE ASSEMBLY



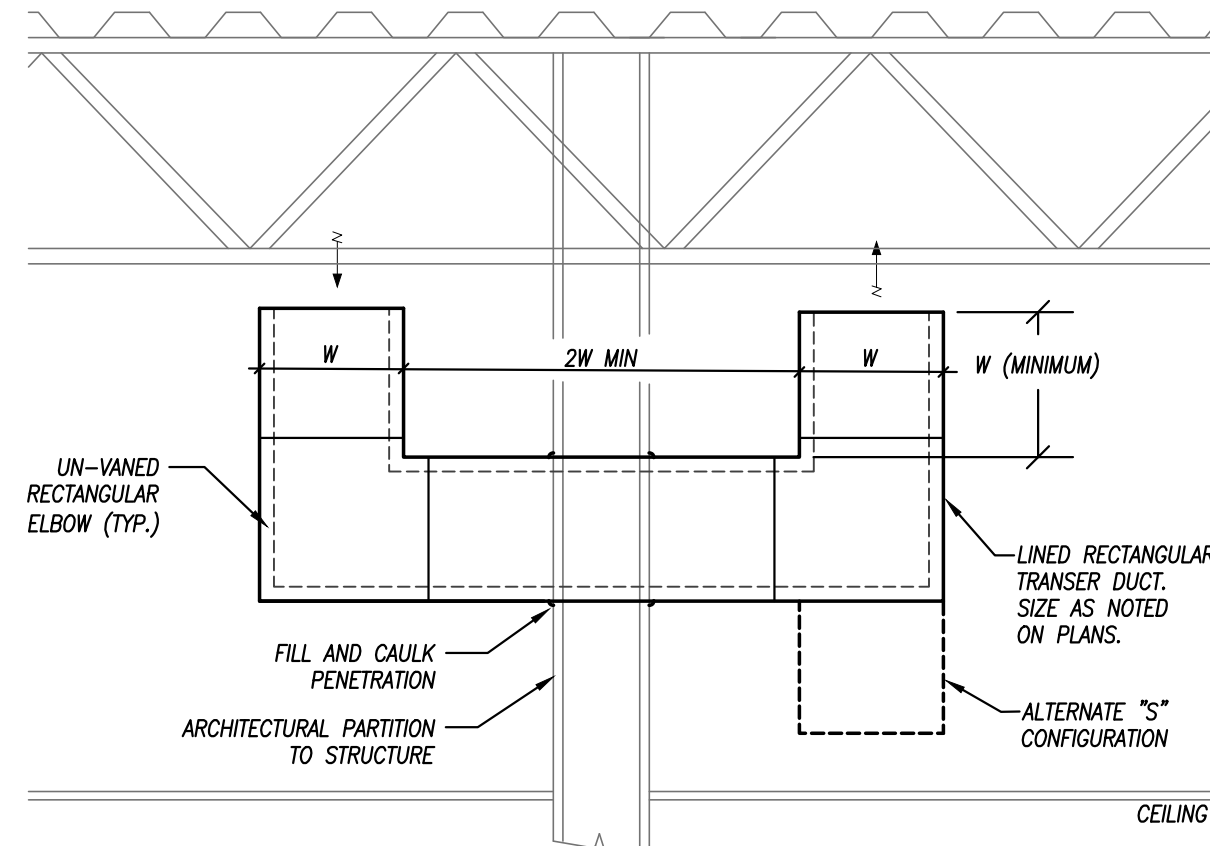
CABINET EXHAUST FAN MOUNTING DETAIL

NOT TO SCALE



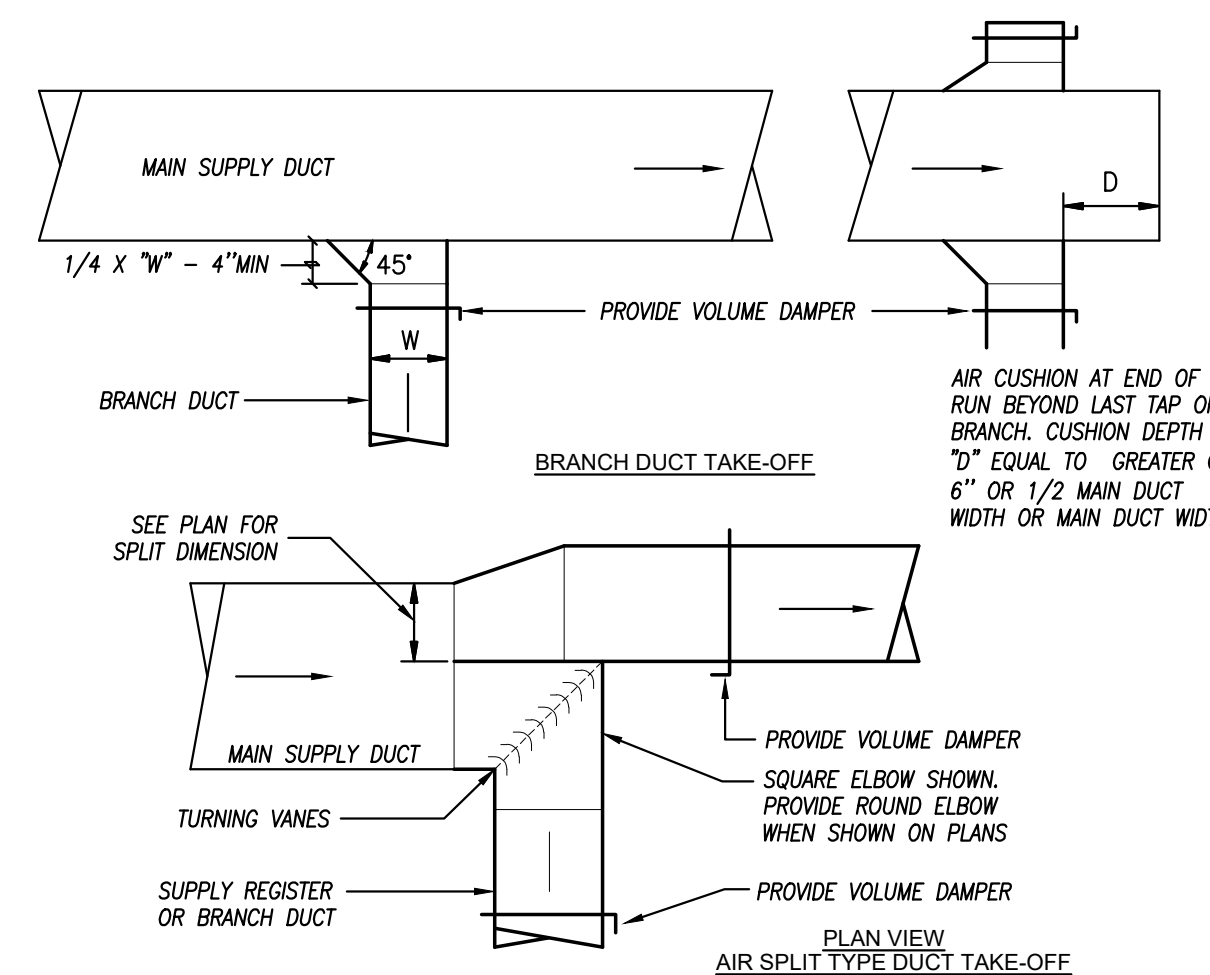
CONDENSING UNIT / HEAT PUMP DETAIL

NOT TO SCALE



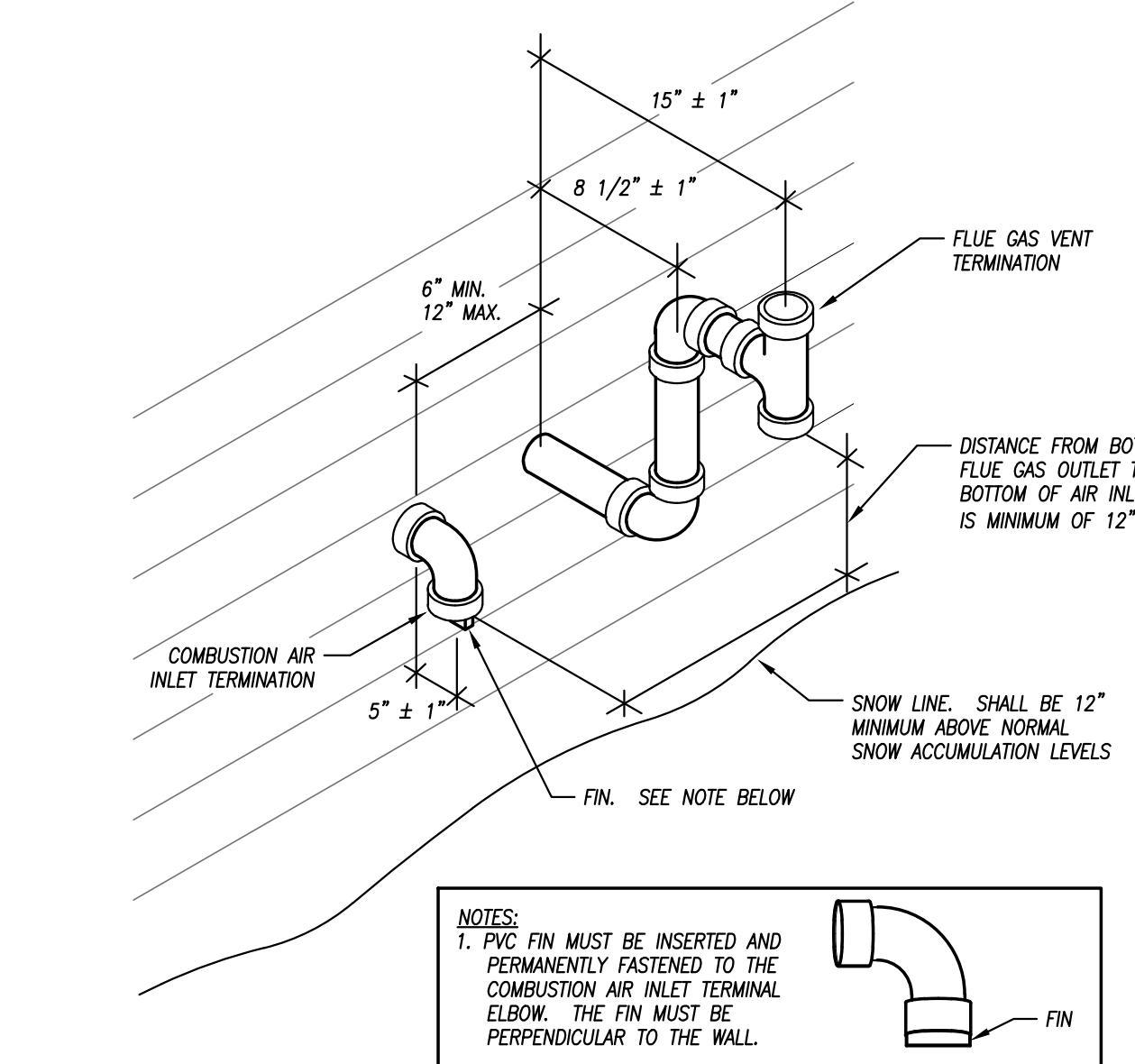
TRANSFER BOOT DETAIL

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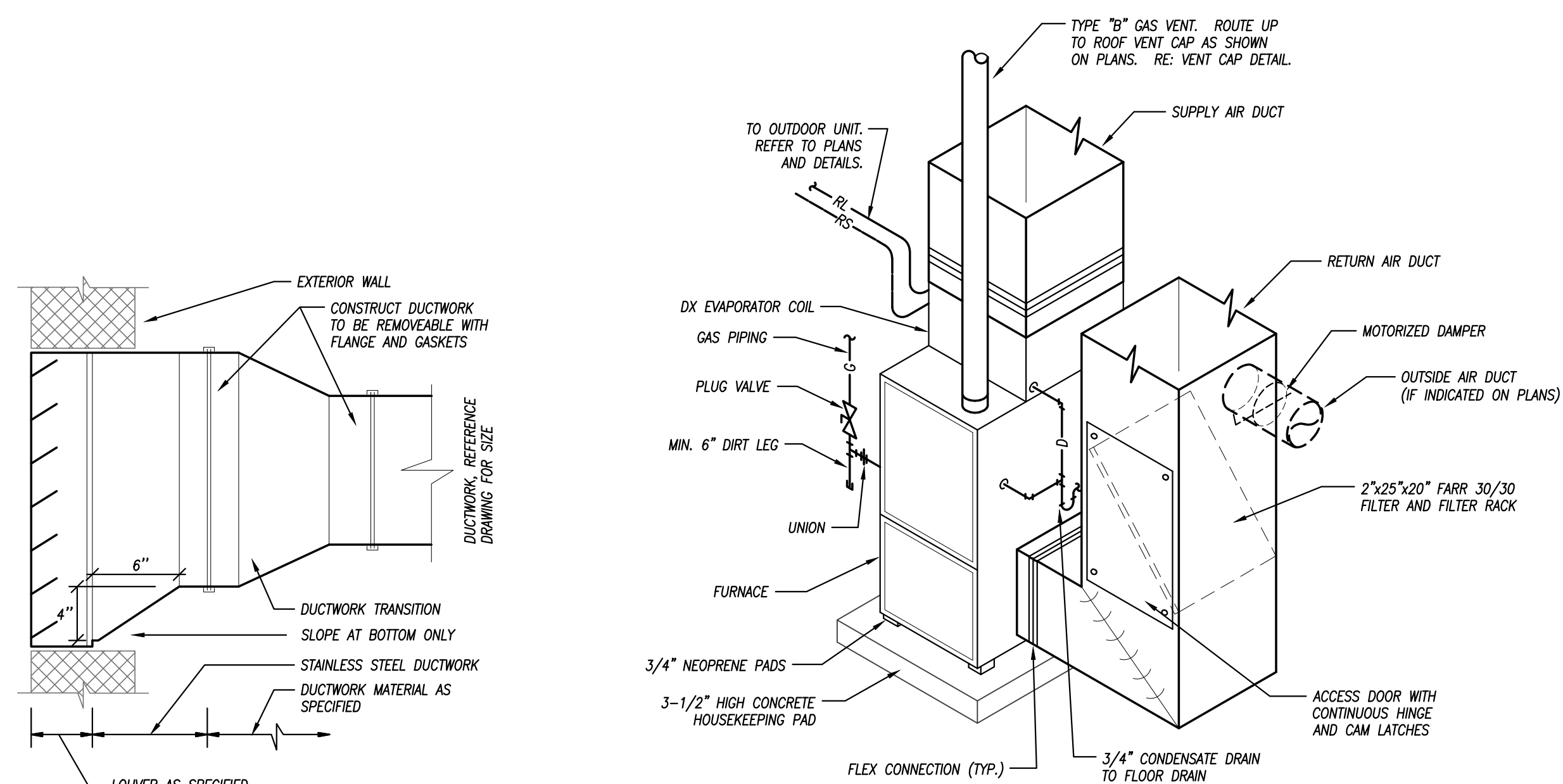
DUCTWORK TAKEOFFS

NOT TO SCALE



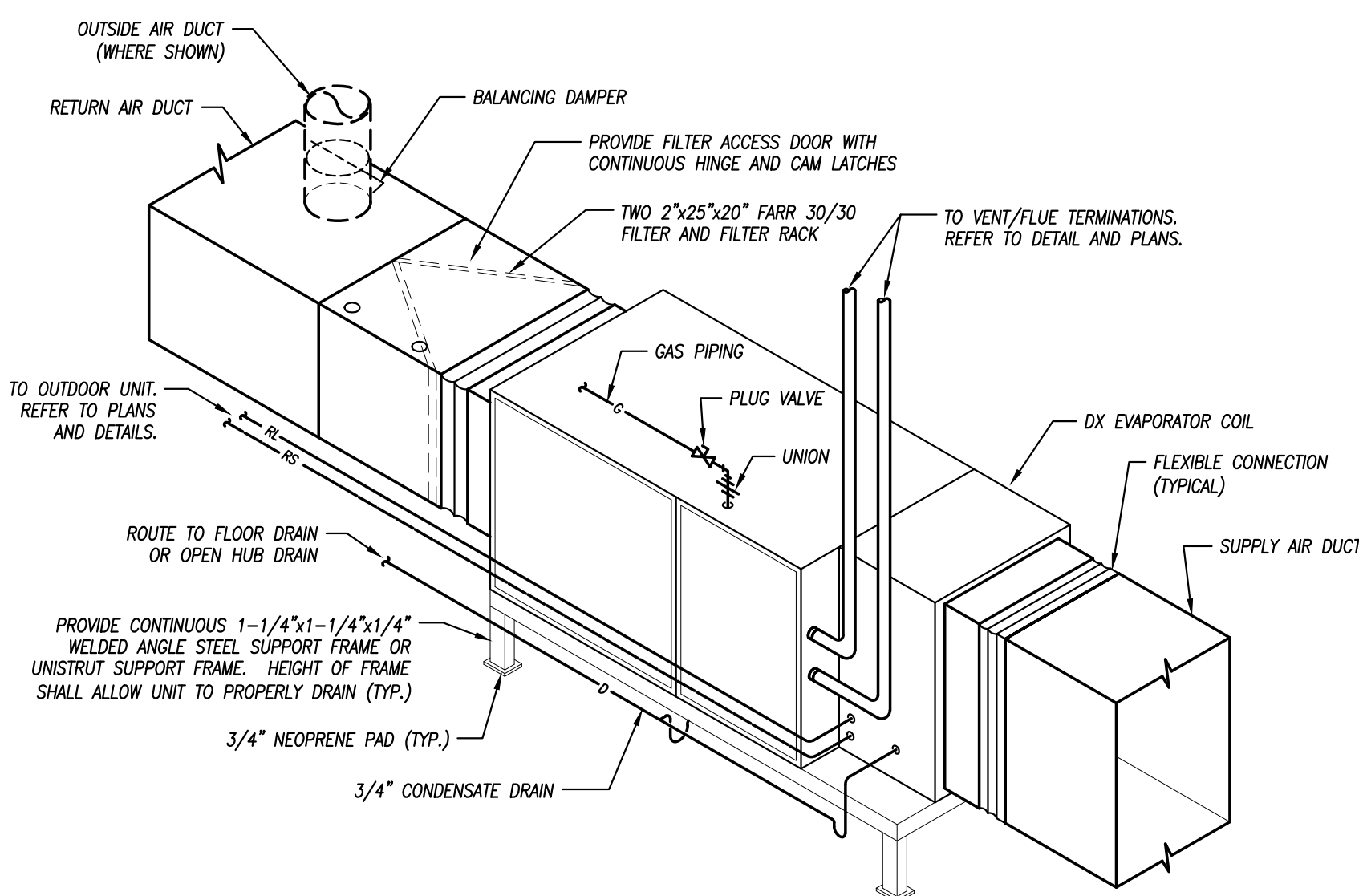
WALL VENT/COMBUSTION AIR DETAIL

NOT TO SCALE



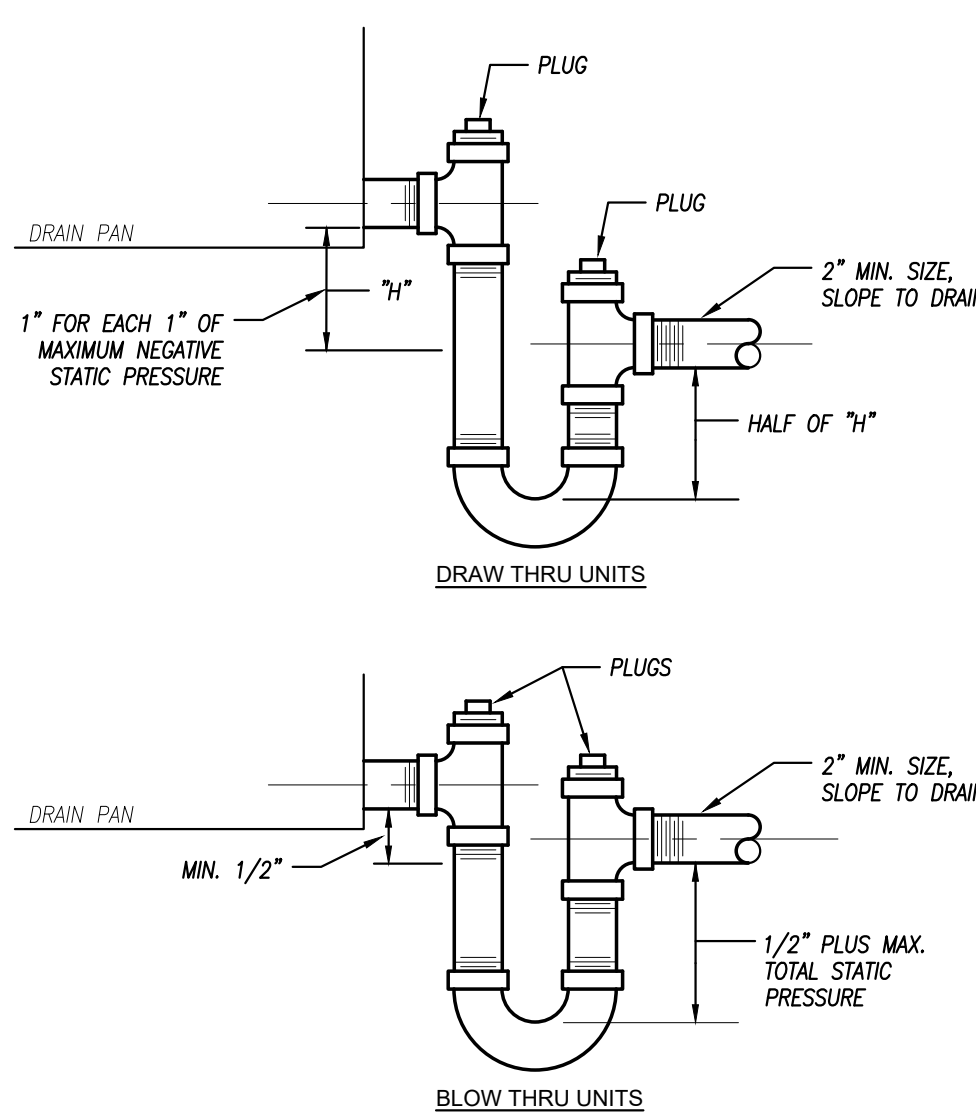
FURNACE DETAIL

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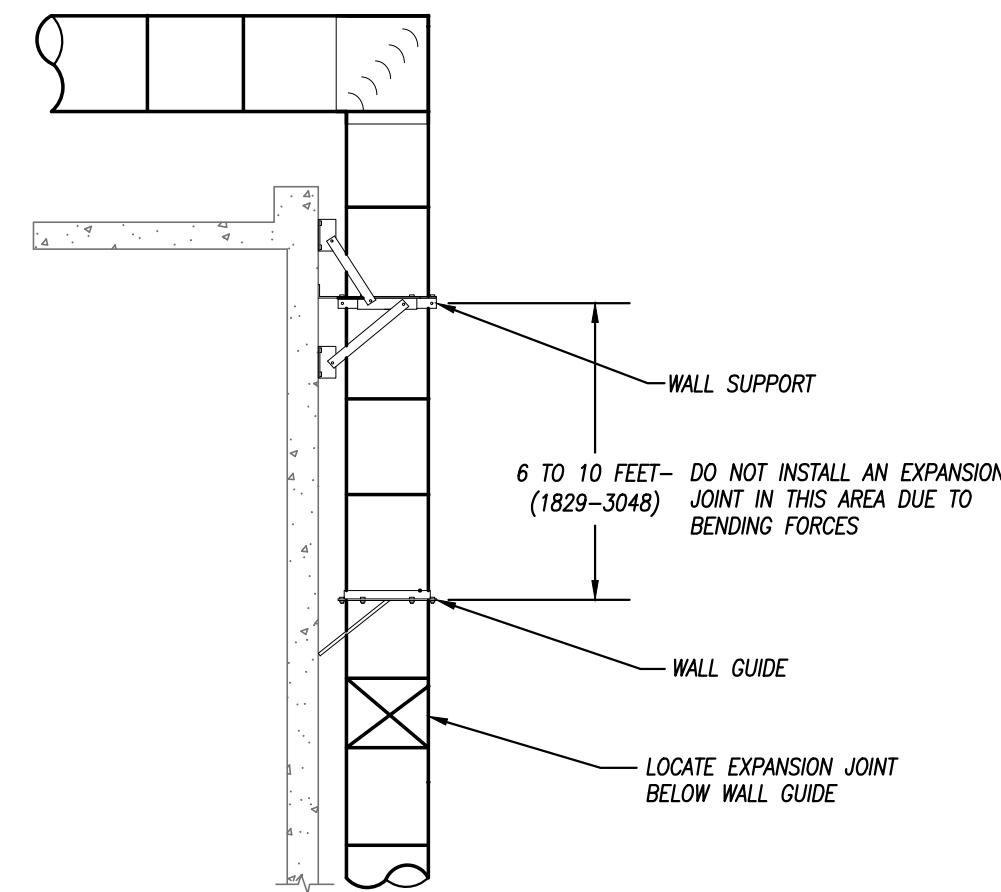
HORIZONTAL FURNACE DETAIL

NOT TO SCALE



CONDENSATE TRAP DETAIL

NOT TO SCALE



GREASE DUCT ON WALL DETAIL

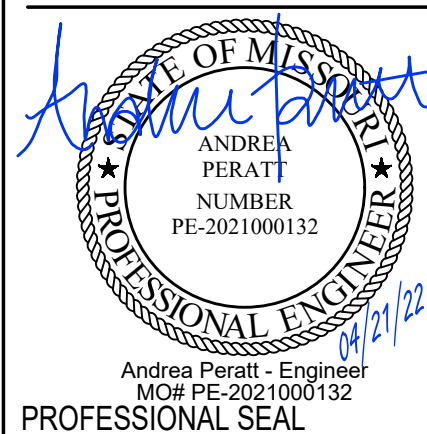
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MECHANICAL - SCHED. /DETAILS



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 **1ST FLOOR PLAN - DEMOLITION**
1/8" = 1'-0"

 **2ND FLOOR PLAN - DEMOLITION**
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- ① REMOVE ALL DOMESTIC COLD WATER, HOT WATER, SANITARY & VENT PIPE SERVING FIRST FLOOR FIXTURES AND EQUIPMENT. DO NOT DEMOLISH SANITARY PIPES FROM SECOND FLOOR. REFER TO NEW WORK PLAN.
- ② GAS PIPE SERVING FIRST FLOOR TO BE REMOVED.
- ③ EXISTING WATER HEATER TO BE REPLACED ON SAME LOCATION. REUSE ALL EXISTING PIPES AND ACCESSORIES. REFER TO NEW WORK PLAN.
- ④ EXISTING FURNACE TO BE REPLACED ON SAME LOCATION. RECONNECT EXISTING GAS AND PROVIDE NEW CONDENSATE DRAIN PIPE.

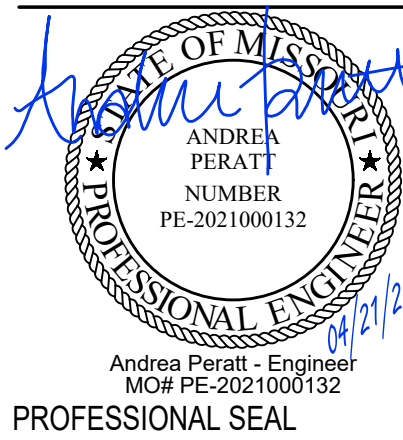


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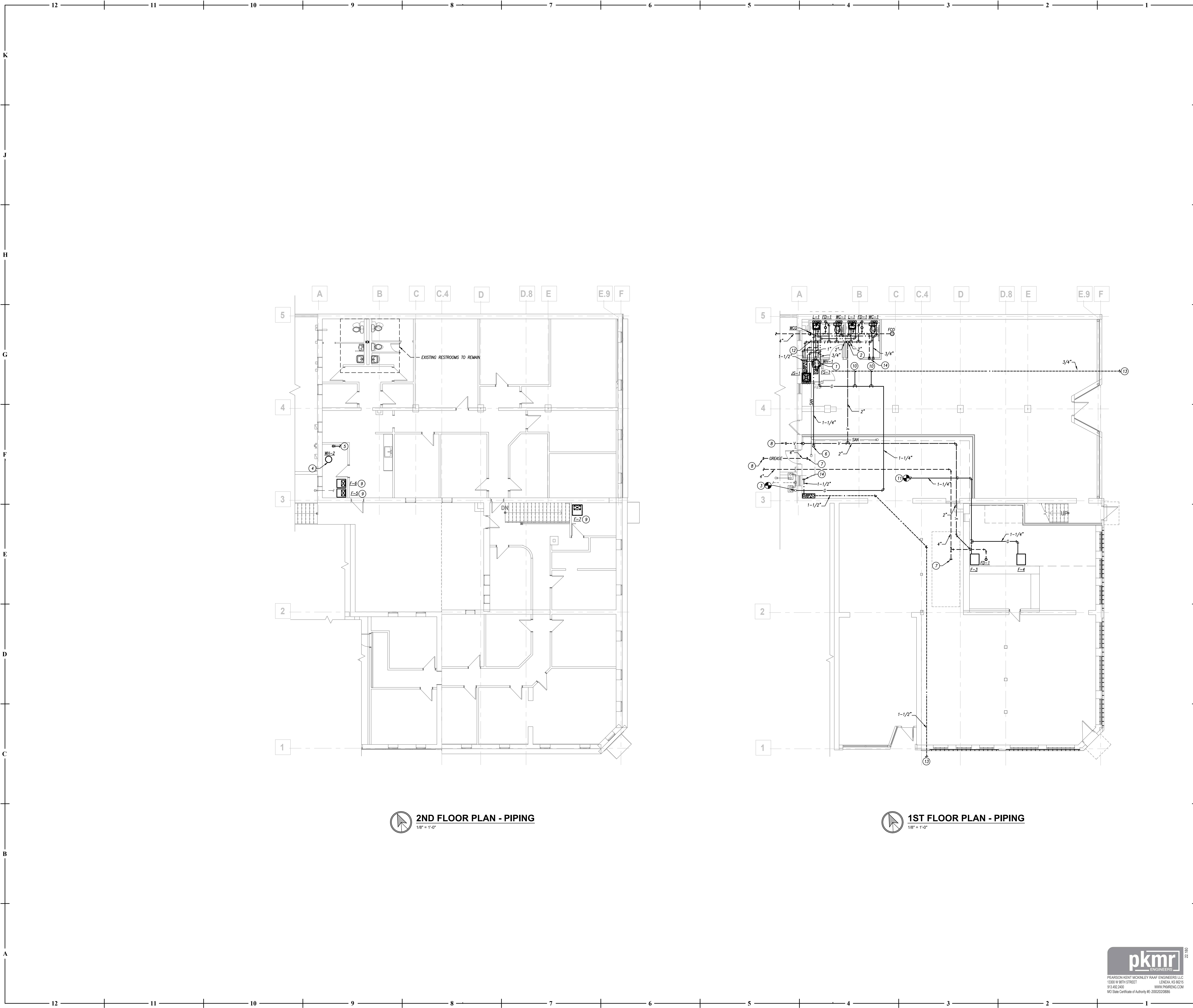
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DEMOLITION - FLOOR PLANS

Permit Set



2ND FLOOR PLAN - PIPING
1/8" = 1'-0"

1ST FLOOR PLAN - PIPING
1/8" = 1'-0"

GENERAL PLUMBING NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. REFER TO PLUMBING FIXTURE / DRAIN SCHEDULES FOR PIPING SIZES FOR INDIVIDUAL CONNECTIONS TO FIXTURES AND RISERS NOT SHOWN ON PLANS.
3. NO SANITARY OR VENT PIPING BELOW GRADE SHALL BE LESS THAN 2'.
4. NO DOMESTIC WATER PIPING SHALL BE SMALLER THAN 3/4" UNLESS NOTED OTHERWISE.
5. ALL VENT PIPING SHOWN IS DIAGRAMMATIC. USE APPROPRIATE FITTINGS FOR VENT PIPING BELOW FLOOD SIM OF FIXTURE.
6. NOT ALL INTERIOR CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE-REQUIRED CLEANOUTS (RE: GENERAL NOTES ON COVER SHEET). COORDINATE EXACT LOCATIONS OF CLEANOUTS WITH ARCHITECT.
7. ALL FLOOR DRAIN TRAPS SHALL BE PROTECTED BY ONE OF THE FOLLOWING METHODS, TO BE INSTALLED AT CONTRACTOR'S DISCRETION AND IN COMPLIANCE WITH ADOPTED VERSION OF PLUMBING CODE AND/OR ANI.
 - 7.1. PROVIDE TRAP SEALS LISTED FOR PROPOSED USE.
 - 7.2. PROVIDE TRAP PRIMERS. 1/2" TRAP PRIMER PIPING TO NEAREST TRAP PRIMER VALVE. PIPING SHALL BE TYPE "K" SOFT COPPER SEAMLESS WITH NO JOINTS FROM VALVE TO DRAIN.

PLUMBING PLAN KEYED NOTES

1. INSTALL WATER HEATER NEXT TO JANITOR'S SINK.
2. 3" VENT THROUGH CHASE ON 2ND FLOOR TO ROOF. TERMINATE VENT 10' CLEAR FROM ANY OUTSIDE AIR INTAKE.
3. CONNECT TO EXISTING GAS MAIN FOR NORTH/SECOND FLOOR TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
4. NEW WATER HEATER. RECONNECT WATER HEATER TO EXISTING PLUMBING. PROVIDE NEW PIPE/PIPE FITTING IF REQUIRED.
5. 3/4" DOMESTIC WATER PIPE UP FROM FLOOR BELOW. CONNECT TO EXISTING COLD WATER MAIN TO SERVE ALL 2ND FLOOR PLUMBING FIXTURES AND EQUIPMENT. CONTRACTOR TO VERIFY LOCATION OF EXISTING PIPE.
6. 3/4" COLD WATER PIPE TO 2ND FLOOR.
7. PIPE TO BE CAPPED FOR FUTURE TENANT USE. PIPING TO BE 36" BELOW FINISH GRADE FOR FUTURE TENANT USE.
8. UNDERGROUND GREASE AND VENT TO BE CAPPED OUTSIDE FOR FUTURE GREASE INTERCEPTOR.
9. RECONNECT EXISTING GAS TO FURNACES. PROVIDE NEW CONDENSATE DRAIN AND TERMINATE TO NEAREST FLOOR DRAIN.
10. GAS PIPE FOR FURNACE F-1 AND F-2 RESPECTIVELY. REFER TO DETAIL FOR CONNECTION.
11. CONNECT TO EXISTING GAS MAIN FOR SOUTH TENANT. CONTRACTOR SHALL FIELD VERIFY GAS PIPE ROUTING AND SIZING PRIOR TO NEW SCOPE OF WORK.
12. CONNECT EXISTING SANITARY LINE FROM SECOND FLOOR EXISTING PIPING TO REMAIN. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
13. REFER TO CIVIL FOR CONTINUATION.
14. CAP PLUMBING PIPING FOR FUTURE TENANT BUILD OUT.



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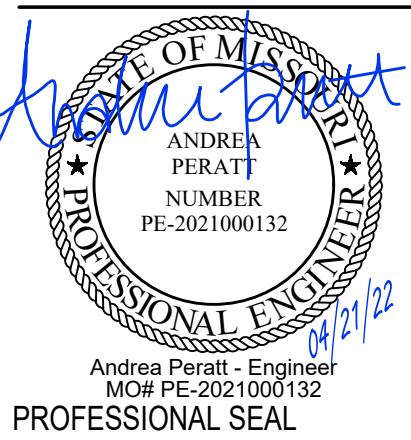
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PLUMBING - FLOOR PLANS



PLUMBING FIXTURE SCHEDULE									
MARK	FIXTURE MODEL	FIXTURE DESCRIPTION	FITTINGS AND TRIM		REMARKS	PLUMBING FIXTURE PIPE SIZES			
			FITTINGS MODEL	FITTINGS AND DESCRIPTION		WASTE	VENT	DCW	DHW
L-1	TBD OWNER SELECTION	WALL-HUNG FAUCET. 20"x18" WHITE VITREOUS CHINA BOWL WITH 4" BACK FOR USE WITH CONCEALED ARM HANGER. FAUCET HOLES COORDINATED WITH FAUCET AND TRIM. PROVIDE CONCEALED ARM CARRIER.	TBD OWNER SELECTION	CENTERSET SINGLE HOLE FAUCET WITH LOOP METAL LEVER HANDLE. 1/2" CONNECTIONS, WITH DRAIN AND POP-UP HOLE. POLISHED CHROME FINISH	1,2,3,4,5	2"	1-1/2"	1/2"	1/2"
WC-1	TBD OWNER SELECTION	ADA-COMPLIANT, 1.28/0.9 GPF DUAL, FLUSH TANK WATER CLOSET. PRESSURE-ASSISTED SPINON JET. WHITE VITREOUS CHINA ELONGATED BOWL AND TANK. 16-1/8" HIGH. TWO PIECE. 12" ROUGH-IN. FURNISH WITH POLISHED CHROME FLUSH ACTUATOR ON WIDE SIDE OF STALL.	TBD OWNER SELECTION	WHITE, SOLID PLASTIC, CLOSED-FRONT SEAT FOR ELONGATED BOWL. INTEGRAL RUMPLES. SOLID TOP LID. EXTERNAL CHECK RINGS WITH STAINLESS STEEL POSTS.	3,6	4"	2"	1/2"	----
JS-1	FBI TSBC-610	JANITORS SINK: 24"x24"x12" PRECAST TERRAZZO FLOOR SERVICE SINK. CORNER CHAMFERED MODEL FOR INSTALLATION IN CORNER OF ROOM. STAINLESS STEEL CAP AND 2 SIDE WALL TUNG FLANGE. 3" STAINLESS STEEL CAST DRAIN AND STAINLESS STEEL STRAINER PLATE. PROVIDE STAINLESS STEEL WALL GRABBERS, MOP BRACKETS, HOSE RACK.	CHICAGO FAUCET 897-C	C.P. SERVICE SINK FITTING WITH VACUUM BREAKER, 3/4" HOSE THREAD ON SPOUT, ADJUSTABLE WALL BRACE, PAIL HOOD, AND 1/2" FLEXIBLE FEMALE ADJUSTABLE ARM WITH INTEGRAL STOPS. CAULK BETWEEN WALL AND FLANGE WITH DE SILICONE SEALANT. 3" CL. 7" TRAP.	----	3"	2"	1/2"	1/2"
REMARKS: 1. PROVIDE CHROME-PLATED BRASS TAILPIPE AND GRID DRAIN. 2. PROVIDE CHROME-PLATED BRASS P-TRAP. 3. PROVIDE LOOSE KEY STOPS AND FLEXIBLE RISERS. 4. PROVIDE CONCEALED ARM TYPE CARRIER WITH SQUARE, TUBULAR STEEL UP-RIGHTS AND BLOCK TYPE BASES. 5. INSULATE EXPOSED TAILPIPE, P-TRAP, AND WATER RISERS. REFER TO SPECIFICATIONS FOR INSULATION METHODS. 6. PROVIDE FLUSH VALVE HANDLE ON WIDE SIDE OF STALL. 7. PROVIDE HANDLE STOPS AND FLEXIBLE RISERS. 8. PROVIDE CHROME-PLATED BRASS TAILPIPE AND BASKET STRAINER.									
GENERAL NOTES (APPLICABLE TO ALL FIXTURES): 1) ALL PLUMBING MATERIALS AND SINKS SHALL BE COORDINATE WITH ANTI-SOALD SAE 1070 LISTED VALVE ON HOT WATER SUPPLY. 2) VERIFY PLUMBING MATERIALS AND EQUIPMENT COORDINATION BETWEEN TRADES. VERIFY CABINET SIZES, COUNTERTOP MATERIALS, WALL THICKNESSES, ETC ARE APPROPRIATE FOR SPECIFIED EQUIPMENT PRIOR TO ORDER.									

PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	TOP/GRATE SIZE	WASTE SIZE	REMARKS
FD-1	WADE	1100	FLOOR DRAIN	6"9"	2"	1
FS-1	WADE	9100	FLOOR SINK	12"x12"	4"	2

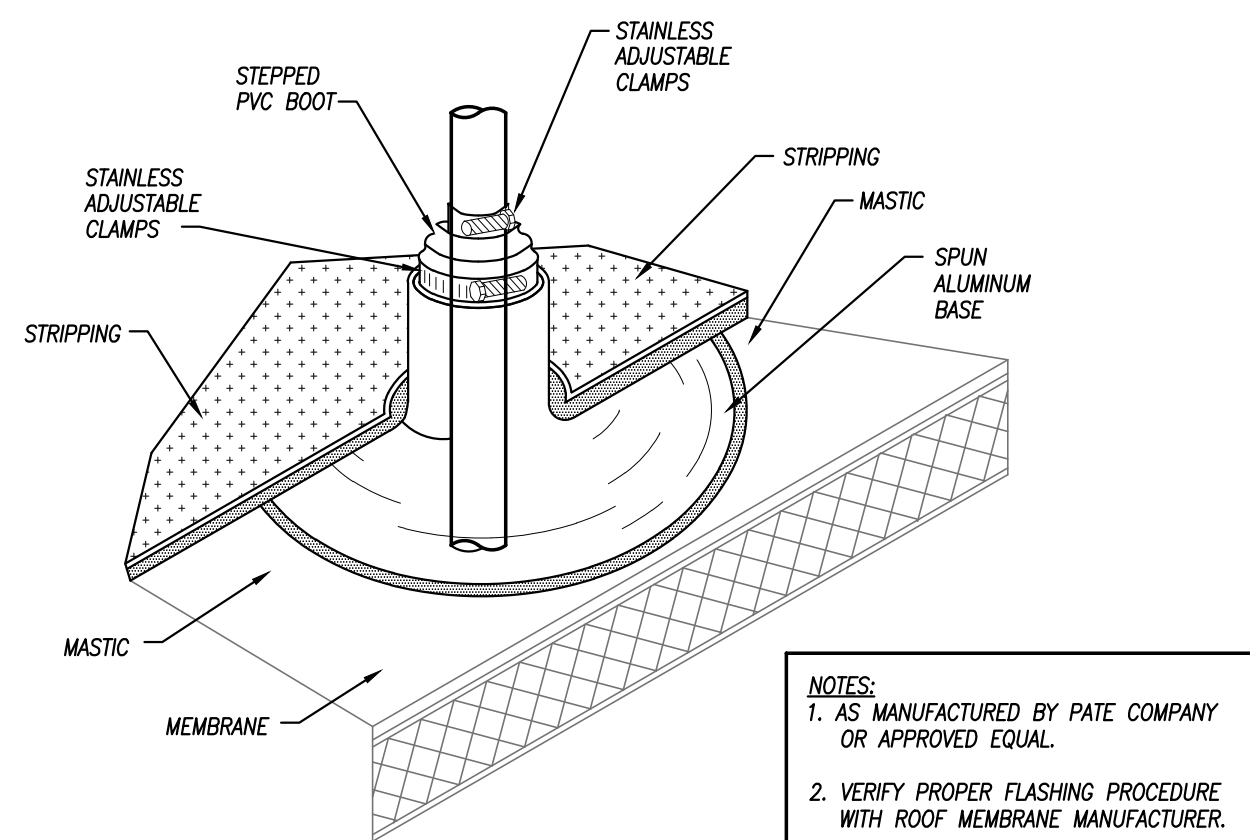
REMARKS:

1. PROVIDE WITH NICKEL BRONZE TOP.
2. PROVIDE WITH 3/4" GRATE.

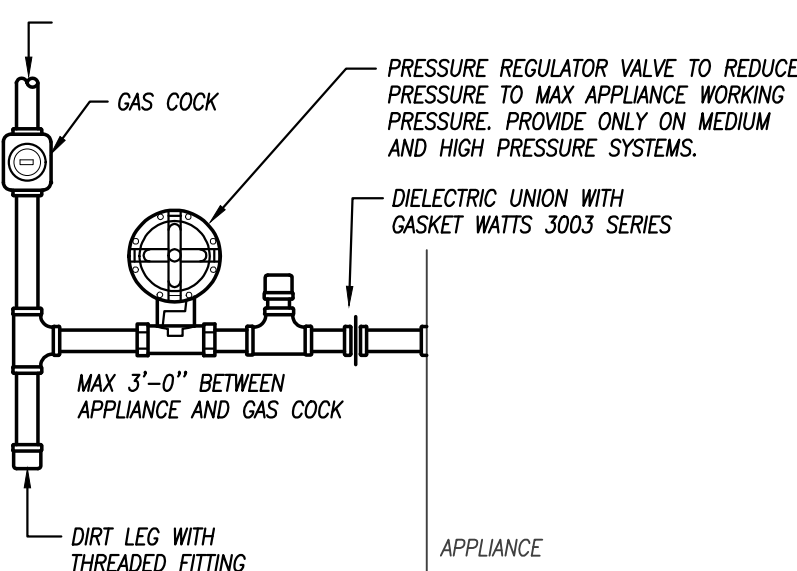
GAS WATER HEATER SCHEDULE										
PLAN MARK	MANUFACTURER	MODEL NUMBER	GALLONS	STYLE	GAS INPUT (MBH)	ENERGY FACTOR	RECOVERY @ 90° F	FLUE SIZE (IN/OUT)	VOLTAGE/ PHASE	REMARKS
WH-1	STATE	GSE 50	50	RESIDENTIAL	POWER DIRECT VENT	65	0.58	64	3" / 3"	120V / 1PH 2
WH-2	STATE	GPK 50	50	RESIDENTIAL	STANDARD EFF.	50	0.62	41	4" / 3"	120V / 1PH 1

REMARKS:

- DIRECT-VENT STYLE WATER HEATER.
- PROVIDE WITH MANUFACTURERS CONCENTRIC VENT KIT.

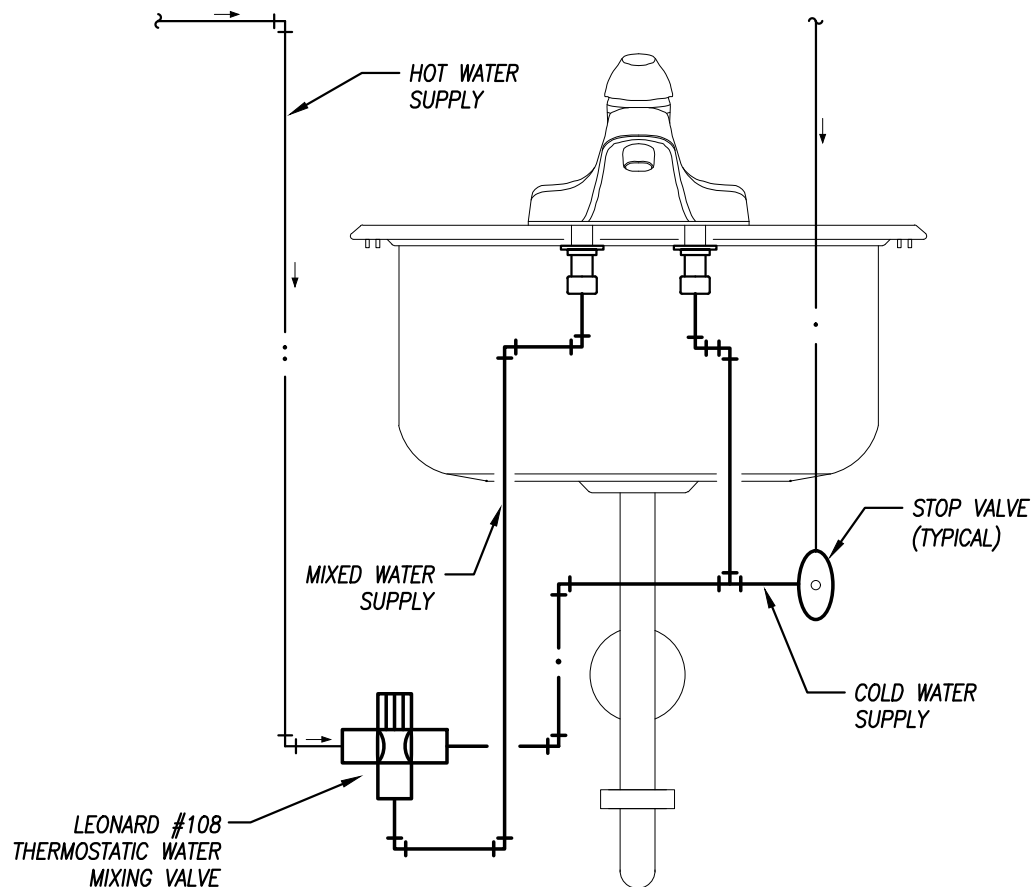


ROOF PLUMBING VENT

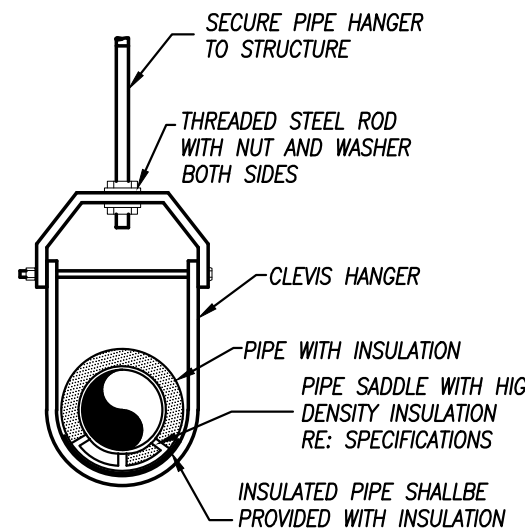


TYPICAL GAS CONNECTION

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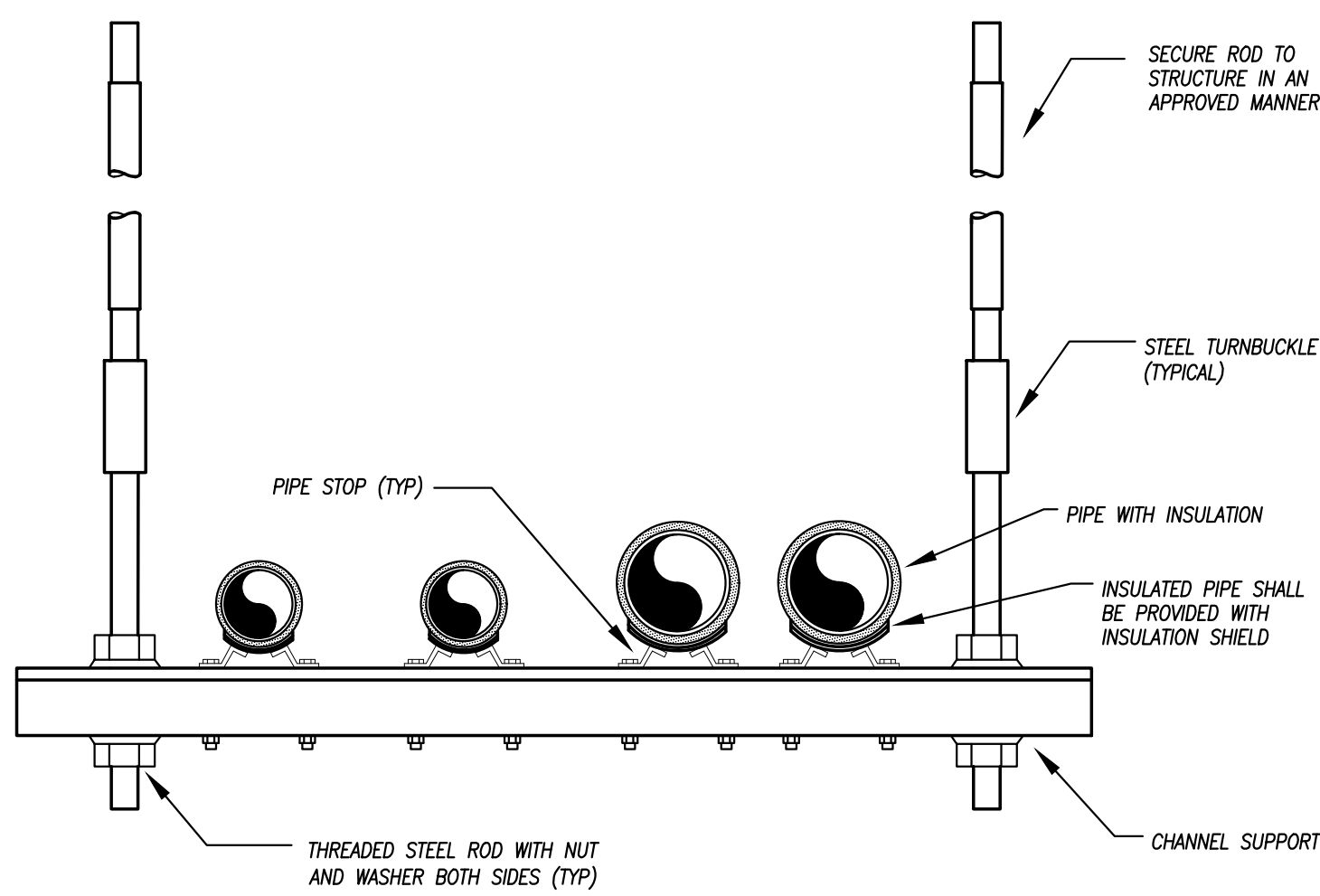


HAND WASHING SINK/LAVATORY TEMPERED WATER SCHEMATIC

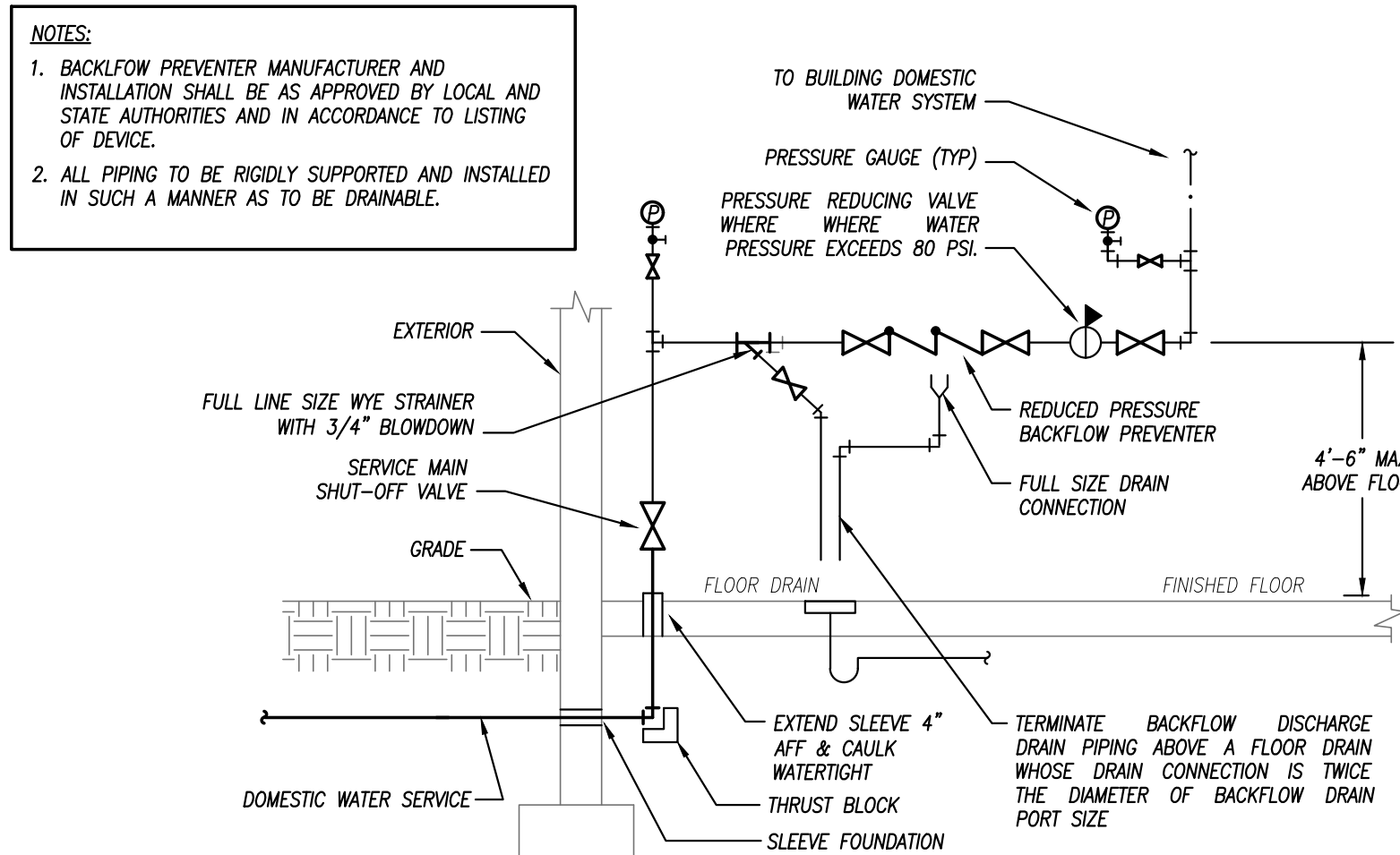


PIPE HANGER DETAIL

NOT TO SCALE



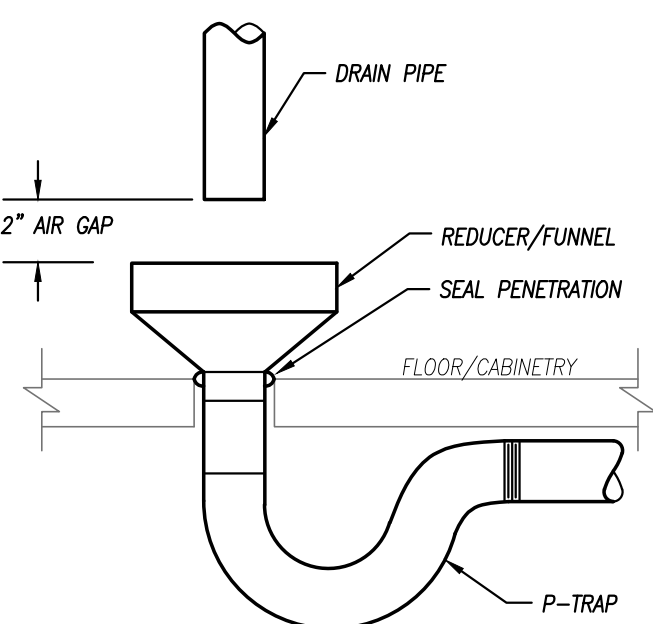
MULTIPLE PIPE TRAPEZE HANGER DETAIL



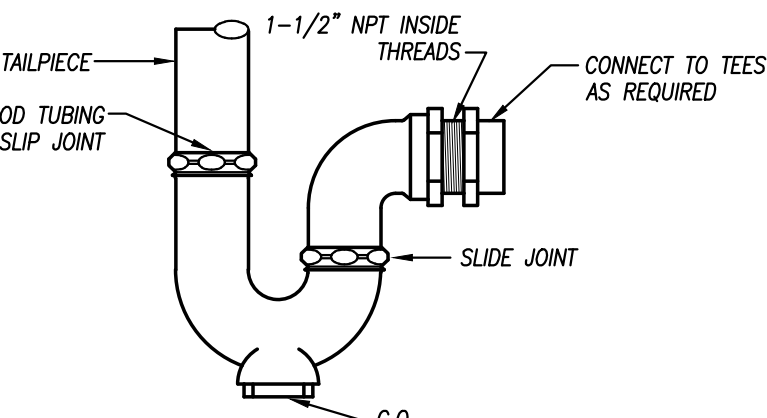
WATER SERVICE

REDUCED PRESSURE BACKFLOW PREVENTER DETAIL

NOT TO SCALE

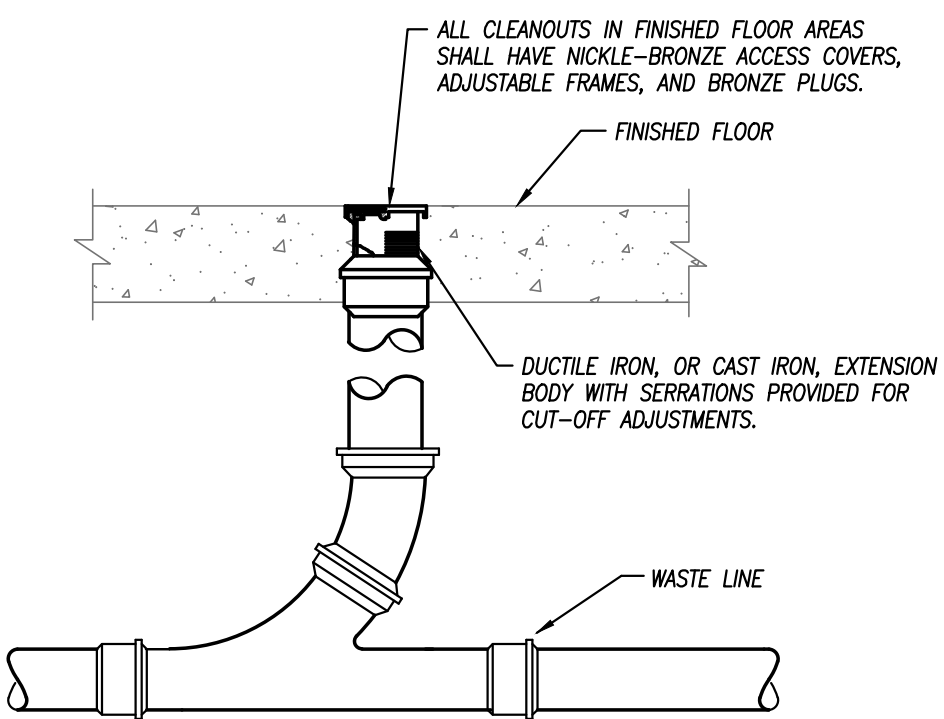


AIR GAP DETAIL



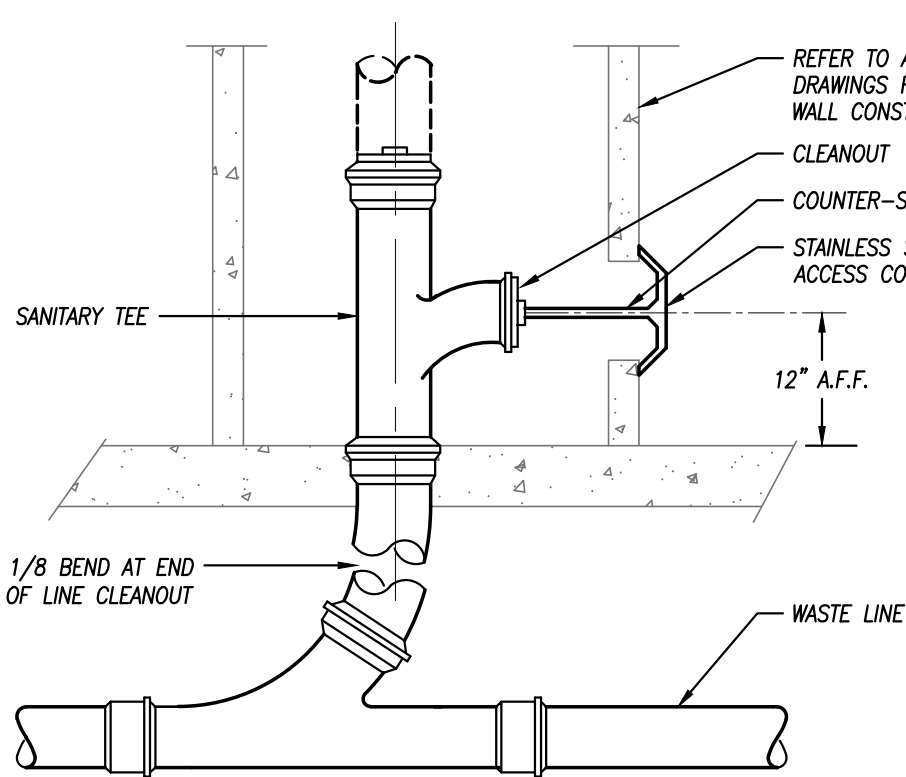
P-TRAP DETAIL

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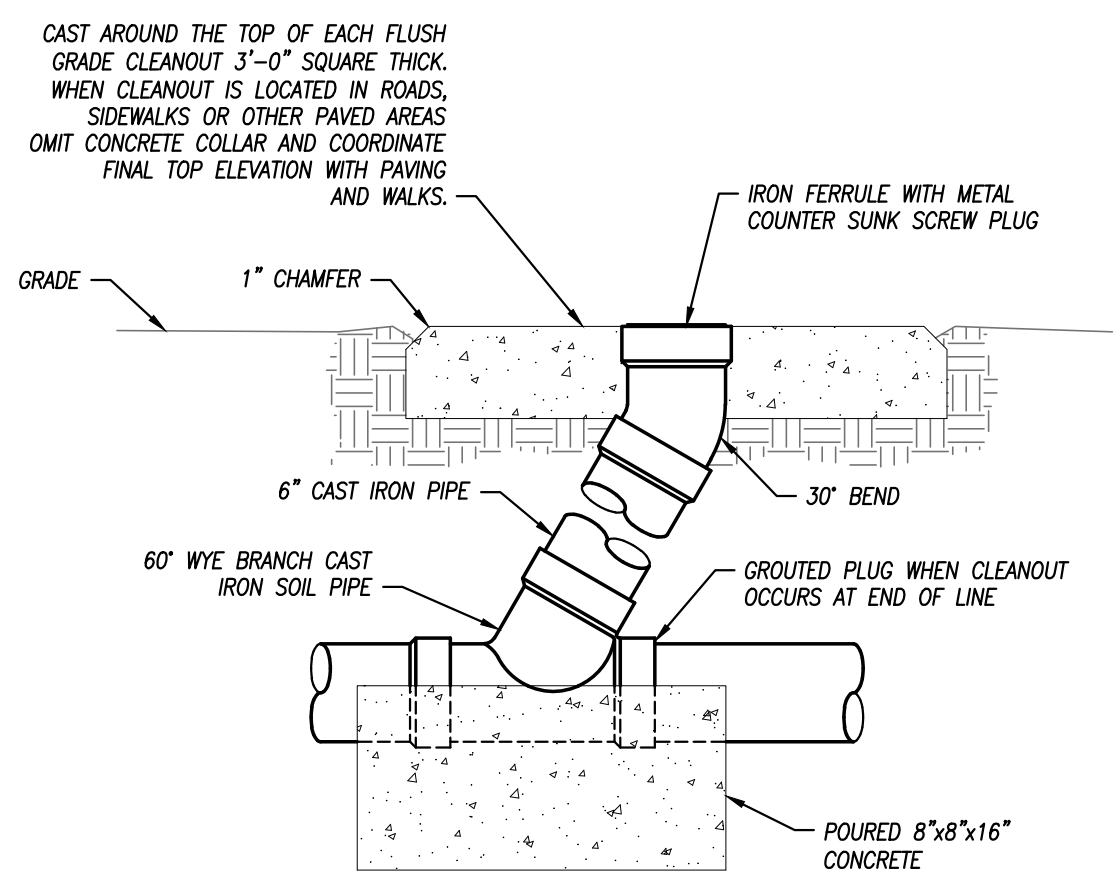
FLOOR CLEANOUT DETAIL

NOT TO SCALE

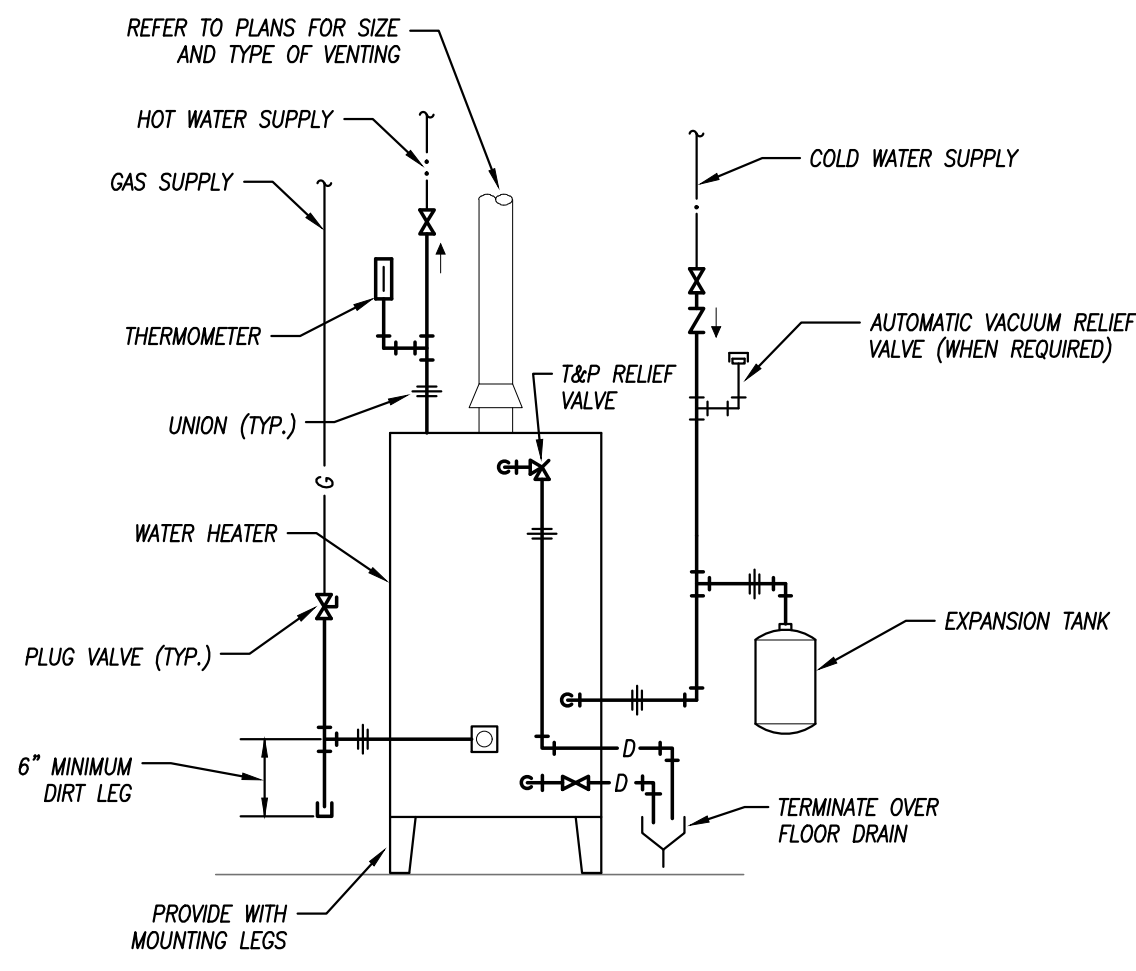


WALL CLEANOUT DETAIL

NOT TO SCALE

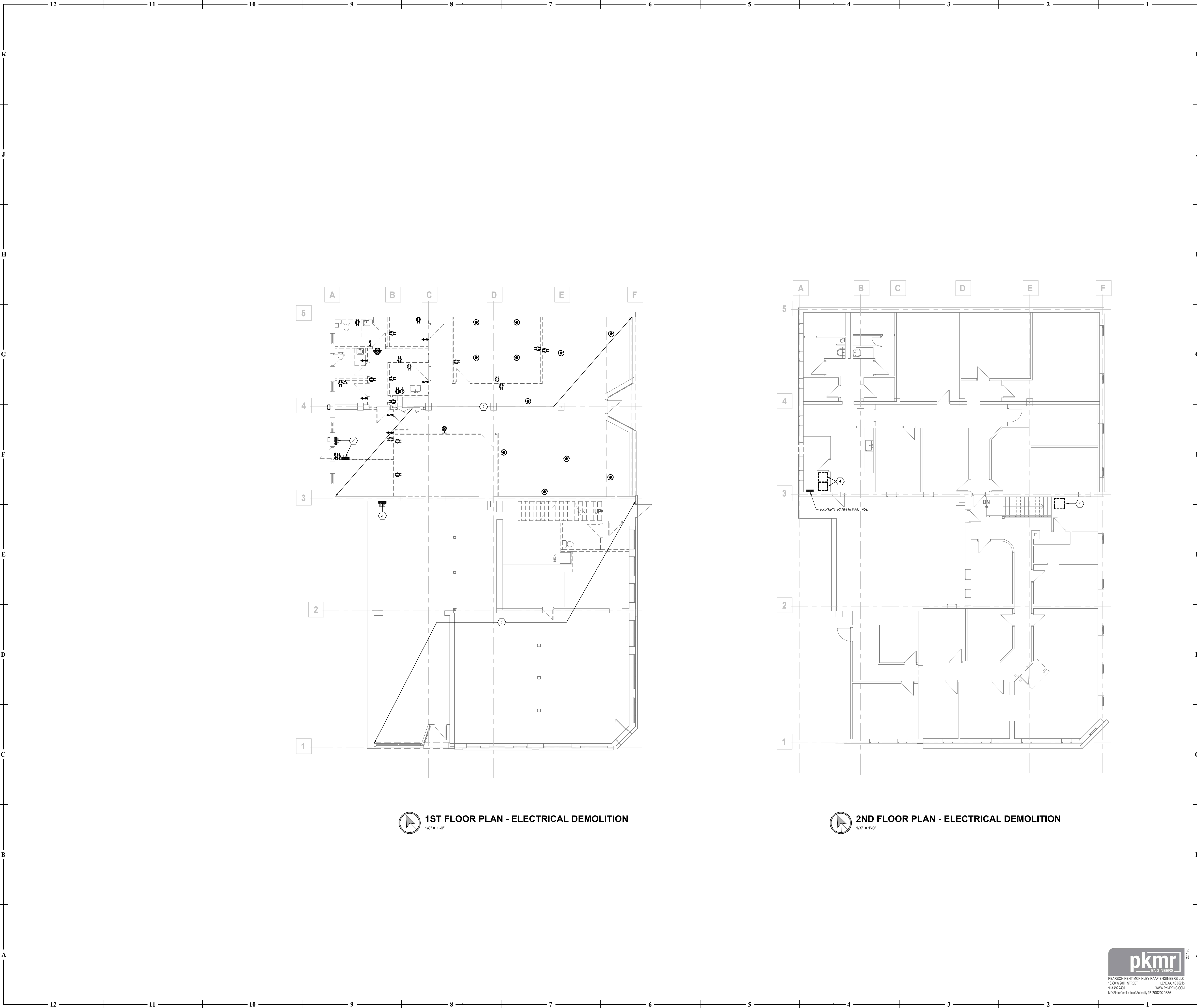


FLUSH GRADE CLEANOUT DETAIL



GAS WATER HEATER DETAIL

NOT TO SCALE



 **1ST FLOOR PLAN - ELECTRICAL DEMOLITION**
1/8" = 1'-0"

 **2ND FLOOR PLAN - ELECTRICAL DEMOLITION**
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

1. REMOVE ALL FIXTURES, EQUIPMENT, AND DEVICES THIS AREA. REMOVE ALL WIRING/CONDUIT AND PIPING TO SAME NOT REQUIRED TO REMAIN.
2. REMOVE PANELBOARD AND MAINTAIN EXISTING CIRCUITS TO REMAIN. INCEPT AND EXTEND EXISTING BRANCH CIRCUITS NEW PANELBOARD IN NEW LOCATION. REFER TO NEW WORK DRAWINGS FOR MORE INFORMATION.
3. REMOVE EXISTING PANELBOARD. REMOVE FEEDERS AND BRANCH CIRCUITS TO SAME.
4. EXISTING FURNACE TO BE REPLACED. MAINTAIN EXISTING WIRING/CONDUIT TO RECONNECT TO NEW FURNACE.



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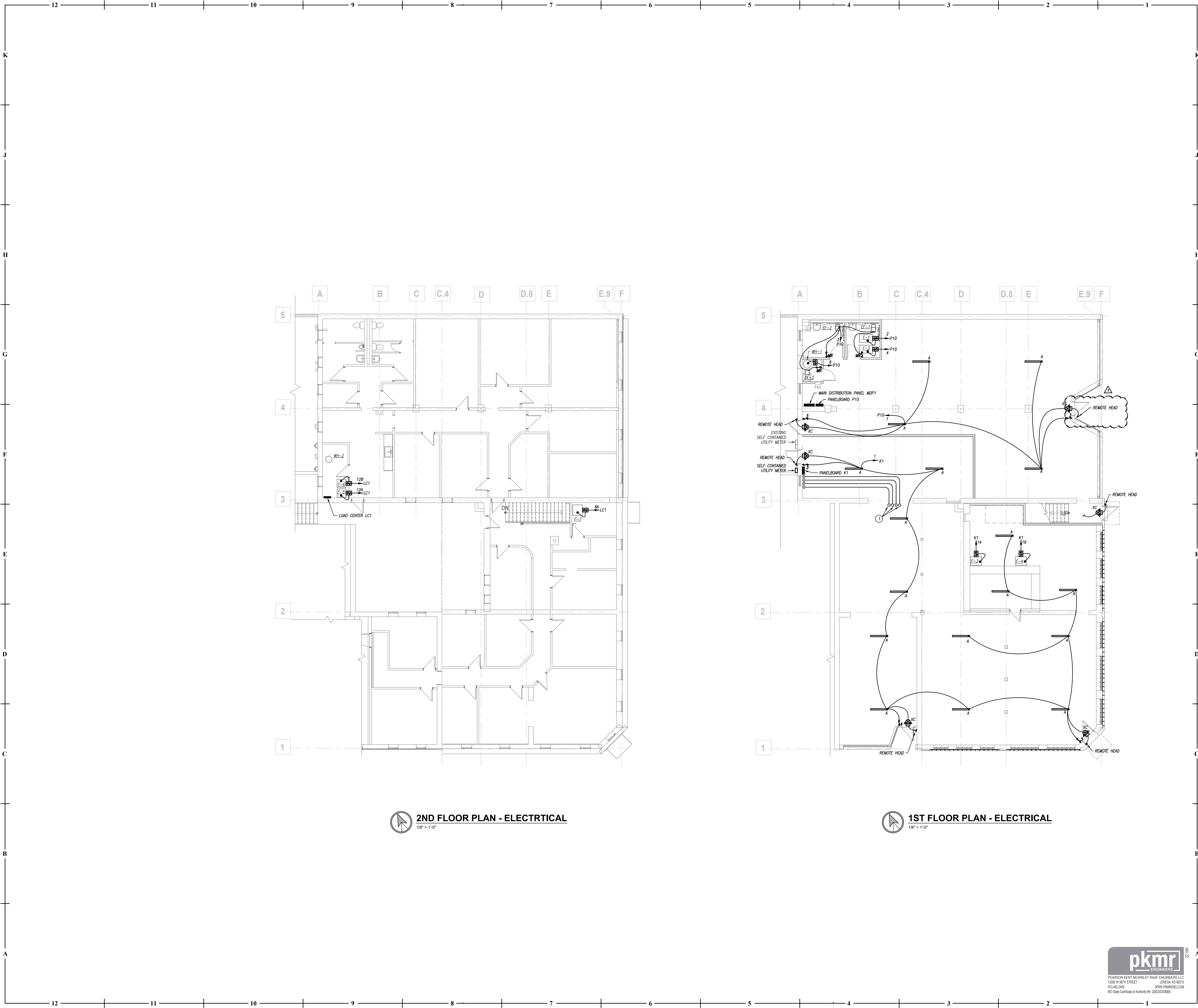
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LENDIA, KS 66215
913.482.2403 WWW.PKMRNG.COM
MO State Certificate of Authority #E-0002020886

ELECTRICAL DEMOLITION - FLOOR PLANS



GENERAL LIGHTING NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. LIGHT FIXTURES INDICATED AS EMERGENCY FIXTURES ARE TO FUNCTION AS NIGHT LIGHTS UNLESS SPECIFICALLY SHOWN SWITCHED.
3. ALL CIRCUITING SHOWN ON THIS PLAN IS DIAGRAMMATIC.
3.1. ALL FIXTURES SHALL BE FED FROM JUNCTION BOXES WITH LIGHT FIXTURE WIRING (<4'). GASTY-CIRCUITING OF FIXTURES IS NOT ALLOWED.
3.2. SWITCH BOX LOCATIONS SHALL BE WIRED SO THAT A NEUTRAL WIRE IS AVAILABLE AT THE SWITCH BOX LOCATION, EITHER IN THE BOX OR AVAILABLE TO BE ADDED VIA RACEWAY OR AN ACCESSIBLE WALL CAVITY.
3.3. WALL SWITCHES FOR SEPARATE LOAD TYPES (CM/NORMAL, 120/277V, ETC.) SHALL NOT BE IN A SINGLE BOX.
3.4. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ELECTRICAL PLAN KEYED NOTES

1. PROVIDE (3) 2" CONDUIT AND (1) 1" CONDUIT WITH PULL STINGS FOR FUTURE MECHANICAL EQUIPMENT. ROUTE CONDUIT TIGHT TO CEILING AND TURN UP THROUGH CEILING PATCH ALL PENETRATIONS WATERTIGHT. CAP CONDUIT AT BOTH ENDS FOR FUTURE USE.



MAIN STREET LANDLORD IMPROVEMENTS

230 SW MAIN ST.
LEE'S SUMMIT, MO 64063

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REVISION DATES:
City Comments 05/17/22



PROFESSIONAL SEAL
E111
ISSUE DATE: APRIL 21, 2022
COLLINS WEBB #: 21121



ELECTRICAL - FLOOR PLANS

Permit Set

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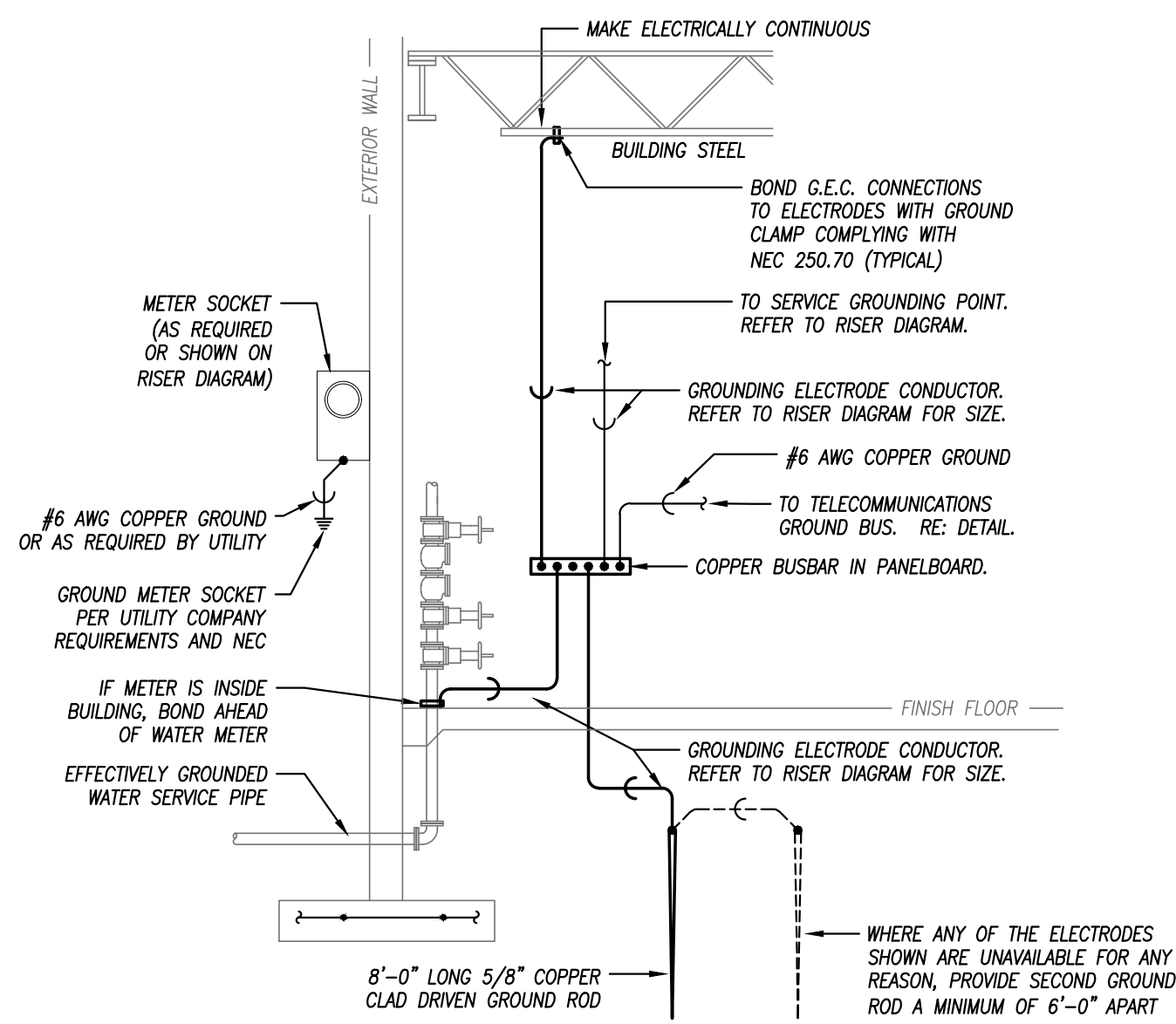
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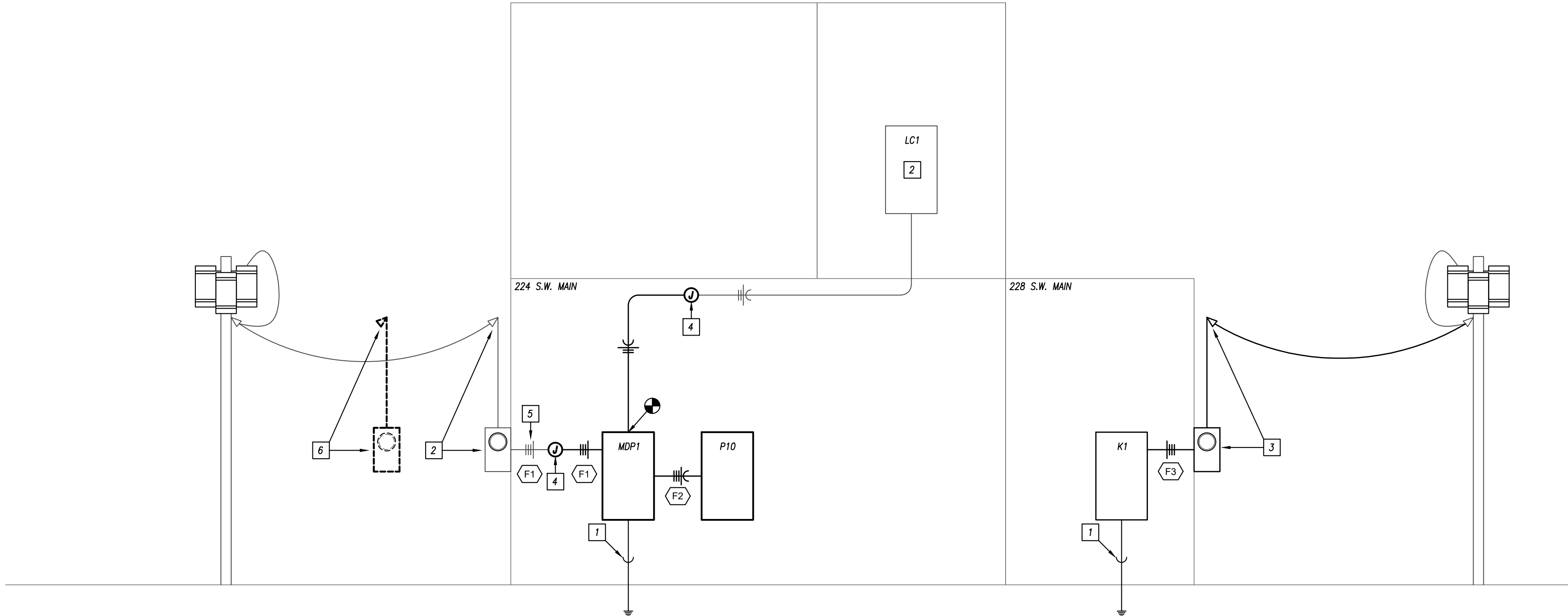
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A



ELECTRICAL SERVICE GROUNDING DETAIL

NOT TO SCALE



ELECTRICAL RISER DIAGRAM

NOT TO SCALE

SINGLE-SECTION PANELBOARD SCHEDULE											
PANEL DESIGNATION: K1						MAIN LUG AMPS: 400 MAIN BREAKER: 400 VOLTAGE: 208/120 PHASE/WIRE: 3Ø, 4W					
MOUNTING: SURFACE LOCATION: FUTURE TENANT S-100						SCCR RATING (AIC): 22,000					
DESCRIPTION	PHASE			C/B	POLE	CIRCUIT #	PHASE			C/B	POLE
	A	B	C				A	B	C		
LTS: FUTURE TENANT S-100	546	-	-	20	1	1	20	1	3	4	3
SPARE	-	-	-	20	1	2	3459	3459	3459	-	-
SPARE	-	-	-	20	1	3	-	-	-	-	-
SPARE	-	-	-	20	1	4	-	-	-	-	-
SPARE	-	-	-	20	1	5	-	-	-	-	-
SPARE	-	-	-	20	1	6	-	-	-	-	-
SPARE	-	-	-	20	1	7	-	-	-	-	-
SPARE	-	-	-	20	1	8	-	-	-	-	-
SPARE	-	-	-	20	1	9	-	-	-	-	-
SPARE	-	-	-	20	1	10	-	-	-	-	-
SPARE	-	-	-	20	1	11	-	-	-	-	-
SPARE	-	-	-	20	1	12	-	-	-	-	-
SPARE	-	-	-	20	1	13	1920	1920	3459	-	-
SPARE	-	-	-	20	1	14	-	-	-	-	-
SPARE	-	-	-	20	1	15	1920	1920	-	-	-
SPARE	-	-	-	20	1	16	-	-	-	-	-
SPARE	-	-	-	20	1	17	-	-	-	-	-
SPARE	-	-	-	20	1	18	-	-	-	-	-
SPARE	-	-	-	20	1	19	-	-	-	-	-
SPARE	-	-	-	20	1	20	-	-	-	-	-
SPARE	-	-	-	20	1	21	-	-	-	-	-
SPARE	-	-	-	20	1	22	-	-	-	-	-
SPARE	-	-	-	20	1	23	-	-	-	-	-
SPARE	-	-	-	20	1	24	-	-	-	-	-
SPARE	-	-	-	20	1	25	-	-	-	-	-
SPARE	-	-	-	20	1	26	-	-	-	-	-
SPARE	-	-	-	20	1	27	-	-	-	-	-
SPARE	-	-	-	20	1	28	-	-	-	-	-
SPARE	-	-	-	20	1	29	-	-	-	-	-
SPARE	-	-	-	20	1	30	-	-	-	-	-
SPARE	-	-	-	20	1	31	-	-	-	-	-
SPARE	-	-	-	20	1	32	-	-	-	-	-
SPARE	-	-	-	20	1	33	-	-	-	-	-
SPARE	-	-	-	20	1	34	-	-	-	-	-
SPARE	-	-	-	20	1	35	-	-	-	-	-
SPARE	-	-	-	20	1	36	-	-	-	-	-
SPARE	-	-	-	20	1	37	-	-	-	-	-
SPARE	-	-	-	20	1	38	-	-	-	-	-
SPARE	-	-	-	20	1	39	-	-	-	-	-
SPARE	-	-	-	20	1	40	-	-	-	-	-
SPARE	-	-	-	20	1	41	-	-	-	-	-
SPARE	-	-	-	20	1	42	-	-	-	-	-
SPARE	-	-	-	20	1	43	-	-	-	-	-
SPARE	-	-	-	20	1	44	-	-	-	-	-
SPARE	-	-	-	20	1	45	-	-	-	-	-
SPARE	-	-	-	20	1	46	-	-	-	-	-
SPARE	-	-	-	20	1	47	-	-	-	-	-
SPARE	-	-	-	20	1	48	-	-	-	-	-
SPARE	-	-	-	20	1	49	-	-	-	-	-
SPARE	-	-	-	20	1	50	-	-	-	-	-
SPARE	-	-	-	20	1	51	-	-	-	-	-
SPARE	-	-	-	20	1	52	-	-	-	-	-
SPARE	-	-	-	20	1	53	-	-	-	-	-
SPARE	-	-	-	20	1	54	-	-	-	-	-
SPARE	-	-	-	20	1	55	-	-	-	-	-
SPARE	-	-	-	20	1	56	-	-	-	-	-
SPARE	-	-	-	20	1	57	-	-	-	-	-
SPARE	-	-	-	20	1	58	-	-	-	-	-
SPARE	-	-	-	20	1	59	-	-	-	-	-
SPARE	-	-	-	20	1	60	-	-	-	-	-
SPARE	-	-	-	20	1	61	-	-	-	-	-
SPARE	-	-	-	20	1	62	-	-	-	-	-
SPARE	-	-	-	20	1	63	-	-	-	-	-
SPARE	-	-	-	20	1	64	-	-	-	-	-
SPARE	-	-	-	20	1	65	-	-	-	-	-
SPARE	-	-	-	20	1	66	-	-	-	-	-
LARGE SUB-FED BREAKER	-	-	-	-	-	-	-	-	-	-	-
TOTALS	546	0	0	-	-	-	8839	8839	8918	TOTALS	-

PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	546	1.25	683
RECEPTACLES	0	10KVA + 50% REST	0
MOTORS	3,840	1.25 x LARGEST + SUM OF REST	4,320
AIR CONDITIONING	20,754	1.00	20,754
SPACE HEATING	0	0.00	0
HEAT PUMP	0	1.00	0
CONTINUOUS	0	1.25	0
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
SIZING LOAD:	25,757		
SIZING LOAD (AMPS):	71		

CONNECTED PHASE LOADS			
PHASE	VA	AMPS	
A	9,384	78.1	
B	6,836	73.6	
C	6,918	57.6	
TOTALS	25,140	69.8	

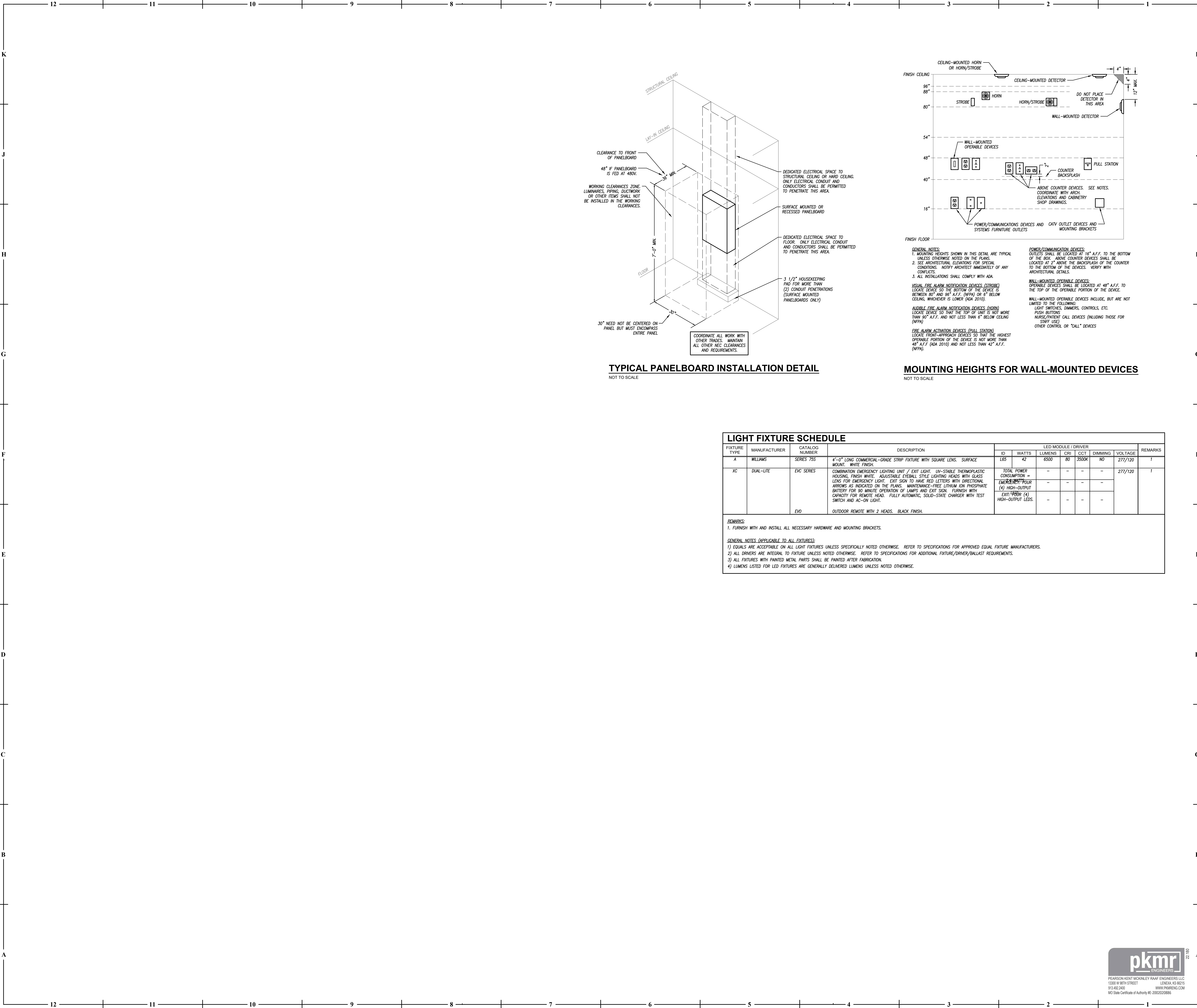
REMARKS:
1. EATON POW-R-LINE 1X OR EQUAL.
2. SERVICE ENTRANCE RATED.

EQUIPMENT FAULT CURRENT RATING SCHEDULE					
EQUIPMENT	SCA **	SCCR	NOTES		
DISTRIBUTION PANELBOARD MDP1	11,046	22,000	1,2		
PANELBOARD P10	10,664	22,000	1,2		
PANELBOARD K1	9,924	22,000	1,2		

NOTES:
1. RATING BASED ON AN ASSUMED FAULT AT UTILITY CO. TRANSFORMER OF 38,914A.
2. EQUIPMENT MAY BE SERIES RATED.
** CALCULATIONS PERFORMED USING BUSSMANN POINT-TO-POINT METHOD.

EQUIPMENT FEEDER SCHEDULE							
FEEDER NO.	EQUIPMENT	LOAD (AMPS)	SETS	# OF WIRES	FEEDER SIZE	GROUND MATERIAL	CONDUIT SIZE
F1	DISTRIBUTION PANELBOARD MDP1	174.3	2	4	#3/0	- COPPER	2"
F2	PANELBOARD P10	10.0	1	4	#3/0	#6 COPPER	2"
F3	PANELBOARD K1	71.5	1	4	500 MCW	- COPPER	3-1/2"

DISTRIBUTION PANELBOARD SCHEDULE												
PANEL DESIGNATION: MDP1						MAIN LUGS AMPS: 400 MAIN BREAKER: 400 VOLTAGE: 208/120 PHASE/WIRE: 3Ø, 4W						
MOUNTING: SURFACE LOCATION: OFFICE N-100						SCCR RATING (AIC): 22,000						
DESCRIPTION	PHASE			TRIP	POLE	CIRCUIT #	PHASE			C/B	POLE	
	A	B	C				A	B	C			
CONDENSING UNIT CU-1	2786			40	3	1	2018			30	2018	
		2786						2018				
CONDENSING UNIT CU-2	2786			40	3	2	2018			30	2018	
		2786						2018				
SPACE				—	—	—	11	12		—	3459	
		2786					13	14			3459	
SPACE				—	—	—	15	16		—	3459	
							17	18			3459	
SPACE				—	—	—	19	20		—	SPARE	
							21	22			SPARE	
SPACE				—	—	—	23	24		—	SPARE	
							25	26			SPARE	
SPACE				—	—	—	27	28		—	SPARE	
							29	30			SPARE	
SPACE				—	—	—	31	32		—	SPARE	
							33	34			SPARE	
SPACE				—	—	—	35	36		—	SPARE	
							37	38			SPARE	
SPACE				—	—	—	39	40		—	SPARE	
							41	42			SPARE	
SPACE				—	—	—	2	200		—	10000	
								10000				
LARGE SUB-FED BREAKER						44						LOAD CENTER LC1
						46	J	200		1344		PANELBOARD P10
						48				1290		
										500		
TOTALS						5572	5572	5572				
										8839	18785	17995 TOTALS
PANELBOARD SIZING LOAD						CONNECTED PHASE LOADS						
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE	MIN.	(VA)	PHASE	VA	AMPS				
LIGHTS	168	1.25			210	A	14,411	120.0				
RECEPTACLES	0	10KW + 50% REST				B	24,357	202.8				
MOTORS	2,465	1.25 x LARGEST + 50% OF REST			2,760	C	23,567	198.2				
AIR CONDITIONING	39,201	1.00			39,201	TOTALS	62,335	173.0				
SPACE HEATING	0	0.00			0							
HEAT PUMP	0	1.00			0							
CONTINUOUS	500	1.25			625							
NON-CONTINUOUS	0	1.00			0							
MISC. LOADS 1	0	1.00			0							
SIZING LOAD:						62,796						
SIZING LOAD (AMPS):						174						
REMARKS: 1. EATON POW-R-LINE 3X OR EQUAL 2. SERVICE ENTRANCE RATED												



TYPICAL PANELBOARD INSTALLATION DETAIL

NOT TO SCALE

MOUNTING HEIGHTS FOR WALL-MOUNTED DEVICES

NOT TO SCALE

LIGHT FIXTURE SCHEDULE

FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LED MODULE / DRIVER							REMARKS
				ID	WATTS	LUMENS	CRI	CCT	DIMMING	VOLTAGE	
A	WILLIAMS	SERIES 75S	4'-0" LONG COMMERCIAL-GRADE STRIP FIXTURE WITH SQUARE LENS. SURFACE MOUNT. WHITE FINISH.	L8S	42	6500	80	3500K	NO	277/120	1
XC	DUAL-LITE	EVC SERIES	COMBINATION EMERGENCY LIGHTING UNIT / EXIT LIGHT. UV-STABLE THERMOPLASTIC HOUSING, FINISH WHITE. ADJUSTABLE EYEBALL STYLE LIGHTING HEADS WITH GLASS LENS FOR EMERGENCY LIGHT. EXIT SIGN TO HAVE RED LETTERS WITH DIRECTIONAL ARROWS AS INDICATED ON THE PLANS. MAINTENANCE-FREE LITHIUM ION PHOSPHATE BATTERY FOR 90 MINUTE OPERATION OF LAMPS AND EXIT SIGN. FURNISH WITH CAPACITY FOR REMOTE HEAD. FULLY AUTOMATIC, SOLID-STATE CHARGER WITH TEST SWITCH AND AC-ON LIGHT.	TOTAL POWER CONSUMPTION =							1
				EMERGENCY: FOUR (4) HIGH-OUTPUT							
				EXIT: FOUR (4) HIGH-OUTPUT LEADS							
		EVO	OUTDOOR REMOTE WITH 2 HEADS. BLACK FINISH.								
REMARKS: 1. FURNISH WITH AND INSTALL ALL NECESSARY HARDWARE AND MOUNTING BRACKETS.											
GENERAL NOTES (APPLICABLE TO ALL FIXTURES): 1) EQUALS ARE ACCEPTABLE ON ALL LIGHT FIXTURES UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR APPROVED EQUAL FIXTURE MANUFACTURERS. 2) ALL DRIVERS ARE INTEGRAL TO FIXTURE UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR ADDITIONAL FIXTURE/DRIVER/BALLAST REQUIREMENTS. 3) ALL FIXTURES WITH PAINTED METAL PARTS SHALL BE PAINTED AFTER FABRICATION. 4) LUMENS LISTED FOR LED FIXTURES ARE GENERALLY DELIVERED LUMENS UNLESS NOTED OTHERWISE.											



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(www.collinswebb.com)

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MO State Certificate of Authority #E-0000020886

ELECTRICAL - PANELBOARD SCHEDULES